

Weber County Hillside Review Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed 1/26/2016	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
---	-------------------	-----------------------------	--------------------------

Property Owner Contact Information

Name of Property Owner(s) Richard and Lezlie Zollinger	Mailing Address of Property Owner(s) 2379 Sheffield Drive Livermore, CA 94550
Phone 925-989-9980	Fax
Email Address zollinger@comcast.net	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail

Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s) Chad Roberts	Mailing Address of Authorized Person Ridgeview Homes LLC 400 South 7485 East (PO Box 42) Huntsville, Utah
Phone 801-671-3079	Fax
Email Address chadlizroberts@msn.com	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail

Property Information

Project Name Zollinger Residence	Current Zoning Residential
Approximate Address 676 East Via Cortina Huntsville, Utah	Land Serial Number(s) 201360003

Subdivision Name / Lot Number(s)
Ski Lake Plase 11 Lot 43

Project Narrative
Construct a single family residence. Property is to ensure the safety of the constructed home by examining and implementing measures that minimize risk to the home due to natural hazards.

676

Property Owner Affidavit

I (We), Richard Zollinger, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

Richard ZOLLINGER
(Property Owner)
Richard Zollinger

(Property Owner)

Subscribed and sworn to me this 26 day of January 2016



Kelci Logan Larsen
(Notary)

Authorized Representative Affidavit

I (We), Richard + Leslie Zollinger, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), Paul Roberts, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

Richard Zollinger
(Property Owner)

(Property Owner)

Dated this 26 day of January, 2016, personally appeared before me Richard Zollinger, the signers of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.



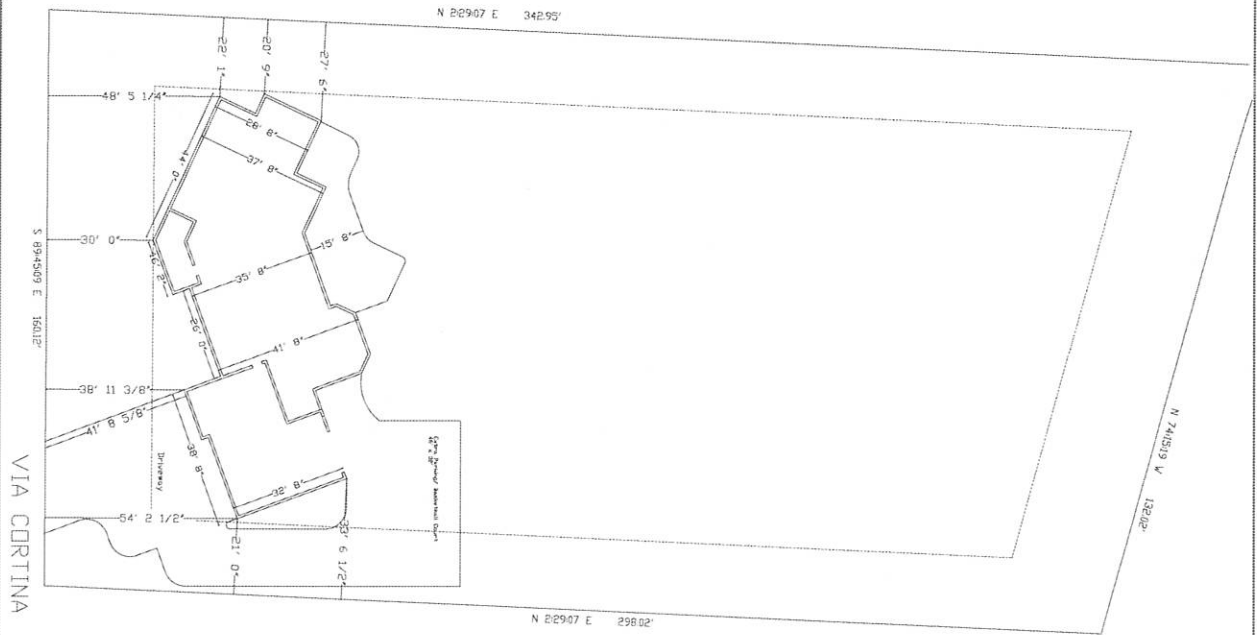
Kelci Logan Larsen
(Notary)

Zollinger Residence
 Lot # 43 The Summit at Sky Lake
 Lot# Serial #2136003
 6785 East Via Cortina
 Huntsville, Utah
 Area: 1.18 Acres
 Scale: 1" = 16'

