SUMMIT 27

FALCONE RESIDENCE

STUDIO ASSOCIATO DI ARCHITETTURA BICUADRO®
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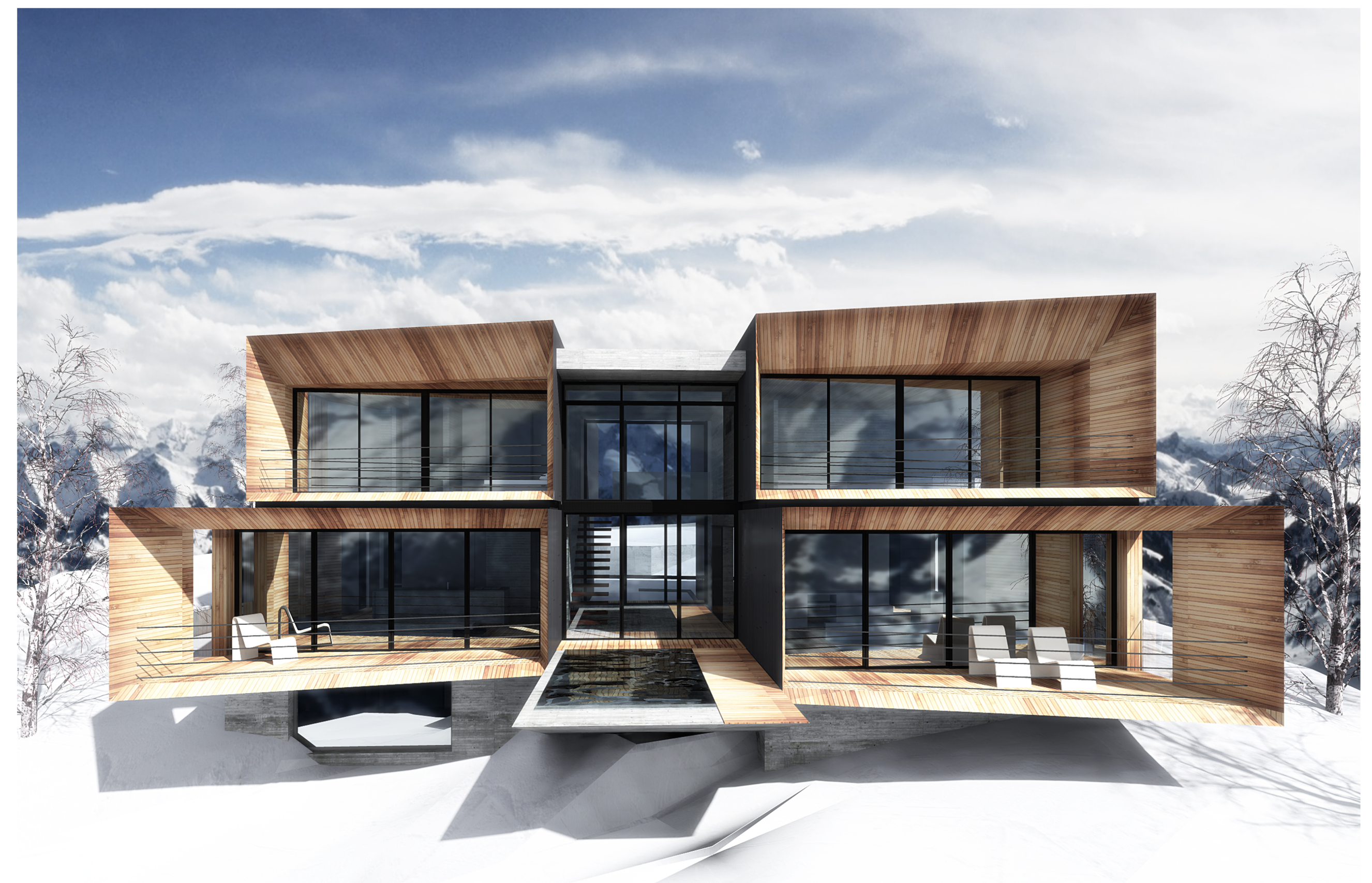

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GENERAL REQUIREMENTS

THIS HOUSE IS BEING CONSTRUCTED AS A HEALTHY HOUSE. THE PRODUCTS HEREIN ARE INTENDED TO BE AS FREE OF HARMFUL CHEMICALS AS ARE PRESENTLY AVAILABLE AND REASONABLY ATTAINABLE. IN USING THESE PRODUCTS, WE ARE SAFEGUARDING, TO THE BEST OF OUR ABILITY, THE HEALTH OF FUTURE INHABITANTS, AS WELL AS THE WORKERS INVOLVED IN THIS CONSTRUCTION.

ENVIRONMENTAL GOALS FOR THE PROJECT

THE OWNER HAS ESTABLISHED THE FOLLOWING ENVIRONMENTAL GOALS FOR THE PROJECT. THESE GOALS ARE GENERAL IN NATURE; REFER TO SPECIFIC SPECIFICATION SECTIONS FOR MORE DETAILED REQUIREMENTS. NOTIFY OWNER AND ARCHITECT IF CONFLICTS ARISE BETWEEN PERFORMANCE OF THE WORK AND ENVIRONMENTAL GOALS. THIS SPECIFICATION IS NOT INTENDED TO LIMIT ALTERNATIVE MEANS OF ACHIEVING THESE GOALS. SUGGESTIONS AND INPUT FROM THE CONTRACTOR(S) FOR IMPLEMENTING THESE GOALS ARE ENCOURAGED, AS IS A TEAM APPROACH.

USE RESOURCES EFFICIENTLY.
- REUSE EXISTING MATERIALS.
- SELECT MATERIALS THAT USE RESOURCES EFFICIENTLY.
- USE CONSTRUCTION PRACTICES THAT ACHIEVE THE MOST EFFICIENT USE OF RESOURCES AND MATERIALS.
- RECYCLE OR RE-USE JOB SITE WASTE.

AVOID SCARCE, IRREPLACEABLE, OR ENDANGERED RESOURCES.
- SELECT MATERIALS FROM ABUNDANT RESOURCES.
- SELECT MATERIALS THAT ARE REPLACEABLE, RENEWABLE OR CAN BE REPLENISHED.
- SELECT MATERIALS THAT MINIMIZE DAMAGE TO NATURAL HABITATS.

USE DURABLE MATERIALS.
- SELECT MATERIALS WITH THE LONGEST USABLE LIFE.
- SELECT MATERIALS THAT CAN BE RE-USED.

USE ENERGY EFFICIENT MATERIALS. CONSIDER ENERGY USE OVER THE LIFE CYCLE OF THE MATERIAL INCLUDING HARVESTING, MINING, MANUFACTURING, TRANSPORT, INSTALLATION, USE, OPERATIONS, RECYCLING AND DISPOSAL.
- SELECT MATERIALS THAT USE LESS ENERGY TO MANUFACTURE.
- SELECT MATERIALS THAT SAVE ENERGY DURING BUILDING OPERATIONS.
- SELECT LOCALLY MADE MATERIALS.

SELECT MATERIALS THAT GENERATE THE LEAST AMOUNT OF POLLUTION. CONSIDER POLLUTION AND TOXINS GENERATED DURING HARVESTING, MINING, MANUFACTURING, TRANSPORT, INSTALLATION, USE, AND DISPOSAL.
- AIR POLLUTION: AVOID MATERIALS THAT CONTAIN OZONE DEPLETING CHEMICALS OR THAT PRODUCE TOXIC EMISSIONS. EMPLOY CONSTRUCTION PRACTICES THAT MINIMIZE DUST PRODUCTION AND COMBUSTION BYPRODUCTS.
- WATER: AVOID MATERIALS THAT CAN LEACH TOXIC CHEMICALS INTO THE GROUND WATER. DO NOT ALLOW TOXIC CHEMICALS TO ENTER SEWERS OR STORM DRAINS.
- SOIL: PROTECT AGAINST EROSION AND TOP SOIL DEPLETION
- SELECT MATERIALS THAT CAN BE RE-USED OR RECYCLED OR MATERIALS WITH A SIGNIFICANT PERCENTAGE OF RECYCLED CONTENT. AVOID MATERIALS THAT ARE DIFFICULT TO RECYCLE.

COMMUNICATING ENVIRONMENTAL GOALS
- CONTRACTOR SHALL DESIGNATE AN ON-SITE PARTY (OR PARTIES) RESPONSIBLE FOR INSTRUCTING WORKERS AND OVERSEEING THE ENVIRONMENTAL GOALS FOR THE PROJECT.
- DISTRIBUTION: THE CONTRACTOR SHALL DISTRIBUTE COPIES OF THE ENVIRONMENTAL GOALS TO THE JOB SITE FOREMAN, AND EACH SUBCONTRACTOR.

CONSTRUCTION REQUIREMENTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL SPECIFIED MATERIALS OR APPROVED SUBSTITUTES AND FOR PERFORMING ALL SPECIAL PROJECT PROCEDURES WITHIN THE CONTRACT TIME, AS STATED WITHIN THE CONSTRUCTION CONTRACT. SUBSTITUTIONS MADE WITHOUT PRIOR WRITTEN APPROVAL MAY BE REJECTED, AT WHICH TIME THE COST OF REPLACEMENT OF SUCH MATERIAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO PENALTY OF TIME TO THE PROJECT.
THE CONTRACTOR SHALL PROVIDE AND PAY FOR LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, TRANSPORTATION AND OTHER SERVICES NECESSARY FOR PROPER COMPLETION OF THE WORK. CONTRACTOR WARRANTS TO THE OWNER THAT THE WORK WILL BE OF GOOD QUALITY, WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. WORK SUBSTITUTIONS NOT PROPERLY APPROVED AND AUTHORIZED, MAY BE CONSIDERED DEFECTIVE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL PERFORMANCE OF THE SUBCONTRACTORS AND TRADES PEOPLE, AND FOR ANY NECESSARY TRAINING, SPECIFICALLY WITH REGARDS TO THE SPECIAL PROJECT PROCEDURES AND MATERIALS AS OUTLINED IN THESE SPECIFICATIONS.
- WORK SHALL CONFORM TO THE CURRENT IBC AND ALL OTHER GOVERNING CODES AND WILL BE PERFORMED IN A PROFESSIONAL MANNER.
- WORK OF EACH TRADE SHALL MEET OR EXCEED NATIONAL STANDARDS PUBLISHED BY THE TRADE EXCEPT WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT. IN SUCH CASES, WORK SHALL MEET OR EXCEED THESE STANDARDS ESTABLISHED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR OR SUBCONTRACTORS SHALL INSPECT AND VERIFY CONDITIONS AND DIMENSIONS. WHEN ADDITIONAL INFORMATION IS NEEDED TO PROVIDE COMPLETE AND ACCURATE COORDINATION, THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CLARIFICATION BY THE OWNER OR ARCHITECT. CONTRACTOR OR SUBCONTRACTORS SHALL OBTAIN CLARIFICATION BEFORE PROCEEDING WITH ANY WORK IN QUESTION. CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS TO CORRECT WORK NOT CLARIFIED.
- SUBCONTRACTORS WILL BE RESPONSIBLE FOR PROPER STORAGE OF MATERIALS, TOOLS, AND EQUIPMENT. MATERIALS SHALL BE PROTECTED FROM THE WEATHER AND SHALL BE STORED OFF THE GROUND FOR PROTECTIONS AGAINST STANDING WATER OR SNOW AS NECESSARY.
- ALL BUILDING MATERIALS SHALL BE OF GOOD QUALITY, GRADE, FINISH AND COLOR SPECIFIED.
- SUBCONTRACTORS SHALL VERIFY LOCATION OF ALL GAS, ELECTRIC, SEWER, AND WATER LINES BEFORE TRENCHING OR EXCAVATING. ALL UTILITIES SHALL BE RUN UNDERGROUND.
- APPLIANCES, EQUIPMENT AND SYSTEMS SHALL BE CONNECTED AND IN PERFECT OPERATING CONDITION.

THE FOLLOWING SPECIAL PROJECT PROCEDURES MUST BE OBEYED AT ALL TIMES:
- SMOKING IS PROHIBITED WITHIN OR NEAR ANY STRUCTURE ON THE JOB SITE
- THE USE OF GAS-GENERATED MACHINERY AND GAS- OR KEROSENE FIRED HEATERS IS PROHIBITED WITHIN OR NEAR THE BUILDING
- NO CHEMICALS, OTHER THAN THOSE SPECIFIED, MAY BE USED ON THE JOB SITE WITHOUT PRIOR APPROVAL BY THE ARCHITECT OR OWNER
- ALL MATERIALS ARE TO BE PROTECTED FROM CONTAMINATION AND MOISTURE DAMAGE DURING STORAGE AND AFTER INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN A QUALITY CONTROL PROGRAM THAT ENSURES FULL PROTECTION OF WORK AGAINST EXPOSURE TO PROHIBITED MATERIALS AND PRACTICES.
- EXCEPT AS OTHERWISE APPROVED BY THE ARCHITECT, THE CONTRACTOR SHALL DETERMINE AND COMPLY WITH THE MANUFACTURER'S RECOMMENDATIONS ON PRODUCT HANDLING, STORAGE, INSTALLATION AND PROTECTION.
- THE CONTRACTOR SHALL VERIFY THAT, PRIOR TO INSTALLATION, ALL MATERIALS ARE UNDAMAGED, UNCONTAMINATED, AND FREE OF ACQUIRED ODORS. ANY PRODUCTS FOUND TO BE DEFECTIVE SHALL NOT BE USED UNLESS APPROVED BY THE ARCHITECT.
- THE USE OF COMPOSITE WOOD PRODUCTS CONTAINING UREA-FORMALDEHYDE BINDERS IS PROHIBITED.

THE USE OF SUBSTANCES LISTED BELOW IS PROHIBITED:
- HERBICIDES, FUNGICIDES, INSECTICIDES, AND OTHER PESTICIDES, EXCEPT AS SPECIFIED.
- COMPOSITE WOOD PRODUCTS CONTAINING UREA-FORMALDEHYDE BINDERS
- COMMERCIAL CLEANING PRODUCTS OTHER THAN THOSE SPECIFIED
- ADHESIVES, PAINTS, SEALERS, STAINS, AND OTHER FINISHES EXCEPT AS SPECIFIED
- ANY BUILDING MATERIALS CONTAMINATED BY MOLD OR MILDEW
- ANY BUILDING MATERIALS OR COMPONENTS THAT HAVE BEEN CONTAMINATED WHILE IN STORAGE OR DURING SHIPMENT.

CONTRACT DOCUMENTS

THESE CONSIST OF THE DRAWINGS, SPECIFICATIONS, ADDENDA AND OTHER DOCUMENTS LISTED IN THE CONTRACT BETWEEN OWNER AND CONTRACTOR. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, SUBCONTRACTORS AND MATERIAL SUPPLIERS TO CAREFULLY EXAMINE EACH PAGE OF THE DRAWINGS AND SPECIFICATIONS. COMPLETE DOCUMENTS SHALL BE USED IN PREPARING BIDS. CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IF THE DRAWINGS AND SPECIFICATIONS ARE OBSERVED TO BE AT VARIANCE.

THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY.

SITE VISITS

THE CONTRACTOR AND SUB-CONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH LOCAL CONDITIONS PRIOR TO BIDDING.

SUPERVISION

CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS/HER BEST SKILL AND ATTENTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL PORTIONS OF THE WORK.

INDEMNITY

TO THE FULLEST EXTEND PERMITTED BY LAW, CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS OWNER, ARCHITECT, ARCHITECT'S CONSULTANTS, AND AGENT S AND EMPLOYEES OF ANY OF THEM FROM AND AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM PERFORMANCE OF THE WORK.

SUBMITTALS

SUBMIT SAMPLES TO ILLUSTRATE FUNCTIONAL AND AESTHETIC CHARACTERISTICS OF PRODUCTS. SUBMIT SAMPLES TO ILLUSTRATE COLORS, TEXTURES AND PATTERNS, FOR ARCHITECT'S SELECTION.

CONTRACTOR SHALL REVIEW, APPROVE AND SUBMIT TO ARCHITECT, SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS REQUIRED BY CONTRACT DOCUMENTS, WITH REASONABLE PROMPTNESS. WORK SHALL BE IN ACCORDANCE WITH APPROVED SUBMITTALS. WHEN PROFESSIONAL CERTIFICATION OF PERFORMANCE CRITERIA OF MATERIALS, SYSTEMS OR EQUIPMENT IS REQUIRED BY THE CONTRACT DOCUMENTS, THE OWNER SHALL BE ENTITLED TO RELY UPON ACCURACY AND COMPLETENESS OF SUCH CERTIFICATIONS.

THE FOLLOWING IS TO BE FORWARDED TO THE OWNER AT TIME OF CLOSEOUT:
- MANUFACTURER'S WARRANTEES APPLYING TO ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE BUILDING.
- EMERGENCY INSTRUCTIONS
- MAINTENANCE MANUALS
- SPARE PARTS OR LIST OF SPARE PARTS

PROTECTION OF WORK

WORK SHALL INCLUDE PROVIDING ALL FORMS OF PROTECTION AS NECESSARY TO PRESERVE THE WORK OF OTHER TRADES, FREE FRO DAMAGE. ALL TRADES SHALL PROTECT THEIR OWN WORK TO PREVENT DAMAGE BY OTHERS DURING COURSE OF CONSTRUCTION. FINISH SURFACES SHALL BE PROPERLY PROTECTED AT TIME OF INSTALLATION.

BUILDING LAYOUT AND ORIENTATION

FINAL ORIENTATION AND POSITIONING OF THE BUILDING ON THE SITE AND ESTABLISHMENT OF FLOOR LEVEL BENCHMARK SHALL BE REVIEWED BY THE ARCHITECT.

MEASUREMENTS

CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS PRIOR TO CONSTRUCTION. BEFORE ORDERING ANY MATERIAL OR STARTING ANY WORK, WHICH MAY BE AFFECTED BY ADJACENT WORK OF OTHERS, CONTRACTOR SHALL VERIFY MEASUREMENTS AT BUILDING AND BE RESPONSIBLE FOR CORRECTNESS OF THESE MEASUREMENTS.

DRAWINGS SHALL NOT BE SCALED. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. WINDOWS, CABINETS, AND ALL SHOP BUILT ITEMS SHALL BE FIELD MEASURED PRIOR TO FABRICATION AND INSTALLATION. FINAL LOCATIONS OF SWITCHES, FIXTURES, GRILLES, COVERS, ETC. SHALL BE DETERMINED ON JOB. VERIFY EXACT LOCATIONS WITH ARCHITECT BEFORE ROUGH IN.

WORKMANSHIP

WORKMANSHIP SHALL CONFORM TO BEST STANDARDS AND HIGHEST QUALITY OF TRADES AND SHALL INCLUDE ALL ITEMS OF FABRICATION, CONSTRUCTION AND INSTALLATION. WHEN COMPLETED, ALL PARTS SHALL BE DURABLY AND SUBSTANTIALLY BUILT AND SHALL PRESENT A NEAT WORKMAN-LIKE APPEARANCE.

INSTALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PUBLISHED INSTRUCTIONS AND RECOMMENDATIONS.

SUBSTITUTION

SPECIFIED MATERIALS ESTABLISH A STANDARD OF QUALITY. REQUESTS MAY BE MADE FOR SUBSTITUTIONS IN WRITING TO THE ARCHITECT. A SUBCONTRACTOR OFFERING A SUBSTITUTION SHALL ACCEPT RESPONSIBILITY FOR SUCCESSFUL INCORPORATION INTO PROJECT, ITS COSTS AND EFFECT ON RELATED TRADES, AND ANY INCURRED DELAYS OR DAMAGES.
- NO PRODUCTS MAY BE SUBSTITUTED FOR THE SPECIFIED PRODUCT UNLESS AGREED UPON IN WRITING BY THE ARCHITECT
- SUBSTITUTION RECOMMENDATIONS SHALL BE MADE IN A TIMELY MANNER AS TO NOT INTERFERE WITH THE PROJECT SCHEDULE, AND ALLOW THE ARCHITECT DUE TIME FOR CONSIDERATION.
- SUBSTITUTIONS MADE WITHOUT PRIOR WRITTEN APPROVAL MAY BE REJECTED, AT WHICH TIME THE COST OF REPLACEMENT OF SUCH MATERIAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO PENALTY OF TIME TO THE PROJECT.
- AN MSDS AND PRODUCT LITERATURE MUST BE PROVIDED ON ANY SUBSTITUTION IN ORDER FOR IT TO BE CONSIDERED.
- SUBMIT A PHYSICAL SAMPLE TO THE ARCHITECT WHENEVER POSSIBLE.

LICENSING

CONTRACTORS SHALL COMPLY WITH STATE, COUNTY AND CITY CONTRACTOR'S LICENSE LAW, AND BE DULY REGISTERED, LICENSED AND BONDED THERE UNDER. CONTRACTORS SHALL COMPLY WITH THE PROVISIONS OF REGULATIONS APPLICABLE TO THE WORK.

INSURANCE

THE CONTRACTOR SHALL PROVIDE LIABILITY, PROPERTY DAMAGE, AND WORKMAN'S COMPENSATION INSURANCE IN FULL UNTIL COMPLETION ON THE WORK. EVIDENCE OF INSURANCE SHALL BE FURNISHED TO THE OWNER BY THE INSURANCE COMPANY UPON REQUEST.

CONTRACTOR SHALL INSTITUTE AND MAINTAIN SAFETY PROGRAMS FOR THE DURATION OF THE JOB, WHICH CONFORM TO THE REQUIREMENTS OF THE NATIONAL CONSTRUCTION SAFETY ACT AND APPLICABLE STATE SAFETY REGULATIONS. CONTRACTOR SHALL INDEMNIFY OWNER AND ARCHITECT AND HOLD THEM HARMLESS FROM ALL CLAIMS, DAMAGE, LOSS, COSTS OR EXPENSE THAT MAY BE SUFFERED BY OR ASSERTED ON ACCOUNT OF INJURY TO OR DEATH OF ANY PERSON OR PERSONS AND LOSS OF OR DAMAGE TO PROPERTY WHICH MAY RESULT DIRECTLY OR INDIRECTLY FROM ANY ACT OR OMISSION OF CONTRACTOR OR SUBCONTRACTOR.

CLEANING

CONTRACTOR SHALL PROVIDE FOR JOBSITE CLEANUP. CLEAN AND REMOVE CONSTRUCTION DEBRIS FROM THE SITE ON A DAILY BASIS; DEBRIS SHALL BE REMOVED FROM UNDER AND AROUND THE BUILDING PREMISES AND PROPERLY DISPOSED SO THAT PILES OF DEBRIS DO NOT ACCUMULATE ON THE GROUND. UPON JOB COMPLETION, THE CONTRACTOR IS TO SWEEP THE SITE OF NAILS AND ALL OTHER CONSTRUCTION DEBRIS.
REMOVE AND DISPOSE OF WASTE MATERIALS IN COMPLIANCE WITH FEDERAL AND LOCAL ORDINANCES. AT ALL TIMES BUILDING SITES SHALL BE KEPT IN NEAT ORDERLY APPEARANCE. REMOVE EXCESS MATERIAL AND RUBBISH AS REQUIRED.
BUILDING INTERIOR SHALL BE BROOM SWEPT PRIOR TO PAINTING. PROFESSIONAL CLEANERS SHALL ACCOMPLISH FINAL CLEANING.

WASTE MANAGEMENT

SORT AND RECYCLE JOB SITE DEBRIS TO THE FULLEST EXTENT POSSIBLE INCLUDING: CONCRETE, STEEL, WOOD, AND GYPSUM PLASTER.
RECYCLING RESOURCES:
GENERAL: METRO WASTE 801-990-1842, SALT LAKE COUNTY HOTLINE 801-974-6902, BFI 801-972-6902 OR 801-972-4234
WOOD: SOUTH VALLEY WATER RECLAMATION, CONTACT WILLIE 801-569-2918 OR CRAIG 801-566-7711. WHEN APPLICABLE STOCK PILE ALL WOOD SCRAPS USABLE FOR FIREWOOD AT LOCATION DESIGNATED BY OWNER.
CONCRETE: HANK REGULSKI 801-430-3829, CPC- PETE JONES 801-526-6108 OR BOYD NELSON 801-526-6109, ROB BROWN 801-322-1331, CONSTRUCTION RECYCLING 801-973-4626
METAL: INTERMOUNTAIN- FRANK 801-973-8787
MISCELLANEOUS SALVAGE: COMMUNITY BUILDERS EXCHANGE 435-654-7440

SCOPE OF WORK

NEW CONSTRUCTION OF 4800 SF OF FINISHED NEW SINGLE FAMILY RESIDENCE
DESIGN AND INSTALLATION OF AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, IN ACCODANCE WITH SECTION P2904 or NFPA 13D
SITE WORK, DRIVEWAY GRADING, RETAINING WALLS

INSPECTIONS:

PER IBC 2012 TABLE 1704.3 & 1704.4 - SEE STRUCTURAL

SHOP DRAWINGS:

REQUIRED FOR REVIEW BY CONTRACTOR AND ARCHITECT PRIOR TO MANUFACTURE:
1. STRUCTURAL STEEL FABRICATIONS
2. WINDOW, DOORS & HARDWARE
3. CUSTOM OFF SITE FABRICATIONS
4. CONCRETE
5. STANDING SEAM FACADE AND ROOF PANELS
6. MILLWORK
7. RADIANT HEAT & GAS PIPING SCHEMATIC
8. LIGHTING & PLUMBING FIXTURES
9. AUTOMATIC FIRE SPRINKLER SYSTEM
10. ELEVATOR

ON SITE MOCKUPS:

CONTRACTOR TO PROVIDE A FULL SIZE REPRESENTATION OF THE FOLLOWING ASSEMBLIES/FINISHES FOR OWNER AND ARCHITECT APPROVAL:

1. MOCKUP OF ROOF TO WALL TRANSITION OF STANDING SEAM PANELS (SEE DETAIL 1/A5.1)

2. MOCKUP OF EXTERIOR EDGE CONDITION @ WOOD SIDING TO METAL PANELS (SEE DETAIL 8/A5.1)

ABBREVIATIONS

ABV	ABOVE
A.C	AIR CONDITIONING
ADJ	ADJUSTABLE
A.F.F.	ABOVE FINISHED FLOOR
ARCH	ARCHITECT(URAL)
AVG	AVERAGE
BDRM	BEDROOM
BM	BEAM
BRG	BEARING
BSMT	BASEMENT
CAB	CABINET
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
COL	COLUMN
COMB	COMBINATION, COMBUSTION
CONC	CONCRETE
COND	CONDENSER, CONDUIT
CONT	CONTINUOUS
CONST	CONSTRUCTION
CNR	CORNER
DEMO	DEMOLITION
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DN	DOWN
DTL	DETAIL
DWG	DRAWING
ELEC	ELECTRICAL
ELEV	ELEVATION
ENG	ENGINEER
EQ	EQUAL
EXT ELEV	EXTERIOR ELEVATION
FD	FLOOR DRAIN
FIN	FINISH(ED)
FIN SCHED	FINISH SCHEDULE
FLR	FLOOR
FLR PLAN	FLOOR PLAN
FP	FIREPLACE
FTG	FOOTING
FUR	FURRED
GFCI	GROUND FAULT CIRCUIT INTERUPTER
GL	GLASS
GL BLK	GLASS BLOCK
GYP	GYPSUM
GYP BD	GYPSUM BOARD
HB	HOSE BIB

HDR	HEADER
HVAC	HEATING VENTILATION AND AIR CONDITIONING
HW	HOT WATER
HWH	HOT WATER HEATER
HWS	HOT WATER SUPPLY
INFO	INFORMATION
INSUL	INSULATION
INT ELEV	INTERIOR ELEVATION
J-BOX	JUNCTION BOX
LAV	LAVATORY
MAINT	MAINTENANCE
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MTD	MOUNTED
MTL	MATERIAL
NAT	NATURAL
N.T.S	NOT TO SCALE
O.A	OVERALL
O.C.	ON CENTER
PKG	PARKING
PLUMB	PLUMBING
PLYWD	PLYWOOD
QTY	QUANTITY
REF CLG	RFLECTED CEILING
REQ'D	REQUIRED
ROW	RIGHT OF WAY
R&S	ROD AND SHELF
RS	ROUGH SAWN
SALV	SALVAGE
SCHED	SCHEDULES
SECT	SECTIONS
SHT	SHEET
SPECS	SPECIFICATIONS
SQ.FT	SQUARE FEET
STL	STEEL
STRUCT	STRUCTURAL
TEMP	TEMPERED
T&G	TONGUE AND GROOVE
TO	TOP OF
TYP	TYPICAL
UNFIN	UNFINISHED
U.N.O	UNLESS NOTED OTHERWISE
VERT	VERTICAL
WAINS	WAINSCOT
WD	WOOD
WP	WATERPROOF

LEED CERTIFICATION

GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTRUCTION RELATED ITEMS NECESSARY TO ACHIEVE LEED CERTIFICATION. THIS IS TO INCLUDE REQUIREMENTS DESCRIBED IN "LEED FOR HOMES RATING SYSTEM" AND THESE DRAWINGS.

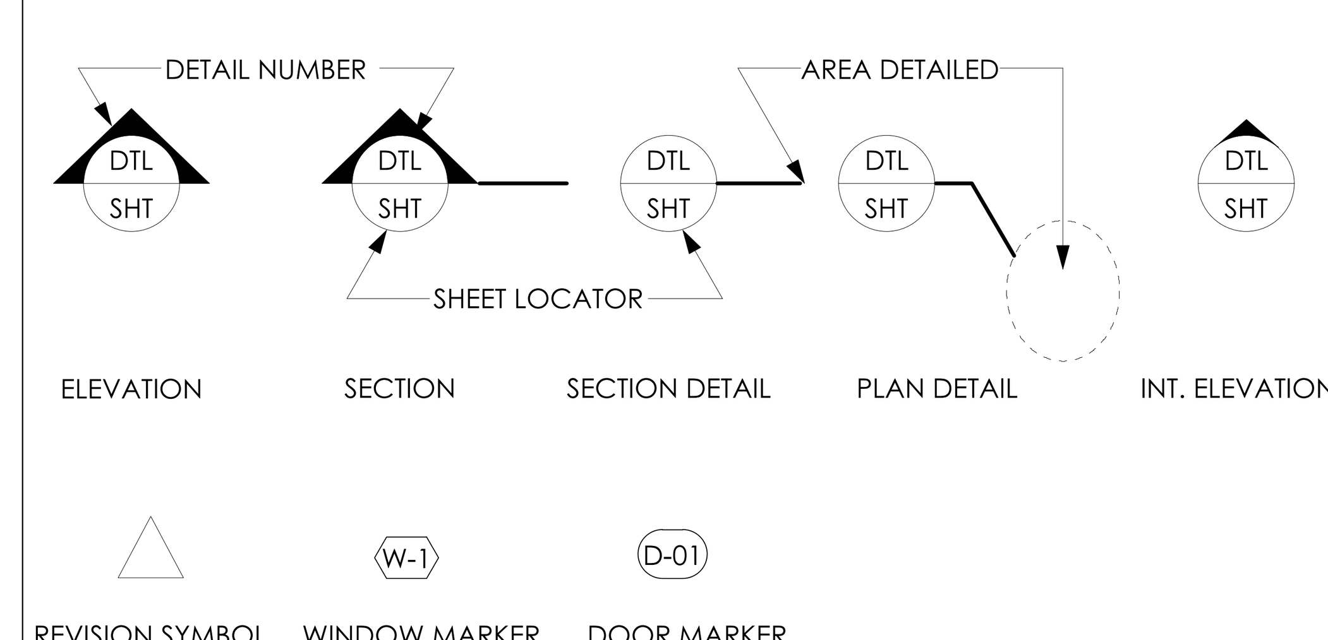
GENERAL CONTRACTOR IS RESPONSIBLE FOR UPLOADING CONSTRUCTION RELATED LEED DOCUMENTATION TO LEED ONLINE. GO TO www.usgbc.org TO DOWNLOAD COMPLETE RATING SYSTEM

GENERAL CONTRACTOR TO BE AWARE OF LEED POINT STATUS THROUGHOUT CONSTRUCTION AND MAY PROPOSE MEANS TO MAINTAIN OR INCREASE CERTIFICATION STATUS AT ANY TIME AT NO ADDED COST TO THE PROJECT.

CREDITS ARE REQUIRED TO BE MANAGED AND SUBMITTED BY GENERAL CONTRACTOR. REFER TO SPECIFICATIONS FOR LEED REQUIREMENTS AND CHECKLIST.

THIS PROJECT IS TO ATTAIN LEED SILVER CERTIFICATION MINIMUM.

SYMBOLS



INDEX OF DRAWINGS

CODE ANALYSIS

INTERNATIONAL RESIDENTIAL CODE 2012
NATIONAL ELECTRICAL CODE 2011
INTERNATIONAL PLUMBING CODE 2012
INTERNATIONAL MECHANICAL CODE 2012
INTERNATIONAL ENERGY CONSERVATION CODE 2009
INTERNATIONAL FUEL GAS CODE 2012
AMERICANS WITH DISABILITIES ACT OF 2009

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SUMMIT 27 - FALCONE RESIDENCE
7947 EAST HEARTWOOD DRIVE
WEBER COUNTY, UTAH

DATE

13 MAY 2015

REVISIONS

TITLE SHEET

T1.0

GENERAL PROJECT NOTES

STRUCTURAL STEEL

1. SPECIAL INSPECTION IS REQUIRED FOR FIELD WELDING AND HIGH STRENGTH BOLTING.
2. COLLECT METAL CUTOFFS AND SCRAP AND PLACE IN DESIGNATED AREA FOR RECYCLING.
3. USE HIGHEST RECYCLED CONTENT STEEL AVAILABLE.
4. SEE STRUCTURAL DRAWINGS FOR INSPECTION REQUIREMENTS AND ADDITIONAL INFORMATION

CONCRETE

1. NO ADMIXTURES SHALL BE USED IN THE CONCRETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE NECESSARY CLIMATE PARAMETERS SO THAT REQUIRED STRENGTHS AND FINISHES ARE OBTAINED WITHOUT ADDITIVES. VERIFY WITH SUPPLIER THAT ALL CONCRETE IS FREE OF ADMIXTURES, INCLUDING AIR-ENTRAINMENT AND WATER-REDUCING AGENTS ACCELERANTS AND RETARDANTS.
2. ONLY CLEAN, NATURAL MINERAL AGGREGATES ARE ACCEPTABLE. THE FOLLOWING ARE UNACCEPTABLE AGGREGATES: CRUSHED BRICK, CRUSHED SANDSTONE, CRUSHED CONCRETE SLAG, CINDER, AND VOLCANIC MATERIAL (OTHER THAN PUMICE).
3. PROVIDE CONTINUOUS CAPILLARY BREAK ON TOP OF FOOTINGS WITH "TU-TUFF" #3 TO PREVENT MOISTURE MIGRATION INTO BASEMENT. PROVIDE GENEROUS SEALANT BEAD AROUND ALL REINFORCING AND OTHER PENETRATIONS.
4. STANDARD TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS (ACI 117-81) GENERAL BUILDING –CAST IN PLACE (REFER TO ACI 301 302 347) TOLERANCES APPLY TO CONCRETE DIMENSIONS AND LOCATIONS ONLY.
5. TO CONTROL CRACKING, PROVIDE CONSTRUCTION AND CONTROL JOINTS AS INDICATED OR REQUIRED, VERIFY LOCATION WITH ARCHITECT. NO AREA LARGER THAN 400 SQUARE FEET SHALL BE MADE IN A SINGLE POUR WITHOUT CONTROL JOINTS.
6. CURE WITH MOISTURE-RETAINING COVER OR MEMBRANE-FORMING CURING COMPOUND FOR SEVEN DAYS.
7. EXTERIOR SLABS: (DRIVEWAY, WALKS, PATIO, TERRACES): INTEGRALLY COLORED 4" CONCRETE SLAB OVER 4" BACKFILL. SUB-GRADE SHALL BE WELL DRAINED, UNIFORMLY GRADED, AND COMPACTED. PAVEMENT SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/4" PER FOOT. WOOD FLOAT FINISH, LIGHTLY BROOMED. SUBMIT COLOR SAMPLE FOR ARCHITECT'S APPROVAL.
8. CONCRETE FINISHES: NO ANILINE-BASED COLORING AGENTS ARE TO BE USED. USE ONLY HIGH-QUALITY MINERAL PIGMENTS SUCH AS CHROMIX ADMIXTURE AND LITHOCHROME COLOR HARDENER OR DAVIS COLORS. VERIFY WITH THE MANUFACTURER THAT THE SELECTED COLOR IS FREE OF CHROMIUM AND OTHER HEAVY METALS.
9. INTERIOR SLABS: MONOLITHIC, STEEL TROWEL TO A SMOOTH HARD FINISH.
10. FLY ASH ADDITIVE: FLY ASH, A BYPRODUCT OF COAL FIRE STEEL PROCESSING, MAY BE USED IN CONCRETE AS A PARTIAL SUBSTITUTE FOR CEMENT. THE USE OF FLY ASH IN THE MIX MAY INCREASE CONCRETE STRENGTH AND THEREBY REDUCE THE QUANTITY OF CONCRETE REQUIRED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING POTENTIAL USE OF FLY ASH WITH LOCAL SUPPLIERS AND STRUCTURAL ENGINEER.
11. THE USE OF PETROLEUM-BASED FORM OIL AS A RELEASE AGENT IS PROHIBITED. THE FOLLOWING ARE ACCEPTABLE FOR USE AS FORM RELEASE AGENTS: NON-RANCID VEGETABLE OIL OR AN ACCEPTABLE PAINT AS SPECIFIED IN FINISHES; BIO-FORM: A VERY LOW-ODOR, NONTOXIC, SPRAY-ON APPLICATION SPECIFICALLY DESIGNED AS A CONCRETE FORM RELEASE AGENT OR APPROVED EQUAL.
12. CONCRETE FLOOR SLABS, EXCEPT THOSE IN UNHEATED ACCESSORY STRUCTURES, SHALL HAVE A VAPOR RETARDER CONSISTING OF A 6 MIL (.006 INCH) POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE BASE COURSE OR THE PREPARED SUB-GRADE WHERE NO BASE COURSE EXISTS.
13. FOUNDATION VENTILATION: PROVIDE FOUNDATION VENT MANUFACTURED TO KEEP OUT CRITTERS AND INSECTS.
14. WATER SHALL BE OF POTABLE QUALITY, FREE OF TASTE, COLOR, ODOR AND IMPURITIES DETRIMENTAL TO CONCRETE.
15. NOTE ON FOUNDATION PLANS: FOR FOUNDATIONS REBAR INSPECTIONS FOR FOUNDATION WALLS OVER 8 FEET HIGH, FORMS ARE NOT TO BE INSTALLED ON ONE SIDE UNTIL AFTER THE REBAR HAS BEEN INSPECTED AND APPROVED.
16. CONCRETE SUBSURFACE PREPARATION: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT FOOTINGS BEAR ON VIRGIN SOIL OR ON PROPERLY COMPACTED FILL OF WELL DRAINING GRANULAR QUALITY, CAPABLE OF SUSTAINING BEARING PRESSURE ASSUMED BY STRUCTURAL ENGINEER. IF IN DOUBT, CONTRACTOR SHALL OBTAIN ASSISTANCE OF SOILS ENGINEER.
17. THE GRANULAR SUBBASE (6" MIN) UNDER SLAB-ON-GRADE TO BE FREE OF ORGANIC MATTER AND TO HAVE PARTICLE GRADING ON THE FOLLOWING LIMITS: PASS 1" MESH 100% PASS #4 SIEVE NOT OVER 5% PASS #200 SIEVE NOT OVER 1%.
18. PROVIDE SOIL COVER ABOVE FOOTING BEARING FOR FROST PROTECTION. ALL FOOTINGS SHOULD BE ADEQUATELY PROTECTED FROM FROST EXPOSURE DURING CONSTRUCTION. COORDINATE FROST DEPTH WITH STRUCTURAL AND SOILS REPORT INFORMATION.

