

Weber County Design Review Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed	Fees (Office Use) \$225.00	Receipt Number (Office Use) 20909	File Number (Office Use) DR 2011-05
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Property Owner Contact Information

Name of Property Owner(s) Don Staker		Mailing Address of Property Owner(s) 2801 S. 3500 W. Ogden UT 84401	
Phone 801-731-1550	Fax	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address ddstakerd@yahoo.com			

Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s)		Mailing Address of Authorized Person	
Phone	Fax	Preferred Method of Written Correspondence <input type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address			

Property Information

Project Name Staker Auto	Current Zoning M-1	Total Acreage 0.97 acres
Approximate Address 2801 S. 3500 W. Ogden UT 84401	Land Serial Number(s) 15-088-0021	

Proposed Use
Used Car lot

Project Narrative

Property Owner Affidavit

I (We), Don & DeAnn Staker, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

[Signature]
(Property Owner)

[Signature]
(Property Owner)

Subscribed and sworn to me this 10th day of May, 2011.



[Signature]
(Notary)

Authorized Representative Affidavit

I (We), _____, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), _____, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

(Property Owner)

(Property Owner)

Dated this _____ day of _____, 20 _____, personally appeared before me _____, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.

(Notary)



Weber County

Weber County Planning Division
www.co.weber.ut.us/planning
2380 Washington Blvd., Suite 240
Ogden, Utah 84401-1473
Voice: (801) 399-8791
Fax: (801) 399-8862

Design Review (Commercial, Manufacturing, and other Main Uses)

Design review allows the Planning Division an opportunity to review specified proposed developments, with the goals established by the General Plan and standards listed in county ordinances, which implement the goals of the General Plan.

A pre-application meeting is required prior to application submittal; please call (801) 399-8791 to make an appointment. Date of pre-application review meeting: _____ Time: _____

- Staff member assigned to process application: Justin

APPLICATION DEADLINE: Thirty (30) days prior to the applicable Planning Commission meeting

The Western Weber County Township Planning Commission holds their meetings on the 2nd Tuesday of the month.

The Ogden Valley Township Planning Commission holds their meetings on the 4th Tuesday of the month.

First Determination

- Is this a small building with a total footprint of less than 10,000 sq ft and a project area of less than one acre

If **Yes**, the application can be approved administratively without Planning Commission review.

If **No**, the application will be reviewed by the Planning Commission.

Application Submittal Checklist

The Planning Division will only accept complete applications with supporting documents as outlined below. Submitting an application does not guarantee that this application will be placed on the next Planning Commission agenda.

The following is required as part of the application form submittal:

- Complete Application Form
- A non-refundable fee made payable to Weber County (see *Fee Schedule*)
- Obtain signature of the owner(s) on the application and any authorized representatives
- All documents submitted in the application shall be accompanied by a PDF file of the respective document. All plans (including but not limited to site plans, architectural elevations/renderings, etc), and subsequent submittals and revisions, shall be accompanied by a full scale set of PDF files of the respective plans.



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6. Considerations relating to prior development concept plan approval associated with any Rezoning Agreement, Planned Commercial or Manufacturing Rezoning or Planned Residential Unit Development Approval.

Appeal Process

Appeals of Staff administrative approvals are made to the Planning Commission within 15 days of the decision.

Appeals of the Planning Commission decision are made to the County Commission within 15 days of the decision.

For Your Information

If construction of any development for which design approval has been granted has not been commenced within eighteen months from date of Design Review approval, the approval shall be deemed automatically revoked. Upon application, the Planning Commission may grant an extension of time.