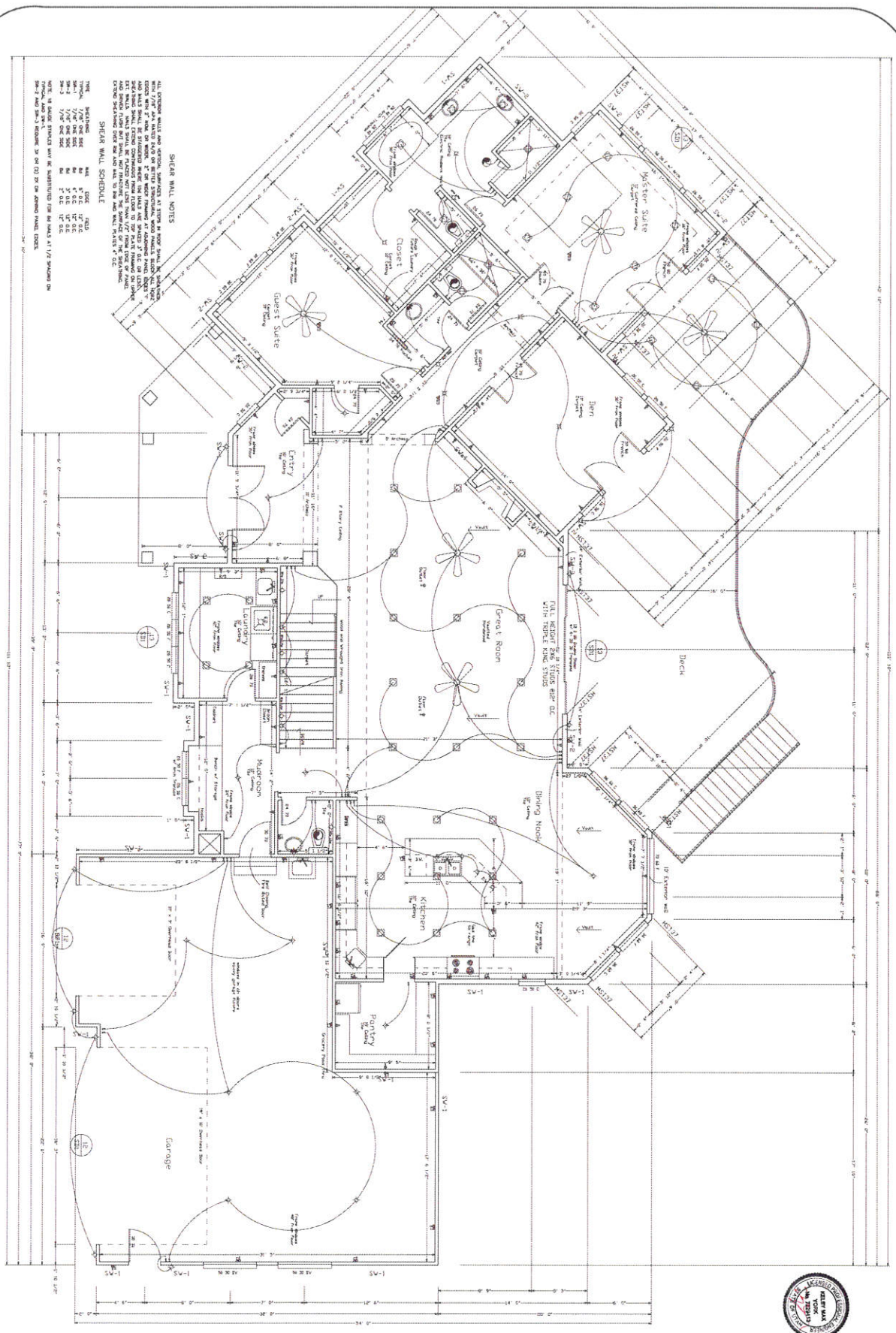


Property Line
 Building Footprints

Note: All storm water and silt will be kept on site during construction until final landscaping is done.
 Note: Surface drainage shall be directed to a storm sewer system. The contractor shall be responsible for providing a permanent drainage system. The contractor shall be responsible for providing a permanent drainage system. The contractor shall be responsible for providing a permanent drainage system.
 Note: The grade adjacent to all foundation walls shall fall a minimum of 9 inches within the first 10 feet (2x slope).



<p>Creative Line LLC Custom Home CreativeInDesign.com @AspenHill 801-589-7041</p>	<p>Scale: 1/16" = 1 Foot</p>	<p>DESCRIPTION SITE PLAN</p>	<p>ZOLLINGER RESIDENCE 6785 East Via Cortina Huntsville, Utah</p>	<p>General Contractor: Ridgeview Homes Chad Roberts 801 671-3079</p>	<p>Homeowner: Rhichard & Lezlie Zollinger 925 989-3739</p>
---	------------------------------	---	---	---	--



SHEAR WALL NOTES

ALL SHEAR WALLS TO BE CONCRETE WITH 7/8" DIA. REBAR @ 18" ON CENTER. WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD. ALL SHEAR WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD. ALL SHEAR WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD.

SHEAR WALL SCHEDULE

TYPE	THICKNESS	FINISH
1	1/2" CMU	1/2" GYPSUM BOARD
2	1/2" CMU	1/2" GYPSUM BOARD
3	1/2" CMU	1/2" GYPSUM BOARD

NOTE: ALL SHEAR WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD. ALL SHEAR WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD.

Main Floor Plan



DESCRIPTION:
 MAIN FLOOR PLAN
 Main Level
 2868 Sq. Ft.
 Garage
 1044 Sq. Ft.

Scale: 1/4" = 1 Foot

Creative Line L.L.C.
 Chad Roberts
 CreativeLinePlans.com
 605N Hill
 801 628-7041

