

WEBER COUNTY
IMPROVEMENTS GUARANTEE AGREEMENT

9/19/2017

THIS AGREEMENT (herein "Agreement") is entered into this 16th day of SEPTEMBER, 2017.

***** PARTIES *****

"APPLICANT": BRIDGES HOLDING COMPANY

a(n): LIMITED LIABILITY COMPANY (corporation, limited liability company, partnership, individual).

address: 3718 WOLF CREEK DRIVE city: EDEN state: UT zip: 84310

telephone: (801) 430-1507, facsimile: ()

"COUNTY": Weber County, a political subdivision of the State of Utah,
2380 Washington BLVD, Ogden, UT 84401,
(801) 399-8374.



W2879696

***** RECITALS *****

WHEREAS, APPLICANT desires to post the following improvement guarantee(s) (check):

- Off-site improvement guarantee
- On-site improvement guarantee

E# 2879696 PG 1 OF 42
LEANN H KILTS, WEBER COUNTY RECORDER
20-SEP-17 400 PM FEE \$.00 DEP DC
REC FOR: WEBER COUNTY PLANNING

with the COUNTY for MOUNTAINSIDE PRUD PHASE 1
(description or name of Project)

located at 4552 NORTH SEVEN BRIDGES ROAD, EDEN UT 84310
(address of Project)

WHEREAS, COUNTY ordinances require APPLICANT to guarantee the construction of certain improvements prior to either the recordation of the above described subdivision plat or the actual issuance of any permit(s) or approval(s) related to the above-described Project; and

WHEREAS, the terms of either the subject subdivision plat approval or the issuance of the subject permit(s)/approval(s) require APPLICANT to complete the following improvements, (herein "the Improvements") (check one and complete):

specified in Exhibit B, attached hereto and incorporated herein by this reference;

- or -

described as follows: _____; and

WHEREAS, COUNTY will not record the subject subdivision or grant the subject permit(s)/approval(s) until adequate provision has been made to guarantee completion of the Improvements and to warrant the Improvements shall be maintained and remain free from any defects or damage, which improvements and required warranty are estimated to cost the amount set forth herein, and which improvements shall be installed in accordance with the specifications of COUNTY, and inspected by COUNTY;

NOW THEREFORE, For good and valuable consideration, the parties agree as follows:

******* TERMS AND CONDITIONS *******

1. **PURPOSE FOR AGREEMENT.** The parties hereto expressly acknowledge that the purpose of this Agreement is not only to guarantee the proper completion of the Improvements named herein, but also, among other things, to eliminate and avoid the harmful effects of unauthorized subdivisions and other land developments which may leave property or improvements improperly completed, undeveloped or unproductive.

2. **UNRELATED OBLIGATIONS OF APPLICANT.** The benefits and protection of the Proceeds specified herein shall inure solely to COUNTY and not to third parties, including, but not limited to, lot purchasers, contractors, subcontractors, laborers, suppliers, or others. COUNTY shall not be liable to claimants or others for obligations of APPLICANT under this Agreement. COUNTY shall further have no liability for payment of any costs or expenses of any party who attempts to make a claim under this Agreement, and shall have under this Agreement no obligation to make payments to, give Notices on behalf of, or otherwise have obligations to any alleged claimants under this Agreement.

3. **AGREEMENT DOCUMENTS.** All data which is used by COUNTY to compute the cost of or otherwise govern the design and installation of the Improvements is hereby made a part of this Agreement, and is incorporated herein by this reference. This Agreement incorporates herein by reference any subject subdivision plat, plan, construction drawing, permit, condition of approval, and any and all other relevant data and specifications required by the Weber County Land Use Code.

4. **COMPLETION DATE.** APPLICANT shall complete the Improvements: (check one and complete)

within a period of 2 Year(s) Months (check one) from the date this Agreement was entered into;

- or -

as specified in Exhibit _____ (Completion Schedule), attached hereto and incorporated herein by this reference.

5. **FEES.** APPLICANT agrees to pay all Fees required by COUNTY for the entire Project prior to the issuance of any subsequent permit or approval within the Project.

6. **SPECIFIC PERFORMANCE.** APPLICANT has entered into this Agreement with COUNTY for the purpose of guaranteeing construction of the Improvements and payment of the Fees. COUNTY shall be entitled to specifically enforce APPLICANT'S obligation under this Agreement to construct and install the Improvements in a manner satisfactory to COUNTY, and to pay the Fees.

7. **APPLICANT'S INDEPENDENT OBLIGATION.** APPLICANT EXPRESSLY ACKNOWLEDGES, UNDERSTANDS AND AGREES that its obligation to complete and warrant the Improvements and pay the Fees and fulfill any other obligation under this Agreement, COUNTY ordinances, or other applicable law is independent of any obligation or responsibility of COUNTY, either express or implied. APPLICANT agrees that its obligation to complete and warrant the Improvements and pay the Fees is not and shall not

be conditioned upon the commencement of actual construction work in the subdivision or development or upon the sale of any lots or part of the subdivision or development. APPLICANT further acknowledges (a) that its contractual obligation to complete and warrant the Improvements and pay the Fees pursuant to this Agreement is independent of any other remedy available to COUNTY to secure proper completion of the Improvements and payment of the Fees; (b) that APPLICANT shall not assert as a defense that COUNTY has remedies against other entities or has other remedies in equity or at law that would otherwise relieve APPLICANT of its duty to perform as outlined in this Agreement or preclude COUNTY from requiring APPLICANT'S performance under this Agreement; (c) that APPLICANT has a legal obligation, independent of this Agreement, to timely complete and pay for the Improvements in full and timely pay the Fees in full; and (d) should APPLICANT Default under this Agreement in any degree, APPLICANT agrees to compensate COUNTY for all costs, including Incidental Costs, related to APPLICANT'S failure to perform its obligation to complete and warrant the Improvements or pay the Fees to the extent that such costs are not adequately covered by the Proceeds ("Proceeds" defined in paragraph 10).

8. **INCIDENTAL COSTS.** "Incidental Costs," as used in this Agreement, shall mean engineering and architect fees, administrative expenses, court costs, attorney's fees (whether incurred by in-house or independent counsel), insurance premiums, mechanic's or materialmen's liens, and any other cost and interest thereon incurred by COUNTY, occasioned by APPLICANT'S Default under this Agreement.

9. **DEFAULT.** "Default," as used in this Agreement, shall mean, in addition to those events previously or subsequently described herein, a party's failure to perform, in a timely manner, any obligation, in whole or in part, required of such party by the terms of this Agreement or required by COUNTY ordinance or other applicable law. In addition, the following shall also be considered Default on the part of APPLICANT: APPLICANT'S abandonment of the Project, as determined by COUNTY; APPLICANT'S insolvency, appointment of a receiver, or filing of a voluntary or involuntary petition in bankruptcy; APPLICANT'S Escrow Repository's or Financial Institution's insolvency, appointment of a receiver, filing of a voluntary or involuntary petition in bankruptcy, or failure to perform under the terms of this agreement; the commencement of a foreclosure proceeding against the Project property; or the Project property being conveyed in lieu of foreclosure.

The occurrence of such shall give the other party or parties the right to pursue any and all remedies available at law, in equity, or otherwise available pursuant to the terms of this Agreement. Only the parties hereto are authorized to determine Default. Default shall not be declared prior to the other party receiving written notice.

10. **GUARANTEE OF IMPROVEMENTS.** APPLICANT hereby files, as an independent guarantee (herein "Financial Guarantee") with COUNTY for the purpose of insuring construction and installation of the Improvements and payment of the Fees, one of the following (check one and complete applicable information):

CASH CERTIFICATE, identified by the following:

Escrow Account: _____,

Escrow Account Repository: _____,

IRREVOCABLE LETTER OF CREDIT (herein the "Letter of Credit"), identified by the following:

Letter of credit account or number: 20715 _____,

Financial Institution: AMERICA FIRST CREDIT UNION _____,

The Financial Guarantee shall be in the amount of one hundred ten percent (110%) of the County Engineer's Cost Estimate (see also Exhibit A attached hereto). The Escrow Certificate or Letter of Credit shall be issued in favor of COUNTY to the account of APPLICANT herein, in the amount of \$ 834,255.00 (herein the "Proceeds"), and is made a part of this Agreement as Exhibit C (Escrow Certificate or Letter of Credit).

11. **PARTIAL RELEASE OF PROCEEDS.** As the Improvements are initially accepted by COUNTY and the Fees are paid, the APPLICANT may submit written request to COUNTY for authorization for a partial release of Proceeds. APPLICANT is only entitled to make a request once every 30 days. The amount of any release shall be determined in the sole discretion of COUNTY. No release shall be authorized by COUNTY until such time as COUNTY has inspected the Improvements and found them to be in compliance with COUNTY standards and verified that the Fees have been paid. Payment of Fees or completion of Improvements, even if verified by COUNTY, shall not entitle APPLICANT to an automatic authorization for a release of the Proceeds. At no time may APPLICANT request a release of funds directly from Escrow Account Repository or Financial Institution.

12. **NOTICE OF DEFECT.** COUNTY will provide timely notice to APPLICANT whenever an inspection reveals that an Improvement does not conform to the standards and specifications shown on the Improvement drawings on file in COUNTY's Engineering and Surveyor's Office or is otherwise defective. The APPLICANT will have 30 days from the issuance of such notice to cure or substantially cure the defect.

13. **FINAL ACCEPTANCE.** Notwithstanding the fact that Proceeds may be released upon partial completion of the Improvements, neither any partial release nor any full release of the Proceeds shall constitute final acceptance of the Improvements by COUNTY. Final acceptance of the Improvements shall be official only upon written notice to APPLICANT from COUNTY expressly acknowledging such and only after APPLICANT provides a policy of title insurance, where appropriate, for the benefit of the County showing that the APPLICANT owns the improvement in fee simple and that there are no liens, encumbrances, or other restrictions on the improvement unacceptable to the County in its reasonable judgment.

14. **WARRANTY OF IMPROVEMENTS.** Following initial acceptance of the Improvements, APPLICANT hereby warrants that the Improvements shall be maintained by APPLICANT and remain free from defects or damage as determined by COUNTY, such that the Improvements continue to meet COUNTY standards for ONE years following said initial acceptance.

15. **RETAINAGE.** APPLICANT expressly agrees that, notwithstanding any partial release of any of the Proceeds, the Proceeds shall not be released below 10% of the estimated cost of the Improvements (herein the "Retainage"), as specified herein, for the timeframe specified in paragraph 14. The Retainage shall be held to insure that the Improvements do not have any latent defects or damage as determined by COUNTY, such that the Improvements do not continue to meet COUNTY standards for the timeframe specified in paragraph 14. Notwithstanding said Retainage, APPLICANT shall be responsible for bringing any substandard, defective, or damaged Improvements to COUNTY standard if the Retainage is inadequate to cover any such Improvements.

16. **APPLICANT INDEMNIFICATION.** APPLICANT agrees to indemnify, defend, and save harmless COUNTY, its elected officials, officers, employees, agents, and volunteers from and against any and all liability which may arise as a result of the installation of the Improvements prior to COUNTY'S initial acceptance of the Improvements as defined herein, and from and against any and all liability which may arise as a result of any Improvements which are found to be defective during the warranty period covered by this Agreement. With respect to APPLICANT'S agreement to defend COUNTY, as set forth above,

COUNTY shall have the option to either provide its own defense, with all costs for such being borne by APPLICANT, or require that APPLICANT undertake the defense of COUNTY.

17. **FINAL RELEASE OF PROCEEDS.** In the event the Improvements have been installed to the satisfaction of COUNTY and the Fees have been paid pursuant to this Agreement and COUNTY ordinances within the above stated time period(s), COUNTY agrees to execute a written release to Escrow Account Repository or Financial Institution of the remaining Proceeds.

18. **DEMAND FOR AND USE OF PROCEEDS.** In the event APPLICANT fails to install Improvements to the satisfaction of COUNTY, or the Fees are not paid pursuant to this Agreement and COUNTY ordinances within the above stated time period(s), or APPLICANT Defaults on any obligation under this Agreement or COUNTY ordinances, as determined at the sole discretion of COUNTY, COUNTY shall send Notice of APPLICANT'S Default to Escrow Account Repository or Financial Institution with a written demand for the release of Proceeds. COUNTY may, at its sole discretionary option, use and expend all the Proceeds or such lesser amount as may be estimated by COUNTY to be necessary to complete Improvements, pay Fees, and/or reimburse COUNTY for Incidental Costs as required herein.. COUNTY may, at its sole discretionary option, convert the Proceeds to a COUNTY held cash escrow for future satisfactory installation of Improvements.

19. **INADEQUATE PROCEEDS.** If the Proceeds are inadequate to pay the cost of the completion of the Improvements according to COUNTY standards or to pay the Fees or to compensate for Incidental Costs, for whatever reason, including previous reductions, APPLICANT shall be responsible for the deficiency independent of the Financial Guarantee. Additionally, no further approvals, permits or business licenses shall be issued, and any existing approvals, permits or business licenses applicable to the location of the Improvements may be immediately suspended or revoked by COUNTY'S Community and Economic Development Director until the Improvements are completed and the Fees are paid, or, until a new guarantee acceptable to the COUNTY has been executed to insure completion of the remaining Improvements and payment of the Fees. Furthermore, the cost of completion of the Improvements shall include reimbursement to COUNTY for all costs including, but not limited to, construction costs and any Incidental Costs incurred by COUNTY in completing the Improvements or collecting the Proceeds.

20. **ACCESS TO PROPERTY.** Should COUNTY elect to use the Proceeds to complete the Improvements, APPLICANT herein expressly grants to COUNTY and any contractor or other agent hired by COUNTY the right of access to the Project property to complete the Improvements.

21. **IMPROVEMENT STANDARDS.** Improvements shall be done according to the specifications and requirements of the COUNTY. All work shall be subject to the inspection of COUNTY. Any questions as to conformity with COUNTY specifications or standards, technical sufficiency of the work, quality, and serviceability shall be decided by the County Engineer. The County Engineer's decision shall be final and conclusive.

22. **SUBSTANDARD IMPROVEMENTS.** Should any Improvements prove to be substandard or defective within the timeframe specified in paragraph 14, COUNTY shall notify APPLICANT in writing of such substandard or defective Improvements. APPLICANT shall then have 15 days from Notice from the COUNTY in which to commence repair of the Improvements, and a reasonable amount of time, as determined by COUNTY, which shall be specified in the Notice, to complete repair of the Improvements. Should APPLICANT fail to either commence repair of the Improvements or complete repair of the Improvements within the required time periods, COUNTY may exercise its option to remedy the defects and demand payment for such from APPLICANT, should the Proceeds be insufficient to cover the costs incurred by COUNTY.

23. **INSURANCE.** Should COUNTY elect to install, complete, or remedy any defect or damage in the

Improvements, APPLICANT shall be responsible for the payment of the premium for an insurance policy covering any liability, damage, loss, judgment, or injury to any person or property, including, but not limited to, damage to APPLICANT or its property as a result of the work of any contractor or agent hired by COUNTY to complete or remedy the Improvements. The minimum dollar amount and the scope of coverage of the insurance policy shall be determined and set by COUNTY. APPLICANT shall indemnify, defend, and hold harmless COUNTY, its officers, employees, and agents for any liability which exceeds the insurance policy limit. COUNTY, at its option, may collect and expend the Proceeds to make the premium payments should APPLICANT fail to pay said premium. No permit, approval or business license shall be issued by COUNTY, and any existing permit, approval, or business license shall be suspended until said premium is initially paid and a bond is in place to cover subsequent payments.

24. **NOTICE.** Notice to any party herein shall be mailed or delivered to the address shown in this Agreement. The date Notice is received at the address shown in this Agreement shall be the date of actual Notice, however accomplished.

25. **MECHANIC/MATERIAL LIENS.** Should COUNTY elect to complete or remedy the Improvements, APPLICANT shall indemnify, defend, and hold harmless COUNTY from and against any liability which exceeds the Proceeds for the payment of any labor or material liens as a result of any work of any contractor (including subcontractors and materialmen of any such contractor or agent) hired by COUNTY or which may arise due to either a defect in or failure of this Agreement or insufficient Proceeds to cover such costs.

26. **WAIVER.** The failure by any party to insist upon the immediate or strict performance of any covenant, duty, agreement, or condition of this Agreement or to exercise any right or remedy consequent upon a Default thereof shall not constitute a waiver of any such Default or any other covenant, agreement, term, or condition. No waiver shall affect or alter the remainder of this Agreement, but each and every other covenant, agreement, term, and condition hereof shall continue in full force and effect with respect to any other then existing or subsequently occurring Default.

27. **ATTORNEY'S FEES.** In the event there is a Default under this Agreement and it becomes reasonably necessary for any party to employ the services of an attorney in connection therewith, either with or without litigation, on appeal or otherwise, the losing party to the controversy shall pay to the successful party reasonable attorney's fees incurred by such party, and, in addition, such costs and expenses as are incurred in enforcing this Agreement.

28. **TIME IS OF THE ESSENCE.** Time is of the essence of this Agreement. In case either party shall Default on its obligations at the time fixed for the performance of such obligations by the terms of this Agreement, the other party may pursue any and all remedies available in equity or law.

29. **GOVERNING LAW.** This Agreement shall be interpreted pursuant to, and the terms thereof governed by, the laws of the State of Utah. This Agreement shall be further governed by COUNTY ordinances in effect at the time of the execution of this Agreement. However, the parties expressly acknowledge that any subdivision or other development regulations enacted after the execution of this Agreement, which are reasonably necessary to protect the health, safety, and welfare of the residents of COUNTY, shall also apply to the subdivision or development which is the subject of this Agreement.

30. **SUCCESSORS.** "APPLICANT" and "COUNTY," as used in this Agreement, shall also refer to the heirs, executors, administrators, successors, or assigns of APPLICANT and COUNTY respectively.

31. **INDUCEMENT.** The making and execution of this Agreement has been induced by no representations, statements, warranties, or agreements other than those herein expressed.

32. **INTEGRATION.** This Agreement embodies the entire understanding of the parties, and there are

no further or other agreements or understandings, written or oral, in effect between the parties relating to the subject matter herein.

33. **MODIFICATION.** Except as otherwise authorized by this Agreement, this instrument may be amended or modified only by an instrument of equal formality signed by the respective parties.

34. **CAPTIONS.** The titles or captions of this Agreement are for convenience only and shall not be deemed in any way to define, limit, extend, augment, or describe the scope, content, or intent of any part or parts of this Agreement.

35. **SEVERABILITY.** If any portion of this Agreement is declared invalid by a court of competent jurisdiction, the remaining portions shall not be affected thereby, but shall remain in full force and effect.

36. **TERMINATION.**

- (a) APPLICANT cannot unilaterally terminate its obligations under this Agreement.
- (b) If, under the terms of this Agreement, COUNTY releases the full amount of the Proceeds or demands and receives the full remaining amount of the Proceeds, then APPLICANT'S obligations under paragraphs 4 and 10 shall terminate.
- (c) All rights and obligations in this Agreement that are not terminated under sub-paragraph (b) shall survive until all applicable statutes of limitations have run with respect to the types of claims that may be associated with those rights and obligations.
- (d) The entire Agreement shall terminate when all applicable statutes of limitations have run or when the parties jointly execute an agreement to terminate this Agreement.