HYDRAULIC DRIVE ELEVATOR

1. PROVIDE 90 DEGREE ENTRANCE/EXIT CAB CONFIGURATION PER PLANS.
2. 8'-0" CAB WITH UNFINISHED BIRCH CAB WALLS. UNFINISHED FLOOR PROVIDED FOR CONTRACTOR TO FINISH PER FINISH SCHEDULE.
3. 1:2 ROPED HYDRAULIC DRIVE SYSTEM; SUBMERGED MOTOR TWO SPEED VALVE AT 40 FPM, WITH 950 POUNDS LOAD CAPACITY
4. 3 STOP ELEVATOR
5. CLASSIC BLACK SCISSOR GATES, BLACK HALL STATIONS AND CONTROL PANEL, BLACK HANDRAIL
6. PROVIDE FLOOR SPECIFIC BATTERY LOWERING IN THE EVENT OF POWER OUTAGE. ELECTRICAL 208/230 VOLTS, SINGLE PHASE, 30 AMP, 60 HERTZ. A SEPARATE 120-VOLT CIRCUIT IS REQUIRED FOR CAB LIGHTING. PHONE LINE IS REQUIRED.
7. CONTROLS: FULLY AUTOMATIC AT CAR AND LANDINGS, CAB LIGHT SWITCH, EMERGENCY STOP SWITCH, EMERGENCY ALARM BUTTON, IN-USE INDICATOR AT LANDINGS. ELECTROMECHANICAL INTERLOCK AT EACH LANDINGS DOOR.
8. DOOR LOCKS PROVIDED AT EACH LANDINGS DOOR. CONTRACTOR TO COORDINATE PRE-DRILLED HOLES IN DOOR PANELS FOR DOOR LOCK INSTALLATION
9. PROVIDE SHOP DRAWINGS FOR APPROVAL BY OWNER/ARCHITECT

FINISH CARPENTRY

1. NO SHEETGOODS OR TRIM PIECES CONTAINING UREA-FORMALDEHYDE SHALL BE USED.
2. EXPOSED INTERIOR FINISH WOOD SHALL BE SOLID WOOD AND FINISHED WITH AN ACCEPTABLY LOW-VOC FINISH AS SPECIFIED IN FINISHES.
3. FASCIA, TRIM, TRELLIS, FENCING, DECKING, LATTICE AND MISCELLANEOUS MILLWORK CONSTRUCTED WITH DIMENSIONAL LUMBER SHALL BE OF ROT RESISTANT SPECIES SUCH AS REDWOOD, CEDAR, BLACK LOCUST, ELM, PACIFIC YEW, CHESTNUT, OR OTHER LOCALLY AVAILABLE, ROT RESISTANT SPECIES FROM CERTIFIED OR RECLAIMED SOURCES.
4. TRIM PIECES SHALL BE MILLED OF SOLID WOOD OR BE MADE OF FORMALDEHYDE-FREE COMPOSITES AS MANUFACTURED BY MEDITE, ROSEBURG, OR EQUAL.
5. WHERE SHEETGOODS ARE USED, CHOOSE ONE OF THE FOLLOWING: LOW-EMISSION BOARDS LISTED OR SUBMIT SUBSTITUTE FOR APPROVAL. ACCEPTABLE PRODUCTS: MEDEX OR MEDITE II MEDIUM-DENSITY FIBERBOARD MANUFACTURED WITHOUT FORMALDEHYDE. FORMALDEHYDE FREE PARTICLE BOARD. MEDITE HD AND MEDITE II - MEDITE CORPORATION (800) 676-3339 OR EQUAL; SKYBLEND FORMALDEHYDE FREE PARTICLEBOARD BY ROSEBURG (800)-245-1115 WWW.ROSEBURG.COM OR LUMBER PRODUCTS (801) 972-9393; WWW.LUMBERPRODUCTS.COM; PUREBOND FORMALDEHYDE-FREE PARTICLEBOARD BY COLUMBIA FOREST PRODUCTS (800)-547-1791 WWW.COLUMBIAFORESTPRODUCTS.COM; CERTIFIED PLYWOOD; CONFORM WITH 1.02 - ENVIRONMENTAL QUALITY ASSURANCE;
6. PROVIDE LABOR, MATERIALS, AND EQUIPMENT, NECESSARY TO FURNISH AND INSTALL ITEMS OF CABINET WORK OR MILLWORK AS INDICATED.
7. SUBMIT SHOP DRAWINGS AND SAMPLES OF WORK INCLUDING HARDWARE, WOOD SPECIES, AND FINISH FOR APPROVAL.
8. PROVIDE SAMPLES OF BOTH SOLID STOCK AND VENEER FOR ARCHITECT'S APPROVAL. WOODWORK MANUFACTURER SHALL FURNISH ITEMS OF HARDWARE FOR CABINETS.
9. HINGES: FULLY CONCEALED HINGE/CLOSERS FOR FRAMELESS BOX CONSTRUCTION (EURO-HINGE). SELF CLOSERS ON ALL DRAWERS AND DOORS.
10. THE FOLLOWING ARE ACCEPTABLE MATERIALS FOR VENEERS: FORMALDEHYDE-FREE WOOD SUCH AS SKYBLEND (WWW.ROSEBURG.COM) OR MEDITE II; PUREBOND FORMALDEHYDE-FREE VENEER-CORE HARDWOOD PLYWOOD WWW.COLUMBIAFORESTPRODUCTS.COM; BIOCOMPOSITE: SURFACING MATERIAL MADE FROM WASTE PAPER, SOYBEAN FLOUR, ALKALI SALTS. DOES NOT CONTAIN HAZARDOUS OR TOXIC SUBSTANCES. NOT SUITABLE FOR FOOD PREPARATION OR WET LOCATIONS. ENVIRON - PHENIX BIOCOMPOSITES, INC. WWW.ENVIRONBIOCOMPOSITES.COM OR EQUAL; HIGH PRESSURE LAMINATE: SHEET MATERIAL FORMED FROM MULTIPLE LAYERS OF KRAFT PAPERS SATURATED WITH PHENOLIC RESIN, A DECORATIVE LAYER CONTAINING COLORS AND PATTERNS, AND A THIN TOP SHEET SATURATED WITH MELAMINE RESIN, FUSED TOGETHER UNDER HIGH TEMPERATURE AND PRESSURE.

FINISHES

1. FINISHES: GYPSUM BOARD TO BE 1/2" TYPICAL AT WALLS AND 5/8" TYPICAL AT CEILINGS, SCREWED ON. DRYWALL TO BE TAPED, FILLED, AND SANDED SMOOTH. OUTSIDE CORNERS TO BE REINFORCED WITH CORNER BEADS. USE MOISTURE RESISTANT 1/2" WATER-RESISTANT GYP. BD. IN BATHS. ALL WALL CAVITIES SHALL BE THOROUGHLY VACUUMED AND FREE OF DEBRIS PRIOR TO INSTALLATION OF THE GYPBOARD. JOINT COMPOUND SHALL BE A POWDERED JOINT CEMENT AND TEXTURE COMPOUND SUCH AS MURCO M-100 HI-PRO OR APPROVED EQUAL THAT IS FORMULATED WITH INERT FILLERS AND WITHOUT FORMALDEHYDE OR PRESERVATIVES. IF RELATIVE HUMIDITY RISES ABOVE 55%, ELECTRIC DEHUMIDIFICATION SHOULD BE APPLIED UNTIL RELATIVE HUMIDITY REMAINS CONSISTENTLY BETWEEN 45% AND 55%. INTERIOR SURFACE TEMPERATURES SHALL REMAIN ABOVE 50 DEGREES. ALL DRYWALL SURFACES TO BE FINISHED SMOOTH. CAULK ALL DISSIMILAR MATERIALS. IN WET AREAS SUCH AS SHOWERS, TUBS SURROUNDS AND SINK COUNTERS, CEMENTATIONS BACKER BOARD SHALL BE USED. THE BACKER BOARD SHALL NOT HAVE PAPER BACKING. CEMROC, DUROCK, PERMABASE, OR APPROVED EQUAL MAY BE USED FOR THIS PURPOSE.
2. TILING: ALL TILE WORK SHALL BE INSTALLED ACCORDING TO THE TILE COUNCIL OF AMERICA, HANDBOOK FOR CERAMIC TILE INSTALLATION. TILE SHALL BE SET IN A THINSET CEMENT MORTAR BED. GROUT SHALL BE COLORED TO MATCH TILE. SUBMIT SAMPLES FOR ARCHITECTS APPROVAL. CERAMIC TILE ON WALLS TO BE INSTALLED USING DRY SET OR LATEX CEMENT MORTAR ON APPROPRIATE SUBSTRATA. CAULK FOR INTERIOR CERAMIC TILE USE TO BE DAP KWIK SEAL TUB AND TILE ALL-PURPOSE CAULK. CHOOSE TILES THAT ARE MANUFACTURED WITH RECYCLED CONTENT AND MANUFACTURED LOCALLY, WHEN POSSIBLE. POTENTIAL RECYCLED CONTENT MAY INCLUDE RECYCLED GLASS, OR PORCELAIN PAVERS, A BYPRODUCT OF FELDSPAR MINING. USE ONLY ADDITIVE-FREE PORTLAND CEMENT, CLEAN SAND, LIME WHERE REQUIRED, AND POTABLE WATER. THE FOLLOWING ARE ACCEPTABLE UNDERLAYMENTS FOR TILE: A CLEAN LEVEL CONCRETE SLAB OR GYPCRETE BASE THAT HAS BEEN FULLY CURED; EXTERIOR GRADE PLYWOOD THAT HAS BEEN AIRED OUT AND SEALED. USE ONLY WHERE A CEMENTATIONS UNDERLAYMENT IS AVAILABLE. THIS METHOD WILL REQUIRE MASTIC ADHESIVE AND IS NOT RECOMMENDED FOR AREAS THAT GET WET; TUBS AND SHOWERS WITH TILED WALLS REQUIRE PORTLAND CEMENT APPLICATION, FIBER CEMENT OR GLASS MAT GYPSUM BACKER, GREENBOARD IS NOT ALLOWED IN THIS APPLICATION (THIS SUBSTRATE IS REQUIRED AT TUB AND SHOWER AREAS.)
3. PAINT: PAINTING MATERIALS SHALL BE FROM ONE MANUFACTURER AS FAR AS POSSIBLE. APPLY AS PER MANUFACTURER'S DIRECTIONS. PAINT SHALL BE NO OR LOW-VOC (VOC LIMIT: 150G/L NON-FLAT, 50G/L FLAT) OR MEET GREEN SEAL PRODUCT SPECIFIC ENVIRONMENTAL REQUIREMENTS WWW.GREENSEAL.ORG. PROTECT WINDOWS AND OTHER SURFACES NOT TO BE PAINTED. BEFORE PAINTING PREPARE ALL SURFACES AS REQUIRED AND REPORT TO THE CONTRACTOR ANY DEFECTS, WHICH AFFECT A GOOD QUALITY. PAINTER SHALL LEAVE WITH THE OWNER AND ADDITIONAL 5 GALLONS OF EXTERIOR PAINT, 1 GALLON OF ANY OTHER PAINT USED AND 1 QUART OF STAIN. SURFACE PREPARATION SHALL MEET BEST STANDARDS OF PRACTICE FOR HIGH QUALITY WORK. CAULK AS REQUIRED TO OBTAIN FIRST CLASS WORK. PAINT AND STAIN: COLORS WILL BE SELECTED BY OWNER AND ARCHITECT. SAMPLES OF EACH FINISH AND COLOR SHALL BE SUBMITTED FOR APPROVAL.
4. INTERIOR SEALING STAINING OR PAINT OPTIONS OF ALL WINDOWS, DOORS, TRIM AND BASE REVEAL TO BE REVIEWED AND VERIFIED WITH OWNER AND ARCHITECT PRIOR TO BEGINNING WORK.
5. ALL INTERIOR WALL PAINT TO BE 2 COATS OF THE HIGHEST QUALITY PAINT, FREE OF RUNS AND DRIPS, WITH STRAIGHT CUTS. FIRST COAT OF PAINT TO BE A LOW-VOC PRIMER AS RECOMMENDED BY THE MANUFACTURER. IF NECESSARY A "BRUSH OUT" SAMPLE SHALL BE PROVIDED FOR OWNER'S REVIEW AND APPROVAL.
6. WOOD SIDING TO BE RECLAIMED WESTERN RED CEDAR, TONGUE AND GROOVE FLUSH JOINT (S2S), 1 X 6 A CLEAR NLGA para. 200b "A" FINISH, SMOOTH FACE. CONTRACTOR TO USE SPLITLESS FASTENERS DESIGNED FOR SIDING INSTALLATION. FASTENER LENGTH SHOULD BE ADEQUATE TO PROVIDE A MINIMUM PENETRATION OF 1-1/4" INTO SOLID WOOD.
7. WOOD SIDING TO BE PRIMED ON ALL SIDES WITH ONE COAT OF A WESTERN RED CEDAR STAIN BLOCKING PRIMER OR ONE FORMULATED FOR EXTRACTIVE BLEEDING. FINISH WITH TRANSPARENT STAIN TO INCLUDE: WATER REPELLANT; FUNGICIDE/MILDEWCIDE; PROTECTION AGAINST ULTRA VIOLET LIGHT. NEVER LET WESTERN RED CEDAR SIDING TO WEATHER FOR MORE THAN TWO WEEKS BEFORE STAINING. NEVER USE STEEL OR ANY 'FERROUS' METAL TOOL OR BRUSH.
8. DECKING TO BE RECLAIMED WESTERN RED CEDAR, 1 x 6 BOARDS, CUSTOM CLEAR. CONTRACTOR TO USE CORROSION RESISTANT BLIND FASTENING SYSTEM ON DECK.
9. DECK MATERIAL SHOULD NEVER BE ALLOWED TO WEATHER BEFORE FINISHING. DECK TO BE PRIMED ON ALL SIDES WITH ONE COAT OF A WESTERN RED CEDAR STAIN BLOCKING PRIMER OR ONE FORMULATED FOR EXTRACTIVE BLEEDING. FINISH WITH A PRODUCT SPECIFICALLY FORMUALTED TO WITHSTAND THE ABRASIVE EFFECTS OF FOOT TRAFFIC. DO NOT USE VARNISH OR OTHER TYPES OF FILM FORMING COATINGS.

MOTORIZED ROLLER SHADES

1. WINDOW SHADE SYSTEM SHALL BE A MOTORIZED ROLLER SYSTEM UTILIZING A HEAVY-DUTY METAL CLUTCH. THE SYSTEM MUST BE CAPABLE OF SMOOTHLY RISING AND LOWERING THE BLIND TO ANY DESIRED HEIGHT, AND MAINTAINING THAT HEIGHT WITH NO SLIPPAGE.
2. CLUTCH MUST NOT REQUIRE ANY ADJUSTMENT AFTER INSTALLATION. CLUTCH MAY BE MOUNTED IN EITHER END OF THE THE ROLLER TUBE.
3. ROLLER SHADE MOTORS SHALL BE BASED ON THE WHISPER HDC100Q AND HDC200Q CONTROL SYSTEM MANUFACTURED BY HUNTER DOUGLAS CONTRACT WINDOW COVERINGS OR APPROVED EQUAL.
4. DESIGN OF MOTOR CONTROL SYSTEM SHALL BE BASED ON THE WHIISPER Q CONTROL SYSTEM MANUFACTURED BY HUNTER DOUGLAS CONTRACT WINDOW COVERINGS, OR EQUAL.
5. MOTOR CONTROL SYSTEM MUST BE INTEGRATED INTO THE MOTOR UNIT ITSELF. EXTERNAL MOTOR CONTROL SYSTEMS THAT REQUIRE "HOME RUN" 110v LINE VOLTAGE WILL NOT BE ACCEPTED.
6. MOTOR CONTROL SYSTEM MUST PROVIDE BIDIRECTIONAL FEEDBACK, ALLOWING FOR TWO-WAY COMMUNICATION BETWEEN THE MOTOR WITH EMBEDDED INTERNAL MOTOR CONTROL SYSTEM AND IT'S POINT OF COMMUNICATION.
7. ROLLER SHADES TO BE E SCREEN WITH KOOLBLACK TECHNOLOGY FABRIC. PROVIDE BLACKOUT SHADES IN ADDITION TO SUNSHADE IN ALL BEDROOM AREAS.
8. PROVIDE ALL THE NECESSARY ACCESSORIES FOR A FULLY FUNCTIONING MOTORIZED ROLLER SHADE SYSTEM, INCLUDING BUT NOT LIMITED TO: ROLLER TUBE, HEAVY DUTY TUBE BEARING PLUG, BOTTOM BAR AND MOUNTING HARDWARE.
9. SHADES MEASUREMENTS SHALL BE ACCURATE TO WITHIN ± 1/8" OR AS RECOMMENDED IN WRITING BY THE MANUFACTURER.
10. FINISH SELECTED BY ARCHITECT FROM MANUFACTURER'S AVAILABLE CONTRACT COLORS.
11. FINISH HARDWARE COLOR TBD BY ARCHITECT.
12. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION ON SITE, APPROVAL OF MOUNTING SURFACES, INSTALLATION CONDITIONS AND FIELD MEASUREMENT FOR THIS WORK.
13. INSTALLATION SHALL COMPLY WITH MANUFACTURER'S SPECIFICATIONS, STANDARDS AND PROCEDURES AS DETAILED ON CONTRACT DRAWINGS.
14. ALL ROLLER SHADES TO BE CONCEALED IN CEILING SOFFIT PER PLANS.

ROUGH CARPENTRY

1. SEE STRUCTURAL NOTES, FRAMING NOTES AND NAILING SCHEDULE.
2. DIMENSIONAL OR ENGINEERED LUMBER FROM THIRD-PARTY CERTIFIED SUSTAINABLY-HARVESTED SOURCES USED FOR 100% OF THE FLOOR FRAMING, ROOF FRAMING, AND WALL FRAMING.
3. USE WOOD EITHER FROM A FSC CERTIFIED SUSTAINABLE FOREST OR SALVAGED LUMBER.
4. NON-STRUCTURAL ELEMENTS OF DECKING MATERIALS ≥50% RECYCLED BY CONTENT WEIGHT.
5. PROVIDE ADEQUATE BLOCKING FOR CABINETRY, SHELVING, TOWEL BARS, AND ACCESSORIES.
6. WOOD BEAM TO BE STRESS GRADED TRUSS JOIST, MICRO-LAMS, PARA-LAMS OR LOCAL SUSTAINABLE HARVESTED TIMBER, AS INDICATED ON STRUCTURAL DRAWINGS. USE WOOD I-JOIST FLOOR FRAMING MEMBERS TO REDUCE THE AMOUNT OF WOOD FIBER USED. INCORPORATION OF COMPOSITE WOOD MEMBERS ALSO MINIMIZES THE USE OF LARGE-DIAMETER LUMBER FORM OLD GROWTH FORESTS.
7. ALL BEAMS AND JOISTS NOT BEARING ON SUPPORTING MEMBERS SHALL BE FRAMED WITH "SIMPSON STRONG TIE" JOIST HANGERS OR EQUAL OR AS INDICATED BY STRUCTURAL PLAN.
8. WOOD SILLS IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE IMPREGNATED WITH PRESERVATIVE. PRESSURE TREATED WOOD SHALL CONTAIN NO ARSENIC, CHROMIUM AND ANY OTHER EPA LISTED HAZARDOUS COMPOUNDS. NO WOOD TREATED WITH CHROMEATED COPPER ARSENATE (CCA) OR AMMONIACAL COPPER ARSENATE (ACA) MAY BE USED ON THIS JOB. WOOD TREATED WITH ACQ (ALKALINE/COPPER/QUAT) IS ACCEPTABLE. (SEE ACQ PRESERVE IN RESOURCE LIST). USE "TIMBERSIL" AS AN ALT. TREATED PLATE.
9. THE USE OF SUBFLOORING MATERIALS SUCH AS INTERIOR GRADE PLYWOOD, PRESSBOARD, OR ORIENTED STRAND BOARD (OSB) CONTAINING UREA-FORMALDEHYDE GLUES IS PROHIBITED.
10. FASTENERS FOR PRESSURE-PRESERVATIVE TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. EXCEPTION: ONE-HALF INCH DIAMETER OR GREATER STEEL BOLTS. STAINLESS STEEL FASTENERS ARE REQUIRED FOR PERMANENT WOOD FOUNDATIONS BELOW GRADE AND ARE RECOMMENDED FOR USE WITH TREATED WOOD IN OTHER SEVERE EXTERIOR APPLICATIONS SUCH AS SWIMMING POOLS, SALT WATER EXPOSURE, ETC.
11. WOOD ADHESIVES MUST BE SOLVENT-FREE.
12. WOOD WASTE MANAGEMENT: SEPARATE THE FOLLOWING CATEGORIES FOR SALVAGE OR RE-USE ON SITE: SHEET MATERIALS LARGER THAN 2 SQUARE FEET; TRIM LONGER THAN 16" AND MULTIPLE OFF-CUTS OF ANY SIZE LARGER THAN 12".
13. SEPARATE TREATED, STAINED, PAINTED, OR CONTAMINATED WOOD FOR DISPOSAL AND PLACE IN DESIGNATED AREAS FOR HAZARDOUS MATERIALS.
14. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE.
15. THE TOPS OF HANDRAILS SHALL BE PLACED BETWEEN 34 INCHES AND 38 INCHES ABOVE THE NOSING OF THE TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF THE HANDRAILS SHALL NOT BE LESS THAN 1-1/4 INCHES NOR MORE THAN 2-5/8 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5 INCHES BETWEEN THE WALL AND THE HANDRAIL.
16. ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND STAIRS, BALCONIES AND PORCHES MORE THAN 30 INCHES ABOVE GRADE, AND ROOFS USED FOR OTHER THAN SERVICE OF THE BUILDING SHALL BE PROTECTED BY A GUARDRAIL. GUARDRAILS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT NO SPHERE 4 INCHES IN DIAMETER CAN PASS THROUGH.
17. STAIR TREAD NOSING: THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16 INCH. A NOSING LOT LESS THAN 3/4 INCH BUT NOT MORE THAN 1 1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSING SHALL NOT EXCEED 1/2 INCH. RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERICAL. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4-INCH DIAMETER SPHERE. NOTE: A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 10 INCHES; THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30 INCHES OR LESS. THIS MEANS THAT CONCRETE STAIRS, WITHOUT NOSINGS, MUST HAVE A TREAD DEPTH OF 10 INCHES.
18. NO WOOD SHALL BE NEARER THAN 12 INCHES TO EARTH UNLESS SEPARATED BY CONCRETE AT LEAST 3 INCHES IN THICKNESS WITH AN IMPERVIOUS MEMBRANE INSTALLED BETWEEN THE EARTH AND THE CONCRETE. THIS INCLUDES DECK AND SIDING.
19. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND FURRING WALLS MUST BE PRESERVATIVE TREATED OR FOUNDATION-GRADE REDWOOD.

THERMAL & MOISTURE PROTECTION

1. CEMENTITIOUS DAMP-PROOFING/WATERPROOFING MATERIALS "XYPEX": NONTOXIC, ZERO-VOC, TREATMENT FOR THE PROTECTION AND WATERPROOFING OF POURED CONCRETE; "THOROSEAL" FOUNDATION COATING: CEMENTITIOUS WATERPROOFING FOR CONCRETE AND CMU; FLUID-APPLIED DAMP-PROOFING "AFM SAFECOAT" DYNOSEAL: FLEXIBLE VAPOR-PROOF BARRIER; "AFM SAFECOAT" DYNOFLEX: TOPCOAT FOR USE OVER DYNOSEAL; "RUB-R-WALL": ASPHALT FREE FOUNDATION WATERPROOFING MEMBRANE FOR VARIOUS FOUNDATION APPLICATIONS.
2. THE ROOFING CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING METAL FLASHING AS REQUIRED OR INDICATED ON DRAWINGS.
3. ROOF VENTS SHALL BE PROVIDED BY ROOFING CONTRACTOR AS REQUIRED OR AS INDICATED ON THE DRAWINGS.
4. INSULATION SHALL BE INSTALLED IN FULL CONTACT WITH SEALED INTERIOR AND EXTERIOR AIR BARRIER
5. INSULATION QUALITY CONTROL: HIGH QUALITY INSULATION IS CONFIRMED BY ONE OF THE FOLLOWING THREE METHODS (CHOSE ONLY ONE): CONTRACTOR IS CERTIFIED UNDER THE NAHB'S CERTIFIED INSTALLER PROGRAM (TYPE II INSTALLATION, PER NATIONAL HOME ENERGY RATING STANDARDS); INSULATION IS INSPECTED BY A THIRD-PARTY DURING DRYWALL INSPECTION (TYPE II INSTALLATION, PER NATIONAL HOME ENERGY RATING STANDARDS); BUILDER DEMONSTRATES IN-HOUSE INSPECTION PROCESS THROUGH VERIFIED DOCUMENTATION, OR OTHER EQUIVALENT CONTRACTOR CERTIFICATION PROGRAM.
6. INSULATION USED THROUGHOUT THE HOUSE SHALL MEET THE INDOOR AIR QUALITY STANDARDS OF GREENGUARD, SCS, CALIFORNIA 1350, OR BERKLEY LABS.
7. INSULATION USED THROUGHOUT THE HOUSE SHALL CONTAIN NO FORMALDEHYDE BINDERS.
8. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER RESISTIVE EXTERIOR WALL ENVELOPE. PROVIDE WEATHER-RESISTIVE BARRIER FLASHING DETAILS FOR WINDOWS, DOOR AND OTHER OPENINGS IN THE BUILDING ENVELOPE, INCLUDE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALSO PROVIDE FLASHING DETAILS FOR OVER DOORS, WINDOWS, SILLS, AT FOUNDATION AND OTHER LOCATIONS REQUIRING FLASHINGS.
9. FULLY INSULATE SMALL AREAS BETWEEN CLOSELY SPACED FRAMING MEMBERS. CUT AND FIT INSULATION MATERIALS AROUND PIPES, CONDUITS, OUTLET BOXES, ETC AS NECESSARY TO MAINTAIN THE INTEGRITY OF THE INSULATION. WHERE PIPES ARE INSTALLED IN SPACES TO RECEIVE INSULATION, PLACE INSULATION BETWEEN EXTERIOR WALL AND THE PIPE, FILLING VOIDS.
10. PROVIDE A RUBBERIZED MEMBRANE UNDERLAYMENT TO EXTEND FROM THE EAVE TO A POINT 3'-0" MINIMUM BEYOND THE INTERIOR WALL LINE. MEMBRANE UNDERLAYMENT SHOULD OVERLAP ADJACENT STRIPS OF UNDERLAYMENT SIX INCHES MINIMUM. ICE SHIELD TO BE 'PROTECTO-WRAP' AVAILABLE THROUGH W.J. WHITE OR 'ICE AND WATER SHIELD' AVAILABLE THROUGH GRACE.
11. VAPOR/AIR BARRIER INSTALLATION: AN AIR BARRIER SHALL BE APPLIED TO THE INSIDE FACE OF STUDS, JOISTS AND RAFTERS JUST PRIOR TO THE APPLICATION OF THE INTERIOR FINISH. AFTER APPLYING THE ACCEPTABLE AIR BARRIER (SEE BELOW) SEAL WITH SILICONE CAULK OR FOIL TAPE. STAPLE THE BARRIER IN PIECES THAT ARE AS LARGE AS POSSIBLE OVER THE INSULATION AND ATTACH THEM TO THE WINDOW AND DOORJAMBS WITH STAPLES AND APPROVED CAULK TO FORM A COMPLETE SEAL.
12. CAULK AT ALL WALL OPENINGS SUCH AS PLUMBING AND ELECTRICAL BOXES, SEAMS AND JOINTS. CAULK ALL ELECTRICAL BOXES AT THE HOLE WHERE THE WIRE COMES THROUGH OR ELSE PURCHASE GASKETED BOXES. APPROVED AIR BARRIERS INCLUDE: CROSS-TUFF; TU-TUF 3, OR TU-TUF 4; OR TYVEK HOME WRAP.
13. THE CONTRACTOR IS TO ENSURE THE BUILDING IS TO BE CONSTRUCTED AS AIRTIGHT AS POSSIBLE, AND THAT ALL PENETRATIONS AND VAPOR BARRIER WITHIN THE EXTERIOR WALLS AND ROOF CAVITIES ARE SEALED.
14. ALL VAPOR BARRIERS ARE TO BE 6 MIL. CROSS-LAMINATE POLY. INSTALL VAPOR BARRIER IN WIDEST SHEETS TO AVOID SPLICES AND OVERLAP. AT CEILINGS OVERLAP WALL VAPOR BARRIER. WHERE JOISTS MUST OCCUR, LAP AND ENSURE THAT POLY JOINTS OCCUR AT A FRAMING MEMBER OR OTHER SOLID BACKING. ALL SEAMS MUST BE SEALED WITH CONTRACTOR SHEATHING TAPE OR 3M SUPER POLY SPRAY ADHESIVE. SEAL VAPOR BARRIER TO SUBFLOOR WITH TREMCO ACOUSTICAL SEALANT. USE CROSS-LAMINATED POLY UNDER CONCRETE SLAB AND ALONG FOUNDATION WALLS TO FOOTINGS SEAL TO VERTICAL RIGID INSULATION AT WALLS WITH TREMCO ACOUSTICAL TREATMENT AT WINDOWS AND DOORS, SEAL VAPOR BARRIER TO TRIMMER STUDS OF WINDOWS AND DOORS WITH 3M SUPER POLY SPRAY ADHESIVE OR TREMCO ACOUSTICAL SEALANT.
15. PROVIDE A WEATHER-RESISTIVE BARRIER (SUCH AS "TYVEK") BENEATH THE EXTERIOR VENEER AS REQUIRED.
16. AFTER DOORS AND WINDOW ARE SET IN OPENING, FILL THE ROUGH OPENING JOINT BETWEEN THE TRIMMER STUD AND FRAME WITH HILTI NON-EXPANDING POLYURETHANE FOAM SEALANT OR EQUIVALENT.
17. TO SEAL THE CEILING VAPOR BARRIER TO AN INTERIOR WALL PARTITION, SPRAY 3M SUPER POLY SPRAY ADHESIVE TO INTERIOR PARTITION WALL TOP PLATE (EDGES) AND OVERLAP VAPOR BARRIER DOWN A MINIMUM OF 6". ALL OUTSIDE WALLS OF CEILING ELECTRICAL BOXES SHOULD BE SET WITHIN AN AIR/VAPOR BOX. TU-TUFF TO BE SEALED TO THESE BOXES WITH ACRYLIC LATEX ADHESIVE TAPE. ALL WIRE PENETRATIONS INTO INSULATED SPACES TO BE CAULKED WITH AN EXPANDING URETHANE CAULK.
18. ALL PLUMBING PENETRATIONS TO BE SEALED WITH A FLEXIBLE AIR/VAPOR BARRIER (RUBBER PLUMBING COLLAR CAULKED IN PLACE).
19. APPROVED CORROSION RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS: 1. AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1 1/8 IN OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING; JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL. 2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS. 3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS. 4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM. 5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. 6. AT WALL AND ROOF INTERSECTIONS. 7. AT BUILT-IN GUTTERS.
20. INSULATION TO HAVE NO GAPS, VOIDS OR COMPRESSION. BLOWN-IN INSULATION TO HAVE PROPER DENSITY WITH FIRM PACKING
21. ALL ATTIC PENETRATIONS AND DROPPED CEILINGS INCLUDE A FULL INTERIOR AIR BARRIER ALIGNED WITH INSULATION WITH ANY GAPS FULLY SEALED WITH CAULK, FOAM OR TAPE
22. CRAWL SPACE ACCESS PANEL TO BE FULLY GASKETED AND INSULATED TO R-VALUE OF ADJACENT WALL TYPE ASSEMBLY

FIRE PROTECTION

1. FIRE PROTECTIONS SPECIALTIES (SMOKE ALARMS) SHALL BE PROVIDED AS REQUIRED BY CODE.
2. INSTALL HARDWIRED CARBON MONOXIDE DETECTOR OUTSIDE MAIN SLEEPING AREAS THAT MEET THE CANADIAN STANDARDS ASSOCIATION'S "STANDARDS FOR RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" (CSA 6.19-01), OR LABORATORY UL 2034 OR EQUIVALENT.
3. DESIGN AND INSTALL AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, IN ACCORDANCE WITH SECTION P2904 OR NFPA 13D. ALL SPRINKLER WORK SHALL BE DONE BY A CERTIFIED SPRINKLER INSTALLER, WHO SHALL ALSO PREPARE ANY CERTIFIED PLANS OR DOCUMENTATION REQUIRED BY THE BUILDING OFFICIAL.

MEMBRANE ROOFING

1. ROOF MEMBRANE SHALL HAVE A "CLASS A" RATING FOR FIRE RESISTANCE.
2. EPDM ELASTOMERIC MEMBRANE ROOFING: EPDM LIQUID MEMBRANE ROOFING TO BE ENERGYSTAR QUALIFIED LIGHT COLORED SURFACE, LIGHT BEIGE OR SIMILAR. PROVIDE MATERIAL AND COLOR SAMPLE TO ARCHITECT FOR PRIOR APPROVAL.
3. SUBMITTALS: SHOP DRAWINGS OF TAPERED INSULATION. PROVIDE STANDARD MANUFACTURER'S WRITTEN WARRANTY, WITHOUT MONETARY LIMITATION, SIGNED BY ROOFING SYSTEM MANUFACTURER AGREEING TO PROMPTLY REPAIR LEAKS RESULTING FROM DEFECTS IN MATERIALS OR WORKMANSHIP FOR THE PERIOD OF 10 YEARS.
4. AUXILIARY MATERIALS: RECOMMENDED BY ROOFING SYSTEM MANUFACTURER FOR INTENDED USE AND AS FOLLOWS: SHEET FLASHING: 60-MIL- (1.5-MM-) THICK EPDM; SPLICE MATERIALS: [SINGLE-COMPONENT, BUTYL SPLICING ADHESIVE AND SOLVENT-BASED SPLICE CLEANER] [SYNTHETIC-RUBBER-POLYMER PRIMER AND 3-INCH- (75-MM-) WIDE MINIMUM, BUTYL SPLICE TAPE WITH RELEASE FILM]; THERMAL BARRIER: [ASTM C 36, TYPE X, GYPSUM WALL BOARD, 5/8 INCH (16 MM) THICK] [ASTM C 1177, TYPE X, GLASS-MAT, WATER-RESISTANT GYPSUM BOARD; 5/8 INCH (16 MM) THICK] [ASTM C 728, PERLITE, 1 INCH (25 MM) THICK].
5. AGGREGATE BALLAST: SMOOTH, WASHED, RIVERBED GRAVEL, [3/4 TO 1-1/2 INCHES (19 TO 38 MM)] [1-1/2 TO 2-1/2 INCHES (38 TO 63 MM)].
6. ROOFING INSULATION EXPANDED-POLYSTYRENE BOARD INSULATION: ASTM C 578, TYPE IV FABRICATE TAPERED INSULATION WITH SLOPE OF 1/4 INCH PER 12 INCHES (1:48), UNLESS OTHERWISE INDICATED.
7. INSTALLATION: SECURE THERMAL BARRIER WITH AT LEAST ONE FASTENER FOR EACH 4 SQ. FT. (0.38 SQ. M) AND AT LEAST TWO FASTENERS PER BOARD. MECHANICALLY FASTEN EACH LAYER OF INSULATION TO DECK WITH AT LEAST ONE FASTENER FOR EACH 4 SQ. FT. (0.38 SQ. M) AND AT LEAST TWO FASTENERS PER BOARD.
8. INSTALL MIN. 60-MIL EPDM OR TPO SHEET ACCORDING TO ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS AND AS FOLLOWS: ADHERED SHEET INSTALLATION: APPLY BONDING ADHESIVE TO SUBSTRATE AND UNDERSIDE OF SHEET AND ALLOW TO PARTIALLY DRY. DO NOT APPLY BONDING ADHESIVE TO SPLICE AREA OF SHEET; LOOSELY LAID AND BALLASTED SHEET INSTALLATION: MECHANICALLY FASTEN OR ADHERE PERIMETER OF SHEET ROOFING ACCORDING TO ANSI/RMA/SPRI RP-4; LOOSELY LAY REMAINDER. [APPLY AGGREGATE BALLAST AT NOT LESS THAN 13 LB/SQ. FT. (65 KG/SQ. M) AT CORNERS AND PERIMETER; 10 LB/SQ. FT. (50 KG/SQ. M) ELSEWHERE] [INSTALL CONCRETE-PAVER BALLAST].
9. SEAMS: [CLEAN SPLICES, APPLY SPLICING CEMENT,] [CLEAN AND PRIME SPLICES AREAS, APPLYING SPLICE TAPE,] AND FIRMLY ROLL SIDE AND END LAPS OF OVERLAPPING SHEETS. SEAL EXPOSED EDGES OF SHEET TERMINATIONS.
10. INSTALL SHEET FLASHINGS AND PREFORMED FLASHING ACCESSORIES AND ADHERE TO SUBSTRATES.
11. PROTECT ROOFING FROM DAMAGE AND WEAR DURING REMAINDER OF CONSTRUCTION PERIOD.
12. CORRECT DEFICIENCIES IN OR REMOVE AND REINSTALL ROOFING AND SHEET FLASHING THAT DOES NOT COMPLY WITH REQUIREMENTS.
13. EPDM OR TPO MEMBRANE TO INCLUDE A "SOLE SOURCE WARRANTY". THE ONLY ACCEPTABLE EXCLUSION FOR THE SOLE SOURCE WARRANTY IS THE PLANTINGS THEMSELVES.

