



Staff Report for Administrative Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a conditional use permit amendment for a culinary water pump station for Uintah Highlands Water and Sewer Improvement District.

Type of Decision: Administrative

Applicant: Uintah Highlands Water and Sewer Improvement District

Authorized Agent: Blaine Brough

File Number: CUP# 2017-10

Property Information

Approximate Address: 5614 E Shadow Mtn Lane

Project Area: 0.38 acres

Zoning: R-1-10

Existing Land Use: Water tank

Proposed Land Use: Water tank and pump station

Parcel ID: 07-086-0041

Township, Range, Section: Township 5 North, Range 1 West, Section 23

Adjacent Land Use

North: Residential	South: Residential
East: Residential	West: Residential

Staff Information

Report Presenter: Steve Burton
sburton@co.weber.ut.us
801-399-8766

Report Reviewer: RK

Applicable Ordinances

- Title 101, Chapter 1, General Provisions, Section 7, Definitions
- Title 104, Chapter 12 Single Family Residential Zone (R-1-10)
- Title 108, Chapter 1 Design Review
- Title 108, Chapter 4 Conditional Uses
- Title 108, Chapter 10 Public Buildings and Public Utility Substations and Structures

Summary and Background

The applicant is requesting approval of a conditional use permit amendment to construct a culinary water pump station to pump water from the existing on site water tank. The project area is approximately 0.38 acres and is located at approximately 5614 E Shadow Mountain Lane, Ogden. The proposed pump station building will be a 14' x 24' brick building with a metal roof. The property lies in the Single Family Residential (R-1-10) zone which allows "Public utility substations" when authorized by a conditional use permit.

Conditional use permits should be approved as long as any harmful impact is mitigated. The Uniform Land Use Code of Weber County, Utah (LUC) already specifies certain standards necessary for mitigation of harmful impact to which the proposal must adhere. The proposed application appears to meet these standards. The following is staff's evaluation of the request.

Analysis

General Plan: The proposed use conforms to the West Central Weber County General Plan by improving culinary water availability in the area.

Zoning: The subject property is located within the Single Family Residential (R-1-10) Zone. The intent of the Single Family Residential Zones can be further described in LUC §104-12-1 as follows:

The purpose of the R-1-12, R-1-10 Zone classification is to provide regulated areas for single-family residential use at two different low-density levels.

The R-1-10 Zone has specific standards identified in the LUC §104-12-4 that shall be met as part of the development process. The applicable standards are as follows:

- Minimum yard setbacks:
 - Front: 20'
 - Side: 10' with total width not less than 24'
 - Rear: 20'
- Minimum lot area: 10,000 sq. feet
- Minimum lot width: 80 feet
- Main Building height:
 - Maximum: 35'
 - Accessory building height:
 - Maximum: 25', unless meeting requirements of LUC §108-7-16, Large accessory buildings

The proposed use is conditionally allowed in the R-1-10 Zone and has been reviewed as a "Public utility substation". The location and arrangement of public utility substations and structures must be in accordance with construction plans submitted to and approved by the Planning Director. The minimum lot area for all public utility substations per LUC §108-10-2 is waived and the rear yard requirements may be reduced in the residential zones to 5' per LUC §108-10-2 (4). The existing and proposed structures are in compliance with the above mentioned site development standards.

Conditional Use Review: A review process has been outlined in LUC §108-4-3 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects. Prior to commencing work, Uintah Highlands Water and Sewer Improvement District will need to receive approval from the applicable agencies for the proposal. A condition has been made part of the Planning Division's recommendations to ensure that this standard is met.

Design Review: The proposed conditional use mandates a design review as outlined in LUC §108-1 to ensure that the general design, layout and appearance of the building remains orderly and harmonious with the surrounding neighborhood. Certain areas of the design review are only applicable due to the nature of the request. As part of this review, the Planning Director shall consider the applicable matters based on the proposed conditional use and impose conditions to mitigate deficiencies where the plan is found deficient. The matters for consideration are as follows:

- *Considerations relating to traffic safety and traffic congestion.* As part of this consideration, the applicant has provided a site plan (see Exhibit B). The proposal is not considered large scale construction; therefore considerable traffic congestion or delay is not anticipated. Per the County Engineering Division, the contractor will be responsible to guarantee site materials are not tracked onto the County roadways. A condition of approval has been added to the staff recommendation to ensure the contractor cleans all equipment prior to exiting the site and sweeps the County roadway as needed, removing any material tracked from the site onto the asphalt, in order to provide safe vehicular traffic along County roads. A 20' wide utility easement is shown on lots 14 and 15 of Shadow Mountain Estates Subdivision, located in Ogden City, for Uintah Highlands Water and Sewer Improvement District to access the subject parcel.
- *Considerations relating to landscaping.* 10% of the project area consists of existing deciduous trees toward the east property line. The applicant will be required to submit a landscaping maintenance plan, prior to issuance of the conditional use permit, to ensure that the project area remains free from weeds, as stated in LUC §108-2-5(i). This standard has been included in the staff recommendation as a condition of approval.
- *Considerations relating to buildings and site layout.* The proposed pump station building will be a 14' x 24' brick building with a metal roof. The building will include 3' x 7' metal double doors for access inside the building. The building height will be 16' 3" from finished grade. Approximately 6' of the proposed building will be located on top of the existing 500,000 gallon water tank, as shown on the site and building plans.
- *Considerations relating to utility easements, drainage, and other engineering questions.* The applicant will need to adhere to all conditions of the Engineering Division including but not limited to storm water and surface water drainage, retention facilities, and site clean-up of the property. A condition has been made part of the Planning Division's recommendations to ensure that this standard is met.

- *Considerations relating to prior development concept plan approval associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval. The proposed site does not have any type of development agreement associated with the property; therefore considerations pertaining to this portion of the code are not applicable at this time.*

Review Agencies: Prior to the commencement of work, the applicant will need to receive the approval from all applicable agencies for the water system improvements. A condition has been made part of the Planning Division’s recommendations to ensure that all conditions of the review agencies will be met.

Summary of Planning Director Considerations

LUC §108-4-3(2)(7) states the following:

De minimis revisions to a previously approved conditional use permit may be approved by the planning director provided it can be determined that the changes are slight, inconsequential, and not in violation of any substantive provision of this Code. The planning director's written approval of a de minimis revision shall be appended to the written decision of the planning commission. Revisions that are de minimis shall not require public notice.

Staff Recommendation

Staff recommends approval of file# CUP 2017-10, a conditional use permit for a culinary water pumping plant, located at approximately 5614 E Shadow Mtn Lane. This recommendation for approval is subject to all review agency requirements and with the following conditions:

1. Prior to commencing work, Uintah Highlands Water and Sewer Improvement District will need to receive the approval from the applicable agencies for the pumping facility, including all permits outlined in the Engineering Division's review.
2. All equipment leaving the site will be cleaned prior to entering the County right-of-way and the contractor will be responsible for sweeping the County roadway, as needed, removing any material tracked from the site onto the asphalt, in order to provide safe vehicular traffic along the County right-of-way.
3. The applicant will be required to repair damage to the utility easements as necessary following construction, as stated on sheet C-11 of the submitted building plans.
4. All State, Federal, and County standards will be met prior to commencement of construction including receiving any applicable permits from the State for the proposed pump station.
5. The applicant will be required to submit a landscaping maintenance plan, prior to issuance of the conditional use permit, to ensure that the project area remains free from weeds, as stated in LUC §108-2-5(i).

This recommendation is based on the following findings:

1. The project is considered a de minimis revision to a previously approved conditional use permit.
2. The proposed use conforms to the West Central Weber County General Plan.
3. The proposed use will provide the needed water sources to meet the demands of the Western Weber area.
4. The proposed use, if conditions are imposed, will not be detrimental to public health, safety, or welfare.
5. The proposed use, if conditions are imposed, will comply with applicable County ordinances.
6. The proposed use will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

Administrative Approval

Administrative approval of the culinary water pump station for Uintah Highlands Water and Sewer Improvement District is hereby granted based upon its compliance with the Weber County Land Use Code.

Date of Administrative Approval: 8/15/17


 Rick Grover
 Weber County Planning Director

Exhibits

- A. Application
- B. Site and Building Plan

Map 1



Weber County Conditional Use Permit Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed 06/19/2017	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
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Property Owner Contact Information

Name of Property Owner(s) Uintah Highlands Water and Sewer Improvement District		Mailing Address of Property Owner(s) 2401 E 6175 S Ogden, UT 84403	
Phone 801-476-9045	Fax		
Email Address (required) uhid1@qwestoffice.net		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	

Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s) Blaine Brough		Mailing Address of Authorized Person 2401 E 6175 S Ogden, UT 84403	
Phone (801) 476-9045	Fax		
Email Address uhid1@qwestoffice.net		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input checked="" type="checkbox"/> Mail	

Property Information

Project Name Reservoir #4 Pump Station	Total Acreage 0.39	Current Zoning R-1-10
Approximate Address 5614 E Shadow Mtn Lane Ogden, UT 84403	Land Serial Number(s) 07-086-0041	

Proposed Use Culinary water pump station located on site of existing water tank.

<p>Project Narrative</p> <p>The purpose of the project is to construct a culinary water pump station that will be able to pump water from the existing water tank in the system's lower pressure zone to the upper zone. The new building dimensions are 12.5' x 22' (inside dimensions) and will be a block building with a framed roof system with metal roof panels. The building will be constructed on property owned by the District which currently has a water tank located on it. Construction is anticipated to begin in August 2017 and be completed by November 2017. The District owns an access easement to access the site for maintenance of its facilities. The work includes some site work including grading of an access road on the site to the building location and installation of electrical conduit. Project drawings are attached to this application. The site is currently secured with a 6' tall security fence and part of that fence will be removed and replaced in the same location at the end of construction.</p>

Basis for Issuance of Conditional Use Permit

Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise.