37. **CONFLICT.** Any conflict between this Agreement and its exhibits or any other document shall be interpreted against the exhibit or other document and in favor of statements made in the numbered paragraphs of this Agreement.

WHEREUPON, the parties hereto have set their hands the day and year first above written.

"APPLICANT"

By: *John Lewis*
Applicant Signature

9-16-17
Date

Title: Managing Member
(Signature must be notarized on following pages.)

"COUNTY"

By: *James [Signature]*
Commission Chair

Sept. 19, 2017
Date

ATTEST: *Ricky [Signature]*
County Clerk

Sept. 19, 2017
Date:

APPROVED AS TO CONTENT:

By: *[Signature]*
Planning Division Director

9/15/17
Date

By: *[Signature]*
County Engineer

9/15/17
Date

By: *[Signature]*
County Treasurer

19 Sept 17
Date

APPROVED AS TO FORM:

By: *Constance P. Enderson*
County Attorney

9-18-17
Date

APPLICANT NOTARIZATION

COMPLETE ONLY IF APPLICANT IS AN INDIVIDUAL

State of _____)
:ss
County of _____)

On this _____ day of _____, 20____, personally appeared before me _____ [name of person(s)], whose identity is personally known to me or proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged that he/she/they executed the same.

Notary Public

COMPLETE ONLY IF APPLICANT IS A CORPORATION

State of _____)
:ss
County of _____)

On this _____ day of _____, 20____, personally appeared before me _____ [name of person(s)], whose identity is personally known to me or proved to me on the basis of satisfactory evidence, and who affirmed that he/she is the _____ [title], of _____ [name of corporation], a corporation, and said document was signed by him/her in behalf of said corporation by authority of its bylaws or of a Resolution of its Board of Directors, and he/she acknowledged to me that said corporation executed the same.

Notary Public

COMPLETE ONLY IF APPLICANT IS A PARTNERSHIP

State of _____)
:ss
County of _____)

On this _____ day of _____, 20____, personally appeared before me _____ [name of person(s)], whose identity is personally known to me or proved to me on the basis of satisfactory evidence, and who affirmed that he/she is the _____ [title], of _____ [name of partnership], a partnership, and that the foregoing instrument was duly authorized by the partnership at a lawful meeting held or by authority of its bylaws and signed in behalf of said partnership.

Notary Public

COMPLETE ONLY IF APPLICANT IS A LIMITED LIABILITY COMPANY

State of Utah)
County of Weber) :SS

On this 6 day of Sept, 2017, personally appeared before me John L. Lewis [name of person(s)], whose identity is personally known to me or proved to me on the basis of satisfactory evidence, and who affirmed that he/she is the Managing Member [title] of The Bridges Holding Company [name of LLC], limited liability company, by authority of its members or its articles of organization, and he/she acknowledged to me that said limited liability company executed the same.

[Signature]
Notary Public



Exhibit A: County Engineer-Approved Cost Estimate

SEE FOLLOWING TWO PAGES

		The Bridges		Weber County				
		Mountainside Phase 1						
		09.12.2017		Escrow Amount		Completed	Remaining	
		Description	Qty	Unit	Price	Cost		
ROADWAY	A ROADWAY							
	1	Clear and Grub	2832	SY	1.00	2,832.00	2,200.00	632.00
	2	Roadway Earthworks - Cut	6237	CY	2.00	12,474.00	9,960.00	2,514.00
	3	Roadway Earthworks - Fill	4499	CY	2.00	8,998.00	7,200.00	1,798.00
	4	6" Base Coarse	1586	TON	18.69	29,642.34	0.00	29,642.34
	5	8" Sub Base Coarse	2042	TON	17.19	35,101.98	0.00	35,101.98
	6	3" Asphalt	821	TON	83.23	68,331.83	0.00	68,331.83
	7	Slurry Seal	4860	SY	2.50	12,150.00	0.00	12,150.00
	8	Curb and Gutter	2994	LF	19.80	59,281.20	0.00	59,281.20
	9	Ditch/Swale	80	LF	5.00	400.00	0.00	400.00
					229,211.35	19,360.00	209,851.35	
WATER	B CULINARY WATER							
	1	10" Ductile Iron Cl 51 Waterline	186	LF	44.21	8,223.06	0.00	8,223.06
	2	10" Gate Valve	1	EA	2,950.97	2,950.97	0.00	2,950.97
	1	8" Ductile Iron Cl 51 Waterline	1460	LF	27.76	40,529.60	0.00	40,529.60
	2	8" Gate Valve	3	EA	2,274.96	6,824.88	0.00	6,824.88
	3	1" Copper Service Lateral, Meter w/ Box	24	EA	1,276.13	30,627.12	0.00	30,627.12
	4	Temporary Blowoff	1	EA	1,981.16	1,981.16	0.00	1,981.16
	5	Install Fire Hydrant Assembly	4	EA	5,293.96	21,175.84	0.00	21,175.84
	6	PRV Station	0	EA	30,120.93	0.00	0.00	0.00
	7	Install Airvac	1	EA	4,500.00	4,500.00	0.00	4,500.00
9	Connect to Existing Main	0	EA	2,943.37	0.00	0.00	0.00	
10	Import	1380	TON	16.18	22,328.40	0.00	22,328.40	
					139,141.03	0.00	139,141.03	
SEWER	C SANITARY SEWER							
	1	8" PVC SDR 35 Sewer Line	5529	LF	47.42	262,185.18	207,072.68	55,112.50
	2	4" Lateral lines and Connections	24	EA	690.05	16,561.20	16,561.20	0.00
	3	Install 4' Sanitary Sewer MH	15	EA	3,452.04	51,780.60	37,972.44	13,808.16
	4	Install 5' Sanitary Sewer MH	5	EA	3,979.34	19,896.70	19,896.70	0.00
	5	Drop Manhole	3	EA	5,989.78	17,969.34	17,969.34	0.00
	6	Connect to Existing	0	EA	3,093.37	0.00	0.00	0.00
	7	Import	7300	TON	16.18	118,114.00	64,395.27	53,718.73
					486,507.02	363,867.63	122,639.39	
STORM	D STORM DRAIN							
	1	12" RCP CL III Storm Drain	89	LF	0.00	0.00	0.00	0.00
	2	15" RCP CL III Storm Drain	1570	LF	45.78	71,874.60	0.00	71,874.60
	3	24" RCP CL III Storm Drain	0	LF	0.00	0.00	0.00	0.00
	4	30" RCP CL III Storm Drain	91	LF	72.54	6,601.14	0.00	6,601.14
	4	36" RCP CL III Storm Drain	0	LF	72.43	0.00	0.00	0.00
	5	24" X 48" CB w/bicycle grate	11	EA	2,842.43	31,266.73	0.00	31,266.73
6	4'x4' Storm Drain Box	0	EA	2,816.42	0.00	0.00	0.00	
7	Install 4' Storm Drain MH	1	EA	2,522.35	2,522.35	0.00	2,522.35	

	8	Install Pond Outlet Control Box	0	EA	3,089.29	0.00	0.00	0.00
	9	8" PVC Storm Drain	50	LF	20.00	1,000.00	0.00	1,000.00
	10	Pond excavation	1460	CY	11.48	16,760.80	0.00	16,760.80
	11	Import	1500	TON	16.18	24,270.00	0.00	24,270.00
						154,295.62	0.00	154,295.62
	E	SECONDARY WATER						
SECONDARY	1	8" PVC C900	1655	LF	17.25	28,548.75	0.00	28,548.75
	2	8" Gate Valve	1	EA	2,194.14	2,194.14	0.00	2,194.14
	3	4" Drain Valve	2	EA	2,337.27	4,674.54	0.00	4,674.54
	4	Single Service Connection	4	EA	949.25	3,797.00	0.00	3,797.00
	5	Double Service Connection	10	EA	1,505.96	15,059.60	0.00	15,059.60
	6	Temporary Blowoff	1	EA	1,116.45	1,116.45	0.00	1,116.45
	7	Install Airvac	1	EA	4,500.00	4,500.00	0.00	4,500.00
	8	Connect To Existing Main	0	EA	1,269.07	0.00	0.00	0.00
	9	Import	980	TON	16.18	15,856.40	0.00	15,856.40
					75,746.88	0.00	75,746.88	
	F	OTHER SITE COSTS						
SITE COSTS	1	Entry Bridge/Monument	0	EA	40,000.00	0.00	0.00	0.00
	2	Landscaping	0	EA	40,000.00	0.00	0.00	0.00
	3	Trails	2140	EA	10.00	21,400.00	0.00	21,400.00
	4	Rock Walls	0	EA	0.00	0.00	0.00	0.00
	5	Reseeding/Stabilization Road Cuts	0	EA	0.00	0.00	0.00	0.00
	6	Combo Street/Stop Signs	2	EA	250.00	500.00	0.00	500.00
	7	Street Signs	0	EA	0.00	0.00	0.00	0.00
	8	Mailbox (In Parkside)	0	EA	2,500.00	0.00	0.00	0.00
					21,900.00	0.00	21,900.00	
		TOTAL CONSTRUCTION				1,106,801.90		
		10% CONTINGENCY				110,680.19		
		TOTAL				1,217,482.09		
		COMPLETED WORK				383,227.63		
		REMAINING				723,574.27		
		TOTAL ESCROW				834,254.46		

Exhibit B: County Engineer-Approved Construction Drawings

SEE FOLLOWING 25 PAGES

THE BRIDGES - PHASE 1

CONSTRUCTION DOCUMENTS

EDEN, WEBER COUNTY, UTAH

TRAFFIC CONTROL & SAFETY NOTES

1. ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROL FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT COUNTY POLICE MANUAL. ALL TRAFFIC CONTROL SHALL BE APPROVED PRIOR TO ANY WORK.
2. ALL TRAFFIC CONTROL SHALL BE MAINTAINED THROUGHOUT THE PROJECT WITHOUT UNNECESSARY INTERFERENCE FROM THE COUNTY ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT ON THE OTHER SIDE.
3. THE CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR LONGER, REQUIRE THE INSTALLATION OF TEMPORARY STREET STOPPING AND REMOVAL OF PREFERENTIAL STOPPING BY SIGNALIZING. THE STOPPING STRIPING PLAN ON CONSTRUCTION TRAFFIC CONTROL SHALL BE SUBMITTED TO THE COUNTY ENGINEER AND APPROVED PRIOR TO CONSTRUCTION.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE COUNTY ENGINEER.
6. TRAFFIC CONTROL DEVICES (TRUCKS) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR AS-BUILT RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.


NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS IN CONFORMANCE WITH THE CITY OF EDEN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.

SANITARY SEWER GENERAL NOTES

1. ALL SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH UTAH CODES AND SPECIFICATIONS (UTAH CODES). THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
2. ALL SANITARY SEWER LINES SHALL BE 30-42" DIA. HDPE. SEWER LINE CONSTRUCTION AND MATERIALS SHALL COMPLY WITH THE CITY OF EDEN SPECIFICATIONS AND STANDARDS.
3. DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO TERRAIN ADJUSTMENT.
4. RISE ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL. ELEVATION POINTS SHALL BE ESTABLISHED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
5. ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH (UTAH) STANDARDS AND SPECIFICATIONS. COMES OF ALL TESTS SHALL BE APPROVED BY THE COUNTY ENGINEER PRIOR TO ANY WORK.
6. ACCEPTANCE TESTING OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTENDED AND RESULTS SUBMITTED PRIOR TO FINAL ACCEPTANCE.
7. CONTRACTORS ARE RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.
8. WHEN CONNECTION TO EXISTING UTILITY IS REQUIRED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER IMMEDIATELY. LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.
9. CAMERA TESTING AND PRESSURE TESTING PER (UTAH) STANDARDS.

SWPPP GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY THE COUNTY AND STATE.
 2. ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED IN CONFORMANCE WITH THE SWPPP PLAN PRIOR TO ANY OTHER GROUNDSTABILIZATION WORK.
 3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN CONFORMANCE WITH THE CONTRACTOR UNTIL SUCH TIME AS THE EROSION CONTROL MEASURES ARE NO LONGER NEEDED.
- 

GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF EDEN SPECIFICATIONS AND STANDARDS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
2. THE CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
7. IF ANY PART OF THE CONSTRUCTION PROCESS IS INTERRUPTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
9. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
12. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
13. FOLLOW RECOMMENDATIONS IN GEOTECH REPORT.
14. ROCK WALLS SHALL BE 4' HIGH WITH 2' WALKWAY AND 2' CURB. ROOF SHALL BE 12" MIN. STAMPED BY ENGINEER PRIOR TO ANY WORK.

STORM SEWER GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - a. INSTALLATION AND PROTECTION OF ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION.
 - b. EROSION CONTROL MEASURES TO BE MAINTAINED THROUGHOUT THE PROJECT.
 - c. EROSION CONTROL MEASURES TO BE MAINTAINED THROUGHOUT THE PROJECT.
2. ALL STORM SEWER CONNECTIONS SHALL BE IN CONFORMANCE WITH CITY STANDARDS AND SPECIFICATIONS.
3. ALL ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. ELEVATION POINTS SHALL BE ESTABLISHED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
4. CONNECTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTENDED AND CONSTRUCTION RESULTS SUBMITTED PRIOR TO FINAL ACCEPTANCE.
5. ALL STORM SEWER PIPES IN THE COUNTY RIGHT-OF-WAY SHALL BE 30" DIA.
6. ALL STORM SEWER MANHOLE IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS. ALL STORM SEWER LIDS SHALL BE LABELED STORM DRAIN.
7. WHEN CONNECTION TO EXISTING UTILITY IS REQUIRED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER IMMEDIATELY. LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

GENERAL GRADING NOTES

1. ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROL FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT COUNTY POLICE MANUAL. ALL TRAFFIC CONTROL SHALL BE APPROVED PRIOR TO ANY WORK.
2. ALL TRAFFIC CONTROL SHALL BE MAINTAINED THROUGHOUT THE PROJECT WITHOUT UNNECESSARY INTERFERENCE FROM THE COUNTY ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT ON THE OTHER SIDE.
3. THE CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR LONGER, REQUIRE THE INSTALLATION OF TEMPORARY STREET STOPPING AND REMOVAL OF PREFERENTIAL STOPPING BY SIGNALIZING. THE STOPPING STRIPING PLAN ON CONSTRUCTION TRAFFIC CONTROL SHALL BE SUBMITTED TO THE COUNTY ENGINEER AND APPROVED PRIOR TO CONSTRUCTION.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE COUNTY ENGINEER.
6. TRAFFIC CONTROL DEVICES (TRUCKS) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
7. ALL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL SUBSEQUENT REPORTS, APPROPRIATE ETC. SHALL BE CONSIDERED A PART OF THE GROUND PLAN AND SHALL BE COMPLETED PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
8. THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
9. COUNTY MAY REQUIRE A PRE-CONSTRUCTION MEETING BEFORE A PERMIT IS ISSUED.
10. STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
11. CONTRACTORS RESPONSIBLE FOR REPAIRS FOR ALL REQUIRED INSPECTIONS.
12. CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT.

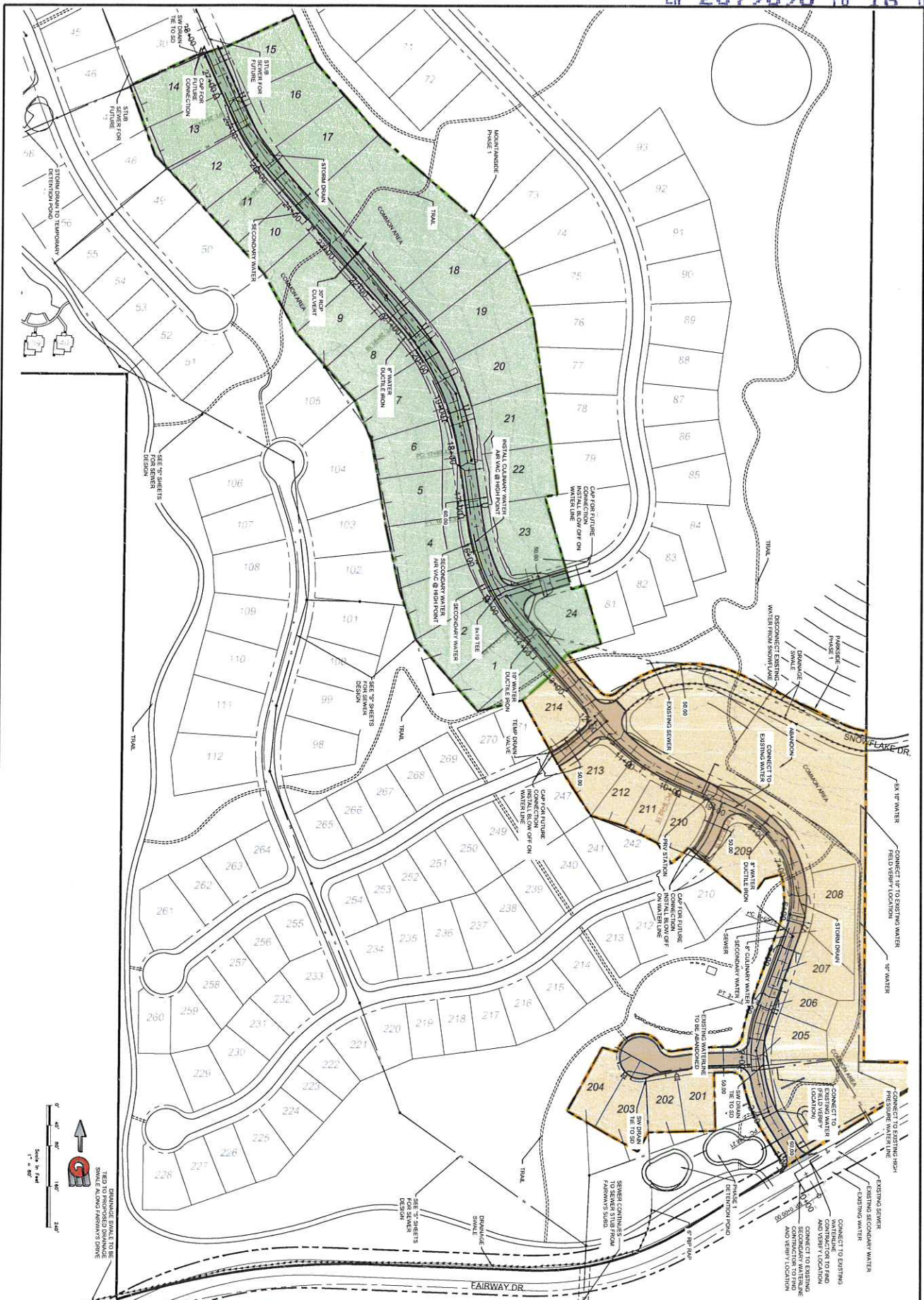
CULINARY WATER GENERAL NOTES

1. ALL INSTALLATION AND MATERIALS SHALL COMPLY WITH UTAH CODES AND SPECIFICATIONS AND STANDARDS.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
3. ALL WATER MAINS SHALL BE 30-42" DIA. HDPE. WATER MAIN CONSTRUCTION AND MATERIALS SHALL COMPLY WITH THE CITY OF EDEN SPECIFICATIONS AND STANDARDS.
4. RISE ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL. ELEVATION POINTS SHALL BE ESTABLISHED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
5. ALL WATER MAIN TESTING SHALL BE IN ACCORDANCE WITH (UTAH) STANDARDS AND SPECIFICATIONS. COMES OF ALL TESTS SHALL BE APPROVED BY THE COUNTY ENGINEER PRIOR TO ANY WORK.
6. ACCEPTANCE TESTING OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTENDED AND RESULTS SUBMITTED PRIOR TO FINAL ACCEPTANCE.
7. CONTRACTORS ARE RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF WATER MAIN.
8. WHEN CONNECTION TO EXISTING UTILITY IS REQUIRED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER IMMEDIATELY. LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.
9. ALL WATER MAIN VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO ANY WORK.
10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.
12. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK.