BUILDING MANAGEMENT SYSTEM

1. THE AUTOMATIC CONTROL SYSTEM, OR BUILDING MANAGEMENT SYSTEM (BMS), WILL PROVIDE CONTROL AND MONITORING FOR THE SHELL AND CORE SERVICES. THE SYSTEM WILL BE A DIRECT DIGITAL CONTROL (DDC) TYPE WITH FULLY DISTRIBUTED INTELLIGENCE. THE SYSTEM SHALL BE CONFIGURED TO ALLOW FULL ACCESS VIA A WEB BROWSER AND BE EXPANDABLE TO OTHER SYSTEMS.
2. THE CONTROL SYSTEM WILL BE PROVIDED BY A SINGLE SUPPLIER WHO SHALL HAVE FULL RESPONSIBILITY FOR THE WORKS.
3. THE SYSTEM SHALL COMPRISE OF A NUMBER OF LOCAL CONTROL INSTRUMENTS AND INTELLIGENT OUTSTATIONS THAT CAN OPERATE INDEPENDENTLY OF OTHER PARTS OF THE PROJECTS.
4. BUILDING MANAGEMENT SYSTEM TO CONTROL SNOWMELT, RADIANT HEATING, LIGHTING AND SECURITY SYSTEM. WITH THE OPTION OF ADDING ADDTIONAL CONTROLS IN THE FUTURE.

APPLIANCES & ACCESSORIES

1. CONSULT OWNER FOR SPECIFICATIONS OF ALL APPLIANCES TO INCLUDE: DISPOSAL, DISHWASHER, COOK TOP, OVEN(S), MICROWAVE, REFRIGERATOR, WASHER/DRYER, HOOD AND WINE REFRIGERATOR.
2. CHOOSE ENERGY EFFICIENT OR "ENERGYSTAR" RATED APPLIANCES HTTP:/WWW.ENERGYSTAR.GOV/.
3. ALL GAS KITCHEN APPLIANCES ARE EQUIPPED WITH ELECTRONIC IGNITION.
4. TOILET AND BATH ACCESSORIES TO BE SELECTED BY OWNER AND ARCHITECT. INSTALL AS DIRECTED BY MANUFACTURER, PLUMB AND LEVEL, SECURELY ANCHORED. VERIFY EXACT LOCATION OF ACCESSORIES WITH ARCHITECT BEFORE INSTALLATION. ACCESSORIES SHALL INCLUDE MEDICINE CABINETS, TOWEL BARS, RINGS, HOOKS, PAPER TOWEL HOLDERS, AND SIMILAR ITEMS.
5. WARDROBE AND CLOSET SPECIALTIES TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.

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SUMMIT 27 - FALCONE RESIDENCE
7947 EAST HEARTWOOD DRIVE
WEBER COUNTY, UTAH

DATE

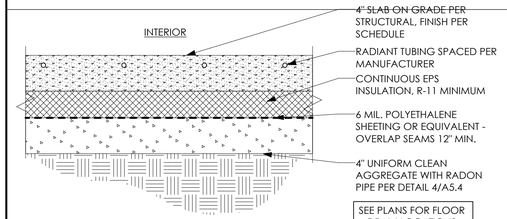
13 MAY 2015

REVISIONS

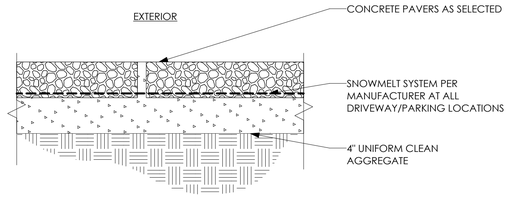
GENERAL NOTES

A0.0

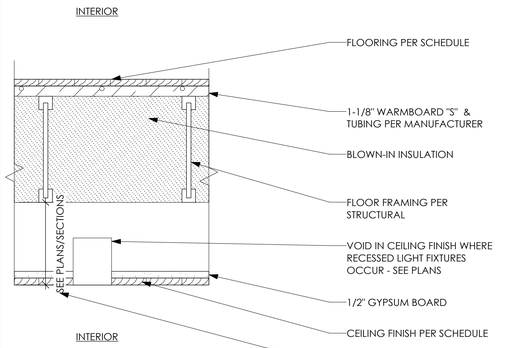
FLOOR TYPES:



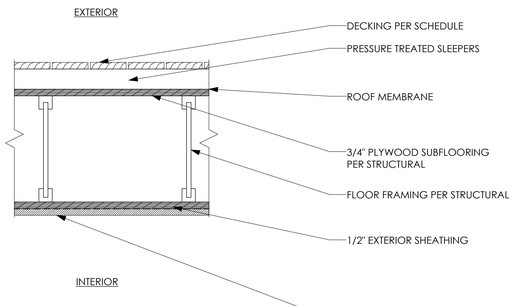
F1 **INTERIOR SLAB ON GRADE**



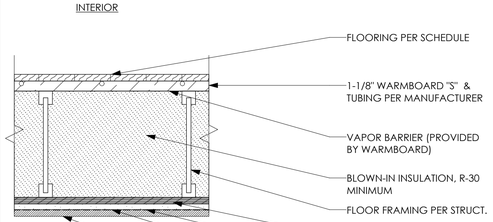
F5 **EXTERIOR SLAB ON GRADE**



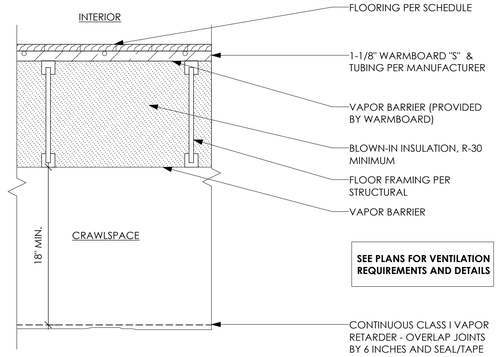
F2 **TYPICAL FLOOR/CEILING ASSEMBLY**



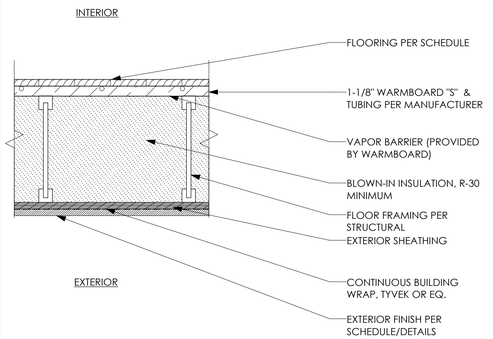
F6 **EXTERIOR ROOF DECK ASSEMBLY**



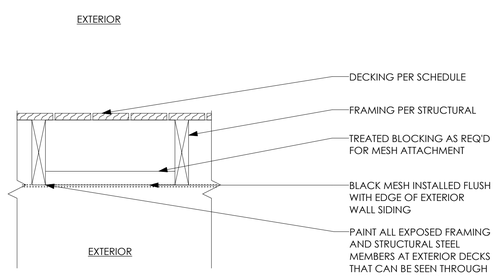
F3 **TYPICAL FLOOR OVER CARPORT**



F7 **TYPICAL FLOOR OVER CRAWL SPACE**

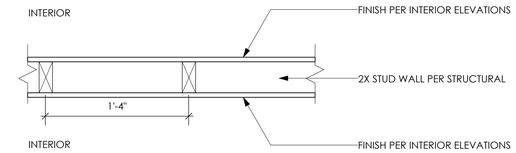


F4 **TYPICAL FLOOR OVER UNCONDITIONED SPACE**



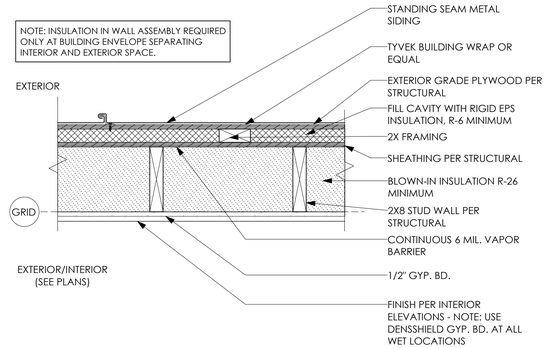
F8 **EXTERIOR DECK ASSEMBLY**

WALL TYPES:

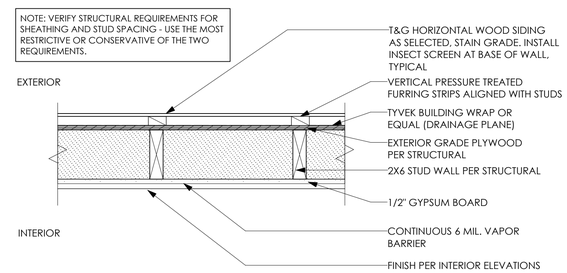


NOTE: VERIFY STRUCTURAL REQUIREMENTS FOR SHEATHING AND STUD SPACING - USE THE MOST RESTRICTIVE OR CONSERVATIVE OF THE TWO REQUIREMENTS.

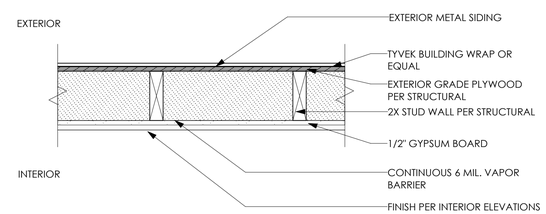
W1 **INTERIOR WALL**



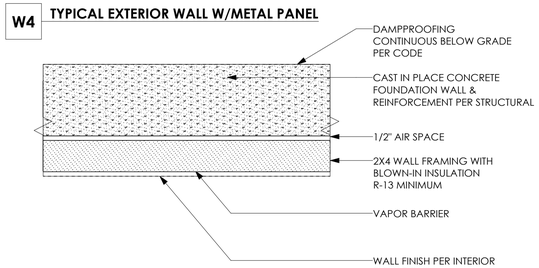
W2 **TYPICAL EXTERIOR WALL W/FACADE PANEL (R32 ASSEMBLY)**



W3 **TYPICAL EXTERIOR WALL W/WOOD SIDING**

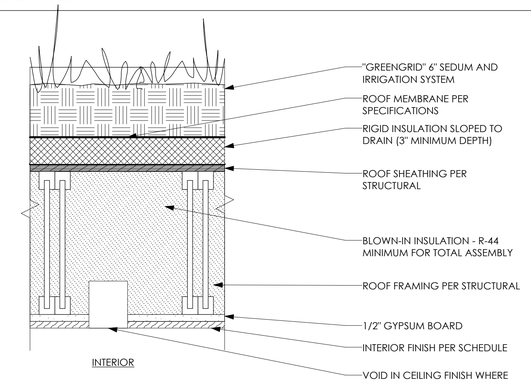


W4 **TYPICAL EXTERIOR WALL W/METAL PANEL**

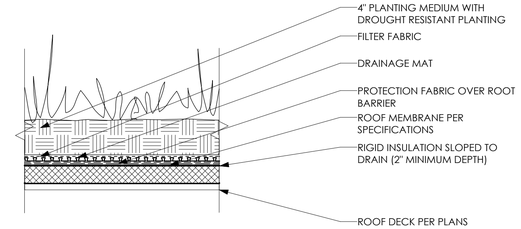


W5 **C.I.P. CONCRETE WALL W/STUD FRAMING**

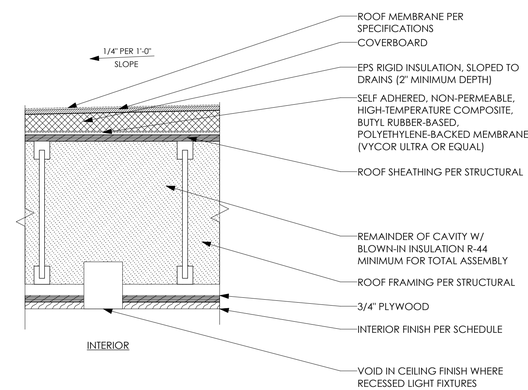
ROOF TYPES:



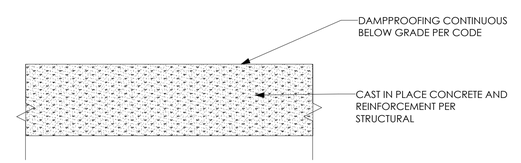
C1 **TYPICAL "GREENGRID" ROOF ASSEMBLY**



C2 **TYPICAL 4" PLANTED ROOF ASSEMBLY**



C3 **LOW SLOPE ROOF ASSEMBLY**



W6 **C.I.P. CONCRETE WALL**

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SUMMIT 27 - FALCONE RESIDENCE

7947 EAST HEARTWOOD DRIVE
WEBER COUNTY, UTAH

DATE
13 MAY 2015

REVISIONS

ASSEMBLY TYPES

A0.1

LEED for Homes Simplified Project Checklist

for Homes

Builder Name:	***Watts Enterprises***
Project Team Leader (if different):	***Angela Dean, AMD Architecture, LC***
Home Address (Street/City/State):	***, Eden, UT***

Project Description:

Building type: ***Single detached***
Project type: ***Custom***
# of bedrooms: ***5***
Floor area: ***4500***

Adjusted Certification Thresholds

Certified: ***57.0*** Gold: ***87.0***
Silver: ***72.0*** Platinum: ***102.0***

Project Point Total

Prelim: 80 + 14.5 maybe pts ***Final: 27.5***

Final Credit Category Total Points

ID: 0 ***SS: 5*** ***EA: 22.5*** ***EQ: 0***
LL: 0 ***WE: 0*** ***MR: 0*** ***AE: 0***

Certification Level

Prelim: Silver ***Final: Not Certified*** ***Minimum Point Thresholds Not Met for Final Rating***

date last updated :
last updated by :

				Max	Project Points Preliminary			Final
Innovation and Design Process (ID)		(No Minimum Points Required)		Max	Y/Pts	Maybe	No	Y/Pts
1. Integrated Project Planning	1.1	Preliminary Rating		Prereq	Y			Y
	1.2	Integrated Project Team		1	*1*	*0*		***0***
	1.3	Professional Credentialed with Respect to LEED for Homes		1	*1*	*0*		***0***
	1.4	Design Charrette		1	*1*	*0*		***0***
	1.5	Building Orientation for Solar Design		1	*1*	*0*		***0***
2. Durability Management Process	2.1	Durability Planning		Prereq	Y			
	2.2	Durability Management		Prereq	Y			
	2.3	Third-Party Durability Management Verification		3	*3*	*0*		***0***
3.Innovative or Regional Design	3.1	Innovation #1 _____		1	*1*	*1*		***0***
	3.2	Innovation #2 _____		1	*1*	*1*		***0***
	3.3	Innovation #3 _____		1	*1*	*1*		***0***
	3.4	Innovation #4 _____		1	*1*	*1*		***0***
		Sub-Total for ID Category:		***11***	*7*	*4*		***0***
Location and Linkages (LL)		(No Minimum Points Required)	*OR*	Max	Y/Pts	Maybe	No	Y/Pts
1. LEED ND	1	LEED for Neighborhood Development	***LL2-4***	10	*0*	*0*		***0***
2. Site Selection	2	Site Selection		2	*0*	*0*		***0***
3. Preferred Locations	3.1	Edge Development	***LL 3.2***	1	*0*	*0*		***0***
	3.2	Infill		2	*0*	*0*		***0***
	3.3	Previously Developed		1	*0*	*0*		***0***
4. Infrastructure	4	Existing Infrastructure		1	*1*	*0*		***0***
5. Community Resources/ Transit	5.1	Basic Community Resources / Transit	***LL 5.2, 5.3***	1	*0*	*0*		***0***
	5.2	Extensive Community Resources / Transit	***LL 5.3***	2	*0*	*0*		***0***
	5.3	Outstanding Community Resources / Transit		3	*0*	*0*		***0***
6. Access to Open Space	6	Access to Open Space		1	*1*	*0*		***0***
		Sub-Total for LL Category:		***10***	*1*	*1*		***0***
Sustainable Sites (SS)		(Minimum of 5 SS Points Required)	*OR*	Max	Y/Pts	Maybe	No	Y/Pts
1. Site Stewardship	1.1	Erosion Controls During Construction		Prereq	Y			
	1.2	Minimize Disturbed Area of Site		1	*1*	*1*		***0***
2. Landscaping	2.1	No Invasive Plants		Prereq	Y			
	2.2	Basic Landscape Design	***SS 2.5***	2	*2*	*0*		***0***
	2.3	Limit Conventional Turf	***SS 2.6***	3	*0*	*0*		***3***
	2.4	Drought Tolerant Plants	***SS 2.5***	2	*0*	*0*		***2***
	2.5	Reduce Overall Irrigation Demand by at Least 20%		6	*0*	*0*		***0***
3. Local Heat Island Effects	3	Reduce Local Heat Island Effects		1	*0*	*0*		***0***
4. Surface Water Management	4.1	Permeable Lot		4	*1*	*1*		***0***
	4.2	Permanent Erosion Controls		1	*1*	*0*		***0***
	4.3	Management of Run-Off from Roof		2	*0.5*	*0.5*		***0***
5. Nontoxic Pest Control	5	Pest Control Alternatives		2	*0*	*0*		***0***
6. Compact Development	6.1	Moderate Density	***SS 6.2, 6.3***	2	*0*	*0*		***0***
	6.2	High Density	***SS 6.3***	3	*0*	*0*		***0***
	6.3	Very High Density		4	*0*	*0*		***0***
		Sub-Total for SS Category:		***22***	*13.5*	*2.5*		***5***

LEED for Homes Simplified Project Checklist (continued)

				Max	Project Points Preliminary			Final
Water Efficiency (WE)		(Minimum of 3 WE Points Required)	*OR*	Max	Y/Pts	Maybe	No	Y/Pts
1. Water Reuse	1.1	Rainwater Harvesting System	***WE 1.3***	4	*0*	*0*		***0***
	1.2	Graywater Reuse System	***WE 1.3***	1	*0*	*0*		***0***
	1.3	Use of Municipal Recycled Water System		3	*0*	*0*		***0***
2. Irrigation System	2.1	High Efficiency Irrigation System	***WE 2.3***	3	*0*	*0*		***0***
	2.2	Third Party Inspection	***WE 2.3***	1	*0*	*0*		***0***
	2.3	Reduce Overall Irrigation Demand by at Least 45%		4	*0*	*0*		***0***
3. Indoor Water Use	3.1	High-Efficiency Fixtures and Fittings		3	*0*	*0*		***0***
	3.2	Very High-Efficiency Fixtures and Fittings		6	*0*	*0*		***0***
		Sub-Total for WE Category:		***15***	*3*	*0*		***0***
Energy and Atmosphere (EA)		(Minimum of 0 EA Points Required)	*OR*	Max	Y/Pts	Maybe	No	Y/Pts
1. Optimize Energy Performance	1.1	Performance of ENERGY STAR for Homes		Prereq	Y			
	1.2	Exceptional Energy Performance		34	*22.5*	*0*		***22.5***
7. Water Heating	7.1	Efficient Hot Water Distribution		2	*0*	*2*		***0***
	7.2	Pipe Insulation		1	*0*	*0*		***0***
11. Residential Refrigerant Management	11.1	Refrigerant Charge Test		Prereq	Y			
	11.2	Appropriate HVAC Refrigerants		1	*1*	*0*		***0***
		Sub-Total for EA Category:		***38***	*24.5*	*2*		***22.5***

				Max	Project Points Preliminary			Final
Materials and Resources (MR)		(Minimum of 2 MR Points Required)	*OR*	Max	Y/Pts	Maybe	No	Y/Pts
1. Material-Efficient Framing	1.1	Framing Order Waste Factor Limit		Prereq	Y			
	1.2	Detailed Framing Documents	***MR 1.5***	1	*1*	*0*		***0***
	1.3	Detailed Cut List and Lumber Order	***MR 1.5***	1	*1*	*0*		***0***
	1.4	Framing Efficiencies	***MR 1.5***	3	*2*	*0*		***0***
	1.5	Off-site Fabrication		4	*0*	*0*		***0***
2. Environmentally Preferable Products	2.1	FSC Certified Tropical Wood		Prereq	Y			
	2.2	Environmentally Preferable Products		8	*8*	*0*		***0***
3. Waste Management	3.1	Construction Waste Management Planning		Prereq	Y			
	3.2	Construction Waste Reduction		3	*1*	*1*		***0***
		Sub-Total for MR Category:		***16***	*13*	*2*		***0***
Indoor Environmental Quality (EQ)		(Minimum of 6 EQ Points Required)	*OR*	Max	Y/Pts	Maybe	No	Y/Pts
1. ENERGY STAR with IAP	1	ENERGY STAR with Indoor Air Package		13	*0*	*0*		***0***
2. Combustion Venting	2.1	Basic Combustion Venting Measures	***EQ 1***	Prereq	Y			
	2.2	Enhanced Combustion Venting Measures	***EQ 1***	2	*2*	*0*		***0***
3. Moisture Control	3	Moisture Load Control	***EQ 1***	1	*0*	*0*		***0***
4. Outdoor Air Ventilation	4.1	Basic Outdoor Air Ventilation	***EQ 1***	Prereq	Y			
	4.2	Enhanced Outdoor Air Ventilation		2	*0*	*0*		***0***
	4.3	Third-Party Performance Testing	***EQ 1***	1	*0*	*1*		***0***
5. Local Exhaust	5.1	Basic Local Exhaust	***EQ 1***	Prereq	Y			
	5.2	Enhanced Local Exhaust		1	*0*	*1*		***0***
	5.3	Third-Party Performance Testing		1	*0*	*1*		***0***
6. Distribution of Space Heating and Cooling	6.1	Room-by-Room Load Calculations	***EQ 1***	Prereq	Y			
	6.2	Return Air Flow / Room by Room Controls	***EQ 1***	1	*1*	*0*		***0***
	6.3	Third-Party Performance Test / Multiple Zones	***EQ 1***	2	*0*	*0*		***0***
7. Air Filtering	7.1	Good Filters	***EQ 1***	Prereq	Y			
	7.2	Better Filters	***EQ 7.3***	1	*0*	*0*		***0***
	7.3	Best Filters		2	*0*	*0*		***0***
8. Contaminant Control	8.1	Indoor Contaminant Control during Construction	***EQ 1***	1	*1*	*0*		***0***
	8.2	Indoor Contaminant Control		2	*2*	*0*		***0***
	8.3	Preoccupancy Flush	***EQ 1***	1	*1*	*0*		***0***
9. Radon Protection	9.1	Radon-Resistant Construction in High-Risk Areas	***EQ 1***	Prereq	*N/A*			***N/A***
	9.2	Radon-Resistant Construction in Moderate-Risk Areas	***EQ 1***	1	*1*	*0*		***0***
10. Garage Pollutant Protection	10.1	No HVAC in Garage		Prereq	Y			
	10.2	Minimize Pollutants from Garage	***EQ 1, 10.4***	2	*0*	*0*		***0***
	10.3	Exhaust Fan in Garage	***EQ 1, 10.4***	1	*0*	*0*		***0***
	10.4	Detached Garage or No Garage	***EQ 1***	3	*0*	*0*		***0***
		Sub-Total for EQ Category:		***21***	*15*	*3*		***0***
Awareness and Education (AE)		(Minimum of 0 AE Points Required)		Max	Y/Pts	Maybe	No	Y/Pts
1. Education of the Homeowner or Tenant	1.1	Basic Operations Training		Prereq	Y			
	1.2	Enhanced Training		1	*0*	*0*		***0***
	1.3	Public Awareness		1	*1*	*0*		***0***
2. Education of Building Manager	2	Education of Building Manager		1	*0*	*0*		***0***
		Sub-Total for AE Category:		***3***	*1*	*0*		***0***

LEED for Homes Simplified Project Checklist
Addendum: Prescriptive Approach for Energy and Atmosphere (EA) Credits

Points cannot be earned in both the Prescriptive (below) and the Performance Approach (pg 2) of the EA section.

				Max	Project Points Preliminary			Final
Energy and Atmosphere (EA)		(No Minimum Points Required)	*OR*	Max	Y/Pts	Maybe	No	Y/Pts
2. Insulation	2.1	Basic Insulation		Prereq	Y			
	2.2	Enhanced Insulation		2	*0*	*0*		***0***
3. Air Infiltration	3.1	Reduced Envelope Leakage		Prereq				
	3.2	Greatly Reduced Envelope Leakage		2	*0*	*0*		***0***
	3.3	Minimal Envelope Leakage	***EA 3.2***	3	*0*	*0*		***0***
4. Windows	4.1	Good Windows		Prereq				
	4.2	Enhanced Windows		2	*0*	*0*		***0***
	4.3	Exceptional Windows	***EA 4.2***	3	*0*	*0*		***0***
5. Heating and Cooling Distribution System	5.1	Reduced Distribution Losses		Prereq				
	5.2	Greatly Reduced Distribution Losses		2	*0*	*0*		***0***
	5.3	Minimal Distribution Losses	***EA 5.2***	3	*0*	*0*		***0***
6. Space Heating and Cooling Equipment	6.1	Good HVAC Design and Installation		Prereq				
	6.2	High-Efficiency HVAC		2	*0*	*0*		***0***
	6.3	Very High Efficiency HVAC	***EA 6.2***	4	*0*	*0*		***0***
7. Water Heating	7.1	Efficient Hot Water Distribution		2	*0*	*0*		***0***
	7.2	Pipe Insulation		1	*0*	*0*		***0***
	7.3	Efficient Domestic Hot Water Equipment		3	*0*	*0*		***0***
8. Lighting	8.1	ENERGY STAR Lights		Prereq				
	8.2	Improved Lighting		2	*0*	*0*		***0***
	8.3	Advanced Lighting Package	***EA 8.2***	3	*0*	*0*		***0***
9. Appliances	9.1	High-Efficiency Appliances		2	*0*	*0*		***0***
	9.2	Water-Efficient Clothes Washer		1	*0*	*0*		***0***
10. Renewable Energy	10	Renewable Energy System		10	*0*	*0*		***0***
11. Residential Refrigerant Management	11.1	Refrigerant Charge Test		Prereq				
	11.2	Appropriate HVAC Refrigerants		1	*1*	*0*		***0***
		Sub-Total for EA Category:		***38***	*24.5*	*2*		***22.5***

RESCHECK INSPECTION CHECKLIST

AIR LEAKAGE:
1. BUILDING ENVELOPE AIR TIGHTNESS COMPLIES BY A POST ROUGH-IN BLOWER DOOR TEST RESULT OF LESS THAN 3 ACH AT 50 PASCALS.
2. AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS.
3. WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.

AIR BARRIER, SEALING, AND INSULATION INSTALLATION CRITERIA:
1. A CONTINUOUS AIR BARRIER IS INSTALLED IN THE BUILDING ENVELOPE INCLUDING RIM JOISTS AND EXPOSED EDGES OF INSULATION. BREAKS OR JOINTS IN THE AIR BARRIER ARE SEALED. AIR PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL.
2. JUNCTION OF FOUNDATION AND WALL SILL PLATES. WALL TOP PLATE AND TOP OF WALL, SILL PLATE AND RIM-BAND, AND RIM BAND AND SUBFLOOR ARE SEALED. CORNERS, HEADERS, AND RIM JOISTS MAKING UP THE THERMAL ENVELOPE ARE INSULATED,
3. INSULATION IN FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS) IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR
DECKING. EXTERIOR INSULATION FOR FRAMED WALLS IS IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. CRAWL SPACE WALL INSULATION INSTALLED IN LIEU OF FLOOR INSULATION IS PERMANENTLY ATTACHED TO CRAWLSPACE WALLS. INSPECTION OF LOG WALLS IS IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.
4. SPACES BETWEEN FENESTRATION JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING ARE SEALED, BATTS IN NARROW CAVITIES ARE CUT TO FIT; OR NARROW CAVITIES ARE FILLED WITH INSULATION THAT READILY FILLS THE AVAILABLE CAVITY SPACE.
5. EXPOSED EARTH IN UNVENTED CRAWL SPACES IS COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
6. AIR SEALING IS INSTALLED BETWEEN THE GARAGE AND CONDITIONED SPACES.
7. EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS ARE INSULATED AND HAVE AIR BARRIER SEPARATING THE WALL FROM THE SHOWER AND TUBS.
8. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES ARE INSULATED AND SEALED.
9. RECESSED LIGHTING FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE ARE IC RATED, AIRTIGHT LABELED AT AIR LEAKAGE RATE <= 2.0 CFM, AND SEALED TO THE DRYWALL WITH GASKET OR CAULK.
10. DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE AIR SEALED.
11. PLUMBING AND WIRING: INSULATION IS PLACED BETWEEN THE EXTERIOR OF THE WALL ASSEMBLY AND PIPES. BATT INSULATION IS CUT AND FITTED AROUND WIRING AND PLUMBING, OR FOR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SUCH INSULATION SHALL FILL ALL SPACE BETWEEN
WALL AND PIPING/WIRING.
12. AIR BARRIER EXTENDS BEHIND ELECTRICAL OR COMMUNICATION BOXES OR, AIR SEALED TYPE BOXES ARE INSTALLED.
13. HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL.
14. FIREPLACE WALLS HAVE AIR BARRIER AND CLOSURE DOORS ARE GASKETED.

SUNROOMS:
1. SUNROOMS THAT ARE NOT THERMALLY ISOLATED FROM THE BUILDING ENVELOPE MEET THE REQUIREMENTS APPLICABLE TO THE BUILDING ENVELOPE.

MATERIALS IDENTIFICATION AND INSTALLATION:
1. MATERIALS AND EQUIPMENT ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. MATERIALS AND EQUIPMENT ARE IDENTIFIED SO THAT COMPLIANCE CAN BE DETERMINED.
3. MANUFACTURER MANUALS FOR ALL INSTALLED HEATING AND COOLING EQUIPMENT AND SERVICE WATER HEATING EQUIPMENT HAVE BEEN PROVIDED.
4. INSULATION R-VALUES AND GLAZING U-FACTORS ARE CLEARLY MARKED ON THE BUILDING PLANS OR SPECIFICATIONS.

DUCT INSULATION:
1. SUPPLY DUCTS IN ATTICS ARE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS IN UNCONDITIONED SPACES OR OUTSIDE THE BUILDING ENVELOPE ARE INSULATED TO AT LEAST R-6.

DUCT CONSTRUCTION AND TESTING:
1. BUILDING FRAMING CAVITIES ARE NOT USED AS DUCTS OR PLENUMS.
2. ALL JOINTS AND SEAMS OF AIR DUCTS, AIR HANDLERS, AND FILTER BOXES ARE SUBSTANTIALLY AIRTIGHT BY MEANS OF TAPES, MASTICS, LIQUID SEALANTS, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS. TAPES, MASTICS, AND FASTENERS ARE RATED UL 181A OR UL 181B AND ARE LABELED ACCORDING TO THE DUCT CONSTRUCTION. METAL DUCT CONNECTIONS WITH EQUIPMENT AND/OR FITTINGS ARE MECHANICALLY FASTENED. CRIMP JOINTS FOR ROUND METAL
DUCTS HAVE A CONTACT LAP OF AT LEAST 1 1/2 INCHES AND ARE FASTENED WITH A MINIMUM OF THREE EQUALLY SPACED SHEET-METAL SCREWS.
EXCEPTIONS:
JOINT AND SEAMS COVERED WITH AIR-IMPERMEABLE SPRAY FOAM.
WHERE A PARTIALLY INACCESSIBLE DUCT CONNECTION EXISTS, MECHANICAL FASTENERS CAN BE EQUALLY SPACED ON THE EXPOSED PORTION OF THE JOINT SO AS TO PREVENT A HINGE EFFECT.
PROJECT TITLE: FALCONE RESIDENCE REPORT DATE: 04/30/15
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CONTINUOUSLY WELDED AND LOCKING-TYPE LONGITUDINAL JOINTS AND SEAMS ON DUCTS OPERATING AT LESS THAN 2 IN. W.G. (500 PA).
3. AIR HANDLERS HAVE A MANUFACTURER'S DESIGNATION OF AIR LEAKAGE OF NO MORE THAN 2 PERCENT OF DESIGN FLOW RATE.
4. DUCT TIGHTNESS TEST HAS BEEN PERFORMED AND MEETS ONE OF THE FOLLOWING TEST CRITERIA:
(1) POSTCONSTRUCTION TOTAL LEAKAGE TEST (INCLUDING AIR HANDLER ENCLOSURE): LESS THAN OR EQUAL TO 4 CFM PER 100 FT2 OF CONDITIONED FLOOR AREA,
(2) ROUGH-IN TOTAL LEAKAGE TEST WITH AIR HANDLER INSTALLED; LESS THAN OR EQUAL TO 4 CFM PER 100 FT2 OF CONDITIONED FLOOR AREA.
(3) ROUGH-IN TOTAL LEAKAGE TEST WITHOUT AIR HANDLER INSTALLED: LESS THAN OR EQUAL TO 3 CFM PER 100 FT2 OF CONDITIONED FLOOR AREA.

TEMPERATURE CONTROLS:
1. WHERE THE PRIMARY HEATING SYSTEM IS A FORCED AIR-FURNACE, AT LEAST ONE PROGRAMMABLE THERMOSTAT IS INSTALLED TO CONTROL THE PRIMARY HEATING SYSTEM AND HAS SET-POINTS INITIALIZED AT 70 DEGREE F FOR THE HEATING CYCLE AND 78 DEGREE F FOR THE COOLING CYCLE.
2. HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT HAVE CONTROLS THAT PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE COMPRESSOR CAN MEET THE HEATING LOAD.

HEATING AND COOLING EQUIPMENT SIZING:
1. EQUIPMENT IS SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER
APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES.
2. FOR SYSTEMS SERVING MULTIPLE DWELLING UNITS DOCUMENTATION HAS BEEN SUBMITTED DEMONSTRATING COMPLIANCE WITH 2012 IECC COMMERCIAL BUILDING MECHANICAL AND/OR SERVICE WATER HEATING (SECTIONS C403 AND C404).

CIRCULATING SERVICE HOT WATER SYSTEMS:
1. SYSTEMS INCLUDE AN AUTOMATIC OR ACCESSIBLE MANUAL SWITCH TO TURN OFF THE CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE.
2. PIPES ARE INSULATED TO R-3 WHEN ANY ONE OF THE FOLLOWING APPLY:
(A) PIPING SERVES MORE THAN ONE DWELLING UNIT,
(B) PIPING BETWEEN WATER HEATER AND KITCHEN OR WATER HEATER AND DISTRIBUTION MANIFOLD,
(C) PIPING OUTSIDE CONDITIONED SPACE, BURIED, OR LOCATED UNDER A FLOOR SLAB,
(D) SUPPLY AND RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS,
(E) PIPING IS > 3/4 INCH NOMINAL DIAMETER,
(F) PIPING RUNS >30 FEET HAVING 3/8 INCH MAX DIAMETER,
(G) PIPING RUNS >20 FEET HAVING 1/2 INCH MAX DIAMETER,
(H) PIPING RUNS >10 FEET HAVING 3/4 INCH MAX DIAMETER,
(I) PIPING RUNS >5 FEET HAVING MAX DIAMETER WITHIN THE RUN > 3/4 INCH.

HEATING AND COOLING PIPING INSULATION:
1. HVAC PIPING CONVEYING FLUIDS ABOVE 105 DEGREES F OR CHILLED FLUIDS BELOW 55 DEGREES F ARE INSULATED TO R-3.
2. HVAC PIPING INSULATION EXPOSED TO OUTDOOR ELEMENTS IS PROTECTED FROM DAMAGE AND SHIELDED FROM SOLAR RADIATION.

VENTILATION:
1. VENTILATION FANS SATISFY THE FOLLOWING EFFICACY CRITERIA:
(1) RANGE HOODS AND IN-LINE FAN: 2.8 CFM/WATT.
(2) BATH-/UTILITY ROOM WITH RATED CFM >= 10 > AND <90: 1.4 CFM/WATT.
(3) BATH-/UTILITY ROOM WITH RATED MINIMUM CFM >= 90: 2.8 CFM/WATT.

SWIMMING POOLS AND IN-GROUND SPAS:
1. HEATERS HAVE AN READILY ACCESSIBLE ON-OFF SWITCH.
2. HEATERS OPERATING ON NATURAL GAS OR LPG HAVE AN ELECTRONIC PILOT LIGHT.
3. SCHEDULE-CAPABLE AUTOMATIC ON-OFF TIMER SWITCHES ARE INSTALLED ON HEATERS AND PUMPS.
EXCEPTIONS:
WHERE PUBLIC HEALTH STANDARDS REQUIRE CONTINUOUS PUMP OPERATION. WHERE PUMPS OPERATE WITHIN SOLAR- AND/OR WASTE-HEAT-RECOVERY SYSTEMS.
4. HEATED POOLS AND SPAS HAVE A VAPOR RETARDANT COVER.
EXCEPTIONS:
COVERS ARE NOT REQUIRED WHEN 70% OF THE HEATING ENERGY IS FROM SITE-RECOVERED ENERGY OR SOLAR ENERGY SOURCE.

LIGHTING REQUIREMENTS:
1. WITHIN PERMANENTLY INSTALLED FIXTURES, 75 PERCENT CONTAIN ONLY LAMPS THAT CAN BE CATEGORIZED AS ONE OF THE FOLLOWING, OR, A MINIMUM OF 75 PERCENT OF ALL LAMPS WITHIN PERMANENT FIXTURES CAN BE CATEGORIZED AS ONE OF THE FOLLOWING:
PROJECT TITLE: FALCONE RESIDENCE REPORT DATE: 04/30/15
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(A) COMPACT FLUORESCENT
(B) T-8 OR SMALLER DIAMETER LINEAR FLUORESCENT
(C) 40 LUMENS PER WATT FOR LAMP WATTAGE <= 15
(D) 50 LUMENS PER WATT FOR LAMP WATTAGE > 15 AND <= 40
(E) 60 LUMENS PER WATT FOR LAMP WATTAGE > 40
EXCEPTIONS:
LOW VOLTAGE LIGHTING SYSTEMS.
2. FUEL GAS LIGHTING SYSTEMS HAVE ELECTRONIC PILOT LIGHTS.

OTHER REQUIREMENTS:
1. SNOW- AND ICE-MELTING SYSTEMS WITH ENERGY SUPPLIED FROM THE SERVICE TO A BUILDING SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN A) THE PAVEMENT TEMPERATURE IS ABOVE 50 DEGREES F, B) NO PRECIPITATION IS FALLING, AND C) THE OUTDOOR TEMPERATURE IS ABOVE 40 DEGREES F (A MANUAL SHUTOFF CONTROL IS ALSO PERMITTED TO SATISFY REQUIREMENT 'C').

CERTIFICATE:
1. A PERMANENT CERTIFICATE IS PROVIDED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT INSULATION R-VALUES; WINDOW U-FACTORS; TYPE AND EFFICIENCY OF SPACE-CONDITIONING AND WATER HEATING EQUIPMENT; AND RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING, THE

LEED for Homes Verification & Submittal Guidelines For Project Teams

These guidelines summarize the verification and submittal requirements for LEED for Homes. These verification and submittal requirements are included in the LEED for Homes Reference Guide, First Edition; where discrepancies exist, the guidelines below supersede the guidelines within the Reference Guide.

Roles and Responsibilities:

One of the core strengths of the LEED for Homes program is that the "green" components are all verified by a third-party. Third-party verification is essential to the integrity of the program, as it gives prospective home buyers confidence and reassurance.

These verification and submittal guidelines are for Project Teams. Although verification is primarily performed by a third-party team (i.e., the Green Rater and LEED for Homes Provider), the project team plays a critical role. A separate set of verification and submittal guidance is available for Green Raters (in a companion document).