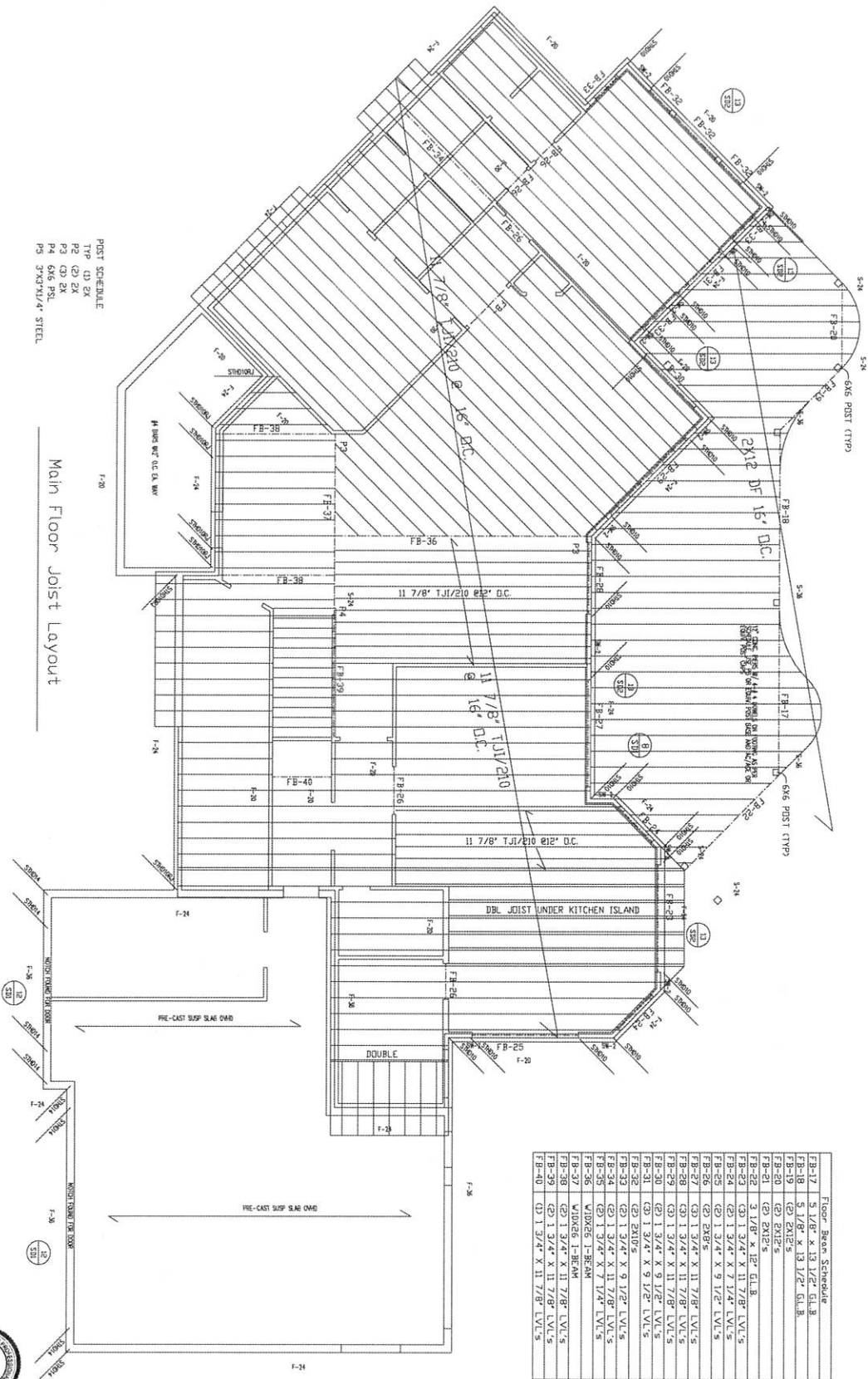
ZOLLINGER RESIDENCE
 6785 East Via Cortina
 Huntsville, Utah

General Contractor:
 Ridgeview Homes
 Chad Roberts
 801 671-3079

Homeowner:
 Richard & Leslie Zollinger
 925 989-3739

POST SCHEDULE
 17P (D) 2x
 17E (D) 2x
 P2 (D) 2x
 P4 6x6 PSL
 P5 3x3x3/4" STEEL

Main Floor Joist Layout



Beam Schedule	Beam Schedule
FB-17	5 1/8" x 13 1/2" GLB
FB-18	5 1/8" x 13 1/2" GLB
FB-19	(2) 2x12's
FB-20	(2) 2x12's
FB-21	(2) 2x12's
FB-22	3 1/8" x 12' GLB
FB-23	3 1/8" x 12' GLB
FB-24	(2) 1 3/4" x 7 1/4" LVL's
FB-25	(2) 1 3/4" x 9 1/2" LVL's
FB-26	(2) 2x8's
FB-27	(3) 1 3/4" x 11 7/8" LVL's
FB-28	(3) 1 3/4" x 11 7/8" LVL's
FB-29	(3) 1 3/4" x 11 7/8" LVL's
FB-30	(3) 1 3/4" x 9 1/2" LVL's
FB-31	(2) 1 3/4" x 9 1/2" LVL's
FB-32	(2) 1 3/4" x 11 7/8" LVL's
FB-33	(2) 1 3/4" x 7 1/4" LVL's
FB-34	(2) 1 3/4" x 7 1/4" LVL's
FB-35	(2) 1 3/4" x 7 1/4" LVL's
FB-36	W10x26 1-BRM
FB-37	W10x26 1-BRM
FB-38	(2) 1 3/4" x 11 7/8" LVL's
FB-39	(2) 1 3/4" x 11 7/8" LVL's
FB-40	(2) 1 3/4" x 11 7/8" LVL's