During construction possible detrimental effects could include construction noise and dust/sediment from construction activities. The Contractor will be required to work within approved working hours and will also be required to implement dust control practices and other best management practices to mitigate the risk of dust or sediment runoff.

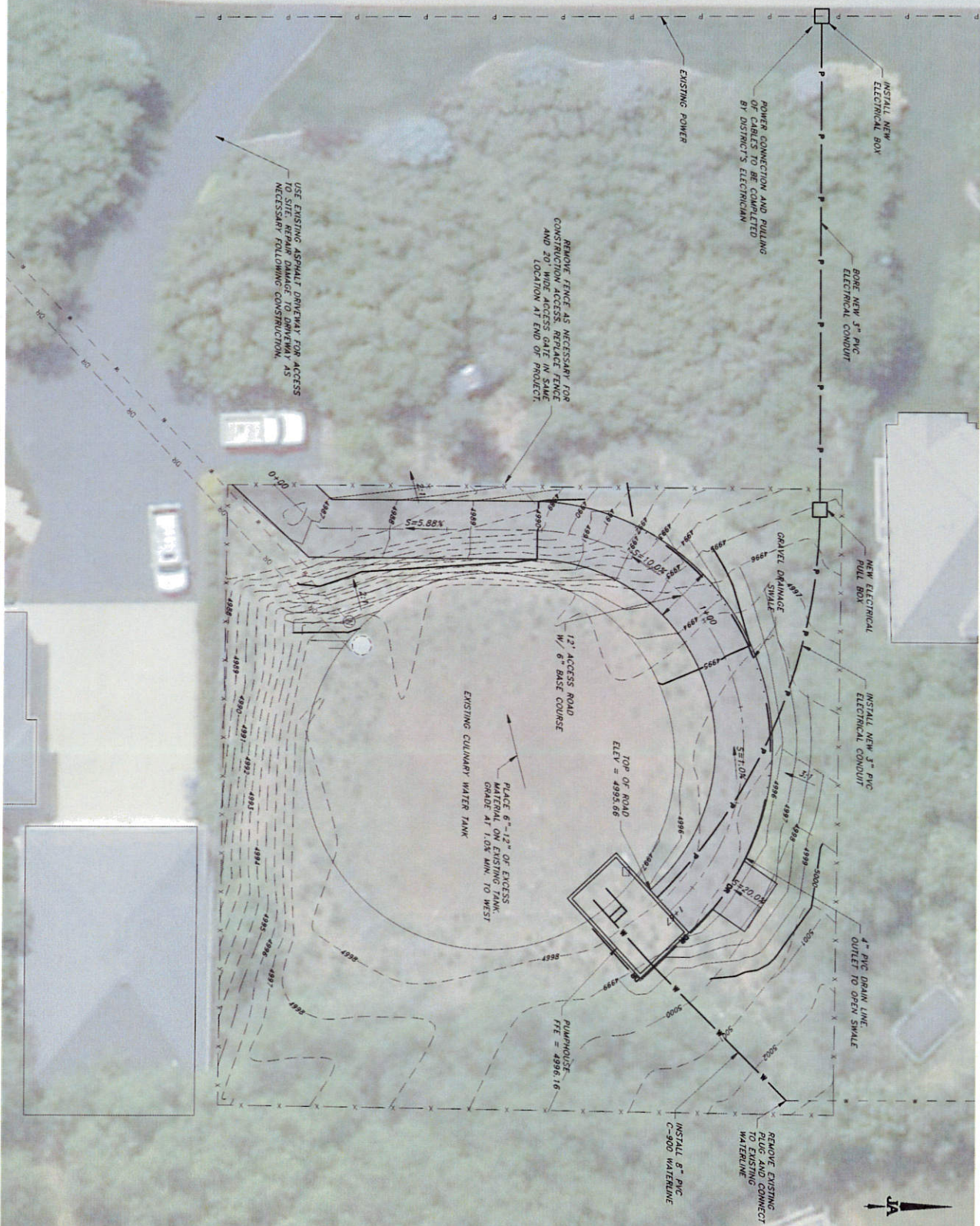
After construction, noise from pump operation will be mitigated. When the pump is being used it will only run for approximately 3 hours per day. New pumps with variable frequency drives for the motors will help mitigate the noise as the pumps will start slowly to reduce noise and eliminate the possibility of "water hammer" which causes noise. The block building will also be insulated to help mitigate noise from the pump.

That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.

The building would be considered a public utility substation which is permitted when authorized by a conditional use permit. The building could also be considered an accessory building to the use of the main building on the site which is the water tank. Accessory buildings are permitted in the R-1-10 zone.

All state and local regulations will be met and the project will not change the existing use of the site. In addition to this permit, an application has been submitted to the State Division of Drinking Water for approval.

SHADOW MOUNTAIN DRIVE



SCALE: 24' x 36' 1/4" = 10' 11' x 17' 1/4" = 20'	MLR DESIGNED		
	THE DRAIN		
	MLR CHECKED		
	REV. DATE APPR.		

UTAH HIGHLANDS IMPROVEMENT DISTRICT
 RESERVOIR #4 PUMP STATION
SITE PLAN

J&A CONSULTING ENGINEERS
 JONES & ASSOCIATES
 1716 East 5600 South
 South Ogden, Utah 84403
 ph - (801) 476-9767 fx - (801)476-9768

C-11
SHEET:
OF 1 SHEETS

MATERIALS LEGEND:

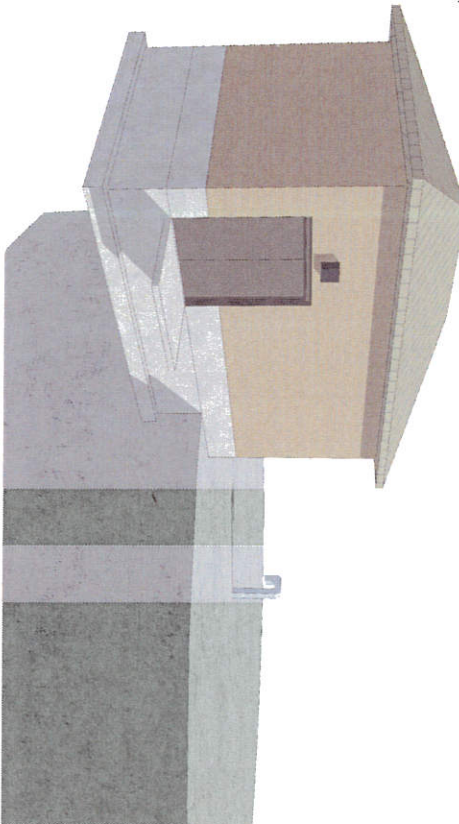
GYPSUM BOARD	
CMU WALL	
CONCRETE	
STEEL	
RIGID INSULATION	
BATT INSULATION	
SOIL	
GRAVEL	
PLYWOOD	
WOOD BLOCKING	
HARD WOOD	
ROOF INSULATION	
FACE BRICK	
ACOUSTICAL CEILING	
EXISTING WALL	
STUD WALL	
PROTECTION BOARD	
FABRIC	

DRAWING SYMBOLS:

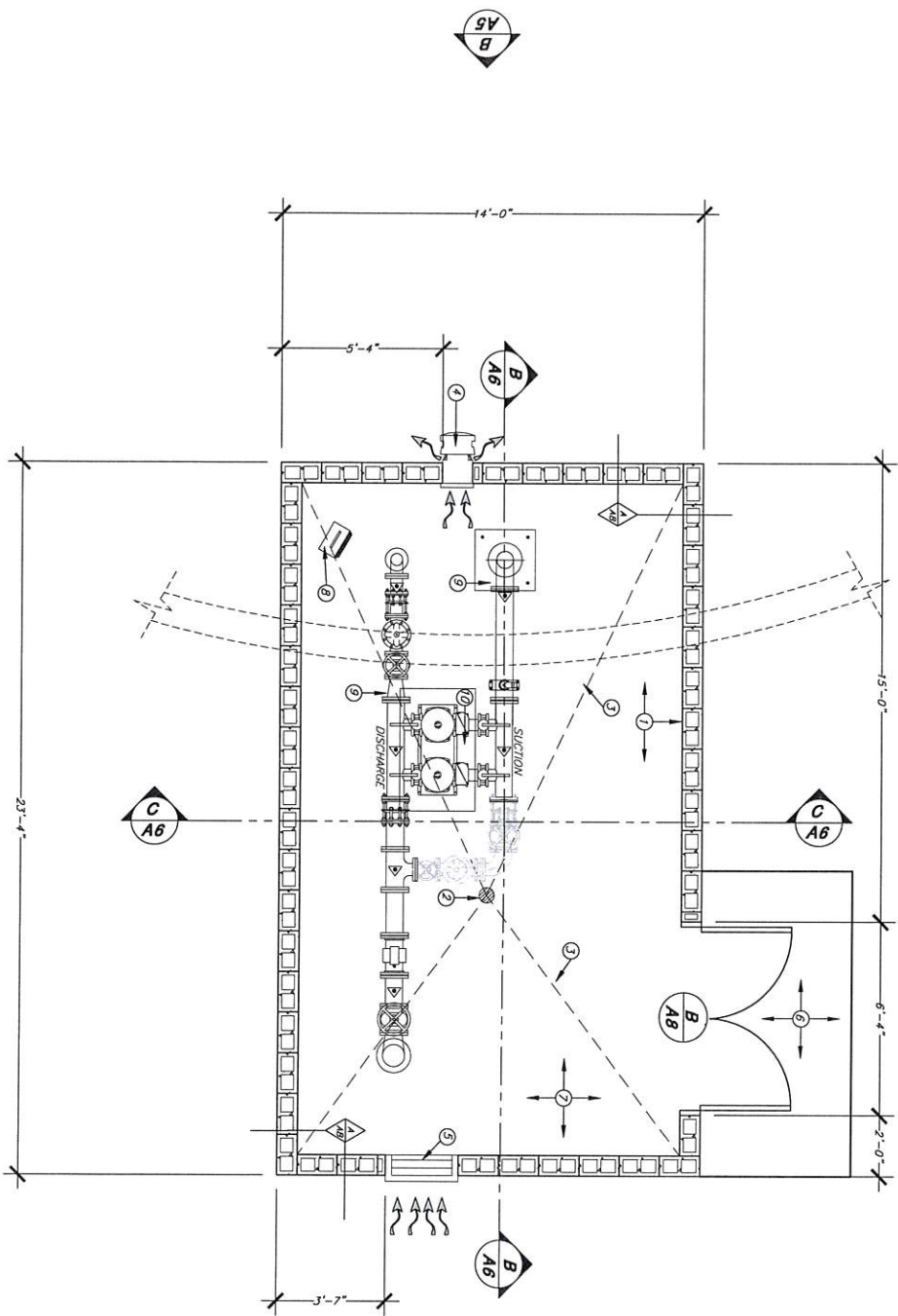
BUILDING SECTION MARK	
WALL SECTION MARK	
ELEVATION MARK	
DETAIL REFERENCE MARK	
PLAN REFERENCE MARK	
DOOR MARK	
WINDOW MARK	
ROOM TITLE	
MATCH LINE	
PLAN NOTE	
DEMOLITION NOTE	
ELEVATION DATUM	
WALL PARTITION TYPE	
REVISION MARK & CLOUD	
NORTH ARROW	
CEILING TAG	