WEBER FIRE DISTRICT GENERAL NOTES

1. ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROL FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT COUNTY POLICE MANUAL. ALL TRAFFIC CONTROL SHALL BE APPROVED PRIOR TO ANY WORK.
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8. THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
9. COUNTY MAY REQUIRE A PRE-CONSTRUCTION MEETING BEFORE A PERMIT IS ISSUED.
10. STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
11. CONTRACTORS RESPONSIBLE FOR REPAIRS FOR ALL REQUIRED INSPECTIONS.
12. CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT.

SHEET INDEX	
CI -	COVER SHEET
SP1 -	SITE PLAN PHASE 1
UT1 -	OVERALL SEWER PLAN
DR1 -	OVERALL DRAINAGE PLAN
DT1 - DT3	DETAILS
PT - PT7	PLAN AND PROFILE ROADWAY
SK1 - SK3	SEWER LOT SEWER PROFILE
SM1 -	SWPP PLAN



SP1
25

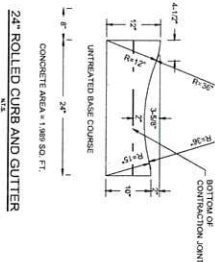
GARDNER ENGINEERING
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 MUNICIPAL - LAND SURVEYING
 5120 SOUTH 1725 EAST OGDEN, UT
 OFFICE: 401.476.0202 FAX: 801.476.0066

SITE PLAN PHASE 1
 THE BRIDGES
 PHASE 1
 EDEN, WEBER COUNTY, UTAH

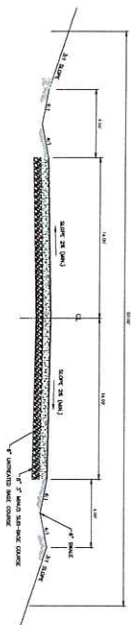


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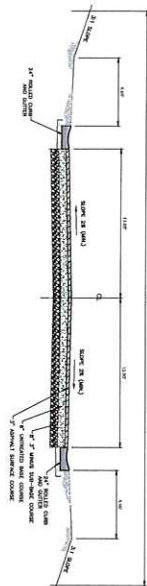
61



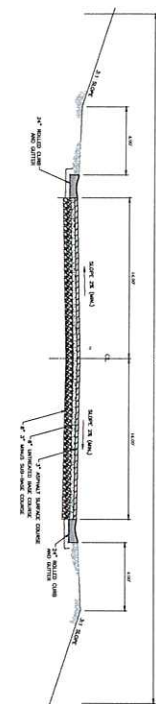
50' ROW - TYPICAL ROADWAY NO CURB
NOT TO SCALE



50' ROW - TYPICAL ROADWAY
NOT TO SCALE



60' ROW - TYPICAL ROADWAY
NOT TO SCALE



DEVELOPER
DATE SHEET
DATE REVISION
DATE REVISION

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ROADWAY CROSS SECTIONS
THE BRIDGES
PHASE 1
EDEN, WEBER COUNTY, UTAH

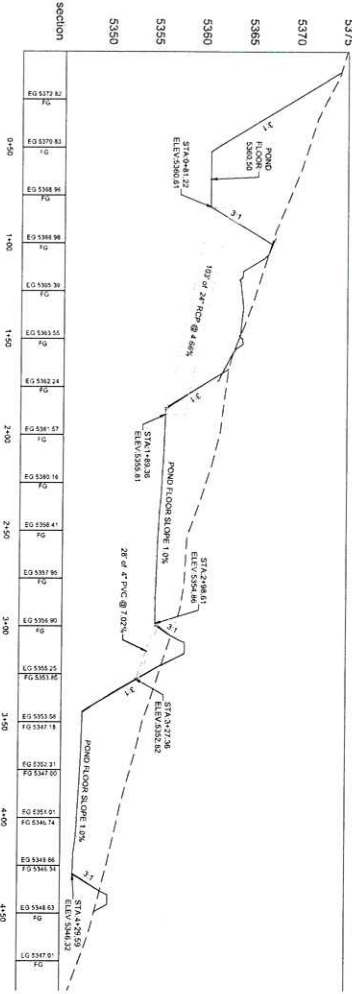
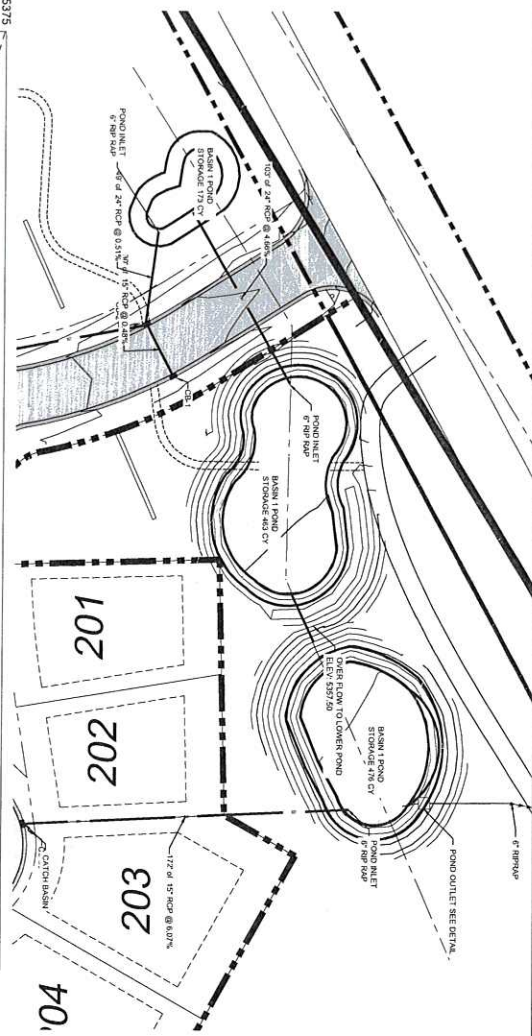


REVISIONS	
DATE	DESCRIPTION

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DRAWN: EAM
CHECKED: EAM
DATE: 02-16-07
DRAWN: EAM
CHECKED: EAM

DT1
25



**Drainage Basin 1
The Bridges**

Latitude 41.3370° Longitude -111.8347°

Area	Sq. Ft.	Area	C
Basin 1 Area	378,702	8.69	0.43
Total Weighted	378,702	8.69	0.43

RELEASE RATE 0.1 cfs/acre (0.87 cfs)

100 YEAR STORM EVENT

Release Vol (cf)	100 YEAR	Total Vol (cf)	Design Vol
201	7,880	8,337	8,577
522	6,000	13,438	12,508
1,024	4,960	10,084	9,560
1,308	3,940	7,722	7,284
1,600	2,960	5,560	5,120
1,900	2,040	3,940	3,500
2,200	1,200	2,400	2,000
2,500	600	1,100	1,000
2,800	0	0	0
3,100	0	0	0
3,400	0	0	0
3,700	0	0	0
4,000	0	0	0
4,300	0	0	0
4,600	0	0	0
4,900	0	0	0
5,200	0	0	0
5,500	0	0	0
5,800	0	0	0
6,100	0	0	0
6,400	0	0	0
6,700	0	0	0
7,000	0	0	0
7,300	0	0	0
7,600	0	0	0
7,900	0	0	0
8,200	0	0	0
8,500	0	0	0
8,800	0	0	0
9,100	0	0	0
9,400	0	0	0
9,700	0	0	0
10,000	0	0	0

Orifice Calculation

Maximum Head Depth to center of orifice (H)

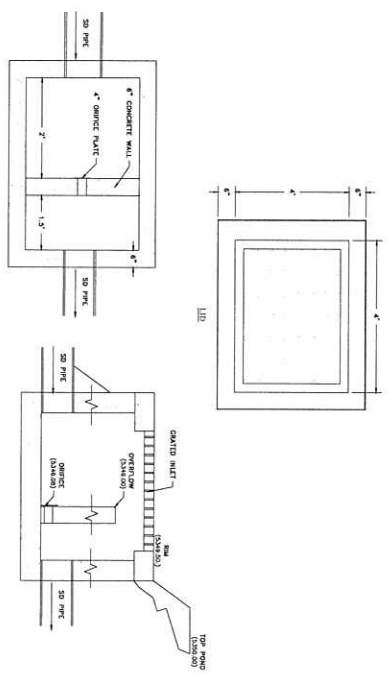
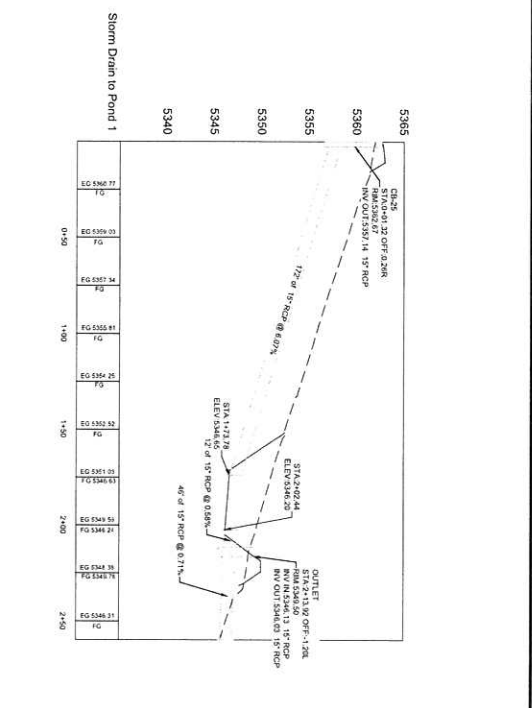
Orifice Coefficient of Discharge (C_d)

Area of Orifice (A_o)

Orifice Area (A_o)

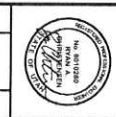
Orifice Discharge (Q)

Orifice Discharge (q)



POND OUTLET STRUCTURE

BASIN 1 POND DETAILS
THE BRIDGES
PHASE 1
EDEN, WEBER COUNTY, UTAH



REVISIONS	
DATE	DESCRIPTION

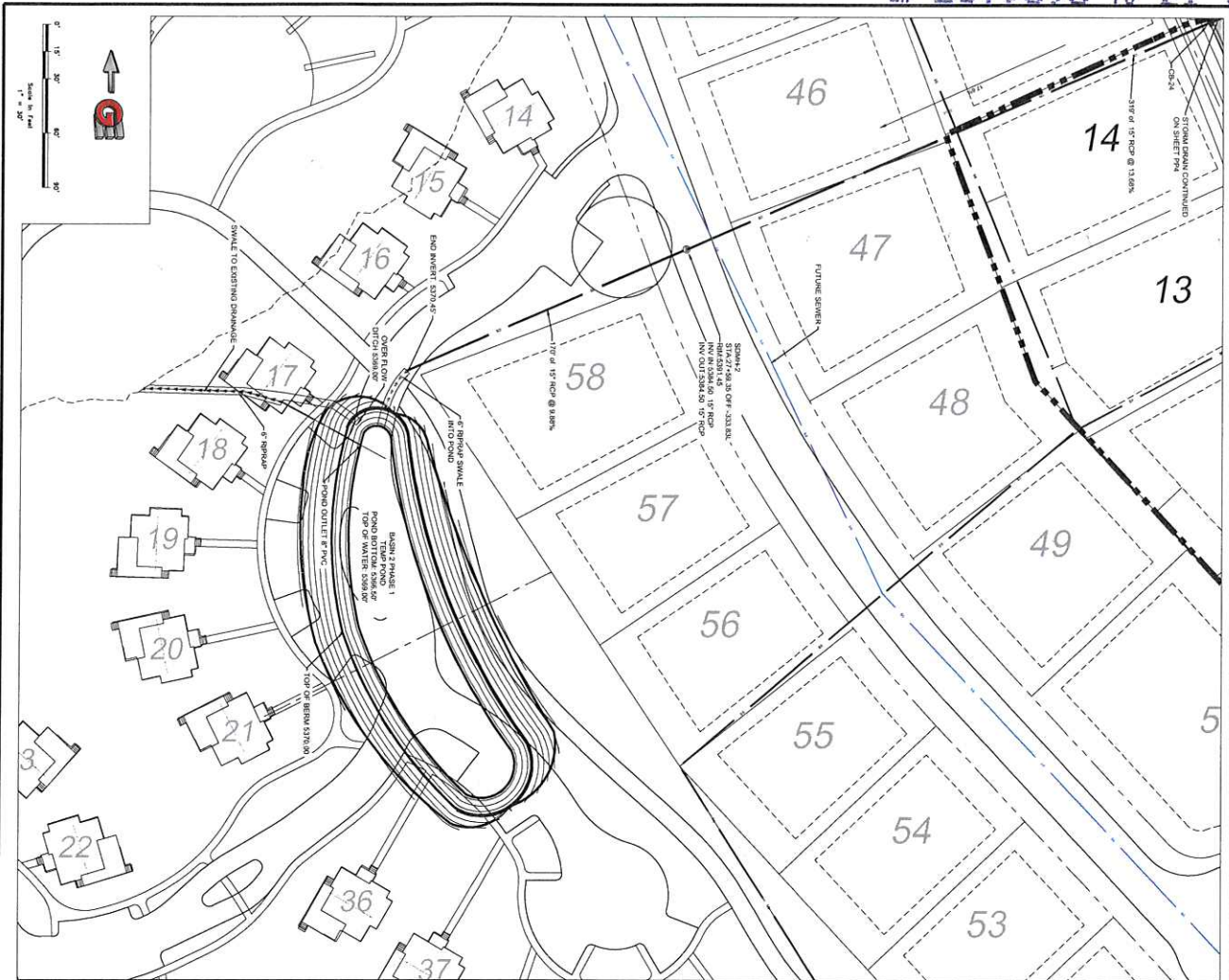
DWG:

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MUNICIPAL - LAND SURVEYING

5150 SOUTH 3725 EAST OGDEN, UT
OFFICE: 801-476-9242 FAX: 801-476-9066

DT2
25

12

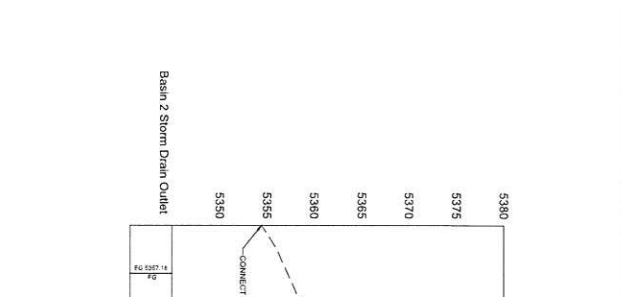
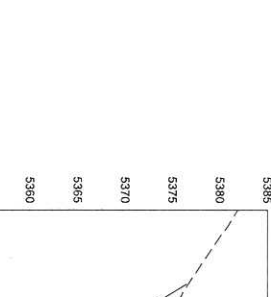


100 YEAR STORM EVENT

Duration (min)	Intensity (in/hr)	Volume (cu ft)
5	1.77	12,842
10	2.10	18,403
15	2.29	21,613
20	2.40	23,251
25	2.47	24,251
30	2.51	24,811
35	2.54	25,111
40	2.56	25,311
45	2.57	25,441
50	2.58	25,531
55	2.59	25,601
60	2.60	25,661
65	2.61	25,711
70	2.62	25,751
75	2.63	25,791
80	2.64	25,821
85	2.65	25,851
90	2.66	25,881
95	2.67	25,911
100	2.68	25,941
105	2.69	25,971
110	2.70	25,991
115	2.71	26,011
120	2.72	26,031
125	2.73	26,051
130	2.74	26,071
135	2.75	26,091
140	2.76	26,111
145	2.77	26,131
150	2.78	26,151
155	2.79	26,171
160	2.80	26,191
165	2.81	26,211
170	2.82	26,231
175	2.83	26,251
180	2.84	26,271
185	2.85	26,291
190	2.86	26,311
195	2.87	26,331
200	2.88	26,351
205	2.89	26,371
210	2.90	26,391
215	2.91	26,411
220	2.92	26,431
225	2.93	26,451
230	2.94	26,471
235	2.95	26,491
240	2.96	26,511
245	2.97	26,531
250	2.98	26,551
255	2.99	26,571
260	3.00	26,591
265	3.01	26,611
270	3.02	26,631
275	3.03	26,651
280	3.04	26,671
285	3.05	26,691
290	3.06	26,711
295	3.07	26,731
300	3.08	26,751
305	3.09	26,771
310	3.10	26,791
315	3.11	26,811
320	3.12	26,831
325	3.13	26,851
330	3.14	26,871
335	3.15	26,891
340	3.16	26,911
345	3.17	26,931
350	3.18	26,951
355	3.19	26,971
360	3.20	26,991
365	3.21	27,011
370	3.22	27,031
375	3.23	27,051
380	3.24	27,071
385	3.25	27,091
390	3.26	27,111
395	3.27	27,131
400	3.28	27,151
405	3.29	27,171
410	3.30	27,191
415	3.31	27,211
420	3.32	27,231
425	3.33	27,251
430	3.34	27,271
435	3.35	27,291
440	3.36	27,311
445	3.37	27,331
450	3.38	27,351
455	3.39	27,371
460	3.40	27,391
465	3.41	27,411
470	3.42	27,431
475	3.43	27,451
480	3.44	27,471
485	3.45	27,491
490	3.46	27,511
495	3.47	27,531
500	3.48	27,551

**Drainage Basin 2
The Bridges**

Area	Area	Area	C
Basin 2	528,200	11,931	0.23
Basin 1	528,200	11,931	0.23



Office Calculation

Area	Area	Area	C
Basin 2	528,200	11,931	0.23
Basin 1	528,200	11,931	0.23

Basin 2 Pond Cross Section

Elevation	Width
5370	24.87
5375	27.00
5380	29.13
5385	30.00

Basin 2 Storm Drain Outlet

Elevation	Width
5350	12.00
5355	12.00
5360	12.00
5365	12.00
5370	12.00
5375	12.00
5380	12.00
5385	12.00

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5150 SOUTH 375 EAST OGDEN, UT
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BASIN 2 POND DETAILS
THE BRIDGES
PHASE 1
EDEN, WEBER COUNTY, UTAH

