

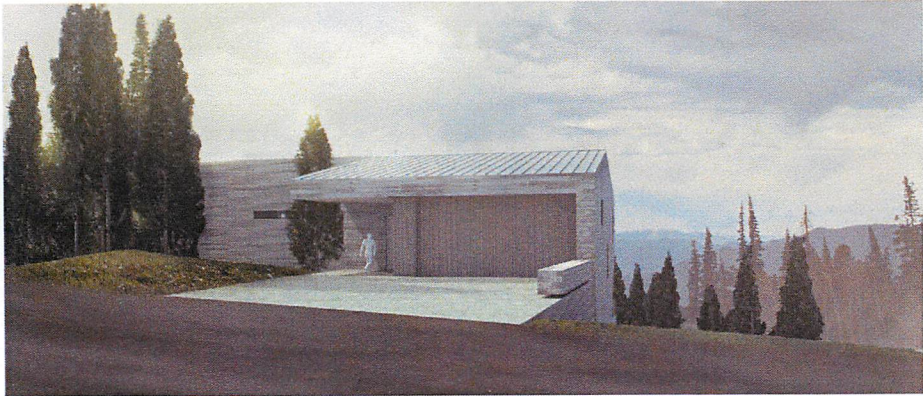
ROSENTHAL CABIN

7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

LloydArchitects

573 EAST 600 SOUTH  
SALT LAKE CITY, UT 84102  
PHONE 801.328.3245  
WEB LLOYD-ARCH.COM

EXTERIOR PERSPECTIVES



NORTH



NORTHWEST

SHEET INDEX

GENERAL

G100 COVER SHEET / CODE ANALYSIS  
G101 SYMBOLS & ABBREVIATIONS  
G102 GENERAL NOTES

CIVIL

C100 SEE INCLUDED

ARCHITECTURAL

SD100 AREA SURVEY  
SD101 PARCEL SURVEY  
SD102 DEVELOPMENT PLAT  
SD103 DEVELOPMENT PLAT  
SD104 DEVELOPMENT PLAT  
SD105 SITE PLAN & LANDSCAPE NOTES  
SD106 CONSTRUCTION MITIGATION PLAN  
SD107 LANDSCAPE PLAN  
A100 LOWER FLOOR PLAN  
A101 MAIN FLOOR PLAN  
A102 ROOF PLAN  
A103 LOWER FLOOR RCP  
A104 MAIN FLOOR RCP  
A105 ROOF RCP  
A200 BUILDING ELEVATIONS  
A201 BUILDING ELEVATIONS  
A202 BUILDING ELEVATIONS  
A300 BUILDING SECTIONS  
A301 BUILDING SECTIONS  
A302 BUILDING SECTIONS  
A303 BUILDING SECTIONS  
A304 BUILDING SECTIONS  
A305 STAIR SECTIONS & PLANS  
A306 STAIR SECTIONS & PLANS

STRUCTURAL

S101 GENERAL STRUCTURAL NOTES  
S102 GENERAL STRUCTURAL NOTES  
S201 FOOTING & FOUNDATION PLAN  
S202 LOWER FLOOR FRAMING PLAN  
S203 MAIN FLOOR FRAMING PLAN  
S204 ROOF FRAMING PLAN  
S301 SCHEDULES  
S302 SCHEDULES  
S303 SCHEDULES  
S501 FOOTING & FOUNDATION DETAILS  
S502 FOOTING & FOUNDATION DETAILS  
S601 FLOOR FRAMING DETAILS  
S602 FLOOR FRAMING DETAILS  
S603 FLOOR FRAMING DETAILS  
S701 ROOF FRAMING DETAILS

REVISION INDEX

ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE

8/10/16

PROJECT PHASE

- ARC SUBMITTAL 07/22/2016  
- HDR SET 08/10/2016

DRAWING REVISIONS

SHEET TITLE

COVER SHEET

SHEET NUMBER

G100

PROJECT TEAM

OWNER  
LISA ROSENTHAL  
p: 214.533.0553

DESIGN ARCHITECT  
SAUNDERS ARCHITECTURE  
VESTRE TORGGATE 22  
5015 BERGEN  
NORWAY  
p: +47 55 36 86 06  
p: +47 97 52 57 61  
e: POST@SAUNDERS.NO

EXECUTIVE ARCHITECT  
LLOYD ARCHITECTS  
573 E 600 S  
SALT LAKE CITY, UT 84102  
p: 801.328.3245  
e: WARREN@LLOYD-ARCH.COM  
contact: WARREN LLOYD

GENERAL CONTRACTOR  
SAUSAGESPACE  
p: 801-301-9648  
e: MARK@SAUSAGESPACE.COM  
contact: MARK HASLAM

STRUCTURAL ENGINEER  
MATT JACKSON STRUCTURAL ENGINEERS  
5673 SOUTH REDWOOD ROAD SUITE 22  
SALT LAKE CITY, UTAH 84123  
p: 801.905.1057  
contact: MATT JACKSON

CIVIL ENGINEER  
NV5  
5217 SOUTH STATE STREET SUITE 200  
MURRAY, UT 84107  
p: 801.743.1338  
contact: RYAN CATHEY

MECHANICAL ENGINEER  
HELIOCENTRIC  
12341 E. WINDFLOWER LANE  
BRIGHTON, UT 84121  
p: 802.453.9434  
contact: JOHN EASTERLING

ELECTRICAL ENGINEER  
E.C.E.  
939 S. WEST TEMPLE  
SALT LAKE CITY, UT 84101  
p: 801.521.8007  
contact: AKBAR MATINKAH

SCOPE

NEW CONSTRUCTION OF FAMILY CABIN  
IN LOT 34R OF SUMMIT POWDER  
MOUNTAIN DEVELOPMENT

VICINITY MAP

CODE ANALYSIS

PARCEL ID: CACHE COUNTY #16-112-0034, LOT 34R  
ZONE: RR, w/ SUMMIT POWDER MOUNTAIN DEVELOPMENT  
PRUD OVERLAY, PERMIT REVIEW PERFORMED BY  
WEBER COUNTY  
BUILDING USE: SINGLE FAMILY DWELLING  
OCCUPANCY TYPE: R-3  
CONSTRUCTION TYPE: V-B  
STORIES ABOVE GRADE: 1 STORY FRONT YARD (STREET FACING), 2 STORY REAR YARD  
LOT AREA: 34,058 SF  
ALLOWABLE HEIGHT/AREA: 35 FT / 4500 BUILDING SF / 6309 FOOTPRINT SF  
ACTUAL HEIGHT/AREA:  
ACTUAL HEIGHT: 33.75 FT  
TOTAL FOOTPRINT AREA: 4669 SF  
TOTAL CONDITIONED AREA: 4016 SF  
LOWER FLOOR CONDITIONED: 1895 SF  
MAIN FLOOR CONDITIONED: 2121 SF  
APPLICABLE CODES: 2012 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2011 NATIONAL ELECTRICAL CODE (NEC)  
2012 INTERNATIONAL PLUMBING CODE (IPC)  
2012 INTERNATIONAL MECHANICAL CODE (IMC)  
2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2009 INTERNATIONAL EXISTING BUILDING CODE (IEBC)  
2009 ACCESSIBILITY CODE ANSI A117.1

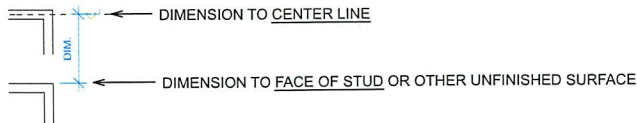


DRAWING ABBREVIATIONS

A.B.	ANCHOR BOLT	ELEV.	ELEVATOR	L.A.	LANDSCAPE AREA	SGL.	SINGLE
ABV.	ABOVE	E.O.C.	EMERGENCY OPERATIONS CENTER	LAM.	LAMINATED	SHTG.	SHEATHING
A.C.	ASPHALTIC CONCRETE	EQ.	EQUAL	LAV.	LAVATORY	SHLV.	SHELVING
ACOUS.	ACOUSTICAL	EQUIP.	EQUIPMENT	LBS.	POUNDS	SHT.	SHEET
A.C.T.	ACOUSTICAL CEILING TILE	ETC.	ETCETERA	LIB.	LIBRARY	SIM.	SIMILAR
ADJ.	ADJUSTABLE, ADJACENT	E.W.C.	ELECTRIC WATER COOLER	L.P.	LOW POINT	SL.	SLOPE
A.F.	ACCESS FLOORING	EXH.	EXHAUST	LTG.	LIGHTING	S.M.	SHEET METAL
A.F.F.	ABOVE FINISH FLOOR	EXP'D.	EXPOSED	M.B.	MACHINE BOLT	S.M.D.	SEE MECHANICAL DRAWINGS
ALUM.	ALUMINUM	EXT.	EXTERIOR	MAT'L.	MATERIAL	S.P.D.	SEE PLUMBING DRAWINGS
ANOD.	ANODIZED			MAX.	MAXIMUM	SPEC.	SPECIFICATIONS
A.P.	ACCESS PANEL	F.D.	FLOOR DRAIN	MDL.	MODEL	SQ.	SQUARE
ARCH.	ARCHITECTURAL	F.E.	FIRE EXTINGUISHER	MECH.	MECHANICAL	S.R.F.	SHEET RUBBER FLOORING
ASPH.	ASPHALT	F.E.C.	FIRE EXTINGUISHER CABINET	MED.	MEDIUM	S.S.	STAINLESS STEEL
A.W.P.	ACOUSTICAL WALL PANEL	F.F.	FINISH FLOOR	MFR.	MANUFACTURER	S.S.D.	SEE STRUCTURAL DRAWINGS
		F.G.	FINISH GRADE	MFRD.	MANUFACTURED	ST.	STONE
BD.	BOARD	F.H.C.	FIRE HOSE CABINET	MIN.	MINIMUM	STD.	STANDARD
BLDG.	BUILDING	FIN.	FINISH	MOUNT.	MOUNTED	STL.	STEEL
BLK.	BLOCK OR BLOCKING	FIXT.	FIXTURE	M.R.G.B.	MOISTURE RESISTANT GYP BD	STN.	STAIN
BM.	BEAM	FL.	FLOOR	M.S.	MAGNETIC SWITCH	STOR.	STORAGE
BRKT.	BRACKET	F.O.	FACE OF	MTL.	METAL	STRUCT.	STRUCTURAL
B.U.R.	BUILT UP ROOF	F.O.C.	FACE OF CONCRETE			SUSP.	SUSPENDED
BOT.	BOTTOM	F.O.S.	FACE OF STUD	N.	NORTH	SW.	SWITCH
				N/A	NOT APPLICABLE	T.	TREAD
C.	CARPET	FRAM'G.	FRAMING	N.I.C	NOT IN CONTRACT	T & B	TOP & BOTTOM
CAB.	CABINET	F.S.	FINISH SURFACE	N-R	NON-RATED	T.C.	TOP OF CURB
C.B.	CATCH BASIN	FT.	FOOT OR FEET			TEL.	TELEPHONE
CEM.	CEMENT	FTG.	FOOTING	O/	OVER	TEMP.	TEMPERED
C.I.	CAST IRON	FURR.	FURRING	O.C	ON CENTER	T & G	TONGUE & GROOVE
C.I.P.	CAST IN PLACE	G.	GAS LINE	OCCUP.	OCCUPANCY	T.G.	TREE GRATE
C.J.	CONTROL JOINT	GA.	GAUGE	O.D.	OUTSIDE DIAMETER	THK.	THICK
C.L.	CHAIN LINK	GALV.	GALVANIZED	OPP.	OPPOSITE	TJI	TRUSS JOIST
CLG.	CEILING	G.C.	GENERAL CONTRACTOR	O.T.S.	OPEN TO STRUCTURE	T.O.	TOP OF
CLR.	CLEAR	G.I.	GALVANIZED IRON			T.O.C.	TOP OF CONCRETE
CLOS.	CLOSET	GL.	GLASS	PL.	PLATE	T.O.P.	TOP OF PARAPET
C.M.U.	CONCRETE MASONRY UNIT	GLZ.	GLAZING	PL. CEM.	PLASTER CEMENT	T.O.P.L.	TOP OF PLATE
COL.	COLUMN	GYP.	GYPSUM WALLBOARD	PLAS.	PLASTIC	T.P.	TOILET PARTITION
COMM.	COMMUNICATION	GWB.	GYPSUM WALLBOARD	PLY.	PLYWOOD	T.W.	TOP OF WALL
COMPT.R.	COMPUTER			P.P.	POWER POLE	TYP.	TYPICAL
CONC.	CONCRETE	H.	HIGH	PR.	PAIR	TS	TUBE STEEL
CONST.	CONSTRUCTION	H.C.	HOLLOW CORE OR	PRE.	FACTORY PREFINISHED	U.B.C.	UNIFORM BUILDING CODE
CONT.	CONTINUOUS, CONTROL		HANDICAPPED	PROJ.	PROJECTION	U.N.O.	UNLESS NOTED OTHERWISE
CORR.	CORRIDOR	H.D.	SURFACE HARDENER	PT.	PAINT	U.O.C.	UNLESS OTHERWISE CALLED
C.P.	CONTROL POINT	H.D.G.	HOT DIPPED GALVANIZED	PTD.	PAINTED	U.O.N.	UNLESS OTHERWISE NOTED
C.T.	CERAMIC TILE	HDR.	HEADER	PVMT.	PAVEMENT		
C.T.B.	CERAMIC TILE BASE	HDWD.	HARDWOOD	R.	RADIUS	V.C.T.	VINYL COMPOSITION TILE
		HDWR.	HARDWARE	R.A.	RETURN AIR	VCP.	VITRIFIED CLAY PIPE
DEPT.	DEPARTMENT	H.M.	HOLLOW METAL			VERT.	VERTICAL
DET.	DETAIL	HORIZ.	HORIZONTAL	R.B.	RUBBER BASE	VEST.	VESTIBULE
D.F.	DRINKING FOUNTAIN	H.P.	HIGH POINT	R.C.P.	REFLECTED CEILING PLAN	V.P.	VENEER PLASTIC
DIA.	DIAMETER	HR.	HOOR	RE.	REFER TO		
DIAG.	DIAGONAL	HT.	HEIGHT	REF.	REFRIGERATOR	W.	WEST
DIM.	DIMENSION	HTR.	HEATER	REINF.	REINFORCING	WAINS.	WAINSCOT
DIV.	DIVISION(S)	HYDR.	HYDRAULIC	REQ'D.	REQUIRED	W.C.	WATER CLOSET
DN.	DOWN			REV.	REVISION	WD.	WOOD
DR.	DOOR			RI.	RISER	W/H	WATER HEATER
DS.	DOWNSPOUT	IN.	INCHES	RM.	ROOM	WDW.	WINDOW
DWGS.	DRAWINGS	INSUL.	INSULATION	R.R.	RUBBER FLOORING W/	W.M.	WIRE MESH
		INT.	INTERIOR		PROFILE RINGS	WP.	WEATHERPROOF
EA.	EACH			R.T.	RUBBER TREAD/RISER	W/	WITH
E.	EAST	JAN.	JANITOR			W.R.	WATER RESISTANT
(E)	EXISTING	JST.	JOIST	S.	SOUTH	W.R.G.B.	WATER RESISTANT
EXIST.	EXISTING			S.A.	SUPPLY AIR		GYPSUM BOARD
EXT'G.	EXISTING			S.A.Q.D.	SEE AQUATICS DRAWINGS	W.W.M.	WELDED WIRE MESH
E.J.	EXPANSION JOINT			S.C.	SOLID CORE		
EL.	ELEVATION			SCHED.	SCHEDULE	Ø	DIAMETER
ELEC.	ELECTRICAL	KITCH.	KITCHEN	SEAL.	CONCRETE OR STONE SEALER	#	POUND OR NUMBER
				SECT.	SECTION	¢	CENTERLINE
				S.E.D.	SEE ELECTRICAL DRAWINGS	&	AND
				SERV.	SERVER	@	AT
				S.F.	SQUARE FEET		

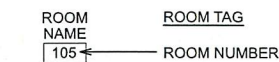
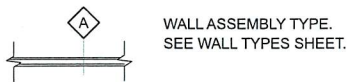
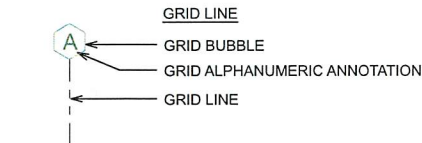
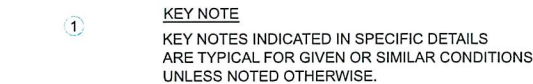
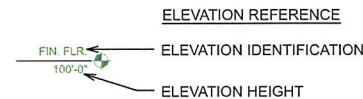
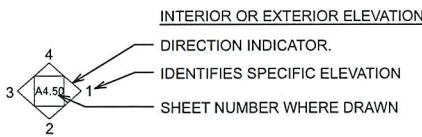
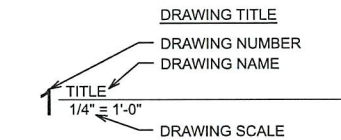
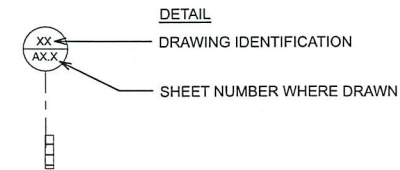
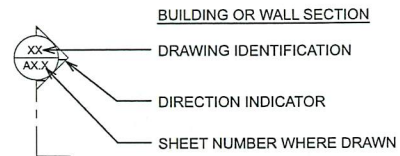
GRAPHIC NOTES

- DIMENSIONS:
- NOTE: DIMENSIONS IN THESE DRAWINGS ARE GENERALLY PLACED AS INDICATED BELOW, UNLESS NOTED OTHERWISE.
1. MASONRY: TO UNFINISHED FACE (NOTE @ SPLIT FACE CONDITION THESE DRAWINGS ASSUME STANDARD 8" OR 12" WIDE BLOCK)
  2. CONCRETE: TO UNFINISHED FACE
  3. STRUCTURAL: TO STEEL OR TUBING FACE OR CENTER LINE
  4. COLUMNS: CENTER LINE
  5. NONBEARING PARTITIONS: TO FACE OF STUD. SEE NOTE 9 BELOW
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL DIMENSIONS TO ASSURE PROPER PLACEMENT OF ALL PARTS AND MATERIALS IN CONJUNCTION WITH ALL OTHER DISCIPLINES REPRESENTED IN THESE DOCUMENTS, PRIOR TO COMMENCING WORK.
  7. VERIFY ALL DIMENSIONS INCLUDING SITE CONDITIONS BEFORE STARTING WORK.
  8. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
  9. DIMENSION GRAPHICS:

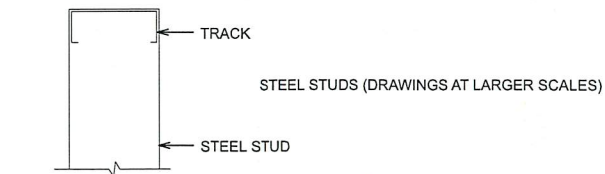
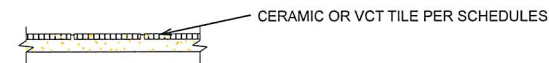
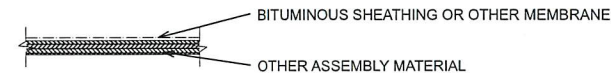
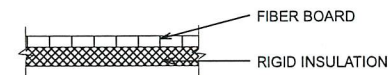
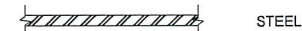
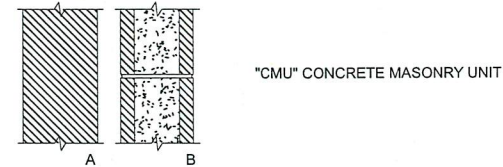


\*CLR.\* MEANS THE CLEAR SPACE DIMENSION, AFTER ALL FINISHES HAVE BEEN APPLIED TO THE SUBJECT SURFACES

DRAWING CALLOUT SYMBOLS



DRAWING GRAPHIC SYMBOLS



GENERAL CONSTRUCTION

1. These plan shall be designed and reviewed under 2012 IBC.
2. The contractor shall be responsible for obtaining all permits required for construction by the permitting authorities having jurisdiction.
3. The contractor shall carefully read, study, and understand all plans and specifications for trades. Coordination between trades will be necessary and the responsibility of the contractor, any questions that arise shall be clarified by the architect prior to construction.
4. Drawings are not to be scaled. Dimensional discrepancies are to be clarified with the architect before proceeding with construction.
5. The contractor shall verify existing power, water, data cable and other utilities prior to excavation. Contact blue-stakes or authorities having jurisdiction prior to any excavation. 208-2100
6. The contractor shall notify the designer of discrepancies in the documents, and of any field conditions that deviate from the documents.
7. The architects approval must be obtained for any deviations from the construction documents, including but not limited to changes in dimensions, design, materials, products, and finishes. In no case may the contractor make these changes without the approval of the architect.
8. Shop drawings and other submittals are to be submitted for approval by the architect with sufficient time for review prior to execution of work. Submittals must conform to the requirements indicated on construction documents, structural notes, and specifications.
9. See door and window schedule for sizes, types, and finishes.
10. All construction shall conform to and strictly comply with all applicable codes, covenants, restrictions, and Weber County building standards.
11. In no event shall the contractor substitute a standard construction detail for a detail specified in these documents. The contractor shall bring all work into conformity with the construction documents, as the designer orders, before approval of that construction will be granted.
12. The contractor is to verify all dimensions, datum & levels prior to construction. Exterior walls are dimensioned from face of exterior wall sheathing or face of concrete unless otherwise noted. Exterior wall studs at heated spaces shall be 2x6 except as noted. All other wall studs shall be 2x4 except where noted otherwise on construction documents.
13. Glazing in locations subject to human impact such as panes in doors, glazing within 12" of door opening, glazing within 18" of floor, and shower doors shall be tempered or laminated safety glass as per 2012 IBC.
14. Provide and install smoke detectors as per 2012 IBC.
15. Provide attic access, minimum 22" x 30" with minimum 30" headroom at unobstructed readily accessible opening as per 2012 IBC.
16. Building shall comply with Utah State Energy Code. The contractor is to seal and caulk all cracks to prevent air infiltration. The contractor shall insulate the walls to R-19, ceilings to R-38, and floors over unheated spaces to R-38 unless otherwise noted.
17. These drawings are the exclusive property of Lloyd Architects and may be reproduced only with the written permission of the architect. Authorized reproductions must bear the name of the architect.
18. Fireplaces shall conform to 2012 IBC. UL listing on fireplaces are as follows: Wood burning units, UL#MH5850 Enclosed gas units; ICBO #4030
19. SITE PLAN & GRADING: remove stumps, shrubs and clear and grub site near house as indicated on site plans including legal off-site disposal of all debris and unusable fill. Scrape topsoil layer before excavation and place onsite for finish landscape use. Excavate, trench, and backfill as required for footings, foundations, slabs, utility lines, mechanical, electrical and other work below grade required to complete the project. Maintain excavation free of water and provide an adequate system for the handling and removal of surface water.
20. Contact the Utah Division of Air Quality on all remodel projects: 536-4000

FOUNDATION

1. GEOTECHNICAL: SOIL BEARING: Assume 1500 psf soil load pressure per R401.4. CONCRETE: 3,000 psi in slabs and footings, 3000 psi in foundation walls, 3500 psi in garage slab and exterior steps.
2. CONCRETE FOOTING SIZES AND DEPTH: see footing schedule on structural sheets (minimum footing size 9" by 20", minimum depth 30" below grade). MINIMUM REBAR: see structural sheets for minimum reinforcing requirements.
3. ANCHOR BOLTS TO FOUNDATION: minimum 7" embedment per R403.1.6(maximum spacing allowed by code is 32" O.C.)
4. CONCRETE FOUNDATION WALLS: see structural drawings for size and reinforcing.
5. HEIGHT ABOVE FINISHED GRADE: concrete foundation wall to be 6" minimum above finish grade. Use treated sill plate where required.
6. FOUNDATION WALL DAMP-PROOFING AND FOUNDATION DRAIN: bituminous coating or equal to be applied on basement walls per R406. Foundation drain to be installed by new footings per R405.
7. PLATE WASHERS: All plate washers to be 3"X3"X.227" (1/4") square slotted plate per R602.11.1
8. WINDOW WELLS AND LADDERS: 9 sq ft min area, 36 inches out from window, if deeper than 44 inches affix a ladder.