Scale: 1/4" = 1 Foot

DESCRIPTION:
 MAIN FLOOR FRAMING

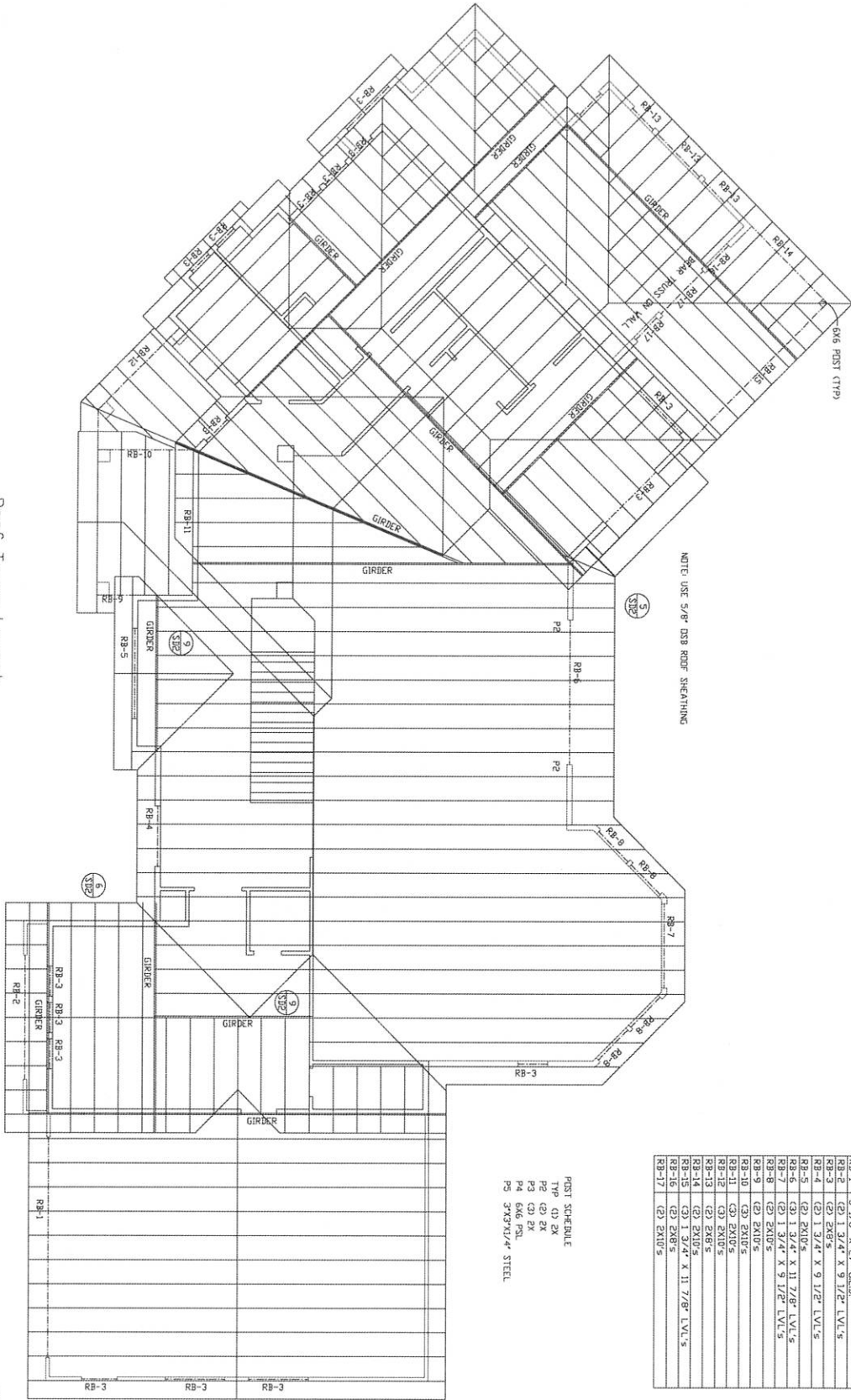
Creative Line L.L.C.
 Construction Home e
 Creative Line Plans.com
 @Ashtlie Hill
 801 628-7041

ZOLLINGER RESIDENCE
 6785 East Via Cortina
 Huntsville, Utah

General Contractor:
 Ridgeview Homes
 Chad Roberts
 801 671-3079

Homeowner:
 Richard & Lezlie Zollinger
 925 989-3739

Roof Truss Layout



Roof Beams Schedule	
RB-1	3 1/8" X 27" G.L.B.
RB-2	(2) 1 3/4" X 9 1/2" LVL'S
RB-3	(2) 2 1/2" X 9 1/2" LVL'S
RB-4	(2) 2 1/2" X 9 1/2" LVL'S
RB-5	(2) 2X10'S
RB-6	(3) 1 3/4" X 11 7/8" LVL'S
RB-7	(2) 1 3/4" X 9 1/2" LVL'S
RB-8	(2) 2X10'S
RB-9	(2) 2X10'S
RB-10	(3) 2X10'S
RB-11	(3) 2X10'S
RB-12	(3) 2X10'S
RB-13	(3) 2X10'S
RB-14	(3) 1 3/4" X 11 7/8" LVL'S
RB-15	(3) 1 3/4" X 11 7/8" LVL'S
RB-16	(2) 2X8'S
RB-17	(2) 2X10'S

POST SCHEDULE
 TP (2) 2X
 P2 (2) 2X
 P3 (2) 2X
 P4 6x6 FSL
 P5 5x3 1/4" STEEL



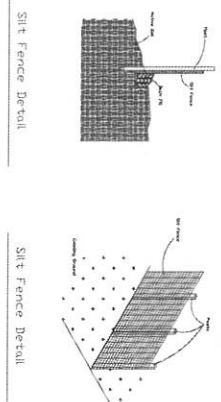
<p>Creative Line L.L.C. Creative Home Construction CreativeLinePlus.com @Ashlie_Hall 801.688-7041</p>	<p>ZOLLINGER RESIDENCE 6785 East Via Cortina Huntsville, Utah</p>	<p>General Contractor: Ridgeview Homes Chad Roberts 801 671-3079</p>	<p>Homeowner: RRichard & Lezlie Zollinger 925 989-3739</p>
<p>Scale: 1/4" = 1 Foot</p>			
<p>DESCRIPTION: ROOF TRUSS FRAMING</p>			

STORM WATER POLLUTION PREVENTION PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.

STORM WATER POLLUTION PREVENTION PLAN SPECIFIC NOTES

1. APPROXIMATELY 12000 SQ FT WILL BE DISTURBED DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND LOCAL WATER QUALITY CONTROL AGENCY.