ABBREVIATIONS:

A.C.	ARCHITECTURAL CONCRETE	H.M.	HOLLOW METAL	T.B.	TRACK BOARD
A.F.F.	ABOVE FINISH FLOOR	I.D.	INSIDE DIAMETER	T.O.	TOP OF
ALT.	ALTERNATE	J.T.	JOINT	TYP.	TYPICAL
BLKG.	BLOCKING	L.V.	LATHING	U.L.	UNLESS NOTED OTHERWISE
B.M.	BEAM	M.B.	MANUFACTURED	U.L.O.	UNLESS NOTED OTHERWISE
B.O.	BOTTOM OF	M.F.O.	MANUFACTURER	W.C.	WATER CLOSET
B.C.	BOTTOM OF CENTER	M.H.	MANHOLE	W.P.	WORKING POINT
C.C.	CENTER OF CENTER	M.I.	MANHOLE	W/	WITH
CMU.	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE		
CONC.	CONCRETE	O.C.	ON CENTER		
D.F.	DRINKING FOUNTAIN				
D.M.	DIMENSION				
D.S.	DOWNSPOUT				
ELEV.	ELEVATION				
EQ.	EQUAL				
EXIST.	EXISTING				
F.D.	FLOOR DRAIN				
F.E.	FIRE EXTINGUISHER				
F.E.C.	FIRE EXTINGUISHER CABINET				
F.F.	FINISH				
F.L.R.	FLOOR				
F.L.R.	FLOOR				
F.F.O.M.	FACE OF WALL				
F.S.	FLOOR SINK				
F.V.	FIELD VERIFY				
G.A.	GALVANIZED				
G.A.L.	GALVANIZED				
G.R.	GRANITE				
G.P.	GYPSUM BOARD				
H.P.	HANDICAP ACCESSIBLE FOUNTAIN				
H.T.	HEIGHT				
R.F.	REVERSE				
R.D.	ROUGH IN AND CONNECT				
R.L.C.	ROUGH IN AND CONNECT				
R.O.	ROUGH IN AND CONNECT				
R.S.	ROUGH IN AND CONNECT				
R.V.	ROUGH IN AND CONNECT				
S.M.	SHEET				
S.M.	SHEET				
S.P.E.C.	SPECIFICATIONS				
S.T.L.	STEEL				
S.T.R.U.C.T.	STRUCTURAL				
S.U.S.P.	SUSPENDED				



SCALE:		SHEET: A-1 OF 1 SHEETS	
DESIGNED	SLS	DATE	DESCRIPTION
DRAWN	SLS		
CHECKED			
UTAH HIGHLANDS WATER & SEWER IMPROVEMENT DISTRICT RESERVOIR #4 PUMP STATION GENERAL INFORMATION			
		CONSULTING ENGINEERS 1716 East 5600 South South Ogden, Utah 84403 ph - (801) 476-9767 fx - (801)476-9768	



FLOOR PLAN
SCALE: 1"=4'

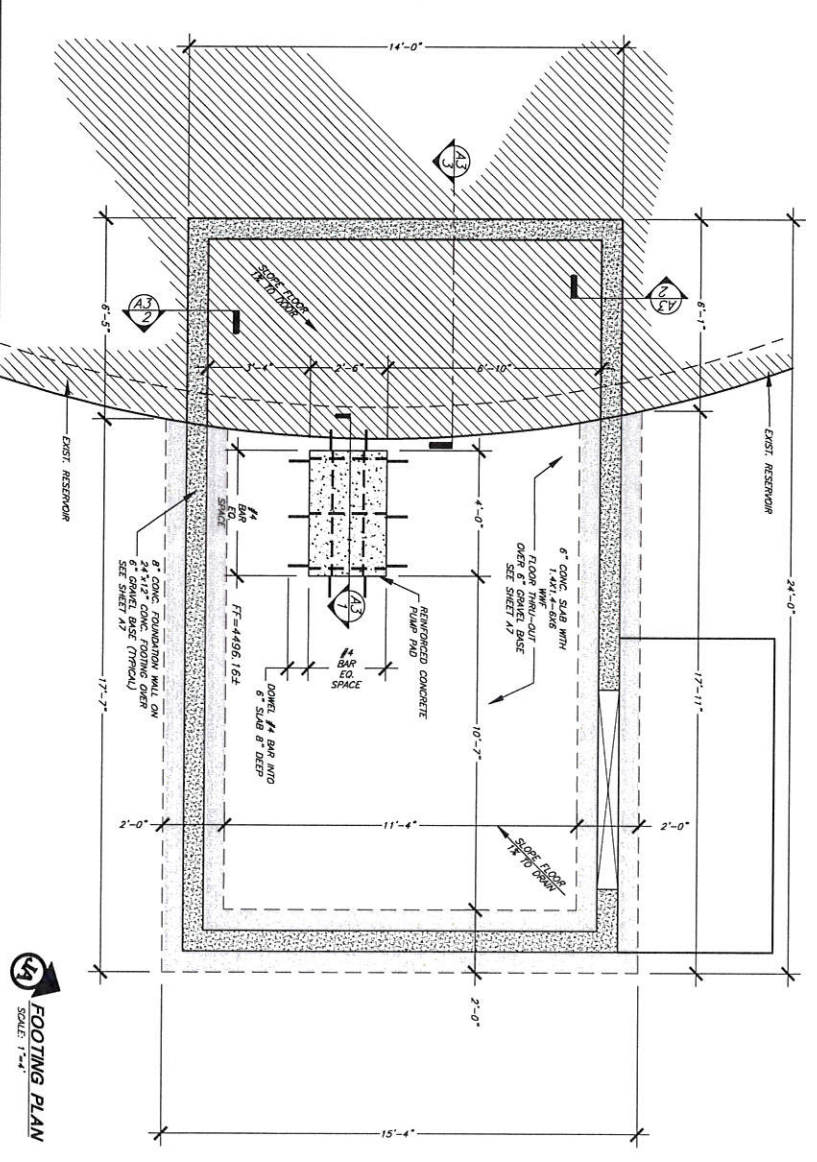
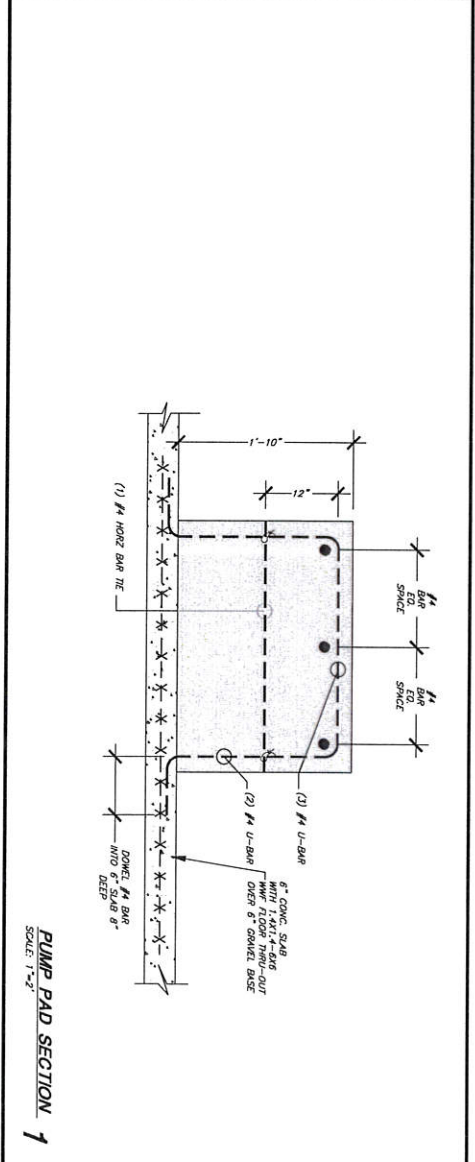
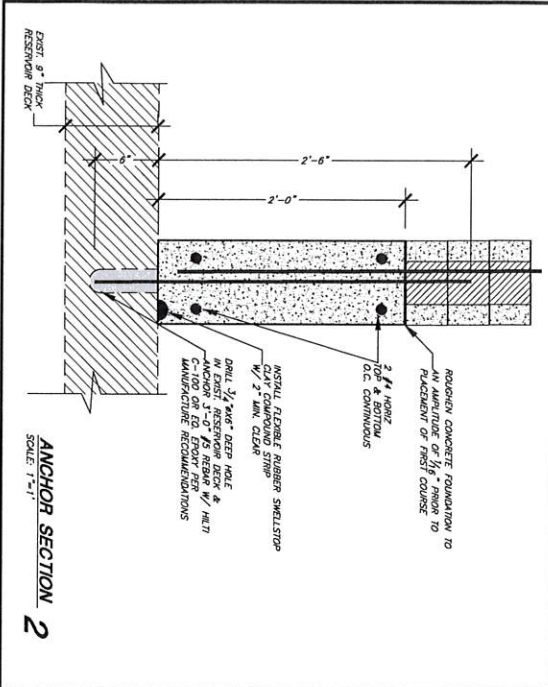
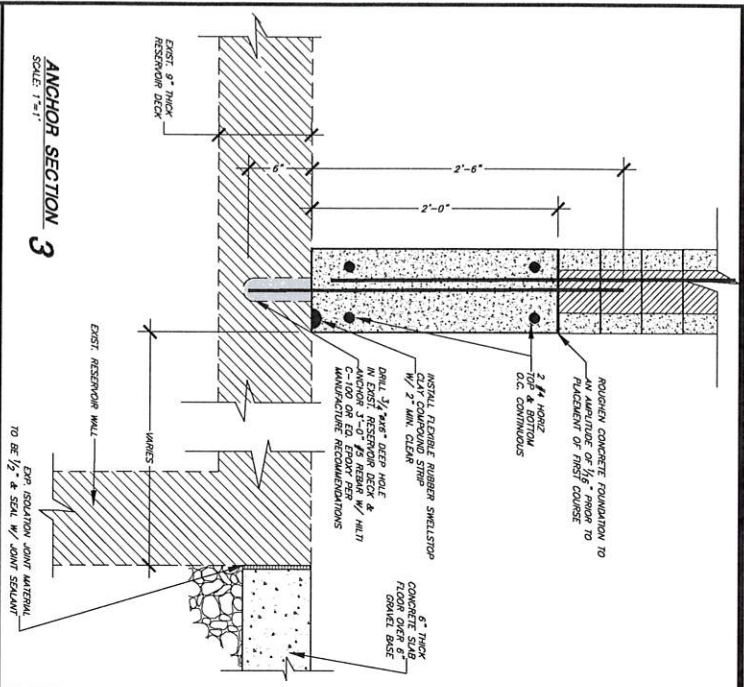
- KEY NOTES:**
- 1.-ELECTRICAL AND SCADA PANEL AREA - (BY OTHERS)
 - 2.-FLOOR DRAIN
 - 3.-SLOPE FLOOR 1%
 - 4.-1200 CFM EXHAUST FAN SYSTEM (BY OTHERS)
 - 5.-MOTORIZED LOUVER TYPE (BY OTHERS)
 - 6.-6" THICK CONCRETE LANDING (SEE SHEET A3)
 - 7.-FLOOR TO BE EXPOSED (CONC'D) (TYP.)
 - 8.-RICHING UNIT (SEE SHEET W1) (BY OTHERS)
 - 9.-MECHANICAL PIPING LAYOUT (SEE SHEETS W1) (BY OTHERS)
 - 10.-PUMPS (SEE SHEETS W1) (BY OTHERS)

