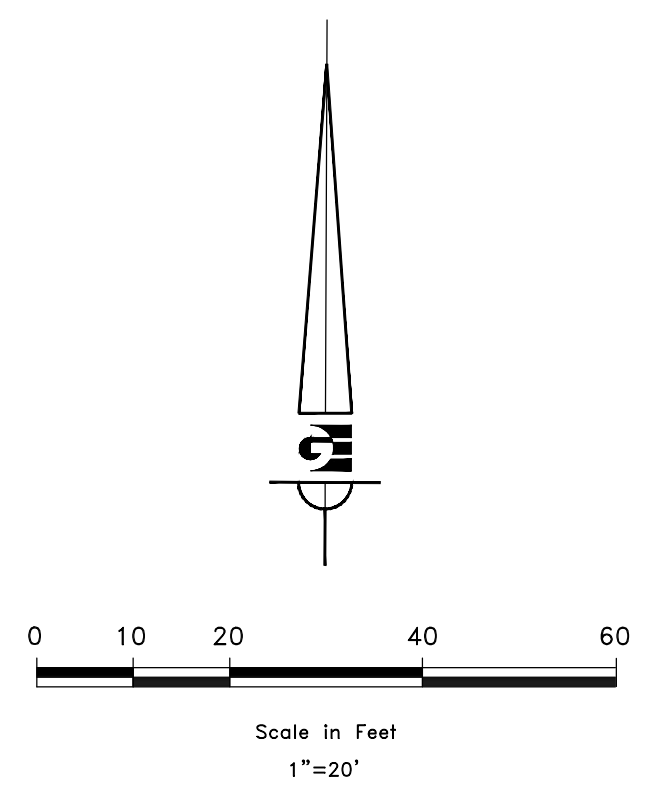
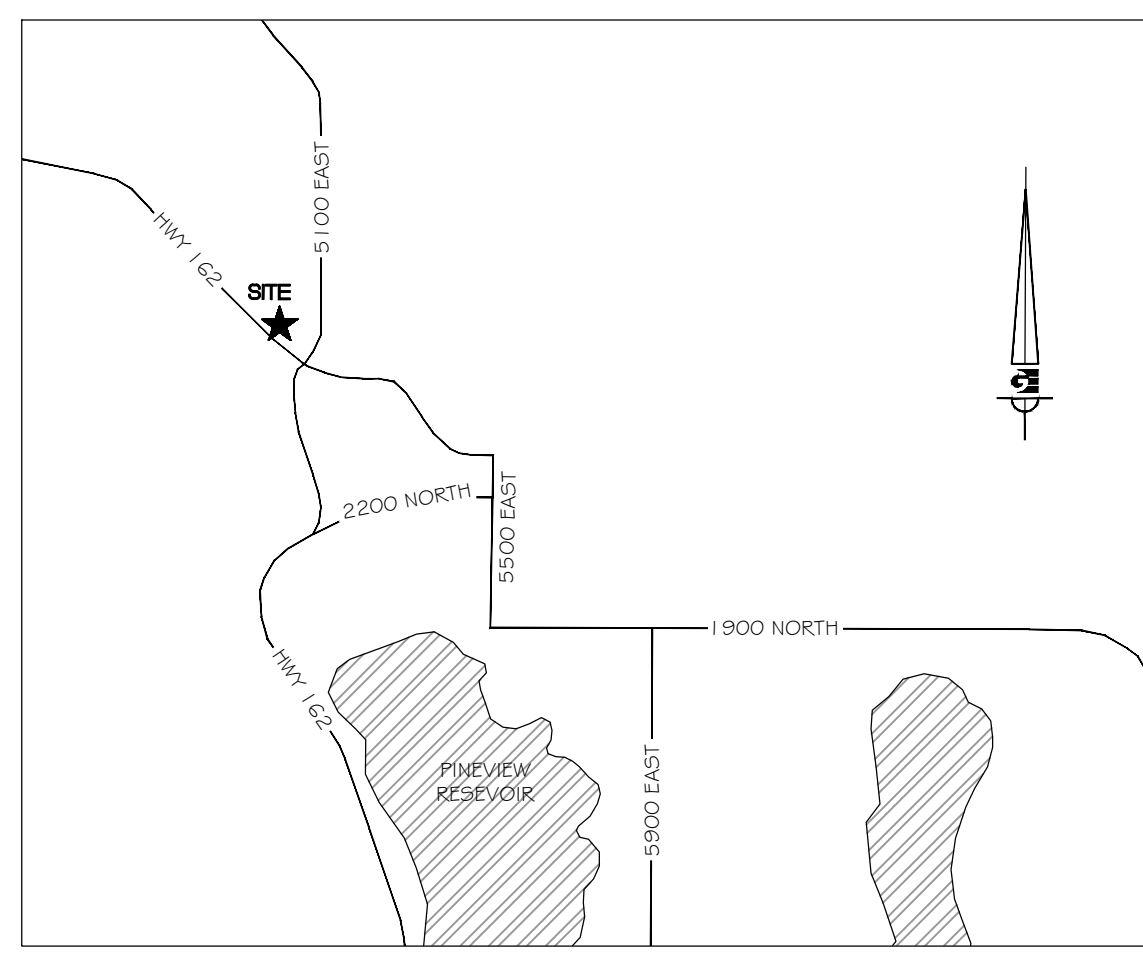
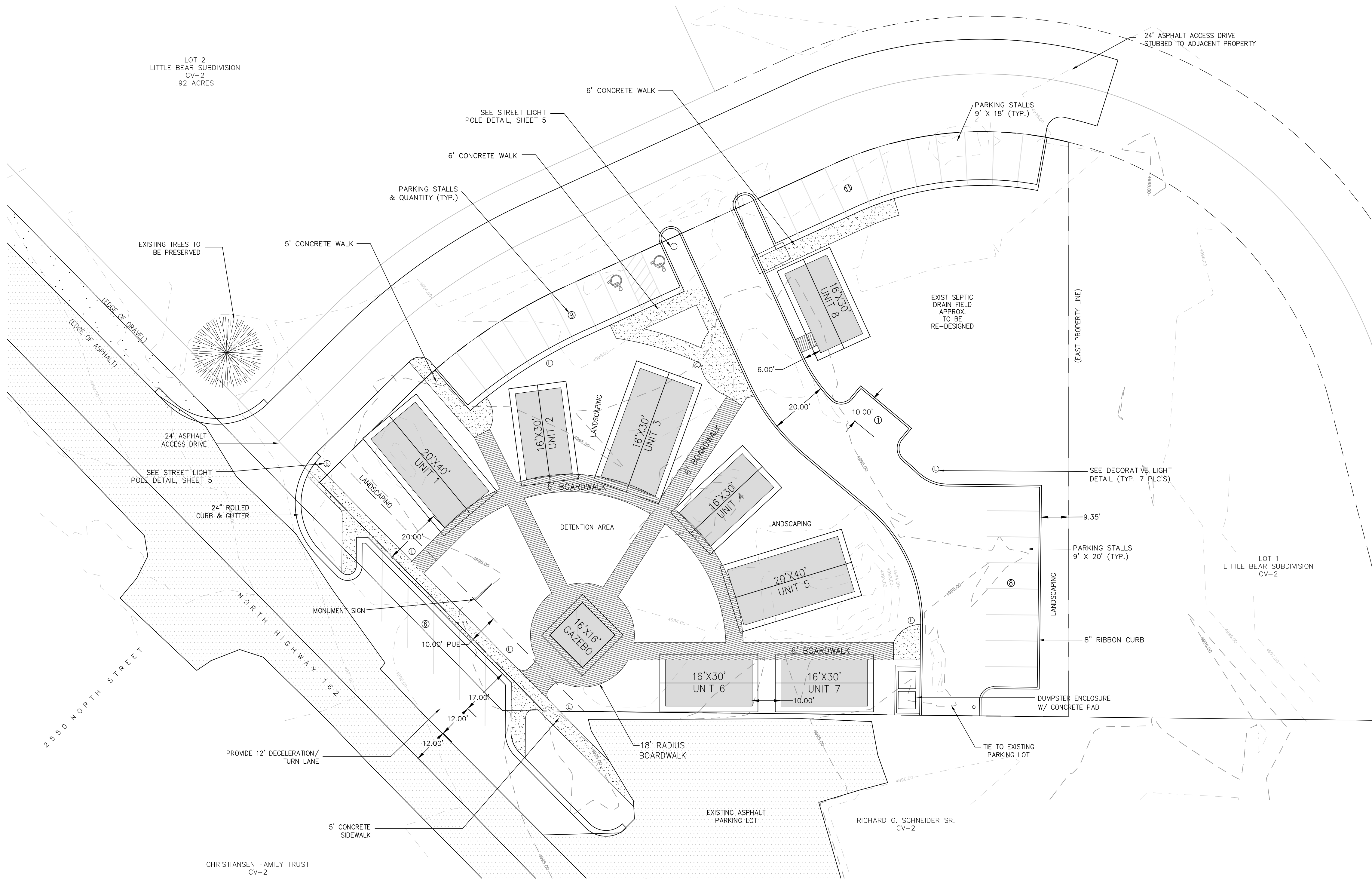


SITE PLAN EDEN CENTER

PART OF THE NORTHWEST QUARTER OF
SECTION 34 T7N, R1E, SLB & M, U.S. SURVEY
EDEN CITY, WEBER COUNTY, UTAH
JUNE 2012



LEGEND

	EASEMENT LINE
	PROPERTY LINE
	NEW BOARDWALK
	NEW CONCRETE
	EXISTING ASPHALT

DEVELOPMENT DATA

PARCEL NUMBER	22-154-0003
EXISTING ZONING	CV-2
PARCEL ACREAGE	.89 ACRES
HARD SURFACE AREA	25,122 SF (47.5%)
BUILDING AREA	6,965 SF (13.2%)
LANDSCAPE AREA	20,831 SF (39.3%)
PROPOSED PARKING	35 STALLS

GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY WEBER COUNTY ENGINEERING, PLANNING, CODES AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH WEBER COUNTY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
4. THE CONTRACTOR SHALL HAVE ONE (1) COPY OF APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON SITE AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
6. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT DRAWINGS ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE WEBER COUNTY INSPECTOR AT ALL TIMES.
10. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTORS SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.

NOTE: ALL CONSTRUCTION TO CONFORM TO WEBER COUNTY STANDARDS AND SPECIFICATIONS.