CONSTRUCTION

1. EMERGENCY ESCAPE AND RESCUE OPENINGS: 44 inches max above floor, in every sleeping room, 5.7 sq ft or 5 sq ft if within 44 inches of grade, 20 inch min width, 24 inch min height.
2. EXIT DOORS AND HALLWAYS: one 3'-0" x 6'-8" door required, 36 inch min. width in hallways.
3. LANDINGS AT DOORS AND STAIRWAYS: 36" min. out from door and door width minimum.
4. RAMPS, SLOPES AND RAILS: maximum slope 1 in 8, railing required on ramps over 1 in 12 slope.
5. STAIRWAYS: 36" width minimum, TREADS AND RISERS: 8" rise and 9" tread minimum, HEADROOM: 6'-8" minimum, UNDER STAIR PROTECTION: 1/2" GWB, HANDRAILS: required with (2) or more risers, 34" to 38" in height and 1 1/4 to 2 5/8" in diameter if circular.
6. GUARDRAILS (GUARDS): required at floors over 30" above grade, 36" min. height, a 4"sphere shall not pass through with design as to eliminate ladder effect.
7. LUMBER PROTECTION AGAINST DECAY: 18" minimum to grade under floor joists, 12" minimum to grade under floor girders. Provide treated plate on concrete slab less than 8" above exposed ground and framing and siding less than 6" from the ground. All lumber in contact with concrete, earth, or within 18" of finish grade shall be pressure treated. Pressure treat above ground items with water-borne preservatives complying with AWPB LP-2. Wood members in contact with ground shall be pressure treated with water-borne preservative complying AWPB LP-22.
8. WOOD COLUMNS: required to be 1" above the floor or finish grade, See structural for connection to foundation or slab.
9. MINIMUM AREA DIMENSIONS AND HEIGHTS: see all plan sheets for room sizes. All room minimums shall be: (1) 120 sf room, 70 sf bedrooms, 50 sf kitchen, 7 feet min. heights, sloping to 5 feet min. 3 feet min. passageways in kitchens
10. INTERIOR MOISTURE VAPOR RETARDERS: on "warm-in-winter" side of wall.

WALL CONSTRUCTION

1. INTERIOR WALL COVERINGS: 5/8" GWB. Green Gyp. board to be limited to R702.3.8.1 for no direct contact to moisture.
2. EXTERIOR WALL COVERINGS AND WEATHER BARRIERS: 15# felt paper or approved equal.
3. STRUCTURAL COLUMNS: see structural sheets for all column sizes and locations.
4. MID-HEIGHT BRIDGING: in unfinished walls
5. BRACED WALL LINES AND PANELS: see structural notes. Minimum requirement are to provide within 12'-6" of wall corner, at 4'-0" in length for plywood w/ nailing @ 6" O.C. @ edges and 12" O.C. in field, at 8'-0" for GWB w/ screws @ 7" O.C. @ edges and field. DOORS AND WINDOWS
6. HABITABLE ROOMS AND BATHROOMS: 8% of area in glazing, 4% in openings, and 3 sf window in bathrooms or bathrooms to have exhaust fan per IRC 303.3
7. GARAGE SEPARATION FROM DWELLING: 1 hour separation. Walls shall have 1/2" GWB on walls and attic. If garage is below habitable rooms the ceiling shall have 5/8" type "X" GWB. Door shall have a 20 min. fire-resistance rating and shall be self-closing.

FLOOR CONSTRUCTION

1. FLOOR JOISTS: double joists under bearing partitions and blocking shall be installed at bearing walls.
2. DRAFT-STOPPING: shall be installed in all concealed spaces over 1,000 sq ft.
3. FIREBLOCKING: shall be installed in all concealed spaces at 10'-0" O.C.
4. SUBFLOOR SHEATHING: see structural sheets for all floor sheathing callouts (minimum requirements are as follows: 5/8 inch thick tongue & groove osb for joists @ 16" to 20" O.C. and 3/4" thick tongue & groove osb @ 24" O.C.)
5. FLOOR JOISTS SUPPORTING BEARING PARTITIONS OFFSETS: offset minimum floor joist depth.
6. EXPOSED LAMINATED TIMBERS: ATIC Rated Architectural grade Glu-laminated Timbers: See structural sheets for sizes and locations. not applicable

ROOF CONSTRUCTION

1. ROOF FRAMING: see structural sheets pre-engineered truss type and layout. Submit shop drawings to architect/engineer for approval.
2. ATTIC VENTILATION: Provide a 1 to 150 sq.ft. (or 1 to 300 if 50% is in soffit and 50-80% located more than 3'0" above soffits) of the attic area in ventilation. Provide insulation baffles to insure air flow through space. Cut or drill holes in truss blocking for vent air passage from soffit vents.
3. ROOF SLOPES AND DRAINAGE: felt paper, 1/4" per foot minimum. provide "ice and water shield" at all valleys U.N.O.
4. ICE DAM PROTECTION: "ice and water shield" at eaves to 36" inside the wall plane of the building
5. CHIMNEY TERMINATION: chimney shall be 2'-0" higher than any portion of building within 10'-0", 3'-0" tall minimum.

MASONRY

1. MASONRY VENEERS, AND TIES: see structural sheets. provide minimum brick ties at 16 inches on center in either direction, with horizontal 9 gage wire mechanically attached to ties (if applicable)
2. LINTELS: see structural drawings for lintel sizes and locations. SHEARWALLS & HOLDDOWN SCHEDULE: see structural sheets

MECHANICAL

1. GAS FIREPLACE: ICBO #4030 on typical gas unit
2. FIREPLACE HEARTHS: Extend 20" min. from front of firebox and 12" min. extension on both sides.
3. RES-CHECK: 2009 IECC See attached REScheck report.
4. CENTRAL FURNACE, CLEARANCE, ACCESS, PLATFORM, LIGHT: provide 3" side and rear of platform, space is 12 inches wider than furnace, 6 inches in front if door or 30 inches in front, 30 x 30 inch access platform with light for servicing
5. BTU SIZES OF WATER HEATERS, FURNACES: see mechanical drawings for all mechanical sizing.
6. COMBUSTION AIR: provide duct or opening within 12 inches of ceiling and size of 1 sq inch for every 3000 btu/h.
7. ELEVATION OF COMBUSTION SOURCE OF APPLIANCES: see floor plans for floor heights.
8. APPLIANCE PROTECTION FROM IMPACT: N/A (mechanical not in garage).
9. CONDENSATE DISPOSAL: provide an indirect drain, secondary condensate if located in attic or on wood floor (to be trap seal primer type)
10. GAS LINE SCHEMATIC: See mechanical sheets.
11. WATER HEATERS, LOCATIONS, EXPANSION TANKS, AND PRESSURE RELIEF VALVES: can not be located in closets, bedrooms, or bathrooms. If located within sealed enclosures provide combustion air vent. Direct-vent water heaters are okay. Provide and install high-efficiency radiant hydronic heat system including connection of hot water storage tank, gas hot water heaters and piping from the hot water tank to all fixtures as indicated in drawings. Installation shall conform to all local codes, ordinances and regulations pertaining to this work. Manifold and thermostat locations to be approved by the Architect. Provide trap seal primer type drain at water heaters.

12. WATER HEATER ANCHORAGE, FLOOR DRAIN, AND PANS FOR DRAINAGE: provide seismic strap to top third and bottom third of water heater. Provide an indirect drain for water heaters. Provide pan for water heaters on wood floors.

13. CLOTHES DRYER EXHAUST: maximum 25'-0" to outside with 5'-0" reduction for 90 degree bends

14. EXHAUST VENT TERMINATIONS: 4'-0" below or beside and 1'-0" above doors or windows, 12" above grade

15. SHOWER SIZE AND DOOR: 900 sq inches and 30" diameter, door swings outward

16. HEATING: new construction to have a gas fired forced air furnace with air conditioning condenser unit. Heating facility to maintain 68 degrees.

PLUMBING

1. WATER PIPING: Shall be pex.
2. VENT PIPING: shall be ABS.
3. HOSE CONNECTION BACKFLOW PREVENTER: provide at all exterior hose bib locations. Use frostproof type with vacuum breaker.
4. FLOOR DRAINS: Deep seal or Trap seal primer required in laundry or mechanical rooms per lbc 3201.2
5. WASTE INTERIOR TO BE ABS, WASTE INTERIOR UNDER SLAB AND EXTERIOR TO BE ABS.

ELECTRICAL

1. WHIRLPOOL BATHTUB ACCESS PANEL: see plans for size and locations.
2. ELECTRICAL SERVICE PANEL LOCATION: shall not be located in bathrooms or firewalls. provide 30" clearance side to side and 36" clearance in front. Provide a minimum of 6'-6" in height.
3. RECEPTACLE OUTLETS: see electrical drawings for all outlet locations. Electrical sub-contractor to walk through project with owner to verify all electrical fixture locations prior to commencing work. Follow all local electrical codes.
4. ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION: provide in bedrooms.
5. GFCI PROTECTION: see electrical sheets for all locations. Provide in bathrooms and jetted tub motors, garage, outdoor, crawlspace, kitchen counters, kitchen islands, and wet-bar.
6. LIGHTING WALL SWITCHES: see electrical drawings for all switch locations. Electrical sub-contractor to walk through project with owner to verify all electrical fixture locations prior to commencing work. Follow all local electrical codes.
7. RECEPTACLES AND LIGHTING IN DAMP AND WET LOCATIONS: provide weatherproof covers for outlets, lighting to be listed for wet or damp locations.
8. LIGHT FIXTURES IN CLOSETS: Incandescent fixtures 12" minimum to storage, fluorescent fixtures 6" minimum to storage
9. SUPPORT OF CEILING FANS: as per manufacturer's recommendations.
10. ELECTRICAL: all wiring to be in accordance with the National Electrical Code and applicable local codes. Locate main panel and meter where indicated on the Drawings. Provide underground power connection from source to main panel.80.
11. SMOKE DETECTORS: locate (1) inside each sleeping room, in corridors outside sleeping rooms, and on each level. All smoke detectors to be wired in series.
12. CO2 DETECTORS: Locate (1) on each level

SEAL

PRINT DATE

8/10/16

PROJECT PHASE

- ARC SUBMITTAL 07/22/2016

- HDR SET 08/10/2016

-

-

-

DRAWING REVISIONS

SHEET TITLE

GENERAL  
NOTES

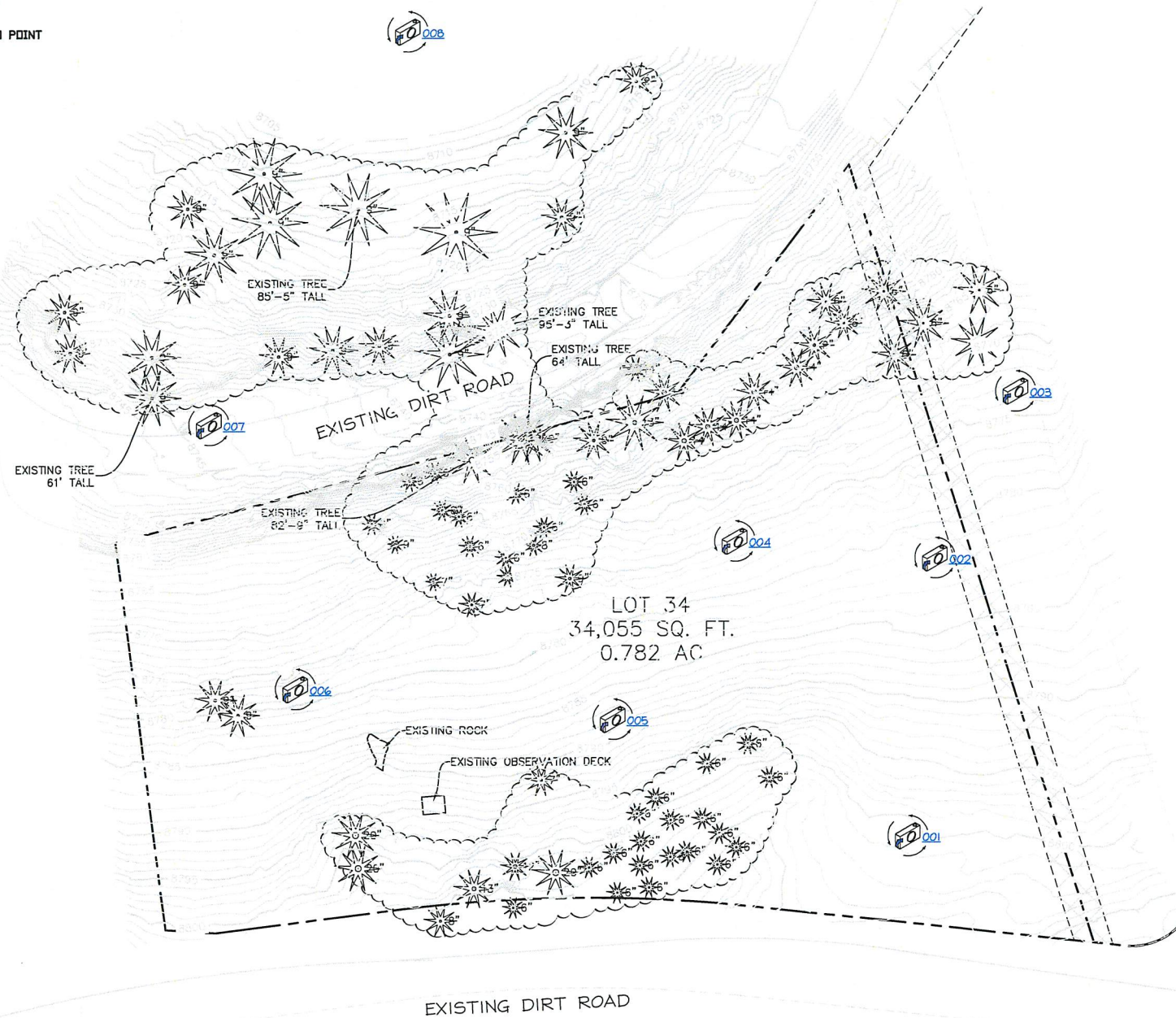
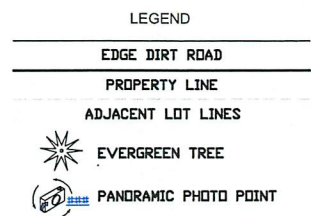
SHEET NUMBER

G102









**GNV5**  
BEYOND ENGINEERING

5217 SOUTH STATE STREET, SUITE 200  
901749-4900 TEL 901749-0300 FAX

MURRAY, UT 84107  
WWW.MVE.COM

**SUMMIT AT POWDER MOUNTAIN PHASE1**  
**LOT 34 EXISTING TOPOGRAPHY**  
**AND TREE LOCATION EXHIBIT**

PREPARED FOR: SUMMIT

DATE SUBMITTED: 8/16/2014

[illegible]

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

SHEET NUMBER  
**1**  
OF **1** SHEETS

SCALE  
VERTICAL: 1" = N/A  
HORIZONTAL: 1" = 20'

JOB NUMBER  
**SLB0793**



# SURVEYOR'S CERTIFICATE

I, RICHARD W. MILLER, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 1-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED IN THIS PLAT, AND THAT THIS PLAT SUMMIT EDEN PHASE IB, IN WEBER COUNTY, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREON DESCRIBED LANDS INCLUDING SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE WEBER COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF WEBER COUNTY CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.



RICHARD W. MILLER  
PROFESSIONAL LAND SURVEYOR  
UTAH CERTIFICATE NO. 155641

## LEGAL DESCRIPTION

BEGINNING AT A POINT THAT IS SOUTH 01°09'01" WEST 995.75 FEET ALONG THE SECTION LINE AND EAST 515.18 FEET, FROM THE WEST QUARTER CORNER OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, (BASIS OF BEARING IS NORTH 89°55'51" WEST ALONG THE LINE BETWEEN THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND THE SET WEBER COUNTY MONUMENT ON THE INTERSECTION OF THE WEBER/CACHE COUNTY LINE AND THE SECTION LINE.); RUNNING THENCE NORTH 87°12'24" EAST 272.77 FEET; THENCE SOUTH 02°47'31" EAST 224.41 FEET; THENCE SOUTH 44°55'24" EAST 119.68 FEET; THENCE SOUTH 04°47'44" EAST 154.04 FEET; THENCE SOUTH 83°04'32" EAST 367.66 FEET; THENCE NORTH 84°26'39" EAST 381.79 FEET; THENCE NORTH 83°08'05" EAST 309.86 FEET; THENCE SOUTH 82°18'33" EAST 415.15 FEET; THENCE SOUTH 49°18'31" EAST 210.20 FEET; THENCE SOUTH 30°26'35" EAST 270.66 FEET; THENCE SOUTH 62°04'42" EAST 391.77 FEET; THENCE SOUTH 62°04'42" EAST 1,191.25 FEET; THENCE SOUTH 240.39 FEET; THENCE EAST 455.19 FEET; THENCE SOUTH 35°01'44" WEST 550.33 FEET; THENCE NORTHWESTERLY ALONG A 455.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, (CHORD BEARS NORTH 64°45'19" WEST A DISTANCE OF 244.33 FEET), THROUGH A CENTRAL ANGLE OF 31°08'57", A DISTANCE OF 247.36 FEET; THENCE SOUTH 09°40'13" WEST 25.00 FEET; THENCE WESTERLY ALONG A 430.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, (CHORD BEARS NORTH 87°04'17" WEST A DISTANCE OF 100.96 FEET), THROUGH A CENTRAL ANGLE OF 13°28'54", A DISTANCE OF 101.19 FEET; THENCE SOUTH 86°11'44" WEST 19.22 FEET; THENCE WESTERLY ALONG A 570.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, (CHORD BEARS NORTH 88°46'50" WEST A DISTANCE OF 100.10 FEET), THROUGH A CENTRAL ANGLE OF 10°04'29", A DISTANCE OF 100.23 FEET; THENCE SOUTH 06°15'42" WEST 147.00 FEET TO THE NORTHERLY RIGHT OF MAY LINE OF SUMMIT PASS; THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING THIRTY TWO (32) COURSES: 1) NORTH 83°44'18" WEST 166.47 FEET, 2) NORTHWESTERLY ALONG A 367.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, (CHORD BEARS NORTH 66°06'41" WEST A DISTANCE OF 222.27 FEET), THROUGH A CENTRAL ANGLE OF 35°15'14", A DISTANCE OF 225.81 FEET, 3) NORTH 48°24'04" WEST 89.38 FEET, 4) NORTHWESTERLY ALONG A 433.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, (CHORD BEARS NORTH 57°28'49" WEST A DISTANCE OF 195.41 FEET), THROUGH A CENTRAL ANGLE OF 17°54'29", A DISTANCE OF 135.97 FEET, 5) NORTH 64°28'34" WEST 225.75 FEET, 6) NORTHWESTERLY ALONG A 367.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, (CHORD BEARS NORTH 54°25'37" WEST A DISTANCE OF 153.22 FEET), THROUGH A CENTRAL ANGLE OF 24°05'53", A DISTANCE OF 154.36 FEET, 7) NORTH 42°22'41" WEST 79.01 FEET, 8) NORTHWESTERLY ALONG A 367.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, (CHORD BEARS NORTH 29°31'31" WEST A DISTANCE OF 163.28 FEET), THROUGH A CENTRAL ANGLE OF 25°42'21", A DISTANCE OF 164.65 FEET, 9) NORTH 16°40'20" WEST 261.55 FEET, 10) NORTHERLY ALONG A 557.42 FOOT RADIUS TANGENT CURVE TO THE RIGHT, (CHORD BEARS NORTH 11°35'00" WEST A DISTANCE OF 94.09 FEET), THROUGH A CENTRAL ANGLE OF 10°02'41", A DISTANCE OF 95.31 FEET, 11) NORTH 06°37'40" WEST 110.34 FEET, 12) NORTHERLY ALONG A 633.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, (CHORD BEARS NORTH 15°24'46" WEST A DISTANCE OF 195.17 FEET), THROUGH A CENTRAL ANGLE OF 17°44'11", A DISTANCE OF 195.95 FEET, 13) NORTH 24°21'51" WEST 113.52 FEET, 14) NORTHWESTERLY ALONG A 633.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, (CHORD BEARS NORTH 36°08'41" WEST A DISTANCE OF 258.47 FEET), THROUGH A CENTRAL ANGLE OF 23°33'40", A DISTANCE OF 260.30 FEET, 15) NORTH 47°58'31" WEST 81.02 FEET, 16) WESTERLY ALONG A 433.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, (CHORD BEARS NORTH 70°02'50" WEST A DISTANCE OF 326.12 FEET), THROUGH A CENTRAL ANGLE OF 44°14'34", A DISTANCE OF 334.37 FEET, 17) SOUTH 87°49'50" WEST 231.14 FEET, 18) WESTERLY ALONG A 267.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, (CHORD BEARS NORTH 81°03'41" WEST A DISTANCE OF 102.88 FEET), THROUGH A CENTRAL ANGLE OF 22°12'58", A DISTANCE OF 103.53 FEET, 19) NORTH 64°57'12" WEST 128.40 FEET, 20) WESTERLY ALONG A 533.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, (CHORD BEARS NORTH 76°12'08" WEST A DISTANCE OF 116.03 FEET), THROUGH A CENTRAL ANGLE OF 12°24'53", A DISTANCE OF 116.26 FEET, 21) NORTH 82°27'04" WEST 241.01 FEET, 22) WESTERLY ALONG A 533.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, (CHORD BEARS SOUTH 87°57'27" WEST A DISTANCE OF 177.61 FEET), THROUGH A CENTRAL ANGLE OF 19°10'57", A DISTANCE OF 178.45 FEET, 23) SOUTH 78°21'54" WEST 163.17 FEET, 24) WESTERLY ALONG A 417.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, (CHORD BEARS NORTH 88°17'33" WEST A DISTANCE OF 192.44 FEET), THROUGH A CENTRAL ANGLE OF 26°40'57", A DISTANCE OF 194.19 FEET, 25) NORTH 74°57'04" WEST 46.14 FEET, 26) WESTERLY ALONG A 333.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, (CHORD BEARS NORTH 84°06'02" WEST A DISTANCE OF 105.30 FEET), THROUGH A CENTRAL ANGLE OF 18°17'56", A DISTANCE OF 106.35 FEET, 27) WESTERLY ALONG A 333.00 FOOT RADIUS COMPOUND CURVE TO THE LEFT, (CHORD BEARS SOUTH 74°24'51" WEST A DISTANCE OF 84.08 FEET), THROUGH A CENTRAL ANGLE OF 14°30'18", A DISTANCE OF 84.50 FEET, 28) SOUTH 72°14'41" WEST 103.92 FEET, 29) WESTERLY ALONG A 254.82 FOOT RADIUS TANGENT CURVE TO THE RIGHT, (CHORD BEARS SOUTH 82°56'00" WEST A DISTANCE OF 87.17 FEET), THROUGH A CENTRAL ANGLE OF 21°23'37", A DISTANCE OF 87.68 FEET, 30) NORTH 86°21'42" WEST 297.63, 31) WESTERLY ALONG A 2490.76 FOOT RADIUS TANGENT CURVE TO THE RIGHT, (CHORD BEARS NORTH 85°24'51" WEST A DISTANCE OF 98.90 FEET), THROUGH A CENTRAL ANGLE OF 01°53'41", A DISTANCE OF 98.91 FEET AND 32) NORTH 84°28'01" WEST 105.46 FEET TO A POINT ON THE EAST LINE OF THE WEBER STATE UNIVERSITY PARCEL, THENCE ALONG SAID PARCEL FOLLOWING TWO (2) COURSES: 1) NORTH 22°03'15" EAST 94.54 FEET, 2) NORTH 67°56'24" WEST 23.37 FEET; THENCE NORTH 57°01'18" EAST 296.12 FEET; THENCE NORTH 72°11'24" EAST 165.15 FEET; THENCE NORTH 51°37'45" EAST 238.96 FEET; THENCE SOUTH 63°37'15" EAST 119.57 FEET; THENCE NORTH 75°14'31" EAST 162.06 FEET; THENCE SOUTH 37°00'00" EAST 133.86 FEET TO THE POINT OF BEGINNING.

CONTAINING 2,502,914 SQUARE FEET OR 57.459 ACRES.