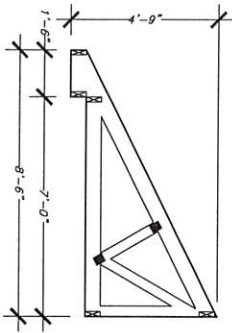
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DATE	REVISION

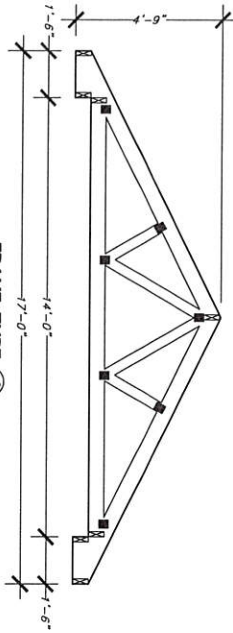
UNTAH HIGHLANDS WATER & SEWER IMPROVEMENT DISTRICT
RESERVOIR #4 PUMP STATION
FLOOR PLAN


JONES & ASSOCIATES
 CONSULTING ENGINEERS
 1716 East 5600 South
 South Ogden, Utah 84403
 ph - (801) 476-9767 fx - (801)476-9768



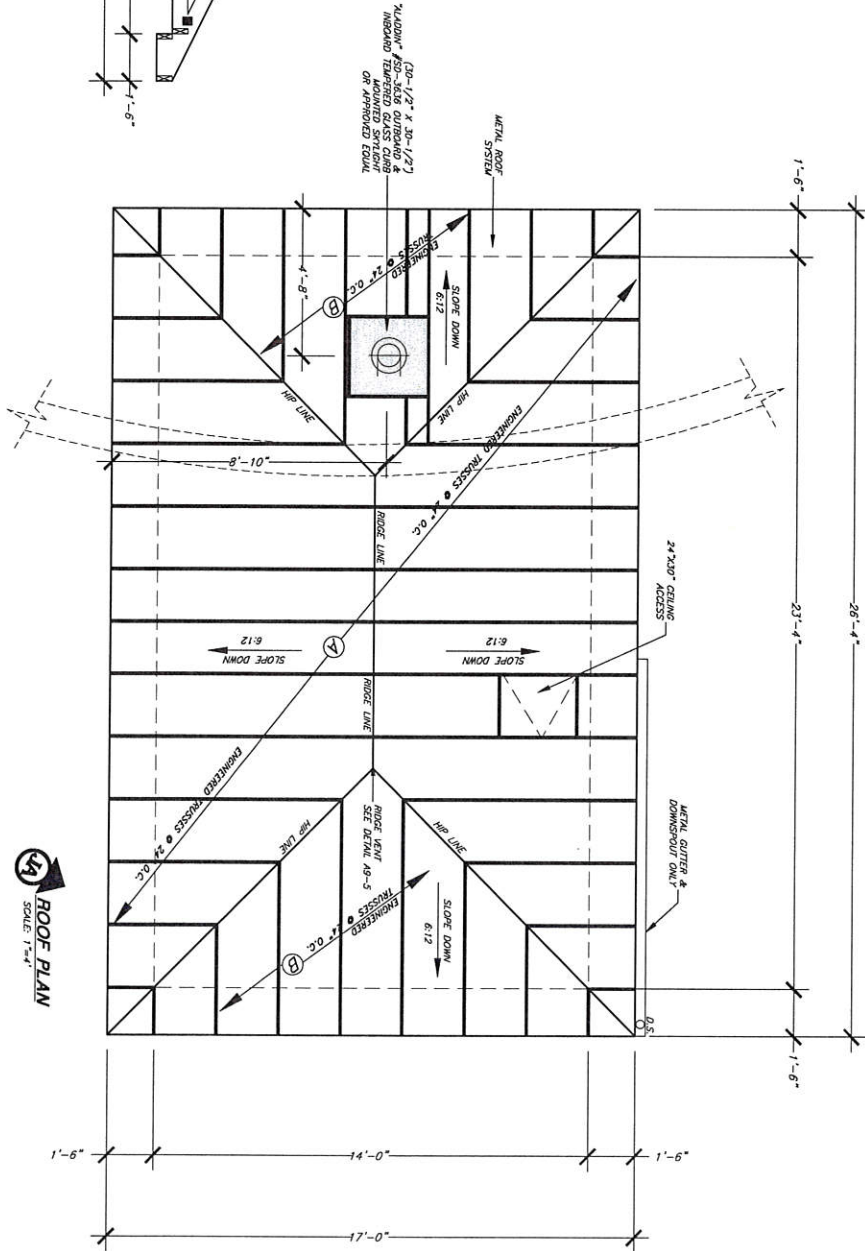


FRAME TYPE **B**



FRAME TYPE **A**

- NOTES:
1. DOWNSPOUTS (ETC.) SHALL BE AS CALLED.
 2. ROOF FRAMING SHALL BE CLASSIC HIB TYPE.
 3. OWNERS FOR SELECTION.