NOTICE:
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR THE UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call BLUE STAKES BEFORE YOU Dig
1-800-662-4111
UTAH DIVISION OF OCCUPATIONAL AND PROFESSIONAL STANDARDS

DEVELOPER
WOP WOM, LLC.
ERIC SMITH
212 MERCHANT ST., #330
HONOLULU, HI 96813
PHONE: (808) 524-3551
FAX: (808) 524-8803

SCALE: 1" = 20'
DATE: AUGUST, 2012
DESIGN: TMN/SCC
DRAWN: SCC
CHECKED: TMN

REVISIONS	DESCRIPTION
DATE	

DWG.: SEE PLOT STAMP AT LEFT

PROFESSIONAL ENGINEER
No. 4859845
TYLER M. NIELSON
STATE OF UTAH

WOP WOM LLC
EDEN CENTER
SITE PLAN
EDEN CITY, WEBER COUNTY, UTAH

Gardner Engineering
5875 South Adams Ave. Parkway, Suite 200 • Ogden, UT 84405
• Phone (801) 476 0202 • Fax (801) 476-0066

1
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Eden Center
Eden, Weber County, Utah

Lat=41.3061 Long=-111.8281

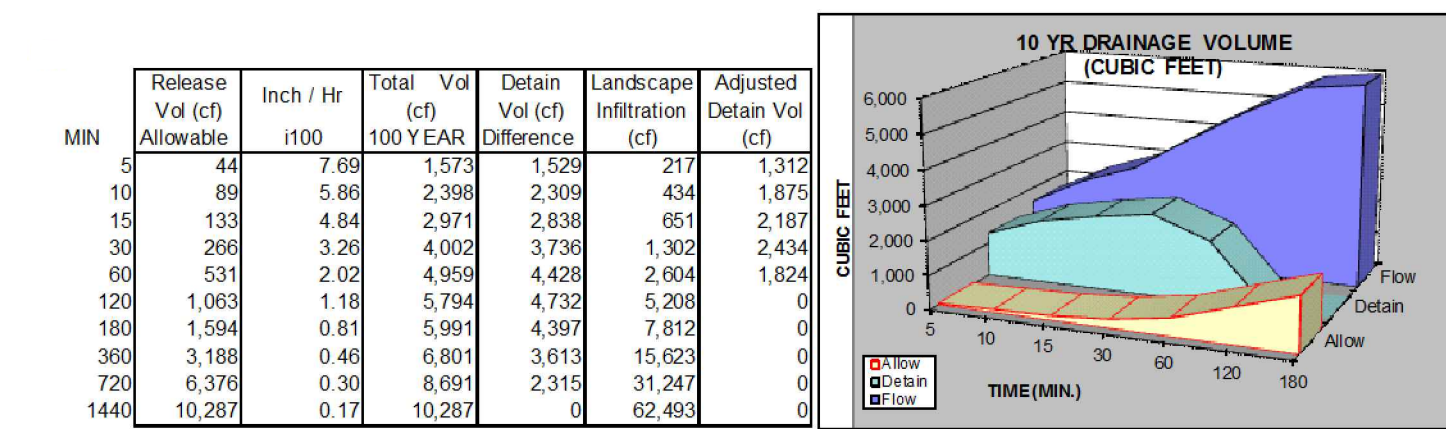
Areas	Sq. Ft.	Area	C	Infiltration Rate (MPI)	Allow Release Rate (cfs/acre)	Q Allowable (cfs)
Hard Surface	25,122	0.5767	0.85	40.00	0.1	
Building	6,968	0.1600	0.90			
Landscape	20,831	0.4782	0.10			
Total/Weighted	52,921	1.2149	0.56			



GRADING & DRAINAGE PLAN

EDEN CENTER

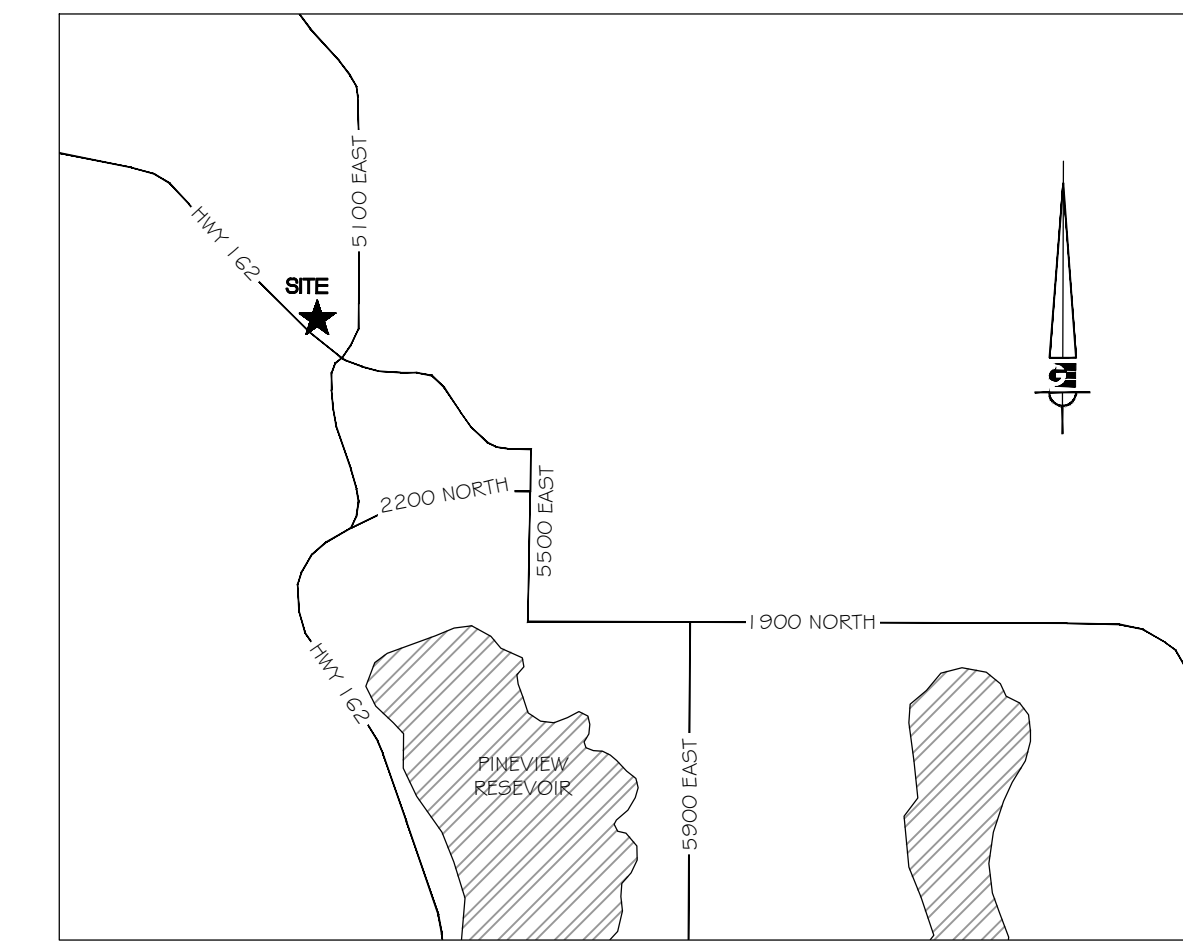
PART OF THE NORTHWEST QUARTER OF SECTION 34 T7N, R1E, SLB & M, U.S. SURVEY
EDEN CITY, WEBER COUNTY, UTAH
JUNE 2012



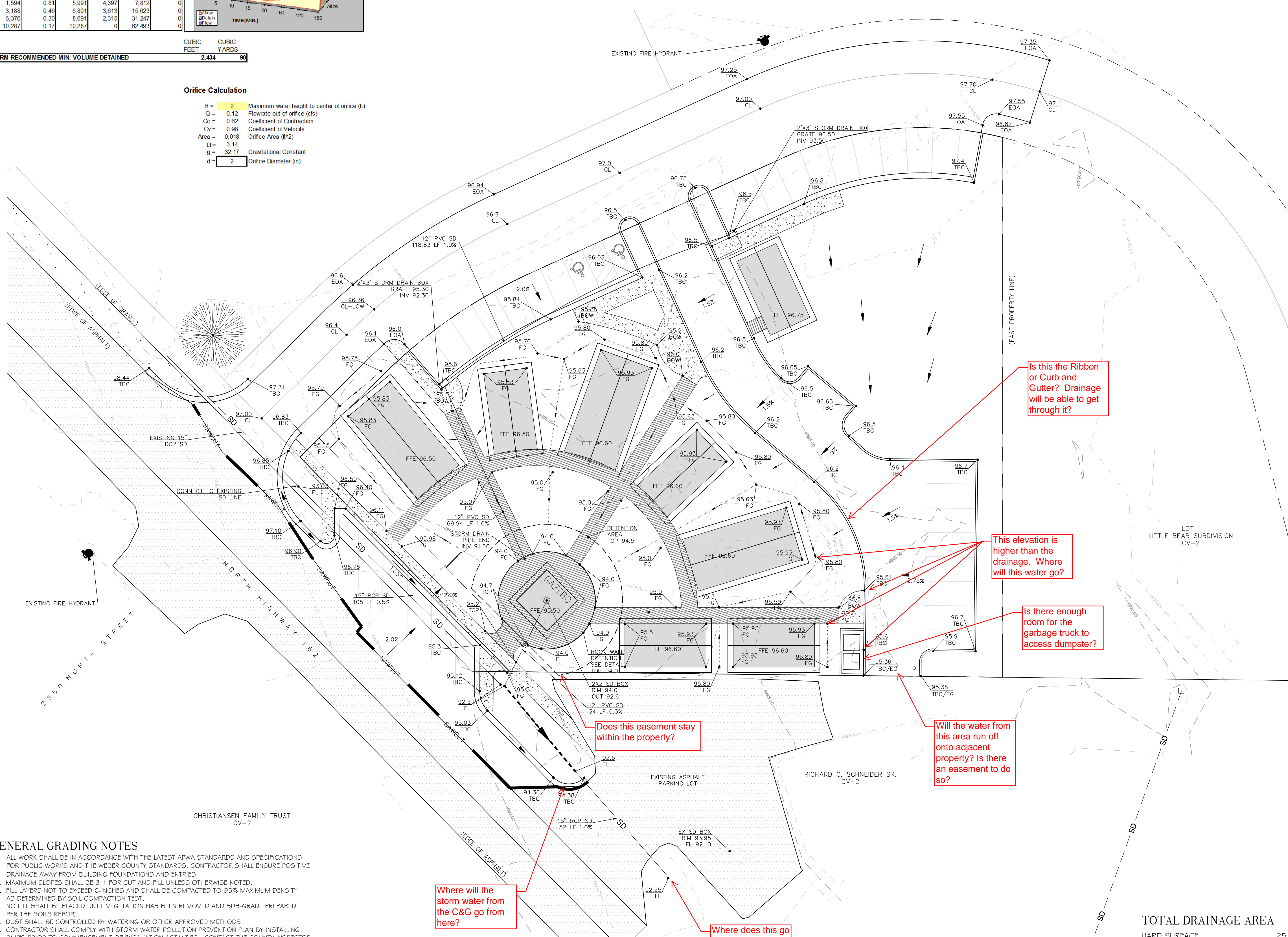
10 YEAR STORM RECOMMENDED MIN. VOLUME DETAINED 2,434 90

Orifice Calculation

H = 2 Maximum water height to center of orifice (ft)
 Q = 0.12 Flowrate out of orifice (cfs)
 Cc = 0.62 Coefficient of Contraction
 Cv = 0.98 Coefficient of Velocity
 Area = 0.018 Orifice Area (ft²)
 Tt = 3.14
 g = 32.17 Gravitational Constant
 d = 2 Orifice Diameter (in)



VICINITY MAP



Is this the Ribbon or Curb and Gutter? Drainage will be able to get through it?

This elevation is higher than the drainage. Where will this water go?

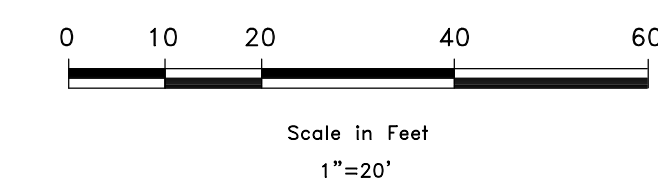
Is there enough room for the garbage truck to access dumpster?

Will the water from this area run off onto adjacent property? Is there an easement to do so?

Does this easement stay within the property?

Where will the storm water from the C&G go from here?

Where does this go to? Will it get to the next inlet?