## SUMMIT EDEN PHASE IB COVER SHEET, SIGNATURES, & VICINITY MAP

LOCATED IN THE SOUTH ½ OF SECTION 6,  
SOUTHEAST ¼ OF SECTION 5 AND NORTH ½ OF SECTION 8 OF  
TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND  
MERIDIAN, WEBER COUNTY, UTAH

## PLAT NOTES:

1. THIS PLAT IS SUBJECT TO THAT CERTAIN NEIGHBORHOOD DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS FOR SUMMIT EDEN MOUNTAIN HOMES ("NEIGHBORHOOD DECLARATION") EXECUTED BY SMHG PHASE I, LLC ("DECLARANT") AS WELL AS THAT CERTAIN MASTER DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS FOR SUMMIT EDEN ("MASTER DECLARATION") THAT HAVE BEEN OR WILL BE RECORDED IN THE OFFICE OF THE WEBER COUNTY RECORDER WHICH SHALL SET FORTH THE RESTRICTIONS AND GENERAL PLAN OF IMPROVEMENT FOR THE PROPERTY DESCRIBED IN THIS PLAT. CERTAIN TERMS NOT OTHERWISE DEFINED IN THIS PLAT SHALL HAVE THE MEANINGS SET FORTH IN THE NEIGHBORHOOD DECLARATION OR MASTER DECLARATION.
2. PURSUANT TO THE NEIGHBORHOOD DECLARATION, THE SUMMIT EDEN MOUNTAIN HOMES ASSOCIATION, INC., A UTAH NONPROFIT CORPORATION ("NEIGHBORHOOD ASSOCIATION") IS RESPONSIBLE FOR MAINTAINING ALL COMMON AREA, IF ANY, AND SHALL HAVE A PERPETUAL NON-EXCLUSIVE EASEMENT OVER ALL LOTS AND PARCELS FOR SUCH MAINTENANCE PURPOSES AS FURTHER DESCRIBED IN THE NEIGHBORHOOD DECLARATION. SUCH RESPONSIBILITY AND EASEMENT MAY BE DELEGATED AND ASSIGNED TO THE SUMMIT EDEN OWNERS ASSOCIATION, INC., A UTAH NONPROFIT CORPORATION ("COMMUNITY ASSOCIATION").
3. INTENTIONALLY DELETED.
4. THE PROPERTY AS DEPICTED ON THIS PLAT IS SUBJECT TO THE RIGHTS OF DECLARANT AS DESCRIBED IN THE NEIGHBORHOOD DECLARATION, AND THE RIGHTS OF MASTER DEVELOPER AS DESCRIBED IN THE MASTER DECLARATION, AND DECLARANT AND MASTER DEVELOPER SHALL HAVE THE RIGHT TO EXERCISE ANY APPLICABLE RIGHTS PROVIDED FOR IN SAID DECLARATIONS, INCLUDING WITHOUT LIMITATION, RESERVATION AND GRANTING OF CERTAIN EASEMENTS, REDUCING OR RELOCATING IMPROVEMENTS WITHIN THE COMMUNITY, ADDING ADDITIONAL FACILITIES AND MAKING SUCH OTHER DEVELOPMENT DECISIONS AND CHANGES AS DECLARANT OR MASTER DEVELOPER SHALL DETERMINE IN EACH OF THEIR SOLE AND EXCLUSIVE DISCRETION.
5. THE LOTS ARE SERVED BY PRIVATE WATER AND WASTEWATER LATERAL LINES. EACH OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPLACEMENT OF ALL WATER AND SANITARY SEWER LATERALS SERVING THE RESIDENCE ON SUCH OWNER'S LOT IN ACCORDANCE WITH THE REQUIREMENTS OF THE POWDER MOUNTAIN WATER AND SEWER IMPROVEMENT DISTRICT.
6. ALL UTILITIES WITHIN THE PROJECT SHALL BE UNDERGROUND. NOTWITHSTANDING DECLARANT'S GRANT OF BLANKET UTILITY EASEMENTS, DECLARANT RESERVES THE RIGHT TO RECORD ONE OR MORE INSTRUMENTS WHICH NARROW AND LIMIT SUCH GRANT OF UTILITY EASEMENT TO THE ACTUAL WIDTH OF THE UTILITY IN THOSE SPECIFIC AREAS WHICH ACTUALLY CONTAIN THE UTILITY FACILITIES AS DESCRIBED IN SUCH INSTRUMENT AND FOR THE PURPOSES DESCRIBED THEREIN. SUCH RESERVED RIGHT IS SUBJECT TO THE UTILITY COMPANIES' RIGHTS THEN LOCATED UNDER THE REAL PROPERTY DEPICTED ON THIS PLAT.
7. DECLARANT HEREBY GRANTS TO ALL UTILITY PROVIDERS AN EASEMENT OVER AND ACROSS ALL AREAS SHOWN HEREON AS PUBLIC UTILITY EASEMENTS FOR THE PURPOSE OF INSTALLING, MAINTAINING AND OPERATING EQUIPMENT AND FACILITIES ABOVE AND BELOW GROUND AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS, INCLUDING THE RIGHT TO EXERCISE ANY APPLICABLE RIGHTS PROVIDED FOR IN SAID DECLARATIONS, INCLUDING WITHOUT LIMITATION, RESERVATION AND GRANTING OF CERTAIN EASEMENTS, REDUCING OR RELOCATING IMPROVEMENTS WITHIN THE COMMUNITY, ADDING ADDITIONAL FACILITIES AND MAKING SUCH OTHER DEVELOPMENT DECISIONS AND CHANGES AS DECLARANT OR MASTER DEVELOPER SHALL DETERMINE IN EACH OF THEIR SOLE AND EXCLUSIVE DISCRETION.
8. THIS PLAT ESTABLISHES HEARTWOOD DRIVE, SHOWN HEREON AS "ROAD PARCEL A," AS A LEGALLY RECOGNIZED AND PROPERLY SUBDIVIDED SEPARATE PARCEL OF REAL PROPERTY AND AS A PUBLIC UTILITY EASEMENT HEARTWOOD DRIVE IS A PRIVATE ROAD OPERATED, MAINTAINED AND REPAIRED BY THE NEIGHBORHOOD ASSOCIATION FOR THE USE AND BENEFIT AND AT THE EXPENSE OF ITS MEMBERS IN ACCORDANCE WITH THE NEIGHBORHOOD DECLARATION AND MASTER DECLARATION. DECLARANT SHALL CONVEY ROAD PARCEL A TO THE NEIGHBORHOOD ASSOCIATION IN ACCORDANCE WITH THE MASTER DECLARATION. HEARTWOOD DRIVE MAY BE RELOCATED AS DESCRIBED IN THE NEIGHBORHOOD DECLARATION AND IN ACCORDANCE WITH APPLICABLE WEBER COUNTY ORDINANCES. HEARTWOOD DRIVE IS NOT A PUBLIC ROAD OR RIGHT OF WAY. THIS PLAT SHALL NOT BE DEEMED TO GRANT ANY RIGHTS IN THE PUBLIC TO USE HEARTWOOD DRIVE OR CREATE ANY OBLIGATIONS ON THE PART OF WEBER COUNTY TO MAINTAIN OR REPAIR HEARTWOOD DRIVE. ALL SUCH USE AND MAINTENANCE SHALL BE GOVERNED BY THE TERMS AND PROVISIONS OF THE NEIGHBORHOOD DECLARATION.
9. ALL COMMON WATER AND SEWER MAINS WITHIN THE COMMUNITY WILL BE OWNED AND MAINTAINED BY POWDER MOUNTAIN WATER AND SEWER IMPROVEMENT DISTRICT.
10. AS FURTHER DESCRIBED IN THE MASTER DECLARATION, ALL LOTS AND ALL RESIDENCES AND IMPROVEMENTS CONSTRUCTED THEREON, SHALL COMPLY WITH THE DESIGN GUIDE. NO CONSTRUCTION, INSTALLATION, OR OTHER WORK WHICH IN ANY WAY ALTERS THE APPEARANCE OF ANY PROPERTY OR LOT WITHIN THE PROJECT, OR ANY RESIDENCES OR IMPROVEMENTS LOCATED THEREON, SHALL BE MADE OR DONE WITHOUT COMPLIANCE WITH THE DESIGN GUIDE AS DESCRIBED IN THE MASTER DECLARATION.
11. DECLARANT RESERVES FOR THE BENEFIT OF ITSELF, ITS SUCCESSORS AND ASSIGNS, THE RIGHT TO UNILATERALLY AMEND THE PLAT, WITHOUT THE CONSENT OF THE AFFECTED OWNER, AT ANY TIME AND FROM TIME TO TIME IF SUCH AMENDMENT IS NECESSARY TO SATISFY THE REQUIREMENTS OF ANY GOVERNMENTAL AUTHORITY, TO CORRECT MISTAKES, REMOVE/CLARIFY AMBIGUITIES OR FOR ANY OTHER PURPOSE SO LONG AS SUCH AMENDMENT TO THE PLAT DOES NOT MATERIALLY ADVERSELY AFFECT TITLE TO ANY PROPERTY AND IS IN ACCORDANCE WITH WEBER COUNTY ORDINANCES AND UTAH LAW.
12. DECLARANT HEREBY RESERVES FOR THE BENEFIT OF ITSELF, ITS SUCCESSORS AND ASSIGNS, A BLANKET EASEMENT ACROSS ALL LOTS AND PARCELS, EXCLUDING THE BUILDING ENVELOPES, FOR CONSTRUCTING AND MAINTAINING HIKING AND BIKING TRAILS ("TRAIL EASEMENT"). THE EXACT LOCATION OF THE TRAILS MAY BE DESIGNATED, ADDED TO, DELETED, OR MODIFIED BY DECLARANT WITHOUT AN AMENDMENT TO THIS PLAT AS MORE FULLY DESCRIBED IN THE NEIGHBORHOOD DECLARATION. DECLARANT HEREBY GRANTS TO THE NEIGHBORHOOD ASSOCIATION, COMMUNITY ASSOCIATION, AND THEIR MEMBERS AN EASEMENT FOR USE AND ENJOYMENT OF THE SKI EASEMENT IN THE AS-CONSTRUCTED LOCATIONS, AS MAY BE MODIFIED OR RELOCATED FROM TIME TO TIME, IN ACCORDANCE WITH ANY RULES AND REGULATIONS ADOPTED BY DECLARANT.
13. DECLARANT HEREBY RESERVES FOR THE BENEFIT OF ITSELF, ITS SUCCESSORS AND ASSIGNS, A BLANKET EASEMENT ACROSS ALL LOTS AND PARCELS, EXCLUDING THE BUILDING ENVELOPES, FOR CONSTRUCTING AND MAINTAINING SKI TRAILS AND OTHER SKI IMPROVEMENTS ("SKI EASEMENT"). DECLARANT MAY DESIGNATE, DEFINE, LOCATE, RELOCATE, AND MODIFY THE EXACT LOCATION OF THE SKI TRAILS WITHOUT AN AMENDMENT TO THIS PLAT AS MORE FULLY DESCRIBED IN THE NEIGHBORHOOD DECLARATION. DECLARANT HEREBY GRANTS AN EASEMENT IN FAVOR OF THE NEIGHBORHOOD ASSOCIATION, COMMUNITY ASSOCIATION, AND THEIR MEMBERS FOR USE AND ENJOYMENT OF THE SKI EASEMENT IN THE AS-CONSTRUCTED LOCATIONS, AS MAY BE MODIFIED OR RELOCATED FROM TIME TO TIME, IN ACCORDANCE WITH ANY RULES AND REGULATIONS ADOPTED BY DECLARANT.

## SURVEY NARRATIVE:

1-THE SURVEY SUBDIVIDED THE AFORESAID TRACT OF LAND INTO LOTS, STREETS, PARCELS, AND EASEMENTS AS SHOWN HEREON AND AS DIRECTED BY THE CLIENT

2-BASIS OF BEARINGS FOR THIS PLAT IS NORTH 89°55'51" WEST ALONG THE LINE BETWEEN THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND THE SET WEBER COUNTY MONUMENT ON THE INTERSECTION OF THE WEBER/CACHE COUNTY LINE AND THE SECTION LINE. THIS BASIS DIFFERS FROM THE BASIS OF THE PREVIOUSLY RECORDED PLAT AS SHOWN ON COUNTY LINE DECLARATION RECORDED PLAT BOOK 74, PAGE 64.

# SUMMIT EDEN PHASE IB

LOCATED IN THE SOUTH ½ OF SECTION 6,  
SOUTHEAST ¼ OF SECTION 5 AND NORTH ½ OF SECTION 8 OF  
TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE BASE AND  
MERIDIAN, WEBER COUNTY, UTAH  
JANUARY 2014

## PLAT NOTES (CONT.):

14. DECLARANT HEREBY RESERVES FOR THE BENEFIT OF ITSELF, ITS SUCCESSORS AND ASSIGNS, A TEMPORARY BLANKET EASEMENT ACROSS ALL LOTS ADJACENT TO A PRIVATE ROAD ("SLOPE EASEMENT") AS MORE FULLY DESCRIBED IN THE NEIGHBORHOOD DECLARATION. SUCH SLOPE EASEMENT IS FOR THE BENEFIT OF DECLARANT, ITS EMPLOYEES, AND CONTRACTORS, FOR THE PURPOSE OF STABILIZING, CONSTRUCTING CUT SLOPES AND FILL SLOPES, AND PERFORMING OTHER CONSTRUCTION AND MAINTENANCE TO PREVENT EROSION ALONG THE PRIVATE ROADS. THE SLOPE EASEMENT ON EACH LOT SHALL AUTOMATICALLY TERMINATE AT SUCH TIME AS A CERTIFICATE OF OCCUPANCY IS ISSUED FOR A RESIDENTIAL BUILDING CONSTRUCTED ON SAID LOT, AND THE SLOPE EASEMENT SHALL BE DEEMED TO BE REQUIRED FOR ONGOING MAINTENANCE AND REPAIR. LOTS ADJACENT TO SUMMIT PASS OR SPRING PARK MAY HAVE ADDITIONAL SLOPE EASEMENTS AS SHOWN ON THE ROAD DEDICATION PLAT FOR SUMMIT PASS AND SPRING PARK AS RECORDED AND ON FILE WITH THE OFFICE OF THE WEBER COUNTY RECORDER.
15. DECLARANT HEREBY RESERVES FOR THE BENEFIT OF ITSELF, ITS SUCCESSORS AND ASSIGNS, A BLANKET EASEMENT AND RIGHT OF WAY, UNDER AND ACROSS HEARTWOOD DRIVE FOR THE CONSTRUCTION, MAINTENANCE, AND OPERATION OF TUNNELS, BRIDGES AND/OR SKI LIFTS OVER AND UNDER THE ROAD. DECLARANT MAY CONVEY, TRANSFER, OR ASSIGN ITS RIGHTS WITH RESPECT TO SUCH EASEMENT.
16. CERTAIN PARCELS MAY BE DESIGNATED HEREON AS "OPEN SPACE." SUCH OPEN SPACE PARCELS SHALL BE INITIALLY OWNED BY DECLARANT AND ARE NOT PART OF ANY COMMON AREA UNLESS DESIGNATED AS SUCH BY DECLARANT OR CONVEYED BY DECLARANT TO THE NEIGHBORHOOD ASSOCIATION OR COMMUNITY ASSOCIATION. NOTWITHSTANDING THE DESIGNATION OF "OPEN SPACE," THE PERMITTED USES AND ANY APPLICABLE RESTRICTIONS FOR SUCH PARCELS SHALL BE AS SET FORTH IN THE NEIGHBORHOOD DECLARATION AND MASTER DECLARATION. DECLARANT RESERVES THE RIGHT TO BUILD FACILITIES AND AMENITIES WITHIN ANY AREA DESIGNATED AS OPEN SPACE, AND RESERVES THE RIGHT TO ABANDON, RELOCATE, REDUCE, OR OTHERWISE CHANGE THE AREAS DESIGNATED AS OPEN SPACE SO LONG AS THE AMOUNT OF DESIGNATED OPEN SPACE FOR THE ENTIRE COMMUNITY COMPLIES WITH THE OPEN SPACE REQUIREMENTS IMPOSED BY WEBER COUNTY.
17. DECLARANT GIVES NOTICE THAT THE LOTS SHOWN HEREON ARE IN A SKI RESORT AREA ("SKI RESORT") IN WHICH HEAVY SNOW FALLS, WIND PATTERNS, AND OTHER CONDITIONS HAVE THE POTENTIAL TO CAUSE AVALANCHES IN CERTAIN AREAS. NO STUDIES HAVE BEEN CONDUCTED TO DETERMINE WHETHER ANY OF THE LOTS OR BUILDING ENVELOPES SHOWN HEREON ARE WITHIN POTENTIAL AVALANCHE INFLUENCE AND AVALANCHE CONTROL ZONES. CERTAIN AREAS WITHIN THE SKI RESORT MAY BE SUBJECT TO AVALANCHE CONTROLS BY THE OPERATOR OF THE SKI RESORT AND SUCH CONTROL PROCEDURES MAY INVOLVE THE USE OF EXPLOSIVE CHARGES AND MAY TRIGGER AVALANCHES AS WELL AS OCCASIONAL ROAD, DRIVEWAY, AND SKI TRAIL CLOSURES. DECLARANT MAKES NO REPRESENTATION WITH RESPECT TO THE OPERATIONS OF THE SKI RESORT OR THE POTENTIAL RISKS OR HAZARDS ASSOCIATED WITH AVALANCHES OR AVALANCHE CONTROL. EACH OWNER OF A LOT SHOULD CONDUCT ITS OWN STUDIES PRIOR TO CONSTRUCTING ANY IMPROVEMENTS ON A LOT.
18. DEVELOPMENT PARCEL B IS INTENDED FOR FUTURE DEVELOPMENT INTO LOTS, UNITS, OR OTHER SUBDIVIDED PROPERTY INTERESTS AND IS VESTED WITH FIFTEEN (15) EQUIVALENT RESIDENTIAL UNITS OF DENSITY.
19. ALL LOTS AS DEPICTED ON THIS PLAT ARE LOCATED IN A LIGHTLY DEVELOPED SEMI-WILDERNESS AREA CONTAINING ANIMALS TYPICALLY FOUND IN THE ROCKY MOUNTAINS, INCLUDING WITHOUT LIMITATION, BEARS, MOUNTAIN LIONS, MOOSE, DEER, ELK, SQUIRRELS, RACCOONS, AND OTHER ANIMALS, BIRDS, INSECTS, AND REPTILES NATIVE OR MIGRATORY TO THE AREA. SUCH ANIMALS ROAM FREELY AND MAY ENTER THE LOTS AND OTHER PRIVATELY OWNED PROPERTIES, SCAVENGING, EATING AND DAMAGING PLANTS, FLOWERS, SHRUBS AND TREES, AND CREATING POTENTIAL HAZARDS, NUISANCES AND DAMAGE TO PERSONS AND PROPERTY. EACH OWNER SHALL ASSUME ALL SUCH RISKS AND CONDITIONS FOR ANY SUCH DAMAGE.
20. DECLARANT HEREBY RESERVES FOR THE BENEFIT OF ITSELF, ITS SUCCESSORS AND ASSIGNS, AN EASEMENT OVER LOTS 31 AND 32 AS INDICATED HEREON FOR THE FUTURE EXTENSION OF HEARTWOOD DRIVE AS A PRIVATE ROAD, INCLUDING ALL CONSTRUCTION, USE, MAINTENANCE, AND OPERATION OF THE EXTENDED ROAD. AT SUCH TIME AS THE EXTENSION IS CONSTRUCTED, THE OWNERS OF LOTS 31 AND 32 SHALL DEED TO DECLARANT OR ITS SUCCESSORS AND ASSIGNS FEE TITLE TO THE EASEMENT PROPERTY. DECLARANT HAS THE RIGHT TO CONVEY, TRANSFER, OR ASSIGN SUCH EASEMENT RIGHTS, OR GRANT SUB-EASEMENTS OVER THE EASEMENT PROPERTY.
21. DECLARANT HEREBY RESERVES FOR THE BENEFIT OF ITSELF, ITS SUCCESSORS AND ASSIGNS, A BLANKET EASEMENT OVER PARCEL D FOR A FUTURE ROADWAY, INCLUDING ALL CONSTRUCTION, USE, MAINTENANCE AND OPERATION OF SUCH ROAD. DECLARANT HAS THE RIGHT TO CONVEY, TRANSFER, OR ASSIGN SUCH EASEMENT RIGHTS, OR GRANT SUB-EASEMENTS OVER THE EASEMENT PROPERTY.
22. DUE TO THE TOPOGRAPHY AND THE LOCATION OF THIS SUBDIVISION, ALL OWNERS WILL ACCEPT RESPONSIBILITY FOR ANY STORM WATER RUNOFF FROM THE ROAD ADJACENT TO THIS PROPERTY UNTIL CURB AND GUTTER IS INSTALLED.
23. NOTICE TO PURCHASERS OF RESTRICTED (R) LOTS: LOTS DESIGNATED BY THE LETTER "R" AFTER THE LOT NUMBER ARE RESTRICTED LOTS AND BUILDING DEVELOPMENT ON SUCH LOTS IS SUBJECT TO THE PROVISIONS OF SECTION 108-14 OF THE WEBER COUNTY LAND USE CODE. APPROVAL OF A RESTRICTED LOT DOES NOT GUARANTEE THE LOT IS BUILDABLE. A HILLSIDE REVIEW AS OUTLINED IN THE LAND USE CODE SHALL BE DONE TO DETERMINE IF A LOT IS BUILDABLE.
24. PARKING ON ANY STREETS AND ROADS SHOWN HEREON IS PROHIBITED.
25. THE NEIGHBORHOOD DECLARATION AND MASTER DECLARATION SET FORTH THE TERMS AND RESTRICTIONS FOR NIGHTLY RENTALS AND LEASING OF LOTS IN THE PROJECT.
26. ACCESS TO THE PROJECT IS BY WAY OF A STATE HIGHWAY MAINTAINED BY THE UTAH DEPARTMENT OF TRANSPORTATION, WEBER COUNTY PUBLIC ROADS, AS WELL AS PRIVATE ROADS. SEVERE WEATHER CONDITIONS MAY MAKE CERTAIN ROADS IMPASSABLE OR SUBJECT TO REDUCED VISIBILITY, SNOW, ICE, AND OTHER RISKS, AND ROADS MAY BE CLOSED DURING CERTAIN PERIODS.
27. THIS PLAT DOES NOT AMEND ANY WEBER COUNTY ORDINANCES. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAT AND WEBER COUNTY ORDINANCES, THE WEBER COUNTY ORDINANCES SHALL CONTROL.

## OWNER'S DEDICATION:

SMHG PHASE I LLC ("DECLARANT"), AS THE OWNER OF THE HEREIN DESCRIBED TRACT OF LAND, DOES HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND PARCELS AS SHOWN HEREON, SUBJECT TO ALL OF THE RESTRICTIONS, RIGHTS AND LIMITATIONS SET FORTH IN THE PLAT NOTES, AND NAME SAID TRACT, TO BE KNOWN AS SUMMIT EDEN PHASE IB, AND DOES HEREBY:

- PRIVATE STREETS, ACCESS, RIGHTS-OF-WAY, DEDICATE AND RESERVE UNTO DECLARANT, ITS HEIRS, GRANTEEES AND ASSIGNS, A RIGHT-OF-WAY TO BE USED IN COMMON WITH ALL OTHERS WITHIN SAID SUBDIVISION (AND THOSE ADJOINING SUBDIVISIONS THAT MAY BE SUBDIVIDED BY THE UNDERSIGNED OWNER, ITS SUCCESSORS OR ASSIGNS) ON, OVER AND ACROSS ALL THOSE PORTIONS OR PARTS OF SAID TRACT OF LAND DESIGNATED ON SAID PLAT AS PRIVATE STREETS AS ACCESS TO THE INDIVIDUAL LOTS, TO BE MAINTAINED BY SUMMIT EDEN MOUNTAIN HOMES ASSOCIATION, INC., A UTAH NONPROFIT CORPORATION ("NEIGHBORHOOD ASSOCIATION"), WHOSE MEMBERSHIP CONSISTS OF DECLARANT AND THE OWNERS OF THE LOTS DEPICTED HEREON.
- PUBLIC UTILITY AND DRAINAGE EASEMENTS. GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY, STORM WATER DETENTION PONDS AND DRAINAGE EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS.
- PRIVATE EASEMENTS. GRANT AND DEDICATE THOSE CERTAIN EASEMENTS DESCRIBED IN NOTES 7, 12, 13, 14, 15, 20, AND 21 OF THIS PLAT. SUCH NOTES AND THE RESERVATION AND GRANT OF EASEMENTS DESCRIBED THEREIN ARE INCORPORATED HEREIN BY REFERENCE.

IN WITNESS WHEREOF, DECLARANT HAS EXECUTED THIS OWNER'S DEDICATION AS OF THE  
21st DAY OF JANUARY, 2014.