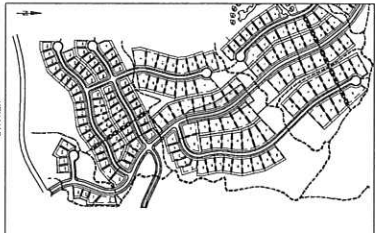
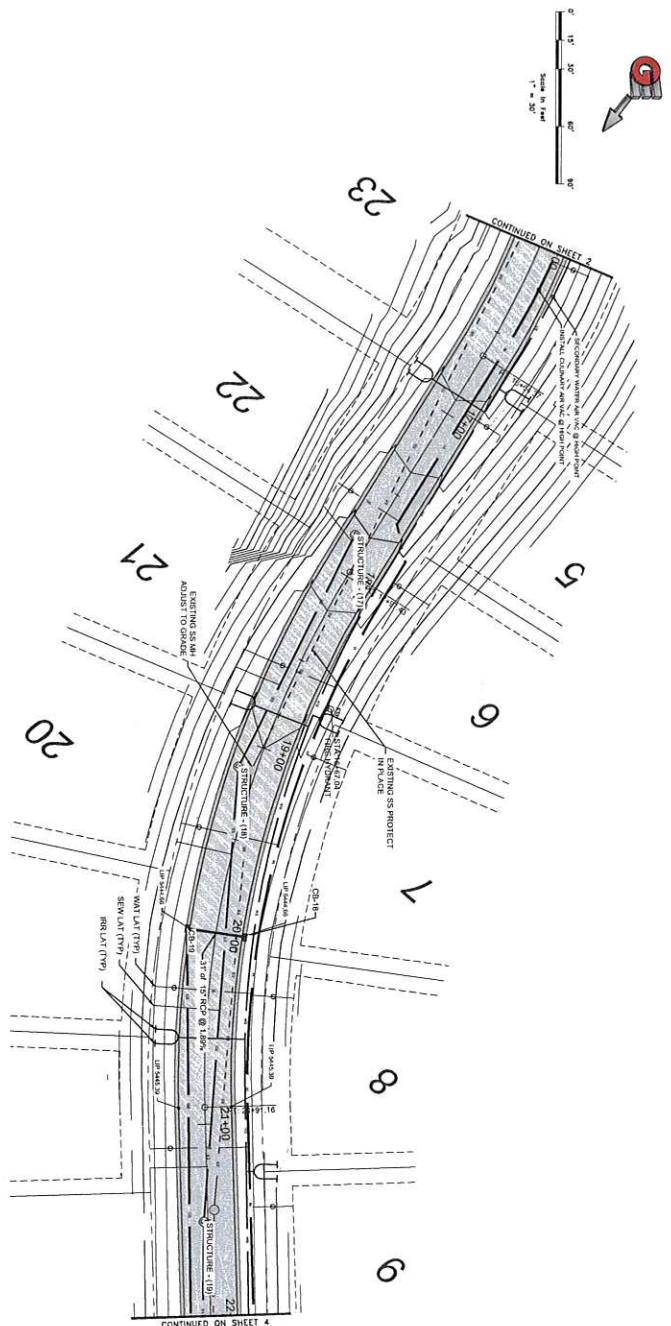
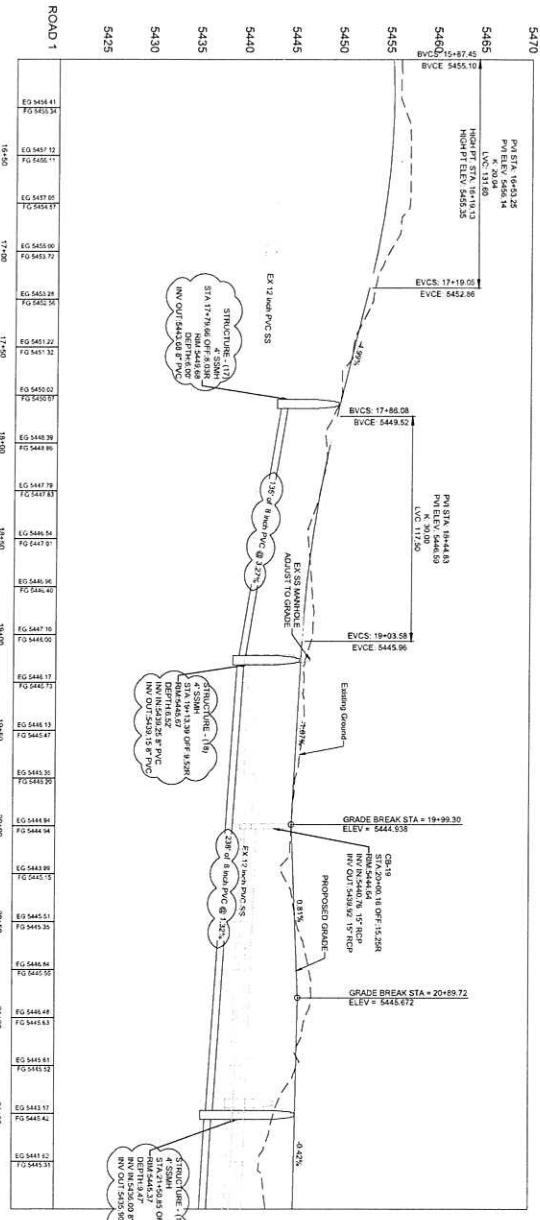


DATE	DESCRIPTION
4-11-17	REVISED POND SIZE

SCALE: 1" = 30'
DATE: 02-07
DRAWN: KAN
CHECKED: AC
DWG:

DT3
25

24



STATION	ELEVATION
16+00	EG 5438.41
16+10	EG 5438.41
16+20	EG 5437.87
16+30	EG 5438.00
16+40	EG 5438.39
16+50	EG 5438.22
16+60	EG 5438.00
16+70	EG 5438.39
16+80	EG 5438.78
16+90	EG 5438.54
17+00	EG 5438.36
17+10	EG 5447.76
17+20	EG 5448.00
17+30	EG 5448.17
17+40	EG 5448.14
17+50	EG 5448.13
17+60	EG 5448.13
17+70	EG 5448.13
17+80	EG 5448.13
17+90	EG 5448.13
18+00	EG 5448.13
18+10	EG 5448.13
18+20	EG 5448.13
18+30	EG 5448.13
18+40	EG 5448.13
18+50	EG 5448.13
18+60	EG 5448.13
18+70	EG 5448.13
18+80	EG 5448.13
18+90	EG 5448.13
19+00	EG 5448.13
19+10	EG 5448.13
19+20	EG 5448.13
19+30	EG 5448.13
19+40	EG 5448.13
19+50	EG 5448.13
19+60	EG 5448.13
19+70	EG 5448.13
19+80	EG 5448.13
19+90	EG 5448.13
20+00	EG 5448.13
20+10	EG 5448.13
20+20	EG 5448.13
20+30	EG 5448.13
20+40	EG 5448.13
20+50	EG 5448.13
20+60	EG 5448.13
20+70	EG 5448.13
20+80	EG 5448.13
20+90	EG 5448.13
21+00	EG 5448.13
21+10	EG 5448.13
21+20	EG 5448.13
21+30	EG 5448.13
21+40	EG 5448.13
21+50	EG 5448.13

GARDNER ENGINEERING
 CIVIL - LAND PLANNING
 MUNICIPAL - LAND SURVEYING
 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801.476.0202 FAX: 801.476.0066

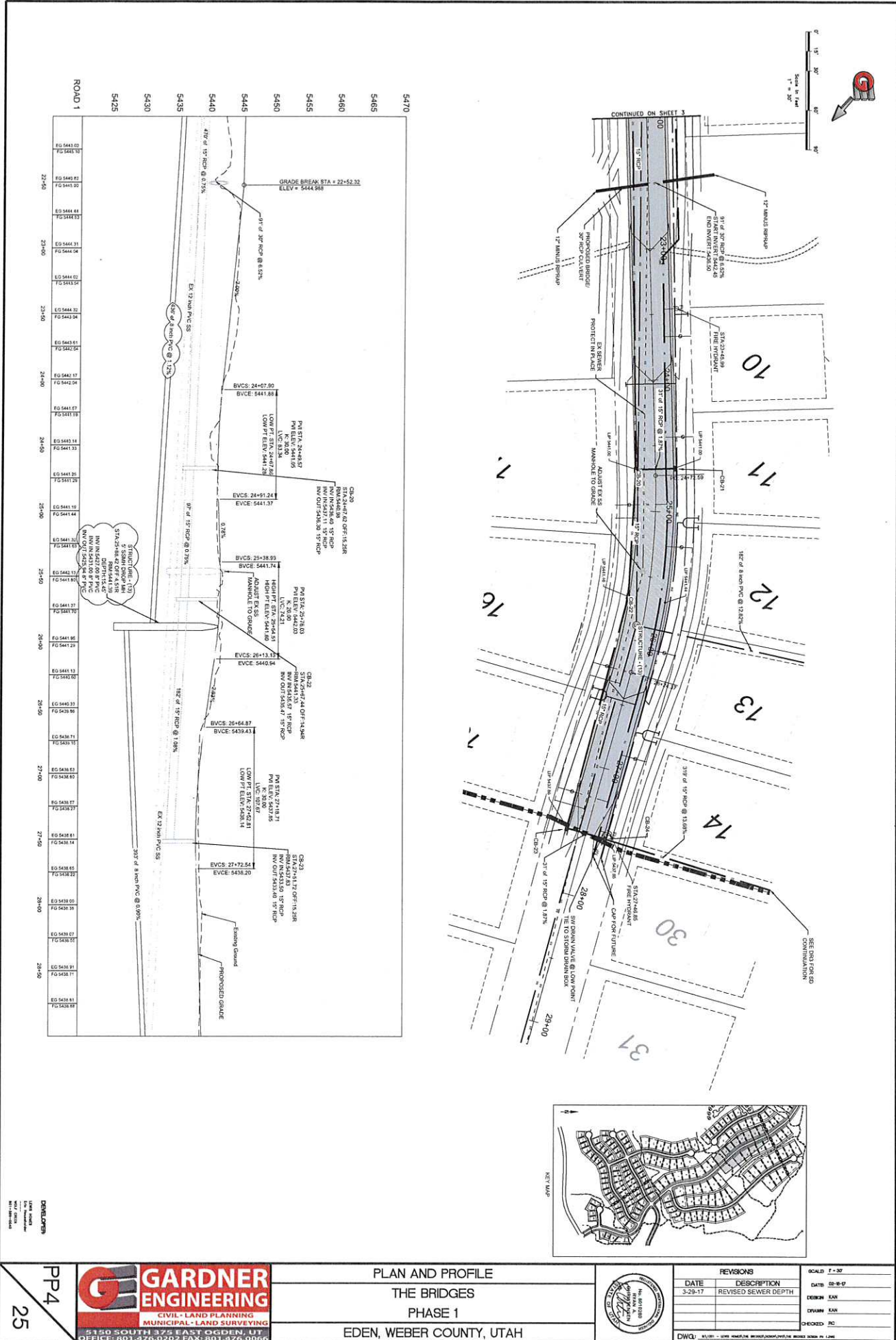
PLAN AND PROFILE
 THE BRIDGES
 PHASE 1
 EDEN, WEBER COUNTY, UTAH



REVISIONS		SCALE
DATE	DESCRIPTION	1" = 30'
3-29-17	REVISED SEWER DEPTH	DATE: 03-29-17
		DRAWN: EAM
		CHECKED: EAM
		DESIGNED: EAM
		PROJECT NO: 17-001

PP3
 25

96



DEVELOPER
 LARRY SMITH
 1017 10TH AVENUE
 DENVER, CO 80202

GARDNER ENGINEERING
 CIVIL - LAND PLANNING
 MUNICIPAL - LAND SURVEYING
 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801-476-0262 FAX: 801-476-0066

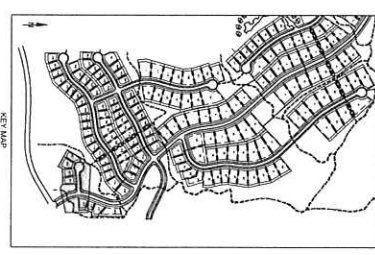
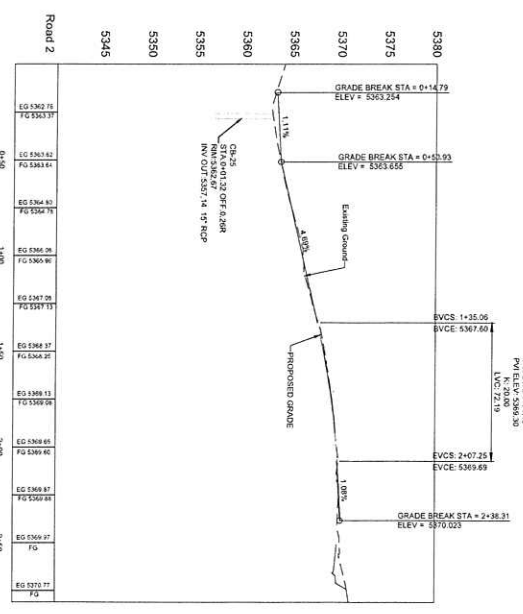
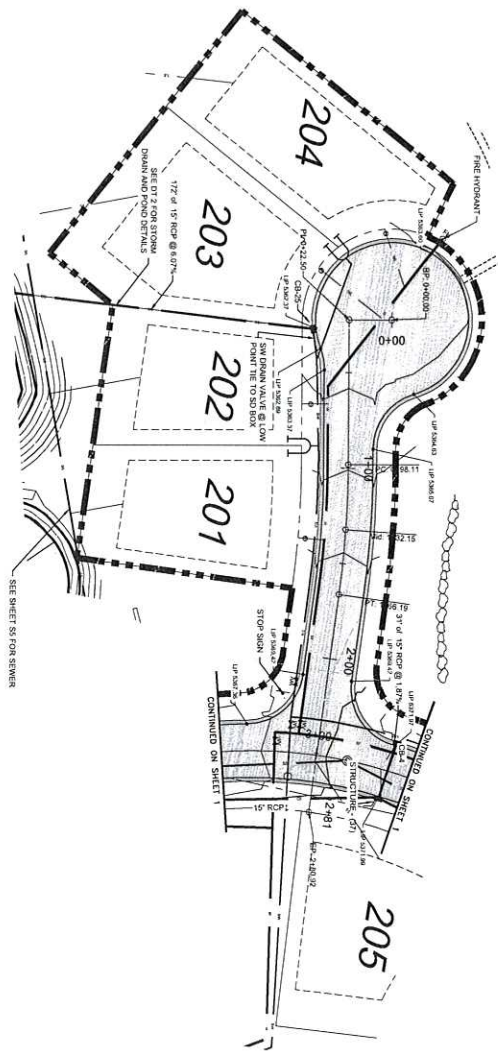
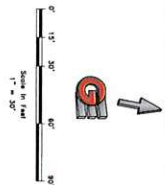
PLAN AND PROFILE
 THE BRIDGES
 PHASE 1
 EDEN, WEBER COUNTY, UTAH



REVISIONS	
DATE	DESCRIPTION
3-29-17	REVISED SEWER DEPTH

SCALE: 1" = 30'	DATE: 03-16-17
DRAWN: EAM	CHECKED: EAM
DRAWN: EAM	CHECKED: JIC

PP4
 25



DEVELOPER:
 CITY OF EDEN
 5100 SOUTH 17 1/2 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0466

GARDNER ENGINEERING
 CIVIL • LAND PLANNING
 MUNICIPAL • LAND SURVEYING
 5100 SOUTH 17 1/2 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0466

PLAN AND PROFILE
 THE BRIDGES
 PHASE 1
 EDEN, WEBER COUNTY, UTAH

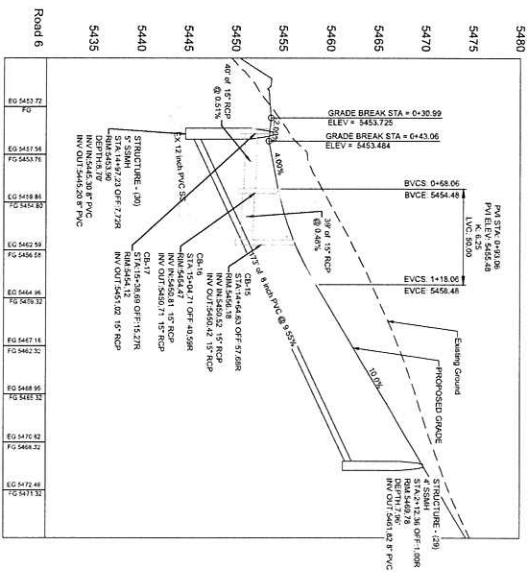
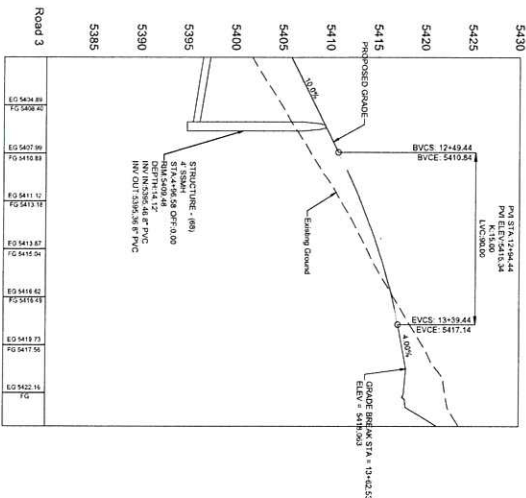
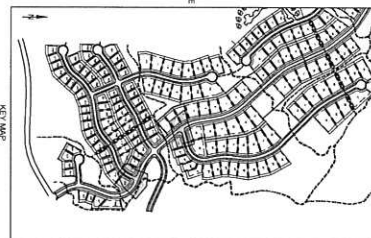
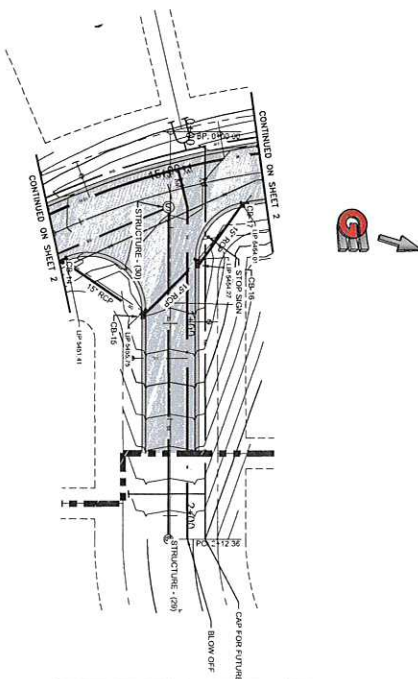
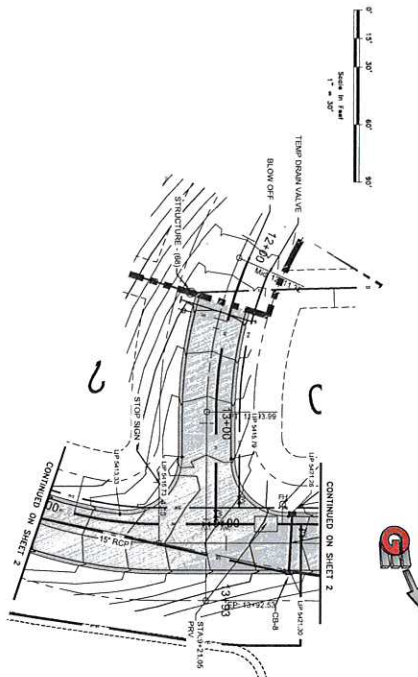