ROOF PLAN
SCALE: 1/4" = 1'-0"

SHEET: **A-4**
OF 1 SHEETS

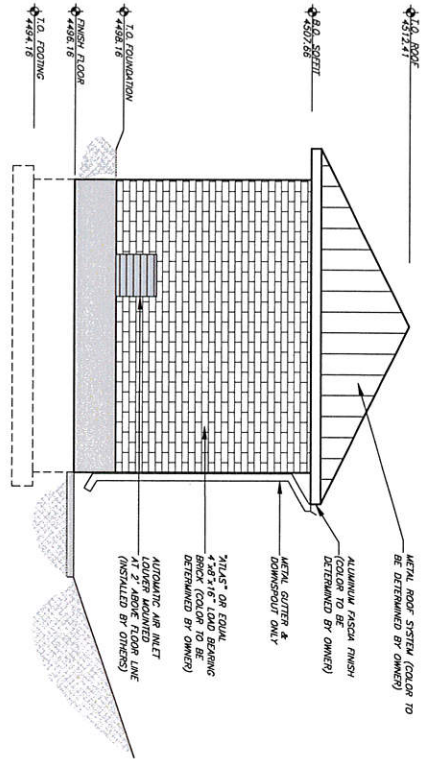
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	DRAWN
11' x 17'	CHECKED
AS-SHOWN	

DATE	REVISION

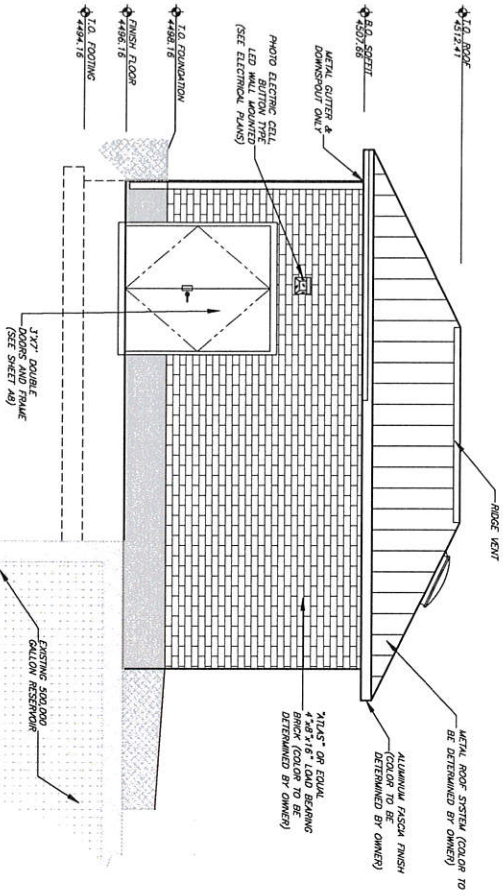
UNTAH HIGHLANDS WATER & SEWER IMPROVEMENT DISTRICT
RESERVOIR #4 PUMP STATION
ROOF PLAN

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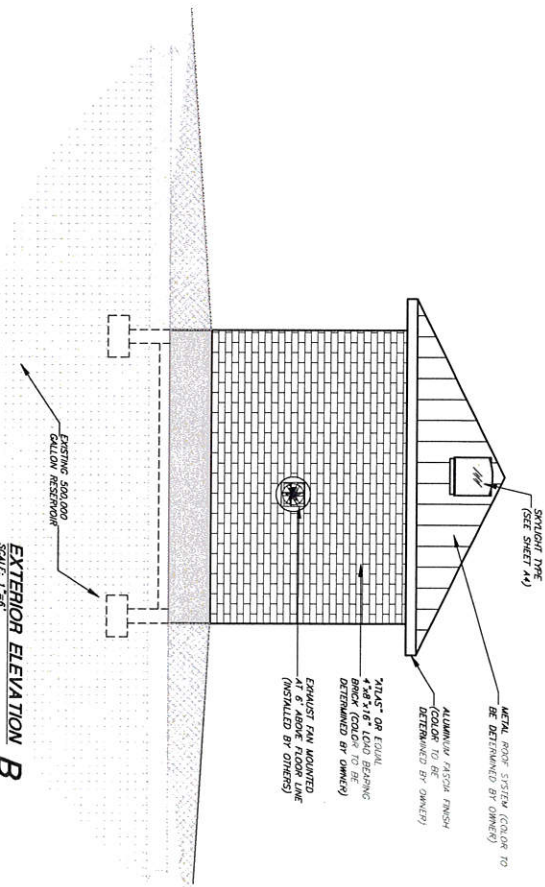
ALL STRUCTURAL CONSTRUCTION SHALL COMPLY WITH UTAH STATE BUILDING CODES & SHALL BE CONSISTENT WITH COMMON CONSTRUCTION PRACTICES OF THE TRADES.
 7/12S" BRICK COLOR TO BE SELECTED BY DISTRICT.



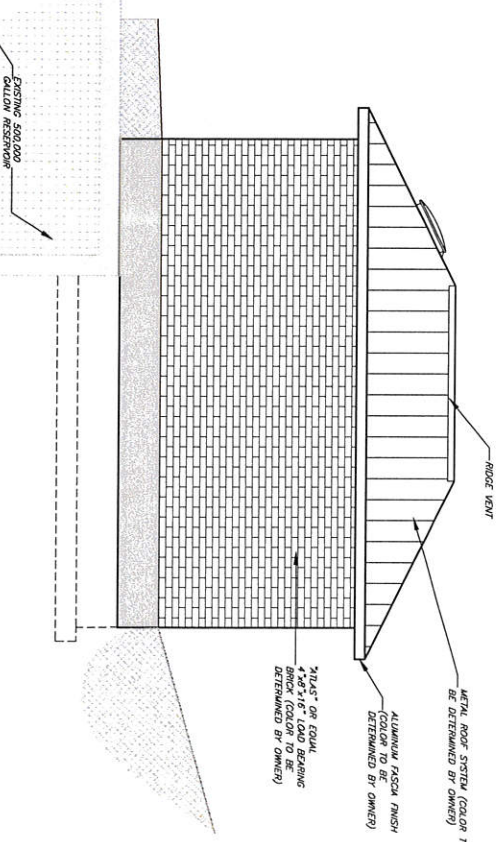
EXTERIOR ELEVATION D
 SCALE: 1" = 8'



EXTERIOR ELEVATION C
 SCALE: 1" = 8'



EXTERIOR ELEVATION B
 SCALE: 1" = 8'



EXTERIOR ELEVATION A
 SCALE: 1" = 8'

UNTAH HIGHLANDS WATER & SEWER IMPROVEMENT DISTRICT
 RESERVOIR #4 PUMP STATION

EXTERIOR ELEVATIONS

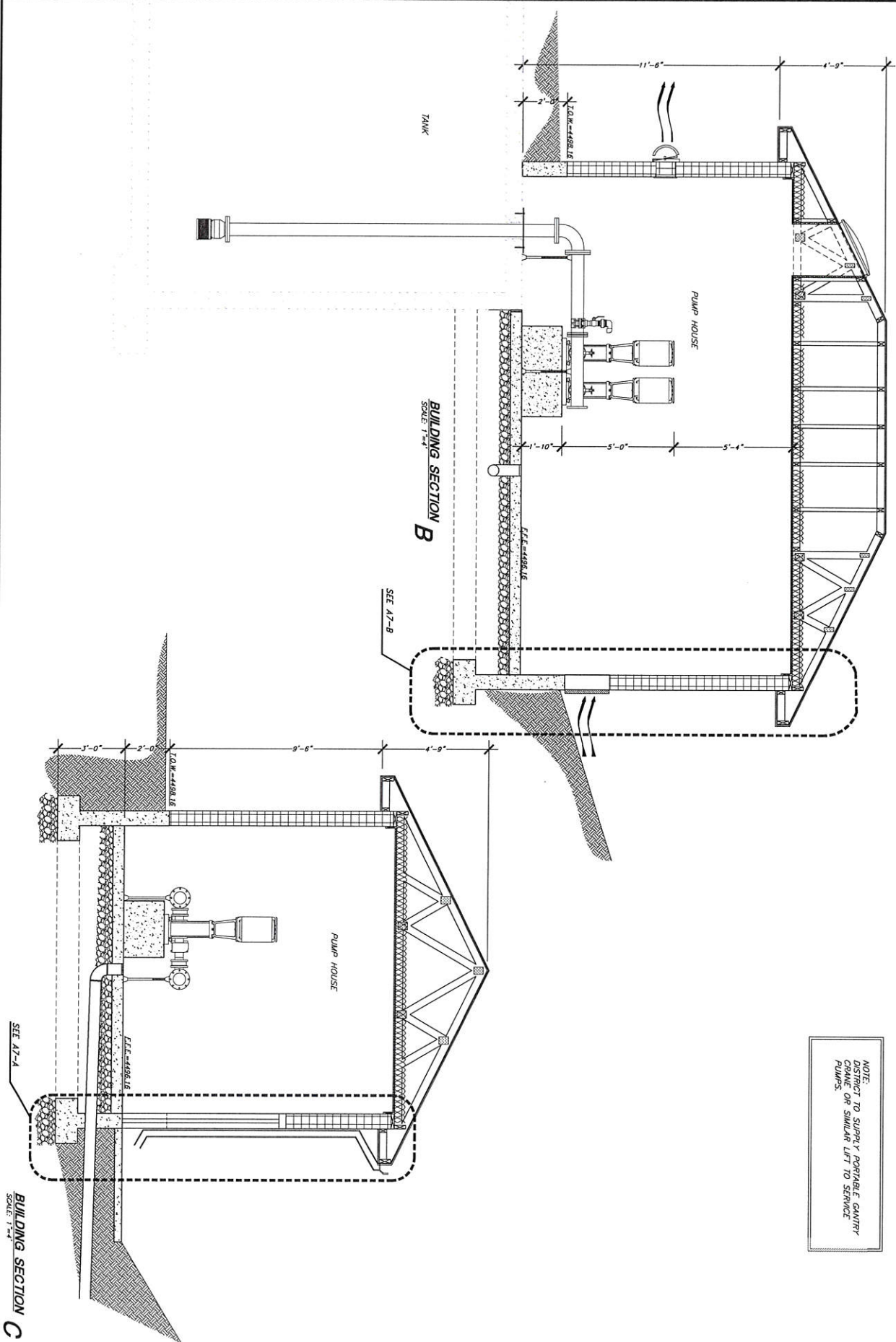
JONES & ASSOCIATES CONSULTING ENGINEERS
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 ph - (801) 476-9767 fx - (801)476-9768

DATE	REVISION

SCALE:
 24" x 36" AS-SHOWN
 11" x 17" AS-SHOWN

SHEET: **A-5** OF 1 SHEET

SLS DESIGNED
 SLS DRAWN
 DQS CHECKED



NOTE:
DISTRICT TO SUPPLY PORTABLE CANTYRY
PUMPS OR SIMILAR LIFT TO SERVICE

BUILDING SECTION C
SCALE: 1" = 4'

BUILDING SECTION B
SCALE: 1" = 4'