SMHG PHASE I LLC, A DELAWARE LIMITED LIABILITY COMPANY

BY: SMHG INVESTMENTS LLC, A DELAWARE LIMITED LIABILITY COMPANY  
ITS: SOLE MEMBER

BY: ELLIOTT BISNOH  
TITLE: MANAGER

BY: GREGORY VINCENT MAURO  
TITLE: MANAGER

## ACKNOWLEDGEMENT:

STATE OF UTAH }  
COUNTY OF WEBER } S.S.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21st DAY OF January 2014 BY ELLIOTT BISNOH, MANAGER OF SMHG INVESTMENTS LLC, THE SOLE MEMBER OF SMHG PHASE I LLC.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: 11/19/2014

RESIDING IN: OGDEN UTAH

STATE OF UTAH }  
COUNTY OF WEBER } S.S.

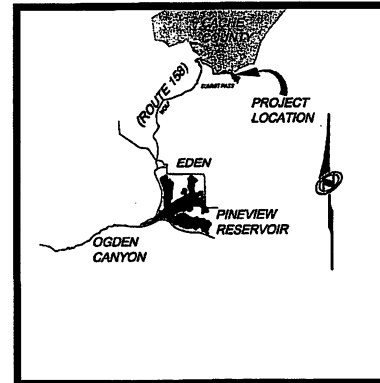
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21st DAY OF January 2014 BY GREGORY VINCENT MAURO, MANAGER OF SMHG INVESTMENTS LLC, THE SOLE MEMBER OF SMHG PHASE I LLC.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: 11/19/2014

RESIDING IN: OGDEN UTAH

## VICINITY MAP

N.T.S.



N.T.S.

## NOTICE VERTICAL FIVE

5217 SOUTH STATE STREET, SUITE 300 HURRAY, UT 84107  
801.743.1300 TEL. 801.743.0300 FAX WWW.NOLTE.COM

## CACHE RECORDED 8

STATE OF UTAH, COUNTY OF CACHE, RECORDED AND FILED AT THE

REQUEST OF:

ENTRY NO.:

DATE: TIME:

BOOK: PAGE:

FEE \$

## CACHE COUNTY RECORDER

## WEBER RECORDED 8

STATE OF UTAH, COUNTY OF WEBER, RECORDED AND FILED AT THE

REQUEST OF: SMHG PHASE I LLC

ENTRY NO. 2672944

DATE: 21-Jan-2014 TIME: 10:21 AM

BOOK: 75 PAGE: 32-33-34

104.00 FEE \$

Ernest D Rowley

WEBER COUNTY RECORDER

## WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS, IN ACCORDANCE WITH AN INTERLOCAL AGREEMENT BETWEEN WEBER COUNTY AND CACHE COUNTY, ENTRY #2672944, RECORDED 28 MAY 2013, ASSOCIATED WITH THIS SUBDIVISION THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH

THIS 21 DAY OF January, 2014

CHAIRMAN, WEBER COUNTY COMMISSION

## WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION ON THE DAY OF 21st January, 2014

2014

CHAIRMAN-WEBER COUNTY PLANNING COMMISSION

## WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

SIGNED THIS 21st DAY OF January, 2014

SIGNATURE

## WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN THE COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYORS DOES NOT RELIEVE THE LAND SURVEYOR WHO EXECUTED THIS PLAT FROM RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH. SIGNED THIS 21st DAY OF January, 2014

COUNTY SURVEYOR

## WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.

SIGNED THIS 22nd DAY OF Jan, 2014

SIGNATURE





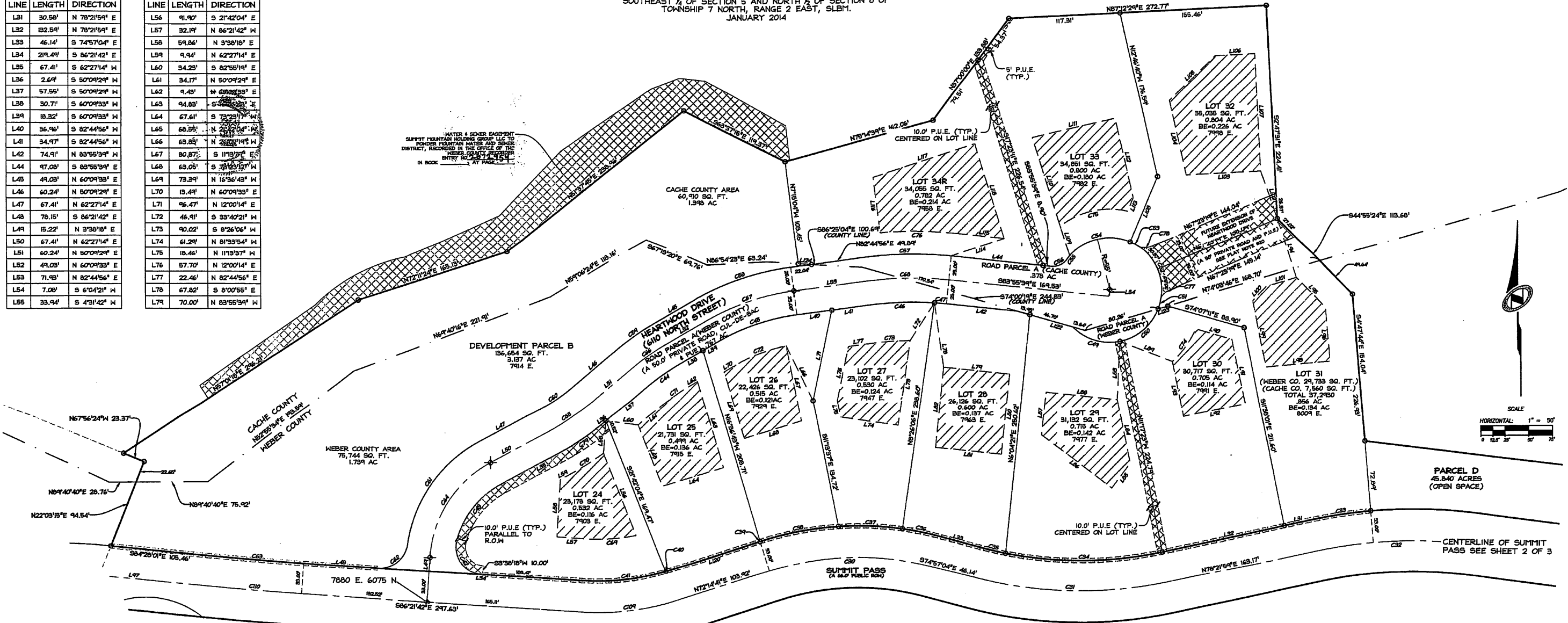


# SUMMIT EDEN PHASE IB

LOCATED IN THE SOUTH 1/2 OF SECTION 6,  
SOUTHEAST 1/4 OF SECTION 5 AND NORTH 1/2 OF SECTION 8 OF  
TOWNSHIP 7 NORTH, RANGE 2 EAST, 51M.  
JANUARY 2014

LINE	LENGTH	DIRECTION
L31	30.58'	N 78°21'54" E
L32	132.54'	N 78°21'54" E
L33	46.14'	S 74°57'04" E
L34	219.44'	S 86°21'42" E
L35	67.41'	S 62°27'14" W
L36	2.64'	S 50°09'24" W
L37	57.55'	S 50°09'24" W
L38	30.71'	S 60°09'33" W
L39	18.32'	S 60°09'33" W
L40	36.96'	S 82°44'56" W
L41	34.97'	S 82°44'56" W
L42	74.91'	N 83°55'39" E
L43	97.08'	S 83°55'39" E
L45	49.03'	N 60°09'33" E
L46	60.24'	N 50°09'24" E
L47	67.41'	N 62°27'14" E
L48	78.15'	S 86°21'42" E
L49	15.22'	N 3°38'18" E
L50	67.41'	N 62°27'14" E
L51	60.24'	N 50°09'24" E
L52	49.03'	N 60°09'33" E
L53	71.93'	N 82°44'56" E
L54	7.00'	S 6°04'21" W
L55	33.94'	S 43°14'21" W

LINE	LENGTH	DIRECTION
L56	91.90'	S 21°42'04" E
L57	32.19'	N 86°21'42" W
L58	59.86'	N 3°38'18" E
L59	9.94'	N 62°27'14" E
L60	34.23'	S 82°55'19" E
L61	34.17'	N 50°09'24" E
L62	4.43'	N 60°09'33" E
L63	94.83'	S 50°09'24" E
L64	67.61'	S 73°27'17" W
L65	68.55'	N 21°07'04" W
L66	63.85'	N 26°07'19" W
L67	80.87'	S 11°13'29" E
L68	63.08'	S 73°53'53" W
L69	73.39'	N 16°36'43" W
L70	13.49'	N 60°09'33" E
L71	96.47'	N 12°00'14" E
L72	46.91'	S 33°40'21" W
L73	90.02'	S 8°26'06" W
L74	61.29'	N 81°33'54" W
L75	18.46'	N 11°13'57" W
L76	57.70'	N 12°00'14" E
L77	22.46'	N 82°44'56" E
L78	67.82'	S 8°00'55" E
L79	70.00'	N 83°55'39" E



CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C30	171.76'	300.00'	32°48'14"	S 88°39'49" W	164.42'
C31	209.56'	450.00'	26°40'57"	S 88°17'33" E	207.67'
C32	167.40'	500.00'	19°10'57"	S 87°57'27" W	166.62'
C33	63.61'	533.00'	6°50'17"	S 81°47'07" W	63.57'
C34	166.44'	417.00'	22°52'06"	N 84°48'02" E	165.33'
C35	27.76'	417.00'	3°48'50"	S 76°51'24" E	27.75'
C36	38.44'	333.00'	6°36'50"	N 78°15'24" W	38.42'
C37	67.91'	333.00'	11°41'06"	N 87°24'27" W	67.80'
C38	84.30'	333.00'	14°30'18"	N 79°24'51" E	84.08'
C39	0.06'	333.00'	0°00'37"	S 72°15'00" W	0.06'
C40	1.04'	234.82'	0°15'16"	N 72°22'20" E	1.04'
C41	87.68'	234.82'	21°23'37"	N 82°56'30" E	87.17'
C42	54.01'	30.00'	108°08'42"	S 34°47'21" E	47.00'
C43	75.72'	95.00'	45°40'14"	S 39°37'07" W	73.74'
C44	39.27'	225.00'	10°00'04"	S 55°09'31" W	39.22'
C45	88.71'	225.00'	22°35'23"	S 71°27'14" W	88.14'
C46	74.38'	375.00'	11°21'36"	S 88°28'44" W	74.23'
C47	12.65'	375.00'	1°57'48"	N 84°54'34" W	12.65'
C49	54.44'	55.00'	56°42'33"	S 72°56'07" E	52.24'
C50	54.74'	55.00'	57°01'17"	N 50°11'58" E	52.51'

CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C51	11.64'	55.00'	12°07'44"	N 15°37'28" E	11.62'
C52	61.46'	55.00'	64°01'20"	N 22°27'03" W	58.31'
C53	11.74'	55.00'	12°13'40"	N 60°34'33" W	11.72'
C54	70.00'	55.00'	72°59'19"	S 76°50'57" W	65.37'
C55	4.65'	55.00'	4°50'27"	S 37°58'04" W	4.65'
C56	19.01'	18.00'	60°31'31"	N 65°48'35" E	18.14'
C57	98.83'	425.00'	13°19'25"	S 84°24'38" W	98.61'
C58	108.42'	275.00'	22°35'23"	S 71°27'14" W	107.72'
C59	48.00'	275.00'	10°00'04"	S 55°09'31" W	47.94'
C60	48.29'	225.00'	12°17'46"	N 56°18'22" E	48.19'
C61	136.58'	145.00'	53°58'12"	S 35°28'08" W	131.54'
C62	44.59'	30.00'	85°09'16"	N 51°03'40" E	40.60'
C63	98.91'	2990.76'	1°53'41"	S 85°24'51" E	98.90'
C64	123.18'	120.00'	58°48'56"	S 33°02'46" W	117.85'
C65	53.65'	250.00'	12°17'46"	N 56°18'22" E	53.55'
C66	43.64'	250.00'	10°00'04"	S 55°09'31" W	43.58'
C67	98.57'	250.00'	22°35'23"	S 71°27'14" W	97.93'
C68	98.02'	400.00'	13°19'26"	S 84°24'38" W	92.81'
C69	51.54'	189.82'	15°34'22"	S 85°51'07" W	51.43'
C70	43.32'	300.00'	8°16'24"	N 58°19'02" E	43.28'

CURVE	LENGTH	RADIUS	DELTA	LONG CHORD	LENGTH
C71	34.91'	200.00'	10°00'04"	N 55°09'31" E	34.87'
C72	57.90'	180.00'	18°25'46"	N 64°22'26" E	57.65'
C73	43.26'	335.00'	7°23'55"	N 86°26'53" E	43.23'
C74	42.24'	100.00'	24°12'11"	N 36°36'31" E	41.93'
C75	75.24'	85.00'	50°43'01"	S 77°47'15" W	72.81'
C76	78.24'	450.00'	9°57'44"	N 88°54'31" W	78.14'
C77	12.68'	18.00'	40°21'51"	S 47°12'24" W	12.42'
C78	12.27'	18.00'	39°03'49"	N 86°58'14" E	12.04'
C79	59.02'	275.00'	12°17'46"	N 56°18'22" E	58.90'
C109	100.00'	267.82'	21°23'37"	N 82°56'30" E	99.42'
C110	100.00'	3023.76'	1°53'41"	S 85°24'51" E	100.00'

LINE	LENGTH	DIRECTION
L80	85.00'	N 6°04'21" E
L81	70.00'	S 83°55'39" E
L82	85.00'	S 6°04'21" W
L83	60.53'	S 3°03'27" W
L84	68.67'	S 11°17'23" E
L85	32.34'	S 36°59'11" W
L86	92.48'	N 53°00'49" E
L87	45.78'	N 6°04'21" E
L88	75.47'	S 83°55'39" E
L89	84.15'	S 68°59'41" E
L90	39.62'	S 74°07'11" E
L91	68.96'	S 11°38'01" E
L92	66.77'	S 78°21'54" W
L93	59.34'	N 11°17'23" W
L94	66.06'	S 17°54'49" E
L95	43.87'	N 44°55'24" W
L96	56.22'	N 4°47'44" W
L97	114.11'	S 84°28'01" E
L98	68.76'	N 85°12'16" E
L99	70.44'	S 11°38'01" E
L100	20.65'	S 45°04'36" W
L101	33.72'	S 74°03'46" W
L102	52.67'	N 19°20'13" W
L103	79.38'	S 87°12'29" W

LINE	LENGTH	DIRECTION
L104	80.00'	N 12°46'40" W
L105	68.24'	N 45°50'30" E
L106	42.00'	N 87°12'29" E
L107	123.92'	S 2°47'31" E
L108	74.13'	N 23°18'36" E
L109	33.25'	N 17°23'11" W
L110	96.87'	N 17°23'11" W
L111	89.49'	N 77°13'20" E
L112	85.06'	S 12°46'40" E
L113	15.11'	S 23°18'36" W
L114	59.08'	N 71°02'16" E
L115	53.53'	S 83°55'39" E
L116	58.07'	N 71°04'04" W
L117	113.00'	N 72°36'49" E
L118	103.24'	S 17°23'11" E
L119	103.92'	N 72°14'41" E
L120	46.70'	S 74°00'19" E
L121	103.24'	N 74°03'46" E
L122	13.97'	S 86°25'04" E

- LEGEND**
- BOUNDARY LINE
  - LOT LINE
  - SECTION LINE
  - QUARTER SECTION LINE
  - COUNTY LINE
  - ADJOINER DEED LINES
  - NO ACCESS LINE
  - AREA TIE LINES
  - CALCULATED SECTION CORNER AS NOTED
  - SECTION CORNER AS NOTED
  - STREET MONUMENT
  - SET 5/8" X 2" REBAR WITH PLASTIC CAP STAMPED "NOLTE ENG"
  - BUILDING ENVELOPE
  - P.U.E. AND FUTURE EXTENSION OF HEARTWOOD DRIVE

**SUMMIT EDEN PHASE IB**  
DEVELOPMENT PARCEL B, ROAD  
PARCEL A AND LOTS 24 TO 34

LOCATED IN THE SOUTH 1/2 OF SECTION 5,  
SOUTHEAST 1/4 OF SECTION 6 AND  
NORTH 1/2 OF SECTION 8 OF  
TOWNSHIP 7 NORTH, RANGE 2 EAST, SALT LAKE  
BASE AND MERIDIAN, WEBER COUNTY, UTAH

LOT #	WEBER COUNTY ACRES	CACHE COUNTY ACRES	WEBER COUNTY SQ.FT.	CACHE COUNTY SQ.FT.
ROAD PARCEL "A"	0.767	0.378	33,397	16,446
DEVELOPMENT PARCEL "B"	1.739	1.398	75,744	60,910
31	0.682	0.174	29,733	7,560

Sheet 3 of 3

**N/V/5**

104.00  
FEE \$

**NOLTE VERTICAL FIVE**  
5217 SOUTH STATE STREET, SUITE 200  
HURON, UT 84103  
801.743.1300 TEL. 801.743.0200 FAX

**CACHE RECORDED**

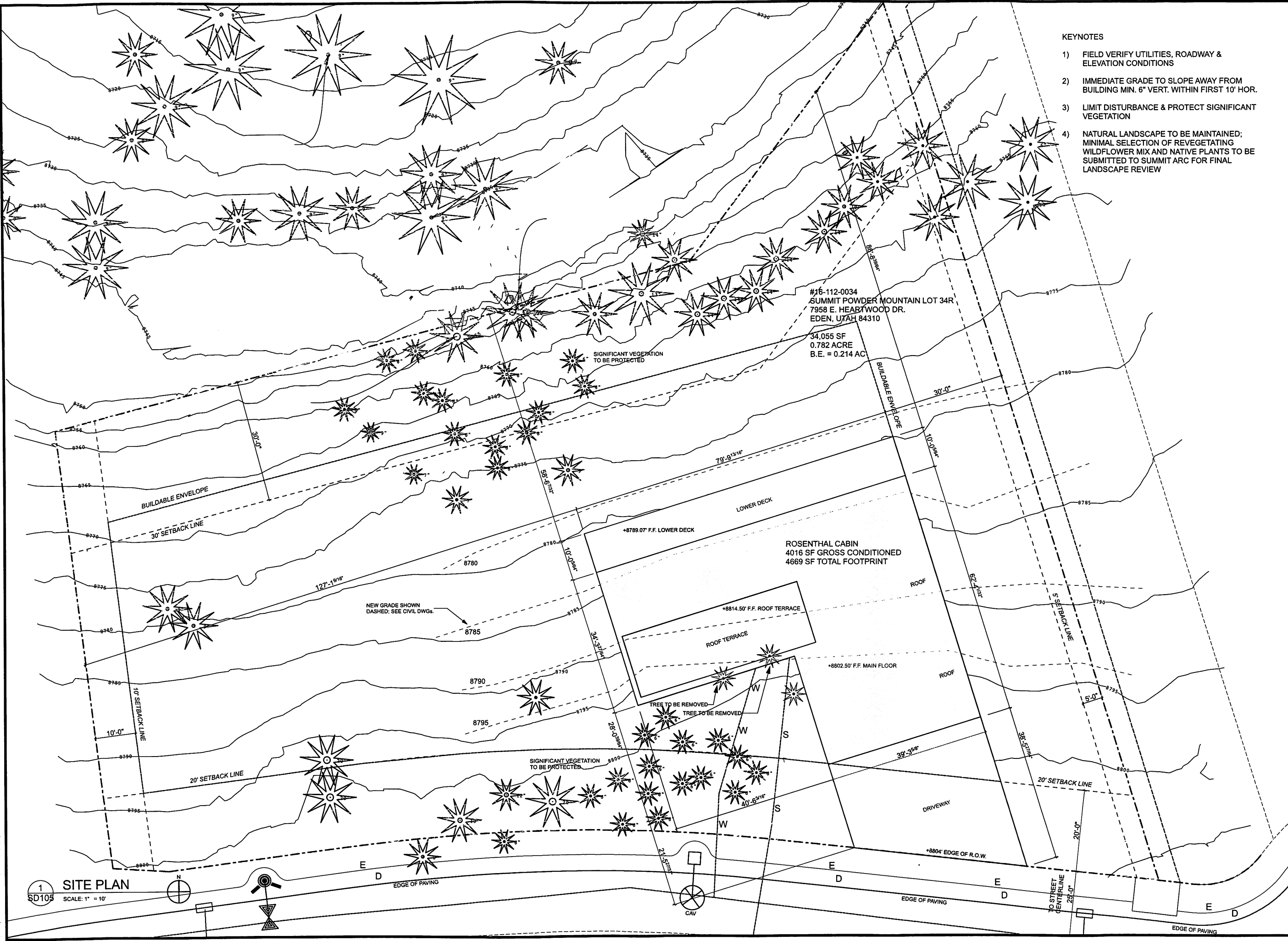
STATE OF UTAH, COUNTY OF CACHE,  
RECORDED AND FILED AT THE  
REQUEST OF: \_\_\_\_\_  
ENTRY NO.: \_\_\_\_\_  
DATE: \_\_\_\_\_ TIME: \_\_\_\_\_  
BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_  
FEE \$ \_\_\_\_\_

**WEBER RECORDED**

STATE OF UTAH, COUNTY OF WEBER,  
RECORDED AND FILED AT THE  
REQUEST OF: **51M HG Ph LLC**  
ENTRY NO.: **2672944**  
DATE: **21 Jan 2014** TIME: **10:21 AM**  
BOOK: **75** PAGE: **34**  
FEE \$ **104.00**

**Ernest D Rowley**  
WEBER COUNTY RECORDER





- KEYNOTES
- 1) FIELD VERIFY UTILITIES, ROADWAY & ELEVATION CONDITIONS
  - 2) IMMEDIATE GRADE TO SLOPE AWAY FROM BUILDING MIN. 6" VERT. WITHIN FIRST 10' HOR.
  - 3) LIMIT DISTURBANCE & PROTECT SIGNIFICANT VEGETATION
  - 4) NATURAL LANDSCAPE TO BE MAINTAINED; MINIMAL SELECTION OF REVEGETATING WILDFLOWER MIX AND NATIVE PLANTS TO BE SUBMITTED TO SUMMIT ARC FOR FINAL LANDSCAPE REVIEW

#16-112-0034  
SUMMIT POWDER MOUNTAIN LOT 34R  
7958 E. HEARTWOOD DR.  
EDEN, UTAH 84310  
34,055 SF  
0.782 ACRE  
B.E. = 0.214 AC

ROSENTHAL CABIN  
4016 SF GROSS CONDITIONED  
4669 SF TOTAL FOOTPRINT

1 SITE PLAN  
SD105 SCALE: 1" = 10'

LloydArchitects  
573 EAST 600 SOUTH  
SALT LAKE CITY, UT 84102  
PHONE 801.328.3245  
WEB LLOYD-ARCH.COM

**ROSENTHAL CABIN**  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL
PRINT DATE 8/10/16
PROJECT PHASE
ARC SUBMITTAL 07/22/2016
HDR SET 08/10/2016
DRAWING REVISIONS

SHEET TITLE  
**SITE PLAN**

SHEET NUMBER  
**SD105**

IF THIS SHEET IS LESS THAN 24" X 36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.