Key stakeholders in the LEED for Homes program each have unique roles in the delivery of verification services to LEED for Homes projects, including:

Provider QAD
- ✓ Review and approve all work performed by Green Rater
- ✓ Make final decisions on all verification tasks

Green Rater / qualified energy rater
- ✓ Complete all in-field verification steps
- ✓ Complete all performance tests
- ✓ Complete all energy modeling (if needed for HERS Index in EA 1)
- ✓ Complete LEED for Homes Project checklist
- ✓ Compile all additional info from project team

Project Team
- ✓ Notify LEED for Homes Provider and/or Green Rater when project is ready for verification,
- ✓ Complete all accountability forms, the durability risk evaluation form, and the durability inspection checklist, and
- ✓ Provide the information described below to the Green Rater, and any additional information requested by the Green Rater.

Supporting Verification Materials

Although some elements of a green home can be easily verified through simple observation, many of the specific LEED for Homes requirements are difficult to verify without additional information – product specifications, contractor calculations, etc.

The term "supporting verification materials" refers to the additional information that Green Raters may need in order to fully verify that the home has met the criteria for LEED certification.

Supporting verification materials are not formal submittals, and no outside consultant should be needed to assist with the compilation of these materials.

The materials described below describe what is typically required by the verification team. In some cases, these materials may not be required; in other cases, additional information may be requested, subject to the discretion of the verification team.

Accountability Forms

There are various LEED for Homes requirements – especially those that include a significant design element or rely on professional expertise – that cannot be fully verified by a Green Rater through observation, even with supporting verification materials. For these measures, an Accountability Form is required.

An Accountability Form is signed by the responsible party (e.g. HVAC engineer, landscape professional, PV installer) to indicate that all elements of the prerequisite or credit have been met. Accountability Forms should be signed after installation or construction of the relevant measure.

Fewer than one-third of the prerequisites and credits in LEED for Homes require an Accountability Form, and they are all identified below.

Durability Risk Evaluation Form and Durability Inspection Checklist

The project team is also responsible for completing and submitting the durability risk evaluation form and durability inspection checklist to the Green Rater before the final verification is completed.

SEE SUBMITTAL CHECKLIST ON SHEET A0.3

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SUMMIT 27 - FALCONE RESIDENCE
7947 EAST HEARTWOOD DRIVE
WEBER COUNTY, UTAH

DATE
13 MAY 2015

REVISIONS

LEED & RESCHECK NOTES

A0.2

Prereq / Credit	Supporting Verification Materials	Submittals	AF?
Innovative Design			
ID 1.1. Preliminary Rating	- *None*	- *None*	
ID 1.2. Integrated Project Team	- List of project team members, capabilities, and meeting dates.	- *None*	
ID 1.3. Prof. Credentialed with Respect to LEED-H	- Evidence that a principal member of the project team earned the LEED AP Homes credential *prior* to the preliminary rating.	- *None*	
ID 1.4. Design Charrette	- Charrette date, location, participants, and duration.	- *None*	
ID 1.5. Building Orientation for Solar Design	- Calculations or simulations for glazing area, east-west axis orientation, south-facing roof area, and seasonal shading.	- *None*	
ID 2.1. Durability Planning	- Contract documents (specifications, scopes of work) with all relevant durability measures indicated	- Completed Durability Risk Evaluation Form, prior to construction	
ID 2.2. Durability Management	- *None*	- Completed, signed durability inspection checklist or quality mgmt plan, prior to construction	
ID 2.3. Third- Party Durability Mgmt Verification	- *None*	- *None*	
ID 3. Innovative Design	-	- Detailed Innovative Design Request; ***AND*** - Signed Accountability Form	Yes
Location & Linkages			
LL 1. LEED for Neighborhood Developments	- Evidence that the home has successfully passed Stage 2 of the LEED for Neighborhood Developments certification.	- *None*	
LL 2. Site Selection	- Site plan, floodplain maps, soil data maps.	- Signed Accountability Form	Yes
LL 3.1. Edge Development	- Calculation of development area along site perimeter.	- *None*	
LL 3.2. Infill	- Calculations of development area along site perimeter.	- *None*	
LL 3.3. Previously Developed	- Historical documents, maps, or comparable evidence of previous development.	- *None*	
LL 4. Existing Infrastructure	- Maps or comparable evidence of water and sewer infrastructure within ½ mile of the home.	- *None*	
LL 5. Community Resources	- Lists or maps of community resources within ¼ mile or ½ mile walking distance of the home. ***OR*** - Transit schedules and calculations of transit rides.	- *None*	
LL 6. Access to Open Space	- Maps and calculations of publicly accessible open space of at least ¾ acre within ½ mile of the home.	- *None*	
Sustainable Sites			
SS 1.1. Erosion Controls	- *None*	- *None*	
SS 1.2. Minimize Disturbed Area of Site	- Tree and plant preservation plan and/or site drawings; ***AND*** - For part (b), calculations of buildable lot area left undisturbed;	- *None*	

Prereq / Credit	Supporting Verification Materials	Submittals	AF?
	- For part (d), calculations of average housing density.		
SS 2.1. No Invasive Plants	- List of installed trees and plants; ***AND*** - List of invasive trees and plants created by a third-party entity (e.g. agricultural cooperative extension).	- Signed Accountability Form	Yes
SS 2.2. Basic Landscape Design	- If turf is installed, list of drought-tolerant turf species.	- Signed Accountability Form	Yes
SS 2.3. Limit Conventional Turf	- Site plans or calculations of percentage turf installed.	- Signed Accountability Form	Yes
SS 2.4. Drought Tolerant Plants	- Site plans or calculations of drought-tolerant plants installed; ***AND*** - List of installed plants; ***AND*** - List of drought-tolerant plants created by a third-party entity (e.g. agricultural cooperative extension).	- Signed Accountability Form	Yes
SS 2.5. Reduce Overall Irrigation Demand by at Least 20%	- Site plans delineating zones, and calculations of zone areas; ***AND*** - List of installed plants; ***AND*** - If drought-tolerant plants are claimed (i.e., a zone is described with a species factor [Ks] less than 0.4), list of drought-tolerant plants created by a third-party entity (e.g. agricultural cooperative extension); ***AND*** - Product literature, labels, etc. for any high-efficiency irrigation system components; ***AND*** - Credentials for qualified landscape professional (e.g., certifications, licenses, higher education).	- Outdoor water use calculation, using LEED for Homes methodology and calculator; ***AND*** - Signed Accountability Form	Yes
SS 3. Reduce Local Heat Island Effects	- For part (b), specifications or test results demonstrating the SRI value (if applicable). - Calculations or estimates related to shaded and/or high-albedo areas.	- Signed Accountability Form	Yes
SS 4.1. Permeable Lot	- Calculations of percent permeable elements.	- Signed Accountability Form	Yes
SS 4.2. Permanent Erosion Controls	- For part (b), site plans or list of trees, shrubs, and groundcover area.	- *None*	
SS 4.3. Management of Runoff from Roof	- *None*	- For part (d), signed Accountability Form	Part (d) ONLY
SS 5. Pest Control Alternatives	- *None*	- *None*	
SS 6. Compact Development	- Calculations of average housing density.	- *None*	
Water Efficiency			
WE 1.1. Rainwater Harvesting System	- Calculations related to rainwater harvest area and storage system capacity.	- *None*	
WE 1.2. Graywater Reuse System	- If graywater is collected from faucets and other sources, calculations related to graywater collection.	- *None*	
WE 1.3. Use of Municipal Recycled Water System	- *None*	- *None*	
WE 2.1. High-Efficiency Irrigation System	- For part (a), information about the EPA Water Sense certified pro. - For parts (b), (d), (e), (f), irrigation system design plans; - For parts (g), (i), and (k), product literature, labels, etc.	- Signed Accountability Form	Yes
WE 2.2. Third- Party Inspection	- *None*	- *None*	Yes, if not

Prereq / Credit	Supporting Verification Materials	Submittals	AF?
			by Rater
WE 2.3. Reduce Overall Irrigation Demand by at Least 45%	- Site plans delineating zones, and calculations of zone areas; ***AND*** - List of installed plants; ***AND*** - If drought-tolerant plants are claimed (i.e., low species factors are claimed), list of drought-tolerant plants created by a third-party entity (e.g. agricultural cooperative extension); ***AND*** - Product literature, labels, etc. for any high-efficiency irrigation system components; ***AND*** - Credentials for qualified landscape professional (e.g., certifications, licenses, higher education).	- Outdoor water use calculation, using USGBC methodology and calculator; ***AND*** - Signed Accountability Form	Yes
WE 3. High- / Very High-Efficiency Fixtures	- Product literature, labels, etc. for toilets, showerheads, and/or lavatory faucets.	- *None*	
Energy & Atmosphere			
EA 1. Optimize Energy Performance of	- *None, although supporting verification materials may be needed for ENERGY STAR for Homes.*	- *None*	
EA 2. Insulation	- Product literature, labels, etc. for insulation products.	- *None*	
EA 3. Air Infiltration	- *None*	- *None*	
EA 4. Windows	- Calculations related to skylight and window area; ***AND*** - Product literature, labels, etc. for skylights (if applicable); ***AND*** - Product literature, labels, etc. for windows.	- *None*	
EA 5. Heating and Cooling Distribution System	Forced-Air Systems - Product literature, labels, etc. for ductwork insulation. Radiative Systems - Product literature, labels, etc. for pipe insulation.	- *None*	
EA 6. Space Heating and Cooling Equipment	- Product literature, labels, etc. for HVAC equipment; ***AND*** - Product literature, labels, etc. for programmable thermostats.	- Calculations related to HVAC sizing and design (e.g. Manual J); ***AND*** - Signed Accountability Form	Yes, for prescriptive pathway
EA 7.1. Efficient Hot Water Distribution	- Plumbing layout plans.	- Signed Accountability Form	Yes
EA 7.2. Pipe Insulation	- Product literature, labels, etc. for pipe insulation.	- *None*	
EA 7.3. Efficient DHW Equipment	- Product literature, labels, etc. for water heater; ***AND*** - Calculations related to percentage of hot water loads met by the solar system (if applicable).	- *None*	
EA 8.1. ENERGY STAR Lights	- Product literature, labels, etc. for lighting fixtures or lamps.	- *None*	
EA 8.2. Improved Lighting	- Product literature, labels, etc. for lighting fixtures or lamps.	- *None*	
EA 8.3. Advanced Lighting Package	- Calculations related to the number / percentage of ENERGY STAR lights in the home; ***AND*** - Product literature, labels, etc. for lighting fixtures or lamps.	- *None*	
EA 9. Appliances	- Product literature, labels, etc. for appliances.	- *None*	

Prereq / Credit	Supporting Verification Materials	Submittals	AF?
EA 10. Renewable Energy System	- Calculations related to the percentage of the annual reference electric load supplied by the renewable system; ***AND*** - Product literature, labels, etc. for renewable energy system.	- Signed Accountability Form	Yes
EA 11.1. Refrigerant Charge Test	- Startup checklist or other materials provided by HVAC contractor related to refrigerant charge test.	- *None*	
EA 11.2. Appropriate HVAC Refrigerants	- For parts (b) and (c), product literature, labels, etc. for cooling system(s).	- *None*	
Materials & Resources			
MR 1.1. Framing Order Waste Factor Limit	- Calculations related to the framing order waste factor.	- *None*	
MR 1.2. Detailed Framing Documents	- Detailed framing documents that include the specific location, spacing, and sizes of all framing members.	- *None*	
MR 1.3. Detailed Cut List & Lumber Order	- Detailed framing cut list. - Detailed framing lumber order.	- *None*	
MR 1.4. Framing Efficiencies	- *None*	- *None*	
MR 1.5. Off-site Fabrication	- *None*	- *None*	
MR 2.1. FSC Certified Tropical Wood	- Written notice to wood suppliers and vendors; ***AND*** - Information from suppliers and vendors on the origin of wood products.	- Signed Accountability Form	Yes
MR 2.2. Environmentally Preferable Products	- For parts (a) and (b), product literature, labels, etc. for each installed component; ***AND/OR*** - For part (c), product literature, letters from manufacturers or suppliers, etc. for each installed compoonent indicating that materials were harvested/extracted, processed, and manufactured within 500 miles of the project.	- Signed Accountability Form	Yes
MR 3.1. Construction Waste Management Planning	- Calculations of construction waste diversion rates ***AND*** - Waste hauling tags or tickets.	- *None*	
MR 3.2. Construction Waste Reduction	- Calculations of construction waste diversion rates; ***AND*** - Waste hauling tags or tickets.	- *None*	
Indoor Environmental Quality			
IEQ 1. ENERGY STAR w/ Indoor Air Package	- *None, although supporting verification materials may be needed for ENERGY STAR for Homes with Indoor Air Package.*	- *None*	
IEQ 2.1. Basic Combustion Venting Measures	- Product literature, labels, etc. for stoves and fireplaces (if applicable).	- *None*	
IEQ 2.2. Enhanced Combustion Venting Measures	- If masonry heater installed, information on the design of the unit. - Product literature, labels, etc. for wood stoves and fireplaces (if applicable).	- Signed Accountability Form, if masonry heater is installed	Yes, for masonry heaters only
IEQ 3. Moisture Load Control	- Calculations related to latent capacity to maintain relative humidity at or below 60%.	- *None*	
IEQ 4.1. Basic Outdoor Air	- For part (a), calculations demonstrating that the site has fewer than	- Signed Accountability Form	Yes

Prereq / Credit	Supporting Verification Materials	Submittals	AF?
Ventilation	4,500 infiltration degree days. - For parts (b) and (c), calculations related to ventilation air flows. - For part (d), calculations, modeling results, on-site test results, or something equivalent that demonstrates that the proposed design will meet the ventilation air flow requirements in ASHRAE Std. 62.2, above and beyond natural infiltration rates assumed by the Standard.		
IEQ 4.2. Enhanced Outdoor Air Ventilation	- For part (a), calculations demonstrating that the site has fewer than 4,500 infiltration degree days; ***AND*** - For part (a), calculations related to ventilation air flows. - For part (b), product literature, labels, etc. for ERV or HRV.		Yes, for part a) only
IEQ 4.3. Third-party Performance Testing	- *None*	- *None*	
IEQ 5.1. Basic Local Exhaust	- Product literature, labels, etc. for bathroom exhaust fans.	- Signed Accountability Form	Yes
IEQ 5.2. Enhanced Local Exhaust	- *None*	- *None*	
IEQ 5.3. Third-Party Testing	- *None*	- *None*	
IEQ 6.1. Room-by-Room Load Calculations	- *None*	- Calculations related to HVAC distribution design (e.g. Manual D); ***AND*** - Signed Accountability Form	Yes
IEQ 6.2. Return Air Flow / Room by Room Controls	- *None*	- *None*	
IEQ 6.3. Third-Party Testing / Multiple Zones	- *None*	- *None*	
IEQ 7. Air Filtering	- Product literature, labels, etc. for air filters.	- *None*	
IEQ 8.1. Indoor Contaminant Control During Construction	- *None*	- Signed Accountability Form	Yes
IEQ 8.2. Indoor Contaminant Control	- *None*	- *None*	
IEQ 8.3. Pre-Occupancy Flush	- Dates, duration, and methods used to conduct the preoccupancy flush.	- Signed Accountability Form	Yes
IEQ 9. Radon Protection	- *None*	- Signed Accountability Form	Yes
IEQ 10.1. No HVAC in Garage	- *None*	- *None*	
IEQ 10.2. Minimize Pollutants from Garage	- *None*	- *None*	
IEQ 10.3. Exhaust Fan in Garage	- *None*	- *None*	
IEQ 10.4. Detached Garage or No Garage	- *None*	- *None*	
Awareness & Education			
AE 1.1. Basic Operations Training	- Operations and maintenance manual that includes the prescribed elements; ***AND***	- Signed Accountability Form	Yes

Prereq / Credit	Supporting Verification Materials	Submittals	AF?
	- Proposed procedures and practices for training occupants.		
AE 1.2. Enhanced Training	- Proposed procedures and practices for training occupants, homebuyer DVD, or other training materials.	- Signed Accountability Form	Yes
AE 1.3. Public Awareness	- List of open-house dates and durations; ***AND/OR*** - Website pages; ***AND/OR*** - Newspaper article.		
AE 2. Education of Building Manager	- Building manager operations and maintenance that includes the prescribed elements. - Proposed procedures and practices for training building manager.	- Signed Accountability Form	Yes

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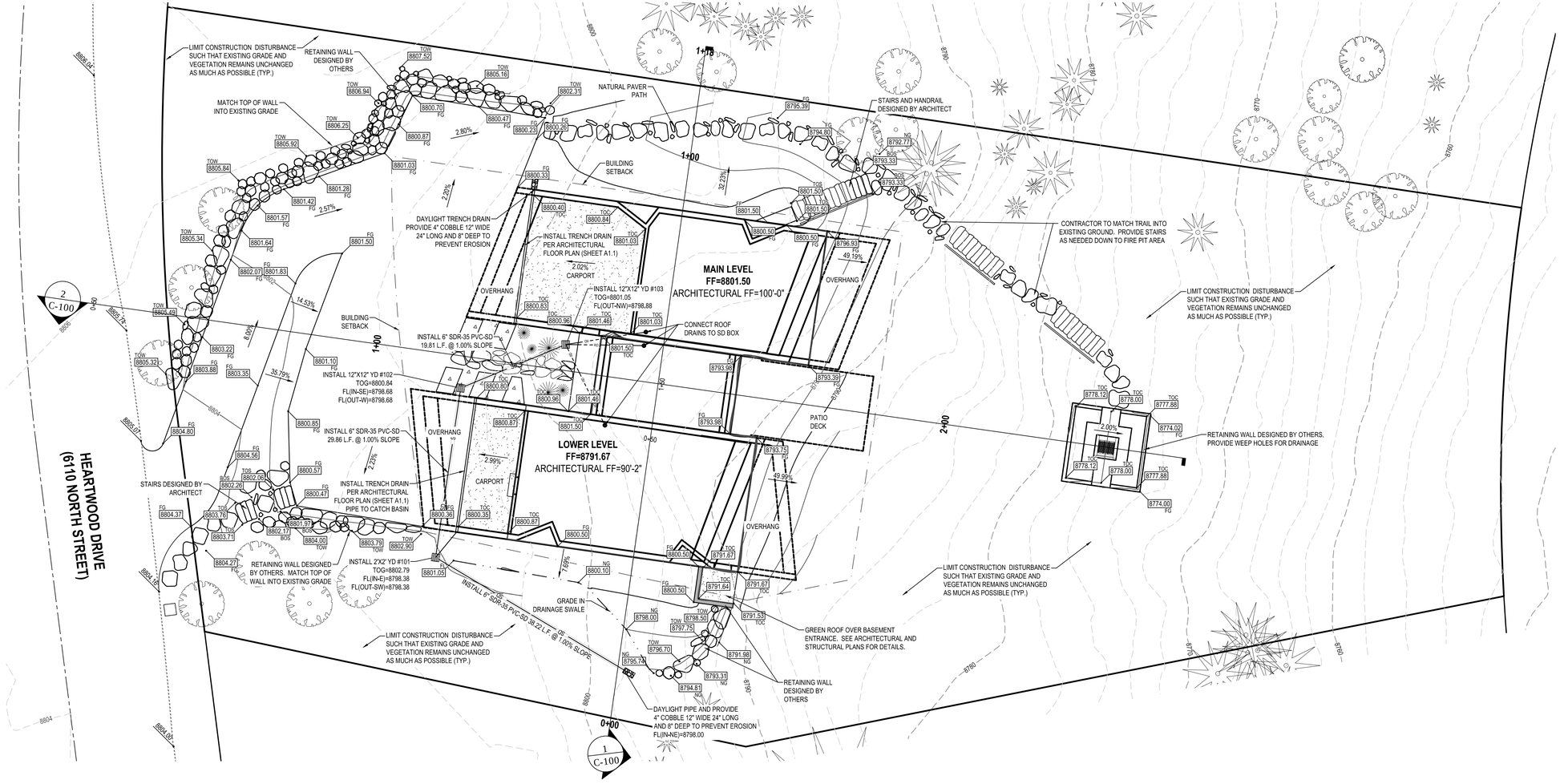
SUMMIT 27 - FALCONE RESIDENCE
7947 EAST HEARTWOOD DRIVE
WEBER COUNTY, UTAH

DATE
13 MAY 2015

REVISIONS

LEED SUBMITTAL CHECKLIST

A0.3



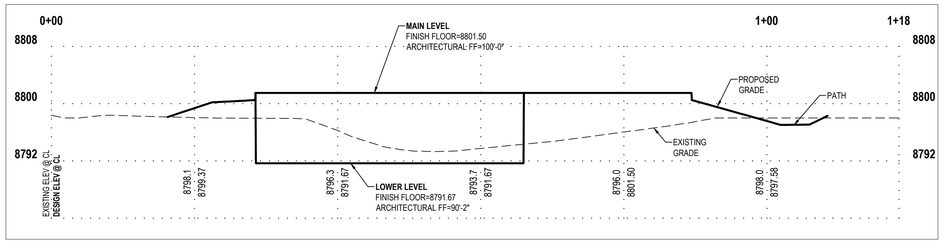
GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
3. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
4. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
5. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
6. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
7. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING IMPROVEMENTS
8. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
9. PROVIDE 4" RIP RAP AT DOWNSPOUT LOCATIONS. SEE ARCHITECTURAL/MECHANICAL PLANS FOR LOCATIONS.

NORTH

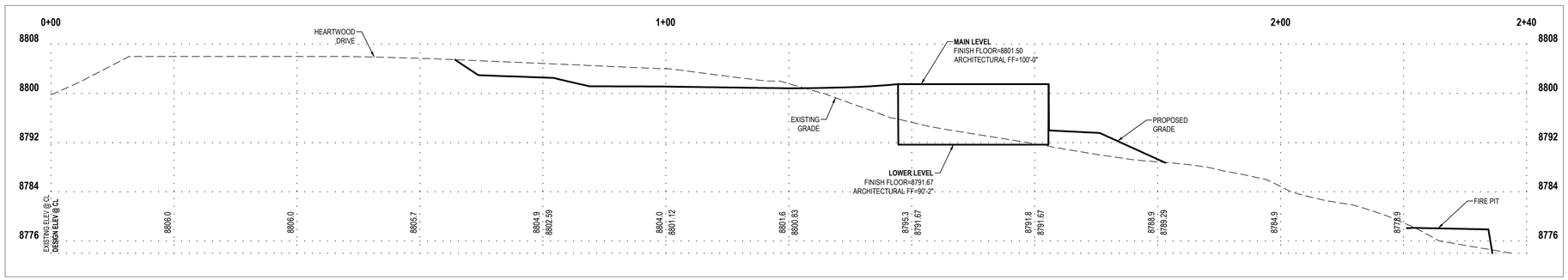
HORIZONTAL GRAPHIC SCALE

10 0 5 10 20
(IN FEET)
HORZ: 1 inch = 10 ft.
VERT: 1 inch = 10 ft.



1 CUT SECTION

SCALE: NONE



2 CUT SECTION

SCALE: NONE

ENSIGN
THE STANDARD IN ENGINEERING

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LONDON W1J8H

CONTACT:

PHONE:

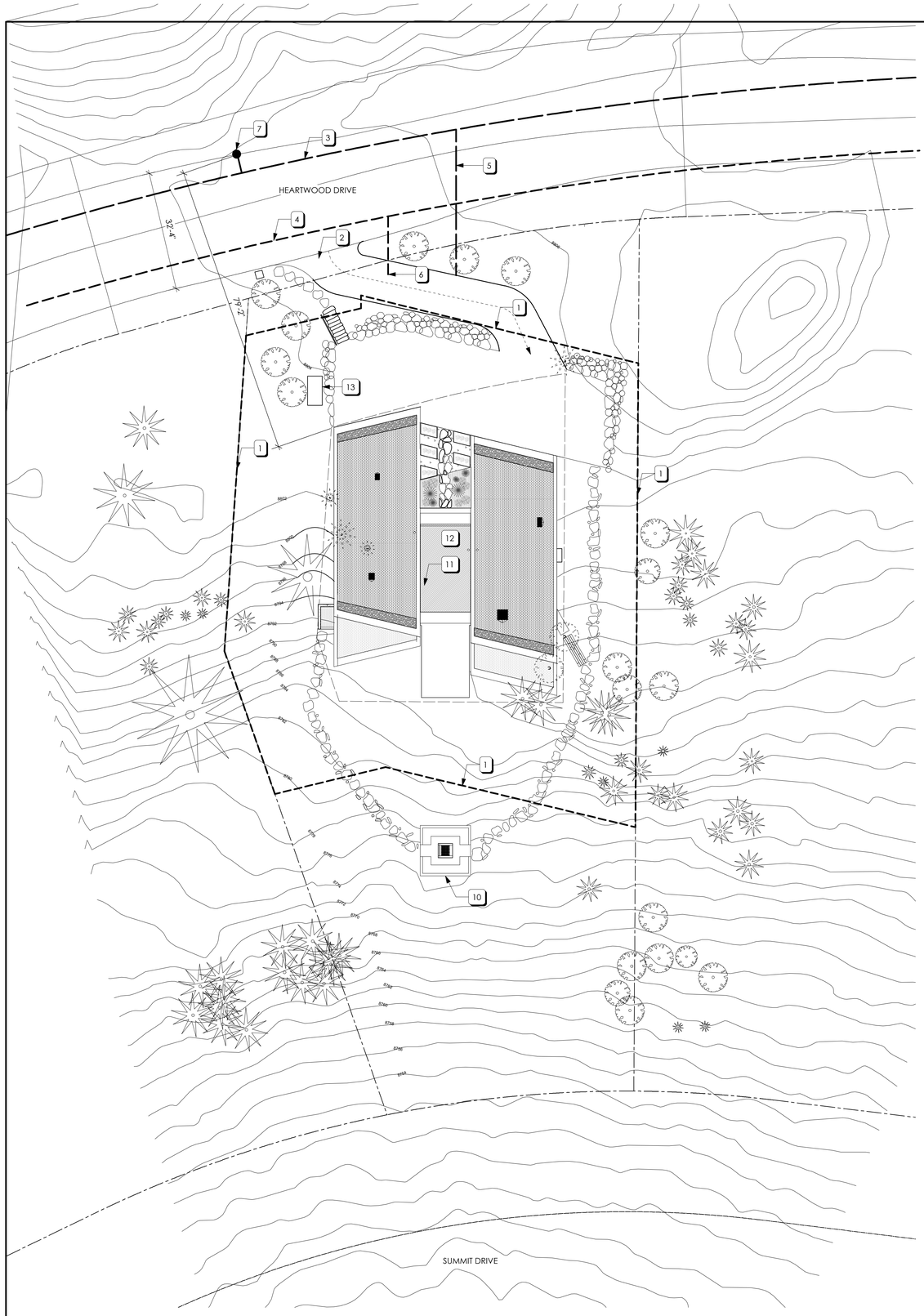
SUMMIT 27 - FALCONE RESIDENCE

7947 EASTH HEARTWOOD DRIVE
WEBER COUNTY, UTAH

GRADING AND DRAINAGE PLAN

PROJECT NUMBER	PRINT DATE
8509A	5/12/15
DRAWN BY	CHECKED BY
D. COWLEY	B. PREECE
PROJECT MANAGER	
K. MORGAN	

C-100



1 **SITE PLAN**
Scale: 1/16" = 1'-0"

APPENDIX C

FIRE HAZARD SEVERITY FORM

This appendix is to be used to determine the fire hazard severity.

A. Subdivision Design	Points
1. Ingress/Egress	
Two or more primary roads	1 X
One road	10___
One-lane road in, one-lane road out	15___
2. Width of Primary Road	
20 feet or more	1 X
Less than 20 feet	5___
3. Accessibility	
Road grade 5% or less	1 X
Road grade 5-10%	5___
Road grade greater than 10%	10___
4. Secondary Road Terminus	
Loop roads, cul-de-sacs with an outside turning radius of 45 feet or greater	1___
Cul-de-sac turnaround	5 X
Dead-end roads 200 feet or less in length	8___
Dead-end roads greater than 200 feet in length	10___
5. Street Signs	
Present but unapproved	3 X
Not present	5___

B. Vegetation (IUWIC Definitions)	
1. Fuel Types	
Surface	
Lawn/noncombustible	1___
Grass/short brush	5 X
Scattered dead/down woody material	10___
Abundant dead/down woody material	15___
Overstory	
Deciduous trees (except tall brush)	3___
Mixed deciduous trees and tall brush	10 X
Clumped/scattered conifers and/or tall brush	15___
Contiguous conifer and/or tall brush	20___
2. Defensible Space	
70% or more of lots completed	1___
30% to 70% of lots completed	10___
Less than 30% of lots completed	20 X

C. Topography	
Located on flat, base of hill, or setback at crest of hill	1___
On slope with 0-20% grade	5___
On slope with 21-30% grade	10 X
On slope with 31% grade or greater	15___
At crest of hill with unmitigated vegetation below	20___

D. Roofing Material	
Class A Fire Rated	1 X
Class B Fire Rated	5___
Class C Fire Rated	10___
Nonrated	20___

E. Fire Protection—Water Source	
500 GPM hydrant within 1,000 feet	1 X
Hydrant farther than 1,000 feet or draft site	5___
Water source 20 min. or less, round trip	10___
Water source farther than 20 min., and 45 min. or less, round trip	15___
Water source farther than 45 min., round trip	20___

F. Siding and Decking	
Noncombustible siding/deck	1___
Combustible siding/no deck	5___
Noncombustible siding/combustible deck	10___
Combustible siding and deck	15 X

G . Utilities (gas and/or electric)	
All underground utilities	1 X
One underground, one aboveground	3___
All aboveground	5___

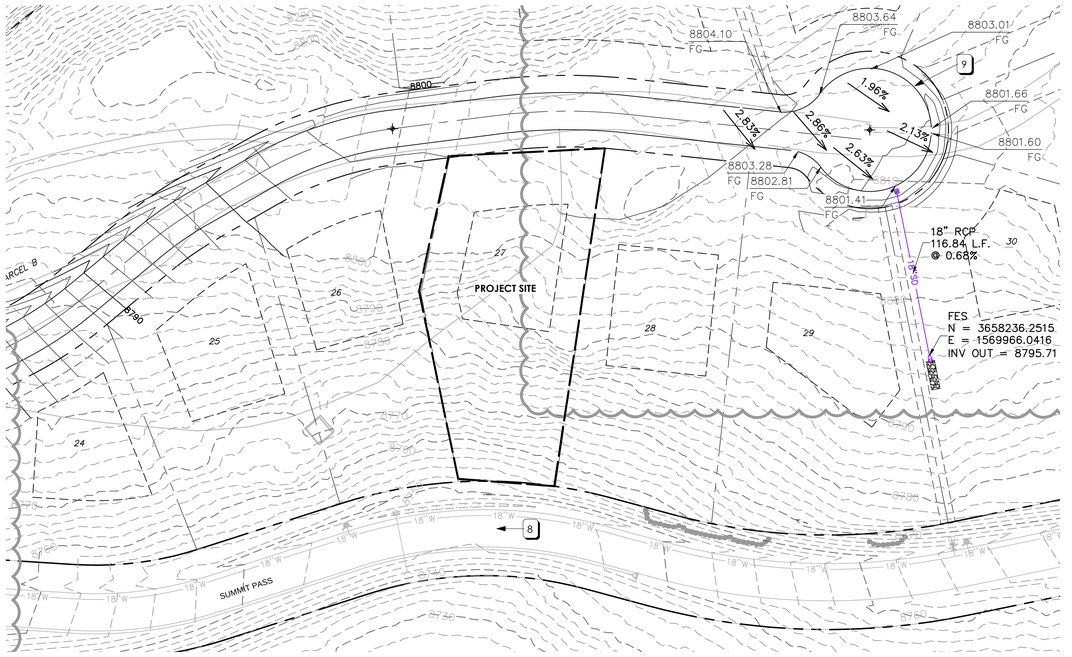
Total for Subdivision	74
Moderate Hazard	50–75
High Hazard	76–100
Extreme Hazard	101+

FIRE PROTECTION PLAN KEYED NOTES

1. DEFENSIBLE SPACE BOUNDARY
2. STABILIZE SOIL AT CONSTRUCTION ENTRANCE LOCATION WITH GRAVEL FOR 50'-0" MINIMUM
3. 8" WATER LINE
4. 8" STORM/SEWER LINE
5. WATER LATERAL LOCATION
6. SEWER LATERAL LOCATION
7. LOCATION OF FIRE HYDRANT
8. SECONDARY ROAD: "SUMMIT DRIVE"
9. CUL-DE-SAC TURNAROUND
10. FIREWOOD STORAGE
11. ALL ROOF COVERINGS RATED WITH "CLASS A" FIRE RESISTANCE - SEE ROOF MEMBRANE SPECIFICATIONS ON SHEET A0.0
12. HOUSE WILL BE FIRE SPRINKLERED IN ACCORDANCE WITH SECTION P2904 OR NFPA 13D
13. LOCATION OF LP TANK WITHIN DEFENSIBLE SPACE

UTAH WILDLAND URBAN INTERFACE NOTES

A. SURROUNDING LANDSCAPE SHALL BE CLEARED AS NECESSARY TO PROVIDE A 30'-0" WILDFIRE DEFENSIBLE SPACE AROUND THE PERIMETER OF THE HOUSE.
B. NONFIRE-RESISTIVE VEGETATION OR GROWTH SHALL BE KEPT CLEAR OF BUILDINGS OR STRUCTURES, IN SUCH A MANNER AS TO PROVIDE A CLEAR AREA FOR FIRE SUPPRESSION OPERATIONS.
C. INDIVIDUAL TREES AND/OR CLUMPS OF TREES OR BRUSH CROWNS, EXTENDING WITHIN 10' OF ANY STRUCTURE, SHALL BE PRUNED TO MAINTAIN HORIZONTAL CLEARANCE OF 10'. TREE CROWNS WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE LIMBS LOCATED LESS THAN 6' ABOVE THE GROUND SURFACE ADJACENT TO THE TREES. PORTIONS OF TREE CROWNS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY SHALL BE PRUNED TO MAINTAIN A MINIMUM HORIZONTAL CLEARANCE OF 10'.
D. DEFENSIBLE SPACES SHALL BE MAINTAINED ANNUALLY.



