

Weber County Stormwater Construction Activity Permit

Application submittals will be accepted by appointment only. (801) 399-8374. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted 08/01/2016	Fees (Office Use) 	Receipt Number (Office Use) 	Priority Site (Office Use) ☐ Yes ☒ No	Permit Number (Office Use) 2016-0885
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Property Owner/Authorized Representative Contact Information		Project Information	
Name of Property Owner(s)/Authorized Representative(s) Peterson Builders		Project Name Gilstrap residence	
Phone 801-745-3573	Fax	Project Address 3904 W 2750 S Taylor, UT 84401	
Email Address logan@petersonbuilders.com		Estimated Project Length (mo) 12 Estimated Start Date 10/1/2016	
Mailing Address of Property Owner(s)/Authorized Representative(s) 4794 E 2600 N Eden, UT 84310			
		Previous Permit No. (if applicable)	
		Actual Start Date	

Submittal Checklist

☒ The application shall include a Storm Water Pollution Prevention Plan which meets the criteria set forth in Section 40-3-4 of the county ordinances.

The applicant shall file the application on or before the following dates:

Subdivision: The date that the applicant submits the preliminary subdivision development plat application.
Site Plan: The date that the applicant submits a site plan application or amended site plan.
Building Permit: The date that the applicant submits a building permit application if the applicant proposes to construct a building on an existing lot or parcel.
Land Use Permit: The date that the applicant submits a land use permit application.
Other: At least two (2) weeks before the developer intends to perform any type of work not listed above that would require a Storm Water Construction Activity Permit pursuant to this Chapter.

Failure to acquire a required Storm Water Construction Activity Permit is grounds for tabling a related subdivision application, site plan application, conditional use permit application, or building permit application. It is unlawful to commence work (move dirt) on a development site before obtaining a required Storm Water Construction Activity Permit.

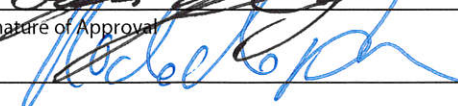
Note: A pre-construction meeting is required before performing any on-site earth work, unless waived by the county engineer.