LEGEND

---	EASEMENT LINE
---	PROPERTY LINE
SD	PROPOSED STORM DRAIN
SD	EXISTING STORM DRAIN
---	DRAINAGE DIRECTION
---	DRAINAGE SWALE
---	STORAGE SWALE
TBC	TOP BACK OF CURB
EG	EXISTING GROUND
FG	FINISH GROUND
BOW	BACK OF WALK
EOA	EDGE OF ASPHALT
FL	FLOW LINE
CL	CENTERLINE

- GENERAL GRADING NOTES**
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST APWA STANDARDS AND SPECIFICATIONS FOR PUBLIC WORKS AND THE WEBER COUNTY STANDARDS. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND ENTRIES.
 - MAXIMUM SLOPES SHALL BE 3:1 FOR CUT AND FILL UNLESS OTHERWISE NOTED.
 - FILL LAYERS NOT TO EXCEED 6-INCHES AND SHALL BE COMPACTED TO 95% MAXIMUM DENSITY AS DETERMINED BY SOIL COMPACTION TEST.
 - NO FILL SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED PER THE SOILS REPORT.
 - DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
 - CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN BY INSTALLING BMP'S PRIOR TO COMMENCEMENT OF EXCAVATION ACTIVITIES. CONTACT THE COUNTY INSPECTOR FOR INSPECTION.
 - ALL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL SUBSEQUENT REPORTS, ADDENDUM ETC. SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE COMPLIED WITH.
 - THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
 - WEBER COUNTY MAY REQUIRE A PRE-CONSTRUCTION MEETING BEFORE A PERMIT IS ISSUED.
 - STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
 - CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL REQUIRED INSPECTIONS.
 - PRIOR TO TAKING WATER FROM A FIRE HYDRANT, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH WATER UTILITY TO OBTAIN A WATER METER.
 - ELEVATIONS SHOWN ON BUILDINGS ARE FINISHED FLOOR LOWEST LEVEL.
 - SAWCUT 12" OFF OF EXISTING ASPHALT PRIOR TO NEW INSTALLING NEW PAVEMENT.

TOTAL DRAINAGE AREA

HARD SURFACE	25,122 SF
BUILDING	6,968 SF
LANDSCAPE	20,831 SF
RELEASE RATE	0.10 CFS/ACRE
INFILTRATION RATE	1.51 CFS/ACRE
REQUIRED DETENTION CAPACITY	2,434 CF
	3,551 CF

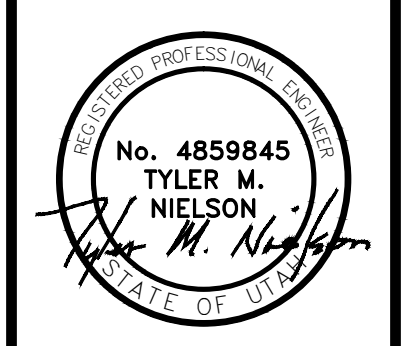
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FAX: (808) 524-8803

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DATE: AUGUST 2012
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REVISIONS	DESCRIPTION
DATE	



WOP WOM LLC
EDEN CENTER
GRADING PLAN
EDEN CITY, WEBER COUNTY, UTAH

Gardner Engineering
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
ALTERNATIVE ENERGY

5875 South Adams Ave. Parkway, Suite 200 • Ogden, UT 84405
Phone (801) 476 0202 • Fax (801) 476-0066

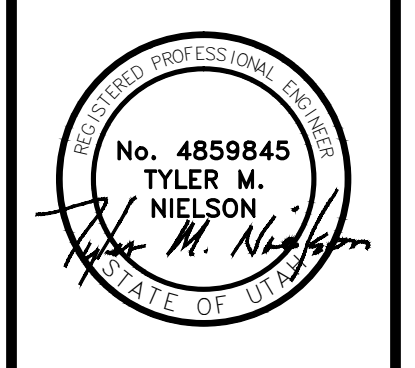
NOTE: ALL CONSTRUCTION TO CONFORM TO WEBER COUNTY STANDARDS AND SPECIFICATIONS.

UTILITY PLAN EDEN CENTER

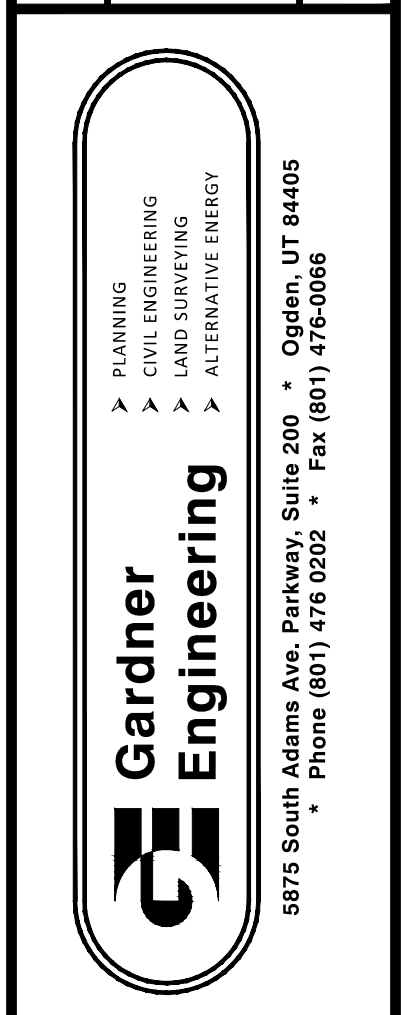
PART OF THE NORTHWEST QUARTER OF
SECTION 34 T7N, R1E, SLB & M, U.S. SURVEY
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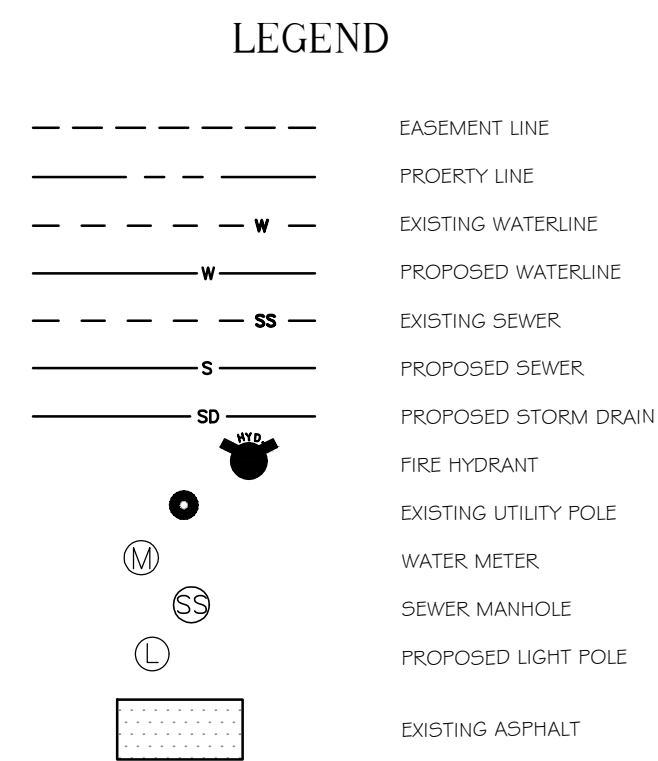
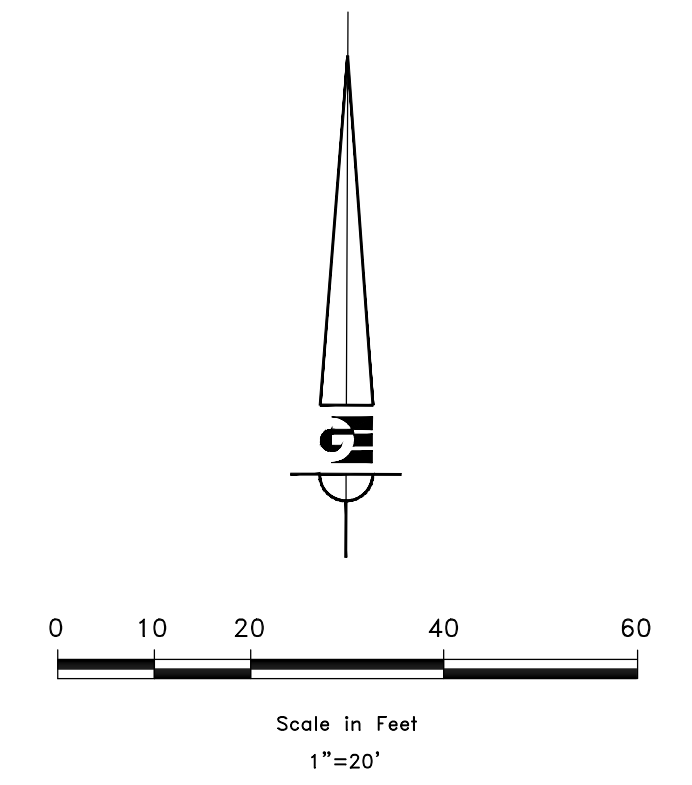
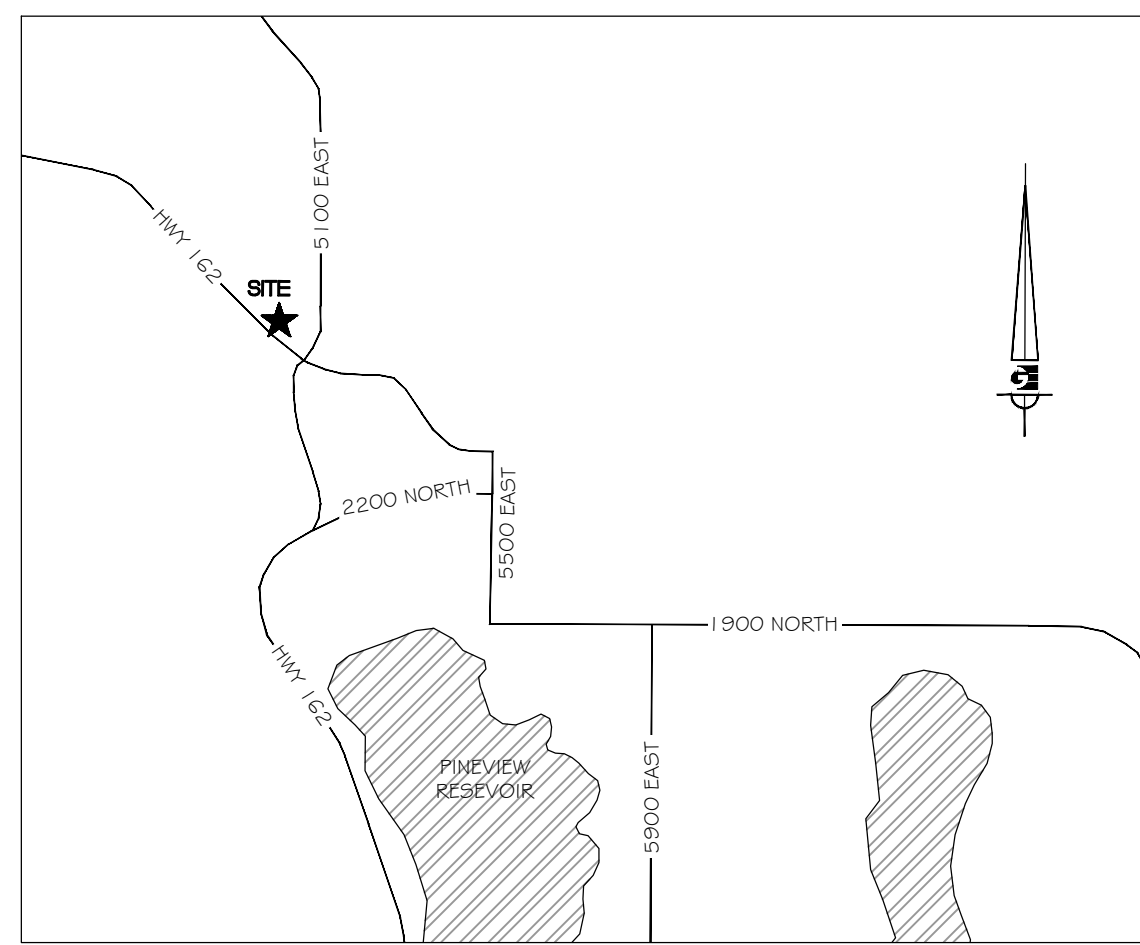
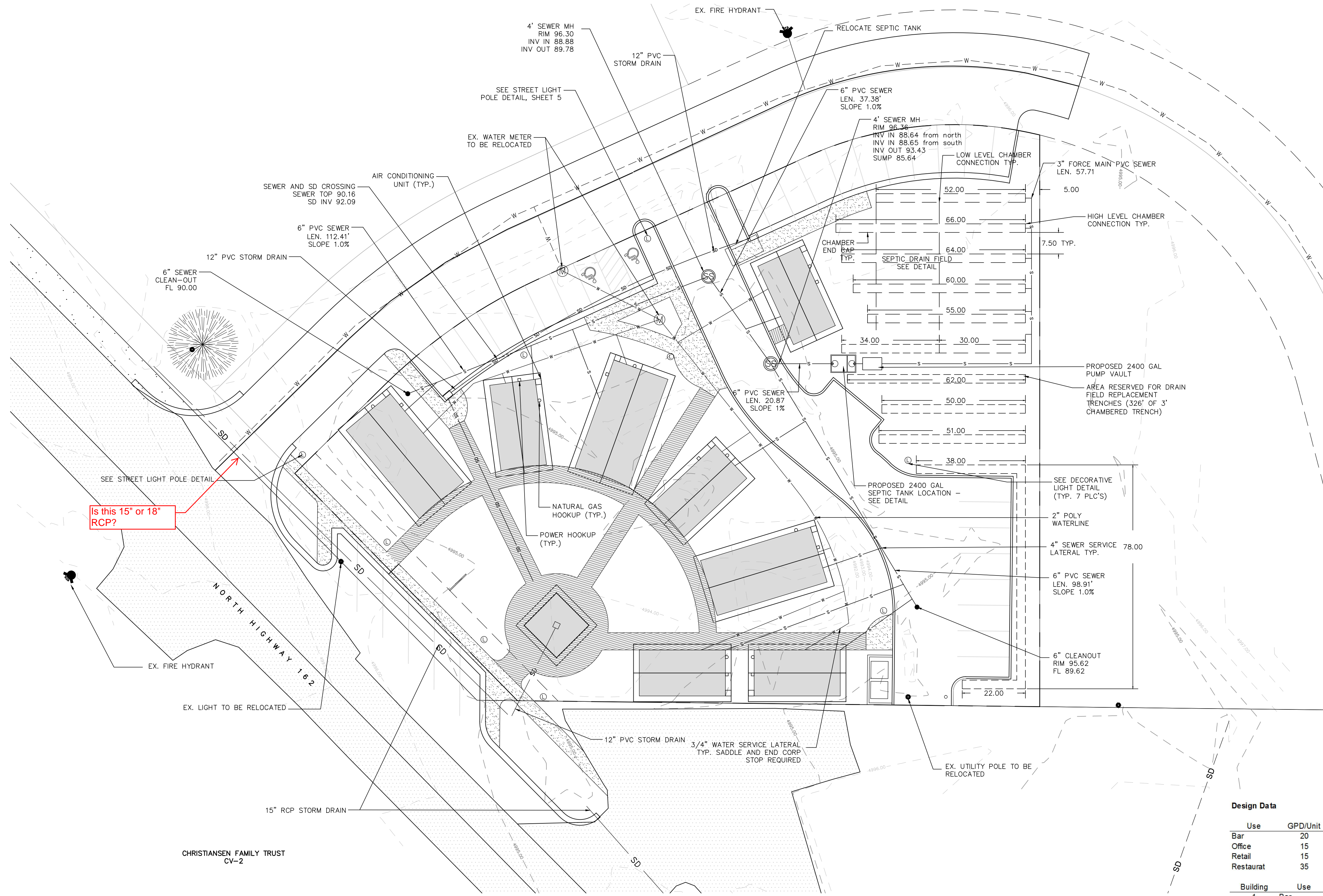
REVISIONS	DESCRIPTION	DATE