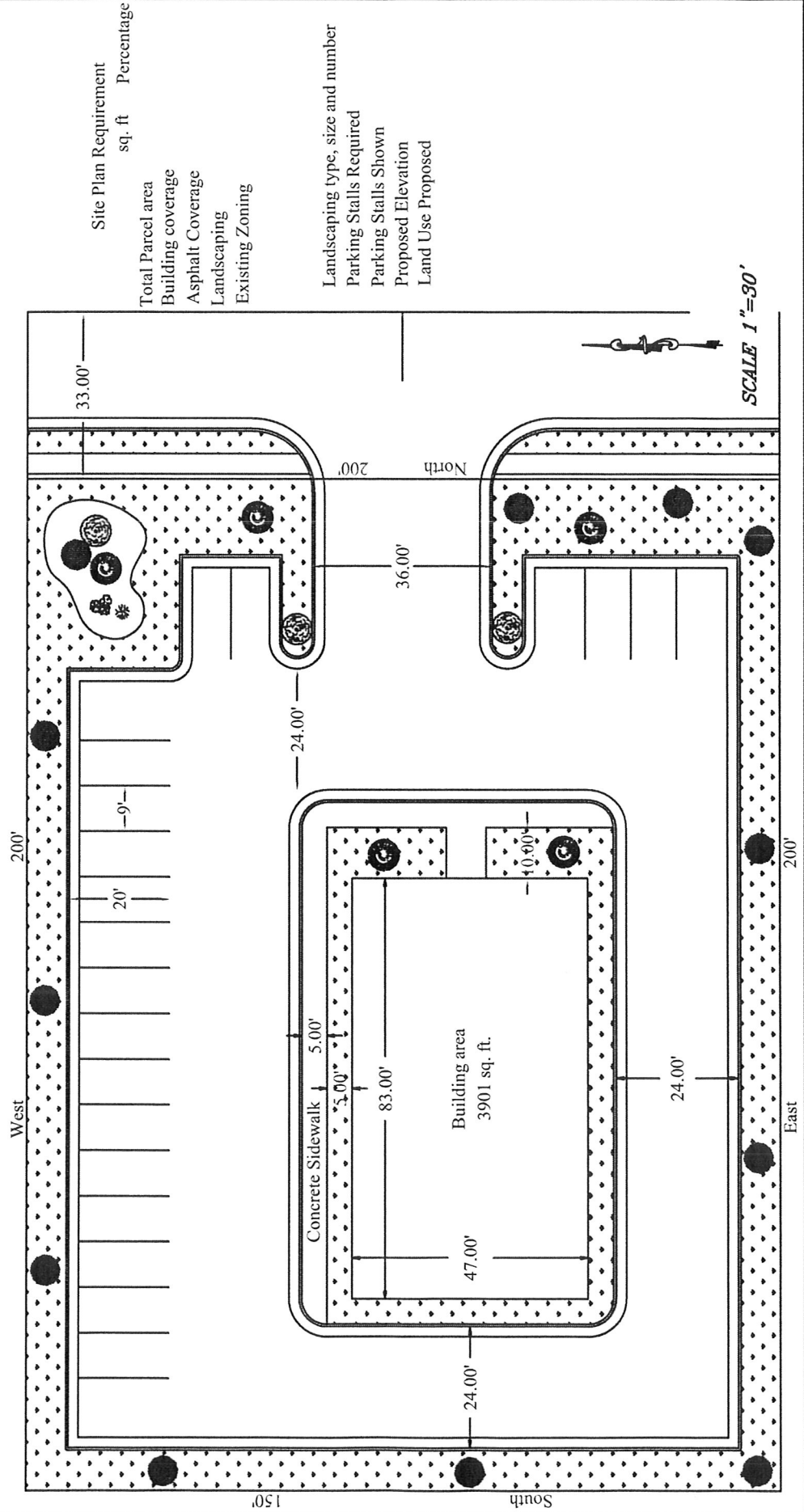
This application can be filled out online at the following Planning Division web site: www.co.weber.ut.us/planning
Copies of the applicable Weber County Zoning Ordinances and other helpful information are also available at this web site.

Check List for Site Plan Review.