- 1) FIELD VERIFY UTILITIES, ROADWAY & ELEVATION CONDITIONS
- 2) IMMEDIATE GRADE TO SLOPE AWAY FROM BUILDING MIN. 6" VERT. WITHIN FIRST 10' HOR.
- 3) LIMIT DISTURBANCE & PROTECT SIGNIFICANT VEGETATION
- 4) PORTABLE RESTROOMS, PARKING, AND DUMPSTER CONTAINED IN L.O.D.; OPTIMAL LOCATIONS BY CONTRACTOR

**ROSENTHAL CABIN**

**7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310**

SEAL

PRINT DATE

3/10/16

PROJECT PHASE

ARC SUBMITTAL	07/22/2016
HDR SET	08/10/2016

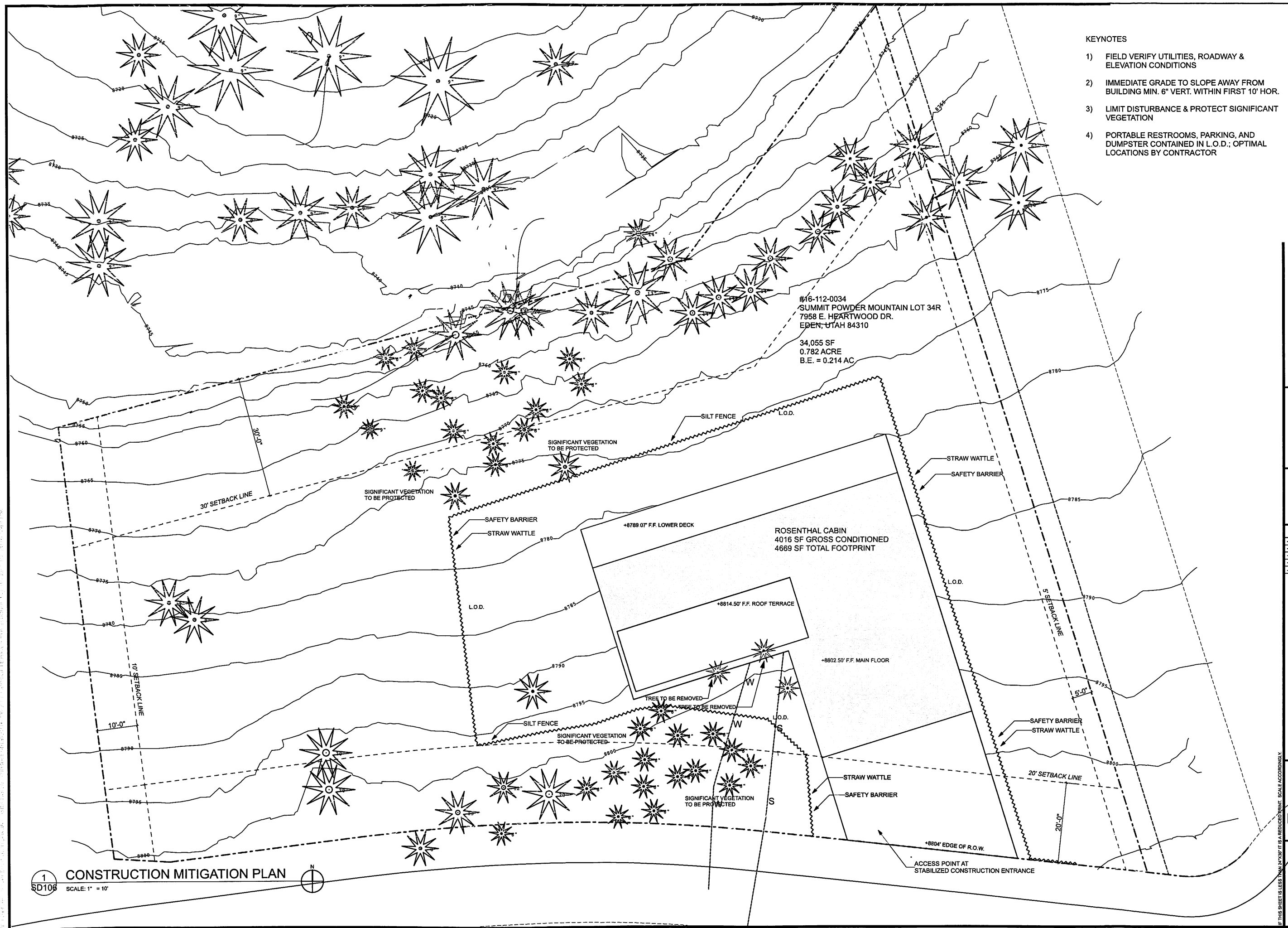
## RAWING REVISIONS

SHEET TITLE

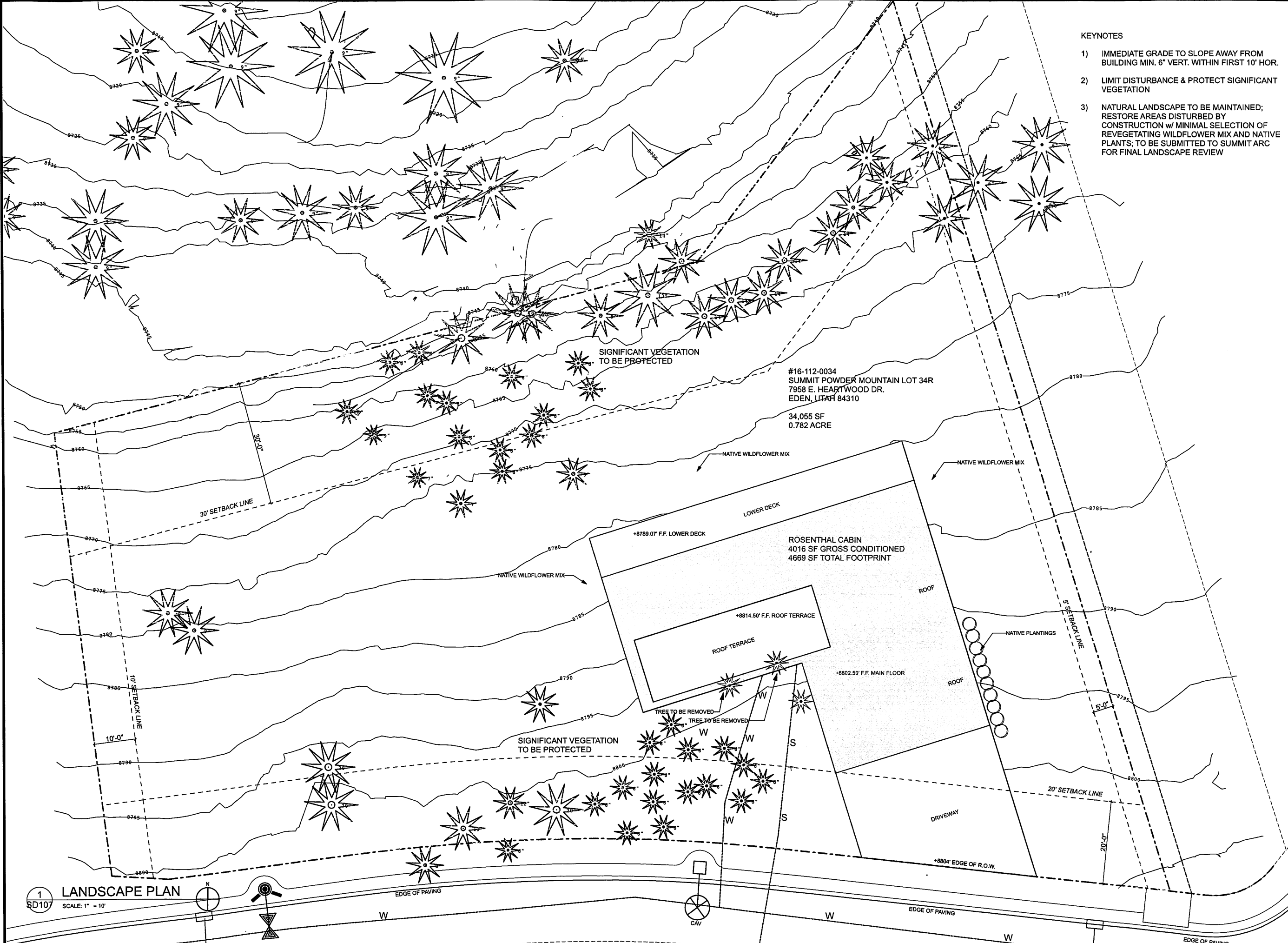
# CONSTRUCTION MITIGATION PLAN

**SHEET NUMBER**

SD106 |







- KEYNOTES
- 1) IMMEDIATE GRADE TO SLOPE AWAY FROM BUILDING MIN. 6" VERT. WITHIN FIRST 10' HOR.
  - 2) LIMIT DISTURBANCE & PROTECT SIGNIFICANT VEGETATION
  - 3) NATURAL LANDSCAPE TO BE MAINTAINED; RESTORE AREAS DISTURBED BY CONSTRUCTION w/ MINIMAL SELECTION OF REVEGETATING WILDFLOWER MIX AND NATIVE PLANTS; TO BE SUBMITTED TO SUMMIT ARC FOR FINAL LANDSCAPE REVIEW

LloydArchitects  
573 EAST 600 SOUTH  
SALT LAKE CITY, UT 84102  
PHONE 801.328.3245  
WEB LLOYD-ARCH.COM

ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE  
8/10/16

PROJECT PHASE		
- ARC SUBMITTAL	07/22/2016	
- HDR SET	08/10/2016	

DRAWING REVISIONS

SHEET TITLE  
LANDSCAPE PLAN

SHEET NUMBER

SD107

IF THIS SHEET IS LESS THAN 24"X36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.



ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE  
8/10/16PROJECT PHASE  
- ARC SUBMITTAL 07/22/2016  
- HDR SET 08/10/2016

DRAWING REVISIONS

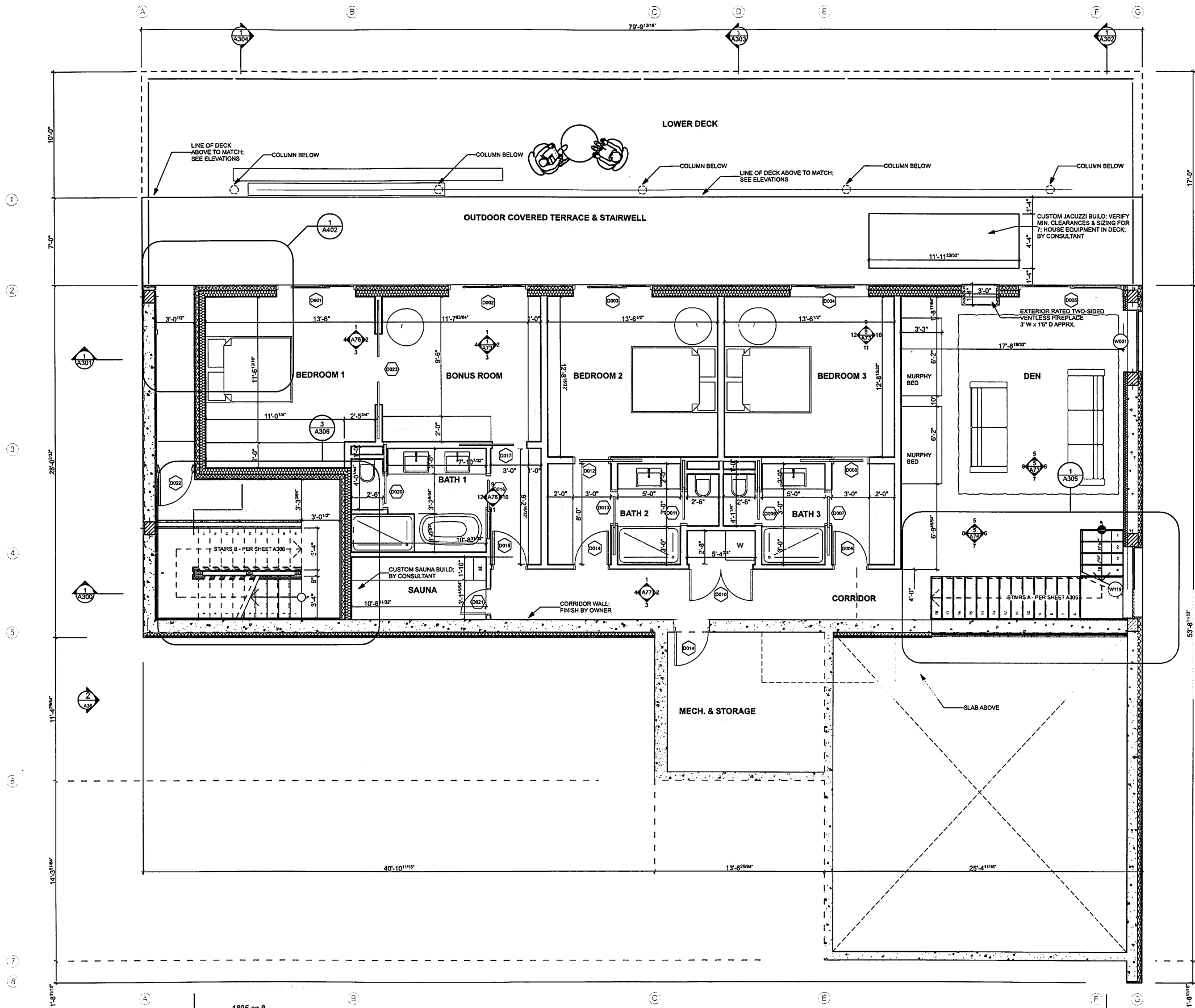
SHEET TITLE  
LOWER FLOOR

SHEET NUMBER

A100

## KEYNOTES

- 1) FINAL MATERIAL SELECTION BY OWNER;  
CONTRACTOR TO PROVIDE SAMPLES

1 LOWER FLOOR  
SCALE: 1/4" = 1'-0"

IF THIS SHEET IS LESS THAN 24"X36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE

8/10/16

PROJECT PHASE

ARC SUBMITTAL 07/22/2016  
HDR SET 08/10/2016

DRAWING REVISIONS

SHEET TITLE

MAIN  
FLOOR

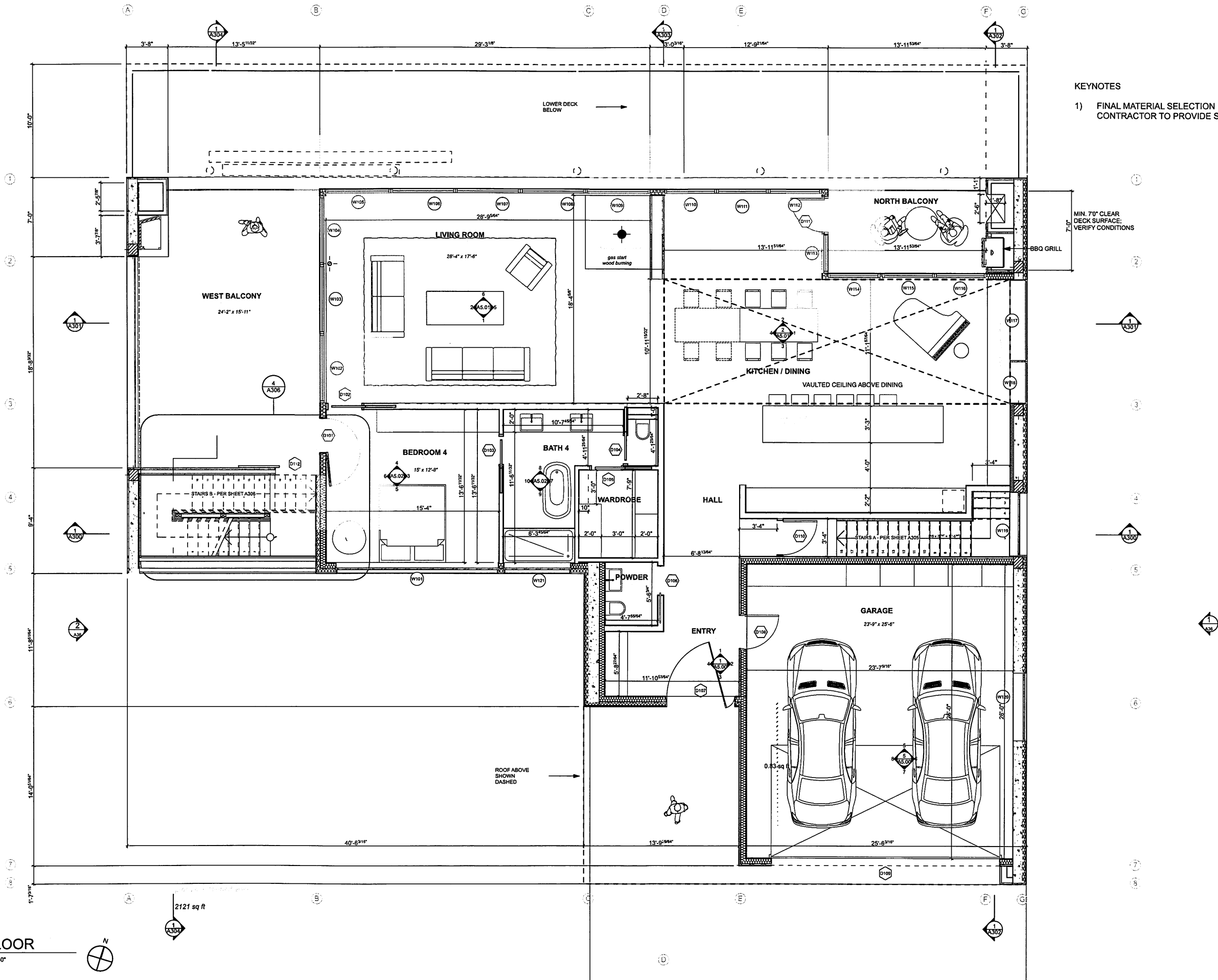
SHEET NUMBER

A101

IF THIS SHEET IS LESS THAN 24"X36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

## KEYNOTES

- 1) FINAL MATERIAL SELECTION BY OWNER;  
CONTRACTOR TO PROVIDE SAMPLES

1 MAIN FLOOR  
A101 SCALE: 1/4" = 1'-0"



ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE  
8/10/16

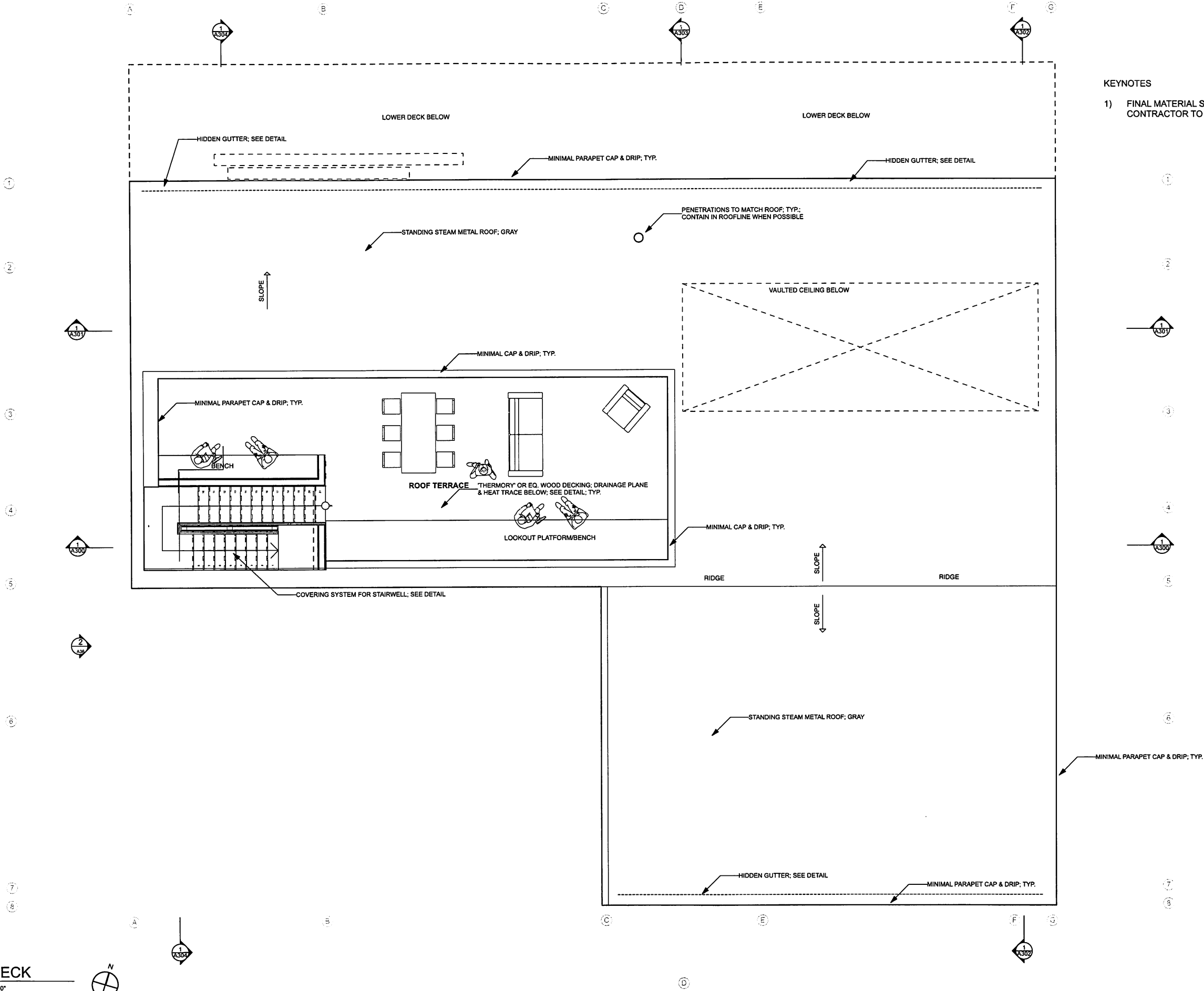
PROJECT PHASE	
- ARC SUBMITTAL	07/22/2016
- HDR SET	08/10/2016

DRAWING REVISIONS

SHEET TITLE  
ROOF PLAN

SHEET NUMBER  
A102

- KEYNOTES
- 1) FINAL MATERIAL SELECTION BY OWNER;  
CONTRACTOR TO PROVIDE SAMPLES



1  
A102  
SCALE: 1/4" = 1'-0"



IF THIS SHEET IS LESS THAN 24"X36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE  
8/10/16

PROJECT PHASE	
- ARC SUBMITTAL	07/22/2016
- HDR SET	08/10/2016
-	-
-	-

DRAWING REVISIONS

SHEET TITLE

LOWER FLOOR  
ELEC. &  
RCP.

SHEET NUMBER

A103

LIGHTING LEGEND

- SURFACE-MOUNTED CEILING LIGHT FIXTURE
- RECESSED CAN LINE VOLTAGE (SQUARE)
- RECESSED CAN LOW VOLTAGE (SQUARE)
- RECESSED CAN ADJUSTABLE LENSE (SQUARE)
- RECESSED CAN LINE VOLTAGE (ROUND)
- RECESSED CAN LOW VOLTAGE (ROUND)
- RECESSED CAN ADJUSTABLE LENSE (ROUND)
- RECESSED CEILING LIGHT FIXTURE, WATERPROOF
- CHANDELIER, BACKING REQUIRED
- PENDANT LIGHT FIXTURE
- MONO POINT LIGHT
- WALL-MOUNTED LIGHT FIXTURE
- INCANDESCENT STRIP LIGHTING UNDER CABINET
- TRACK LIGHT
- TOE KICK CABINET LIGHT

FLUORESCENT LIGHT

CEILING FAN W/ LIGHTS

AUTOMATIC GARAGE DOOR OPENER AND LIGHT

PUCK LIGHT FIXTURE

WALL-MOUNTED STEP LIGHT

EXTERIOR WALL-MOUNTED LIGHT

WALL-MOUNTED SWING-ARM LIGHT FIXTURE

J BOX

TABLE LAMP OR FLOOR LAMP

LIBRARY LIGHT

EXHAUST FAN

IN WALL EXHAUST FAN

SPEAKER

THERMOSTAT

KEYPAD

SINGLE POLE SWITCH

3-WAY SWITCH

4-WAY SWITCH

MOTION SENSOR SWITCH

DOOR JAMB SWITCH

DOOR BELL

DOOR BELL CHIME

SMOKE DETECTOR- DIRECT WIRED W/ BATTERY BACKUP

CARBON MONOXIDE DETECTOR- DIRECT WIRED W/ BATTERY BACKUP

ELECTRICAL LEGEND

- TELEPHONE LINE
- CATEGORY 6 OUTLET (ETHERNET)
- CABLE
- 110v DUPLEX OUTLET & 1 USB PLUG
- 110v DUPLEX OUTLET
- WATER PROOF 110v DUPLEX OUTLET
- 1/2 SWITCHED 110v DUPLEX OUTLET
- GROUND FAULT INTERRUPTED OUTLET
- 220v OUTLET
- DEDICATED OUTLET
- AIR SWITCH
- 110v FLOOR OUTLET LOCATION TO BE DETERMINED
- WIRING

KEYNOTES

- 1) FINAL MATERIAL SELECTION BY OWNER;  
CONTRACTOR TO PROVIDE SAMPLES

KEYNOTES

- 1) INDIVIDUAL FIXTURE SELECTION BY OWNER;  
CONTRACTOR TO PROVIDE SAMPLES

CUSTOM LIGHTING  
PER SAUNA BUILD





ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE  
8/10/16

PROJECT PHASE  
- ARC SUBMITTAL 07/22/2016  
- HDR SET 08/10/2016

DRAWING REVISIONS

SHEET TITLE

MAIN  
FLOOR  
ELEC. &  
RCP.