2 **VICINITY PLAN**
Scale: Actual Size

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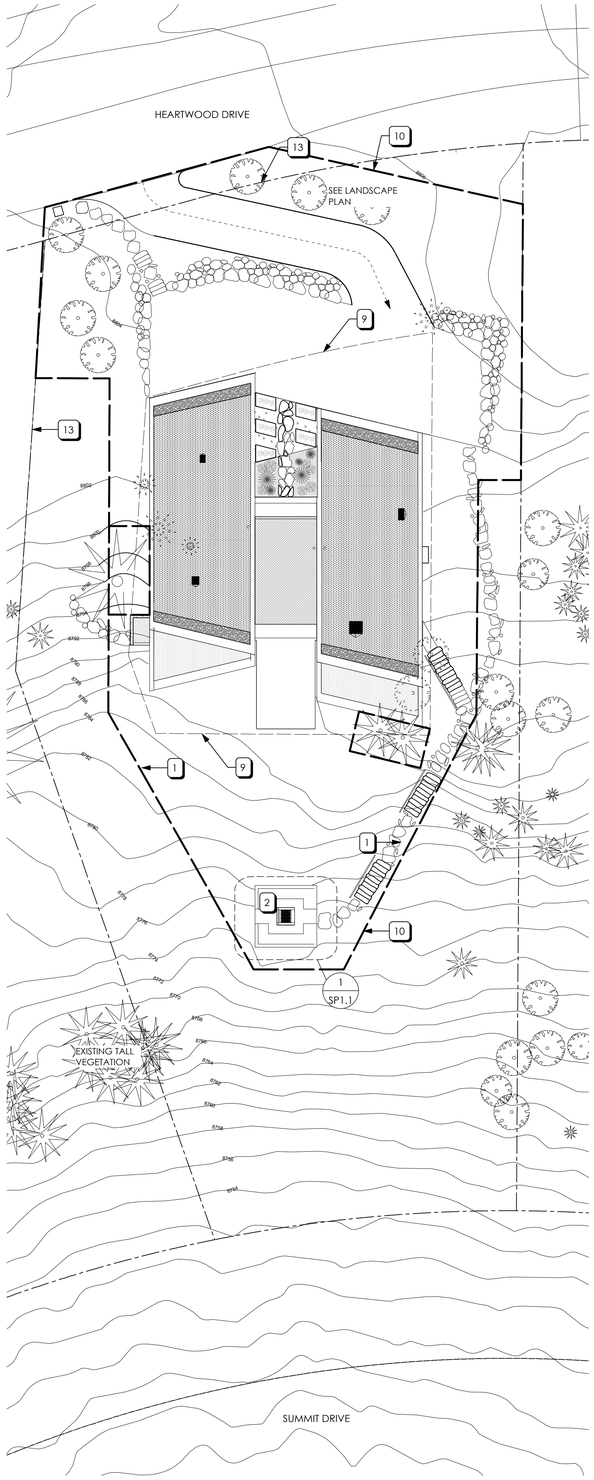
7947 EAST HEARTWOOD DRIVE
WEBER COUNTY, UTAH

DATE
13 MAY 2015

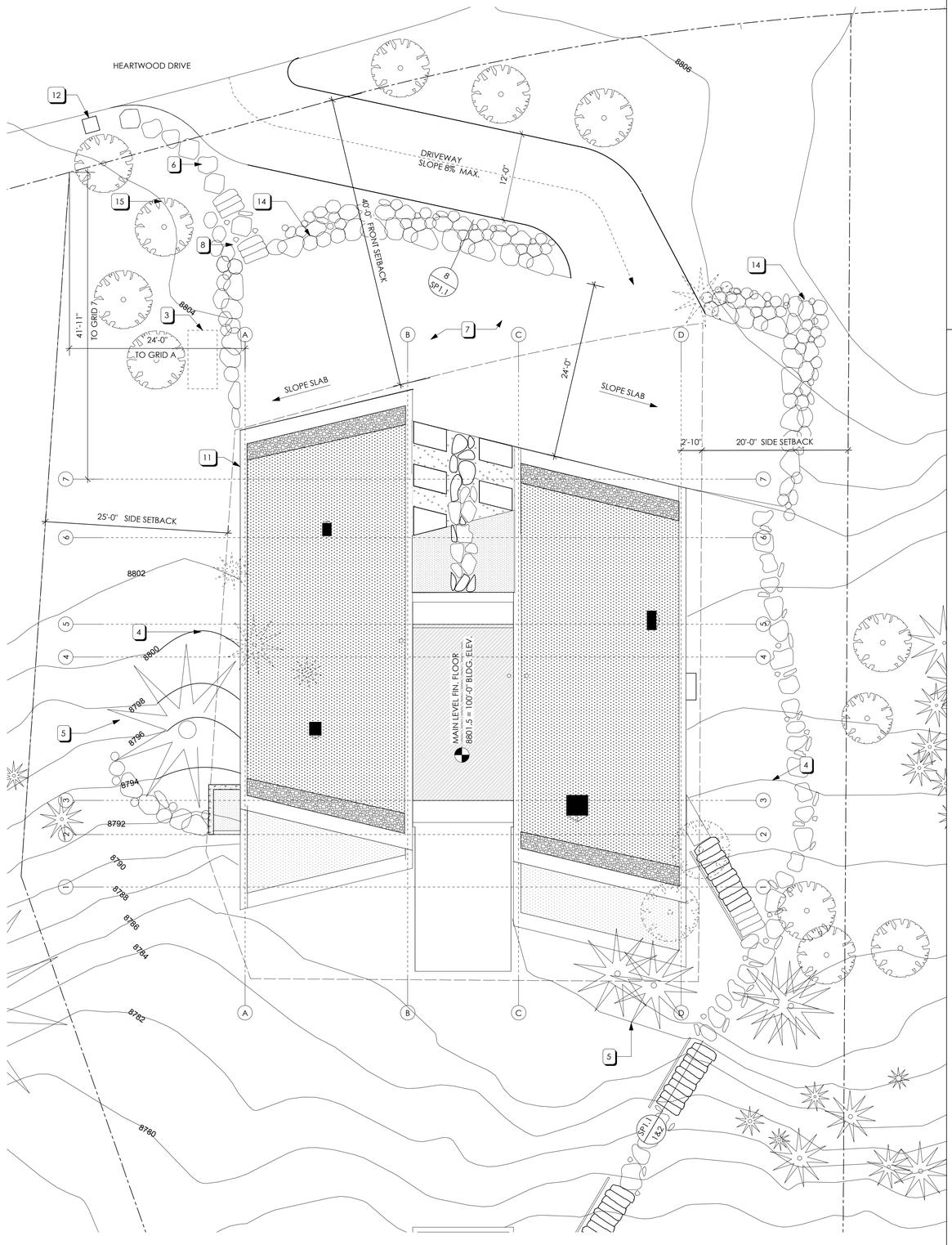
REVISIONS

SITE PLAN

SP1.0



1 **SITE PLAN**
Scale: 1/16" = 1'-0"



2 **ENLARGED SITE PLAN**
Scale: 1/8" = 1'-0"

SITE INFORMATION:

23102 SQUARE FEET
.53 ACRES

SITE PLAN KEYED NOTES

1. NATURAL STONE PAVER PEDESTRIAN PATH - COORDINATE WITH CIVIL
2. FIREPIT PER DETAIL
3. PROPANE TANK - COORDINATE WITH WEBER COUNTY REQUIREMENTS
4. COORDINATE WITH CIVIL DRAWINGS
5. CONTRACTOR TO WALK SITE WITH ARCHITECT AND MARK TREES TO BE REMOVED AND TREES TO REMAIN
6. NATURAL PAVER WALKWAY
7. PAVERS - SEE FLOOR TYPE F5/A0.1
8. STONE PAVER STEPS AND POWDER COATED STEEL RAILING PER DETAILS
9. BUILDING SETBACK
10. CONSTRUCTION BOUNDARY/SITE DISTURBANCE LINE. AREA SHALL BE ROPED OFF TO PREVENT ANY DESTRUCTION OF NATURAL TERRAIN OUTSIDE OF CONSTRUCTION AREA.
11. LOCATE WATER, POWER AND OTHER UTILITY CONNECTIONS ON EXTERIOR WALL. GROUP AS TIGHTLY AS POSSIBLE.
12. 2'-0" x 2'-0" EXPOSED AGGREGATE CONCRETE ADDRESS MONUMENT WITH BLACK STEEL ADDRESS NUMBERS
13. PROPERTY LINE
14. ROCK RETAINING WALL - NO HIGHER THAN 5'-0"
15. EXISTING TOPOGRAPHY

GENERAL SITE NOTES

A. COMPACT UNDER-SLAB AREAS TO MINIMUM 95% DENSITY. BACKFILL AREAS NOT UNDER SLABS OR FOUNDATIONS TO MINIMUM 90% ASTM D-689. PRIOR TO BACKFILLING, WALLS SHALL BE LATERALLY BRACED BY THE FLOOR FRAMING AT THE TOP AND THE BASEMENT SLAB AT THE BOTTOM, OR OTHER ADEQUATE TEMPORARY SHORING WHERE APPLICABLE. FILL WHICH IS DIRECTLY UNDER CONCRETE SLABS ON GRADE SHALL BE A MINIMUM FOUR INCHES OF COMPACTED GRANULAR FILL. BASE FILL FOR CONCRETE SLABS AND WALK TO BE GRADED SAND, FREE OF ORGANIC MATTER. BACKFILL AREAS NOT UNDER SLABS OR FOUNDATIONS TO MINIMUM 90% ASTM D-689. BACKFILL EXCAVATIONS AS PROMPTLY AS WORK PERMITS WITH SUBSOIL GRADED FREE OF LUMPS LARGER THAN 6", ROCKS LARGER THAN 3" AND DEBRIS. BACKFILL AROUND BUILDING AND UP TO EDGE OF WALKS TO DRAIN WATER AWAY FROM BUILDING. LEAVE FINAL GRADED AREAS RAKED SMOOTH. BACKFILLING MATERIAL TO BE FREE OF DEBRIS, ORGANIC MATERIAL AND SILT. BACKFILL TO BE GOOD QUALITY WELL DRAINING SAND OR GRAVEL FOR A MINIMUM 1.5 FEET BACK FROM FACE OF WALL.
B. BALANCE CUT AND FILL FOR SLABS ON GRADE AND DRIVEWAY TO REDUCE EXPORT FROM SITE.
C. PROVIDE NECESSARY PRECAUTIONS TO PREVENT SOIL EROSION. COMPLETE SWPPP FOR CITY AND LEED PURPOSES.
D. TREE STUMPS AND ALL DEAD FOLIAGE SHOULD BE FULLY REMOVED FROM AROUND AND UNDER THE BUILDING SITE AND DISPOSED OF OFFSITE SO THAT THEY DO NOT ATTRACT TERMITES AND OTHER PESTS.
E. ALL CANALS, SCUPPERS, AND DOWNSPOUTS SHALL HAVE SPLASH BLOCKS AND AN ADEQUATE DRAINAGE PATH AWAY FROM BUILDING.
F. SURFACE WATER SHALL DRAIN AWAY FROM HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
G. THE OWNER AND ARCHITECT SHALL APPROVE THE SITE LAYOUT PRIOR TO DIGGING THE FOOTINGS.
H. OBTAIN TOPSOIL FROM LOCAL SOURCES. NO TOPSOIL SHALL BE OBTAINED FROM BOGS OR MARSHES.
I. FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL.
J. A DRAINAGE SYSTEM SHALL BE INSTALLED AROUND THE PERIMETER OF THE FOUNDATION FOOTING. THE DRAINAGE SYSTEM SHALL CONSIST OF THE FOLLOWING ITEMS: DAMP-PROOFING SHALL BE CAREFULLY APPLIED ACCORDING TO MANUFACTURER'S DIRECTIONS TO COVER ALL BELOW GRADE SURFACES TO FORM A WATERTIGHT BARRIER. CARE SHALL BE TAKEN DURING BACKFILLING AND OTHER CONSTRUCTION TO PREVENT DAMAGE TO THE DAMP-PROOFED SURFACE; A FREE-DRAINING BACKFILL OF 3/4" MINIMUM CRUSHED STONE OR GRAVEL THAT IS FREE OF SMALLER PARTICLES SHALL BE USED TO LINE AND FILL THE EXCAVATION FOR ALL BELOW-GRADE WALLS; AN ENGINEERED DRAINAGE SYSTEM MAY BE SUBSTITUTED FOR A FREE DRAINING BACKFILL; A FRENCH DRAIN SHALL BE INSTALLED SO THAT ALL PERFORATED PIPES ARE LOCATED BELOW THE LEVEL OF THE BOTTOM SURFACE OF THE FOOTING. FRENCH DRAIN PERFORATED PIPES SHALL BE INSTALLED WITH THE HOLES DOWN TO ALLOW WATER TO RISE INTO THE PIPE; THE PERFORATED PIPE SHALL BE SURROUNDED AND SET IN A MINIMUM OF 2" DEPTH BED CONSISTING OF 3/4" MIN. CRUSHED STONE FREE OF SMALLER PARTICLES; THE PERFORATED PIPE AND CRUSHED STONE SHALL BE SURROUNDED BY A FILTER MEMBRANE TO PREVENT ADJACENT SOIL FROM WASHING INTO AND CLOGGING THE FRENCH DRAIN SYSTEM; FRENCH DRAINS SHALL BE SLOPED DOWNWARD A MINIMUM OF 1/4" PER FOOT OF RUN AND CONNECTED TO DAYLIGHT.
K. THE CONSTRUCTION AREA AND ACCESS TO THE CONSTRUCTION AREA SHALL BE AS SMALL AS REASONABLE TO FACILITATE CONSTRUCTION. THIS AREA IS TO BE CLEARLY DEMARCATED AND ROPED OFF TO PREVENT ANY DESTRUCTION OF NATURAL TERRAIN OUTSIDE OF CONSTRUCTION AREA BY CONSTRUCTION VEHICLES.
L. USE A BARRIER CLOTH UNDER EXTERIOR WALKWAYS TO PREVENT OVERGROWTH. PROTECT EXISTING TREES AND VEGETATION, WHICH ARE TO REMAIN. REPAIR OR REPLACE ANY DAMAGED VEGETATION OR TERRAIN THAT IS INDICATED TO BE PROTECTED OR IS MORE THAN EIGHT FEET FROM THE EDGE OF ANY SPECIFIED CONSTRUCTION AREA.
M. RADON CONTROL SYSTEM: A 4" LAYER OF AGGREGATE IS PLACED UNDER THE BUILDING ENVELOPE. A 4" DIAMETER PERFORATED PIPE IS LAID ON THE AGGREGATE THROUGH THE CENTER OF THE STRUCTURE. THE PIPE IS CONNECTED TO AN UN-PERFORATED RISER TUBE THAT VENTS TO THE OUTSIDE. SEAL ALL SLAB PENETRATIONS AND PIPE SEAMS COMPLETELY. ACTIVE OR PASSIVE RADON MITIGATION INSTALLED PER EPA GUIDELINES. SEE DETAIL 4/A5.4
N. COMPLY WITH IRC CHAPTER 4 FOR EXCAVATIONS, FILL, CUTS AND GRADING. FOR CUT SLOPES AND GRADE FILL STEEPER THAN 2:1, REFER TO STRUCTURAL NOTES/DETAILS.

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SUMMIT 27 - FALCONE RESIDENCE

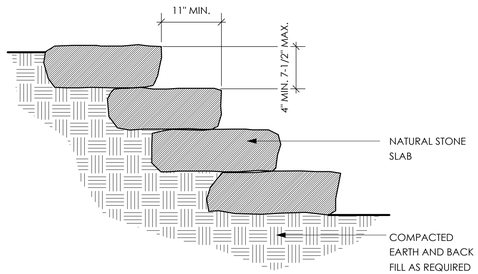
7947 EAST HEARTWOOD DRIVE
WEBER COUNTY, UTAH

DATE
13 MAY 2015

REVISIONS

SITE PLAN

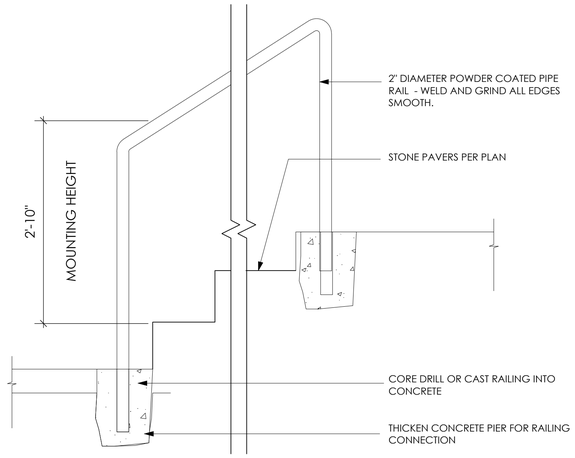
SP1.0



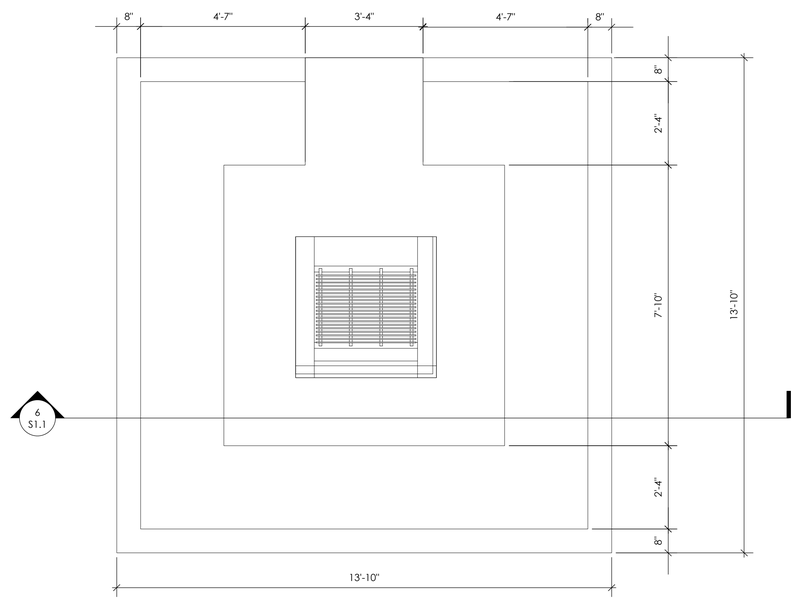
SEE SITE PLAN FOR GRADE ELEVATIONS & NUMBER OF STEPS

1 LANDSCAPE STEP DETAIL
Scale: 1" = 1'-0"

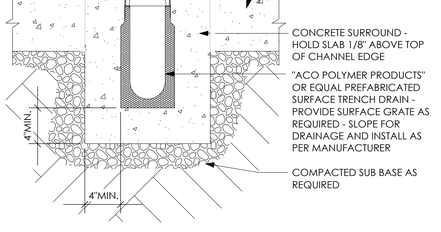
SI-05



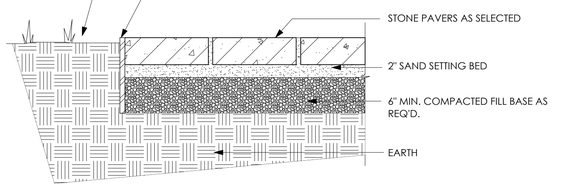
2 EXTERIOR STAIR/RAILING DETAIL
Scale: 1" = 1'-0"



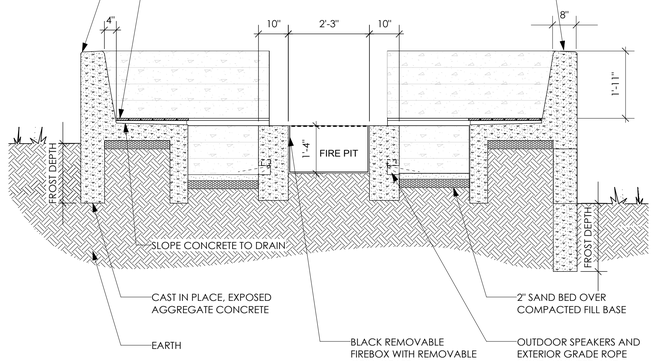
3 FIREPIT DETAIL
Scale: 1/2" = 1'-0"



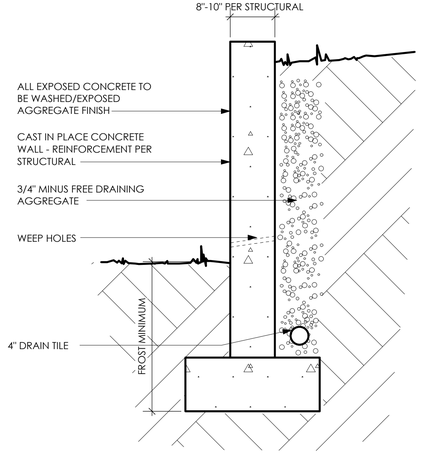
4 TRENCH DRAIN DETAIL
Scale: 1 1/2" = 1'-0"



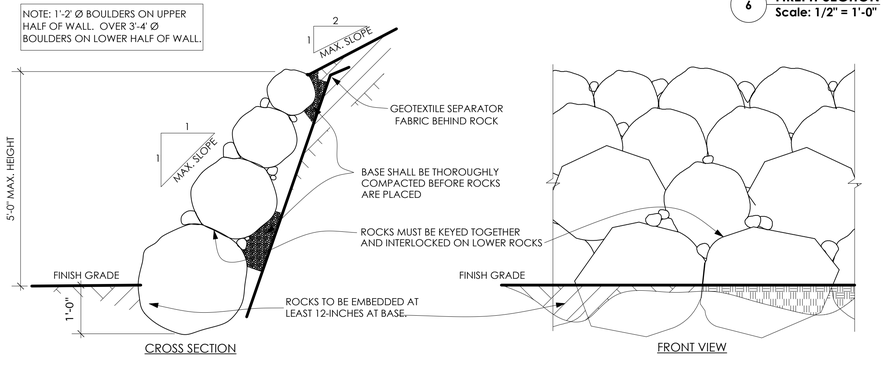
5 SITE PAVER DETAIL
Scale: 1" = 1'-0"



6 FIREPIT SECTION
Scale: 1/2" = 1'-0"



7 CAST IN PLACE RETAINING WALL
Scale: 3/4" = 1'-0"



NOTE: THE ROCKS SHALL BE DURABLE, ANGULAR FIELD STONES AND SHALL INTERLOCK WITH ADJACENT ROCKS. THE RETAINING WALL SHALL NOT EXCEED A 45° ANGLE AS SHOWN. LARGE OPENINGS BETWEEN ROCKS SHALL BE FILLED WITH ROCK SPALLS OF SUITABLE SIZE RAMMED TIGHTLY INTO PLACE FROM THE BOTTOM TO THE TOP.

8 TYPICAL RETAINING WALL DETAIL
Scale: 3/4" = 1'-0"

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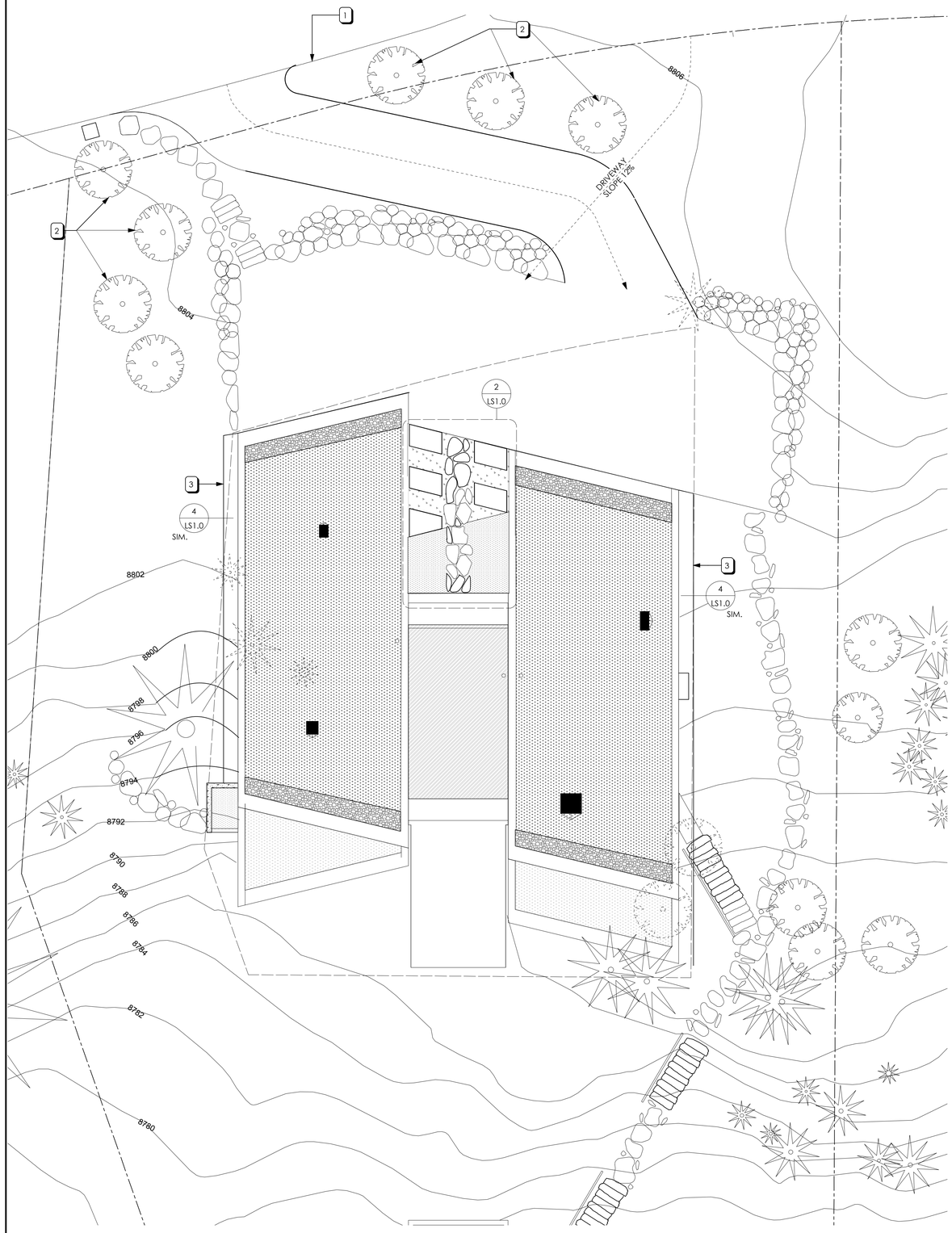
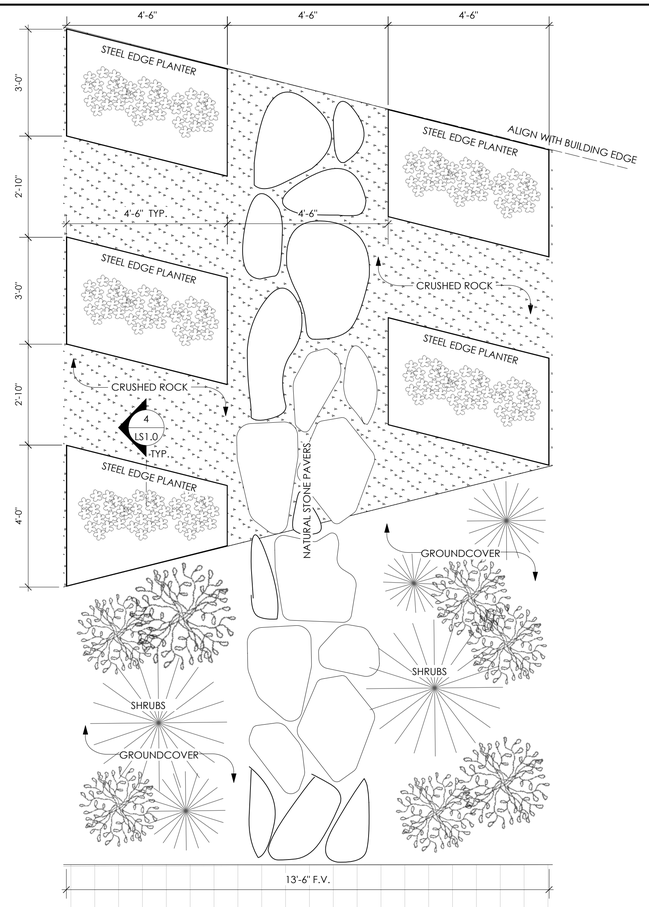
SITE DETAILS

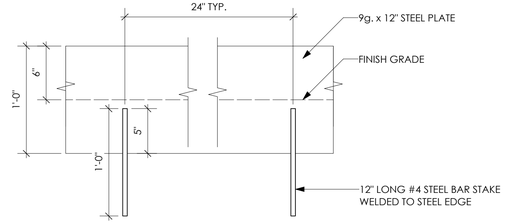
SP1.1



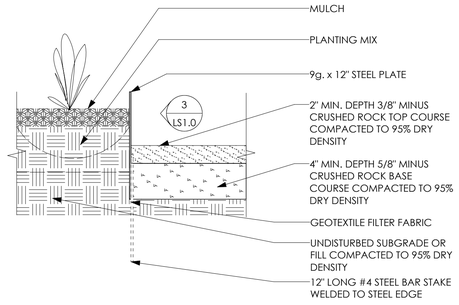
1 **LANDSCAPE PLAN**
Scale: 1/8" = 1'-0"



2 **LANDSCAPE PLAN**
Scale: 1/2" = 1'-0"



3 **STEEL EDGE DETAIL**
Scale: 1 1/2" = 1'-0"



4 **STEEL EDGE PLANTER SECTION**
Scale: 1 1/2" = 1'-0"

LANDSCAPE KEYED NOTES

1. EXISTING DYER'S WOAD (NOXIOUS WEED) ALONG ROADWAY. GENERAL CONTRACTOR TO PROVIDE CONTROL OF WEED WHICH INCLUDES: SPRAYING THE BASAL ROSETTE WITH AN HERBICIDE (I.E. WEEDMASTER) AND CLIPPING AND BAGGING MATURE PLANTS BEFORE THE SEEDS SHOCK.
2. NEW NATIVE TREES AND SHRUBS AS SCREEN FROM ROAD
3. 2'-0" CONTINUOUS PERIMETER OF FREE DRAINING GRAVEL SLOPED AWAY FROM HOME WITH STEEL EDGE SEPARATION, TYPICAL

NOTE: SEE SITE PLAN SP1.0 FOR ELEVATION BENCHMARKS, DIMENSIONS, ETC.

PLANTING GENERAL NOTES

A. LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE A MINIMUM OF 24 HOURS BEFORE CONSTRUCTION COMMENCES. ANY DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY FOR DECISION.
B. THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
C. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED.
D. ALL TREES SHALL BE PLANTED 5' MIN. AWAY FROM WATER SERVICE LATERALS AND 10' MIN. AWAY FROM SEWER LATERALS.
E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING ALL PLANTED AREAS AND TO ENSURE POSITIVE DRAINAGE OF A MINIMUM 2.5% AWAY FROM BUILDINGS
F. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
G. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED AS NECESSARY TO MAINTAIN HEALTHY ESTABLISHMENT.

APPROVED NATIVE VEGETATION

THE FOLLOWING LISTS ACCEPTABLE SPECIES FOR REPLANTING ON SITE:

TREES:

SUB-ALPINE FIR (ABIES LASIOCARPA)
ASPEN (POPULUS TREMULOIDES)
LIMBER PINE (PINUS FLEXILIS).

SHRUBS:

SNOWBERRY (SYMPHOROCARPUS OREOPHILUS)
MOUNTAIN BIG SAGEBRUSH (ARTEMISIA TRIDENTATE VASEYANA)
CHOKECHERRY (PRUNUS VIRGINIANA)
GOOSEBERRY CURRANT (RIBES MONTIGENUM)
RED ELDERBERRY (SAMBUCUS RACEMOSA)
ALDERLEAF SERVICEBERRY (AMELANCHIER ALNIFOLIA)

PERENNIALS:

SILVER LUPINE
CUSHION BUCKWHEAT
SENECIO
CONEFLOWER
THIRTEEN-LEAF LOMATIUM
GIANT LOMATIUM
MULES'EAR
YARROW
HORSEMINT
ROCKY MOUNTAIN ASTER
NELSON'S LARKSPUR
STICKSEED
PENSTEMON
MOUNTAIN-CRESS
WILD ONION

NOTE: SEE GREENGRID SPECIFICATIONS FOR ROOFTOP PLANTINGS

IRRIGATION GENERAL NOTES

CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION TO ESTABLISH RE-VEGETATED AREAS AS REQUIRED.

SEE GREENGRID SPECIFICATIONS FOR IRRIGATION REQUIREMENTS AT PLANTED ROOF. PROVIDE HOSE BIBB CONNECTION ON ROOF .

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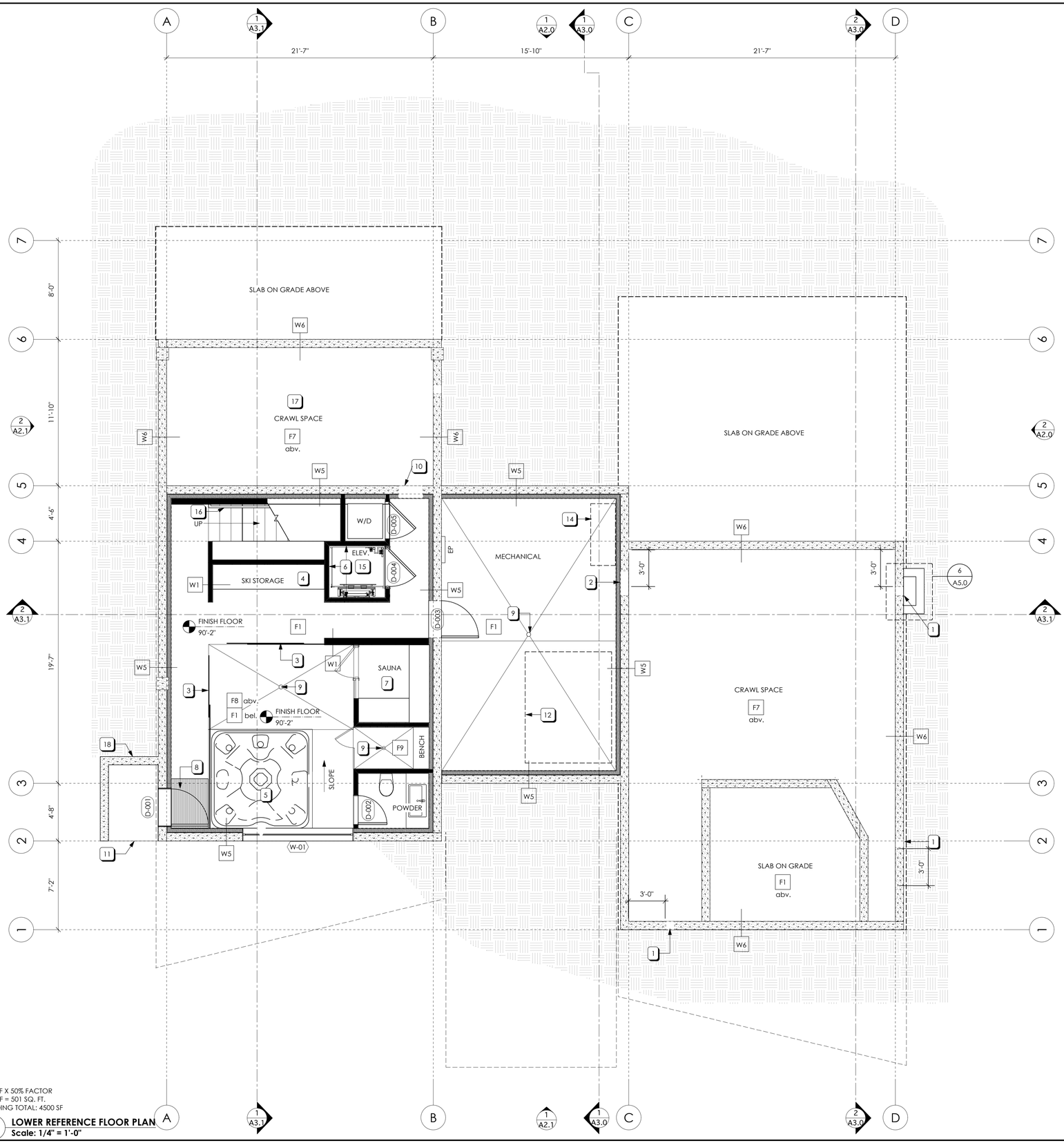
LANDSCAPE PLAN

LS1.0



832 SF X 50% FACTOR
+85 SF = 501 SQ. FT.
BUILDING TOTAL: 4500 SF

1 LOWER REFERENCE FLOOR PLAN
Scale: 1/4" = 1'-0"

GENERAL NOTES & LEGEND

W# WALL TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS

F# FLOOR TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS

FLOOR PLAN KEYED NOTES

1. CRAWL SPACE VENT PER DETAIL 5/A5.0
2. 16X24 CRAWL SPACE ACCESS PER DETAIL
3. 1/2" FRAMELESS, TEMPERED SLIDING GLASS PANELS
4. BUILT-IN CABINETRY PER INTERIOR ELEVATIONS
5. INDOOR JACUZZI: BULLFROG SPA AS SELECTED - CONTRACTOR TO COORDINATE POWER REQUIREMENTS WITH SUPPLIER
6. FINISH INTERIOR OF ELEVATOR CHASE WITH 5/8" TYPE "X" GYPSUM BOARD, TYPICAL
7. INDOOR SAUNA. COORDINATE FINISH FLOOR HEIGHT WITH SUPPLIER FOR NO LEVEL CHANGE BETWEEN SPACES.
8. "MARKANT BY ACO" STAINLESS STEEL WEDGEWIRE MAT INSTALLED PER MANUFACTURER PART #97975 (MINIMUM DIMENSION OF 4'-0" IN DIRECTION OF TRAVEL PER LEED REQ.)
9. FLOOR DRAIN - SLOPE FLOOR TO DRAIN
10. 24X30 CRAWL SPACE ACCESS PER DETAIL - INSULATE ACCESS PANEL AND MATCH ADJACENT INTERIOR WALL FINISH
11. EXTERIOR SLAB ON GRADE LANDING
12. HOT TUB EQUIPMENT MOUNTED TO SLAB - GC TO COORDINATE POWER AND OTHER REQUIREMENTS WITH SUPPLIER
13. N/A
14. WALL-MOUNTED BOILER - COORDINATE WITH INSTALLER FOR REQUIREMENTS
15. SYNERGY ELEVATOR PER SPECIFICATIONS
16. HANDRAIL MOUNTED @ 34" ABOVE TREAD NOSING
17. LOCATE RADON CONTROL PVC PIPE IN THIS AREA PER DETAIL 4/A5.4
18. RETAINING WALL PER STRUCTURAL

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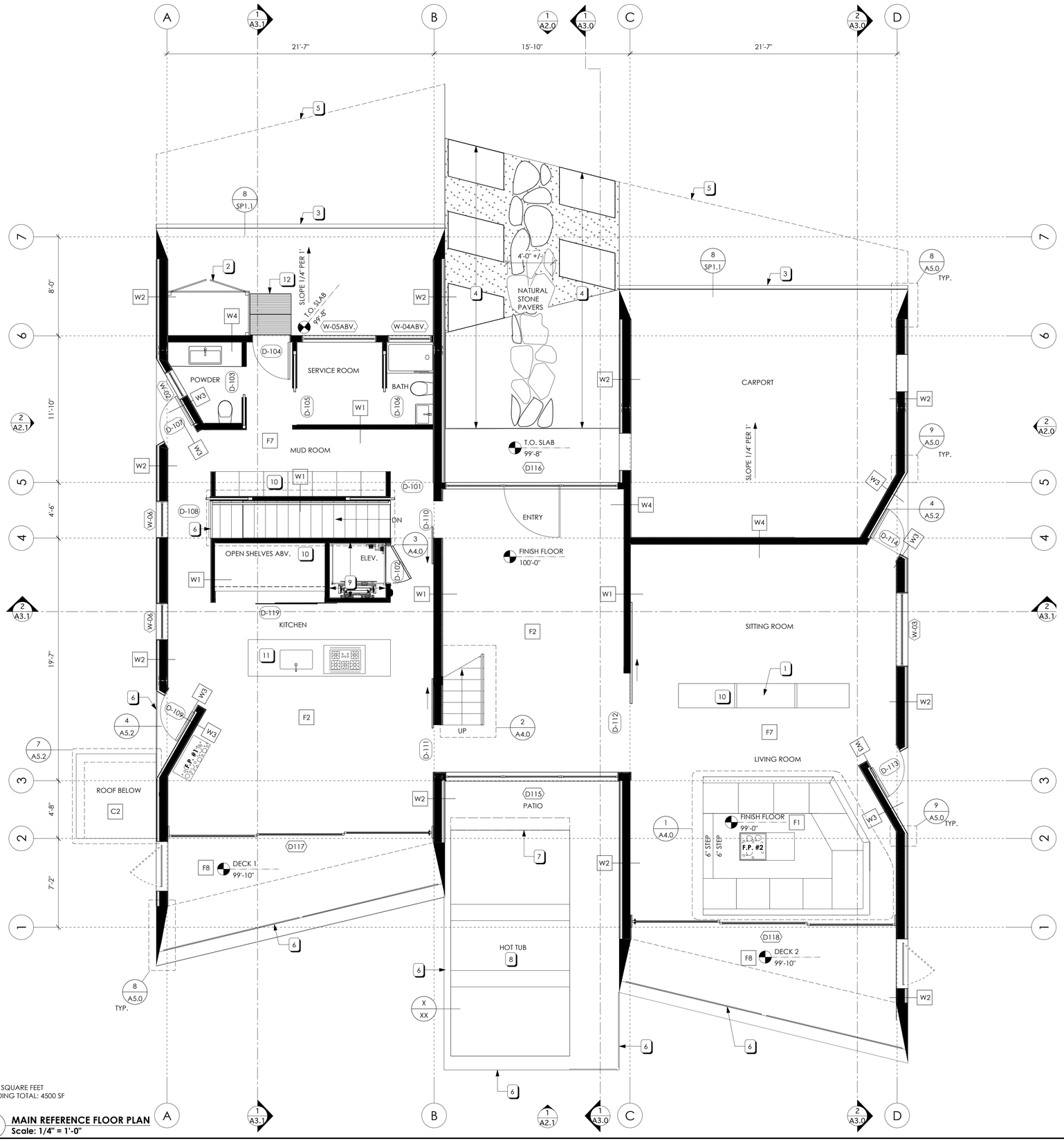
LOWER FLOOR REFERENCE PLAN

A1.0



1930 SQUARE FEET
BUILDING TOTAL: 4500 SF

1 **MAIN REFERENCE FLOOR PLAN**
Scale: 1/4" = 1'-0"

GENERAL NOTES & LEGEND

W# WALL TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS

F# FLOOR TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS

FLOOR PLAN KEYED NOTES

1. ROUGH-IN PLUMBING WITH ACCESS PANEL IN FLOOR FOR FUTURE KITCHENETTE INSTALLATION
2. TRASH ENCLOSURE - 48" HIGH BLACK FLUSH METAL PANEL ENCLOSURE AND GATE WITH LATCH CLOSURE
3. TRAFFIC RATED TRENCH DRAIN, "MARKANT BY ACO" OR EQUAL PER DETAIL
4. 6" HIGH BLACK STEEL EDGE PLANTERS - SEE LANDSCAPE PLAN
5. LINE OF FLOOR ABOVE
6. 1/2" CLEAR, TEMPERED GLASS GUARDRAIL @ 36" ABOVE FINISH FLOOR
7. HOT TUB COVER STORAGE UNDER DECK - MAINTAIN 3' CLEARANCE FOR COVER MECHANISM
8. HOT TUB - COORDINATE REQUIREMENTS WITH INSTALLER
9. FINISH INTERIOR OF ELEVATOR CHASE WITH 5/8" TYPE "X" GYPSUM BOARD, TYPICAL
10. BUILT-IN CABINETRY PER INTERIOR ELEVATIONS
11. KITCHEN SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR
12. "MARKANT BY ACO" STAINLESS STEEL WEDGEWIRE MAT INSTALLED PER MANUFACTURER PART #97975 (MINIMUM DIMENSION OF 4'-0" IN DIRECTION OF TRAVEL PER LEED REQ.)