Name of the proposed development
 Name and address of the owner of property
 Name and address of the preparer of the site plan
 Statement describing the intended use of the development
 A north arrow and scale not less than 1:50
 The tax ID number of the development site
 The land use and zoning of the development site
 Adjacent land use and zoning
 * Identify the percentage of the property covered by buildings and hard surface

Adjacent streets shall be shown and identified, along with distance from centerline to property
 Building setbacks and distances
 Easement on property and on abutting property, that could be affected
 A letter from the Water and Sewer company serving the project or a septic tank approval letter
 * Elevation drawings depicting architectural theme, building features, materials and colors is required
 * A grading and drainage plan is required
 Landscaping plan

* Lighting plan
 Detailed sign information including color and material
 Fire hydrant location
 Parking information - size and number of stalls
 The geometric layout and dimensions of proposed building, driveways, parking areas, loading areas, signs and other features of the development
 Existing structures
 Storm water management plan



Site Plan Requirement
 sq. ft Percentage
 Total Parcel area
 Building coverage
 Asphalt Coverage
 Landscaping
 Existing Zoning

Landscaping type, size and number
 Parking Stalls Required
 Parking Stalls Shown
 Proposed Elevation
 Land Use Proposed

* Does not apply to Home Occupation Conditional Use Applications

Note: This is not a substitution for reading the Weber County Zoning Ordinance.










Staker Auto

Owner: Don Staker
 2801 S 3500 W
 Ogden, UT 84401

Preparer: Doug Staker
 1239 N 400 E #3
 Logan, UT 84341

M-1 Zone
 Plan for used car lot.

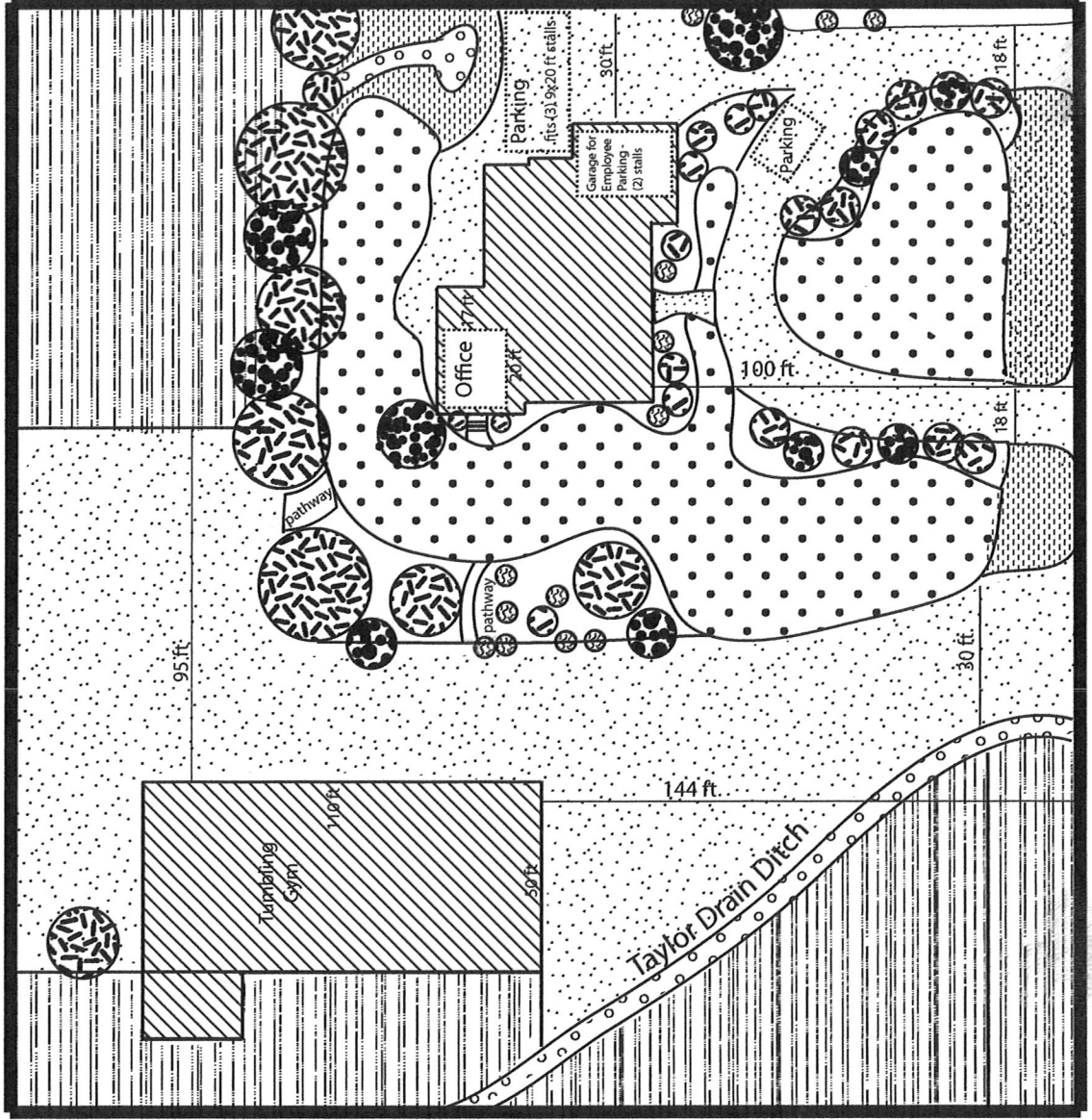
We will be using only approximately
 19,150 square feet, which is 43% of an acre.