SHEET NUMBER

A104

ELECTRICAL LEGEND

	TELEPHONE LINE
	CATEGORY 6 OUTLET (ETHERNET)
	CABLE
	110v DUPLEX OUTLET & 1 USB PLUG
	110v DUPLEX OUTLET
	WATER PROOF 110v DUPLEX OUTLET
	1/2 SWITCHED 110v DUPLEX OUTLET
	GROUND FAULT INTERRUPTED OUTLET
	220v OUTLET
	DEDICATED OUTLET
	AIR SWITCH
	110v FLOOR OUTLET LOCATION TO BE DETERMINED
	WIRING

LIGHTING LEGEND

	SURFACE-MOUNTED CEILING LIGHT FIXTURE
	RECESSED CAN LINE VOLTAGE (SQUARE)
	RECESSED CAN LOW VOLTAGE (SQUARE)
	RECESSED CAN ADJUSTABLE LENSE (SQUARE)
	RECESSED CAN LINE VOLTAGE (ROUND)
	RECESSED CAN LOW VOLTAGE (ROUND)
	RECESSED CAN ADJUSTABLE LENSE (ROUND)
	RECESSED CEILING LIGHT FIXTURE, WATERPROOF
	CHANDELIER, BACKING REQUIRED
	PENDANT LIGHT FIXTURE
	MONO POINT LIGHT
	WALL-MOUNTED LIGHT FIXTURE
	INCANDESCENT STRIP LIGHTING UNDER CABINET
	TRACK LIGHT
	TOE KICK CABINET LIGHT
	FLUORESCENT LIGHT
	CEILING FAN W/ LIGHTS
	AUTOMATIC GARAGE DOOR OPENER AND LIGHT
	PUCK LIGHT FIXTURE
	WALL-MOUNTED STEP LIGHT
	EXTERIOR WALL-MOUNTED LIGHT
	WALL-MOUNTED SWING-ARM LIGHT FIXTURE
	J BOX
	TABLE LAMP OR FLOOR LAMP
	LIBRARY LIGHT
	EXHAUST FAN
	IN WALL EXHAUST FAN
	SPEAKER
	THERMOSTAT
	KEYPAD
	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	MOTION SENSOR SWITCH
	DOOR JAMB SWITCH
	DOOR BELL
	DOOR BELL CHIME
	SMOKE DETECTOR - DIRECT WIRED W/ BATTERY BACKUP
	CARBON MONOXIDE DETECTOR - DIRECT WIRED W/ BATTERY BACKUP
	WIRING

KEYNOTES

- 1) FINAL MATERIAL S  
CONTRACTOR TO

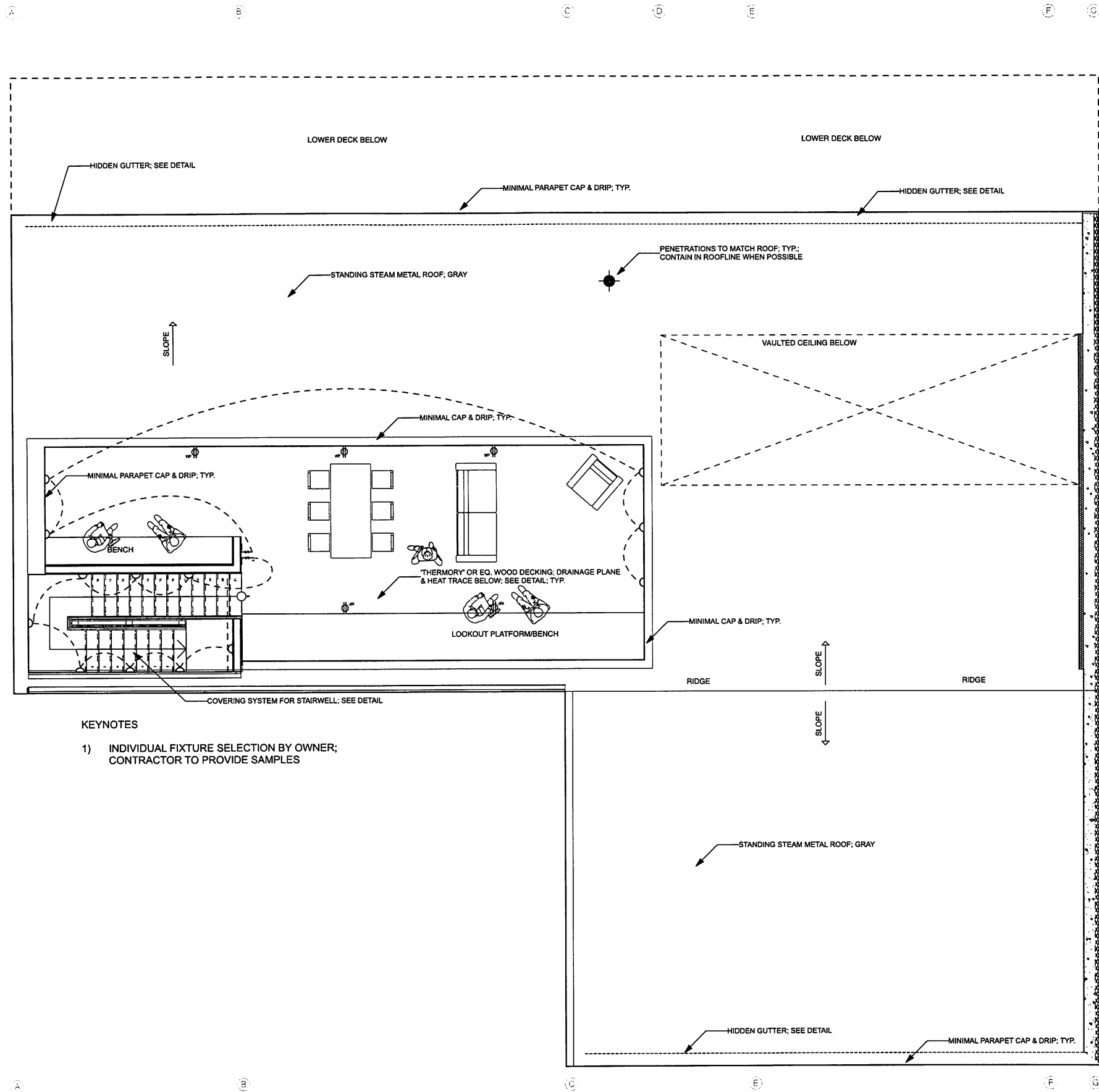
KEYNOTES

- 1) INDIVIDUAL FIXTURE SELECTION BY OWNER;  
CONTRACTOR TO PROVIDE SAMPLES

1  
A104  
MAIN FLOOR ELEC. & RCP.

SCALE: 1/4" = 1'-0"





KEYNOTES

- 1) INDIVIDUAL FIXTURE SELECTION BY OWNER;  
CONTRACTOR TO PROVIDE SAMPLES

KEYNOTES

- 1) FINAL MATERIAL SELECTION BY OWNER;  
CONTRACTOR TO PROVIDE SAMPLES

ELECTRICAL LEGEND

	TELEPHONE LINE
	CATEGORY 6 OUTLET (ETHERNET)
	CABLE
	110v DUPLEX OUTLET & 1 USB PLUG
	110v DUPLEX OUTLET
	WATER PROOF 110v DUPLEX OUTLET
	1/2 SWITCHED 110v DUPLEX OUTLET
	GROUND FAULT INTERRUPTED OUTLET
	20v OUTLET
	DEDICATED OUTLET
	AIR SWITCH
	110v FLOOR OUTLET LOCATION TO BE DETERMINED
	WIRING

LIGHTING LEGEND

	SURFACE-MOUNTED CEILING LIGHT FIXTURE
	RECESSED CAN LINE VOLTAGE (SQUARE)
	RECESSED CAN LOW VOLTAGE (SQUARE)
	RECESSED CAN ADJUSTABLE LENSE (SQUARE)
	RECESSED CAN LINE VOLTAGE (ROUND)
	RECESSED CAN LOW VOLTAGE (ROUND)
	RECESSED CAN ADJUSTABLE LENSE (ROUND)
	RECESSED CEILING LIGHT FIXTURE, WATERPROOF
	CHANDELIER, BACKING REQUIRED
	PENDANT LIGHT FIXTURE
	MONO POINT LIGHT
	WALL-MOUNTED LIGHT FIXTURE
	INCANDESCENT STRIP LIGHTING UNDER CABINET
	TRACK LIGHT
	TOE KICK CABINET LIGHT
	FLUORESCENT LIGHT
	CEILING FAN W/ LIGHTS
	AUTOMATIC GARAGE DOOR OPENER AND LIGHT
	PUCK LIGHT FIXTURE
	WALL-MOUNTED STEP LIGHT
	EXTERIOR WALL-MOUNTED LIGHT
	WALL-MOUNTED SWING-ARM LIGHT FIXTURE
	J BOX
	TABLE LAMP OR FLOOR LAMP
	LIBRARY LIGHT
	EXHAUST FAN
	IN WALL EXHAUST FAN
	SPEAKER
	THERMOSTAT
	KEYPAD
	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	MOTION SENSOR SWITCH
	DOOR JAMB SWITCH
	DOOR BELL
	DOOR BELL CHIME
	SMOKE DETECTOR- DIRECT WIRED W/ BATTERY BACKUP
	CARBON MONOXIDE DETECTOR - DIRECT WIRED W/ BATTERY BACKUP
	WIRING





ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE

8/10/16

PROJECT PHASE

ARC SUBMITTAL 07/22/2016  
HDR SET 08/10/2016

DRAWING REVISIONS

SHEET TITLE

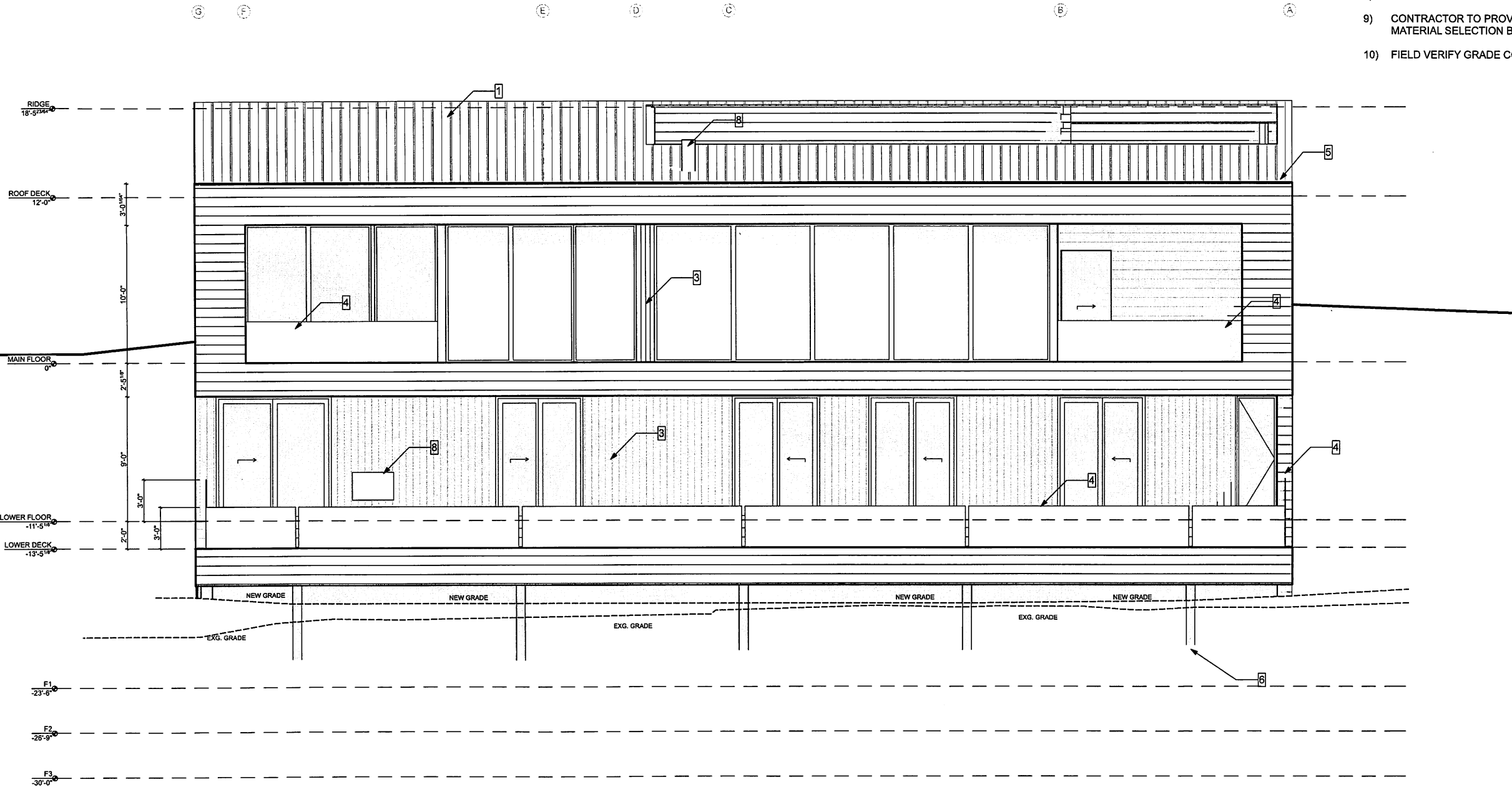
ELEVATION  
S

SHEET NUMBER

A200

KEYNOTE LEGEND

- 1) STANDING SEAM ROOF; COLOR TO MATCH WEATHERED CLADDING
- 2) HORIZONTAL 'THERMORY' SIDING OR EQ.; TO WEATHER
- 3) VERTICAL 'THERMORY' SIDING OR EQ.; TO WEATHER
- 4) GLASS GUARDRAIL; MIN. 34"
- 5) MINIMAL DRIP EDGE; COLOR TO MATCH ROOF
- 6) COLUMN; SEE STRUCT. DWGS.
- 7) EXTERIOR RATED TWO-SIDED VENTLESS FIREPLACE
- 8) VISIBLE PENETRATIONS TO MATCH ROOF
- 9) CONTRACTOR TO PROVIDE SAMPLES FOR FINAL MATERIAL SELECTION BY OWNER
- 10) FIELD VERIFY GRADE CONDITIONS



1 NORTH ELEVATION  
A200 SCALE: 1/4" = 1'-0"

IF THIS SHEET IS LESS THAN 24"X36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

**ROSENTHAL CABIN**  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE

**8/10/16**

PROJECT PHASE

- ARC SUBMITTAL	07/22/2016
- HDR SET	08/10/2016

## DRAWING REVISIONS

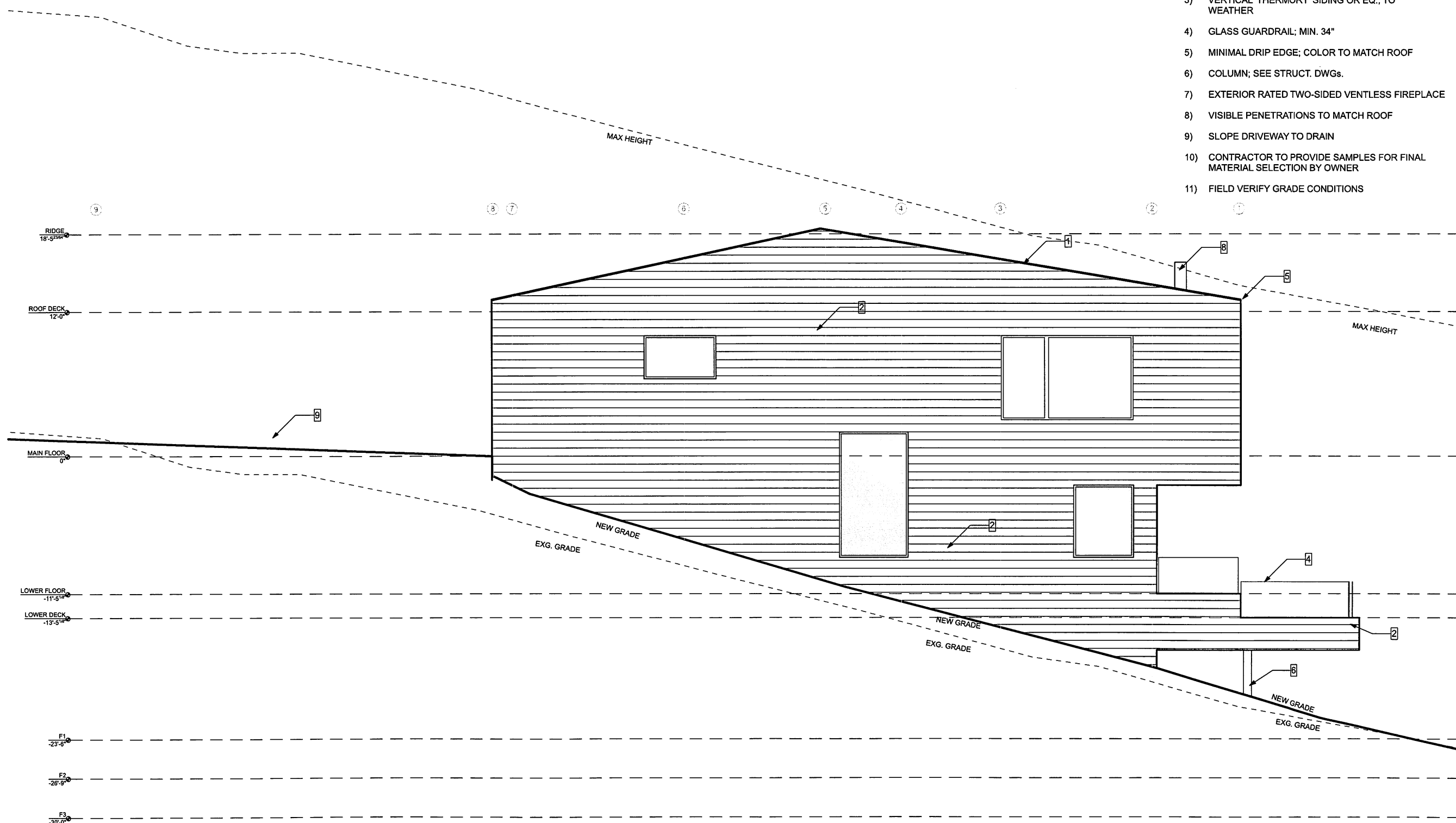
**SHEET TITLE**

**ELEVATION**  
**S**

SHEET NUMBER

**A201**

- ### KEYNOTE LEGEND
- 1) STANDING SEAM ROOF; COLOR TO MATCH WEATHERED CLADDING
  - 2) HORIZONTAL 'THERMORY' SIDING OR EQ.; TO WEATHER
  - 3) VERTICAL 'THERMORY' SIDING OR EQ.; TO WEATHER
  - 4) GLASS GUARDRAIL; MIN. 34"
  - 5) MINIMAL DRIP EDGE; COLOR TO MATCH ROOF
  - 6) COLUMN; SEE STRUCT. DWGS.
  - 7) EXTERIOR RATED TWO-SIDED VENTLESS FIREPLACE
  - 8) VISIBLE PENETRATIONS TO MATCH ROOF
  - 9) SLOPE DRIVEWAY TO DRAIN
  - 10) CONTRACTOR TO PROVIDE SAMPLES FOR FINAL MATERIAL SELECTION BY OWNER
  - 11) FIELD VERIFY GRADE CONDITIONS



THIS QUEST IS 1.666 THAN 94.91% IT IS A DECIMAL POINT SCALE ACCORDINGLY



ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE

8/10/16

PROJECT PHASE

- ARC SUBMITTAL 07/22/2016  
- HOR SET 08/10/2016

DRAWING REVISIONS

SHEET TITLE

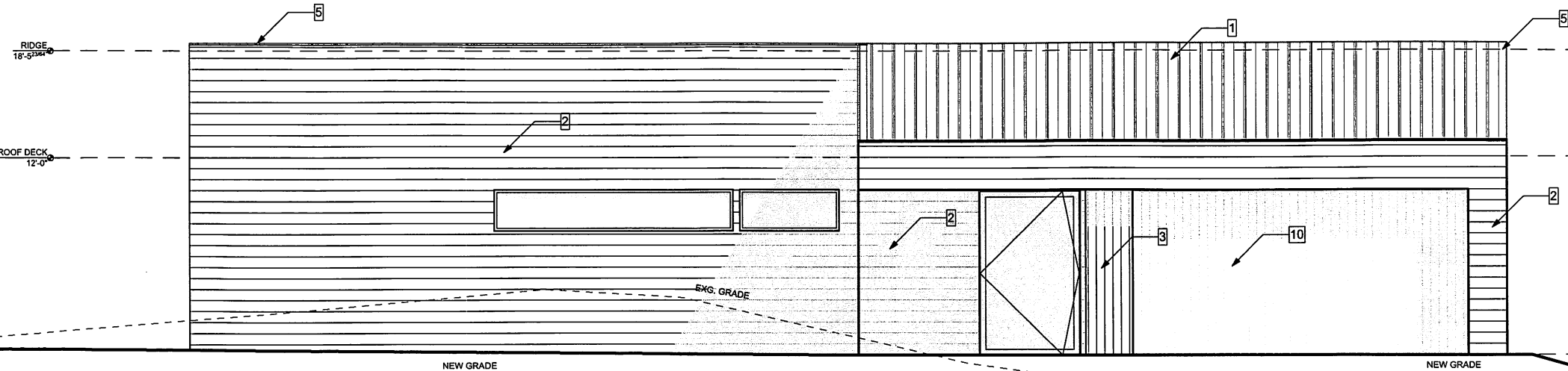
ELEVATION  
S

SHEET NUMBER

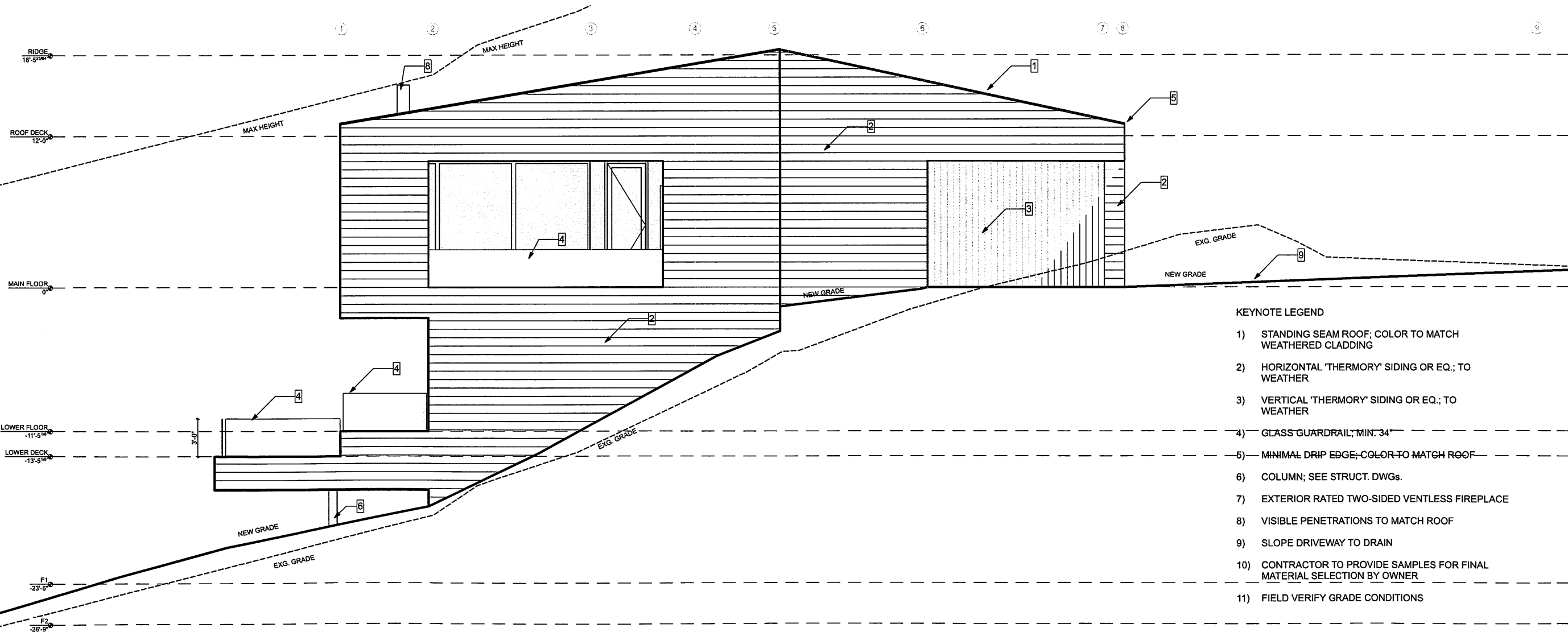
A202

## KEYNOTE LEGEND

- 1) STANDING SEAM ROOF; COLOR TO MATCH WEATHERED CLADDING
- 2) HORIZONTAL 'THERMORY' SIDING OR EQ.; TO WEATHER
- 3) VERTICAL 'THERMORY' SIDING OR EQ.; TO WEATHER
- 4) GLASS GUARDRAIL; MIN. 34"
- 5) MINIMAL DRIP EDGE; COLOR TO MATCH ROOF
- 6) COLUMN; SEE STRUCT. DWGS.
- 7) EXTERIOR RATED TWO-SIDED VENTLESS FIREPLACE
- 8) VISIBLE PENETRATIONS TO MATCH ROOF
- 9) SLOPE DRIVEWAY TO DRAIN
- 10) CLAD GARAGE DOOR; TO MATCH WALL
- 11) CONTRACTOR TO PROVIDE SAMPLES FOR FINAL MATERIAL SELECTION BY OWNER
- 12) FIELD VERIFY GRADE CONDITIONS