WOP WOM LLC
EDEN CENTER
UTILITY PLAN
EDEN CITY, WEBER COUNTY, UTAH



4
5



Design Data

Use	GPD/Unit	Units
Bar	20	per seat
Office	15	per employee
Retail	15	per employee
Restaurant	35	per seat

Building	Use	Units	GPD
1	Bar	20	400
2	Retail	2	30
3	Office	6	90
4	Retail	2	30
5	Office	5	75
6	Retail	2	30
7	Retail	2	30
8	Food To Go	12	420
Total		1105	

Obsorption Rate (40 MPI)	0.8 GPD/SF
Gravel Obsorption Area Required	1381 SF
Gravel Trench Required	460.4 LF
Chambered Trench Required	322.3 LF
Planned Chambered Trench Length	326 LF

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UTAH STATE SURVEYING BOARD

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FAX: (808) 524-8803

CULINARY WATER NOTES

- ALL INSTALLATION AND MATERIALS SHALL CONFORM TO WEBER COUNTY STANDARDS AND SPECIFICATIONS AND PLANS.
- DISINFECTION TESTS SHALL BE PERFORMED WITH COOPERATION FROM THE CONTRACTOR IN PERFORMING ANY NECESSARY EXCAVATION AND SUBSEQUENT BACKFILLING.
- UNLESS OTHERWISE SPECIFIED, ALL WATERLINES SHALL BE AWWA C900 PVC CLASS 150, PER ASTM D2241.
- CONTRACTOR SHALL LOCATE VALVES PRIOR TO CONNECTION WITH EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION.
- ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO PAVING.

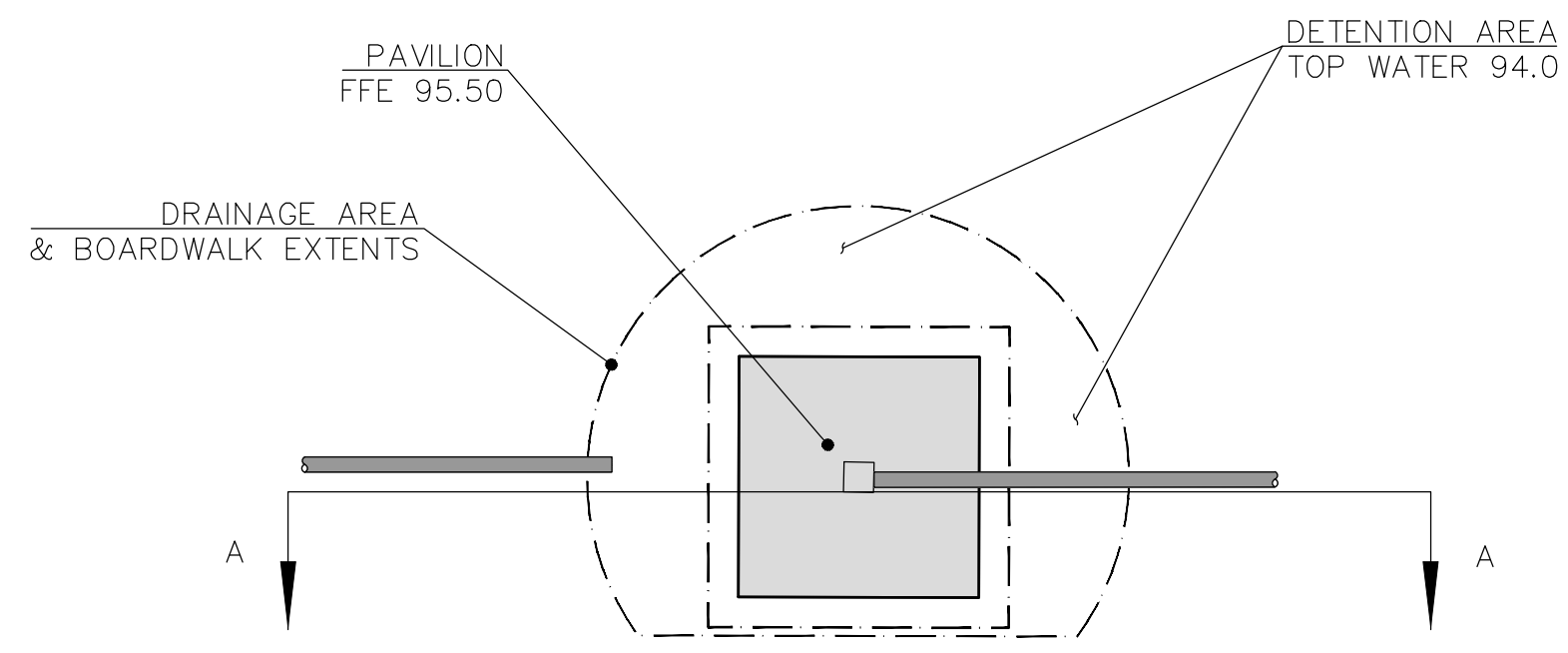
SANITARY SEWER NOTES

- THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY, AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
- ALL UTILITY CONSTRUCTION SHALL BE IN CONFORMANCE WITH WEBER COUNTY STANDARDS AND SPECIFICATIONS.
- ALL GRAVITY SANITARY SEWER LINES SHALL BE SDR-35 PVC MATERIAL. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.

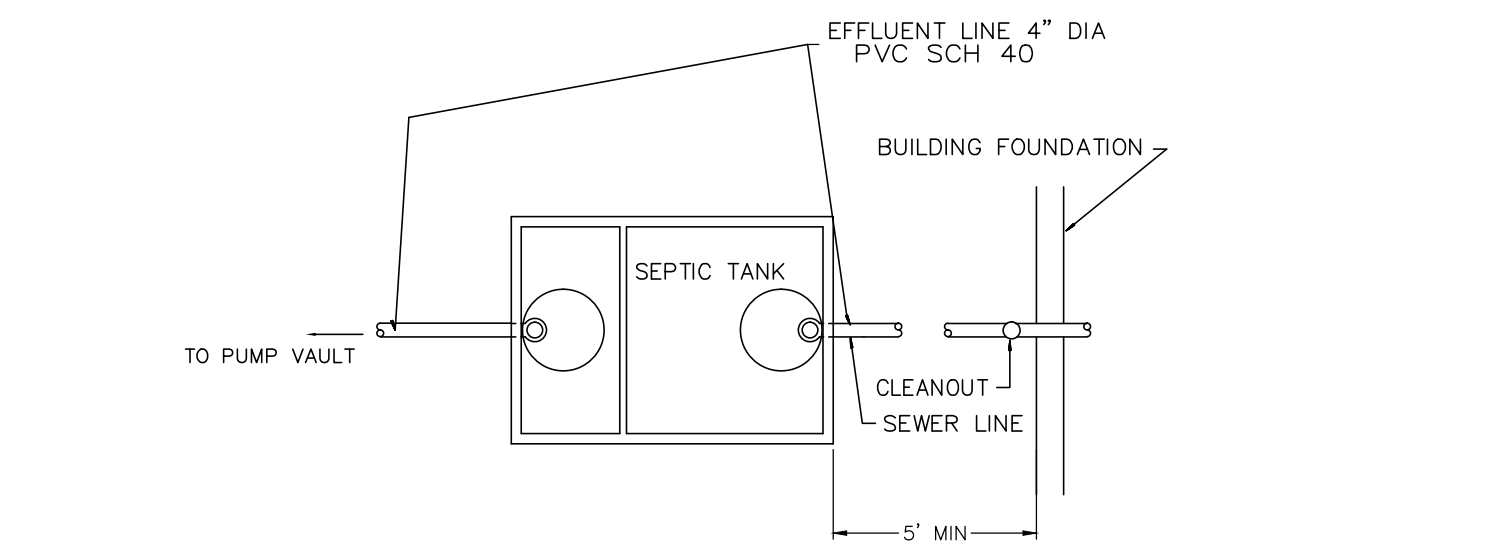
SEPTIC NOTES

- MAINTAIN 5' MIN OF EARTH BETWEEN TRENCH AND PROPERTY LINES
- MAINTAIN 5' MIN OF UNDISTURBED EARTH BETWEEN SEPTIC TANK AND BUILDING FOUNDATION.
- MAINTAIN 100' SEPARATION BETWEEN ANY TRENCH, AND DITCH, OR WATER WELL.
- THESE PLANS ARE INTENDED TO SATISFY STATE AND COUNTY REQUIREMENTS FOR ONSITE WASTEWATER SYSTEM APPROVAL. ADDITIONAL CIVIL DESIGN OR CONTRACTOR SERVICES MAY BE REQUIRED.