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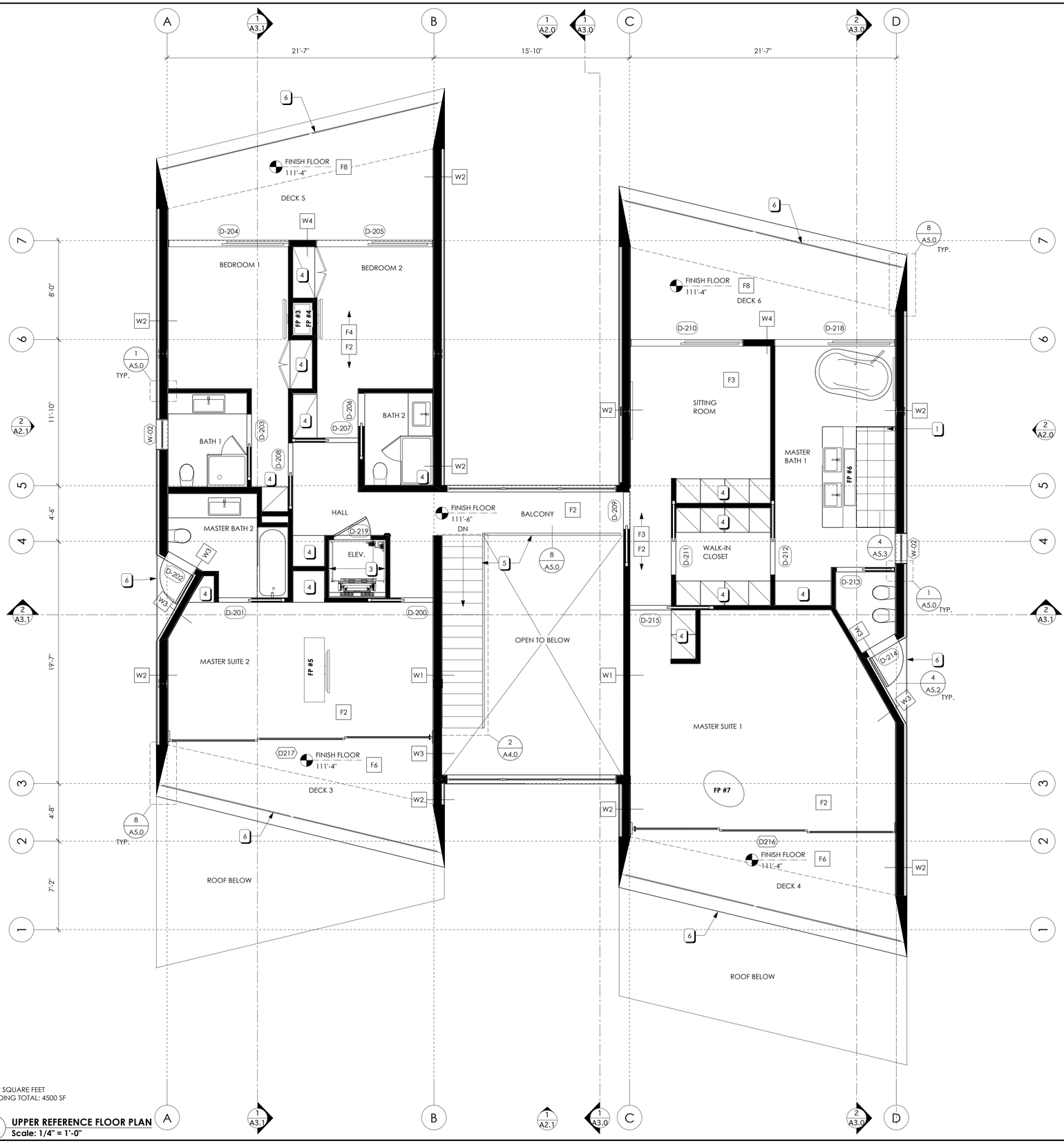
MAIN FLOOR REFERENCE PLAN

A1.1



2069 SQUARE FEET
BUILDING TOTAL: 4500 SF

1 **UPPER REFERENCE FLOOR PLAN**
Scale: 1/4" = 1'-0"

GENERAL NOTES & LEGEND

W# WALL TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS

F# FLOOR TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS

FLOOR PLAN KEYED NOTES

1. TRENCH SHOWER DRAIN
2. N/A
3. FINISH INTERIOR OF ELEVATOR CHASE WITH 5/8" TYPE "X" GYPSUM BOARD, TYPICAL
4. BUILT-IN CABINETRY PER INTERIOR ELEVATIONS
5. 1/2" CLEAR, TEMPERED GLASS GUARDRAIL @ 36" ABOVE FINISH FLOOR PER DETAILS
6. 1/2" CLEAR, TEMPERED GLASS GUARDRAIL @ 36" ABOVE FINISH FLOOR

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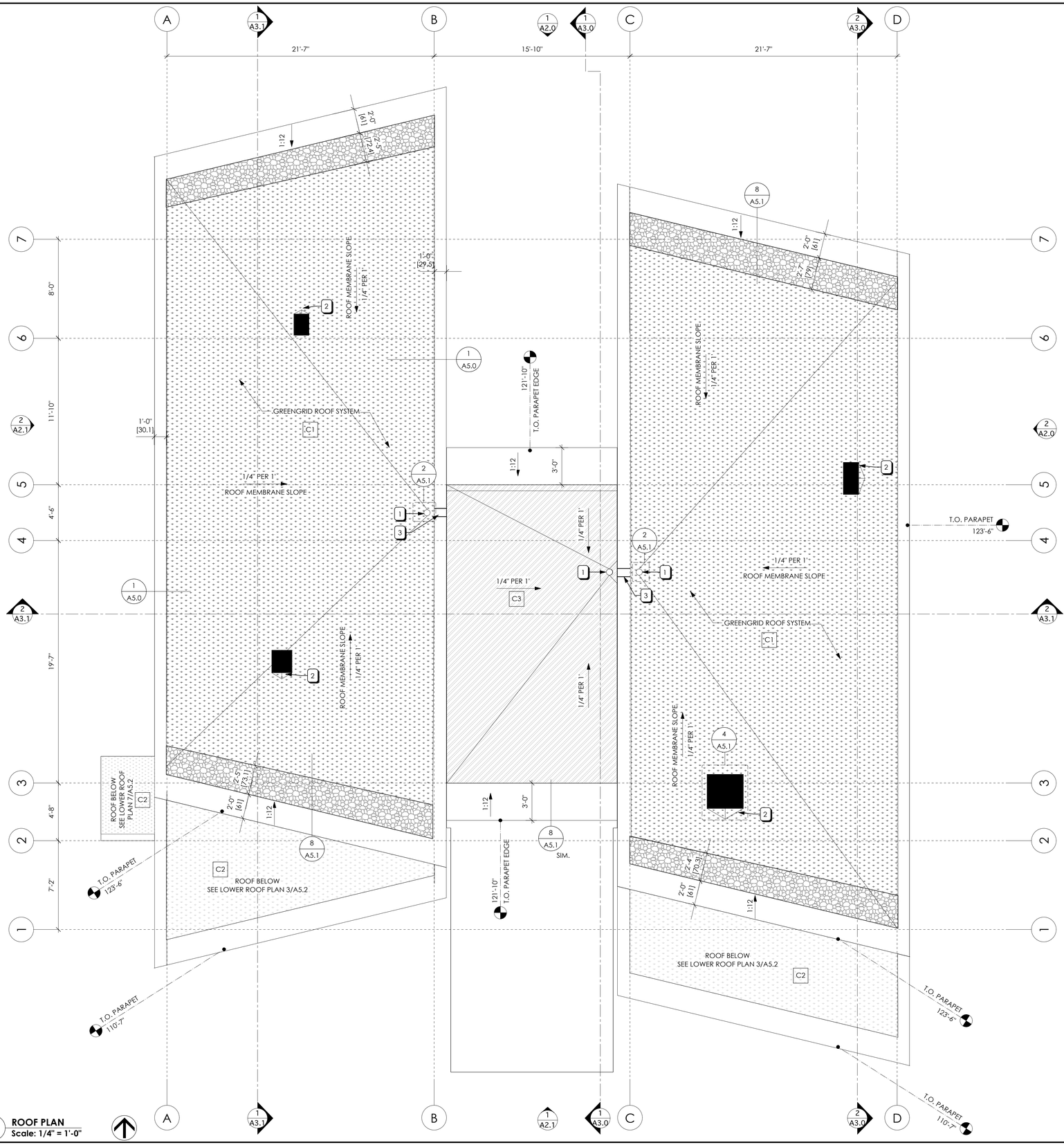
UPPER FLOOR REFERENCE PLAN

A1.2



1 **ROOF PLAN**
Scale: 1/4" = 1'-0"

GREENGRID GREEN ROOF SYSTEM SPECIFICATIONS

A. INSTALLER QUALIFICATIONS: THE VEGETATIVE ROOF INSTALLER SHALL HAVE A MINIMUM OF THREE YEARS EXPERIENCE SPECIALIZING IN MODULAR VEGETATIVE ROOFING INSTALLATIONS AND MAINTENANCE AND/OR DEMONSTRATE SUFFICIENT KNOWLEDGE AND EXPERIENCE THROUGH MULTIPLE INSTALLATIONS OF MODULAR VEGETATIVE GREEN ROOF SYSTEMS.

B. BEFORE INSTALLATION OF THE MODULES, THE WATERPROOFING SURFACE SHALL BE INSPECTED TO DETERMINE ADEQUACY OF THE WATERPROOFING SURFACE TO ACCEPT THE MODULES.

C. A 6 OUNCE NON-WOVEN GEOTEXTILE FABRIC SLIP SHEET IS REQUIRED AS A PROTECTION LAYER BETWEEN MODULES AND THE WATERPROOFING SURFACE.

D. UPON COMPLETION OF THE INSTALLATION, AN INSPECTION SHALL BE CONDUCTED BY A GREENGRID TECHNICAL REPRESENTATIVE TO ASCERTAIN THAT THE MODULES HAVE BEEN INSTALLED ACCORDING TO THESE SPECIFICATIONS AND DETAILS. THIS INSPECTION IS TO DETERMINE WHETHER A WARRANTY SHALL BE ISSUED.

E. GreenGrid® MODULE TO BE DELIVERED TO PROJECT LOCATION COMPLETE WITH GROWTH MEDIA AND PRE-VEGETATED TO 80% FOLIAGE MATURITY WITH VEGETATION OF THE COLOR AND TYPE DESIRED BY THE CLIENT SUITABLE FOR THE VEGETATIVE ROOF APPLICATION.

F. INSTALLATION SHALL BE DONE BETWEEN APRIL 15 AND OCTOBER 1, BUT NOT WHEN THE TEMPERATURE IS BELOW 50 DEGREES F FOR ANY PERIOD OF TIME OR DAYTIME TEMPERATURES WILL NOT REACH 60 DEGREES F.

G. DO NOT INSTALL ON SATURATED ROOF SURFACES OR UNDER FREEZING WEATHER CONDITIONS, THE LATTER UNLESS WITH THE EXPRESS PERMISSION OF WESTON SOLUTIONS, INC.
□COORDINATE THE COMPLETION OF INSTALLATION WITHIN A 24-HOUR PERIOD FROM THE TIME THE MODULES ARE TO BE DELIVERED.

H. MODULES SHALL BE INSTALLED IN STRAIGHT ROWS, TIGHT AGAINST EACH OTHER, AND ARRANGED IN THE PROPER DIRECTIONAL ORIENTATION.

I. INSTALLED MODULES SHALL BE WATERED SUFFICIENTLY WITH A FINE SPRAY SO AS TO THOROUGHLY MOISTEN TEH GROWTH MEDIA FROM TOP TO BOTTOM. WATER SHALL BE FREE OF SUBSTANCES HARMFUL TO PLAN GROWTH. HOSES OR OTHER METHODS OF TEMPORARY IRRIGATION SHALL BE FURNISHED BY THE CONTRACTOR.

J. INSTALLATION CONTRACTOR SHALL MAINTAIN THE MODULES FOR A PERIOD OF AT LEAST 30 DAYS AFTER COMPLETION PRIOR TO ACCEPTANCE FROM BUILDING OWNER. REFER TO GREENGRID MANUFACTURER SPECIFICATIONS FOR MAINTENANCE SCHEDULE AND REQUIREMENTS.

K. DRIP IRRIGATION SYSTEM SHALL BE PROVIDED FOR GREENGRID VEGETATED AREAS

GENERAL NOTES & LEGEND

- ROOF PENETRATIONS SHALL BE GROUPED INTO THE SAME AREAS WHERE POSSIBLE

GREENGRID ROOF SYSTEM - 8" DEEP INSTALLED OVER MEMBRANE ROOF

DARK GRAY GRAVEL BED OVER MEMBRANE ROOF, SLOPED TO DRAIN

WHITE MEMBRANE ROOF, SLOPED TO DRAIN

PRE-FINISHED METAL PARAPET TO MATCH SIDING

ROOF PLAN KEYED NOTES

1. PRIMARY/SECONDARY ROOF DRAIN 3" MINIMUM - SIZE PER MANUFACTURER. DRAIN TO GRADE PER CIVIL DRAWINGS. INSULATE DRAIN PIPE IN WALL R-11 MINIMUM
2. ROOF CRICKET
3. OVERFLOW SCUPPER

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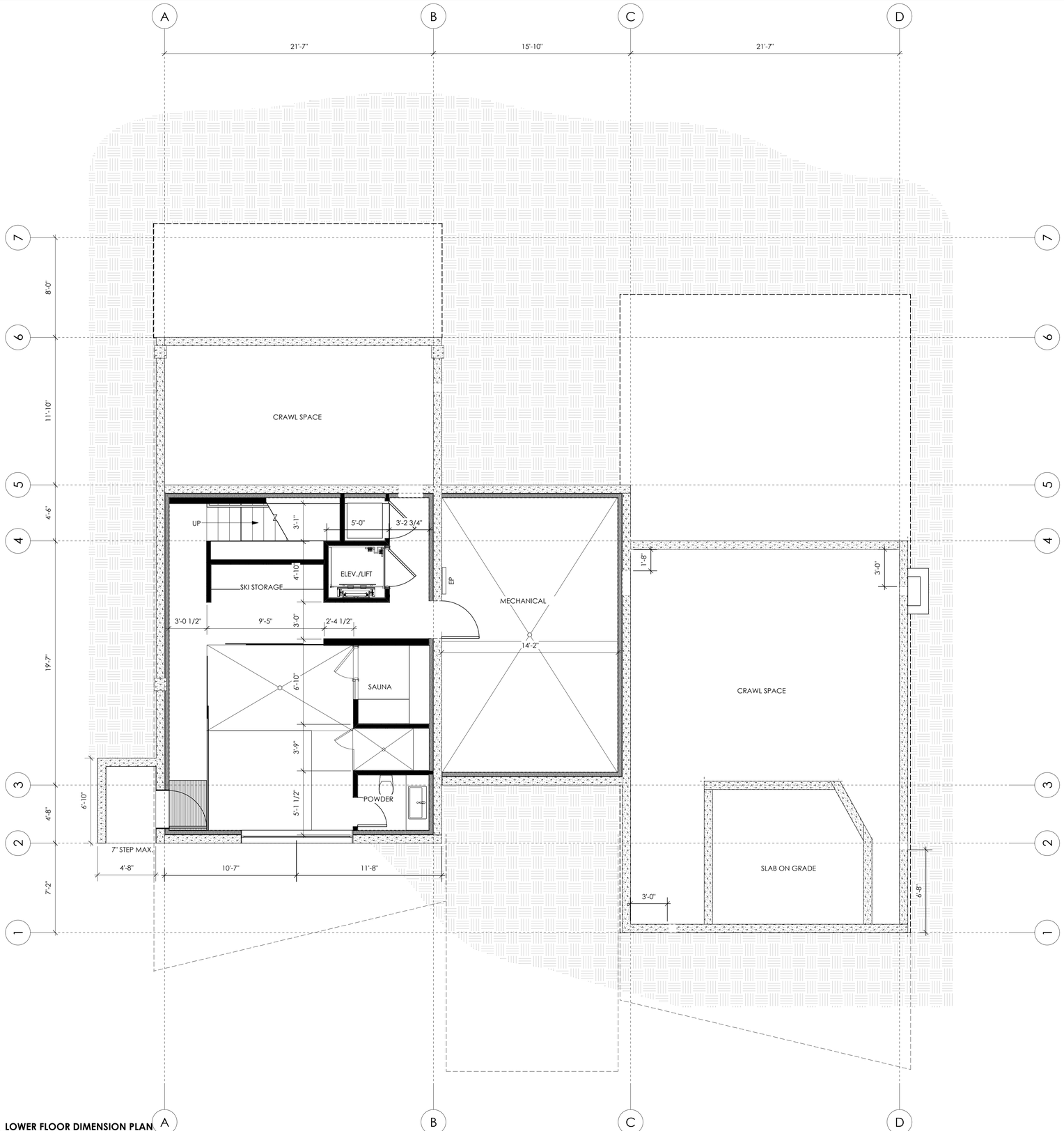
ROOF PLAN

A1.3



1 **LOWER FLOOR DIMENSION PLAN**
Scale: 1/4" = 1'-0"

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THE GENERAL CONTRACTOR AND/OR ALL SUB CONTRACTORS WORKING FROM THESE PLANS AND SPECIFICATIONS ARE NOT TO SCALE SUCH INFORMATION BUT TO CONTACT THE ARCHITECT OR HER REPRESENTATIVE REGARDING MEASUREMENTS. IF SUCH MEASUREMENTS DO NOT APPEAR CORRECT. ADD UP PROPERLY OR SCALE CORRECTLY TO THE INDICATED SIZE.

DATE

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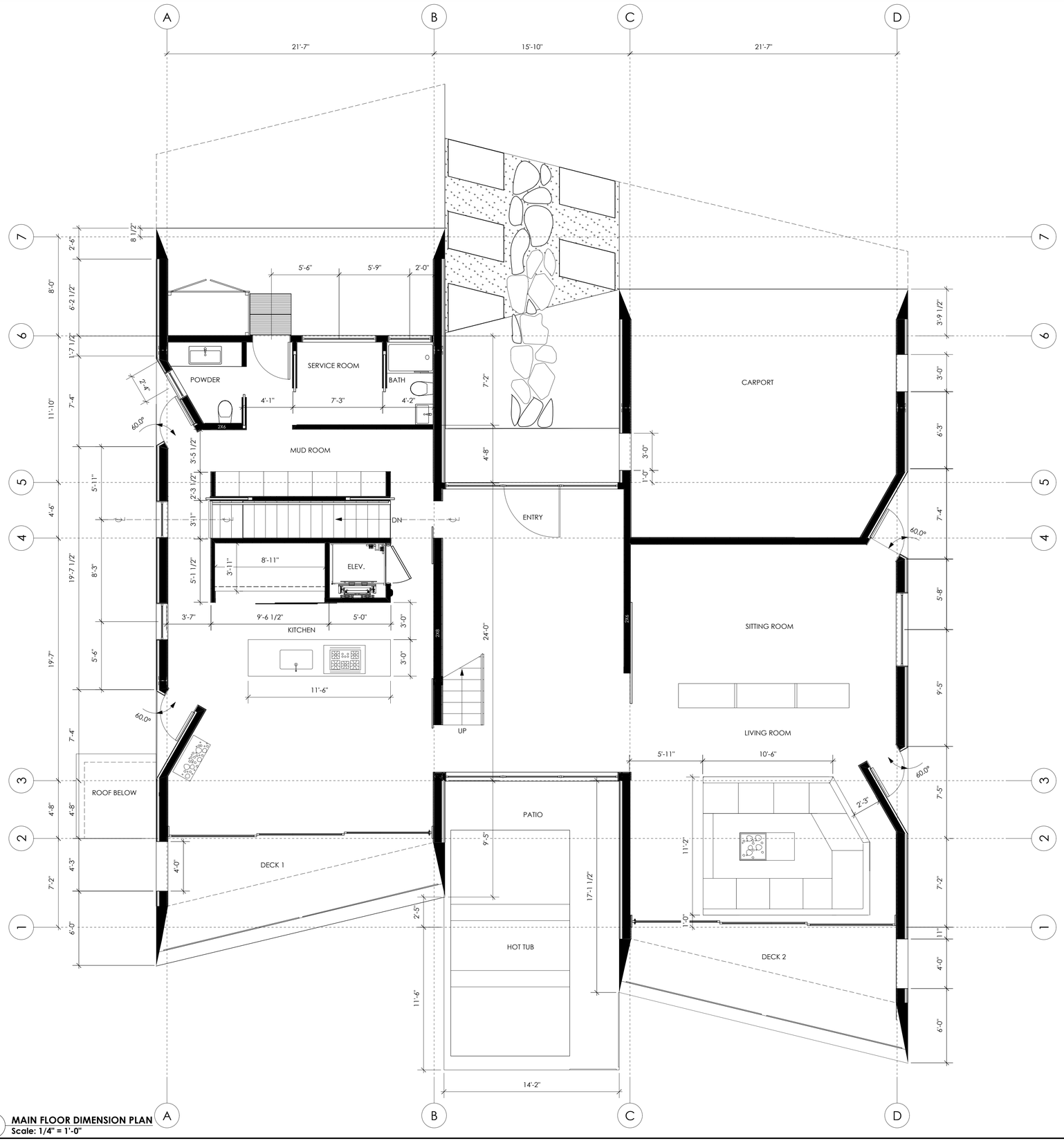
REVISIONS

LOWER FLOOR DIMENSION PLAN

A1.4



1 **MAIN FLOOR DIMENSION PLAN**
Scale: 1/4" = 1'-0"

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7947 EAST HEARTWOOD DRIVE
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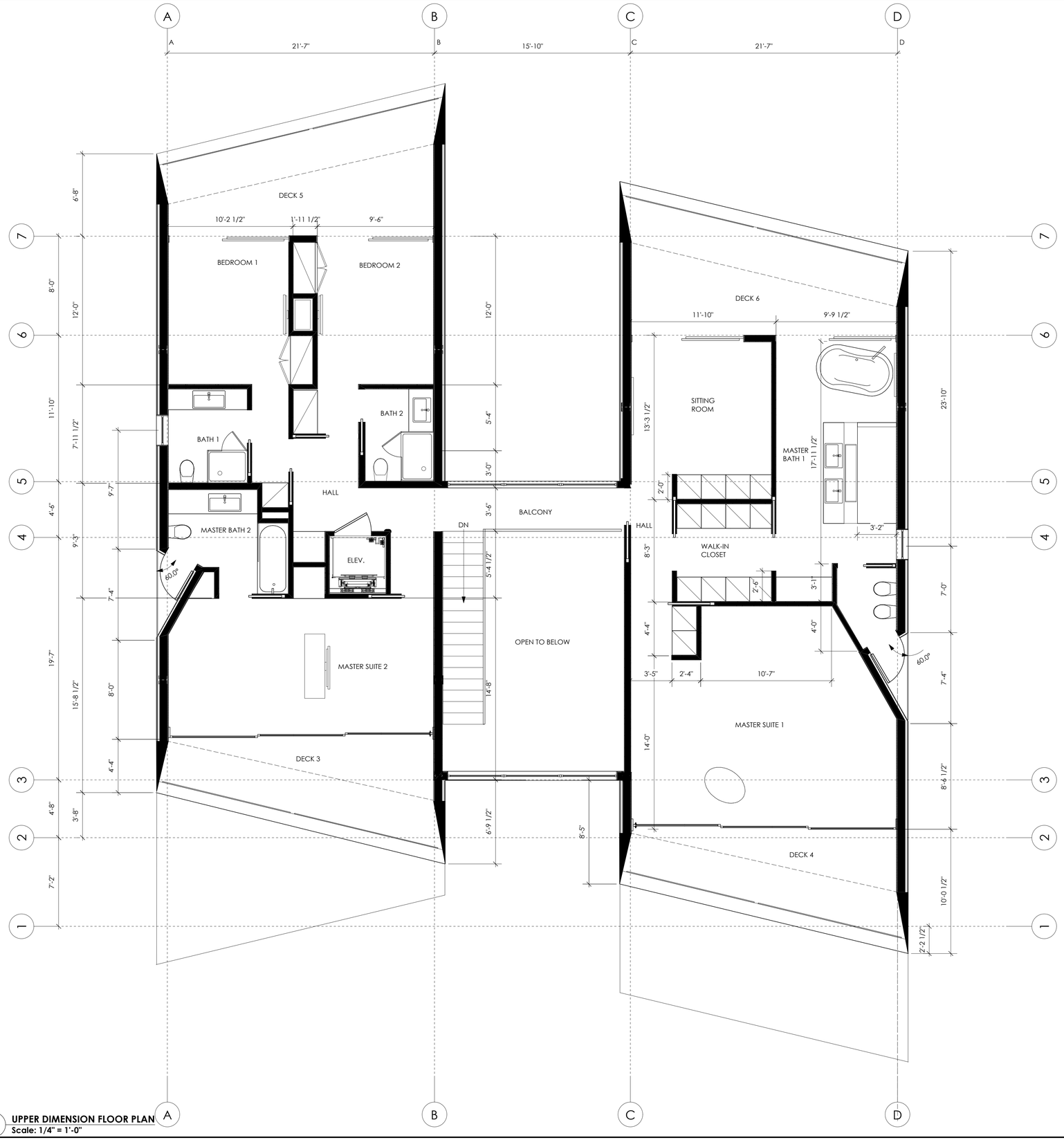
DATE
13 MAY 2015

REVISIONS

MAIN FLOOR DIMENSION PLAN

A1.5



1 **UPPER DIMENSION FLOOR PLAN**
Scale: 1/4" = 1'-0"

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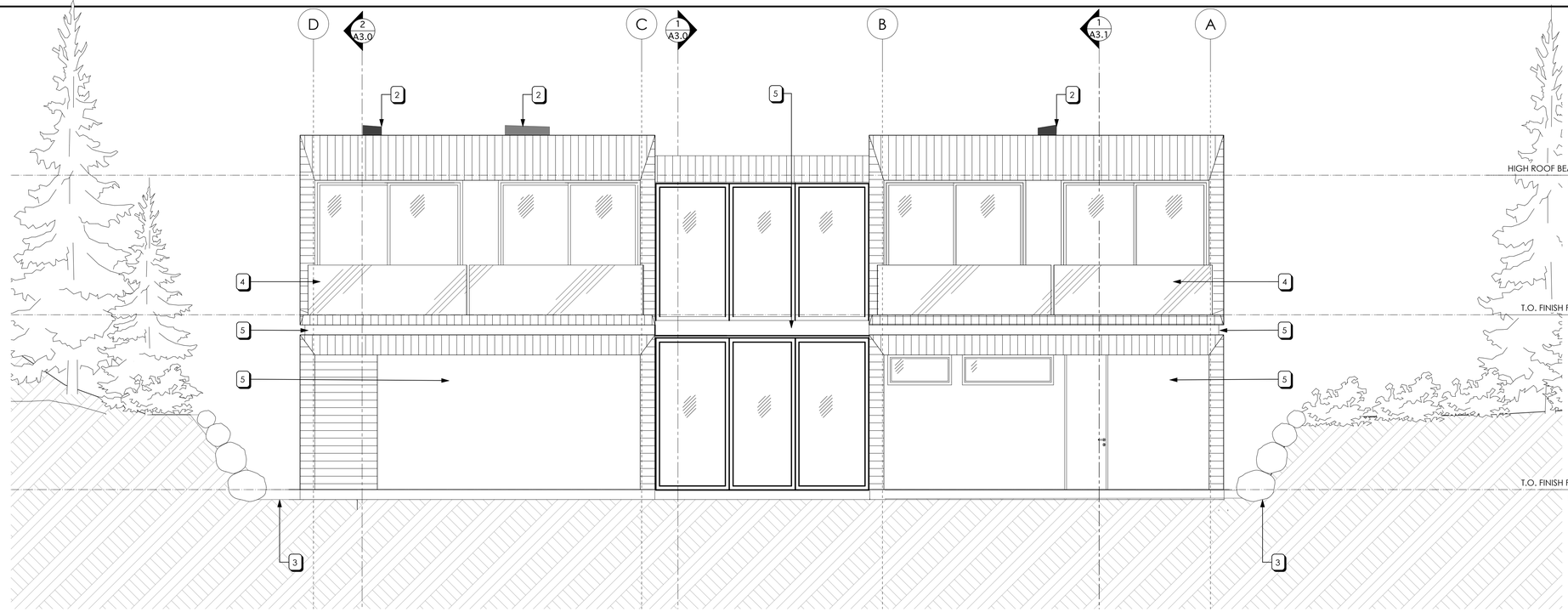
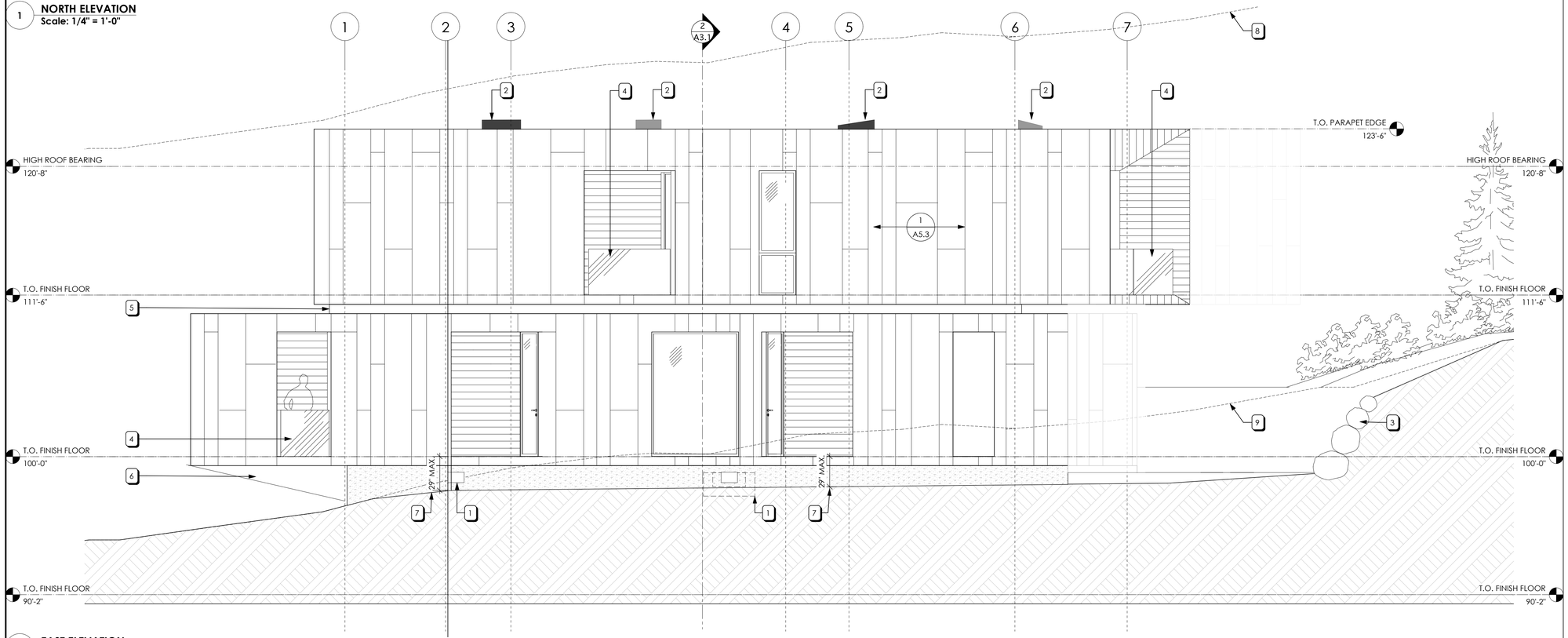
REVISIONS

UPPER FLOOR DIMENSION PLAN

A1.6



1 NORTH ELEVATION
Scale: 1/4" = 1'-0"



2 EAST ELEVATION
Scale: 1/4" = 1'-0"

GENERAL NOTES & LEGEND

- STANDING SEAM FACADE PANEL SYSTEM AS SELECTED
- SHIPLAP WOOD SIDING AS SELECTED, SEALED
- POWDER COATED METAL PANEL SIDING
- EXPOSED AGGREGATE CONCRETE FOUNDATION WALL

EXTERIOR ELEVATION KEYED NOTES

1. CRAWL SPACE VENT PER DETAIL
2. CHIMNEY FLUE ENCLOSURE PER DETAIL - MAINTAIN 2' ABOVE ROOF PLANE, TYPICAL
3. ROCK RETAINING WALL
4. 1/2" TEMPERED, FRAMELESS GLASS GUARDRAIL PER DETAILS
5. POWDER COATED METAL PANEL TO MATCH SIDING
6. CANTILEVERED HOT TUB
7. MAINTAIN 30" OR LESS BETWEEN FINISH FLOOR AND GRADE FOR AT LEAST 36" HORIZONTALLY FOR THE FULL LENGTH OF LANDING (PER IRC 312.1.1)
8. 28'-0" HEIGHT LIMIT LINE ABOVE ORIGINAL GRADE
9. LINE OF EXISTING GRADE

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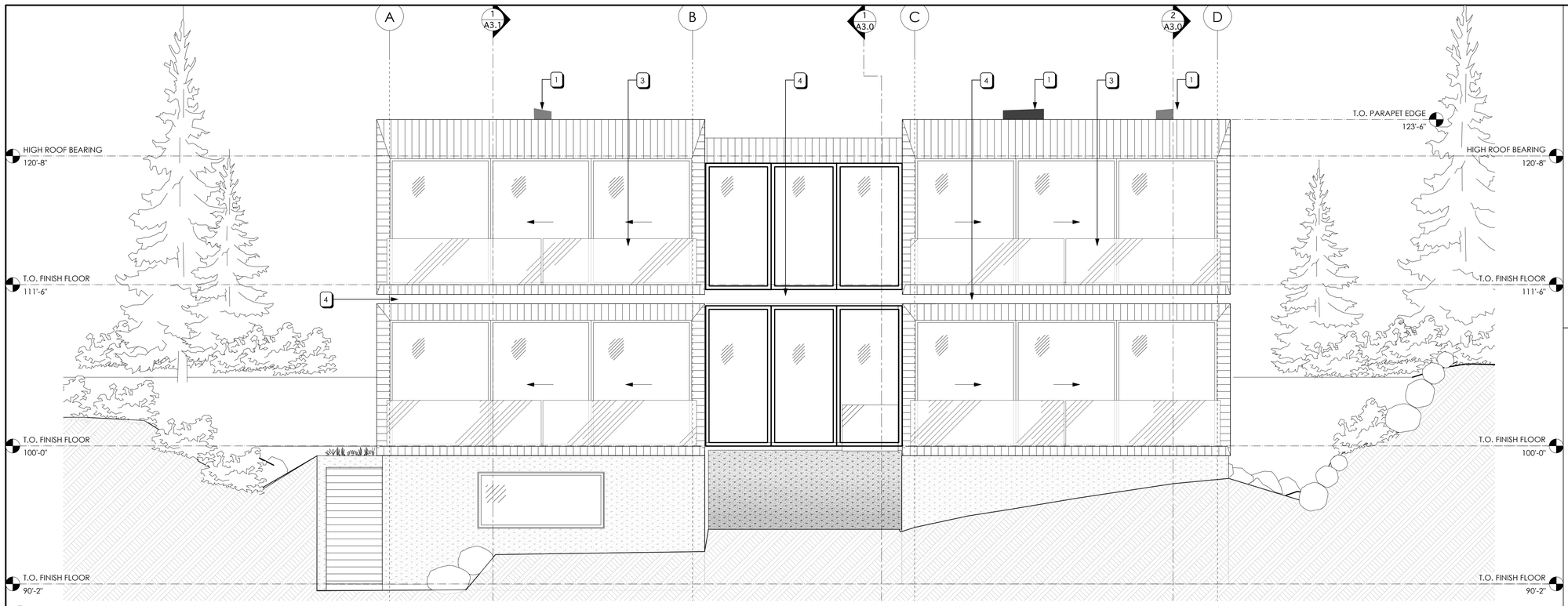
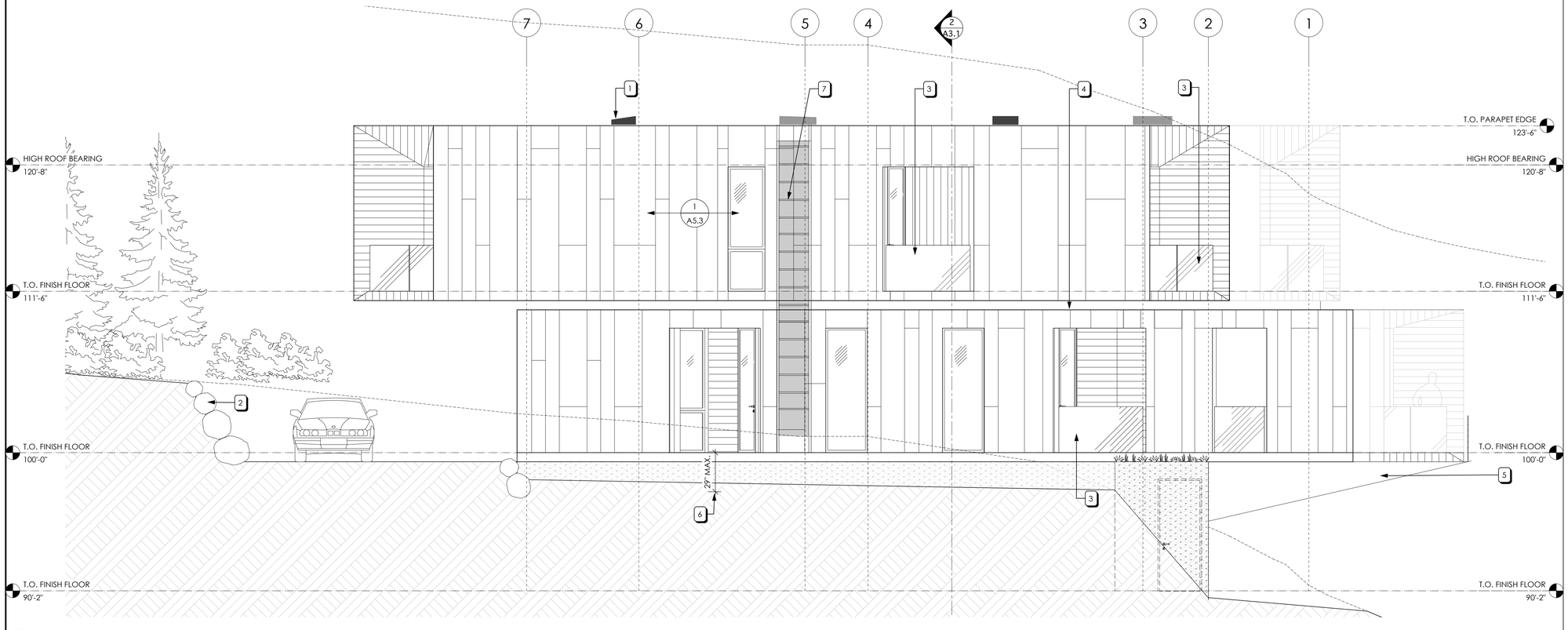
REVISIONS