REVISIONS	
DATE	DESCRIPTION

SCALE: 1" = 30'
DATE: 02-15-17
DRAWN: EAM
CHECKED: EAM
DATE: 02-15-17

PP5
 25

22



REVISIONS	
DATE	DESCRIPTION

SCALE: 1" = 30'
DATE: 05-07
DRAWN: EAM
CHECKED: EAM
DESIGNED: RC

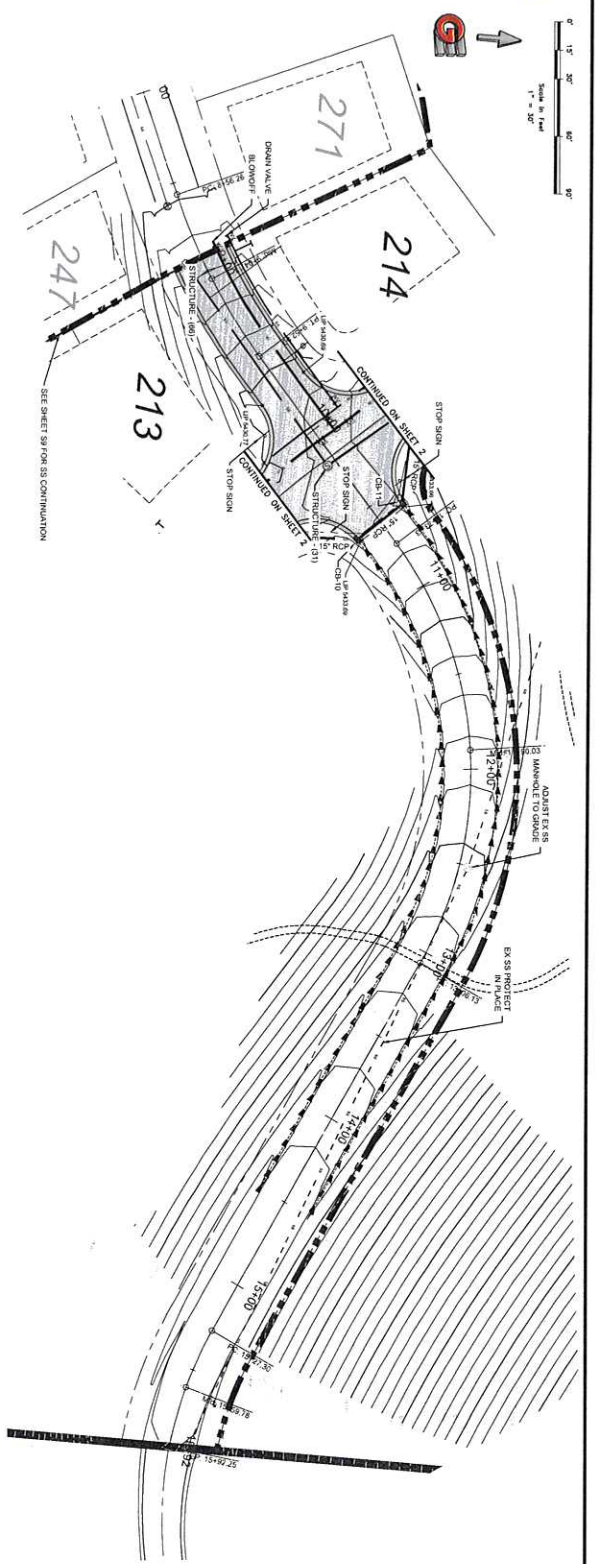
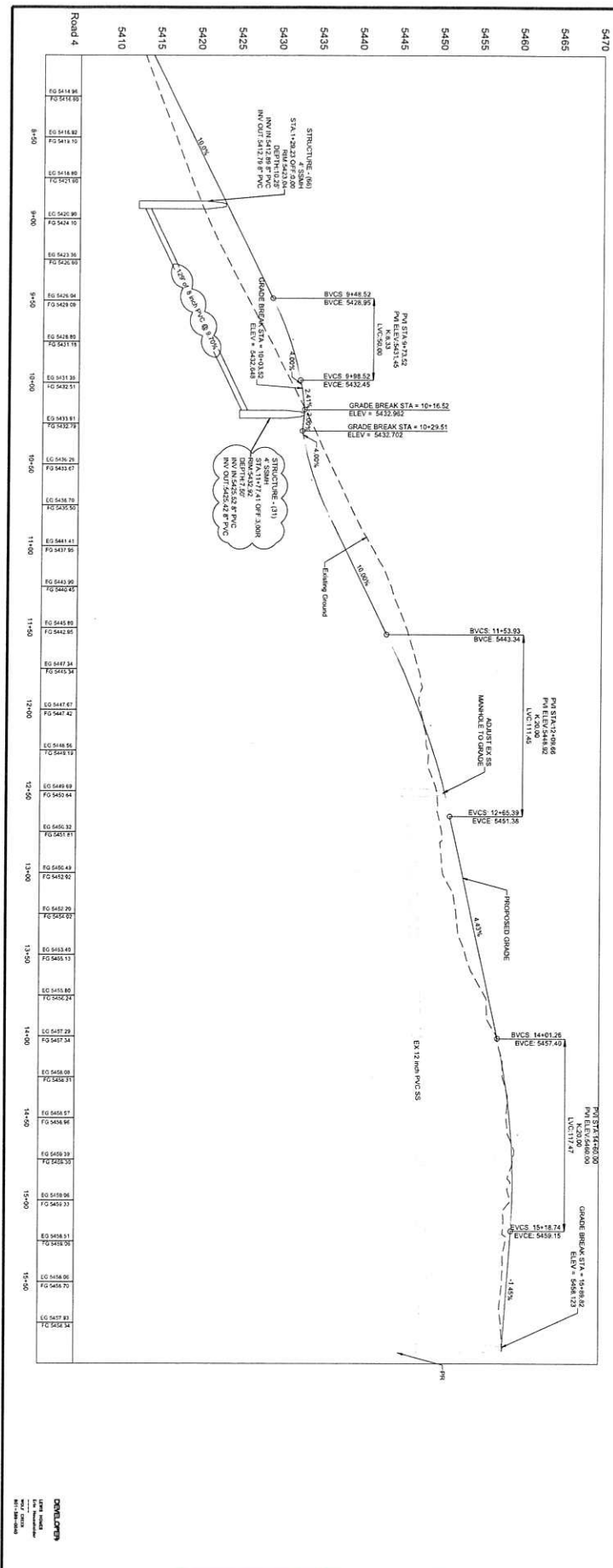


PLAN AND PROFILE
 THE BRIDGES
 PHASE 1
 EDEN, WEBER COUNTY, UTAH

GARDNER ENGINEERING
 CIVIL - LAND PLANNING
 MUNICIPAL - LAND SURVEYING
 5120 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0066

PP6
 25

DATE PLOTTED: 05/07/13
 PLOT SCALE: 1" = 30'

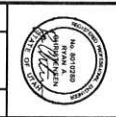


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5465	EG 5416.82 FG 5419.10
5460	EG 5418.65 FG 5421.00
5455	EG 5420.54 FG 5423.00
5450	EG 5422.43 FG 5425.00
5445	EG 5424.32 FG 5427.00
5440	EG 5426.21 FG 5429.00
5435	EG 5428.10 FG 5431.00
5430	EG 5430.00 FG 5433.00
5425	EG 5431.89 FG 5435.00
5420	EG 5433.78 FG 5437.00
5415	EG 5435.67 FG 5439.00
5410	EG 5437.56 FG 5441.00

PP7
25

GARDNER ENGINEERING
CIVIL - LAND PLANNING
MUNICIPAL - LAND SURVEYING
5150 SOUTH 3700 EAST CORDEN UTAH
OFFICE: 801-476-0202 FAX: 801-476-0066

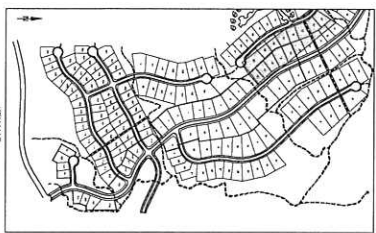
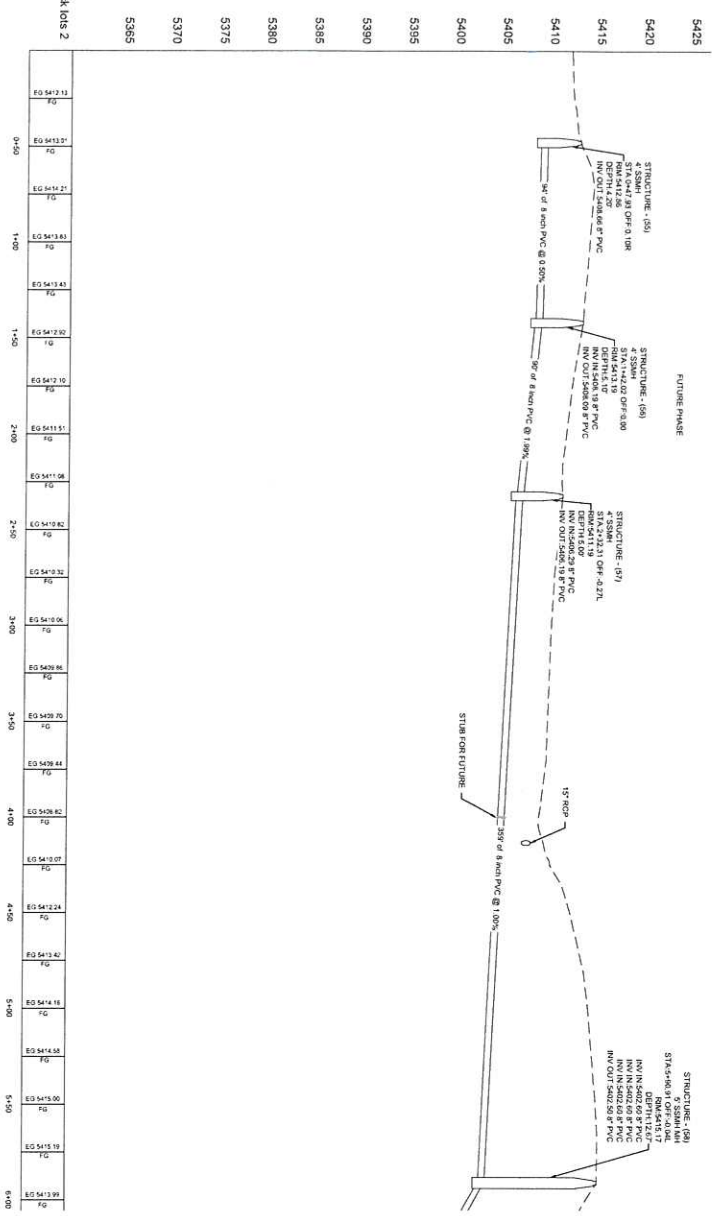
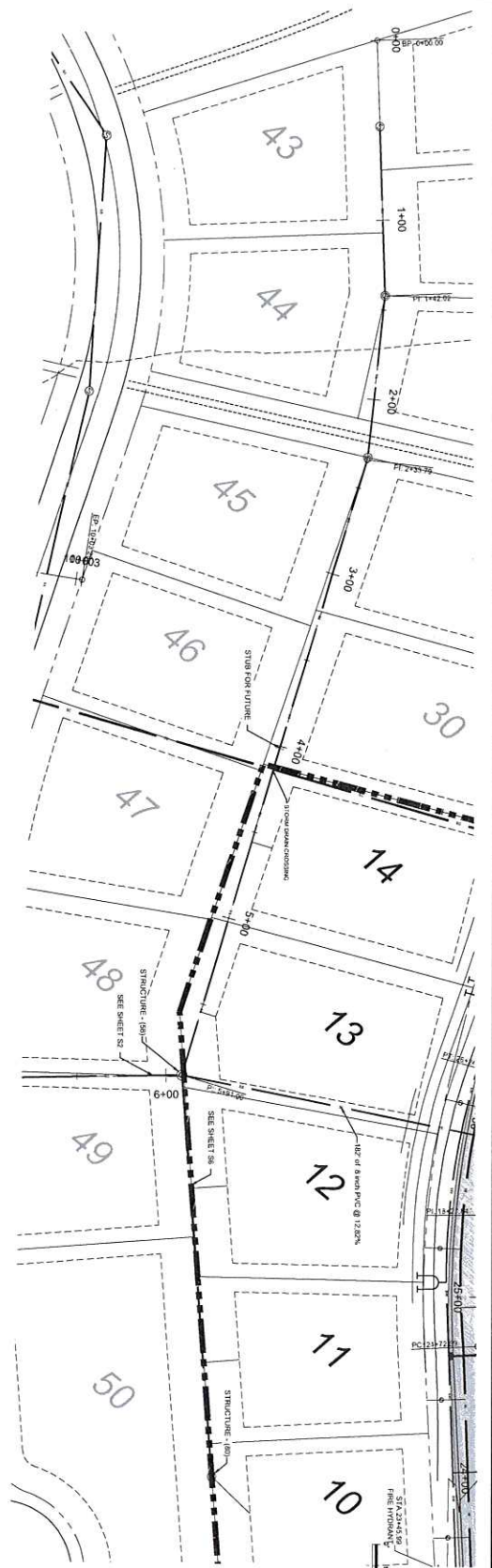
PLAN AND PROFILE
THE BRIDGES
PHASE 1
EDEN, WEBER COUNTY, UTAH



REVISIONS	
DATE	DESCRIPTION
3-29-17	REVISED SEWER DEPTH

SCALE: 1"=30'
DATE: 02-07
DRAWN: SAM
CHECKED: RC
DWG: 81,181 - LEWIS HOMER, THE BRIDGES, DESIGN, THE BRIDGES DESIGN PH 1,2,3,4

62

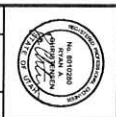


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EG 5420.00	Pa	5420
EG 5415.00	Pa	5415
EG 5410.00	Pa	5410
EG 5405.00	Pa	5405
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EG 5395.00	Pa	5395
EG 5390.00	Pa	5390
EG 5385.00	Pa	5385
EG 5380.00	Pa	5380
EG 5375.00	Pa	5375
EG 5370.00	Pa	5370
EG 5365.00	Pa	5365
EG 5417.11	Pa	5417.11
EG 5413.31	Pa	5413.31
EG 5412.21	Pa	5412.21
EG 5413.43	Pa	5413.43
EG 5413.43	Pa	5413.43
EG 5412.02	Pa	5412.02
EG 5412.10	Pa	5412.10
EG 5411.51	Pa	5411.51
EG 5411.08	Pa	5411.08
EG 5410.82	Pa	5410.82
EG 5410.72	Pa	5410.72
EG 5410.06	Pa	5410.06
EG 5409.86	Pa	5409.86
EG 5409.70	Pa	5409.70
EG 5409.44	Pa	5409.44
EG 5408.82	Pa	5408.82
EG 5410.07	Pa	5410.07
EG 5412.24	Pa	5412.24
EG 5413.42	Pa	5413.42
EG 5414.16	Pa	5414.16
EG 5414.38	Pa	5414.38
EG 5415.00	Pa	5415.00
EG 5415.19	Pa	5415.19
EG 5413.99	Pa	5413.99

S1
25

GARDNER ENGINEERING
 CIVIL - LAND PLANNING
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 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0066

BACK LOT SEWER PROFILE
 THE BRIDGES
 PHASE 1
 EDEN, WEBER COUNTY, UTAH

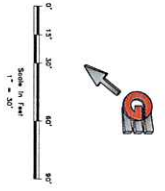
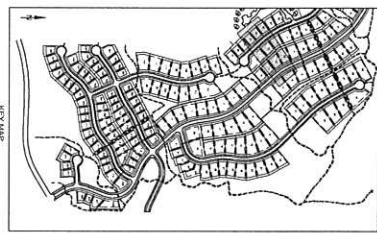
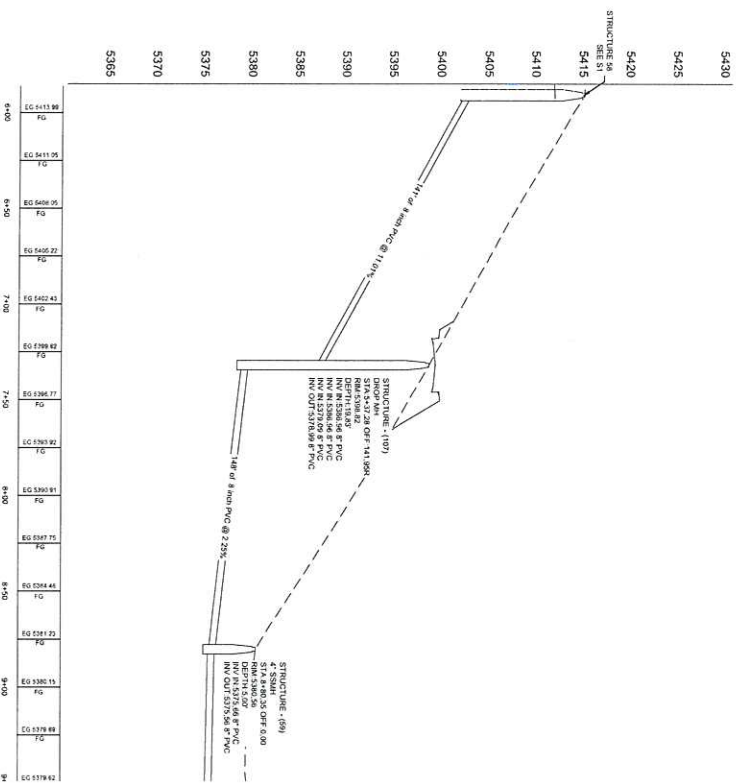
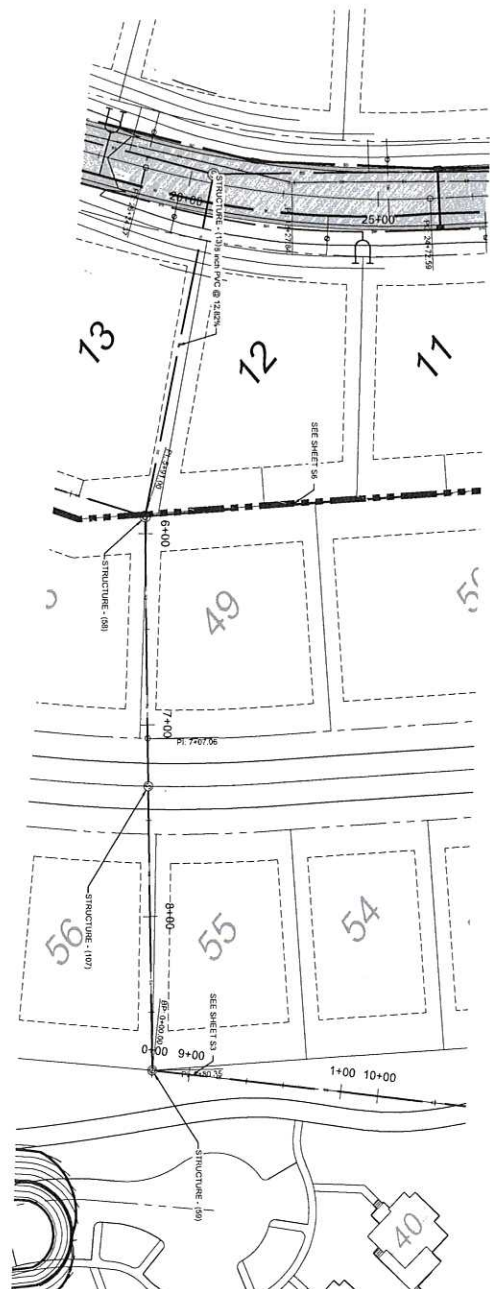