<p>CREATIVE LLC Creative LLC 8515 E. 1200 N. Suite 100 Provo, UT 84601 Phone: 801-528-7041 Fax: 801-528-7041 Email: creative@creative.com</p>	<p>DESCRIPTION SITE PLAN</p>	<p>Scale 1/16" = 1 Foot</p>	<p>General Contractor: Ridgeview Homes Chad Roberts 801-671-3079</p>	<p>Homeowner: Rhichard & Lezlie Zollinger 925-989-3739</p>
---	--	------------------------------------	--	---

ZOLLINGER RESIDENCE
 6785 East Via Cortina
 Huntsville, Utah

Project: Residence for Rich & Lezlie Zollinger

6785 East Via Cortina
Weber County, Utah
Contact: Chad Roberts
801 671-3079

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES:

- 2012 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), TO INCLUDE APPENDIX J, ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2011 EDITION OF THE NATIONAL ELECTRIC CODE (NEC), ISSUED BY THE NATIONAL FIRE PROTECTION ASSOCIATION
- 2012 EDITION OF THE INTERNATIONAL PLUMBING CODE (IPC), ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2012 EDITION OF THE INTERNATIONAL MECHANICAL CODE (IMC), ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2012 EDITION OF THE INTERNATIONAL RETSPENDENTAL CODE (IRC), ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2012 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2012 EDITION OF THE INTERNATIONAL FUEL GAS CODE (IFGC), ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2012 EDITION OF THE INTERNATIONAL FIRE CODE

GENERAL NOTES

1. THE GENERAL CONTRACTOR, ALL SUPPLIERS AND SUBCONTRACTORS WILL FOLLOW THE DIRECTION OF THE OWNER TO MAINTAIN UNDISTURBED AREAS OF THE SITE THAT ARE OUTSIDE THE PROJECT LIMIT LINE.
2. THE PURPOSE OF THE CONTRACT DOCUMENTS IS TO RESOLVE THE DESIGN INTENT OF THE PROPOSED APPROXIMATE. IN ORDER TO FULLY UNDERSTAND THE SCOPE OF THE WORK INVOLVED, THE GENERAL AND SUB CONTRACTORS ARE RESPONSIBLE FOR VISITING THE SITE AND STUDYING THE CONTRACT DOCUMENTS PRIOR TO BEGINNING WORK. THE GENERAL AND SUB CONTRACTORS WILL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS RELATED TO THE CONSTRUCTION DESCRIBED, WHETHER FULLY SPECIFIED OR NOT, SUCH AS FASTENERS, CONNECTORS, CHALKING, HARDWARE, FINISHES AND OTHER SUCH WORK THAT WOULD CONSTITUTE A COMPLETE APPLICATION.
3. THE CONTRACTOR AND SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND WORK PERFORMED BY OTHER TRADES DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION OF THE AREA IN QUESTION.
4. DIMENSIONS ARE TO THE CENTERLINE OF STEEL, THE NOMINAL FACE OF CONCRETE OR MASONRY AND THE FACE OF STUDS, UNLESS OTHERWISE NOTED.
5. ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS. ELSEWHERE UNLESS NOTED OR SHOWN OTHERWISE, NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. IF GENERAL NOTES AND SPECIFICATIONS APPEAR TO BE IN CONFLICT CONTRACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE INTERNATIONAL BUILDING CODE, ANY LOCAL AMENDMENTS TO IT, AND ALL OTHER APPLICABLE CODES, REGULATIONS AND STANDARDS.
7. ALL ASTM DESIGNATIONS SHALL BE AS AMENDED TO DATE, UNLESS NOTED OTHERWISE.
8. MANUFACTURER'S SPECIFICATIONS SHALL BE FOLLOWED FOR INSTALLATION OF ALL MATERIALS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION IN AND AROUND THE JOB SITE AND/OR ADJACENT PROPERTIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL DESIGN AND ENGINEERING OF THE FOLLOWING SUB TRADES: ELECTRICAL, PLUMBING, HVAC, PREPARE AND SUBMIT ALL ADDITIONAL DRAWINGS AND SPECIFICATIONS NECESSARY TO OBTAIN RELATED PERMITS.
11. DURING AND AFTER CONSTRUCTION THE CONTRACTOR AND/OR OWNER SHALL KEEP THE LEANS ON THE STRUCTURE WITHIN THE LIMITS OF THE DESIGN LOADS.
12. ALL WORKMANSHIP ON THE PROJECT SHALL CONFORM TO THE BEST QUALITY OF THE TRADE.
13. PATCH AND REPAIR ALL FINISHED SURFACES DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE OWNER.
14. "TYPE OR TYPICAL," AS USED IN THESE DOCUMENTS, MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYS AND NOTED "TYPICAL" ONLY WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PLACE PROTECTIVE AND BUST BARRIERS AND TO KEEP EXISTING FINISHED AREAS CLEAN AND UNOBSTRUCTED AT ALL TIMES.
16. BEFORE STARTING A PROFESSIONAL, ALL BIDDERS SHALL CAREFULLY EXAMINE THE DRAWINGS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS, INCLUDING THE SITE OF THE WORK, SHALL FULLY INFORM THEMSELVES AS TO ALL EXISTING CONDITIONS AND LIMITATIONS AND SHALL COMPLETE INSTALLATION.
17. FURNISH EVERYTHING NECESSARY AND INCIDENTAL FOR PROPER AND SATISFACTORY COMPLETION OF ALL WORK SPECIFIED, INDICATED OR SHOWN IN THE CONTRACT DOCUMENTS.
18. ALL EXPOSED SURFACES THAT HAVE BEEN MODIFIED, INSTALLED OR AFFECTED BY THE CONSTRUCTION PROCESS SHALL BE CLEANED, VACUUMED OR DUSTED IN ORDER TO LEAVE THE PREMISES READY FOR OCCUPANCY WITH NO FURTHER CLEANING NECESSARY BY THE OWNER.
19. COORDINATE WITH THE OWNER TO SCHEDULE UTILITY DOWNTIMES. PROVIDE 48 HOURS MINIMUM NOTICE PRIOR TO ARRANGING FOR DOWNTIMES.
20. CONTRACTOR PARKING DELIVERIES, AND STORAGE, THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR APPROVED LOCATIONS FOR PARKING, DELIVERIES AND STORAGE. SUBMITTERS AND SUB CONTRACTORS OF REQUIREMENTS.
21. AT THE COMPLETION OF EACH WORK DAY CLEAN THE SITE OF ALL DEBRIS AND WASTE. INSTALL NECESSARY SAFETY BARRIERS AND STORE TOOLS OUT OF THE WAY.
22. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTION AND SECURITY OF THE PROJECT. SUBCONTRACTORS ARE RESPONSIBLE FOR PROTECTION SECURITY AND WEATHER PROTECTION OF THE PROJECT AS IT RELATES TO THE PERFORMANCE OF THEIR TRADE. FROM WEATHER DEMOLITION CONSTRUCTION, THEFT, VANDALISM, ETC. WHEN ANY PORTION OF THE ROOF IS REMOVED THE CONTRACTOR PERFORMING SUCH ROOF WORK WILL BE FULLY RESPONSIBLE FOR COMPLETE PROTECTION FROM INCIDENT WEATHER.