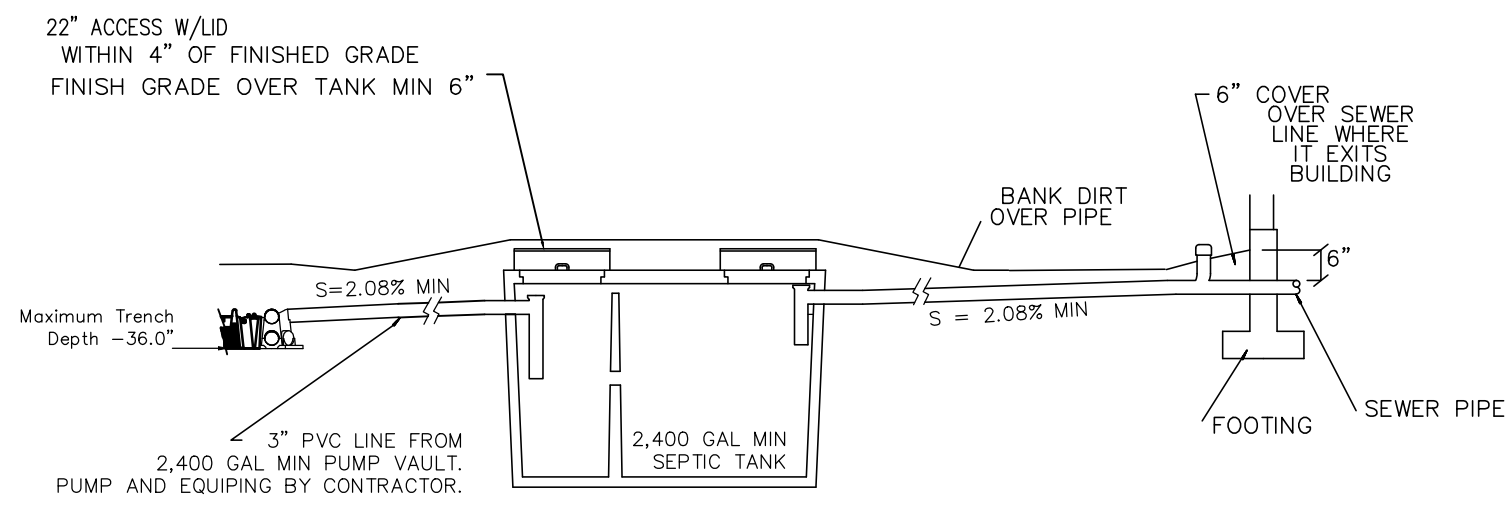
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PLAN



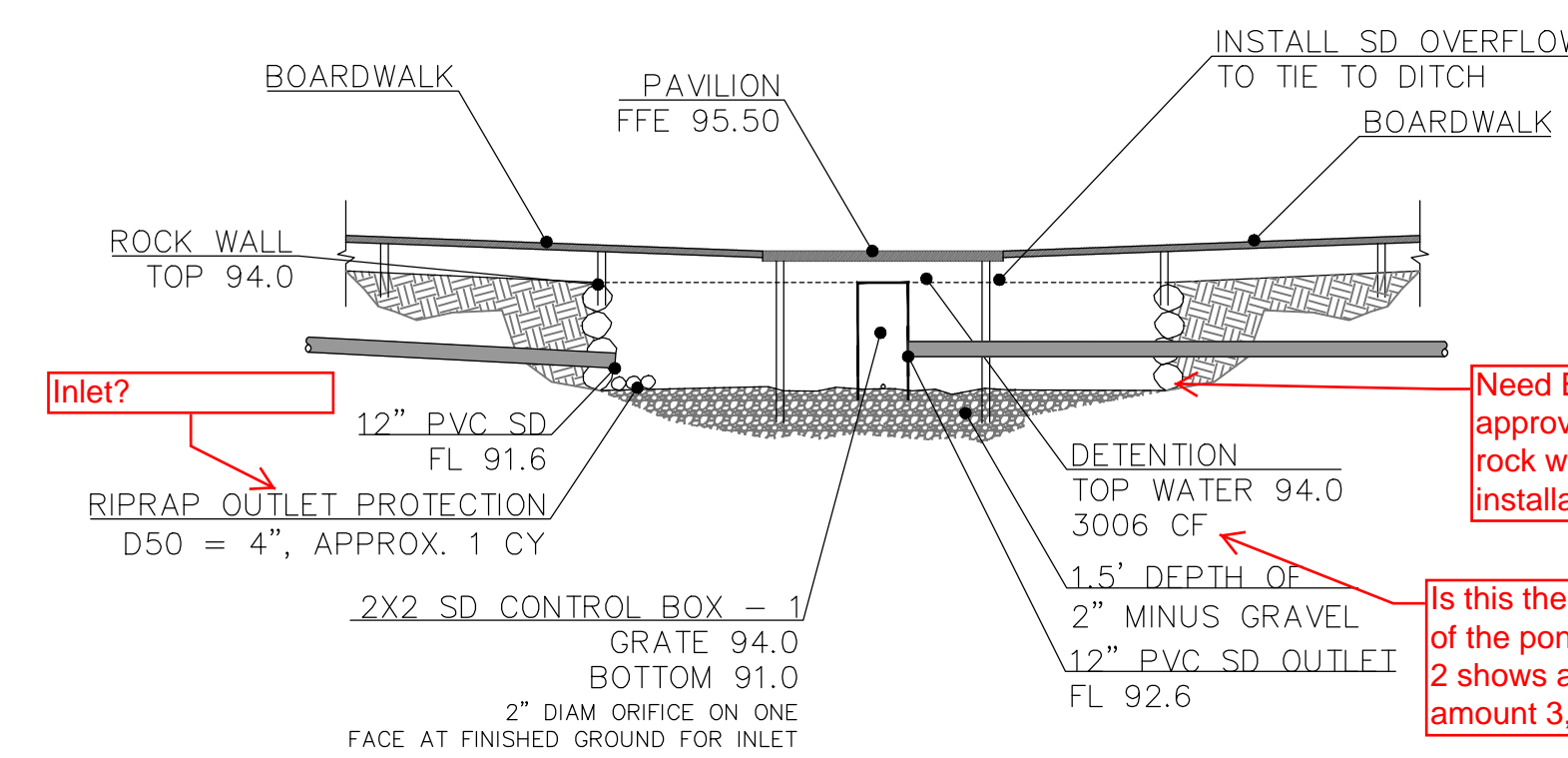
PLAN



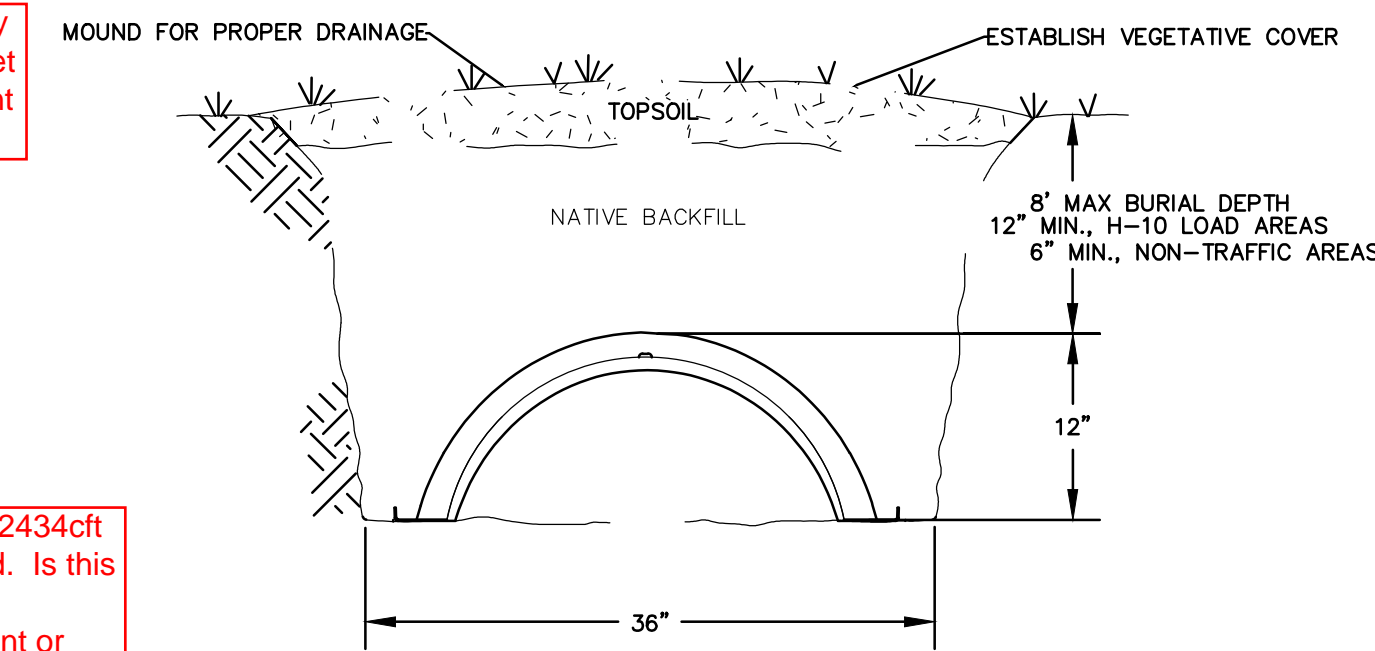
SECTION

TRENCH DETAIL W/TYPE A CHAMBER SYSTEM (NOT TO SCALE) INFILTRATOR SYSTEMS INC. QUICK4 STANDARD OR APPROVED EQUAL

- Notes:
1. Install approved septic tank.
 2. Inlets and outlets shall meet the material and diameter requirements for building sewers and shall be tee-ed or baffled with the object of diverting incoming flow toward the tank bottom and minimizing as much as possible the discharge of sludge or scum in the effluent.
 3. Inlets and outlets should be located at opposite ends of the tank. The invert of flow line of the inlet shall be located at least two inches (preferable three inches) above the invert of the outlet to allow for momentary rise in liquid level during discharge to the tank.
 4. An inlet baffle or sanitary tee of wide sweep design shall be provided to divert the incoming sewage downward. This baffle or tee is to penetrate at least six inches below the liquid level, but the penetration is not to be greater than that allowed for the outlet device.
 5. Outlet baffles or sanitary tees shall extend below the liquid surface a distance of approx 40 percent of the liquid depth.
 6. All inlet and outlet devices shall be permanently fastened in a vertical, rigid position. Inlet and outlet pipe connections to the septic tank shall be sealed with a bonding compound that will adhere to the tank and pipes to for watertight connections, or watertight sealing rings.
 7. Adequate access to the tank shall be provided to facilitate inspection and cleaning.