REVISIONS	
DATE	DESCRIPTION

SCALE: 1" = 30'
DATE: 02-05-17
DRAWN: EAM
CHECKED: EAM
RECORDED: MC

DWG#: 2879696 - LOTS 10-14, 30-49, THE BRIDGES, PHASE 1, THE BRIDGES SEWER, PG. 12 OF 12

86



6+00	EG 5411.88	FG
6+10	EG 5411.05	FG
6+20	EG 5408.05	FG
6+30	EG 5405.22	FG
7+00	EG 5402.43	FG
7+10	EG 5399.62	FG
7+20	EG 5396.77	FG
7+30	EG 5393.92	FG
8+00	EG 5390.91	FG
8+10	EG 5387.75	FG
8+20	EG 5384.44	FG
8+30	EG 5381.22	FG
8+40	EG 5378.15	FG
8+50	EG 5375.00	FG
9+00	EG 5371.88	FG
9+10	EG 5368.82	FG

STRUCTURE - (108)
 12" DIA. 8' LONG PVC @ 2.25%
 14" DIA. 8' LONG PVC @ 2.25%
 STRUCTURE - (109)
 12" DIA. 8' LONG PVC @ 2.25%
 14" DIA. 8' LONG PVC @ 2.25%
 STRUCTURE - (110)
 12" DIA. 8' LONG PVC @ 2.25%
 14" DIA. 8' LONG PVC @ 2.25%
 STRUCTURE - (111)
 12" DIA. 8' LONG PVC @ 2.25%
 14" DIA. 8' LONG PVC @ 2.25%

S2
25

GARDNER ENGINEERING
 CIVIL - LAND PLANNING
 MUNICIPAL - LAND SURVEYING
 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0066

BACK LOT SEWER PROFILE
 THE BRIDGES
 PHASE 1
 EDEN, WEBER COUNTY, UTAH



REVISIONS	
DATE	DESCRIPTION

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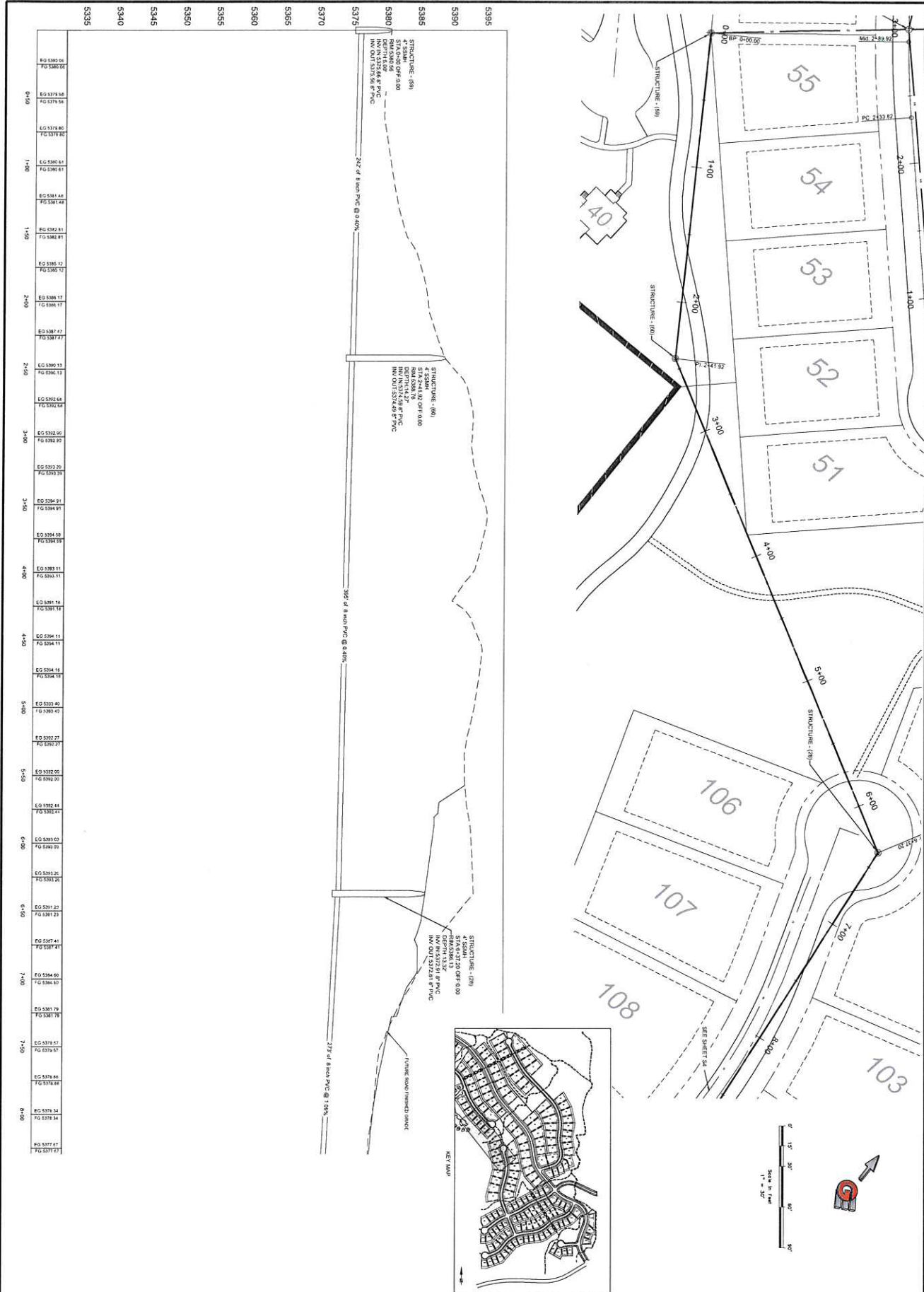
DATE: 02-05-07

DRAWN BY: EAM

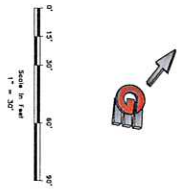
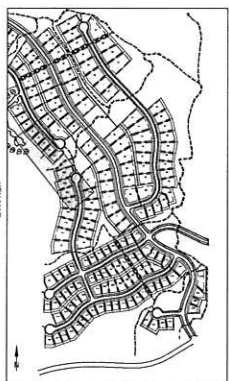
CHECKED BY: EAM

DATE: 02-05-07

13



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EG 5379 80	PG 5379 80
EG 5380 81	PG 5380 81
EG 5387 88	PG 5387 88
EG 5392 81	PG 5392 81
EG 5395 12	PG 5395 12
EG 5398 17	PG 5398 17
EG 5387 87	PG 5387 87
EG 5390 13	PG 5390 13
EG 5392 44	PG 5392 44
EG 5392 90	PG 5392 90
EG 5393 30	PG 5393 30
EG 5394 21	PG 5394 21
EG 5394 99	PG 5394 99
EG 5393 11	PG 5393 11
EG 5391 16	PG 5391 16
EG 5391 11	PG 5391 11
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EG 5392 40	PG 5392 40
EG 5392 27	PG 5392 27
EG 5392 05	PG 5392 05
EG 5392 44	PG 5392 44
EG 5393 03	PG 5393 03
EG 5393 26	PG 5393 26
EG 5391 22	PG 5391 22
EG 5397 41	PG 5397 41
EG 5394 00	PG 5394 00
EG 5393 76	PG 5393 76
EG 5393 07	PG 5393 07
EG 5393 88	PG 5393 88
EG 5393 34	PG 5393 34
EG 5397 47	PG 5397 47



S3
25

GARDNER ENGINEERING
 CIVIL • LAND PLANNING
 MUNICIPAL • LAND SURVEYING
 5150 SOUTH 376 EAST OGDEN, UT
 OFFICE: 801.476.0202 FAX: 801.476.0056

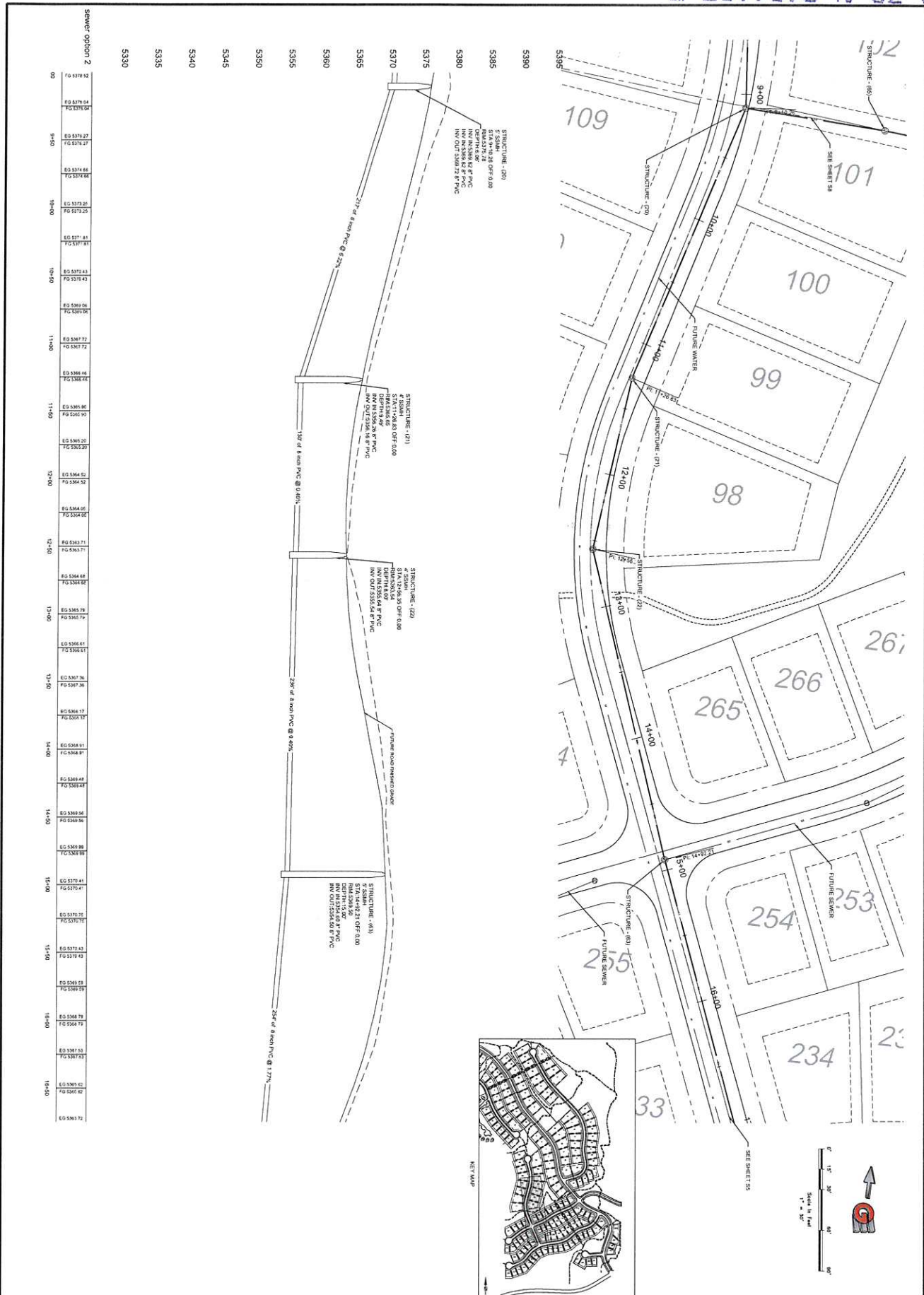
BACKLOT SEWER PROFILE
 THE BRIDGES
 PHASE 1
 EDEN, WEBER COUNTY, UTAH



REVISIONS	
DATE	DESCRIPTION

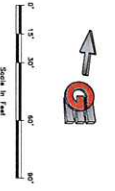
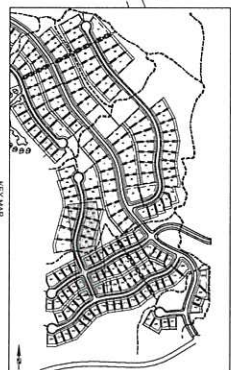
SCALE: 1" = 30'
DATE: 02-05-07
DESIGN: EAM
DRAWN: EAM
CHECKED: JIC

DWG: ALL RIGHTS RESERVED BY GARDNER ENGINEERING. THE SHOWN DESIGN IS FOR THE



sewer option 2

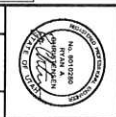
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0+40	EG 5373.25	FG 5373.25
0+50	EG 5371.81	FG 5371.81
0+60	EG 5370.43	FG 5370.43
0+70	EG 5369.06	FG 5369.06
0+80	EG 5367.72	FG 5367.72
0+90	EG 5366.46	FG 5366.46
1+00	EG 5365.20	FG 5365.20
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1+20	EG 5364.05	FG 5364.05
1+30	EG 5363.71	FG 5363.71
1+40	EG 5364.48	FG 5364.48
1+50	EG 5365.79	FG 5365.79
1+60	EG 5366.41	FG 5366.41
1+70	EG 5367.36	FG 5367.36
1+80	EG 5368.17	FG 5368.17
1+90	EG 5368.81	FG 5368.81
2+00	EG 5368.44	FG 5368.44
2+10	EG 5368.36	FG 5368.36
2+20	EG 5368.98	FG 5368.98
2+30	EG 5370.41	FG 5370.41
2+40	EG 5370.75	FG 5370.75
2+50	EG 5370.43	FG 5370.43
2+60	EG 5369.58	FG 5369.58
2+70	EG 5368.79	FG 5368.79
2+80	EG 5367.53	FG 5367.53
2+90	EG 5365.82	FG 5365.82
3+00	EG 5363.72	FG 5363.72



S4
25

GARDNER ENGINEERING
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MUNICIPAL • LAND SURVEYING
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OFFICE: 801-476-0202 FAX: 801-476-0066

BACKLOT SEWER PROFILE
THE BRIDGES
PHASE 1
EDEN, WEBER COUNTY, UTAH

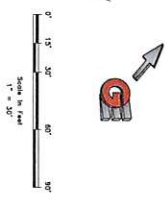
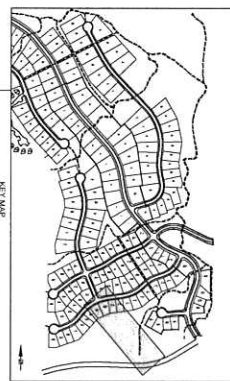
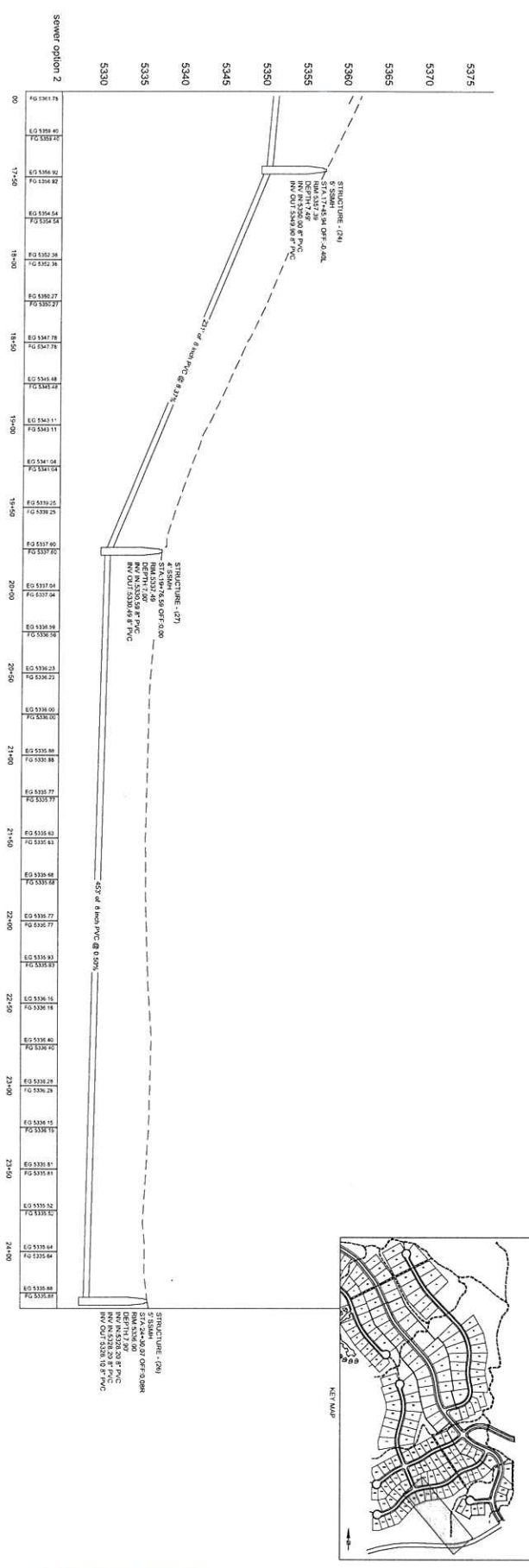
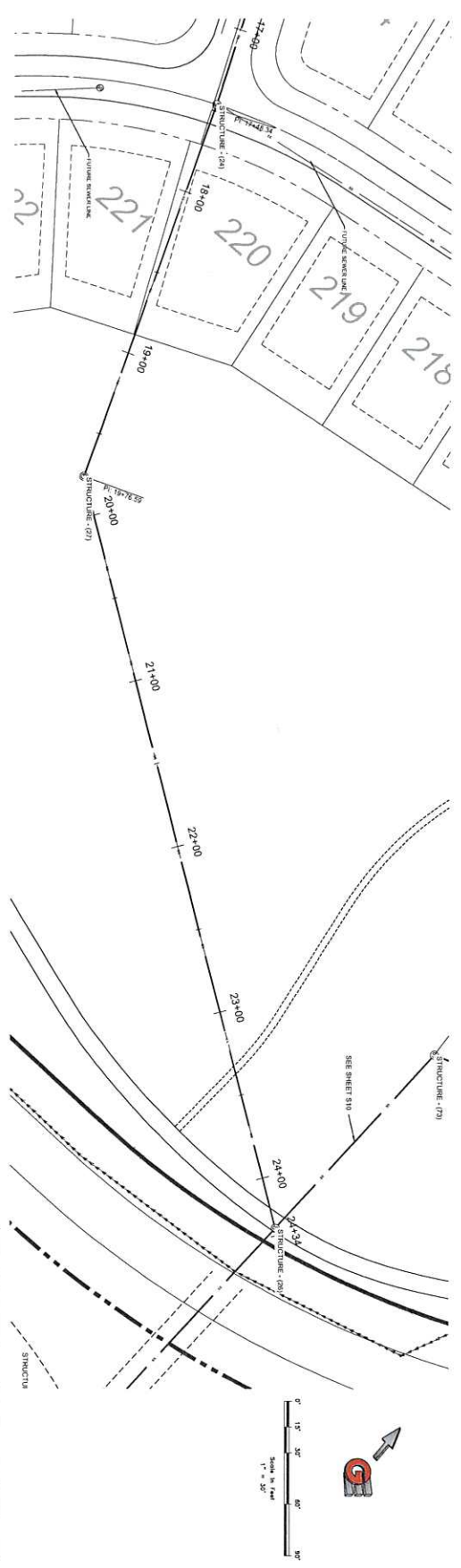