EXTERIOR ELEVATIONS

A2.0



1 **SOUTH ELEVATION**
Scale: 1/4" = 1'-0"



2 **WEST ELEVATION**
Scale: 1/4" = 1'-0"

GENERAL NOTES & LEGEND

- STANDING SEAM FACADE PANEL SYSTEM AS SELECTED
- SHIPLAP WOOD SIDING AS SELECTED, SEALED
- POWDER COATED METAL PANEL SIDING
- EXPOSED AGGREGATE CONCRETE FOUNDATION WALL

EXTERIOR ELEVATION KEYED NOTES

1. CHIMNEY FLUE ENCLOSURE PER DETAIL
2. ROCK RETAINING WALL
3. 1/2" TEMPERED, FRAMELESS GLASS GUARDRAIL PER DETAILS
4. POWDER COATED METAL PANEL TO MATCH SIDING
5. HOT TUB BEYOND
6. MAINTAIN 30" OR LESS BETWEEN FINISH FLOOR AND GRADE FOR AT LEAST 36" HORIZONTALLY FOR THE FULL LENGTH OF LANDING (PER IRC 312.1.1)
7. FIXED ROOF ACCESS LADDER WITH SECURITY PANEL TO MATCH EXTERIOR SIDING

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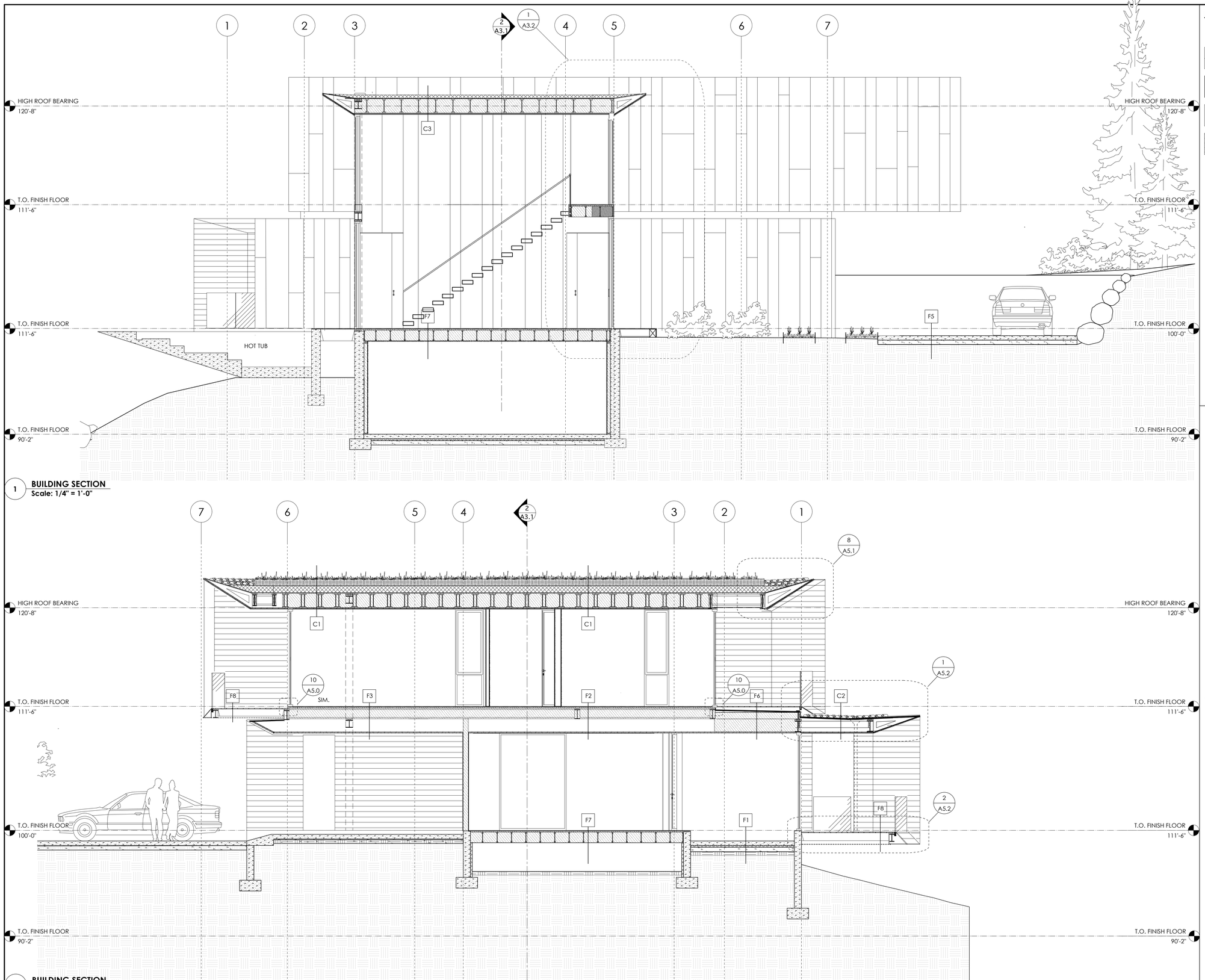
REVISIONS

EXTERIOR ELEVATIONS

A2.1



1 **BUILDING SECTION**
Scale: 1/4" = 1'-0"

2 **BUILDING SECTION**
Scale: 1/4" = 1'-0"

BUILDING SECTION KEY

- X# — CEILING/FLOOR TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS
- STANDING SEAM FACADE PANEL SYSTEM AS SELECTED
- SHIPLAP WOOD SIDING AS SELECTED, SEALED
- POWDER COATED METAL PANEL SIDING
- EXPOSED AGGREGATE CONCRETE FOUNDATION WALL

INSULATION NOTES

A. INSULATION QUALITY CONTROL: HIGH QUALITY INSULATION IS CONFIRMED BY ONE OF THE FOLLOWING THREE METHODS (CHOSE ONLY ONE): CONTRACTOR IS CERTIFIED UNDER THE NAHB'S CERTIFIED INSTALLER PROGRAM (TYPE II INSTALLATION, PER NATIONAL HOME ENERGY RATING STANDARDS); INSULATION IS INSPECTED BY A THIRD-PARTY DURING DRYWALL INSPECTION (TYPE II INSTALLATION, PER NATIONAL HOME ENERGY RATING STANDARDS); BUILDER DEMONSTRATES IN-HOUSE INSPECTION PROCESS THROUGH VERIFIED DOCUMENTATION, OR OTHER EQUIVALENT CONTRACTOR CERTIFICATION PROGRAM.

B. INSULATION USED THROUGHOUT THE HOUSE SHALL MEET THE INDOOR AIR QUALITY STANDARDS OF GREENGUARD, SCS, CALIFORNIA 1350, OR BERKLEY LABS.

C. INSULATION USED THROUGHOUT THE HOUSE SHALL CONTAIN NO FORMALDEHYDE BINDERS.

D. THERMAL & MOISTURE PROTECTION: INSULATION IN CEILING AND ATTIC TO BE WET-SPRAYED CELLULOSE, R-44 MINIMUM, 1" CONTINUOUS LAYER OF CLOSED CELL FOAM INSIDE OF ROOF SHEATHING @ VAULTED CEILINGS.

E. FULLY INSULATE SMALL AREAS BETWEEN CLOSELY SPACED FRAMING MEMBERS. FIT INSULATION MATERIALS AROUND PIPES, CONDUITS, OUTLET BOXES, ETC AS NECESSARY TO MAINTAIN THE INTEGRITY OF THE INSULATION. WHERE PIPES ARE INSTALLED IN SPACES TO RECEIVE INSULATION, PLACE INSULATION BETWEEN EXTERIOR WALL AND THE PIPE, FILLING VOIDS.

F. INSULATION SHALL BE INSTALLED IN FULL CONTACT WITH SEALED INTERIOR AND EXTERIOR AIR BARRIER

G. ENSURE AIR BARRIER IS INSTALLED CONTINUOUS OVER ALL BAND JOISTS

H. INSULATION TO HAVE NO GAPS, VOIDS OR COMPRESSION. BLOWN-IN INSULATION TO HAVE PROPER DENSITY WITH FIRM PACKING

I. ALL ATTIC PENETRATIONS AND DROPPED CEILINGS INCLUDE A FULL INTERIOR AIR BARRIER ALIGNED WITH INSULATION WITH ANY GAPS FULLY SEALED WITH CAULK, FOAM OR TAPE

WALL AND FLASHING NOTES

A. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER RESISTIVE EXTERIOR WALL ENVELOPE. PROVIDE WEATHER-RESISTIVE BARRIER FLASHING DETAILS FOR WINDOWS, DOOR AND OTHER OPENINGS IN THE BUILDING ENVELOPE, INCLUDE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALSO PROVIDE FLASHING DETAILS FOR OVER DOORS, WINDOWS, SILLS, AT FOUNDATION AND OTHER LOCATIONS REQUIRING FLASHINGS.

B. PROVIDE PRE-FINISHED METAL DRIP CAP AT WINDOW HEADS, DOOR HEADS, AND AT ALL EXPOSED LOCATIONS AS NECESSARY.

C. PROVIDE A RUBBERIZED MEMBRANE UNDERLAYMENT TO EXTEND FROM THE EAVE TO A POINT 3'-0" MINIMUM BEYOND THE INTERIOR WALL LINE. MEMBRANE UNDERLAYMENT SHOULD OVERLAP ADJACENT STRIPS OF UNDERLAYMENT SIX INCHES MINIMUM. ICE SHIELD TO BE 'PROTECTO-WRAP' AVAILABLE THROUGH W.J. WHITE OR 'ICE AND WATER SHIELD' AVAILABLE THROUGH GRACE.

D. APPROVED CORROSION RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS: 1. AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1 1/8 IN OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING; JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL. 2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS. 3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS. 4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM. 5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. 6. AT WALL AND ROOF INTERSECTIONS. 7. AT BUILT-IN GUTTERS.

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WEBER COUNTY, UTAH

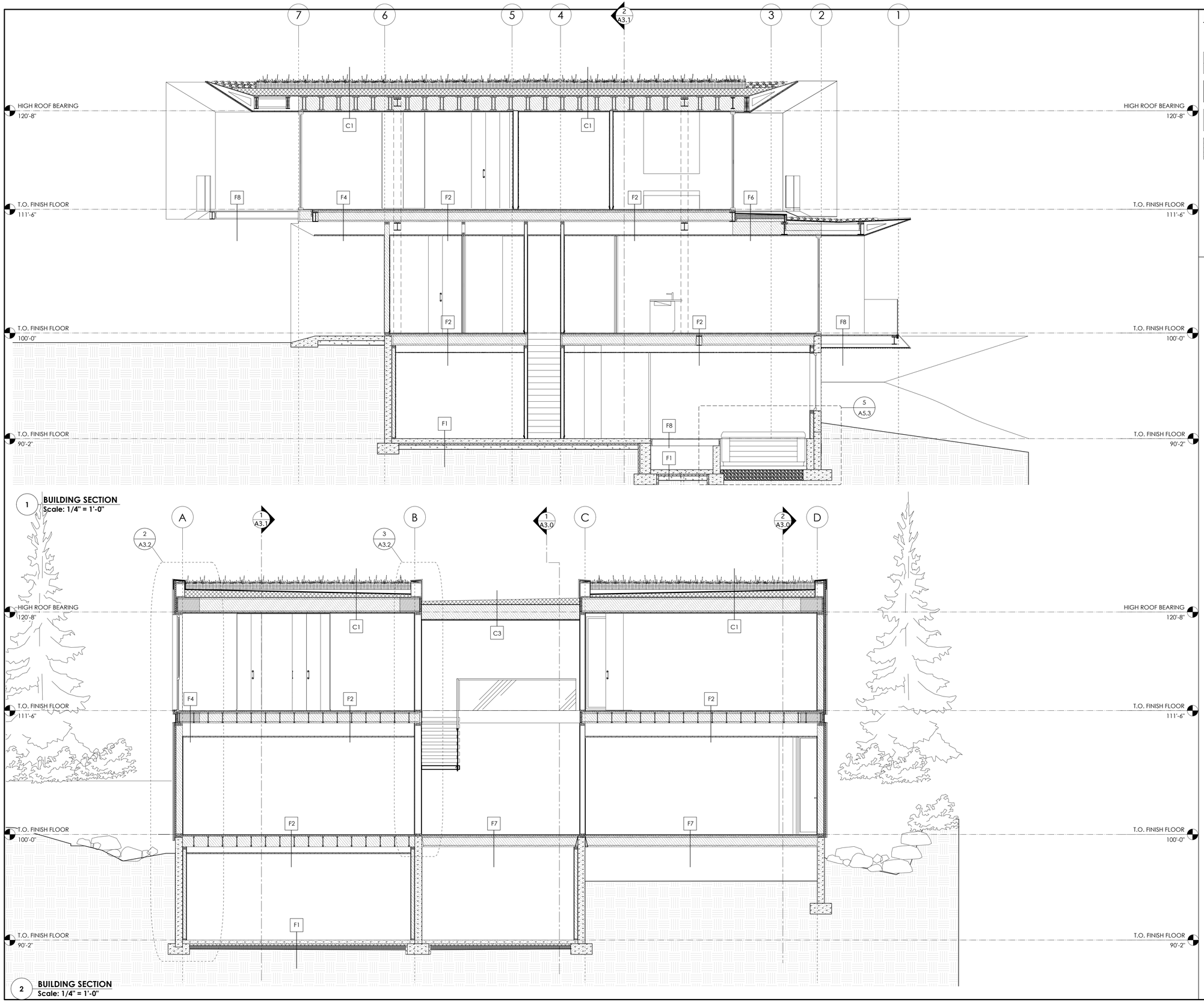
DATE

13 MAY 2015

REVISIONS

BUILDING SECTIONS

A3.0



1 **BUILDING SECTION**
Scale: 1/4" = 1'-0"

2 **BUILDING SECTION**
Scale: 1/4" = 1'-0"

BUILDING SECTION KEY

X# CEILING/FLOOR TYPE DESIGNATION - SEE SHEET A0.1 FOR DETAILS

STANDING SEAM FACADE PANEL SYSTEM AS SELECTED

SHIPLAP WOOD SIDING AS SELECTED, SEALED

POWDER COATED METAL PANEL SIDING

EXPOSED AGGREGATE CONCRETE FOUNDATION WALL

BUILDING SECTION KEYED NOTES

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BUILDING SECTIONS

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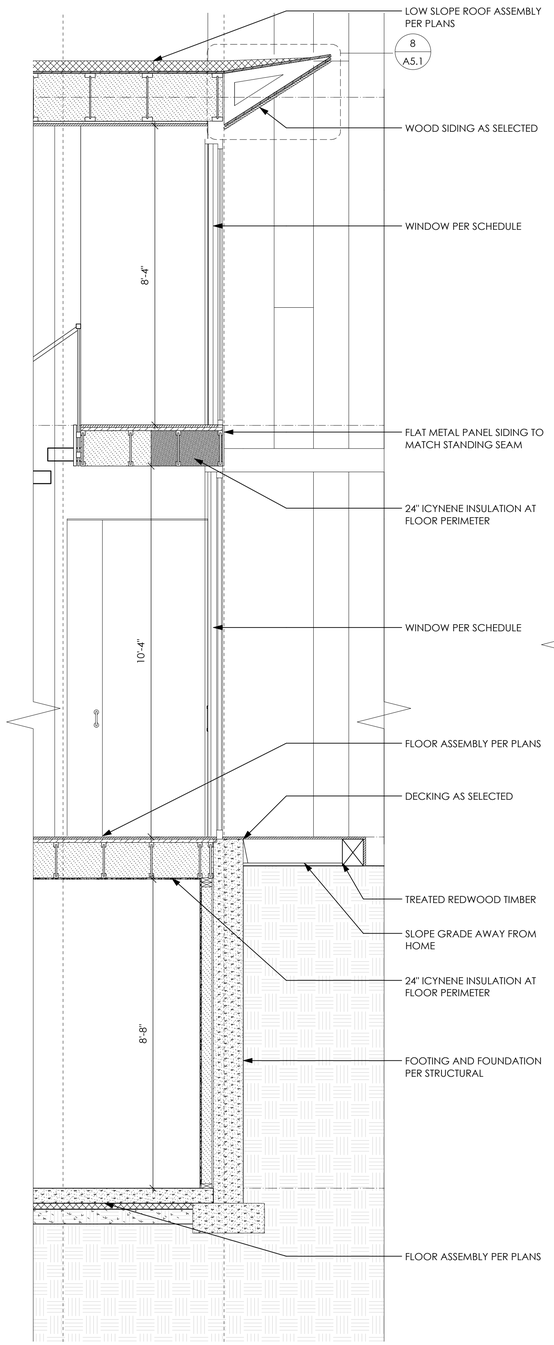
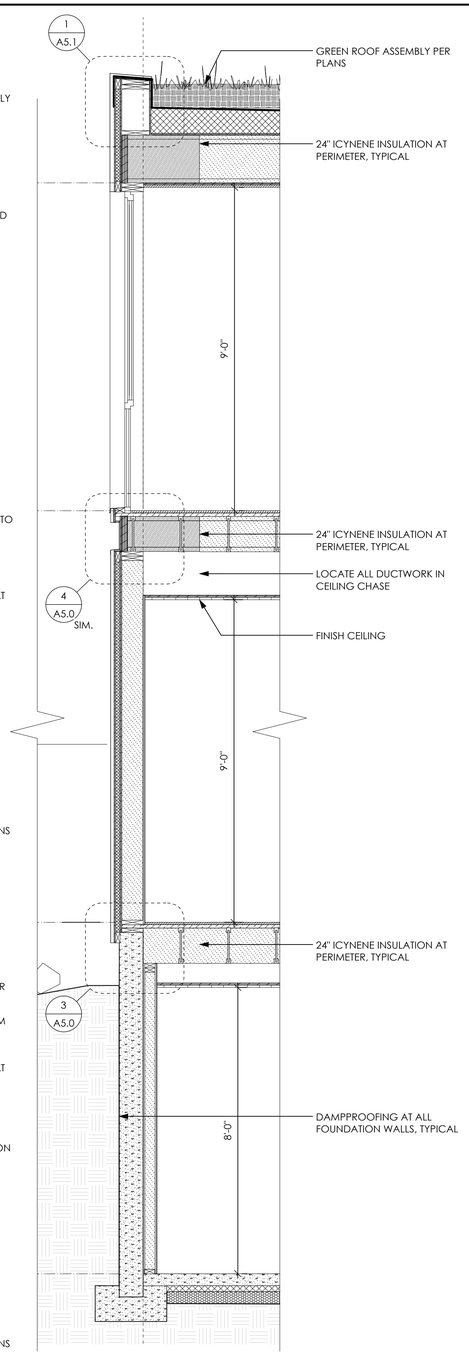
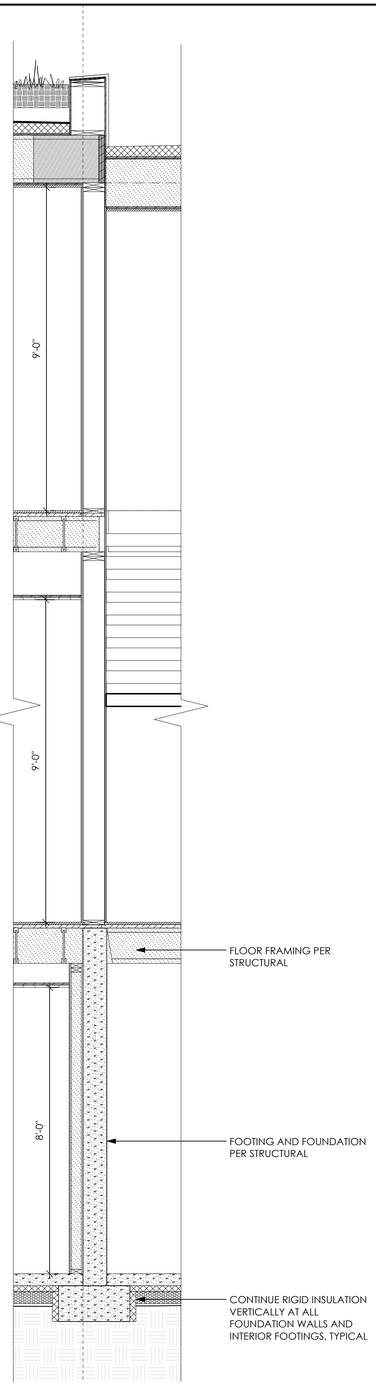


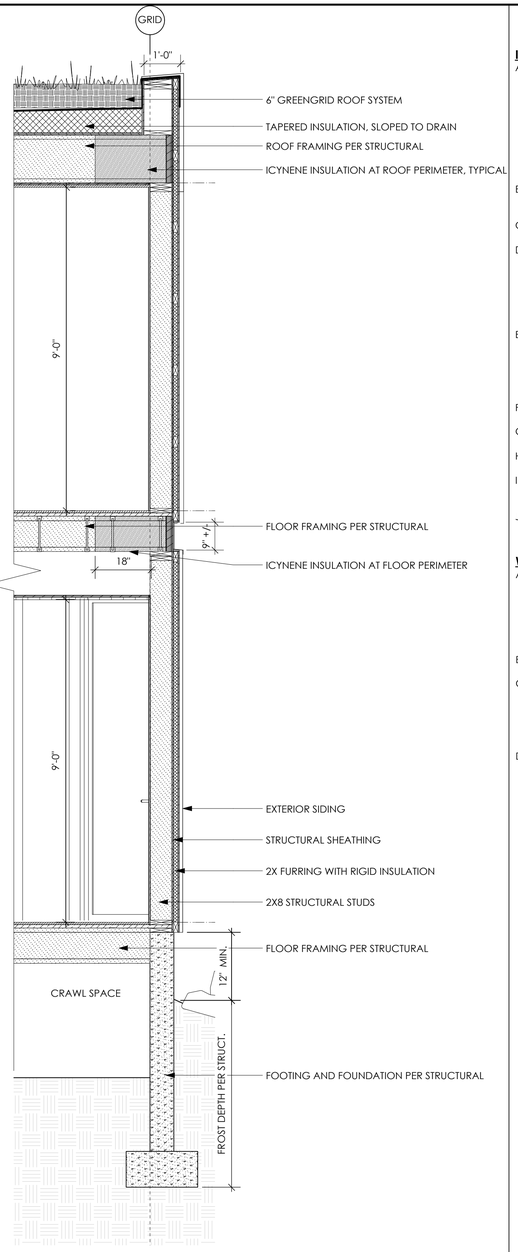
1 **WALL SECTION**
Scale: 1/2" = 1'-0"



2 **EXTERIOR WALL SECTION**
Scale: 1/2" = 1'-0"



3 **DINING ROOM WALL SECTION**
Scale: 1/2" = 1'-0"



4 **TYPICAL WALL SECTION**
Scale: 1/2" = 1'-0"

INSULATION NOTES

A. INSULATION QUALITY CONTROL: HIGH QUALITY INSULATION IS CONFIRMED BY ONE OF THE FOLLOWING THREE METHODS (CHOSE ONLY ONE): CONTRACTOR IS CERTIFIED UNDER THE NAHB'S CERTIFIED INSTALLER PROGRAM (TYPE II INSTALLATION, PER NATIONAL HOME ENERGY RATING STANDARDS); INSULATION IS INSPECTED BY A THIRD-PARTY DURING DRYWALL INSPECTION (TYPE II INSTALLATION, PER NATIONAL HOME ENERGY RATING STANDARDS); BUILDER DEMONSTRATES IN-HOUSE INSPECTION PROCESS THROUGH VERIFIED DOCUMENTATION, OR OTHER EQUIVALENT CONTRACTOR CERTIFICATION PROGRAM.

B. INSULATION USED THROUGHOUT THE HOUSE SHALL MEET THE INDOOR AIR QUALITY STANDARDS OF GREENGUARD, SCS, CALIFORNIA 1350, OR BERKLEY LABS.

C. INSULATION USED THROUGHOUT THE HOUSE SHALL CONTAIN NO FORMALDEHYDE BINDERS.

D. THERMAL & MOISTURE PROTECTION: INSULATION IN WALLS TO BE WET-SPRAYED CELLULOSE, FILLING THE VOID COMPLETELY, R-21 MINIMUM INSIDE EXTERIOR SHEATHING, (NON-CFC, NON HCFC) FIBERGLASS BATTS PROHIBITED. INSULATION IN CEILING AND ATTIC TO BE WET-SPRAYED CELLULOSE, R-44 MINIMUM. 1" CONTINUOUS LAYER OF CLOSED CELL FOAM INSIDE OF ROOF SHEATHING @ VAULTED CEILINGS.

E. FULLY INSULATE SMALL AREAS BETWEEN CLOSELY SPACED FRAMING MEMBERS, FIT INSULATION MATERIALS AROUND PIPES, CONDUITS, OUTLET BOXES, ETC. AS NECESSARY TO MAINTAIN THE INTEGRITY OF THE INSULATION. WHERE PIPES ARE INSTALLED IN SPACES TO RECEIVE INSULATION, PLACE INSULATION BETWEEN EXTERIOR WALL AND THE PIPE, FILLING VOIDS.

F. INSULATION SHALL BE INSTALLED IN FULL CONTACT WITH SEALED INTERIOR AND EXTERIOR AIR BARRIER

G. ENSURE AIR BARRIER IS INSTALLED CONTINUOUS OVER ALL BAND JOISTS

H. INSULATION TO HAVE NO GAPS, VOIDS OR COMPRESSION. BLOWN-IN INSULATION TO HAVE PROPER DENSITY WITH FIRM PACKING

I. ALL ATTIC PENETRATIONS AND DROPPED CEILINGS INCLUDE A FULL INTERIOR AIR BARRIER ALIGNED WITH INSULATION WITH ANY GAPS FULLY SEALED WITH CAULK, FOAM OR TAPE

J. ATTIC ACCESS PANEL TO BE FULLY GASKETED AND INSULATED TO R-VALUE OF ATTIC

WALL AND FLASHING NOTES

A. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER RESISTIVE EXTERIOR WALL ENVELOPE. PROVIDE WEATHER-RESISTIVE BARRIER FLASHING DETAILS FOR WINDOWS, DOOR AND OTHER OPENINGS IN THE BUILDING ENVELOPE, INCLUDE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALSO PROVIDE FLASHING DETAILS FOR OVER DOORS, WINDOWS, SILLS, AT FOUNDATION AND OTHER LOCATIONS REQUIRING FLASHINGS.

B. PROVIDE PRE-FINISHED METAL DRIP CAP AT WINDOW HEADS, DOOR HEADS, AND AT ALL EXPOSED LOCATIONS AS NECESSARY.

C. PROVIDE A RUBBERIZED MEMBRANE UNDERLAYMENT TO EXTEND FROM THE EAVE TO A POINT 3'-0" MINIMUM BEYOND THE INTERIOR WALL LINE. MEMBRANE UNDERLAYMENT SHOULD OVERLAP ADJACENT STRIPS OF UNDERLAYMENT SIX INCHES MINIMUM. ICE SHIELD TO BE 'PROTECTO-WRAP' AVAILABLE THROUGH W.J. WHITE OR 'ICE AND WATER SHIELD' AVAILABLE THROUGH GRACE.

D. APPROVED CORROSION RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS: 1. AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1 1/8 IN OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING; JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL. 2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS. 3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS. 4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM. 5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. 6. AT WALL AND ROOF INTERSECTIONS. 7. AT BUILT-IN GUTTERS.

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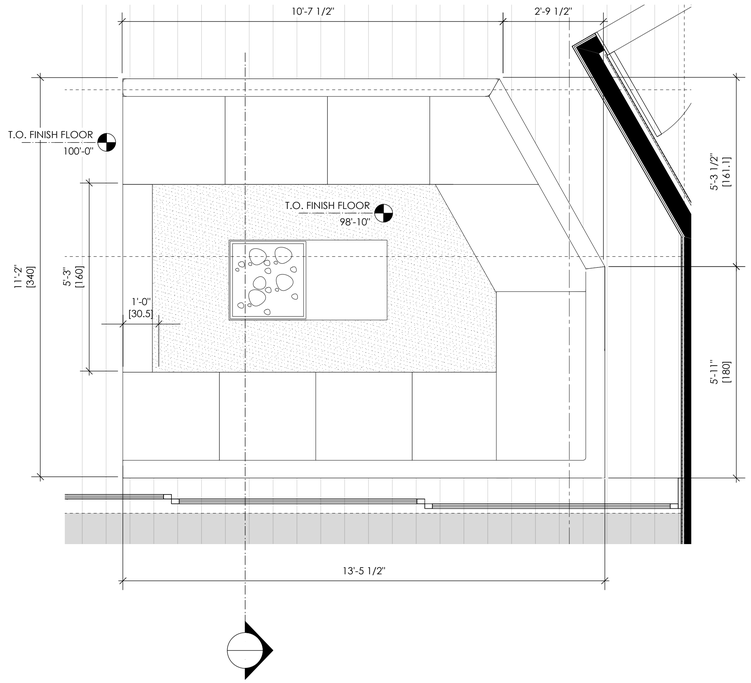
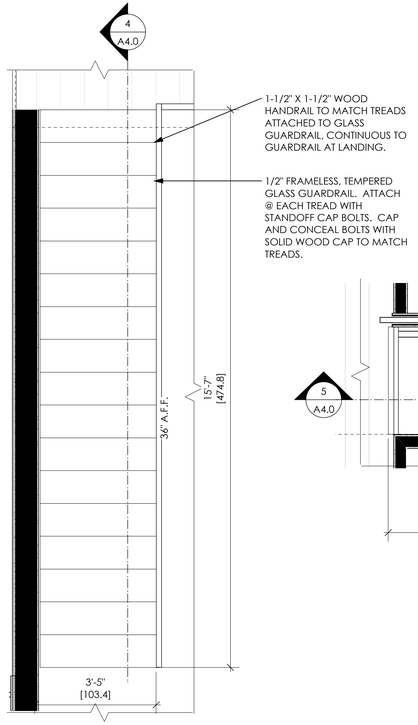
REVISIONS

BUILDING SECTIONS

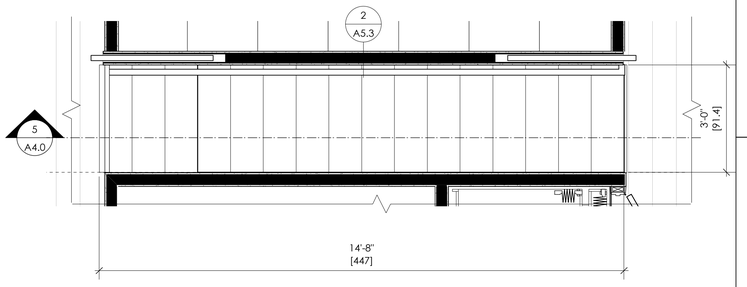
A3.2



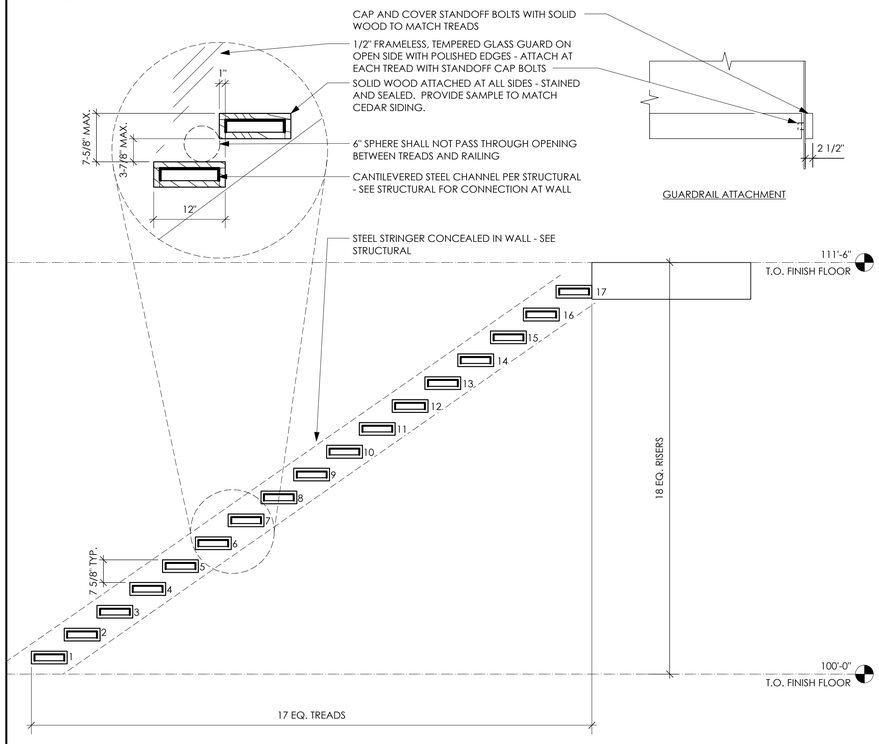
1 ENLARGED LIVING ROOM PLAN
Scale: 1/2" = 1'-0"



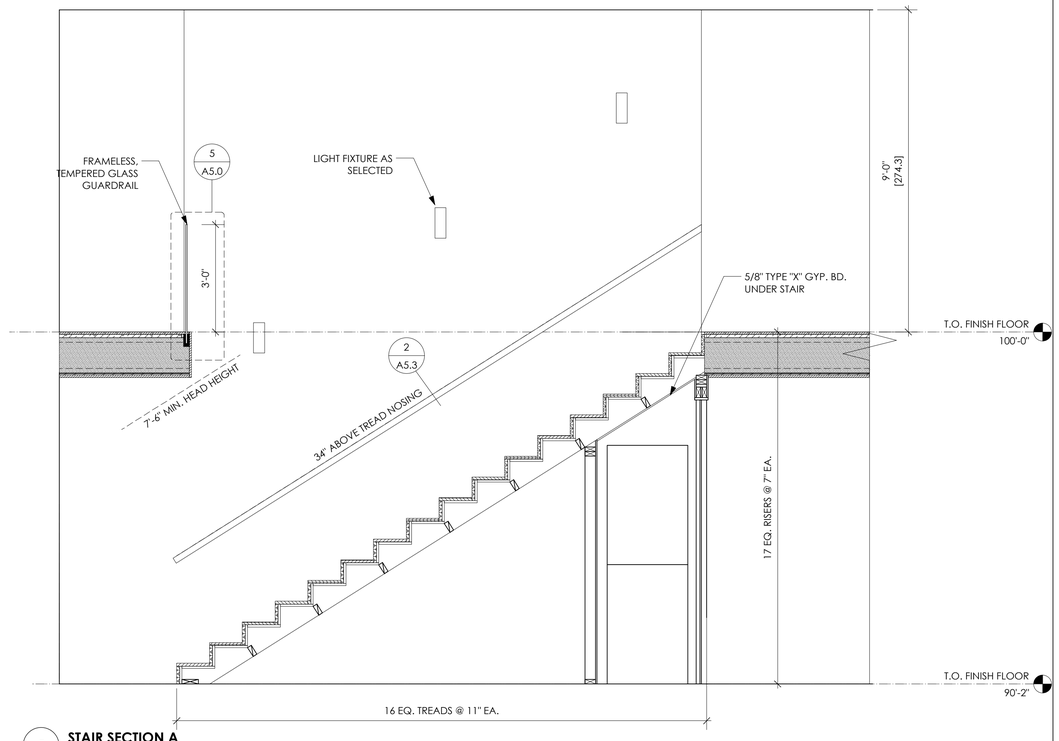
2 ENLARGED MAIN STAIR PLAN
Scale: 1/2" = 1'-0"



3 ENLARGED SERVICE STAIR PLAN
Scale: 1/2" = 1'-0"



4 MAIN STAIR SECTION
Scale: 1/2" = 1'-0"



5 STAIR SECTION A
Scale: 1/2" = 1'-0"

GENERAL NOTES & LEGEND

ENLARGED PLAN KEYED NOTES

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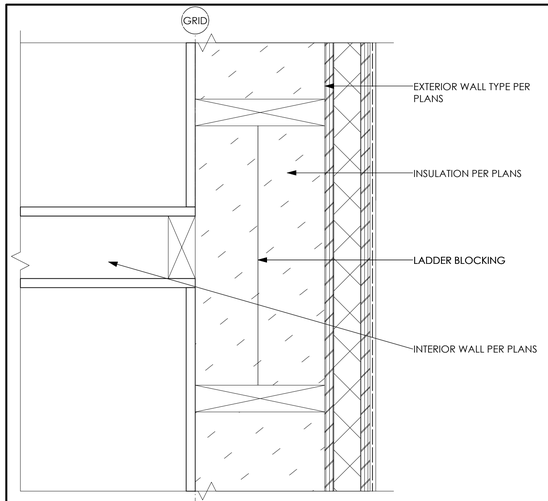
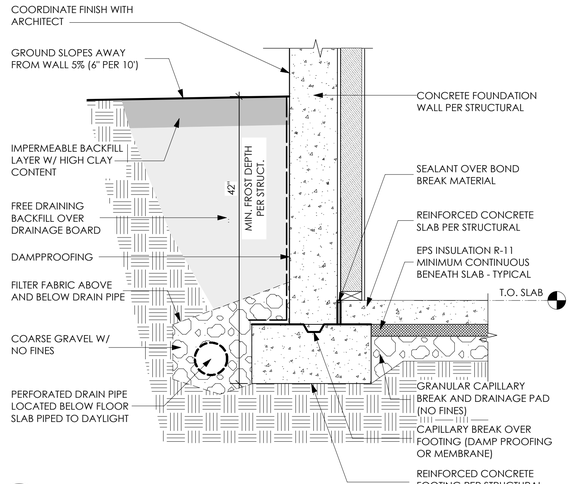
REVISIONS