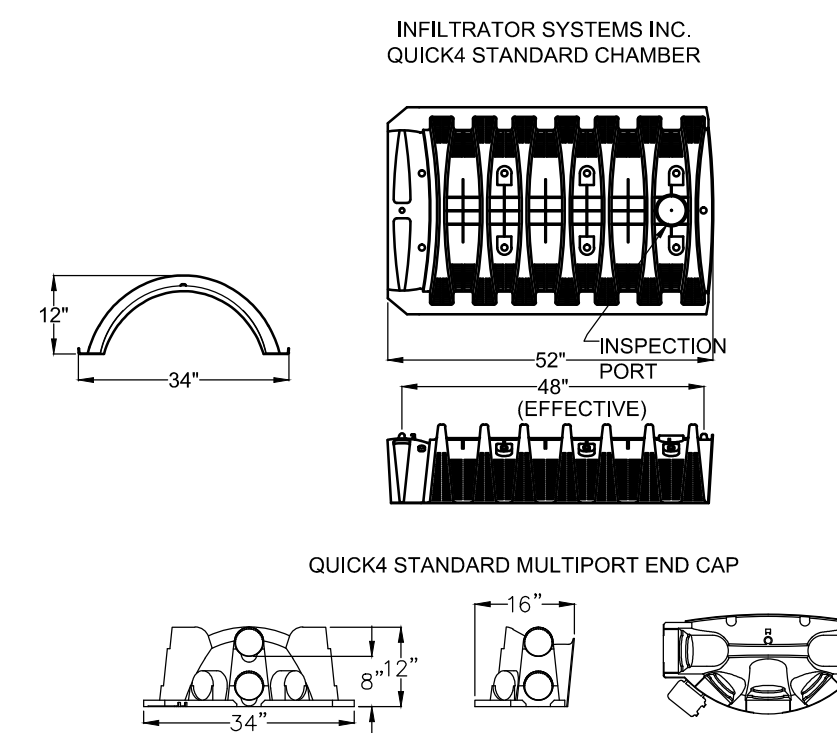


SECTION A-A



LOW LEVEL CONNECTION TRENCH DETAIL (PLAN VIEW) NOT TO SCALE

PRODUCT DETAIL EXAMPLE (NOT TO SCALE)



Where are areas 1&2?

AREA 1 REQUIRED DETENTION, AT 0.02 CFS PER ACRE RELEASE RATE, IS 1,519 CF. THE AVAILABLE DETENTION IN AREA 1 IS 1650 CF.

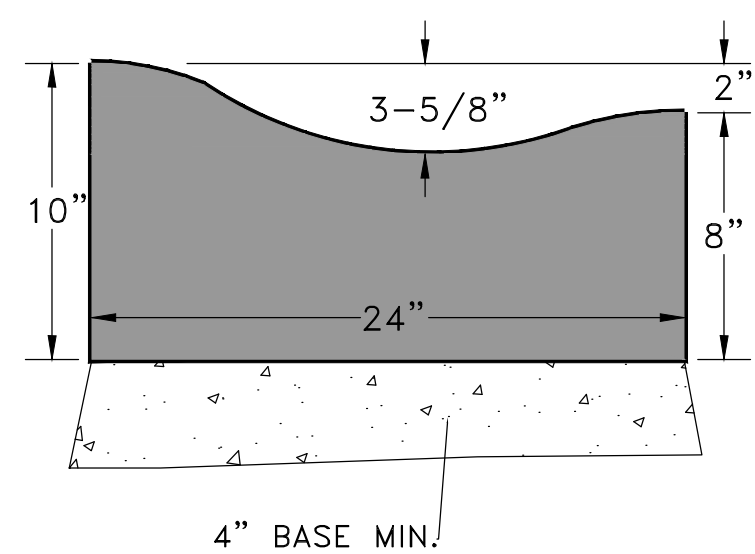
THE TOTAL SITE RELEASE RATE = 0.1 CFS PER ACRE OR 0.11 CFS. AREA 1 IS RESTRICTED TO 0.04 CFS PER ACRE RELEASE RATE AND AREA 2 IS RELEASED AT A RATE OF 0.17 CFS PER ACRE WITH A TOTAL COMBINED SITE RELEASE OF 0.11 CFS.

Need Engineering approval letter on rock wall installation.

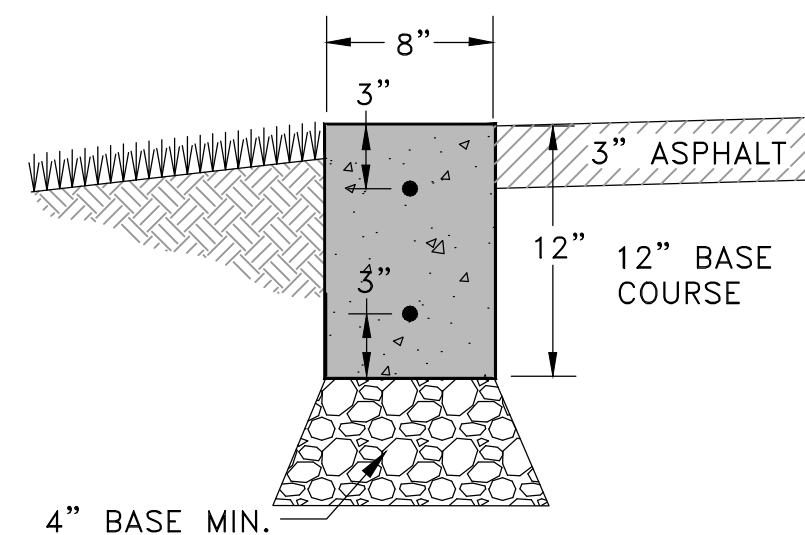
Is this the capacity of the pond? Sheet 2 shows a different amount 3,551

Calc's say 2434cft are needed. Is this just for this development or does it include the roadway as well? Will all the roadway get into the det. pond?