-  Rolled River Rock
-  Pavement
-  Pasture or Alfalfa Fields
-  Grass
-  Water
-  Building
-  Bush
-  Pine Tree
-  Deciduous Tree

Scale: 1" = 50'



300 ft



290 ft

3500 West

This two acre property is surrounded
 by 40 acres of alfalfa fields and
 pasture owned also by Don Staker

Considerations in Review of Applications

1. Considerations relating to traffic safety and traffic congestion:
 - The car lot will have no more than two cars at a time, therefore there will be no additional traffic on abutting streets
 - There is adequate off-street parking on facility to prevent traffic congestion
 - There is adequate lighting of the parking facilities. Because the closest house is over 100 yards away, there is not too much lighting as to disturb anyone. Lighting is shown on the next page.

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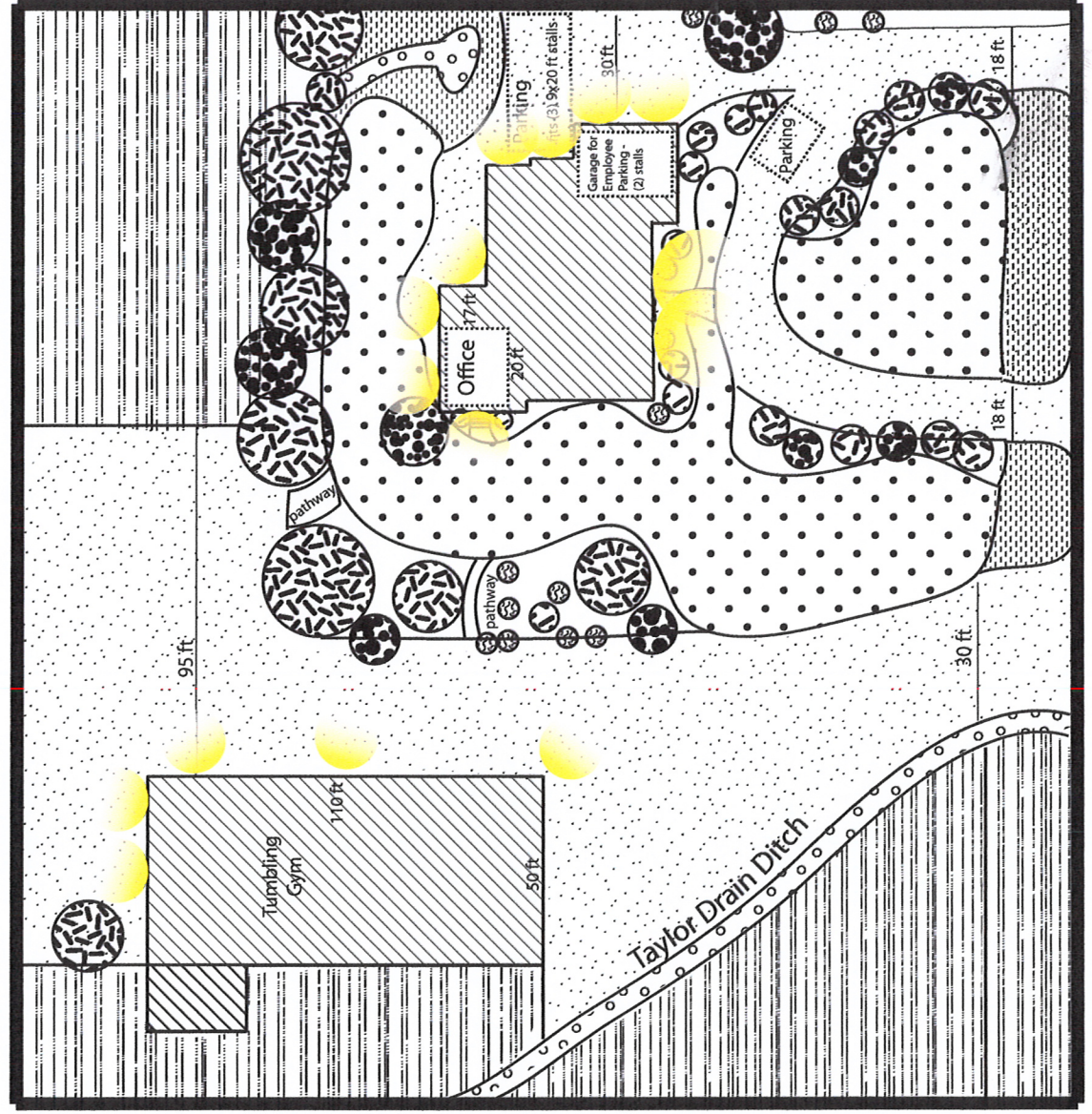
Preparer: Doug Staker
 1239 N 400 E #3
 Logan, UT 84341