Homeowner:
Richard & Lezlie Zollinger
925 989-3739

General Contractor:
Ridgeview Homes
Chad Roberts
801 671-3079

ZOLLINGER RESIDENCE
6785 East Via Cortina
Huntsville, Utah

DESCRIPTION
TITLE PAGE

Scale 1/4" = 1 Foot

Creative
Line
LLC
Custom
Solutions
©2014
@Ashlie Hull
801 668-7041

Creative
Line
LLC
Custom
Solutions
©2014
@Ashlie Hull
801 668-7041

FOOTINGS, FOUNDATION & CONCRETE

1. Footings - All footings shall be placed on firm ground or a water bearing stratum. Footings shall be placed on a minimum of 12" of compacted fill. Footings shall be placed on a minimum of 12" of compacted fill.
2. Foundations - Foundations shall be placed on firm ground or a water bearing stratum. Foundations shall be placed on a minimum of 12" of compacted fill.
3. Foundations - Foundations shall be placed on firm ground or a water bearing stratum. Foundations shall be placed on a minimum of 12" of compacted fill.
4. Foundations - Foundations shall be placed on firm ground or a water bearing stratum. Foundations shall be placed on a minimum of 12" of compacted fill.
5. Foundations - Foundations shall be placed on firm ground or a water bearing stratum. Foundations shall be placed on a minimum of 12" of compacted fill.
6. Foundations - Foundations shall be placed on firm ground or a water bearing stratum. Foundations shall be placed on a minimum of 12" of compacted fill.
7. Foundations - Foundations shall be placed on firm ground or a water bearing stratum. Foundations shall be placed on a minimum of 12" of compacted fill.
8. Foundations - Foundations shall be placed on firm ground or a water bearing stratum. Foundations shall be placed on a minimum of 12" of compacted fill.
9. Foundations - Foundations shall be placed on firm ground or a water bearing stratum. Foundations shall be placed on a minimum of 12" of compacted fill.
10. Foundations - Foundations shall be placed on firm ground or a water bearing stratum. Foundations shall be placed on a minimum of 12" of compacted fill.

MECHANICAL

1. Mechanical - Mechanical systems shall be installed in accordance with current code requirements.
2. Mechanical - Mechanical systems shall be installed in accordance with current code requirements.
3. Mechanical - Mechanical systems shall be installed in accordance with current code requirements.
4. Mechanical - Mechanical systems shall be installed in accordance with current code requirements.
5. Mechanical - Mechanical systems shall be installed in accordance with current code requirements.
6. Mechanical - Mechanical systems shall be installed in accordance with current code requirements.
7. Mechanical - Mechanical systems shall be installed in accordance with current code requirements.
8. Mechanical - Mechanical systems shall be installed in accordance with current code requirements.
9. Mechanical - Mechanical systems shall be installed in accordance with current code requirements.
10. Mechanical - Mechanical systems shall be installed in accordance with current code requirements.

FRAMING & SHEATHING

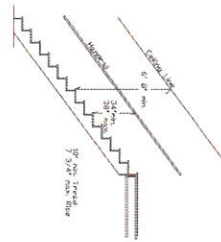
1. Framing - Framing shall be installed in accordance with current code requirements.
2. Framing - Framing shall be installed in accordance with current code requirements.
3. Framing - Framing shall be installed in accordance with current code requirements.
4. Framing - Framing shall be installed in accordance with current code requirements.
5. Framing - Framing shall be installed in accordance with current code requirements.
6. Framing - Framing shall be installed in accordance with current code requirements.
7. Framing - Framing shall be installed in accordance with current code requirements.
8. Framing - Framing shall be installed in accordance with current code requirements.
9. Framing - Framing shall be installed in accordance with current code requirements.
10. Framing - Framing shall be installed in accordance with current code requirements.

STAIR & HANDRAIL

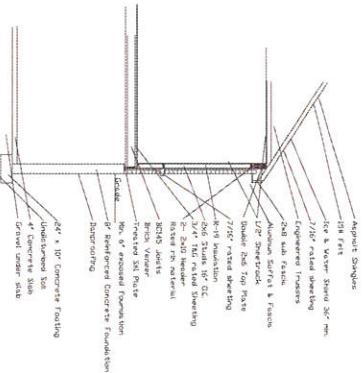
1. Stairs - Stairs shall be installed in accordance with current code requirements.
2. Stairs - Stairs shall be installed in accordance with current code requirements.
3. Stairs - Stairs shall be installed in accordance with current code requirements.
4. Stairs - Stairs shall be installed in accordance with current code requirements.
5. Stairs - Stairs shall be installed in accordance with current code requirements.
6. Stairs - Stairs shall be installed in accordance with current code requirements.
7. Stairs - Stairs shall be installed in accordance with current code requirements.
8. Stairs - Stairs shall be installed in accordance with current code requirements.
9. Stairs - Stairs shall be installed in accordance with current code requirements.
10. Stairs - Stairs shall be installed in accordance with current code requirements.