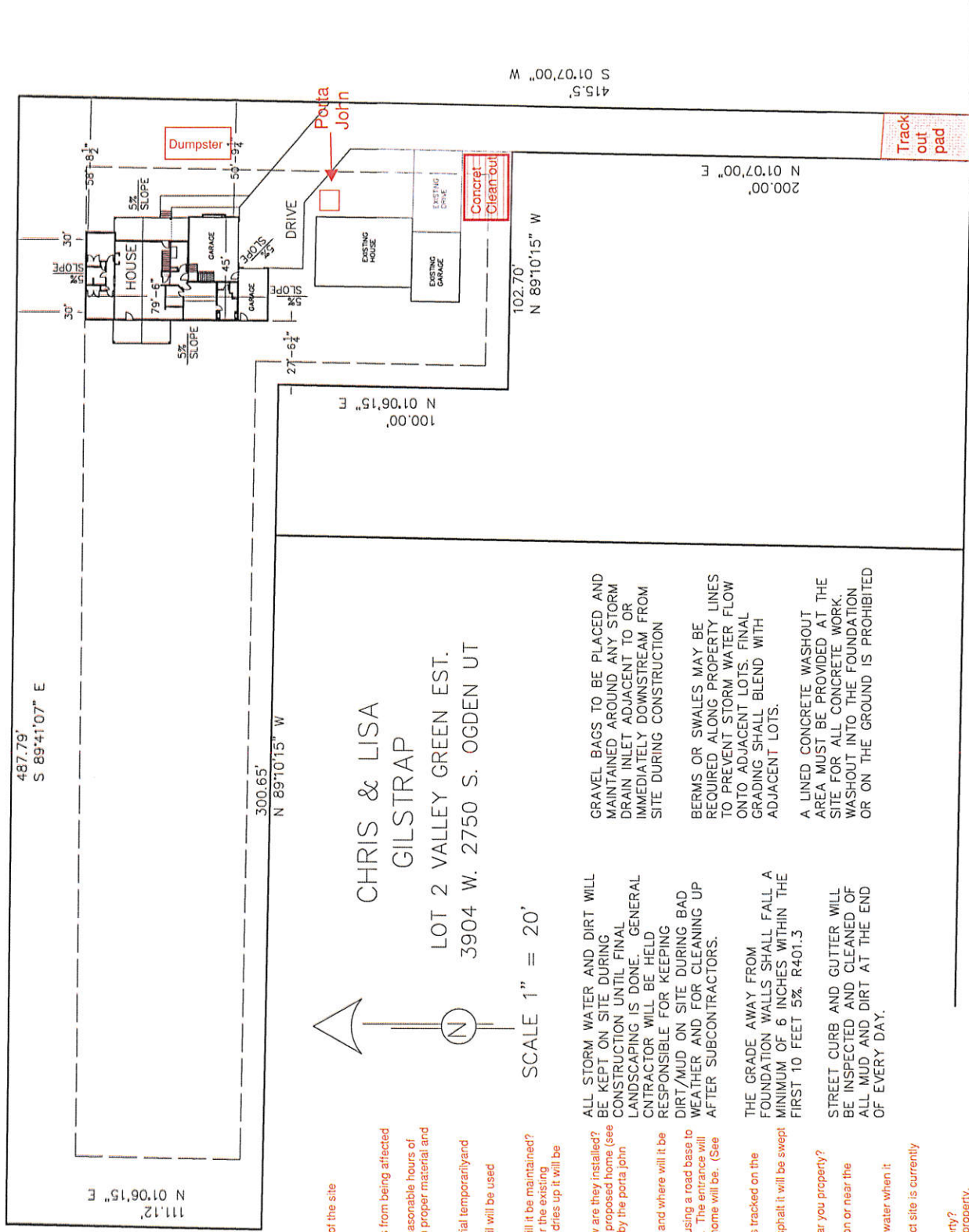
Applicant Narrative

Please explain your request.
Construction of a single family home

Authorization

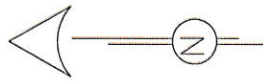
By signing below the Owner / Representative authorizes the county to enter the property to perform inspections.

Owner or Authorized Representative Signature 	Date 08/01/2016
Signature of Approval 	Date 8-4-16



CHRIS & LISA GILSTRAP

LOT 2 VALLEY GREEN EST.
3904 W. 2750 S. OGDEN UT



SCALE 1" = 20'

ALL STORM WATER AND DIRT WILL BE KEPT ON SITE DURING CONSTRUCTION UNTIL FINAL LANDSCAPING IS DONE. GENERAL CONTRACTOR WILL BE HELD RESPONSIBLE FOR KEEPING DIRT/MUD ON SITE DURING BAD WEATHER AND FOR CLEANING UP AFTER SUBCONTRACTORS.

THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET 5% R401.3

STREET CURB AND GUTTER WILL BE INSPECTED AND CLEANED OF ALL MUD AND DIRT AT THE END OF EVERY DAY.

GRAVEL BAGS TO BE PLACED AND MAINTAINED AROUND ANY STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY DOWNSTREAM FROM SITE DURING CONSTRUCTION

BERMS OR SWALES MAY BE REQUIRED ALONG PROPERTY LINES TO PREVENT STORM WATER FLOW ONTO ADJACENT LOTS. FINAL GRADING SHALL BLEND WITH ADJACENT LOTS.

A LINED CONCRETE WASHOUT AREA MUST BE PROVIDED AT THE SITE FOR ALL CONCRETE WORK. WASHOUT INTO THE FOUNDATION OR ON THE GROUND IS PROHIBITED

- How much area will be disturbed?
 - 1/4 acre
- Who will be responsible for the conditions of the site during construction?
 - Logan Young, 801-644-3261
- What will be done to prevent the neighbors from being affected by the proposed construction activities?
 - Construction will be conducted during reasonable hours of the day. Property will be maintained through proper material and waste management.
- What will be done with all excavated material temporarily and permanently?
 - No soil will be removed from site. All soil will be used as fill or in landscaping the property.
- Where is the concrete washout and how will it be maintained?
 - Concrete washout will be provided near the existing building. (See site map) Once the concrete dries up it will be hauled away.
- Where are the porta-johns located and how are they installed?
 - The porta-john will be located near the proposed home (see site map) It will be installed on a flat surface by the porta john provider
- How will the construction entrance be built and where will it be located?
 - The construction entrance will be built using a road base to minimize track out sediment onto the streets. The entrance will be located where the future driveway to the home will be. (See site map)
- What will you do when mud and/or dirt gets tracked on the asphalt?
 - If mud and dirt gets tracked onto the asphalt it will be swept off the best we can.
- Is there a drainage ditch or swale on or near your property? How will it be protected?
 - There is not a drainage ditch or swale on or near the property
- What currently happens to the rain/storm water when it reaches the project site?
 - Any storm water that reaches the project site is currently absorbed into the existing vegetation.
- Show all existing occupation on the property?
 - There is no existing occupation on the property.

2750 S.

20.00' N 89°10'15" W