REVISIONS	
DATE	DESCRIPTION

SCALE	T-37
DATE	02-05-17
DESIGN	EAN
DRAWN	EAN
CHECKED	IC

DWG: 8/1/17 - LEWIS HOMER, THE BRIDGES, SECTION 1, THE BRIDGES DESIGN PH 1.DWG

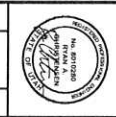
33



S5
25

GARDNER ENGINEERING
 CIVIL - LAND PLANNING
 MUNICIPAL - LAND SURVEYING
 5120 SOUTH 372 EAST OGDEN UT
 OFFICE: 801-476-0202 FAX: 801-476-0060

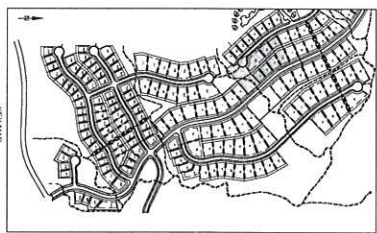
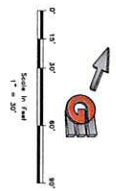
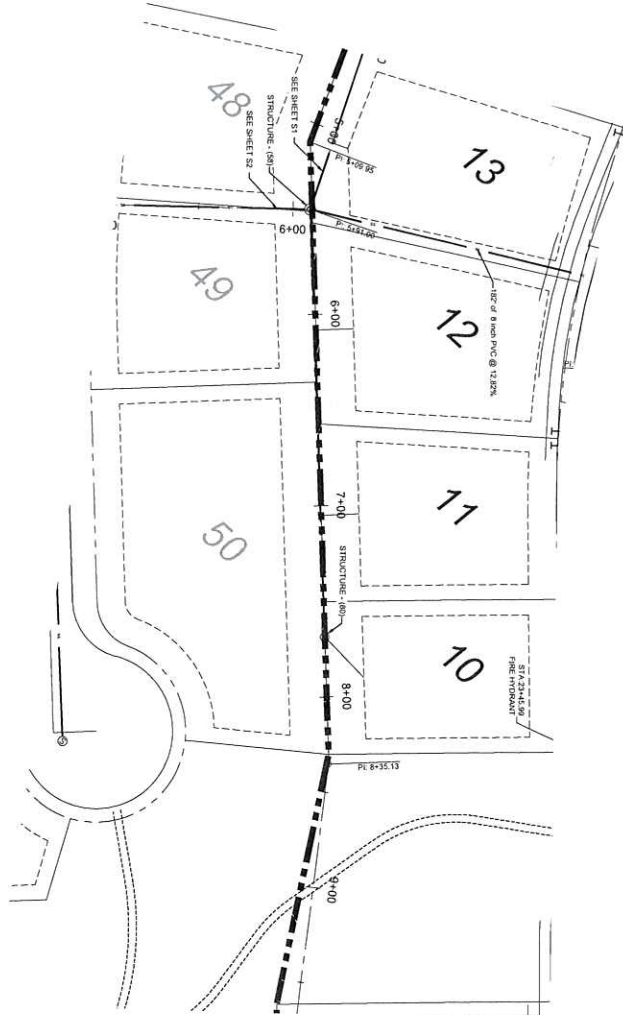
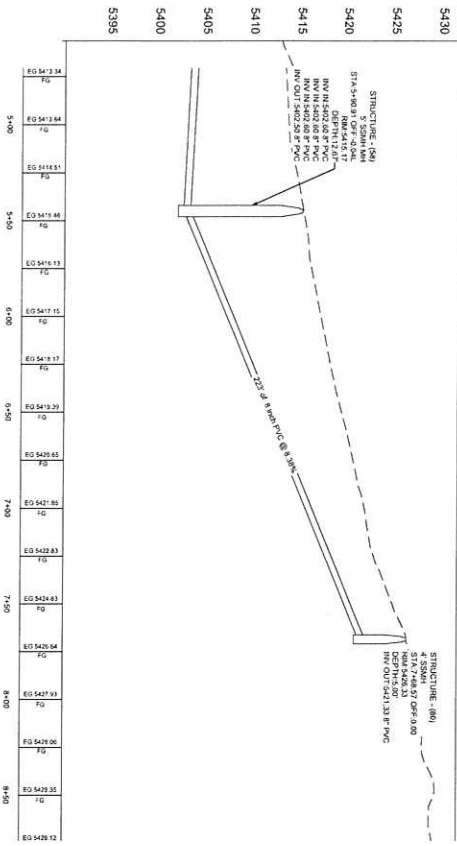
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 THE BRIDGES
 PHASE 1
 EDEN, WEBER COUNTY, UTAH



REVISIONS		SCALE: 1" = 30'
DATE	DESCRIPTION	DATE: 02-05-07
		DESIGN: KAN
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		CHECKED: JIC

DWQ: 01/13/07 - LEMUS HOMES, THE BRIDGES, EDEN, UTAH, THE BRIDGES DESIGN PH. 1.020

h2



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CIVIL - LAND PLANNING
MUNICIPAL - LAND SURVEYING

5120 SOUTH 375 EAST OGDEN, UT
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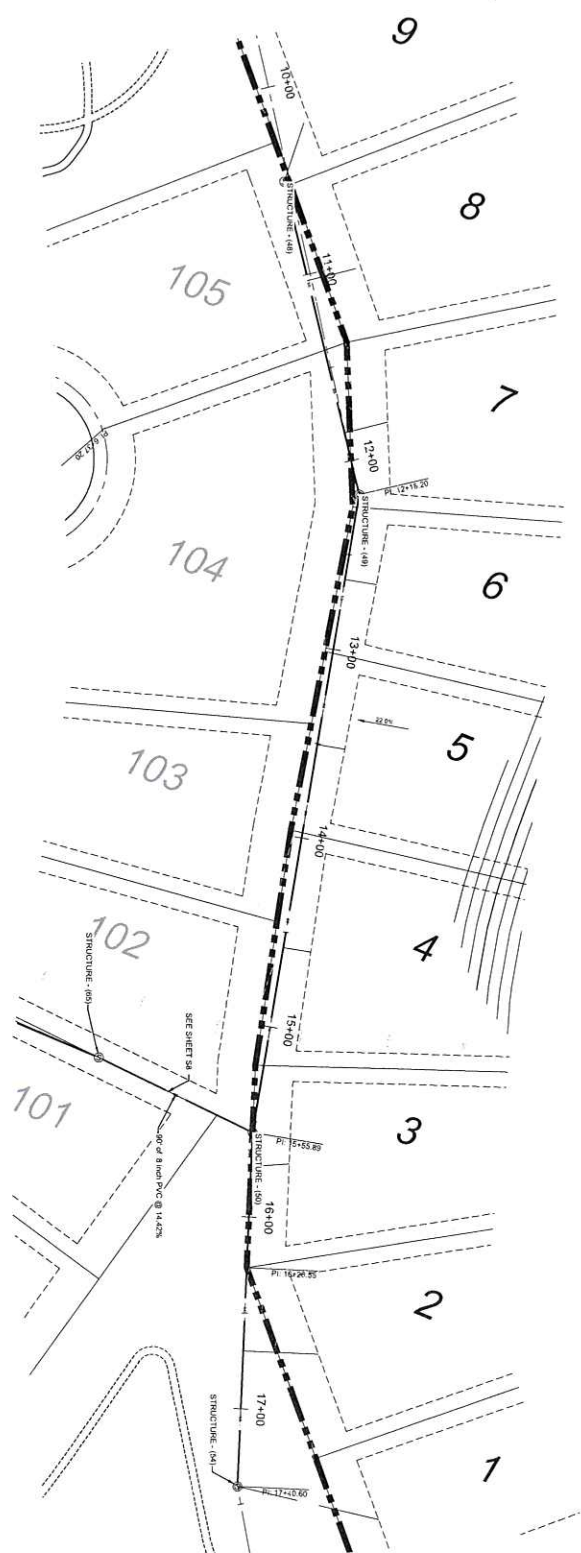
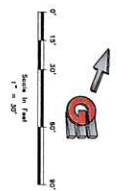
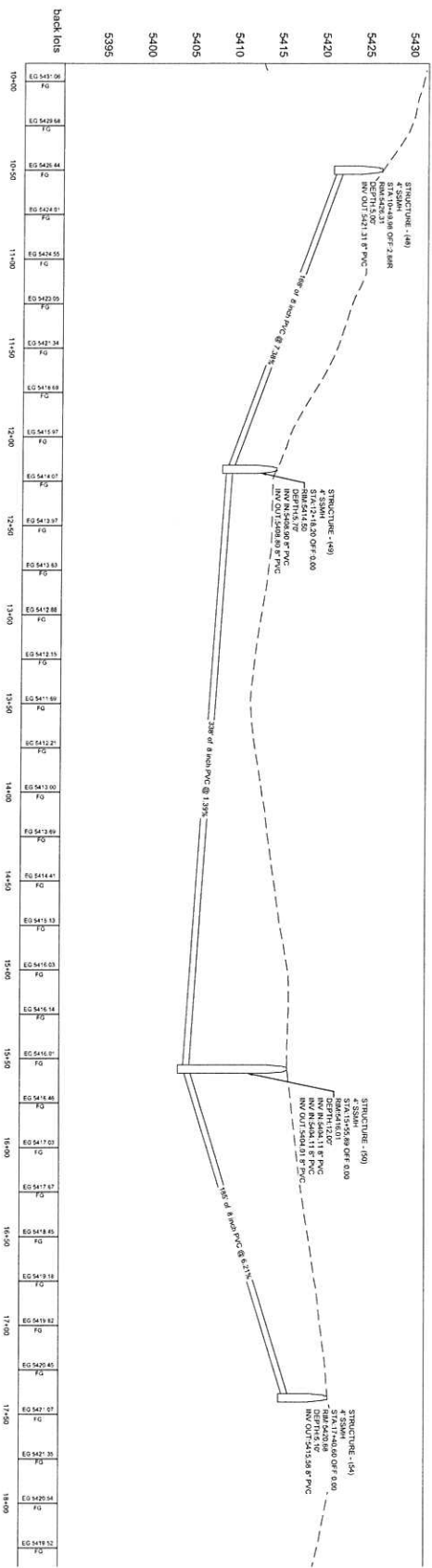
BACKLOT SEWER PROFILE
THE BRIDGES
PHASE 1
EDEN, WEBER COUNTY, UTAH



REVISIONS		SCALE: 1" = 30'
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		DESIGN: SAH
		DRAWN: SAH
		CHECKED: JIC
DWG: 8111201 - LEMIS HOMES, THE BRIDGES, (EDEN, UTAH), THE BRIDGES DESIGN PH 1, 2, 3, 4		

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S7
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CIVIL - LAND PLANNING
MUNICIPAL - LAND SURVEYING
2150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801-476-0202 FAX: 801-476-0056

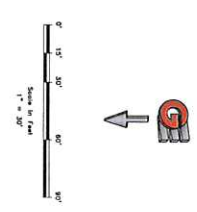
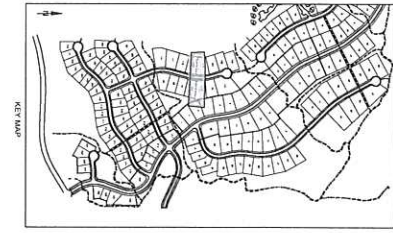
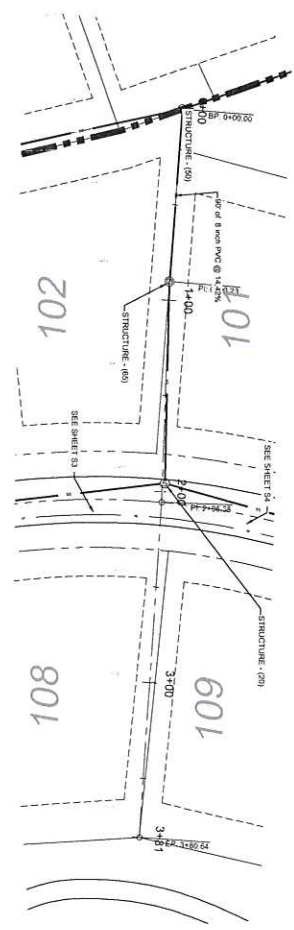
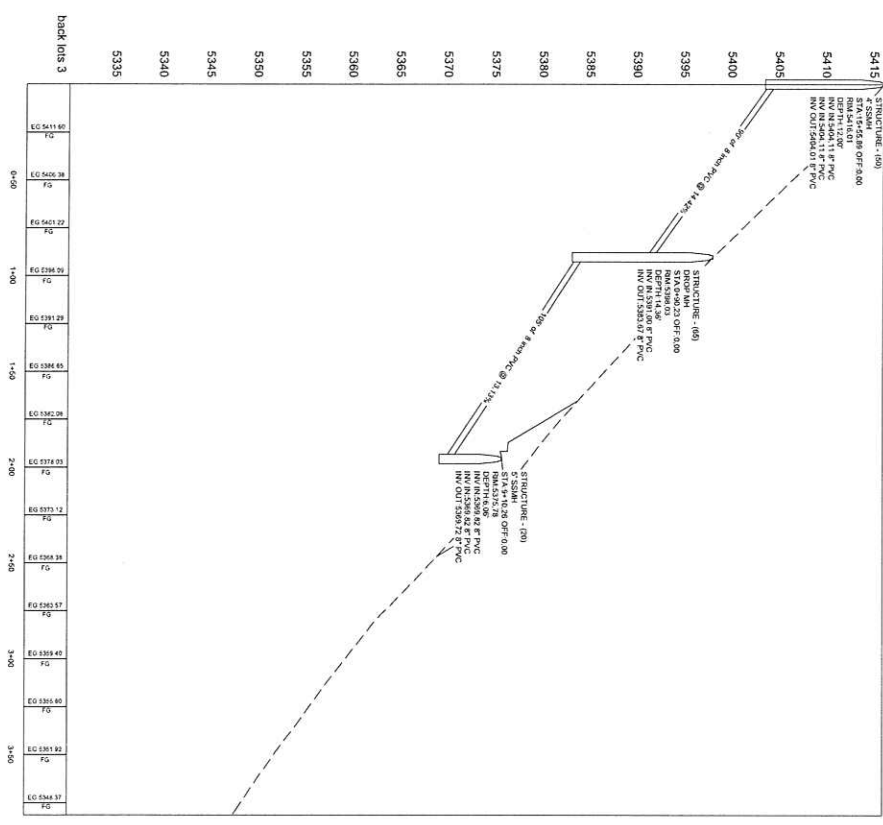
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THE BRIDGES
PHASE 1
EDEN, WEBER COUNTY, UTAH



REVISIONS	
DATE	DESCRIPTION

SCALE: 1" = 30'
DATE: 02-09-07
DESIGN: EAM
DRAWMAN: EAM
CHECKED: RC
DWG#: 2879696 - LOTS 1-9, THE BRIDGES, OGDEN, UT, THE BRIDGES DESIGN PH 1.2006

96



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 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801.476.0202 FAX: 801.476.0066

S8
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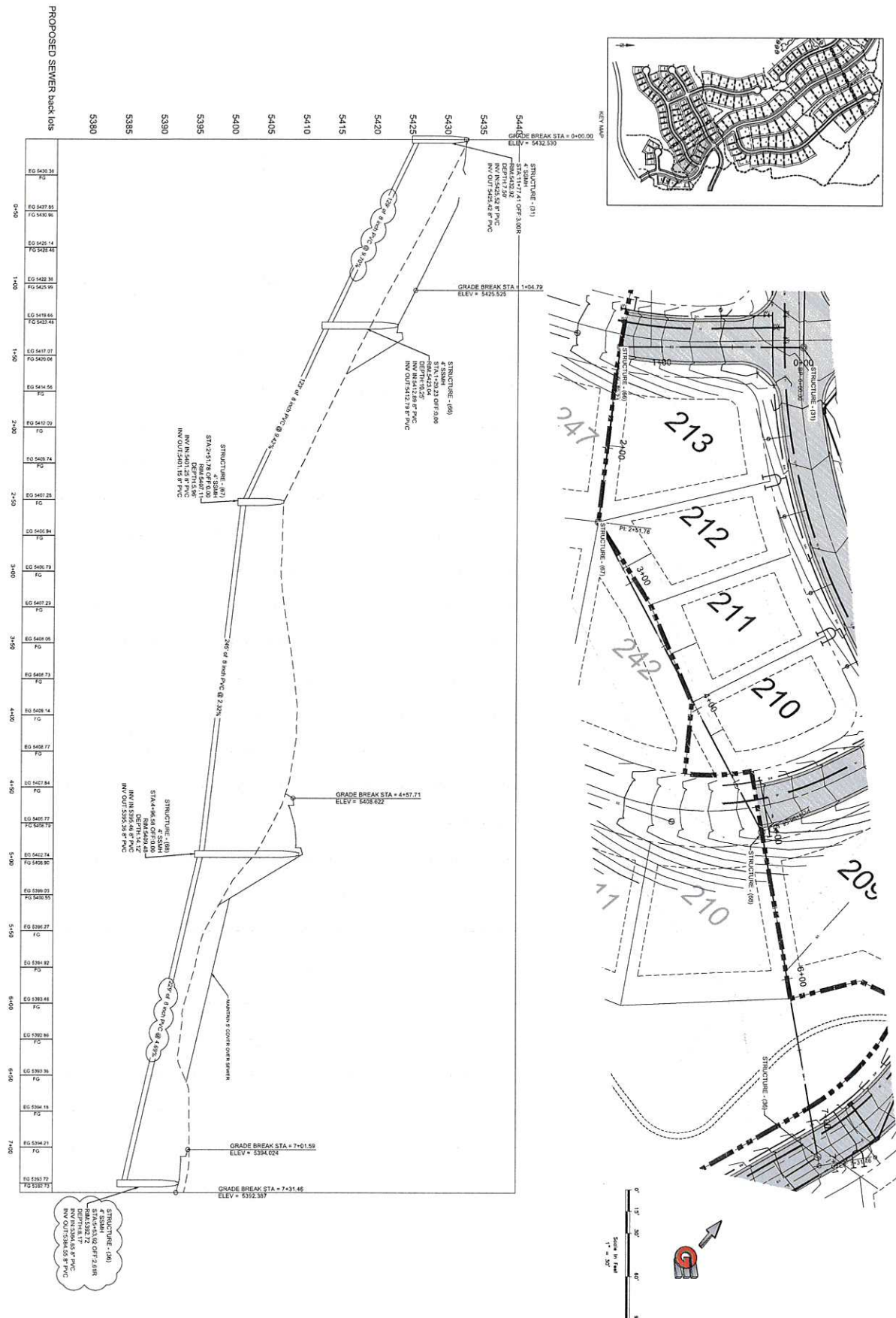
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 THE BRIDGES
 PHASE 1
 EDEN, WEBER COUNTY, UTAH