1 SOUTH ELEVATION  
A202

SCALE: 1/4" = 1'-0"

2 WEST ELEVATION  
A202

SCALE: 1/4" = 1'-0"

## KEYNOTE LEGEND

- 1) STANDING SEAM ROOF; COLOR TO MATCH WEATHERED CLADDING
- 2) HORIZONTAL 'THERMORY' SIDING OR EQ.; TO WEATHER
- 3) VERTICAL 'THERMORY' SIDING OR EQ.; TO WEATHER
- 4) GLASS GUARDRAIL; MIN. 34"
- 5) MINIMAL DRIP EDGE; COLOR TO MATCH ROOF
- 6) COLUMN; SEE STRUCT. DWGS.
- 7) EXTERIOR RATED TWO-SIDED VENTLESS FIREPLACE
- 8) VISIBLE PENETRATIONS TO MATCH ROOF
- 9) SLOPE DRIVEWAY TO DRAIN
- 10) CONTRACTOR TO PROVIDE SAMPLES FOR FINAL MATERIAL SELECTION BY OWNER
- 11) FIELD VERIFY GRADE CONDITIONS

IF THIS SHEET IS LESS THAN 8 1/2" X 11" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE

8/10/16

PROJECT PHASE

ARC SUBMITTAL 07/22/2016  
HDR SET 08/10/2016

DRAWING REVISIONS

SHEET TITLE

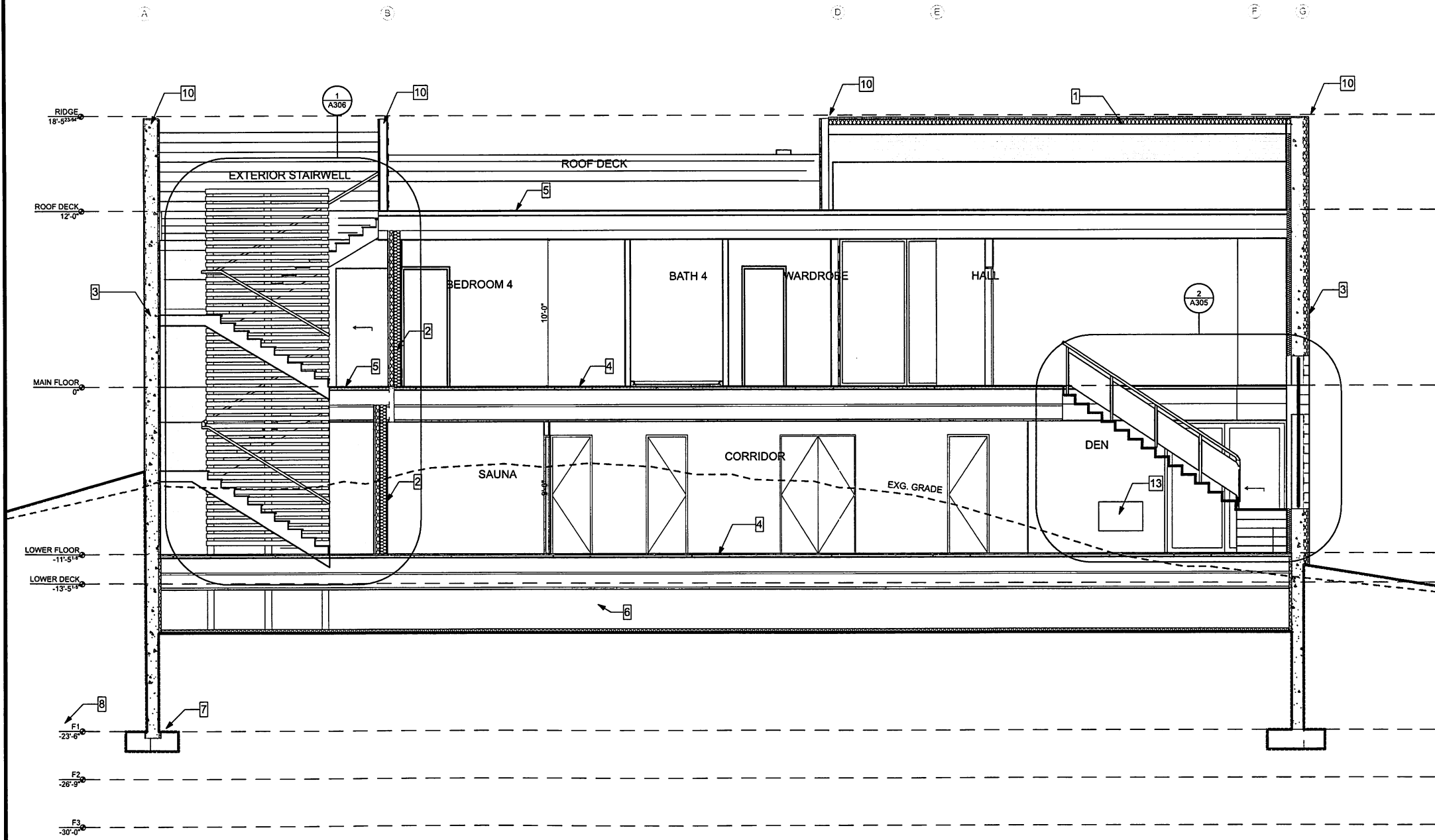
BUILDING  
SECTIONS

SHEET NUMBER

A300

KEYNOTE LEGEND

- 1) STANDING SEAM ROOF SYSTEM (MIN R38):  
STANDING SEAM ROOFING w/ ICE & WATER SHIELD  
UNDERLAYMENT; 4" RIGID FOAM w/ NAILBASE; PLY. SHEATHING  
PER STRUCT DWGs., PREFAB TRUSSES w/ BIBS INSULATION
- 2) EXT. WOOD CLAD 2x WALLS TYP. (MIN R20):  
'THERMORY' OR EQ. RAINSCREEN CLADDING ATTACHED  
PER MANUF. SPEC., 3" EXTERIOR RIGID INSULATION, WEATHER  
BARRIER, 2x6 FRAMING w/ FULL CAVITY BIBS INSULATION
- 3) EXT. WOOD CLAD CONC. WALLS w/ FURRING (MIN R20):  
'THERMORY' OR EQ. RAINSCREEN CLADDING ATTACHED  
PER MANUF. SPEC., 3" EXTERIOR RIGID INSULATION, WEATHER  
BARRIER, CONCRETE WALL PER STRUCT. DWGs., 2x4 INTERIOR  
FURRING w/ FULL CAVITY BIBS INSULATION
- 4) WOOD JOIST FLOOR SYSTEM:  
FLOOR SURFACE INSTALLED w/ 1/4" UNDERLAYMENT OR AS  
REQ. PER MANUF. SPEC.; 1 1/2" GYPCRETE w/ RADIANT  
HEATING; SHEATHING PER STRUCT. DWGs., JOISTS  
AND BEAMS PER STRUCT. DWGs., CEILING PER FINISH  
SCHEDULE; BY OWNER
- 5) DECK SYSTEM:  
'THERMORY' OR EQ. w/ TAPERED WEATHER TREATED  
SLEEPERS, 80 MIL TPO MEMBRANE w/ SHEATHING SLOPED 1/4"  
PER FOOT TO DRAIN; SEE FLOORPLANS
- 6) CONDITIONED CRAWLSPACE:  
R10 MIN. RIGID FOAM ON FOUNDATION WALLS, EXTEND TO  
DECK UNDERSIDE; FLOOR TO BE VAPOR BARRIER w/ R10 MIN.  
RIGID FOAM w/ MIN. 2" GRAVEL
- 7) FOOTINGS PER STRUCT. DWGs., TO BEDROCK PER  
GEOTECHNICAL ANALYSIS; VERIFY CONDITIONS
- 8) FOOTING DEPTH DATUMS FOR REFERENCE; VERIFY  
CONDITIONS & BEDROCK DEPTHS ON SITE
- 9) EXTERIOR RATED TWO-SIDED VENTLESS FIREPLACE
- 10) MINIMAL DRIP EDGE, COLOR TO MATCH ROOF
- 11) EXTERIOR RATED CORNER GAS FIREPLACE; BY OWNER
- 12) FREESTANDING WOOD BURNING FIREPLACE; BY OWNER
- 13) VISIBLE PENETRATIONS TO MATCH ROOF
- 14) INSULATE ABOVE CONDITIONED SPACE
- 15) GLASS GUARDRAIL; MIN. 34"
- 16) VAULTED CEILING



1 BUILDING SECTION 1  
A300 SCALE: 1/4" = 1'-0"

IF THIS SHEET IS LESS THAN 24"X36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.



ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE

8/10/16

PROJECT PHASE

- ARC SUBMITTAL 07/22/2016  
- HDR SET 08/10/2016

DRAWING REVISIONS

SHEET TITLE

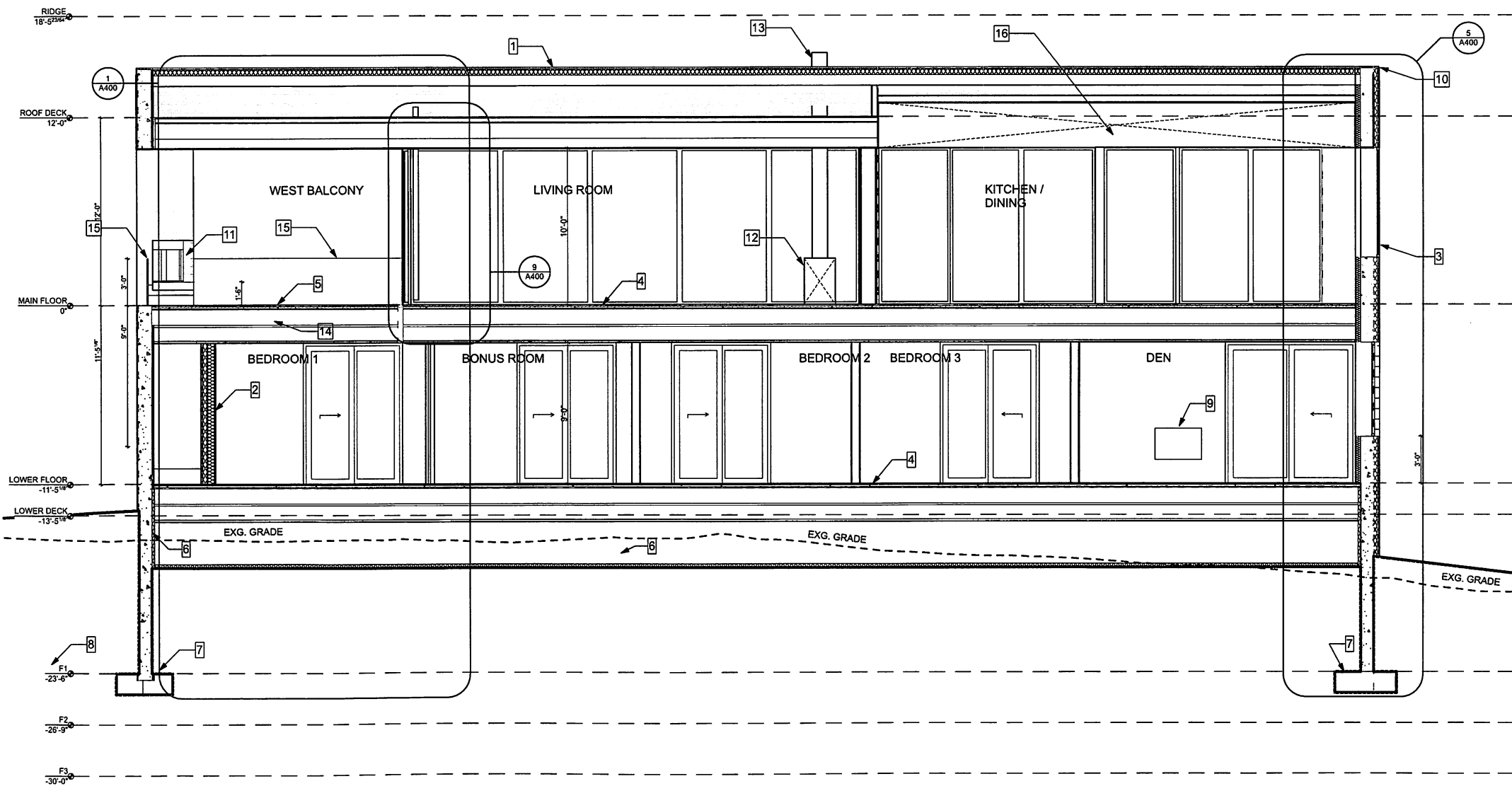
BUILDING  
SECTIONS

SHEET NUMBER

A301

## KEYNOTE LEGEND

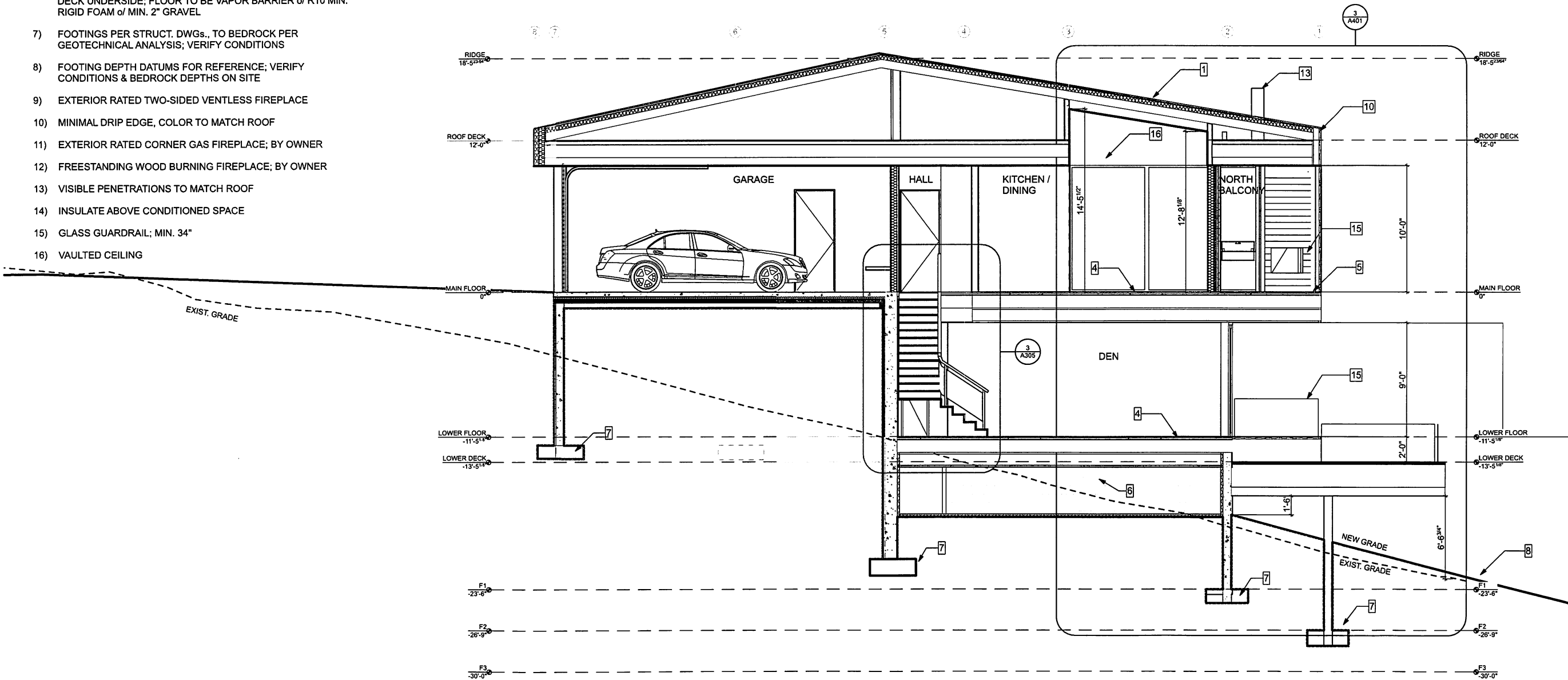
- 1) STANDING SEAM ROOF SYSTEM (MIN R38):  
STANDING SEAM ROOFING w/ ICE & WATER SHIELD  
UNDERLAYMENT; 4" RIGID FOAM w/ NAILBASE; PLY. SHEATHING  
PER STRUCT DWGs., PREFAB TRUSSES w/ BIBS INSULATION
- 2) EXT. WOOD CLAD 2x WALLS TYP. (MIN R20):  
'THERMORY' OR EQ. RAINSCREEN CLADDING ATTACHED  
PER MANUF. SPEC., 3" EXTERIOR RIGID INSULATION, WEATHER  
BARRIER, 2x6 FRAMING w/ FULL CAVITY BIBS INSULATION
- 3) EXT. WOOD CLAD CONC. WALLS w/ FURRING (MIN R20):  
'THERMORY' OR EQ. RAINSCREEN CLADDING ATTACHED  
PER MANUF. SPEC., 3" EXTERIOR RIGID INSULATION, WEATHER  
BARRIER, CONCRETE WALL PER STRUCT. DWGs., 2x4 INTERIOR  
FURRING w/ FULL CAVITY BIBS INSULATION
- 4) WOOD JOIST FLOOR SYSTEM:  
FLOOR SURFACE INSTALLED w/ 1/4" UNDERLAYMENT OR AS  
REQ. PER MANUF. SPEC.; 1 1/2" GYPCRETE w/ RADIANT  
HEATING; SHEATHING PER STRUCT. DWGs., JOISTS  
AND BEAMS PER STRUCT. DWGs., CEILING PER FINISH  
SCHEDULE; BY OWNER
- 5) DECK SYSTEM:  
'THERMORY' OR EQ. w/ TAPERED WEATHER TREATED  
SLEEPERS, 80 MIL TPO MEMBRANE w/ SHEATHING SLOPED 1/4"  
PER FOOT TO DRAIN; SEE FLOORPLANS
- 6) CONDITIONED CRAWLSPACE:  
R10 MIN. RIGID FOAM ON FOUNDATION WALLS, EXTEND TO  
DECK UNDERSIDE; FLOOR TO BE VAPOR BARRIER w/ R10 MIN.  
RIGID FOAM w/ MIN. 2" GRAVEL
- 7) FOOTINGS PER STRUCT. DWGs., TO BEDROCK PER  
GEOTECHNICAL ANALYSIS; VERIFY CONDITIONS
- 8) FOOTING DEPTH DATUMS FOR REFERENCE; VERIFY  
CONDITIONS & BEDROCK DEPTHS ON SITE
- 9) EXTERIOR RATED TWO-SIDED VENTLESS FIREPLACE
- 10) MINIMAL DRIP EDGE, COLOR TO MATCH ROOF
- 11) EXTERIOR RATED CORNER GAS FIREPLACE; BY OWNER
- 12) FREESTANDING WOOD BURNING FIREPLACE; BY OWNER
- 13) VISIBLE PENETRATIONS TO MATCH ROOF
- 14) INSULATE ABOVE CONDITIONED SPACE
- 15) GLASS GUARDRAIL; MIN. 34"
- 16) VAULTED CEILING

1 BUILDING SECTION 2  
A301 SCALE: 1/4" = 1'-0"

IF THIS SHEET IS LESS THAN 24"X36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

KEYNOTE LEGEND

- 1) STANDING SEAM ROOF SYSTEM (MIN R38):  
STANDING SEAM ROOFING w/ ICE & WATER SHIELD  
UNDERLAYMENT; 4" RIGID FOAM w/ NAILBASE; PLY. SHEATHING  
PER STRUCT DWGs., PREFAB TRUSSES w/ BIBS INSULATION
- 2) EXT. WOOD CLAD 2x WALLS TYP. (MIN R20):  
'THERMORY' OR EQ. RAINSCREEN CLADDING ATTACHED  
PER MANUF. SPEC., 3" EXTERIOR RIGID INSULATION, WEATHER  
BARRIER, 2x6 FRAMING w/ FULL CAVITY BIBS INSULATION
- 3) EXT. WOOD CLAD CONC. WALLS w/ FURRING (MIN R20):  
'THERMORY' OR EQ. RAINSCREEN CLADDING ATTACHED  
PER MANUF. SPEC., 3" EXTERIOR RIGID INSULATION, WEATHER  
BARRIER, CONCRETE WALL PER STRUCT. DWGs., 2x4 INTERIOR  
FURRING w/ FULL CAVITY BIBS INSULATION
- 4) WOOD JOIST FLOOR SYSTEM:  
FLOOR SURFACE INSTALLED w/ 1/4" UNDERLAYMENT OR AS  
REQ. PER MANUF. SPEC.; 1 1/2" GYPCRETE w/ RADIANT  
HEATING; SHEATHING PER STRUCT. DWGs., JOISTS  
AND BEAMS PER STRUCT. DWGs., CEILING PER FINISH  
SCHEDULE; BY OWNER
- 5) DECK SYSTEM:  
'THERMORY' OR EQ. w/ TAPERED WEATHER TREATED  
SLEEPERS, 80 MIL TPO MEMBRANE w/ SHEATHING SLOPED 1/4"  
PER FOOT TO DRAIN; SEE FLOORPLANS
- 6) CONDITIONED CRAWLSPACE:  
R10 MIN. RIGID FOAM ON FOUNDATION WALLS, EXTEND TO  
DECK UNDERSIDE; FLOOR TO BE VAPOR BARRIER w/ R10 MIN.  
RIGID FOAM w/ MIN. 2" GRAVEL
- 7) FOOTINGS PER STRUCT. DWGs., TO BEDROCK PER  
GEOTECHNICAL ANALYSIS; VERIFY CONDITIONS
- 8) FOOTING DEPTH DATUMS FOR REFERENCE; VERIFY  
CONDITIONS & BEDROCK DEPTHS ON SITE
- 9) EXTERIOR RATED TWO-SIDED VENTLESS FIREPLACE
- 10) MINIMAL DRIP EDGE, COLOR TO MATCH ROOF
- 11) EXTERIOR RATED CORNER GAS FIREPLACE; BY OWNER
- 12) FREESTANDING WOOD BURNING FIREPLACE; BY OWNER
- 13) VISIBLE PENETRATIONS TO MATCH ROOF
- 14) INSULATE ABOVE CONDITIONED SPACE
- 15) GLASS GUARDRAIL; MIN. 34"
- 16) VAULTED CEILING