FLASHING

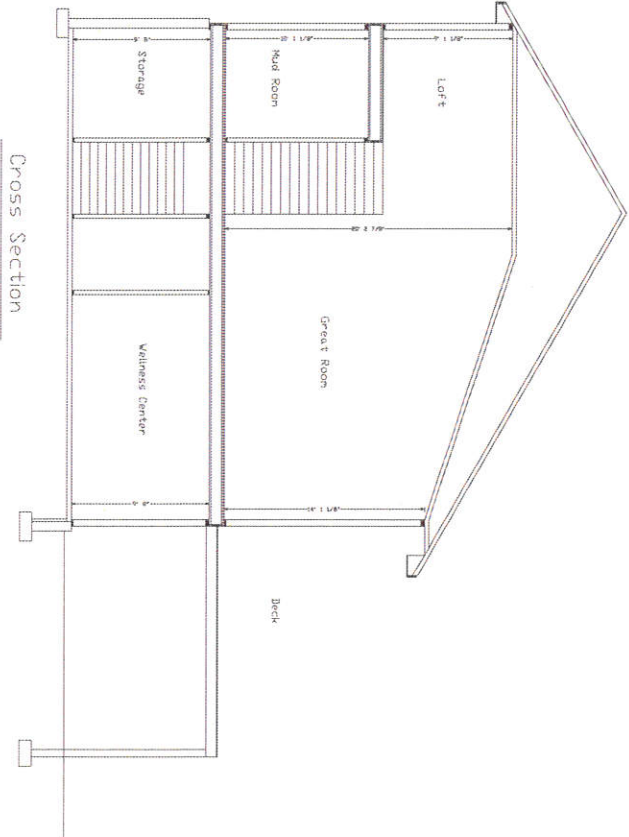
1. Flashing - Flashing shall be installed in accordance with current code requirements.
2. Flashing - Flashing shall be installed in accordance with current code requirements.
3. Flashing - Flashing shall be installed in accordance with current code requirements.
4. Flashing - Flashing shall be installed in accordance with current code requirements.
5. Flashing - Flashing shall be installed in accordance with current code requirements.
6. Flashing - Flashing shall be installed in accordance with current code requirements.
7. Flashing - Flashing shall be installed in accordance with current code requirements.
8. Flashing - Flashing shall be installed in accordance with current code requirements.
9. Flashing - Flashing shall be installed in accordance with current code requirements.
10. Flashing - Flashing shall be installed in accordance with current code requirements.



Stair Detail



Wall Detail



Cross Section

DESCRIPTION: CROSS SECTION

Scale: 1/4" = 1 Foot

ZOLLINGER RESIDENCE
6785 East Via Cortina
Huntsville, Utah

General Contractor:
Ridgeview Homes
Chad Roberts
801 671-3079

Homeowner:
Richard & Lezlie Zollinger
925 989-3739

Creative Line LLC
Custom Home Solutions
@Asthle Hill, UT
801 668-7041

ELECTRICAL

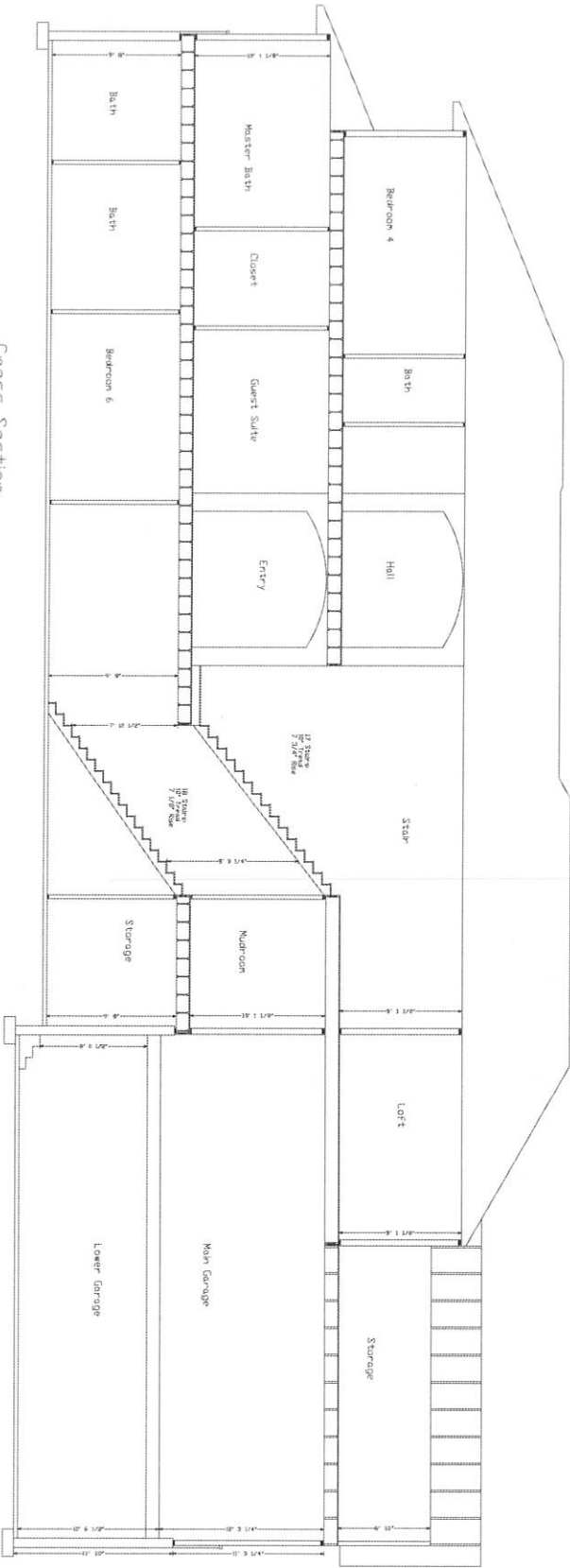
1. Provide all new (Voltage, switches, outlets, and wiring).
2. Provide all new (Voltage, switches, outlets, and wiring).
3. Provide all new (Voltage, switches, outlets, and wiring).
4. Provide all new (Voltage, switches, outlets, and wiring).
5. Provide all new (Voltage, switches, outlets, and wiring).
6. Provide all new (Voltage, switches, outlets, and wiring).
7. Provide all new (Voltage, switches, outlets, and wiring).
8. Provide all new (Voltage, switches, outlets, and wiring).
9. Provide all new (Voltage, switches, outlets, and wiring).
10. Provide all new (Voltage, switches, outlets, and wiring).
11. Provide all new (Voltage, switches, outlets, and wiring).
12. Provide all new (Voltage, switches, outlets, and wiring).
13. Provide all new (Voltage, switches, outlets, and wiring).
14. Provide all new (Voltage, switches, outlets, and wiring).
15. Provide all new (Voltage, switches, outlets, and wiring).
16. Provide all new (Voltage, switches, outlets, and wiring).
17. Provide all new (Voltage, switches, outlets, and wiring).
18. Provide all new (Voltage, switches, outlets, and wiring).
19. Provide all new (Voltage, switches, outlets, and wiring).
20. Provide all new (Voltage, switches, outlets, and wiring).