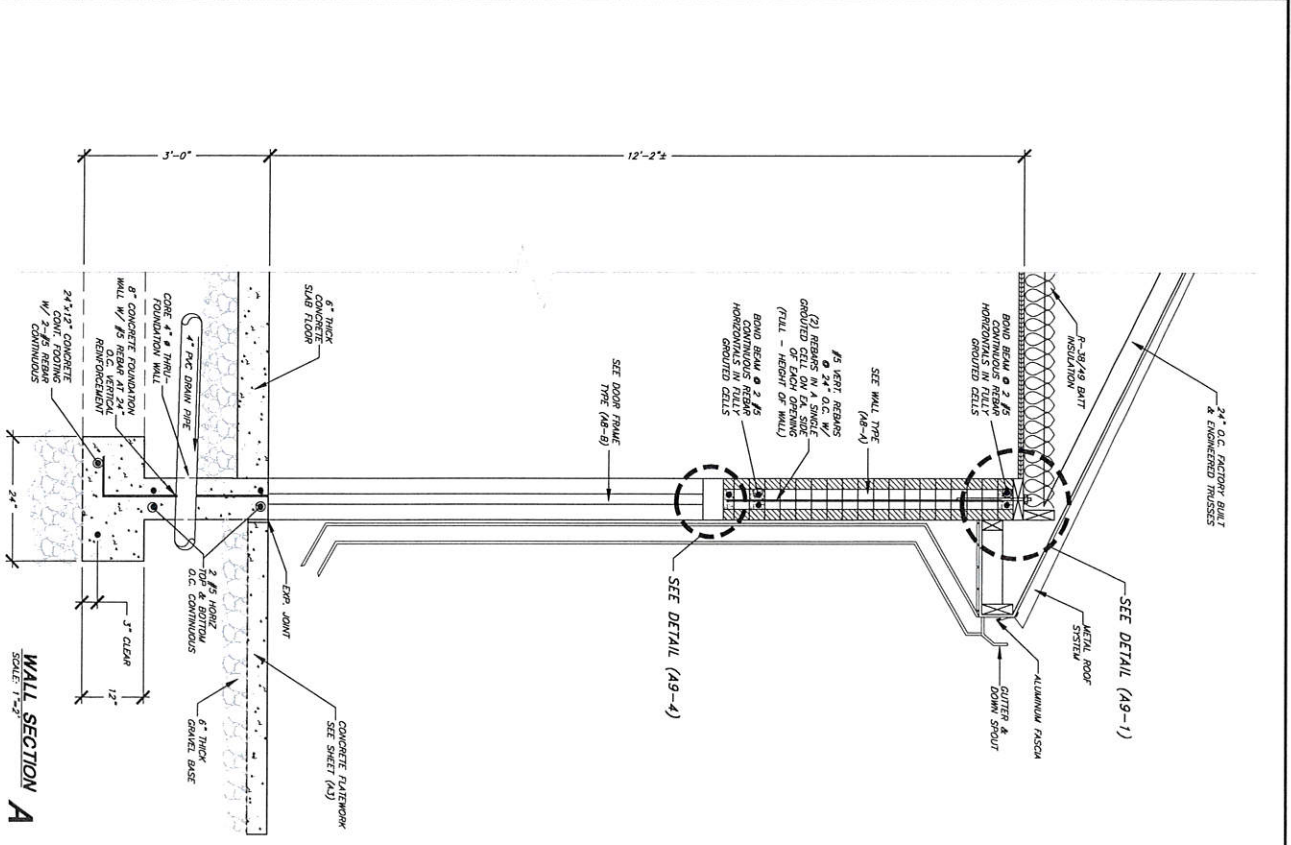
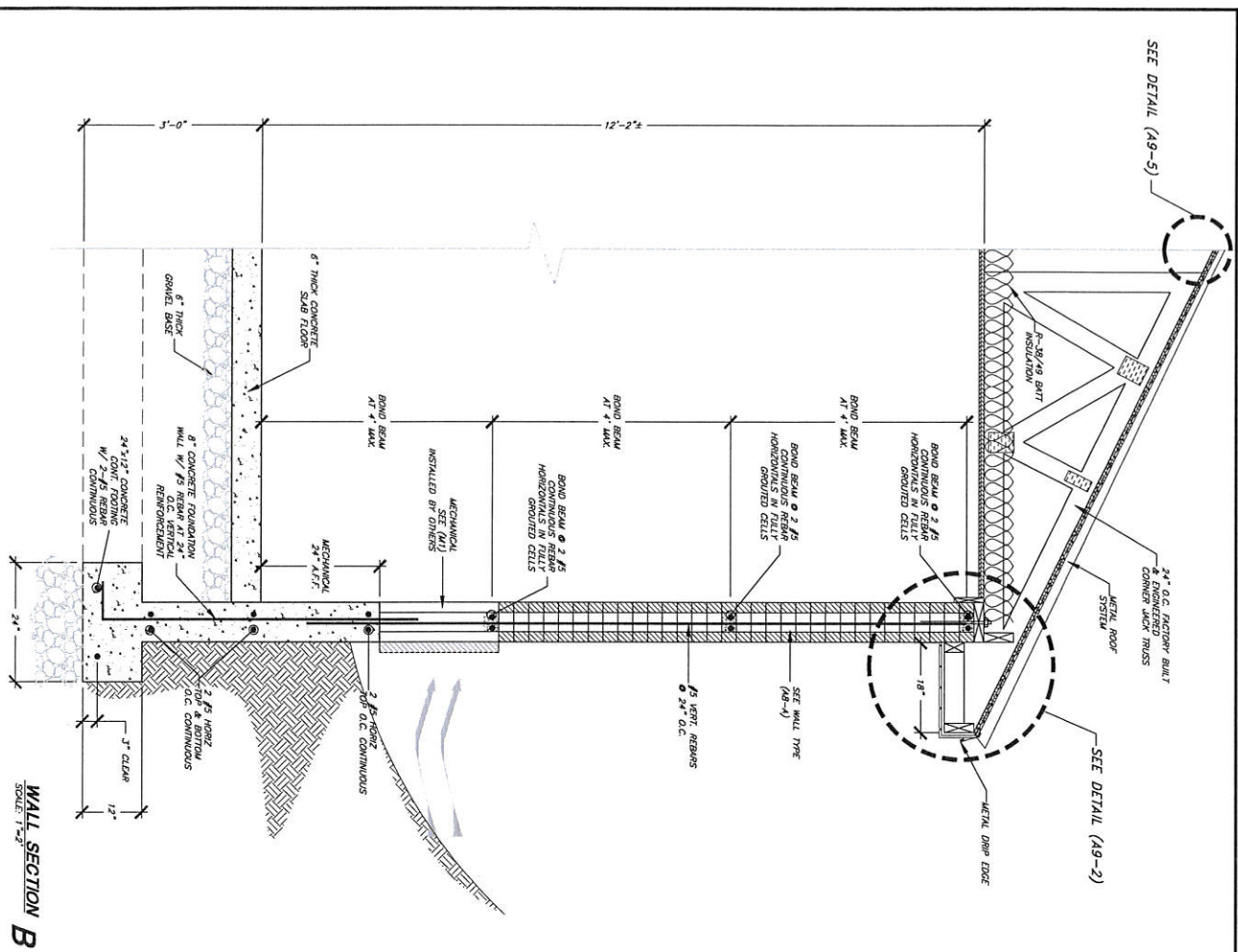
A-6
SHEET:
OF 1 SHEETS

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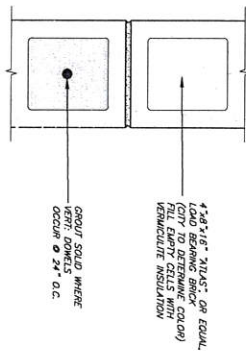
DATE	REVISION

UNTAH HIGHLANDS WATER & SEWER IMPROVEMENT DISTRICT
RESERVOIR #4 PUMP STATION
BUILDING SECTIONS

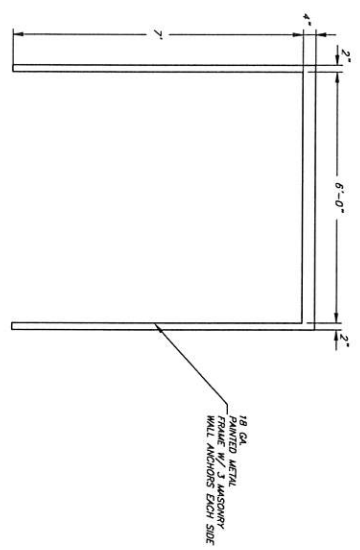
JA CONSULTING ENGINEERS
JONES & ASSOCIATES
1716 East 5600 South
South Ogden, Utah 84403
ph - (801) 476-9767 fx - (801)476-9768



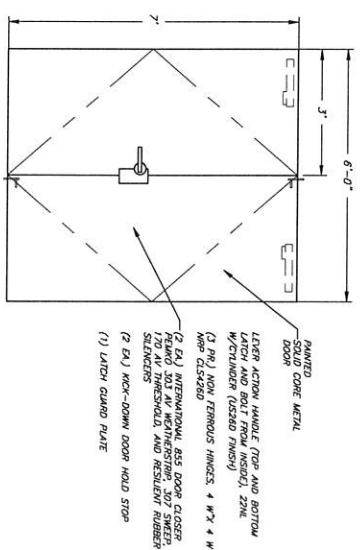
SCALE: 24" x 36" NONE		DESIGNED S.S.	DATE	REVISION	UNTAH HIGHLANDS WATER & SEWER IMPROVEMENT DISTRICT RESERVOIR #4 PUMP STATION	JONES & ASSOCIATES CONSULTING ENGINEERS 1716 East 5600 South South Ogden, Utah 84403 ph - (801) 476-9767 fx - (801)476-9768
SCALE: 11" x 17" AS-SHOWN		DRAWN S.S.				
SHEET: A-7 OF 1 SHEETS		CHECKED			WALL SECTIONS	