1 BUILDING SECTION 3  
A302 SCALE: 1/4" = 1'-0"

LloydArchitects

573 EAST 600 SOUTH  
SALT LAKE CITY, UT 84102  
PHONE 801.328.3245  
WEB LLOYD-ARCH.COM

ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE

8/10/16

PROJECT PHASE

ARC SUBMITTAL 07/23/2016  
HDR SET 08/10/2016

DRAWING REVISIONS

SHEET TITLE

BUILDING  
SECTIONS

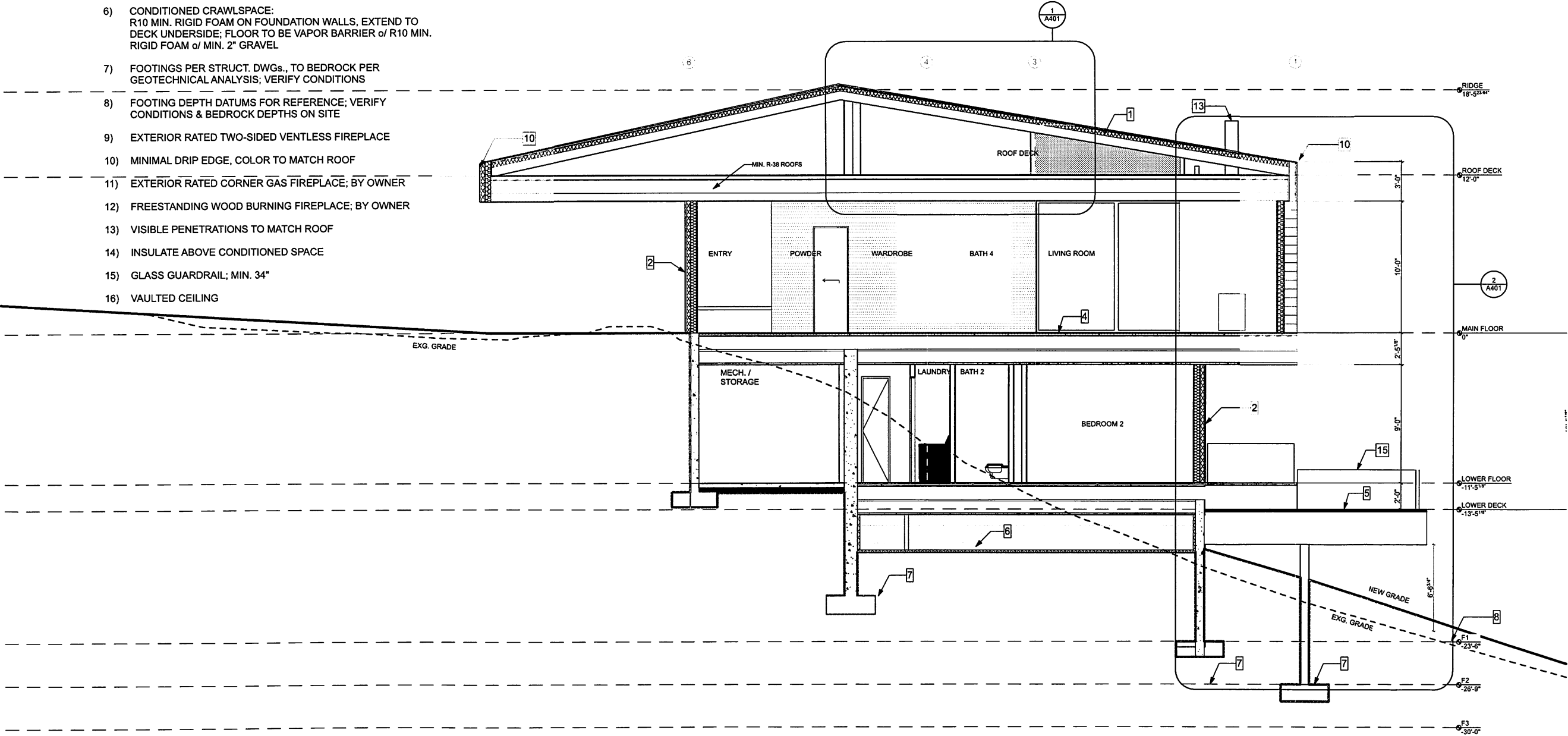
SHEET NUMBER

A302

IF THIS SHEET IS LESS THAN 24"X36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

KEYNOTE LEGEND

- 1) STANDING SEAM ROOF SYSTEM (MIN R38):  
STANDING SEAM ROOFING o/ ICE & WATER SHIELD  
UNDERLAYMENT; 4" RIGID FOAM w/ NAILBASE; PLY. SHEATHING  
PER STRUCT DWGs., PREFAB TRUSSES w/ BIBS INSULATION
- 2) EXT. WOOD CLAD 2x WALLS TYP. (MIN R20):  
'THERMORY' OR EQ. RAINSCREEN CLADDING ATTACHED  
PER MANUF. SPEC., 3" EXTERIOR RIGID INSULATION, WEATHER  
BARRIER, 2x6 FRAMING w/ FULL CAVITY BIBS INSULATION
- 3) EXT. WOOD CLAD CONC. WALLS w/ FURRING (MIN R20):  
'THERMORY' OR EQ. RAINSCREEN CLADDING ATTACHED  
PER MANUF. SPEC., 3" EXTERIOR RIGID INSULATION, WEATHER  
BARRIER, CONCRETE WALL PER STRUCT. DWGs, 2x4 INTERIOR  
FURRING w/ FULL CAVITY BIBS INSULATION
- 4) WOOD JOIST FLOOR SYSTEM:  
FLOOR SURFACE INSTALLED o/ 1/4" UNDERLAYMENT OR AS  
REQ. PER MANUF. SPEC.; 1 1/2" GYPCRETE w/ RADIANT  
HEATING; SHEATHING PER STRUCT. DWGs., JOISTS  
AND BEAMS PER STRUCT. DWGs., CEILING PER FINISH  
SCHEDULE; BY OWNER
- 5) DECK SYSTEM:  
'THERMORY' OR EQ. o/ TAPERED WEATHER TREATED  
SLEEPERS, 80 MIL TPO MEMBRANE o/ SHEATHING SLOPED 1/4"  
PER FOOT TO DRAIN; SEE FLOORPLANS
- 6) CONDITIONED CRAWLSPACE:  
R10 MIN. RIGID FOAM ON FOUNDATION WALLS, EXTEND TO  
DECK UNDERSIDE; FLOOR TO BE VAPOR BARRIER o/ R10 MIN.  
RIGID FOAM o/ MIN. 2" GRAVEL
- 7) FOOTINGS PER STRUCT. DWGs., TO BEDROCK PER  
GEOTECHNICAL ANALYSIS; VERIFY CONDITIONS
- 8) FOOTING DEPTH DATUMS FOR REFERENCE; VERIFY  
CONDITIONS & BEDROCK DEPTHS ON SITE
- 9) EXTERIOR RATED TWO-SIDED VENTLESS FIREPLACE
- 10) MINIMAL DRIP EDGE, COLOR TO MATCH ROOF
- 11) EXTERIOR RATED CORNER GAS FIREPLACE; BY OWNER
- 12) FREESTANDING WOOD BURNING FIREPLACE; BY OWNER
- 13) VISIBLE PENETRATIONS TO MATCH ROOF
- 14) INSULATE ABOVE CONDITIONED SPACE
- 15) GLASS GUARDRAIL; MIN. 34"
- 16) VAULTED CEILING



LloydArchitects

573 EAST 600 SOUTH  
SALT LAKE CITY, UT 84102  
PHONE 801.328.3245  
WEB LLOYD-ARCH.COM

ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE

8/10/16

PROJECT PHASE

ARC SUBMITTAL 07/22/2016  
HDR SET 08/10/2016

DRAWING REVISIONS

SHEET TITLE

BUILDING  
SECTIONS

SHEET NUMBER

A303

IF THIS SHEET IS LESS THAN 8 1/2" X 11" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

1  
A303

BUILDING SECTION 4

SCALE: 1/4" = 1'-0"



**ROSENTHAL CABIN**  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE  
**8/10/16**

PROJECT PHASE  
- ARC SUBMITTAL 07/22/2016  
- HDR SET 08/10/2016

DRAWING REVISIONS

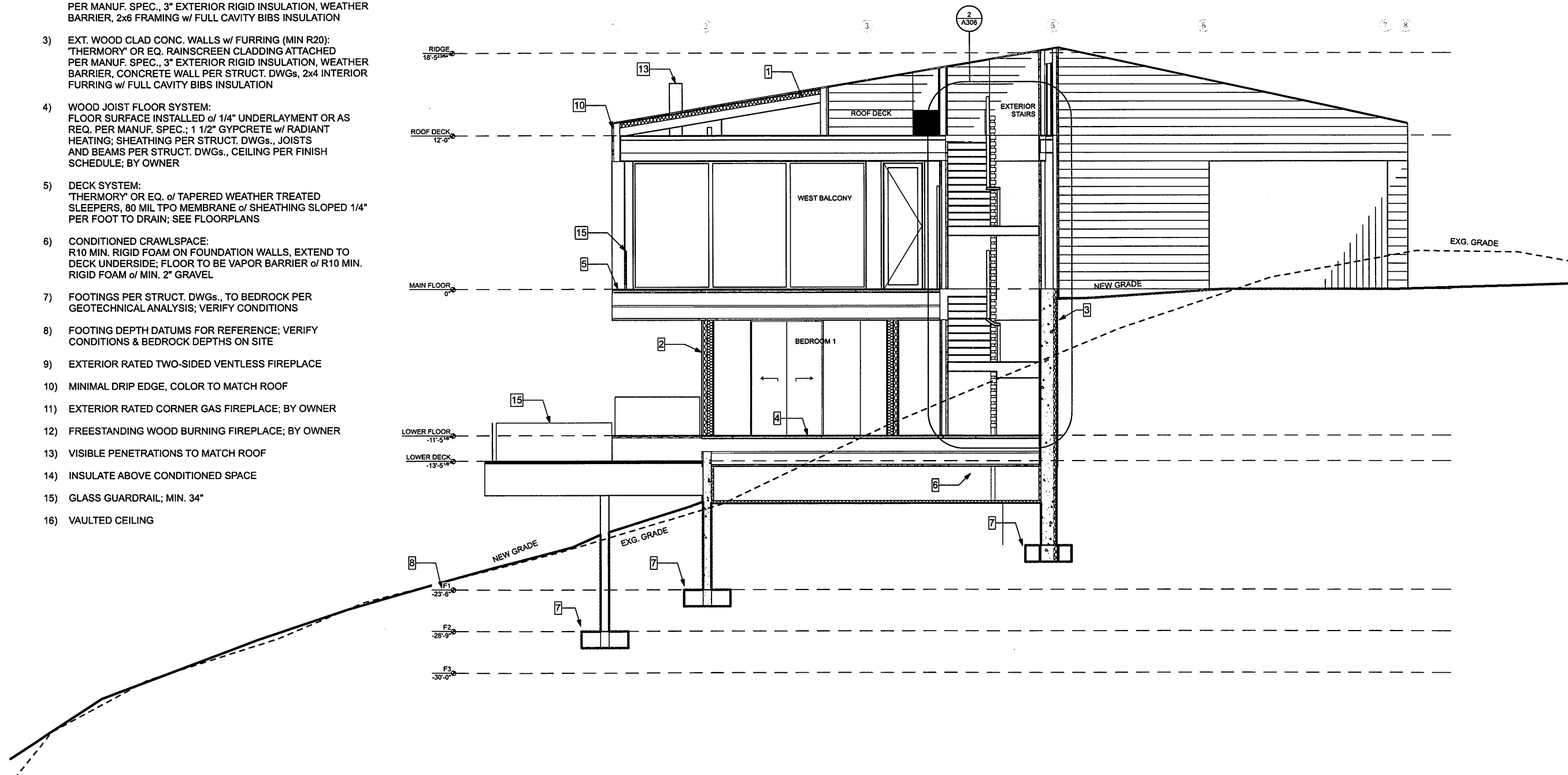
SHEET TITLE  
**BUILDING SECTIONS**

SHEET NUMBER

**A304**

KEYNOTE LEGEND

- 1) STANDING SEAM ROOF SYSTEM (MIN R38):  
STANDING SEAM ROOFING w/ ICE & WATER SHIELD  
UNDERLAYMENT; 4" RIGID FOAM w/ NAILBASE; PLY. SHEATHING  
PER STRUCT DWGS., PREFAB TRUSSES w/ BIBS INSULATION
- 2) EXT. WOOD CLAD 2x WALLS TYP. (MIN R20):  
'THERMORY' OR EQ. RAINSCREEN CLADDING ATTACHED  
PER MANUF. SPEC., 3" EXTERIOR RIGID INSULATION, WEATHER  
BARRIER, 2x6 FRAMING w/ FULL CAVITY BIBS INSULATION
- 3) EXT. WOOD CLAD CONC. WALLS w/ FURRING (MIN R20):  
'THERMORY' OR EQ. RAINSCREEN CLADDING ATTACHED  
PER MANUF. SPEC., 3" EXTERIOR RIGID INSULATION, WEATHER  
BARRIER, CONCRETE WALL PER STRUCT. DWGS., 2x4 INTERIOR  
FURRING w/ FULL CAVITY BIBS INSULATION
- 4) WOOD JOIST FLOOR SYSTEM:  
FLOOR SURFACE INSTALLED w/ 1/4" UNDERLAYMENT OR AS  
REQ. PER MANUF. SPEC.; 1 1/2" GYPCRETE w/ RADIANT  
HEATING; SHEATHING PER STRUCT. DWGS., JOISTS  
AND BEAMS PER STRUCT. DWGS., CEILING PER FINISH  
SCHEDULE; BY OWNER
- 5) DECK SYSTEM:  
'THERMORY' OR EQ. w/ TAPERED WEATHER TREATED  
SLEEPERS, 80 MIL TPO MEMBRANE w/ SHEATHING SLOPED 1/4"  
PER FOOT TO DRAIN; SEE FLOORPLANS
- 6) CONDITIONED CRAWLSPACE:  
R10 MIN. RIGID FOAM ON FOUNDATION WALLS, EXTEND TO  
DECK UNDERSIDE; FLOOR TO BE VAPOR BARRIER w/ R10 MIN.  
RIGID FOAM w/ MIN. 2" GRAVEL
- 7) FOOTINGS PER STRUCT. DWGS., TO BEDROCK PER  
GEOTECHNICAL ANALYSIS; VERIFY CONDITIONS
- 8) FOOTING DEPTH DATUMS FOR REFERENCE; VERIFY  
CONDITIONS & BEDROCK DEPTHS ON SITE
- 9) EXTERIOR RATED TWO-SIDED VENTLESS FIREPLACE
- 10) MINIMAL DRIP EDGE, COLOR TO MATCH ROOF
- 11) EXTERIOR RATED CORNER GAS FIREPLACE; BY OWNER
- 12) FREESTANDING WOOD BURNING FIREPLACE; BY OWNER
- 13) VISIBLE PENETRATIONS TO MATCH ROOF
- 14) INSULATE ABOVE CONDITIONED SPACE
- 15) GLASS GUARDRAIL; MIN. 34"
- 16) VAULTED CEILING



ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE

8/10/16

PROJECT PHASE

- ARC SUBMITTAL 07/22/2016  
- HDR SET 08/10/2016

DRAWING REVISIONS

SHEET TITLE

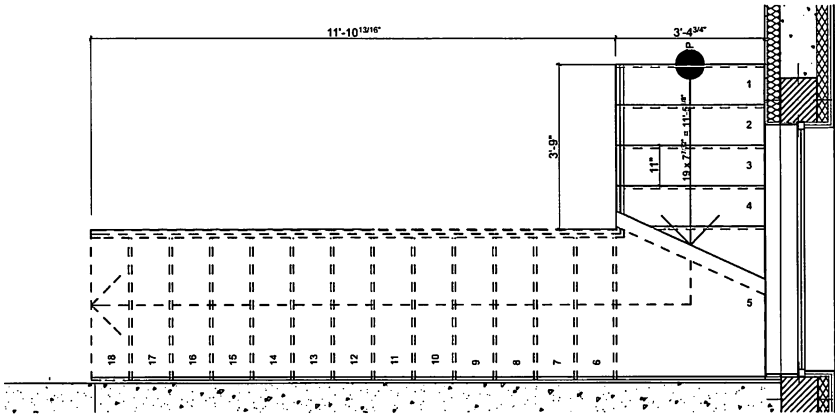
STAIR  
SECTION &  
PLANS

SHEET NUMBER

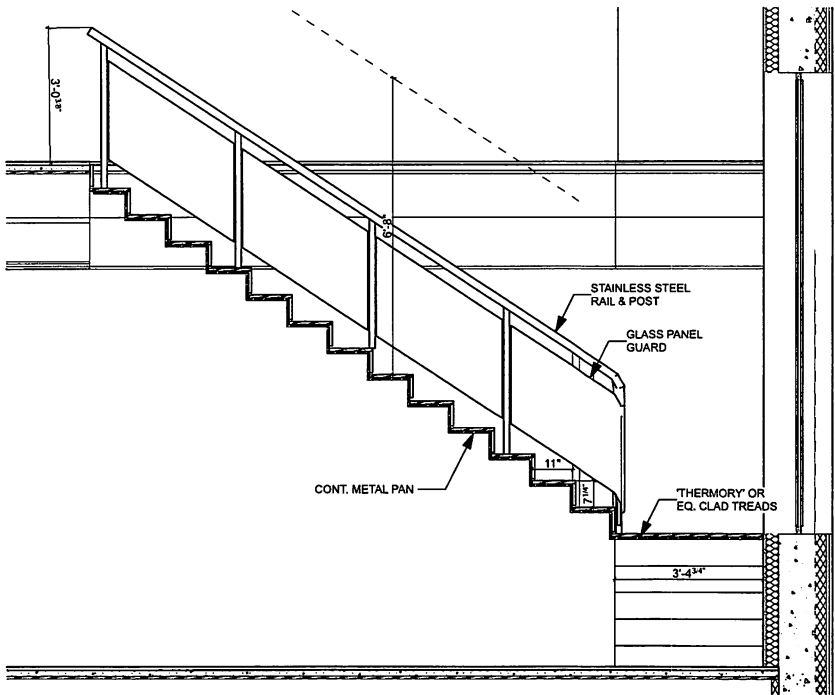
A305

KEYNOTES

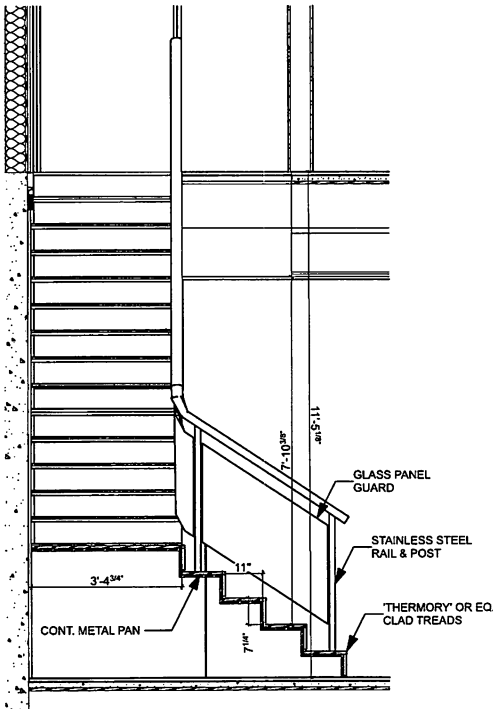
- 1) COORDINATE FINAL DETAILING & DESIGN OF STAIR w/ FABRICATOR
- 2) MATERIAL & FINISH SELECTIONS BY OWNER; CONTRACTOR TO PROVIDE SAMPLES



1 STAIRS A - PLAN  
SCALE: 1/2" = 1'-0"



2 STAIRS A - SECTION 1  
SCALE: 1/2" = 1'-0"



3 STAIRS A - SECTION 2  
SCALE: 1/2" = 1'-0"

IF THIS SHEET IS LESS THAN 24"X36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

ROSENTHAL CABIN  
7958 E. HEARTWOOD DRIVE  
EDEN, UTAH 84310

SEAL

PRINT DATE  
8/10/16

PROJECT PHASE  
- ARC SUBMITTAL 07/22/2016  
- MDR SET 08/10/2016

DRAWING REVISIONS

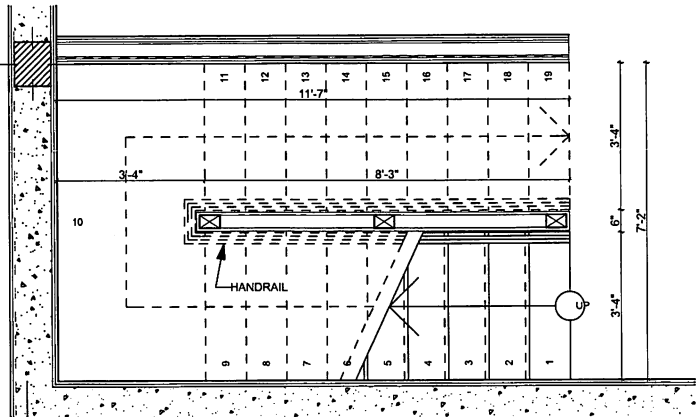
SHEET TITLE  
STAIR SECTION &  
PLANS

SHEET NUMBER

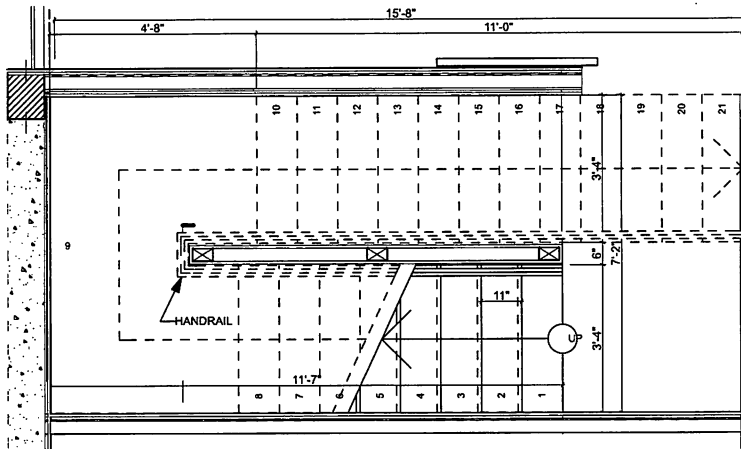
A306

KEYNOTES

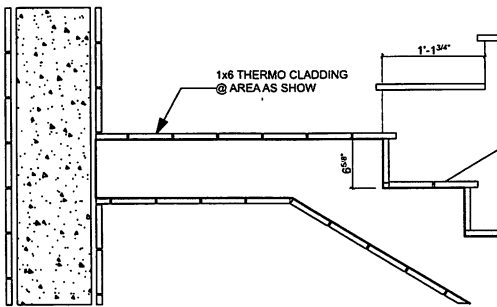
- 1) COORDINATE FINAL DETAILING & DESIGN OF STAIR W/ FABRICATOR
- 2) MATERIAL & FINISH SELECTIONS BY OWNER; CONTRACTOR TO PROVIDE SAMPLES



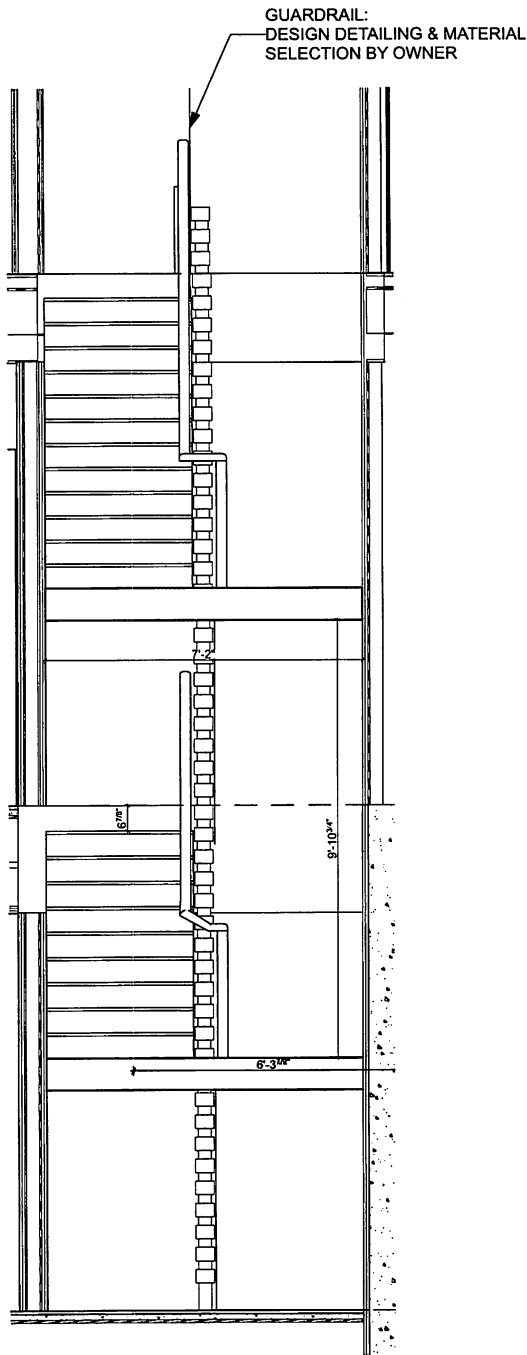
3 STAIRS B - LOWER PLAN  
SCALE: 1/2" = 1'-0"



4 STAIRS B - UPPER PLAN  
SCALE: 1/2" = 1'-0"



5 TREAD SECTION DETAIL  
SCALE: 1" = 1'-0"



2 STAIRS B - SECTION 2  
SCALE: 1/2" = 1'-0"