- Rolled River Rock
- Pavement
- Bush
- Grass
- Pine Tree
- Water
- Deciduous Tree
- Building

Scale: 1" = 50'



300 ft



290 ft

Lighting Installations



3500 West

2. Considerations relating to outdoor advertising

- The sign will be 24 square feet (4x6 feet), painted white and black on $\frac{3}{4}$ inch plywood. The sign will be placed in the most inconspicuous place possible, due to the fact that the majority of the advertising will be done online.

Staker

Auto

801-644-2822

Dealer #

3. Considerations relating to landscaping

- The owner of the premises has carefully maintained the property for thirty years and will continue to maintain the landscaping. There is over the minimum landscape space of 10%. No plants need to be removed or added to the property to conceal unsightly development as there will be no unsightly development added. The landscaping may be viewed on the map.

4. Considerations relating to buildings and site layout

- The buildings on the property have existed for over thirty years and there will be no buildings added to the property. There are no neighbors within over 320 feet.





5. Considerations relating to utility easements, drainage, and other engineering questions
 - The property and buildings have existed for over thirty years. No buildings, pavement, or utilities will be added to the property. The pavement has been designed to direct storm water to the adjoining alfalfa fields which are owned by the same owner. There are no neighbors or businesses within over 100 yards and thus no one will be affected by the storm water.

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-  Pavement
-  Grass
-  Water
-  Building