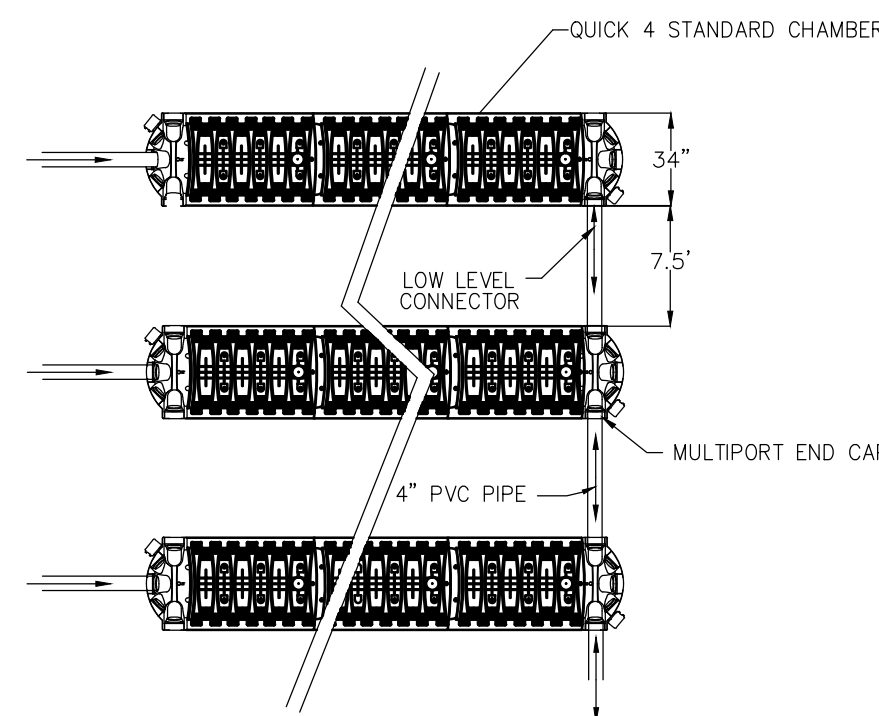
AREA 1 - DETENTION



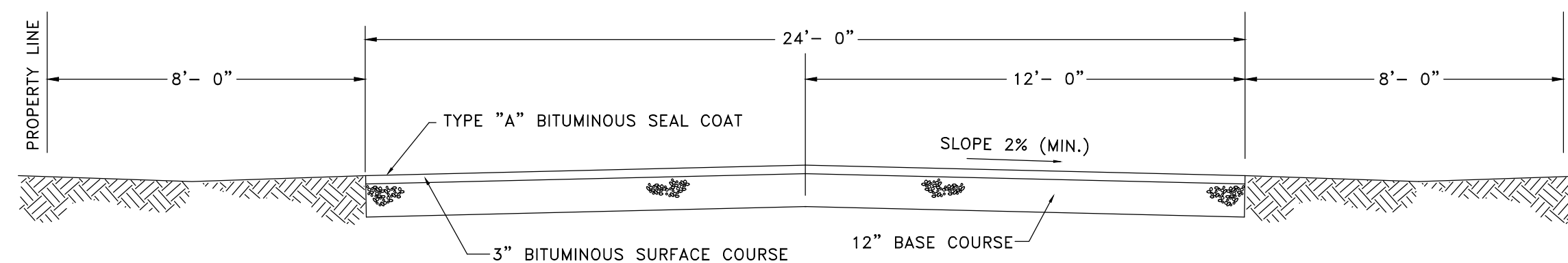
24" ROLLED CURB & GUTTER DETAIL



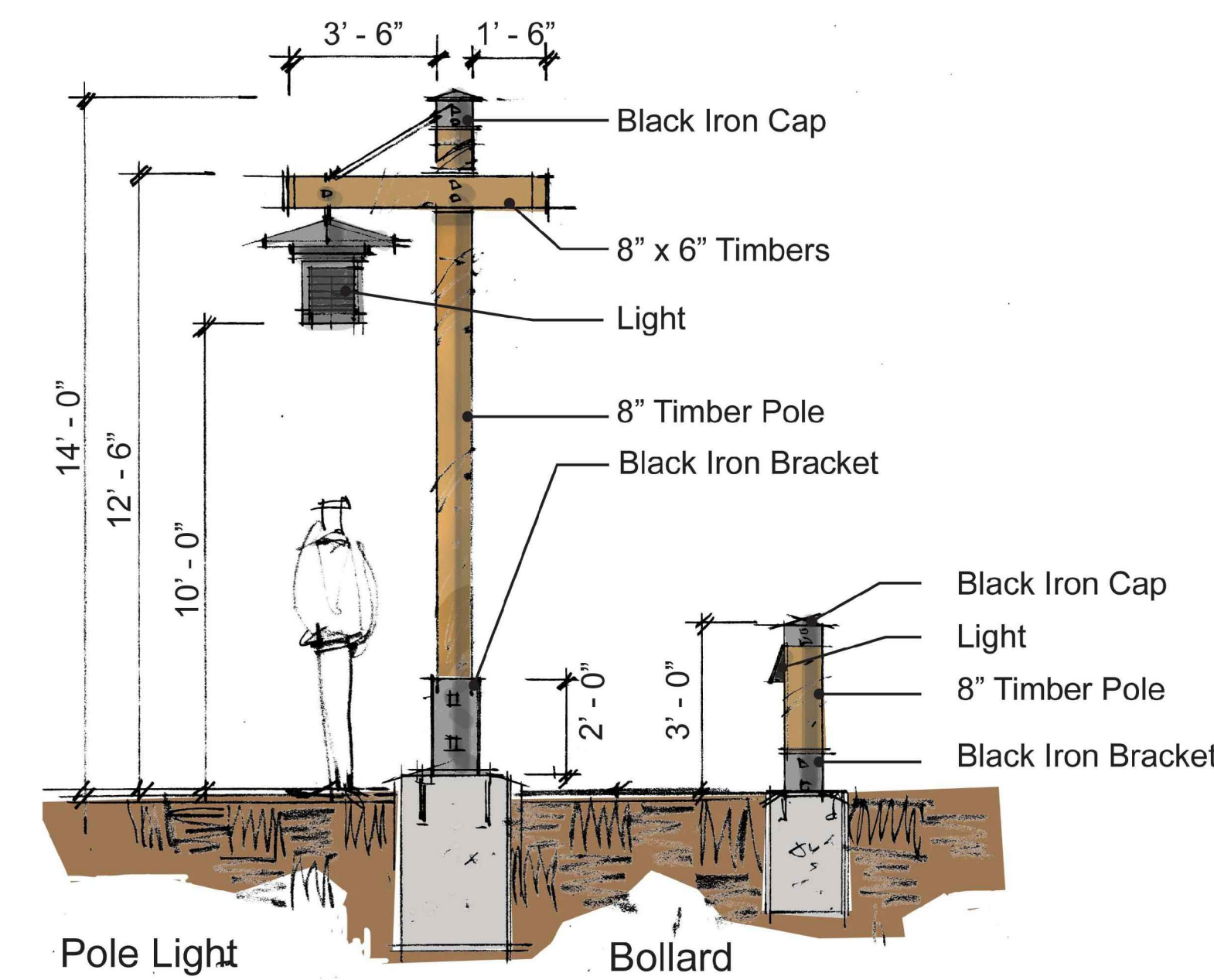
8" RIBBON CURB DETAIL



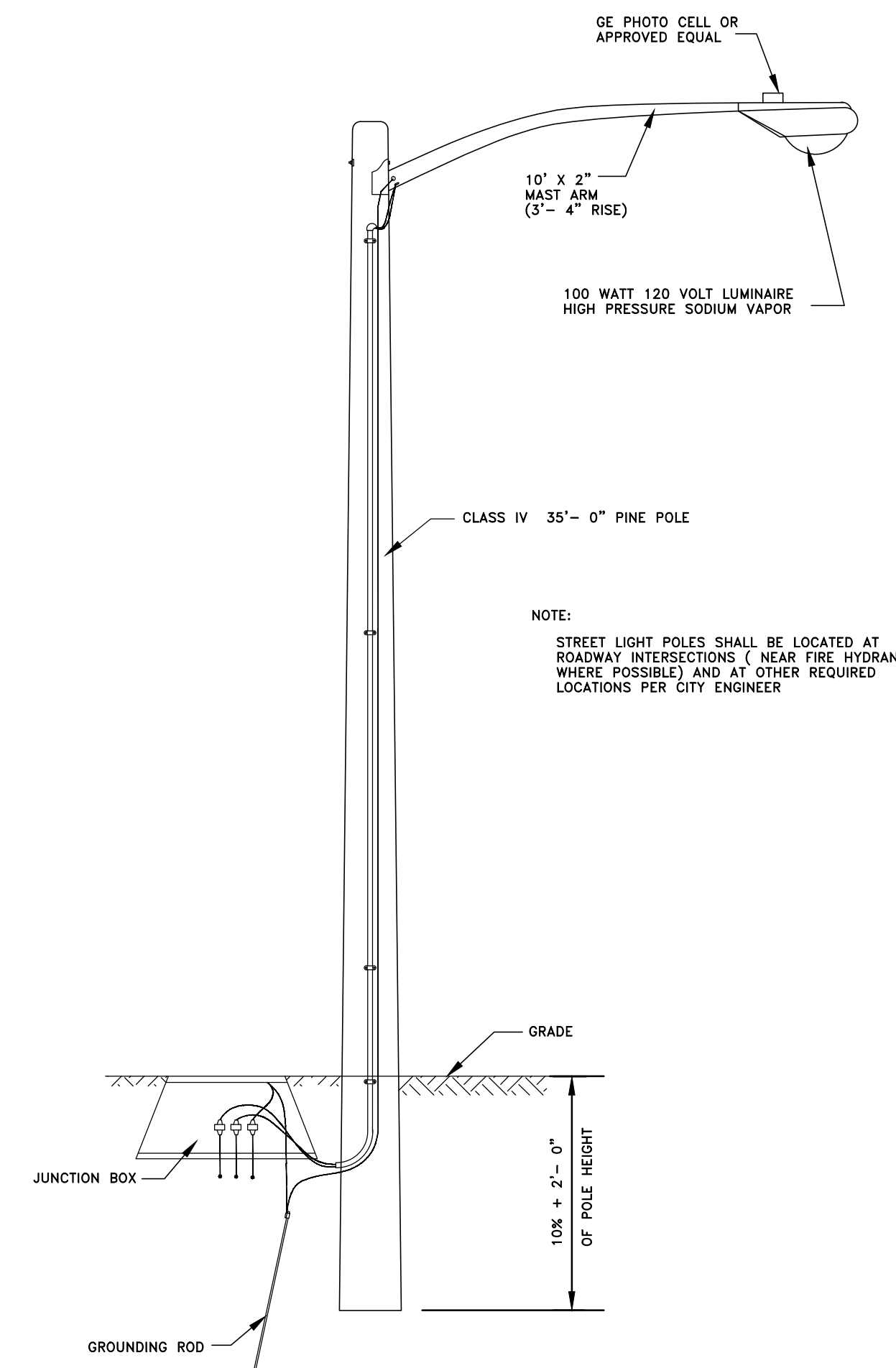
SEPTIC TANK & DRAIN FIELD STANDARD DETAILS



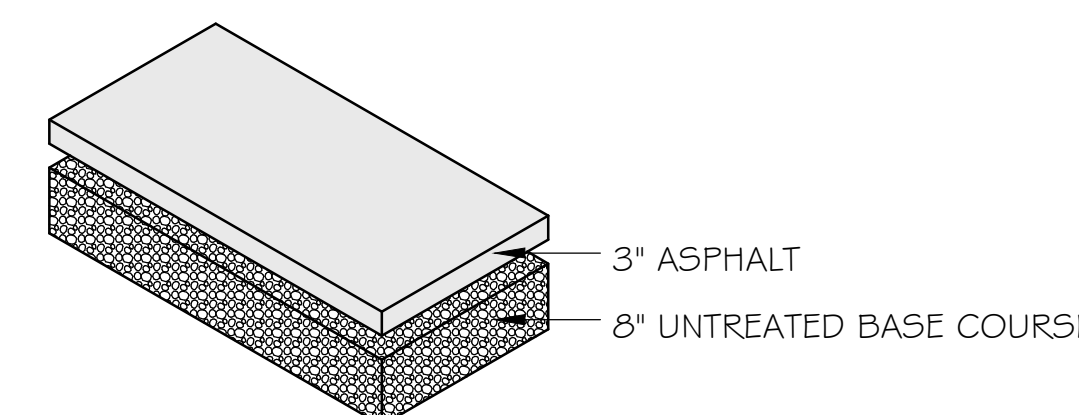
TYPICAL ROAD SECTION



DECORATIVE LIGHT DETAIL



STREET LIGHT POLE DETAIL



TYPICAL ON-SITE ASPHALT SECTION

NOTE: ALL CONSTRUCTION TO CONFORM TO WEBER COUNTY STANDARDS AND SPECIFICATIONS.

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WOP WOM LLC
EDEN CENTER
DETAILS
EDEN CITY, WEBER COUNTY, UTAH

Gardner Engineering
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
ALTERNATIVE ENERGY

5875 South Adams Ave. Parkway, Suite 200 • Ogden, UT 84405
• Phone (801) 476-0202 • Fax (801) 476-0066

5
5

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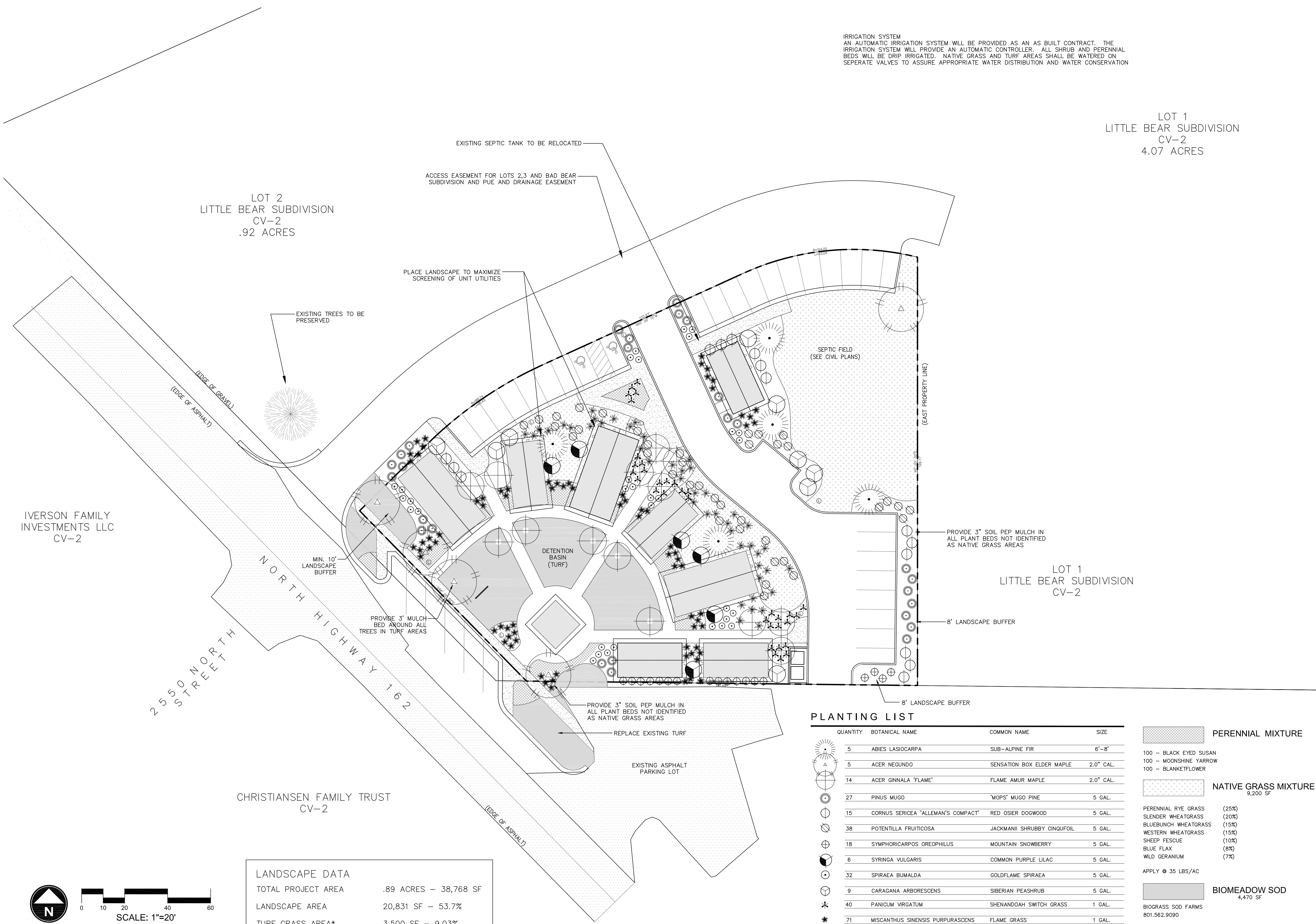
IRRIGATION SYSTEM
 AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED AS AN AS BUILT CONTRACT. THE IRRIGATION SYSTEM WILL PROVIDE AN AUTOMATIC CONTROLLER. ALL SHRUB AND PERENNIAL BEDS WILL BE DRIP IRRIGATED. NATIVE GRASS AND TURF AREAS SHALL BE WATERED ON SEPERATE VALVES TO ASSURE APPROPRIATE WATER DISTRIBUTION AND WATER CONSERVATION