MASONRY

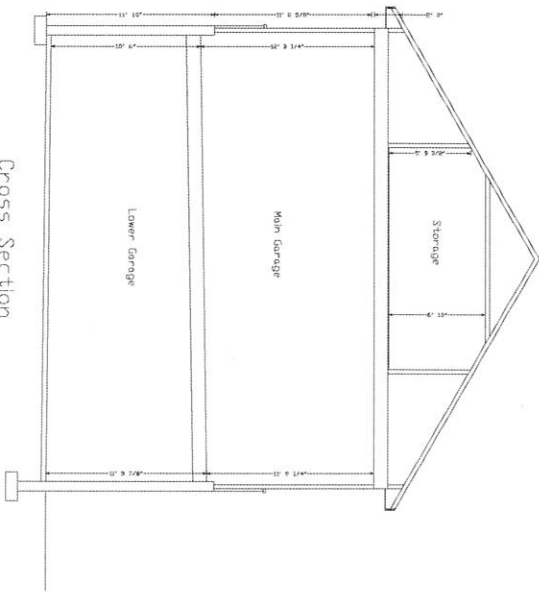
1. Provide all new masonry work in accordance with current building code requirements.
2. Provide all new masonry work in accordance with current building code requirements.
3. Provide all new masonry work in accordance with current building code requirements.
4. Provide all new masonry work in accordance with current building code requirements.
5. Provide all new masonry work in accordance with current building code requirements.
6. Provide all new masonry work in accordance with current building code requirements.
7. Provide all new masonry work in accordance with current building code requirements.
8. Provide all new masonry work in accordance with current building code requirements.
9. Provide all new masonry work in accordance with current building code requirements.
10. Provide all new masonry work in accordance with current building code requirements.
11. Provide all new masonry work in accordance with current building code requirements.
12. Provide all new masonry work in accordance with current building code requirements.
13. Provide all new masonry work in accordance with current building code requirements.
14. Provide all new masonry work in accordance with current building code requirements.
15. Provide all new masonry work in accordance with current building code requirements.
16. Provide all new masonry work in accordance with current building code requirements.
17. Provide all new masonry work in accordance with current building code requirements.
18. Provide all new masonry work in accordance with current building code requirements.
19. Provide all new masonry work in accordance with current building code requirements.
20. Provide all new masonry work in accordance with current building code requirements.

PLUMBING

1. Provide all new plumbing work in accordance with current building code requirements.
2. Provide all new plumbing work in accordance with current building code requirements.
3. Provide all new plumbing work in accordance with current building code requirements.
4. Provide all new plumbing work in accordance with current building code requirements.
5. Provide all new plumbing work in accordance with current building code requirements.
6. Provide all new plumbing work in accordance with current building code requirements.
7. Provide all new plumbing work in accordance with current building code requirements.
8. Provide all new plumbing work in accordance with current building code requirements.
9. Provide all new plumbing work in accordance with current building code requirements.
10. Provide all new plumbing work in accordance with current building code requirements.
11. Provide all new plumbing work in accordance with current building code requirements.
12. Provide all new plumbing work in accordance with current building code requirements.
13. Provide all new plumbing work in accordance with current building code requirements.
14. Provide all new plumbing work in accordance with current building code requirements.
15. Provide all new plumbing work in accordance with current building code requirements.
16. Provide all new plumbing work in accordance with current building code requirements.
17. Provide all new plumbing work in accordance with current building code requirements.
18. Provide all new plumbing work in accordance with current building code requirements.
19. Provide all new plumbing work in accordance with current building code requirements.
20. Provide all new plumbing work in accordance with current building code requirements.



Cross Section



Cross Section

ZOLLINGER RESIDENCE
6785 East Via Cortina
Huntsville, Utah

General Contractor:
Ridgeview Homes
Chad Roberts
801 671-3079

Homeowner:
Richard & Lezlie Zollinger
925 989-3739

DESCRIPTION:
CROSS SECTION

Scale: 1/4" = 1 Foot

Creative
Line
LLC
Custom
Solutions
CreativeLinePars.com
@Astille Hill
801 668-7941