REVISIONS	
DATE	DESCRIPTION

DWG: 8/1/2011 - 1700 HOMES, THE BRIDGES, EDEN, THE BRIDGES DESIGN PH 1.DWG

SCALE: 1" = 30'
 DATE: 08-05-11
 DESIGN: KAN
 DRAWN: KAN
 CHECKED: RC

LC



S9

GARDNER ENGINEERING
CIVIL - LAND PLANNING
MUNICIPAL - LAND SURVEYING

5120 SOUTH 375 EAST OGDEN, UT
OFFICE: 801-476-0202 FAX: 801-476-0066

25

BACKLOT SEWER PROFILE
THE BRIDGES
PHASE 1
EDEN, WEBER COUNTY, UTAH

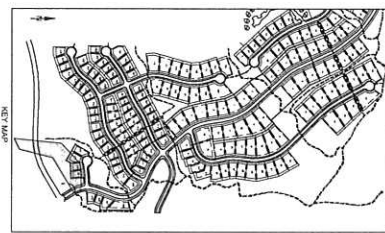
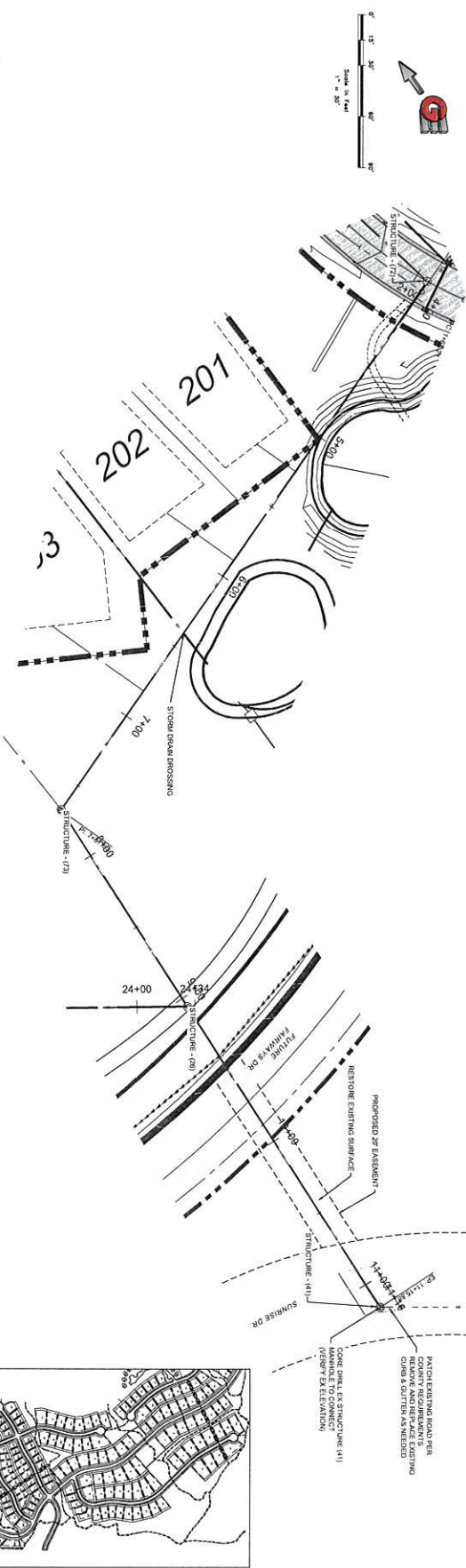
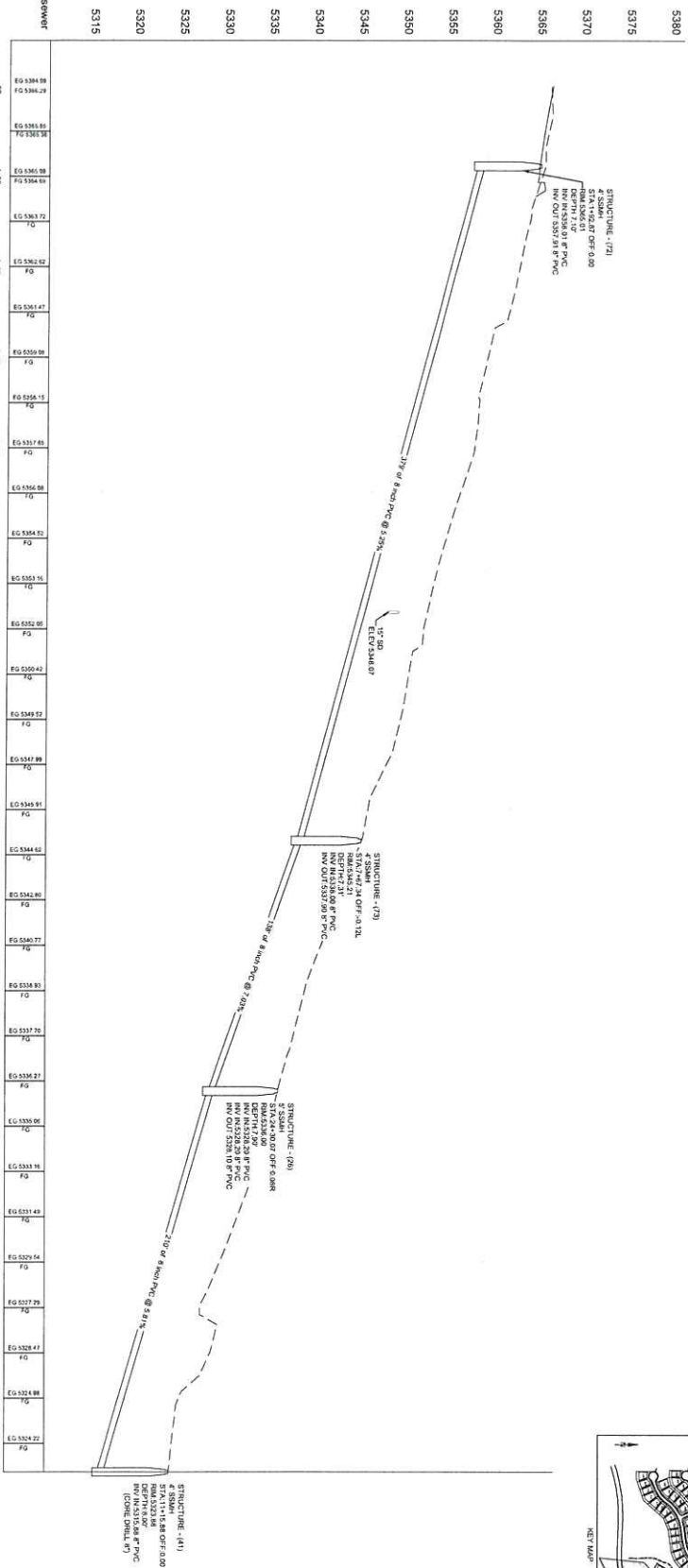


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DATE	DESCRIPTION	DATE: 02-07
3-29-17	REVISED SEWER DEPTH	DRAWN: EAM
		CHECKED: RC

DWG: 811201 - LEMIE HOMES, THE BRIDGES, DESIGN, THE BRIDGES DESIGN PH 1.DWG

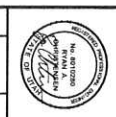
86

PHASE 1 SEWER



GARDNER ENGINEERING
 CIVIL - LAND PLANNING
 MUNICIPAL - LAND SURVEYING
 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0066

BACKLOT SEWER PROFILE
 THE BRIDGES
 PHASE 1
 EDEN, WEBER COUNTY, UTAH

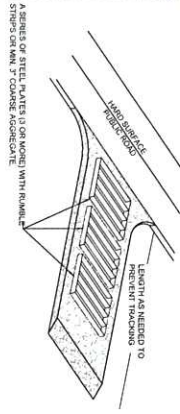


REVISIONS	
DATE	DESCRIPTION

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 DESIGN: EAM
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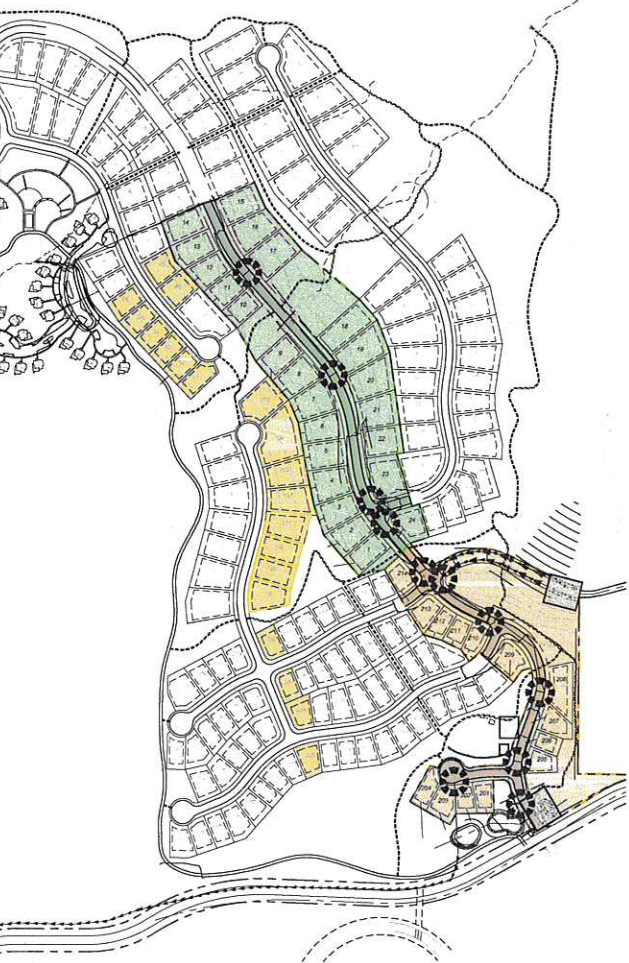
S10
 25

- EROSION CONTROL NOTES:**
1. SANGSARS SHALL BE PLACED AT PRESSURE LOCATIONS TO CONTAIN AND DIRECT STORM WATER FROM THE INLET PROTECTION.
 2. STORM WATER SHALL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIRECT IT TO DISCHARGE AREA.
 3. STORM WATER WILL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM, IF NECESSARY.
 4. THE STORM WATER POLLUTION PREVENTION PLAN SHALL CONFORM TO ALL STATE AND FEDERAL REGULATIONS FOR EROSION CONTROL.

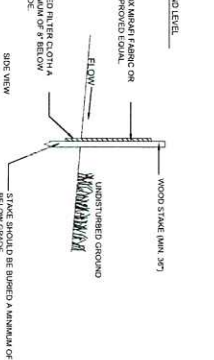
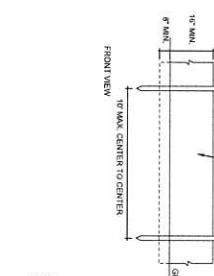
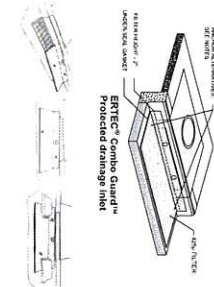


- ENTRANCE STABILIZATION NOTES:**
1. SEDIMENT AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLES OR EQUIPMENT. ENTRANCE STABILIZATION SHALL BE CONSTRUCTED TO PREVENT TRACKING OF SEDIMENT AND OTHER MATERIALS INTO THE STORM DRAIN SYSTEM.
 2. TRACKED CONSTRUCTION ENTRANCE SHALL BE EXTERIOR OR LEADING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND DRIVE.
 3. A SERIES OF STEEL PLATES WITH RUBBER STRIPS, APPROX. MIN. 2" COARSE RUBBER STRIPS WITH 1/2" HOLES, SHALL BE USED TO STABILIZE THE ENTRANCE.
 4. A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER SHALL BE INSTALLED AT THE CONSTRUCTION SITE TO PREVENT TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE.

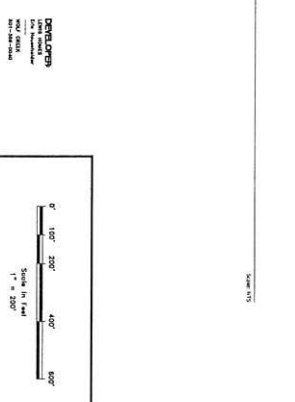
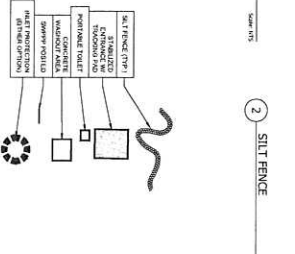
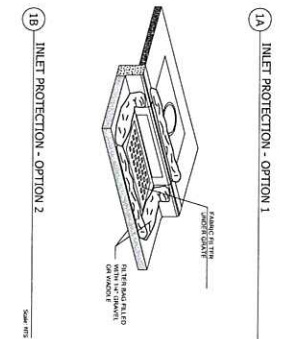
- STREET MAINTENANCE NOTES:**
1. STREETS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 2. STREET MAINTENANCE SHALL BE PERFORMED THROUGHOUT CONSTRUCTION.
 3. STREET MAINTENANCE SHALL BE PERFORMED THROUGHOUT CONSTRUCTION.



- REGULATION NOTES:**
1. CONSTRUCTION SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH CONSTRUCTION EROSION AND CONTROL BEST MANAGEMENT PRACTICES (BMP) MANUAL.
 2. OVERLAP FOR CONSTRUCTION OVERLAP SHALL BE AT LEAST 10 FEET.
 3. CONSTRUCTION SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH CONSTRUCTION EROSION AND CONTROL BEST MANAGEMENT PRACTICES (BMP) MANUAL.
 4. CONSTRUCTION SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH CONSTRUCTION EROSION AND CONTROL BEST MANAGEMENT PRACTICES (BMP) MANUAL.



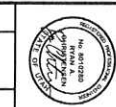
- CONCRETE WASTE MANAGEMENT NOTES:**
1. CONCRETE WASTE SHALL NOT BE DISPOSED ON SITE OR AT ANY OTHER LOCATION.
 2. CONCRETE WASTE SHALL BE STORED IN A DESIGNATED AREA ON SITE.
 3. CONCRETE WASTE SHALL BE STORED IN A DESIGNATED AREA ON SITE.
 4. CONCRETE WASTE SHALL BE STORED IN A DESIGNATED AREA ON SITE.
 5. CONCRETE WASTE SHALL BE STORED IN A DESIGNATED AREA ON SITE.



SW1
SW1

GARDNER ENGINEERING
CIVIL - LAND PLANNING
MUNICIPAL - LAND SURVEYING
5150 SOUTH 200 EAST CORDEN, UT
OFFICE: 801-225-2022 FAX: 801-225-2023

SWPPP
THE BRIDGES
PHASE 1
EDEN, WEBER COUNTY, UTAH



REVISIONS	
DATE	DESCRIPTION

SCALE: 1" = 200'
DATE: 02-08-20
DRAWN: EAK
CHECKED: RC
DWG: 811201 - LINDS HOMES, THE BRIDGES DESIGN, INC., THE BRIDGES DESIGN, PH 1.200

Exhibit C: Reserved for Escrow Certificate or Letter of Credit

SEE FOLLOWING TWO PAGES

IRREVOCABLE STANDBY LETTER OF CREDIT

September 14, 2017

Beneficiary:

Weber County
2380 Washington Blvd.
Ogden, Utah 84401

Applicant:

The Bridges Holding Company, LLC
3718 North Wolf Creek Drive
Eden, Utah 84310

LOC Number: 20715
Project Name: Mountainside PRUD Phase I
Eden, Utah 84310
Amount (USD): \$834,255.00
Expiration Date: September 14, 2019

WEBER COUNTY:

We hereby establish this Irrevocable Standby Letter of Credit No. 20715 (the "LOC"), in favor of Weber County (the "County"), for the Account of The Bridges Holding Company, LLC up to an aggregate amount of Eight Hundred Thirty-Four Thousand Two Hundred Fifty-Five U.S. Dollars (\$834,255.00) available by your draft at sight drawn on us. This LOC is issued to secure the completion and installation of improvements (the "Improvements") required under that certain Improvements Guarantee Agreement (the "Agreement") made between The Bridges Holding Company, LLC and the County dated September 6, 2017.

Each draft must be accompanied by (i) a certification from the Weber County Engineer that The Bridges Holding Company, LLC is in default under the terms and conditions set forth in the Agreement; (ii) by this original LOC along with originals of all amendments; and (iii) by a sight draft signed by the Weber County Engineer. The original LOC shall be returned to the County if the sight drafts on the LOC have not exhausted the full amount of credit.

Each sight draft drawn under this LOC must state "Drawn Under America First Federal Credit Union Irrevocable Standby Letter of Credit No. 20715, dated September 14, 2017, to satisfactorily complete such improvements as are required by the Improvements Guarantee Agreement between The Bridges Holding Company, LLC and the County, dated September 6, 2017." America First Federal Credit Union is entitled to rely upon the certification from the Weber County Engineer and will have no obligation to independently verify the accuracy thereof.

Partial drawings and multiple drawings are permitted. Each time the County inspects and approves a portion of the required improvements, the amount eligible to be drawn under this Letter of Credit will be reduced by the value assigned by the County to the approved improvements.

Members come first.™

Irrevocable Standby Letter of Credit #20715
September 14, 2017
Page 2

This LOC shall expire Twenty-four (24) months from the date hereon unless the County shall have released The Bridges Holding Company, LLC from all further liability hereunder upon the timely and satisfactory completion of the Improvements.


The proceeds of said drafts will be retained and used by the County to meet any expenses arising out of the satisfactory completion of the Improvements identified in the Agreement. Upon the final completion and acceptance of the performance required under the Agreement, there will be refunded to us by the County any balance remaining after application by the County of the sums necessary from the proceeds of the drafts(s) to pay costs incurred in satisfactorily completing the Improvements.

This LOC is issued and shall be subject to the International Standby Practices (ISP98) or any subsequent revision thereto, to the extent that it does not conflict with Utah Code Annotated Sections 70A-5-101 *et seq.* (1953 as amended). Jurisdiction for resolution of disputes arising under this LOC lies in the courts of Salt Lake County, Utah.

We hereby agree with drawers, endorsers and bona fide holders of drafts that all drafts drawn under and in compliance with the terms of this LOC shall be honored by us and payment made no later than three (3) business days after delivery of documents as specified on or before the expiration date of this LOC.

In the event America First Federal Credit Union is placed into receivership, becomes insolvent, or files for bankruptcy, the County shall be immediately notified. The County may consider this a default event and require the issuance of a new irrevocable standby letter of credit.

America First Federal Credit Union

By: 
Title: VP Business