LOT 1
 LITTLE BEAR SUBDIVISION
 CV-2
 4.07 ACRES

LOT 2
 LITTLE BEAR SUBDIVISION
 CV-2
 .92 ACRES

IVERSON FAMILY
 INVESTMENTS LLC
 CV-2

CHRISTIANSEN FAMILY TRUST
 CV-2



LANDSCAPE DATA

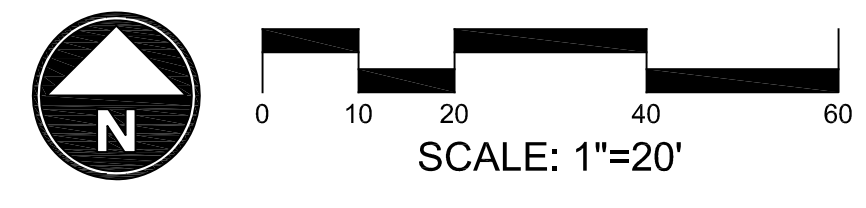
TOTAL PROJECT AREA	.89 ACRES - 38,768 SF
LANDSCAPE AREA	20,831 SF - 53.7%
TURF GRASS AREA*	3,500 SF - 9.03%

* Excludes turf outside of parcel boundary replaced or added to blend to adjacent parcels

PLANTING LIST

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
5	ABIES LASIOCARPA	SUB-ALPINE FIR	6"-8"
5	ACER NEGUNDO	SENSATION BOX ELDER MAPLE	2.0" CAL.
14	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	2.0" CAL.
27	PINUS MUGO	'MOPS' MUGO PINE	5 GAL.
15	CORNUS SERICEA 'ALLEMAN'S COMPACT'	RED OSIER DOGWOOD	5 GAL.
38	POTENTILLA FRUITICOSA	JACKMANII SHRUBBY CINQUFOIL	5 GAL.
18	SYMPHORICARPOS OREOPHILUS	MOUNTAIN SNOWBERRY	5 GAL.
6	SYRINGA VULGARIS	COMMON PURPLE LILAC	5 GAL.
32	SPIRAEA BUMALDA	GOLDFLAME SPIRAEA	5 GAL.
9	CARAGANA ARBORESCENS	SIBERIAN PEASHRUB	5 GAL.
40	PANICUM VIRGATUM	SHENANDOAH SWITCH GRASS	1 GAL.
71	MISCANTHUS SINENSIS PURPURASCENS	FLAME GRASS	1 GAL.
45	PEROVSKIA ATRIPLICIFOLIA	LITTLE SPIRE RUSSIAN SAGE	1 GAL.

- PERENNIAL MIXTURE**
- 100 - BLACK EYED SUSAN
 - 100 - MOONSHINE YARROW
 - 100 - BLANKETFLOWER
- NATIVE GRASS MIXTURE**
9,200 SF
- PERENNIAL RYE GRASS (25%)
 - SLENDER WHEATGRASS (20%)
 - BLUEBUNCH WHEATGRASS (15%)
 - WESTERN WHEATGRASS (15%)
 - SHEEP FESCUE (10%)
 - BLUE FLAX (8%)
 - WILD GERANIUM (7%)
- APPLY @ 35 LBS/AC
- BIOMEADOW SOD**
4,470 SF
- BIOGRASS SOD FARMS
801.562.9090



SCALE: 1" = 20'
 DATE: AUGUST 2012
 DESIGN: EL
 DRAWN: EL
 CHECKED:

REVISIONS	DESCRIPTION
DATE	

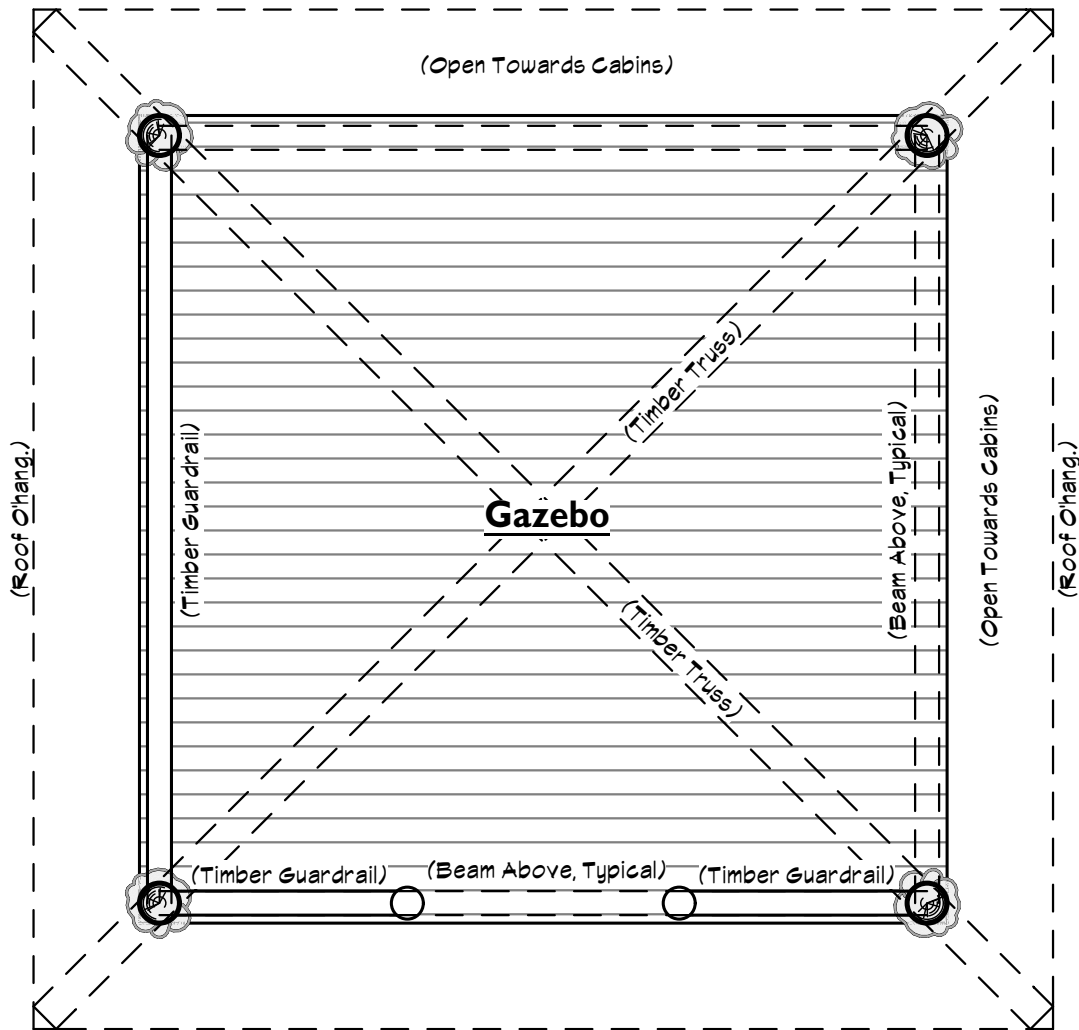
DWG:

WOP WOM LLC
 EDEN CENTER
 LANDSCAPE PLAN
 EDEN CITY, WEBER COUNTY, UTAH

PLANNING
 CIVIL ENGINEERING
 ALTERNATIVE ENERGY

Gardner Engineering

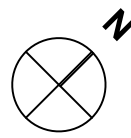
8875 South Adams Ave. Parkway, Suite 200 • Ogden, UT 84405
 Phone (801) 476-0202 • Fax (801) 476-0066



1

Gazebo Plan

SCALE: 1/4" = 1'-0"



Gazebo Elevation

EKMAN DESIGN STUDIO

A R C H I T E C T U R E

STUDIO: 303.730.2757 FAX: 303.730.2774 WEB: www.ekmandesign.com
550 EAST 8TH AVENUE DENVER, CO 80203

Eden Center Project

A New Development for Eric Smith

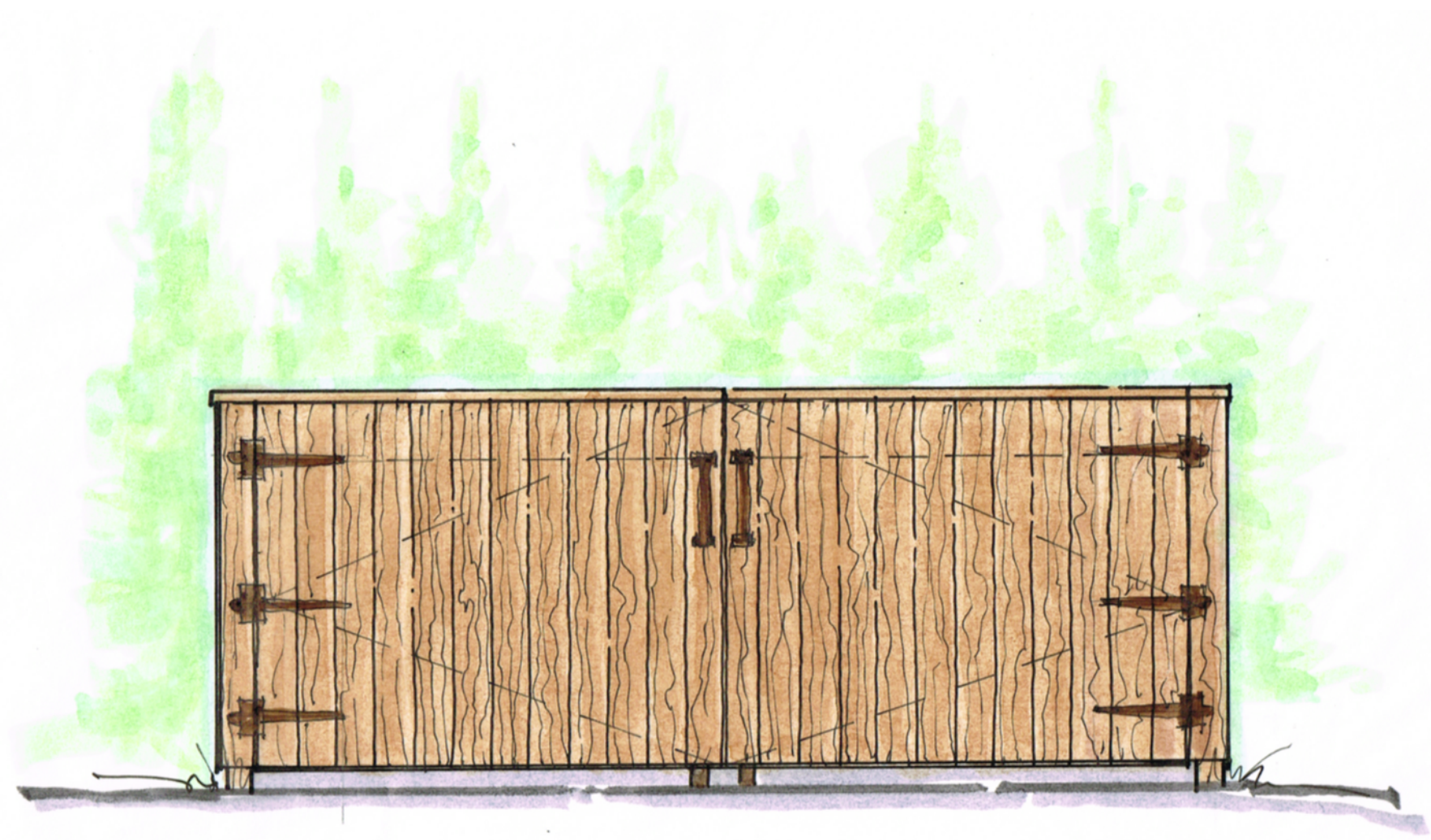
Eden, UT 84310

SHEET:

A-7

DATE: 9/29/11

Trash Enclosure



SHEET:

A-9

DATE: 9/30/11

Eden Center Project

A New Development for Eric Smith
Eden, UT 84310

EKMAN DESIGN STUDIO

A R C H I T E C T U R E

STUDIO: 303.730.2757 FAX: 303.730.2774 WEB: www.ekmandesign.com
550 EAST 8TH AVENUE DENVER, CO 80203