WALL TYPE A
SCALE: NONE



FRAME TYPE B
SCALE: NONE



DOOR TYPE B
SCALE: NONE

- LEVER ACTION HANDLE (TOP AND BOTTOM)
- LEVER ACTION HANDLE (TOP AND BOTTOM) W/STANDER (AS860 FINISH)
- (1) 18 GA. NON-FERROUS HINGES, 4 W X 4 W (AS756)
- (2) 18 GA. INTERIOR, RES. DOOR CLOSER (FEMCO 303 W/ WENTHERSTROM 307 SNEER BELLENGER)
- (2) 18 GA. KICK-DOWN DOOR HOLD STOP
- (1) LATCH GUARD PLATE

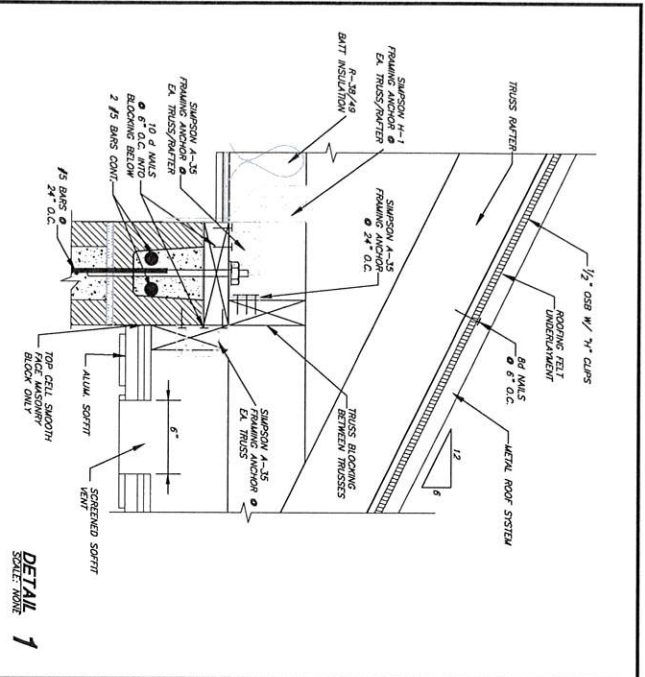
UNTAH HIGHLANDS WATER & SEWER IMPROVEMENT DISTRICT
RESERVOIR #4 PUMP STATION
DOOR, FRAME & WALL TYPE

JA CONSULTING ENGINEERS
JONES & ASSOCIATES
1716 East 5600 South
South Ogden, Utah 84403
ph - (801) 476-9767 fx - (801)476-9768

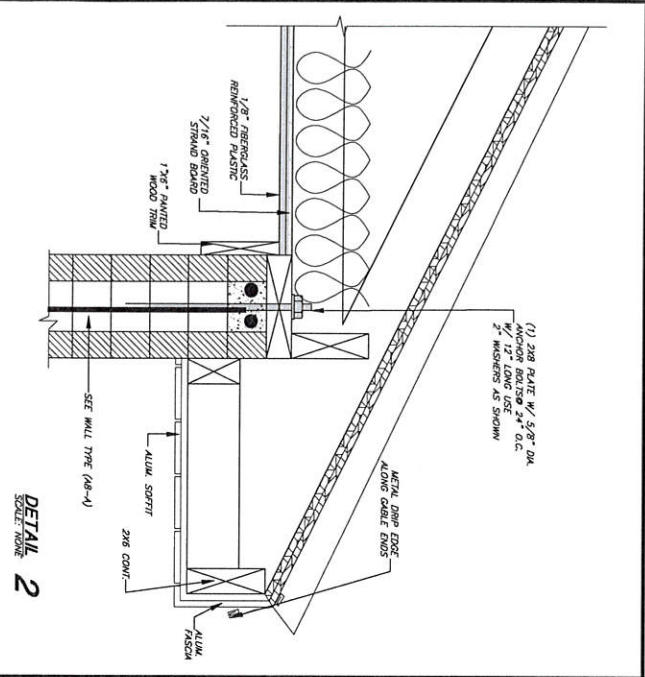
DATE	REVISION

SCALE:	SLS
24"x36"	DESIGNED
AS-SHOWN	SLS
11"x17"	DRAWN
AS-SHOWN	CHECKED

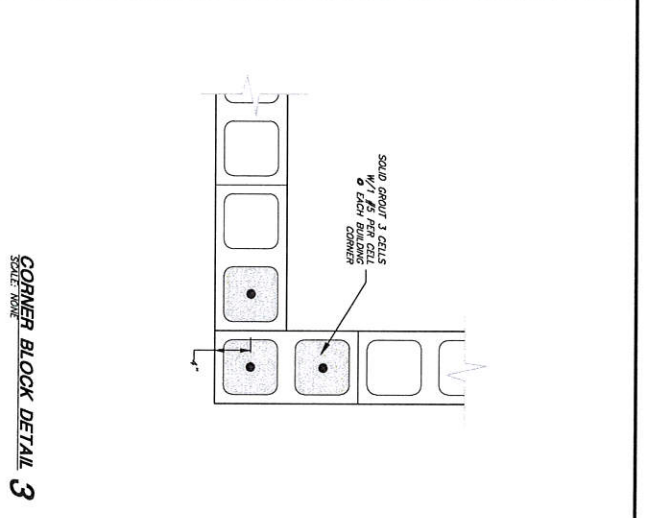
SHEET: **A-8**
OF 1 SHEETS



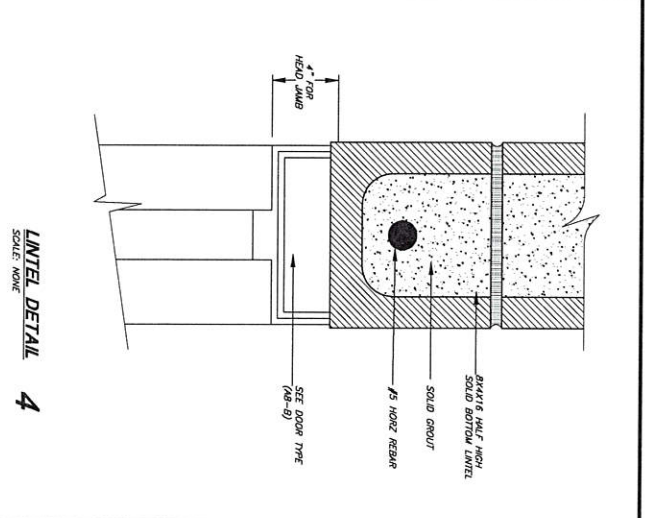
DETAIL 1
SCALE: NONE



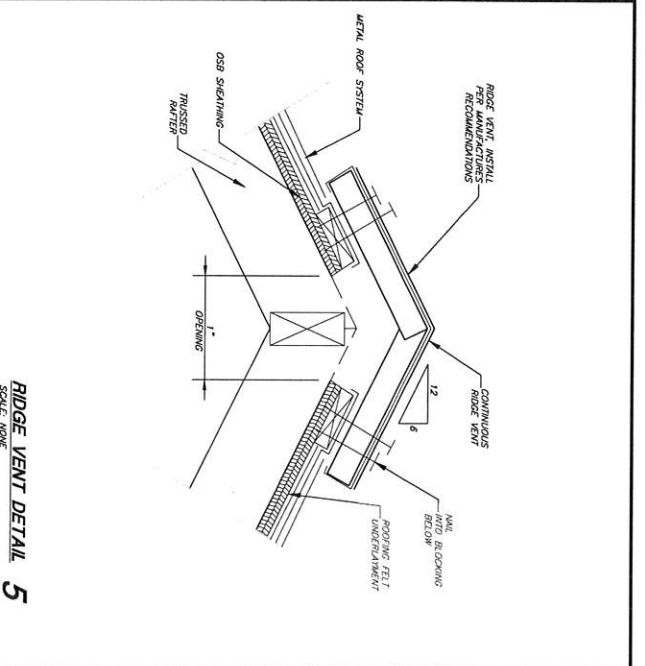
DETAIL 2
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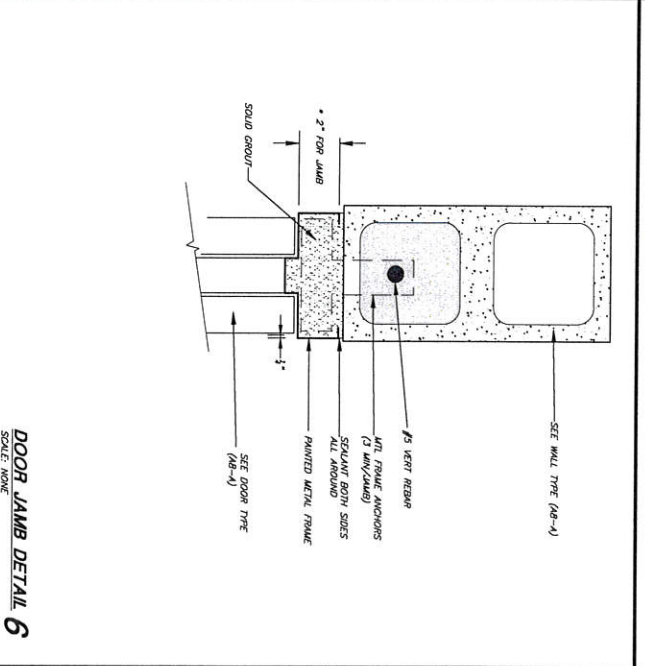
CORNER BLOCK DETAIL 3
SCALE: NONE