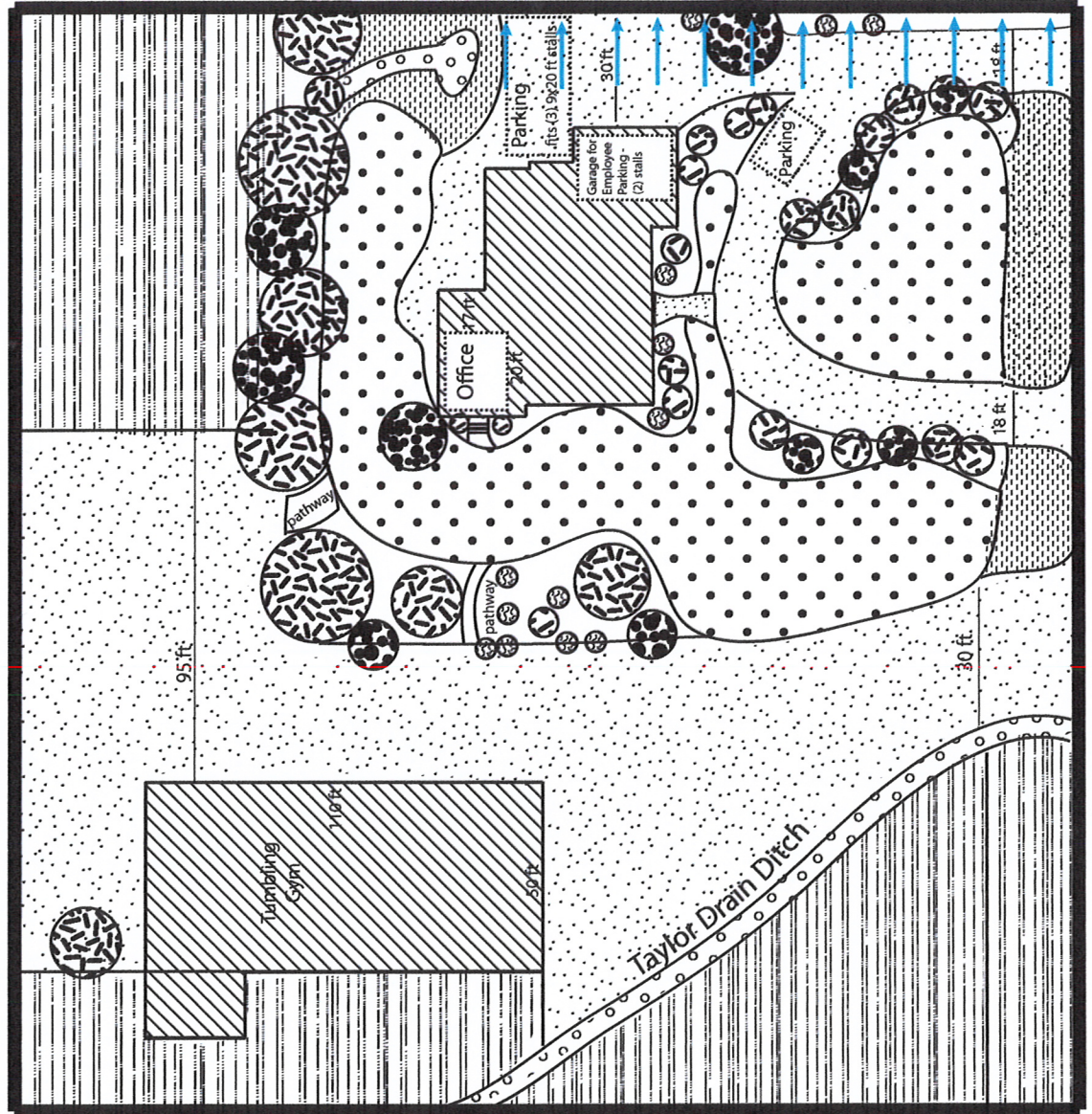
-  Bush
-  Pine Tree
-  Deciduous Tree

This two acre property is surrounded by 40 acres of alfalfa fields and pasture owned also by Don Staker

Scale: 1" = 50'



300 ft



290 ft

3500 West

Direction of storm water to the adjacent alfalfa field



Same Property Owner's Alfalfa Field

6. Considerations relating to prior development concept plan approval associated with any Rezoning Agreement, Planned Commercial or Manufacturing Rezoning or Planned Residential Unit Development Approval

- The purpose of the development concept plan is to add a use to the existing property. There will be no rezoning or any affect to anybody else. The property will basically remain as is, except for the addition of a 4x6 foot sign and two cars.

Considerations to Fire Safety

- There is an exterior exit within about 15 feet of anywhere in the office and a fire extinguisher within about 10 feet. There are no obstructions to the doors.

There is a fire hydrant on the corner of 2900 S. and 3500 W.