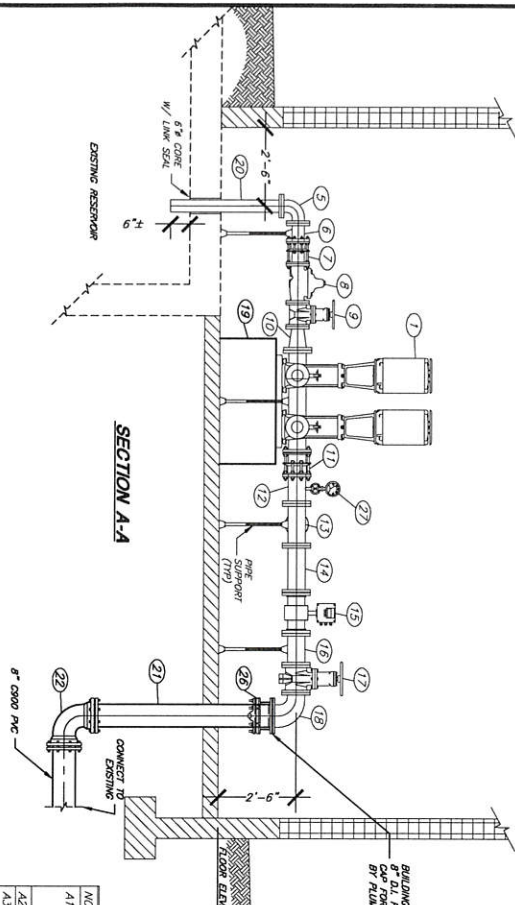
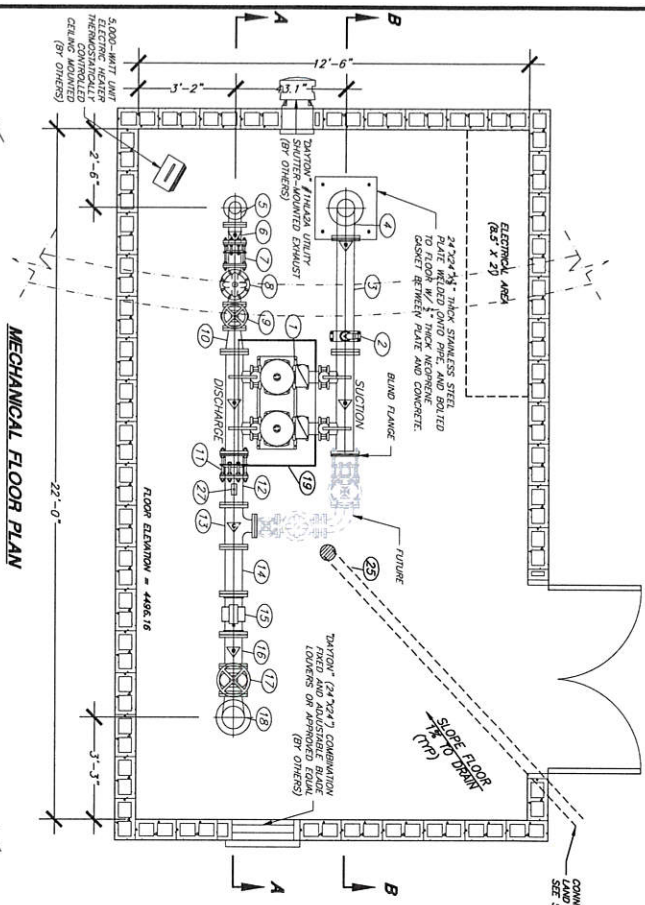
LINTEL DETAIL 4
SCALE: NONE



RIDGE VENT DETAIL 5
SCALE: NONE

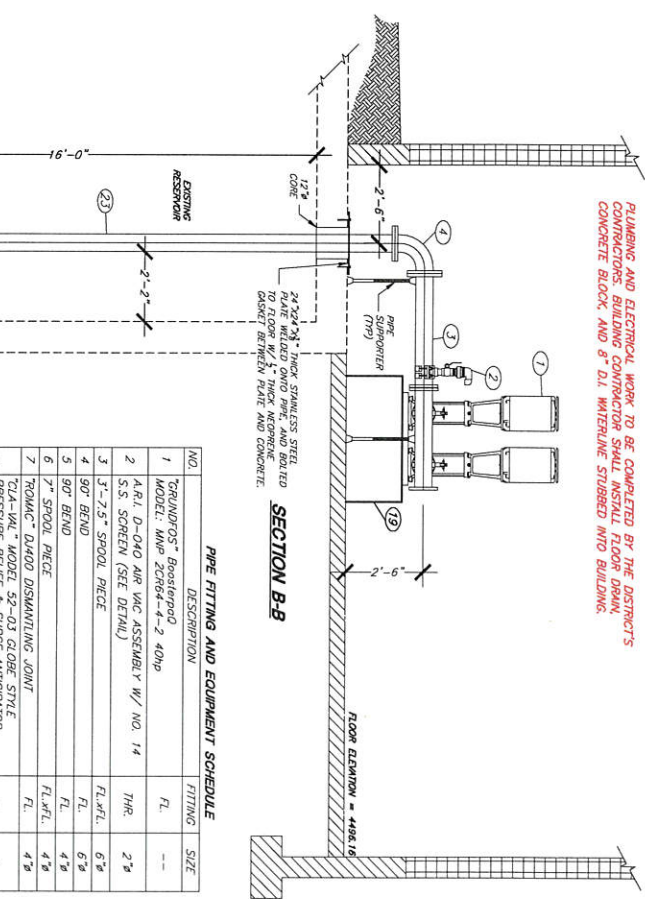
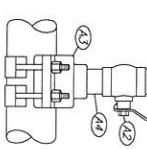


DOOR JAMB DETAIL 6
SCALE: NONE



NO.	DESCRIPTION	THICKNESS
A1	AIR/VACUUM RELIEF VALVE "A.R.V." MODEL D-040	THR.
A2	2" BRASS BALL VALVE (1/4 TURN)	THR.
A3	2" NYLON COATED W/ DOUBLE S.S. STRAWS SERVICE SADDLE	---
A4	2" BRASS PIPE	THR.

AIR/VACUUM RELIEF ASSEMBLY



NOTE:
 PLUMBING AND ELECTRICAL WORK TO BE COMPLETED BY THE DISTRICT'S CONTRACTORS. BUILDING CONTRACTOR SHALL INSTALL FLOOR DRAIN, CONCRETE FLOOR, AND 8" DIA. WATERLINE STRIPPED AND BULBING.

NO.	DESCRIPTION	FITTING	SIZE
1	TRINOTOS "Boosting" MODEL: AMP 20764-4-2 40hp	FL.	---
2	A.R.V. D-040 AIR VAC. ASSEMBLY W/ NO. 14 S.S. SCREEN (SEE DETAIL)	THR.	2"
3	3"-7.5" SPOOL PIECE	FL.	6"
4	90° BEND	FL.	6"
5	90° BEND	FL.	4"
6	7" SPOOL PIECE	FL.	4"
7	TRONAC "DADO DISMANTLING JOINT"	FL.	4"
8	"C.A.-VAC." MODEL 53-03 GLOBE STYLE PRESSURE RELIEF & SURGE ANTI-CIPATOR VALVE, CLASS 150 W/ STAINLESS STEEL TRIM AND FITTINGS	FL.	4"
9	GATE VALVE, MUELLER A-2361	FL.	4"
10	REDUCER	FL.	6"x4"
11	TRONAC "DADO DISMANTLING JOINT"	FL.	6"
12	1" SPOOL PIECE	FL.	6"
13	TEE W/ BEND FLANGE	FL.	6"x6"x4"
14	1"-6" SPOOL PIECE	FL.	6"
15	"BACROMETER" MODEL M-SERIES M2000 ELECTROMAGNETIC FLOW METER	FL.	6"
16	1"-0" SPOOL PIECE	FL.	6"
17	GATE VALVE, MUELLER A-2361	FL.	6"
18	90° REDUCING BEND	FL.	6"x4"
19	30"x40"x23" CONCRETE BLOCK	FL.	4"
20	3"-6" (VERTICAL) SPOOL PIECE	PE	8"
21	6"-1" DUCTILE IRON PIPE SECTION (MEGALUGS)	ML	8"
22	15'-0" SCHEDULE 40 STAINLESS STEEL 304	FL.	6"
23	SUCTION PIPE, WELD FLANGES	FL.	6"
24	FLOATING MODEL 302 FOOT VALVE	FL.	6"
25	FLOOR DRAIN	---	4"
26	ROMAC BRCA-RESTRAINED FLANGE COUPLING ADAPTER	THR.	5"
27	PIPE SUPPORTS, ANVI MODEL (6 LOCATIONS)	THR.	5"
28	PRESSURE GAUGE	---	5"

NOTES:
 1. ALL ABOVE GAUGE PIPE SHALL BE DUCTILE IRON CLASS 51 UNLESS OTHERWISE NOTED. ALL FLANGES TO BE ANSI CLASS 150/125.
 2. WATERLINE SHALL HAVE 4" MINIMUM COVER.
 3. ALL PIPING, VALVES, FITTINGS, METERS, & OTHER MECH. PARTS OF THE PIPING SYSTEM SHALL BE GALV. OR GALV. COATED OR PAINTED.
 4. CONCRETE SHALL BE CLASS 150/125.
 5. WATER BLEND SHALL HAVE 4" MINIMUM COVER.
 6. ALL PIPING, VALVES, FITTINGS, METERS, & OTHER MECH. PARTS OF THE PIPING SYSTEM SHALL BE GALV. OR GALV. COATED OR PAINTED.
 7. WATER BLEND SHALL HAVE 4" MINIMUM COVER.

REV.	DATE	APPR.