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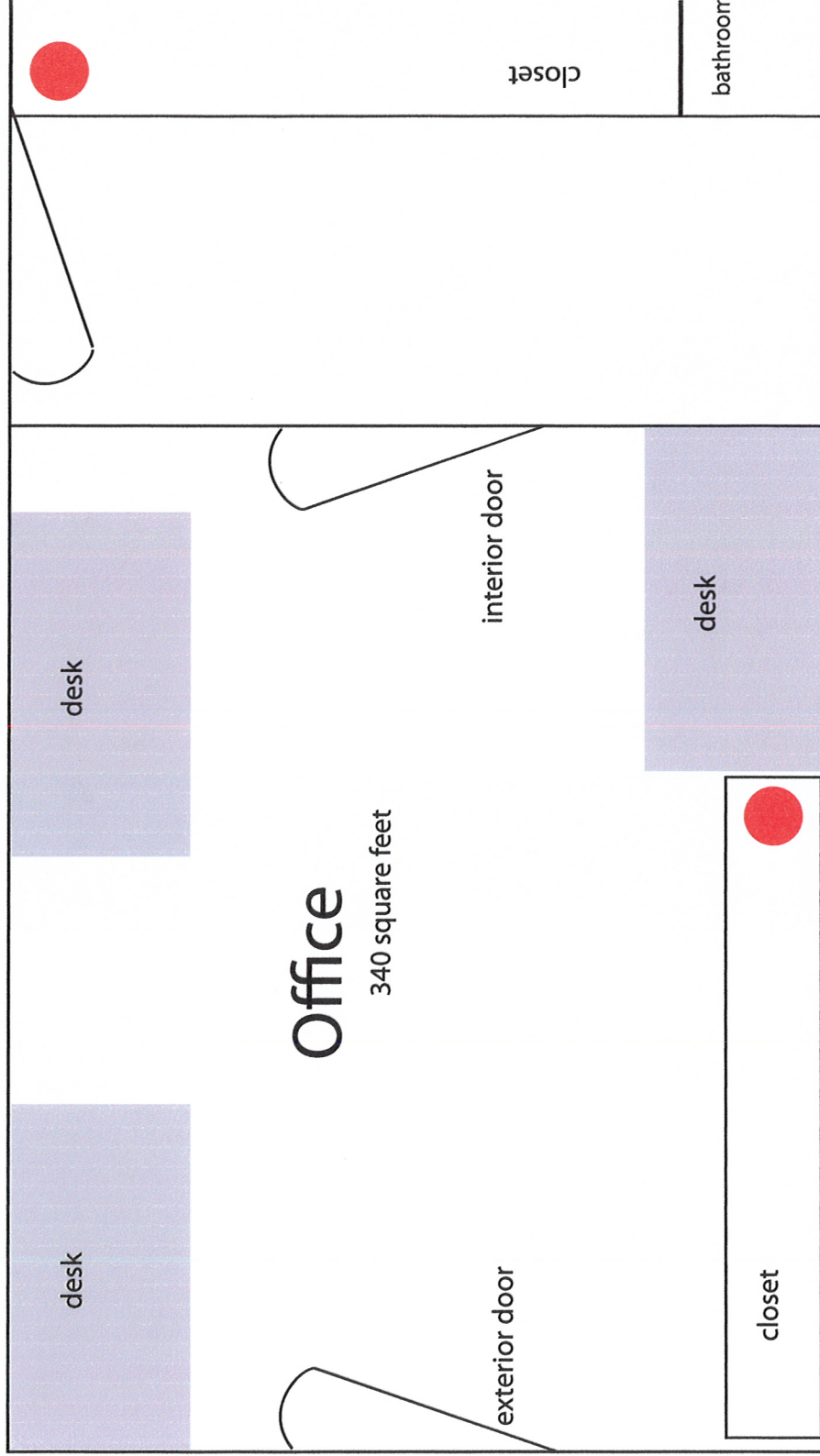
Preparer: Doug Staker
1239 N 400 E #3
Logan, UT 84341

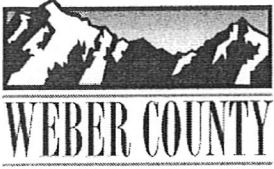
- Rolled River Rock
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Fire Extinguisher





**Weber County Public Works Department
Official Receipt**

Receipt Date 13-MAY-2011

12:25:26 PM

Description PLANNING APPLICATION

From Client DOUG STAKER

CHECK 225

Total Received: 225

Empl Id / Receipt Nbr: RP - 20909

Signature

*** Please Retain This Receipt For Your Personal Records ***