ENLARGED PLANS & STAIR SECTIONS

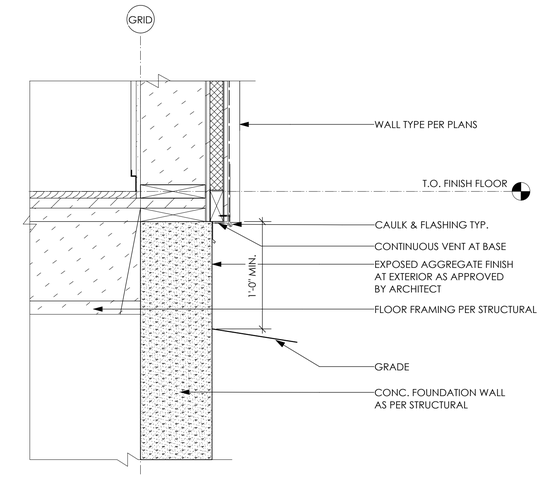
A4.0



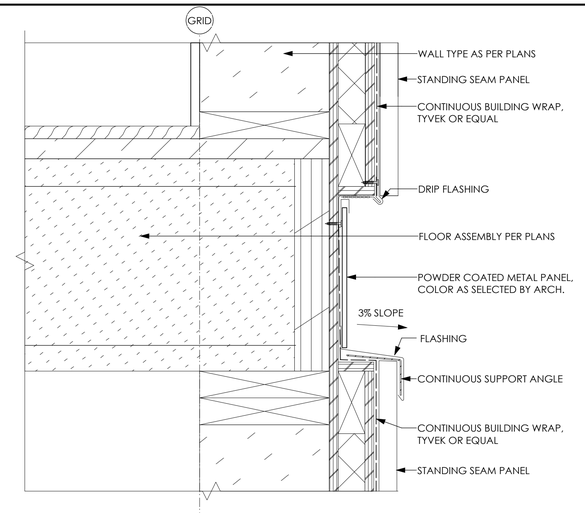
1 TYPICAL LADDER BLOCKING DETAIL - PLAN VIEW
Scale: 3" = 1'-0"



2 TYPICAL FOOTING & FRENCH DRAIN
Scale: 1" = 1'-0" FN-01



3 TYPICAL BASE OF WALL DETAIL
Scale: 1 1/2" = 1'-0"



4 FLOOR REVEAL DETAIL
Scale: 3" = 1'-0"

5 CONCRETE FOUNDATION W/ VENTED CRAWL SPACE
Scale: 1" = 1'-0" FN-04

6 CRAWL SPACE VENTILATION DETAIL
Scale: 1" = 1'-0" FN-12

7 CRAWL SPACE VENTILATION DETAIL
Scale: 1" = 1'-0" FN-08

NOTE: ALL DECK RAILINGS TO WITHSTAND 50 POUNDS PER LINEAR FOOT LOADING PER STRUCTURAL CALCS. AND DETAILS

8 TYPICAL GLASS GUARDRAIL DETAIL
Scale: 1" = 1'-0"

NOTE: SEE EXTERIOR ELEVATIONS FOR WIDTHS OF PANELS & LOCATIONS OF VERTICAL SEAMS

8 TYPICAL EDGE DETAIL
Scale: 3" = 1'-0"

NOTE: SEE EXTERIOR ELEVATIONS FOR WIDTHS OF PANELS & LOCATIONS OF VERTICAL SEAMS

9 WOOD TO METAL SIDING TRANSITION
Scale: 1" = 1'-0"

10 FLOOR TO DECK TRANSITION DETAIL
Scale: 3" = 1'-0"

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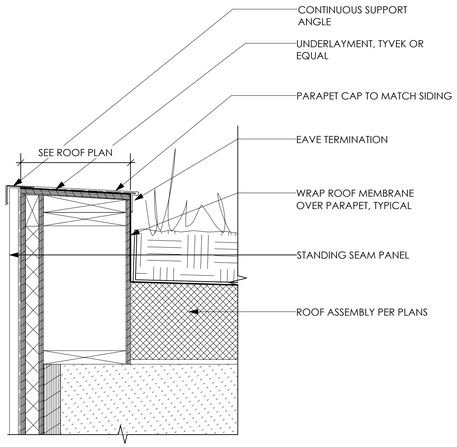
SUMMIT 27 - FALCONE RESIDENCE
7947 EAST HEARTWOOD DRIVE
WEBER COUNTY, UTAH

DATE
13 MAY 2015

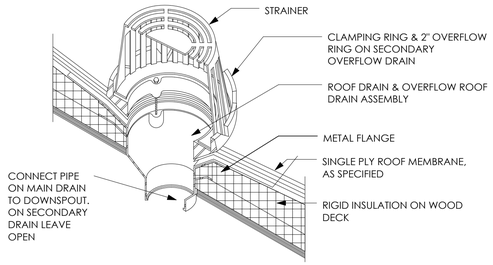
REVISIONS

FLOOR & WALL DETAILS

A5.0

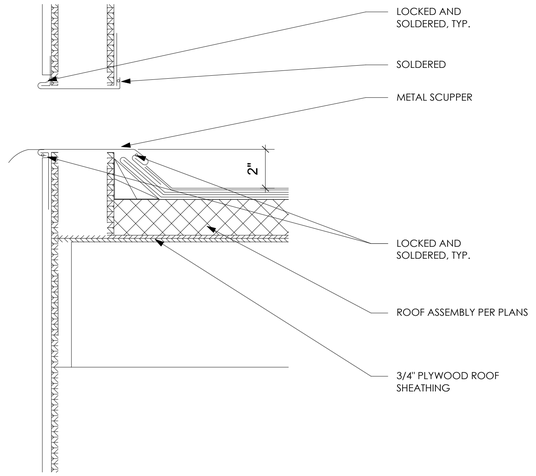


1 TYPICAL PARAPET DETAIL
Scale: 1 1/2" = 1'-0"

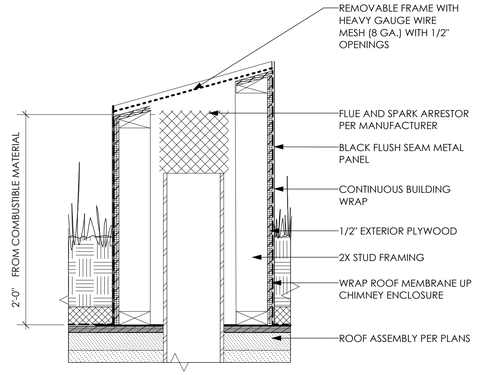


NOTES:
1. PROVIDE A MINIMUM 30" SQUARE 2-1/2 LB TO 4 LB OR 16 OZ SOFT COPPER FLANGE SET IN ELASTIGUM ROOFER CEMENT (PRIME METAL BEFORE APPLYING MEMBRANE).
2. MEMBRANE PLIES AND METAL FLANGE SHALL EXTEND UNDER CLAMPING RING.
3. THE USE OF METAL DECK SUMP PANS IS NOT RECOMMENDED.
4. SHEET METAL GRAVEL STOP - 36" SQUARE MIN. SET IN CELOTEX ELASTIGUM ROOFERS CEMENT IS OPTIONAL.

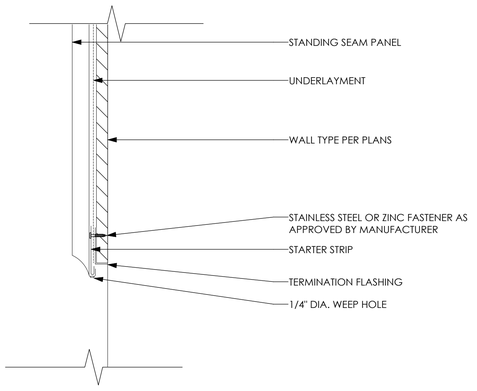
2 ROOF DRAIN DETAIL
Scale: 1 1/2" = 1'-0"



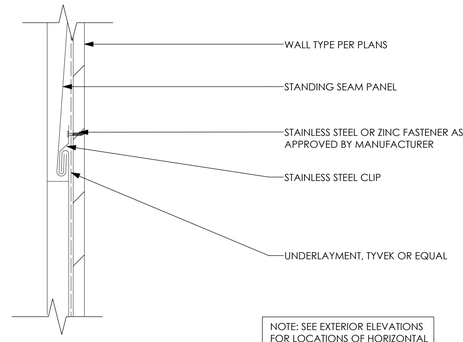
3 OVERFLOW SCUPPER DETAIL
Scale: 1 1/2" = 1'-0"



4 FLUE ENCLOSURE DETAIL
Scale: 1 1/2" = 1'-0"

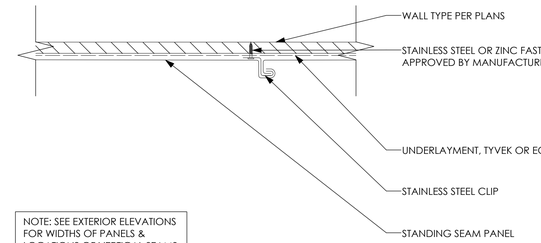


5 BASE TERMINATION
Scale: 3" = 1'-0"



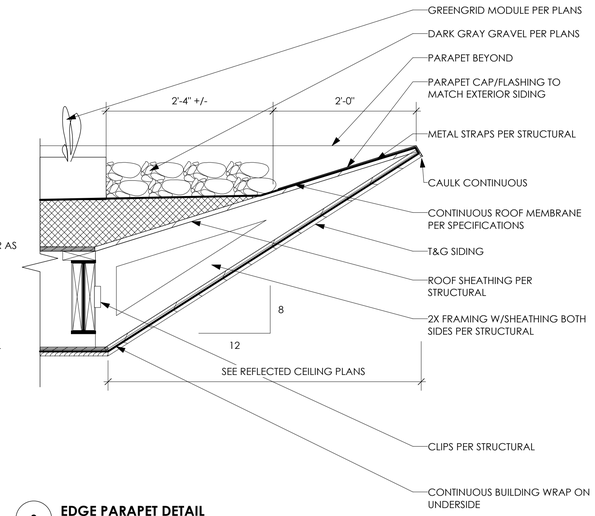
NOTE: SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF HORIZONTAL SEAMS

6 HORIZONTAL SEAM DETAIL
Scale: 3" = 1'-0"

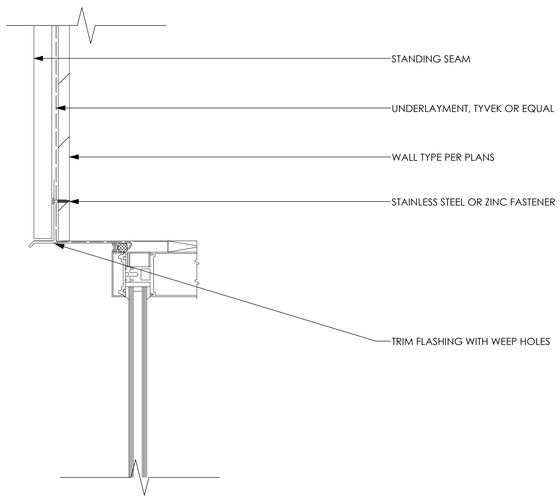


NOTE: SEE EXTERIOR ELEVATIONS FOR WIDTHS OF PANELS & LOCATIONS OF VERTICAL SEAMS

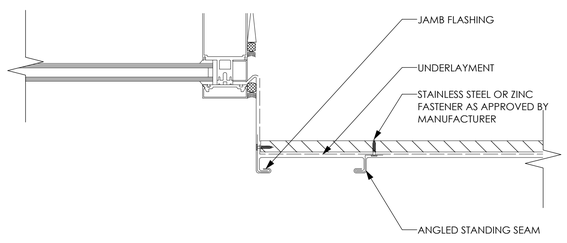
7 VERTICAL SEAM DETAIL
Scale: 3" = 1'-0"



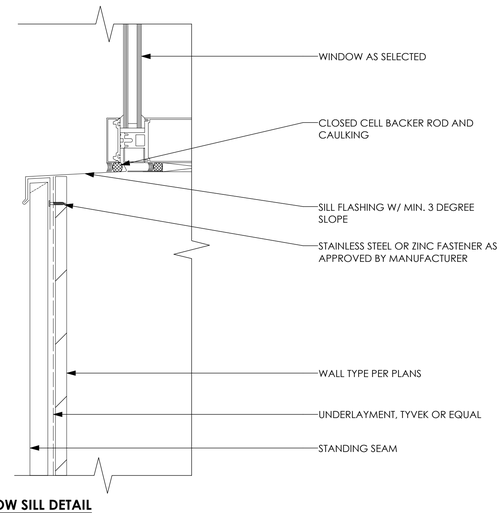
8 EDGE PARAPET DETAIL
Scale: 1" = 1'-0"



9 WINDOW HEAD DETAIL
Scale: 3" = 1'-0"



10 WINDOW JAMB DETAIL
Scale: 3" = 1'-0"



11 WINDOW SILL DETAIL
Scale: 3" = 1'-0"

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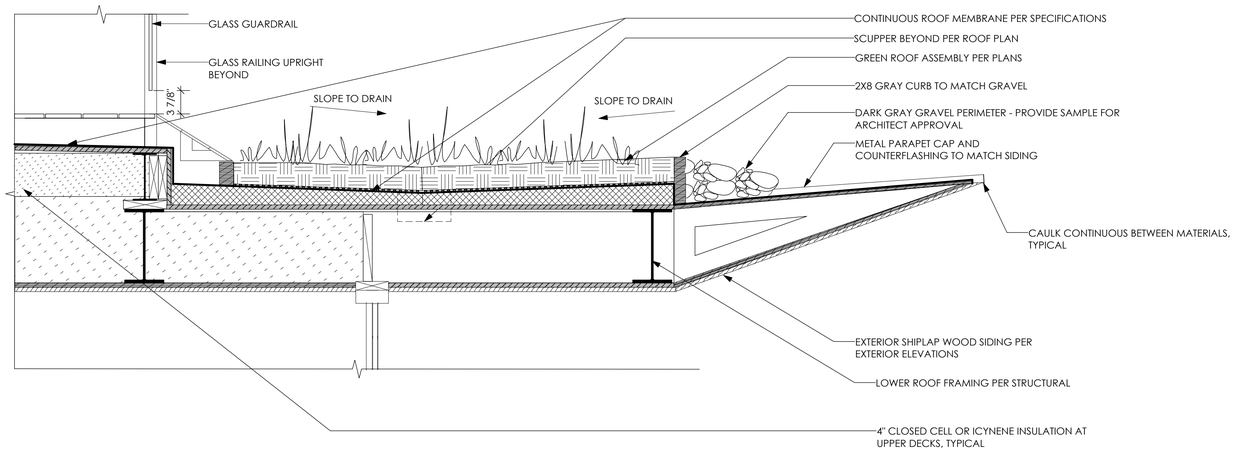
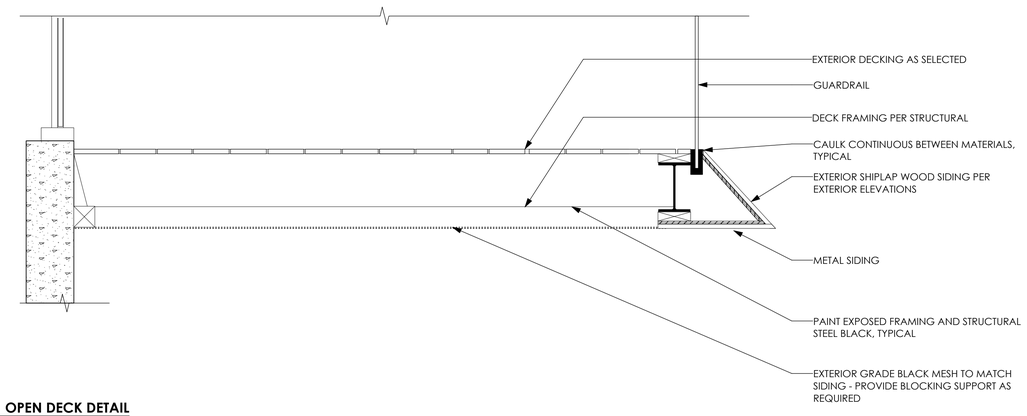
REVISIONS

ROOF DETAILS

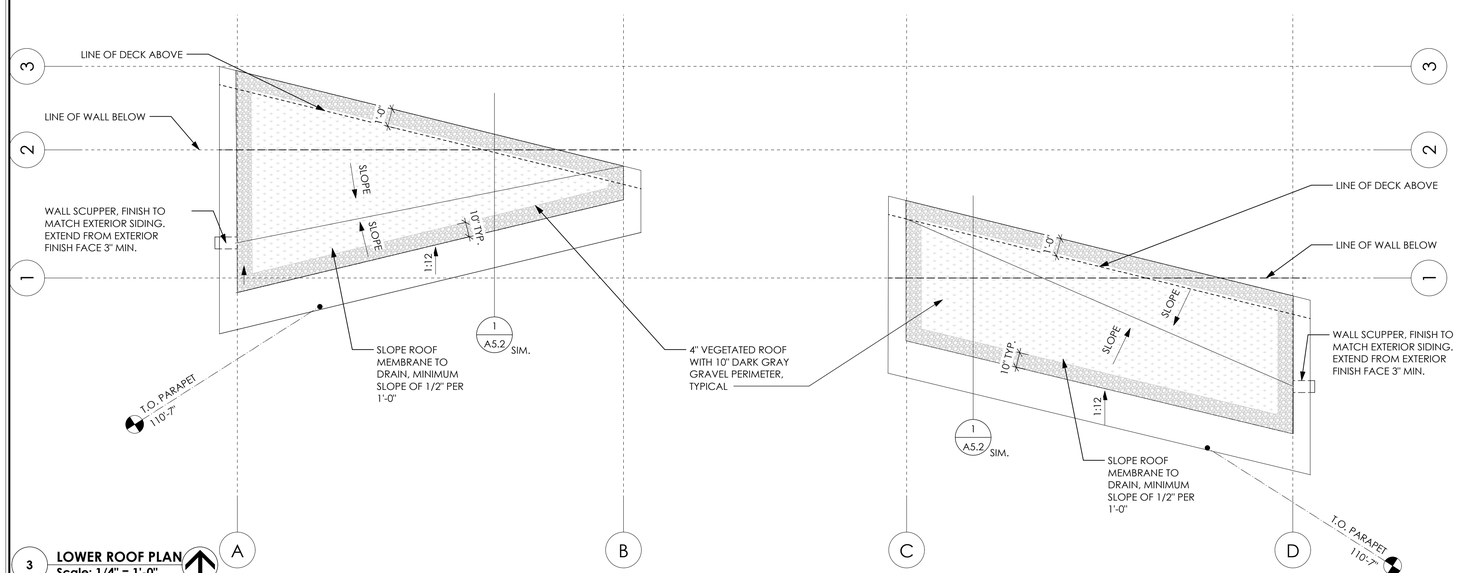
A5.1



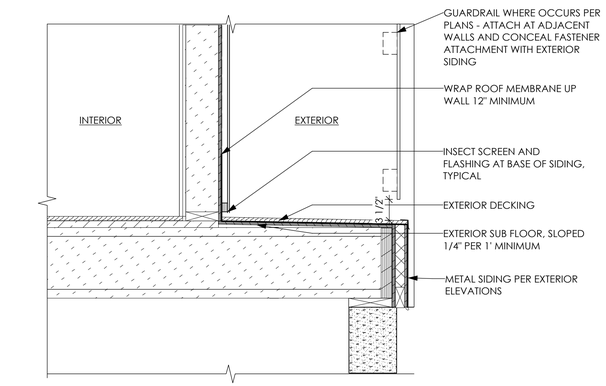
1 **WEATHERPROOF RAILING/DECK DETAIL**
Scale: 1" = 1'-0"



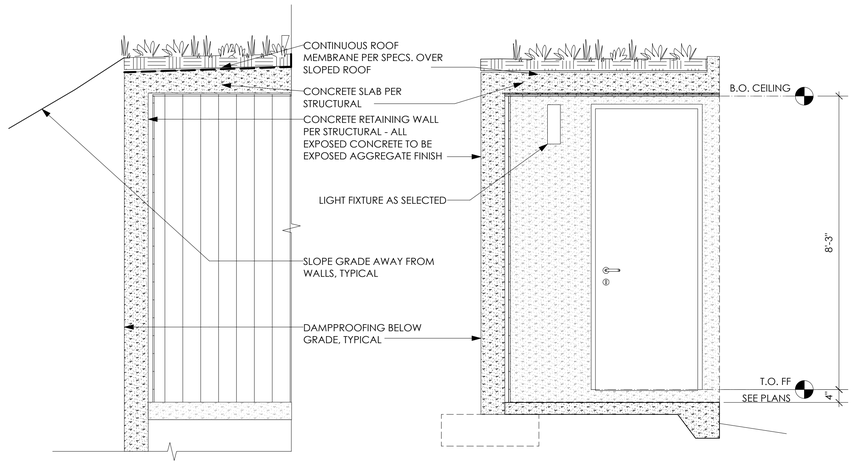
2 **OPEN DECK DETAIL**
Scale: 1" = 1'-0"



3 **LOWER ROOF PLAN**
Scale: 1/4" = 1'-0"

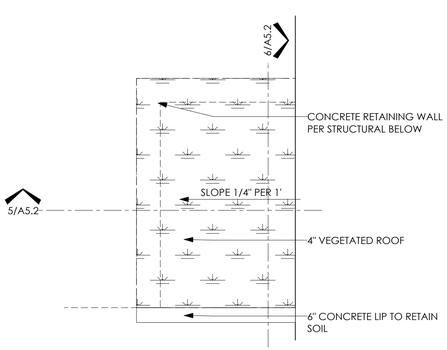


4 **EXTERIOR TERRACE DETAIL**
Scale: 1" = 1'-0"

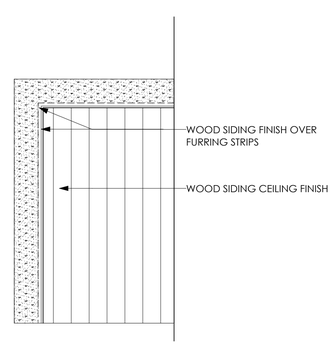


5 **LOW GREEN ROOF SECTION**
Scale: 1/2" = 1'-0"

6 **LOW GREEN ROOF SECTION**
Scale: 1/2" = 1'-0"



7 **BASEMENT ROOF ENLARGED PLAN**
Scale: 1/2" = 1'-0"



8 **BASEMENT ENTRY REFLECTED CLG. PLAN**
Scale: 1/2" = 1'-0"

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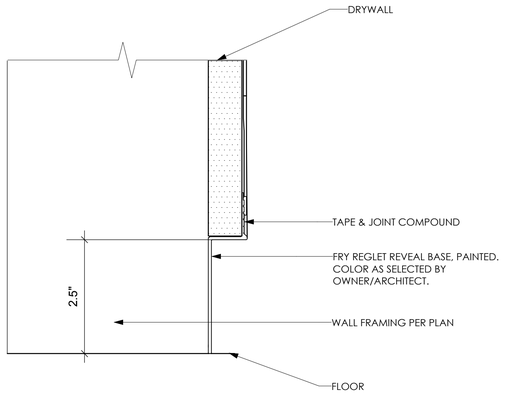
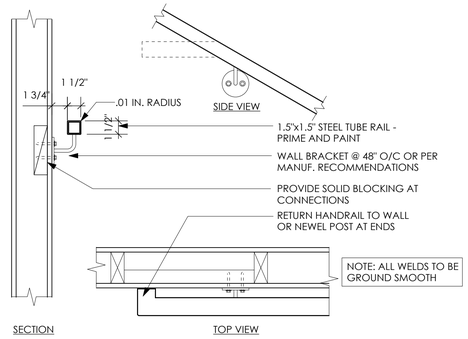
REVISIONS

DECK & LOW ROOF DETAILS

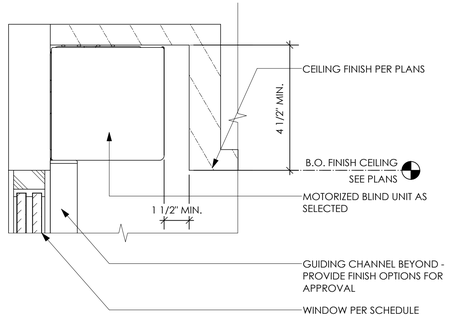
A5.2



1 WALL BASE DETAIL
SCALE: NTS INT-02

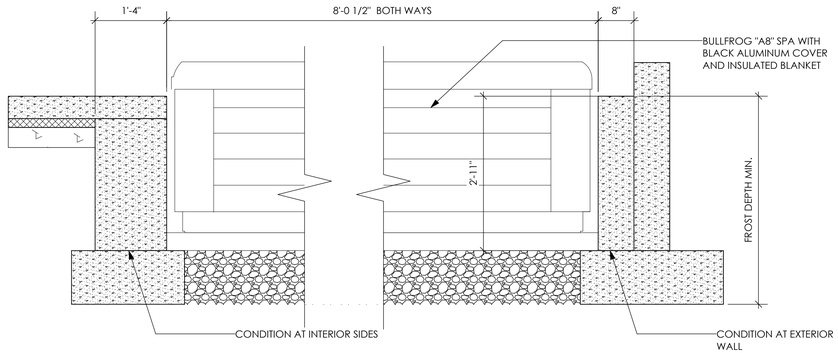


2 STEEL HANDRAIL DETAIL
Scale: 1 1/2" = 1'-0" ST-01



3 MOTORIZED SHADE DETAIL
NTS

4 SHOWER FLOOR TRANSITION/TRENCH DRAIN
Scale: 1 1/2" = 1'-0"



5 INTERIOR SPA VAULT
Scale: 3/4" = 1'-0"

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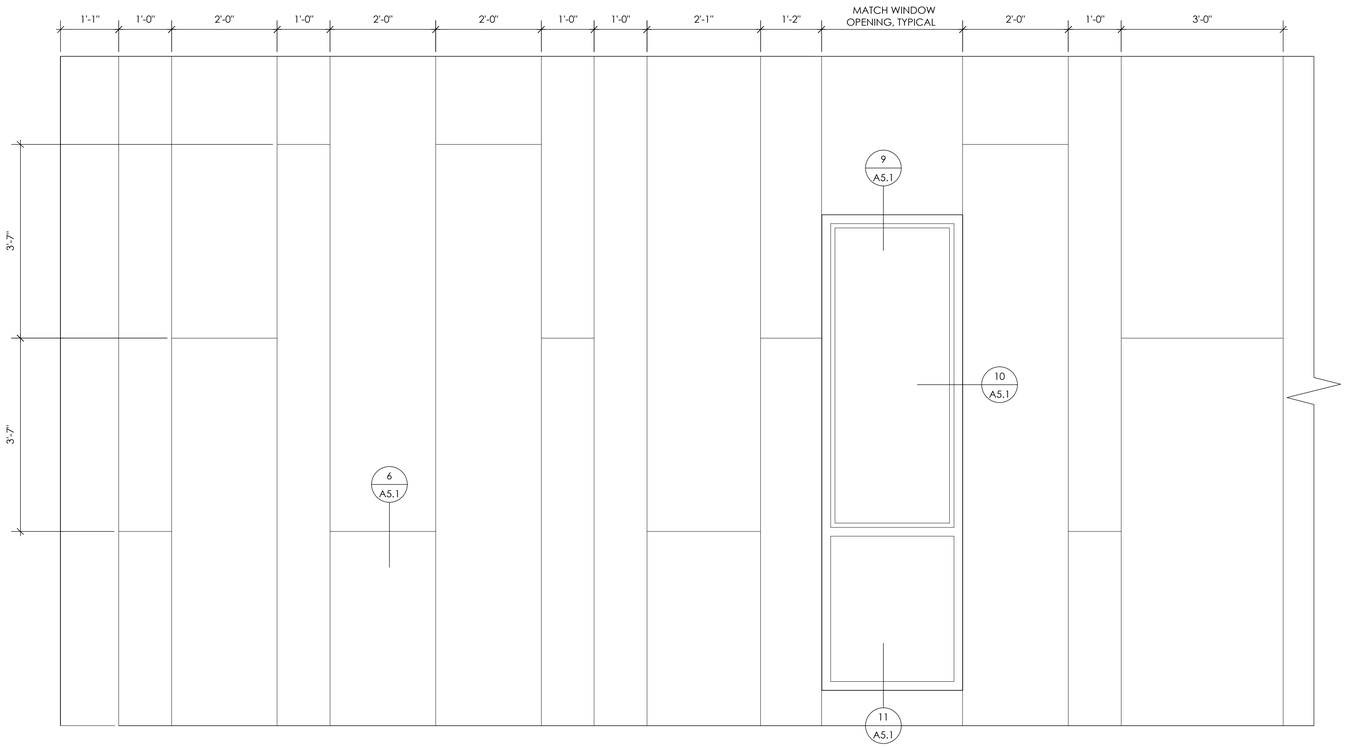
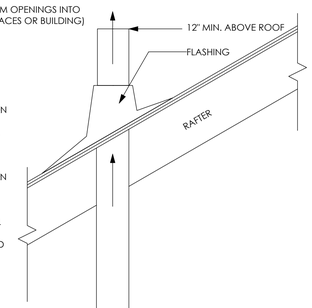
REVISIONS

INTERIOR DETAILS

A5.3



1 TYPICAL PANEL ARRANGEMENT
Scale: 3/4" = 1'-0"



NOTES:
1. ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL MADE UP OF EITHER A MINIMUM 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, OR A MINIMUM 4" THICK UNIFORM LAYER OF SAND, OVERLAIN BY A LAYER OF STRIPS OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.

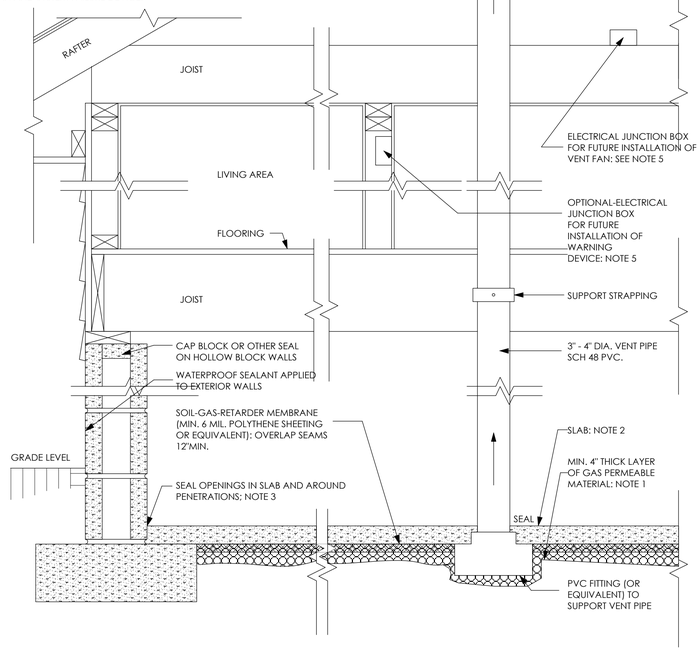
2. ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REFS: AMERICAN CONCRETE INSTITUTE PUBLICATIONS, "AC1302.1R" & "AC1332R", OR THE POST TENSIONING INSTITUTE MANUAL, "DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS ON GROUND".

3. ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT WITH SOIL OR GAPS AROUND PIPES, TOILETS, BATHTUBS OR DRAINS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALANT, AS DEFINED IN ASTM C920-87.

4. VENT PIPES SHALL BE INSTALLED SO THAT RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE.

5. CIRCUITS SHOULD BE MINIMUM 15 AMP, 115 VOLT.

6. TEST FOR RADON GAS WITHIN 30 DAYS OF SYSTEM INSTALLATION, BUT NO SOONER THAN 24 HOURS AFTER THE SYSTEM IS IN OPERATION. IF RADON TESTING SHOWS ELEVATED LEVEL INSTALL A VENT FAN AND SYSTEM-FAILURE DEVICE.



4 RADON CONTROL DETAIL
Scale: 1" = 1'-0"

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DATE
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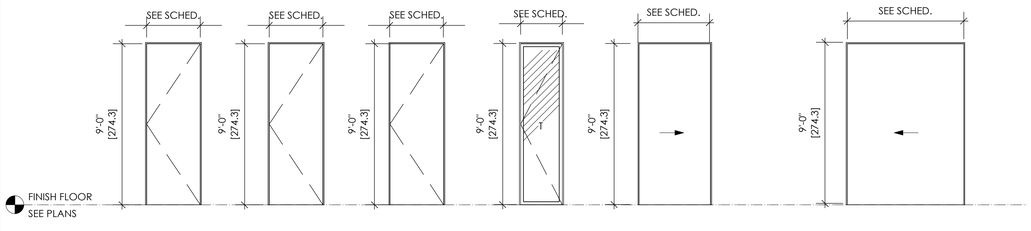
REVISIONS

MISC. DETAILS

A5.4

DOOR TYPES



TYPE A
SWING SIMPLE
FLUSH PANEL
INSUALTED
20 MIN. RATED

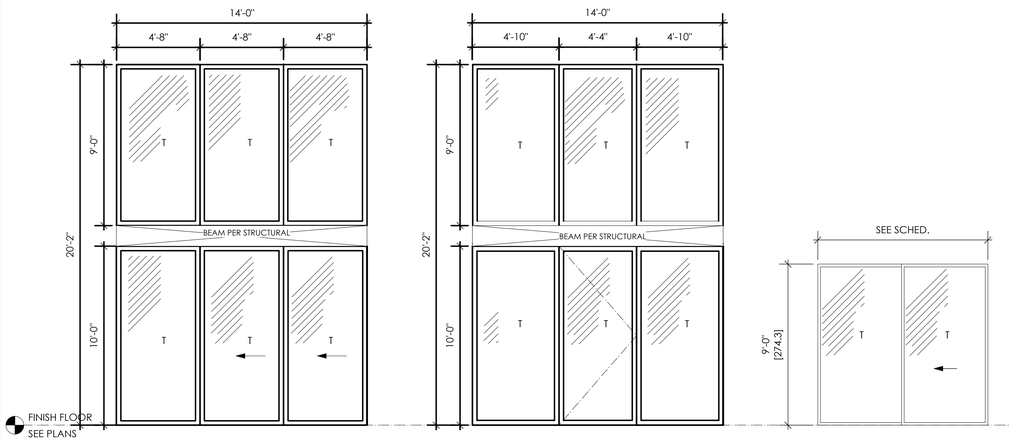
TYPE B
SWING SIMPLE
FLUSH PANEL
INSULATED

TYPE C
SWING SIMPLE
FLUSH PANEL
RIMADESIO DESIGN

TYPE D
SWING SIMPLE
FULL LITE
TEMPERED GLAZING
U VALUE .34 MINIMUM

TYPE E
POCKET SLIDER
RIMADESIO DESIGN

TYPE F
SURFACE SLIDER
FLUSH PANEL
BLACK IRON

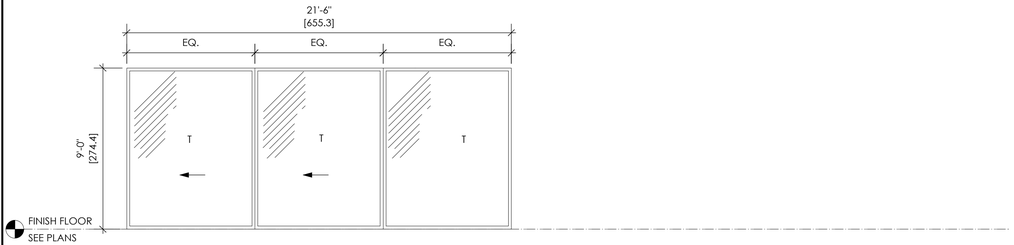


TYPE G
OPERABLE (UPPER)
SLIDER (LOWER)
U VALUE .34 MINIMUM

TYPE H
FIXED (UPPER)
FIXED SIDE LITES (LOWER)
SWING CENTER PANEL (LOWER)
U VALUE .34 MINIMUM

TYPE J

SLIDING DOOR
U VALUE .34 MINIMUM



TYPE K

STACKING SLIDER DOOR - SEE EXT. ELEV. FOR ORIENTATION
U VALUE .34 MINIMUM

DOOR SCHEDULE

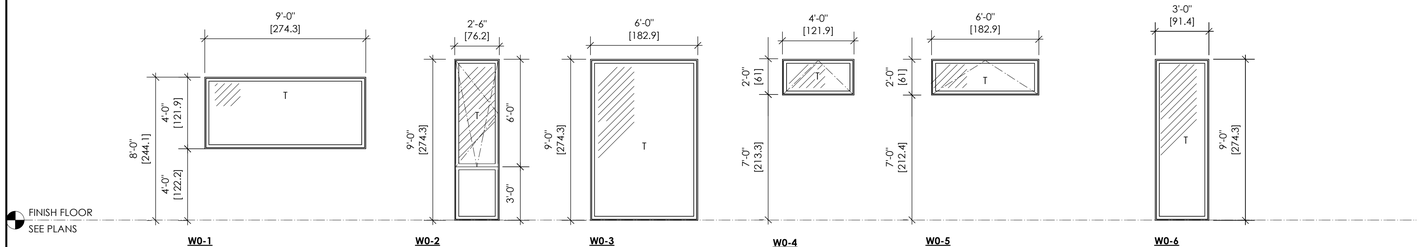
Mark	Type	Width	Height	Door Operation	HW Set	Comments
D-001	B	3'0"	8'0"	Swing Simple	GROUP 1	
D-002	C	2'4"	8'0"	Swing Simple	BY MANUF.	
D-003	B	3'0"	8'0"	Swing Simple	BY MANUF.	
D-004	C	3'0"	8'0"	Swing Simple	BY MANUF.	COORDINATE LOCATION OF PRE-DRILLED HOLE IN PANEL FOR LOCK
D-005	B	3'0"	8'0"	Swing Simple	BY MANUF.	
D-101	E	3'7"	9'0"	Pocket Simple	BY MANUF.	
D-102	C	3'0"	9'0"	Swing Simple	BY MANUF.	COORDINATE LOCATION OF PRE-DRILLED HOLE IN PANEL FOR LOCK
D-103	E	2'6"	9'0"	Pocket Simple	BY MANUF.	
D-104	B	3'0"	9'0"	Swing Simple	KEY CODE ACCESS/ BY MANUF.	*ACCESS HARDWARE PROGRAMMABLE FROM OFFSITE
D-105	E	3'0"	9'0"	Pocket Simple	BY MANUF.	
D-106	E	3'0"	9'0"	Pocket Simple	BY MANUF.	
D-107	D	2'8"	9'0"	Swing Simple	GROUP 2	(1)
D-108	E	3'5"	9'0"	Pocket Simple	BY MANUF.	
D-109	D	2'8"	9'0"	Swing Simple	GROUP 2	(1)
D-110	F	3'0"	9'0"	Cased Opening	GROUP 3	BARN DOOR TRACK CONCEALED IN CEILING
D-111	F	4'0"	9'0"	Cased Opening	GROUP 3	BARN DOOR TRACK CONCEALED IN CEILING
D-112	F	8'0"	9'0"	Cased Opening	GROUP 3	BARN DOOR TRACK CONCEALED IN CEILING
D-113	D	2'8"	9'0"	Swing Simple	GROUP 2	(1)
D-114	D	2'8"	9'0"	Swing Simple	GROUP 2	(1)
D-115	G	14'0"	10'0"	Slider	BY MANUF.	
D-116	H	14'0"	10'0"	Complex Swing	BY MANUF.	
D-117	K	21'6"	9'0"	Slider	BY MANUF.	
D-118	K	21'6"	9'0"	Slider	BY MANUF.	
D-119	F	8'10"	9'0"	Cased Opening	GROUP 3	BARN DOOR TRACK CONCEALED IN CEILING - 2 SLIDING PANELS
D-200	E	2'8"	9'0"	Pocket Simple	BY MANUF.	
D-201	E	2'8"	9'0"	Pocket Simple	BY MANUF.	
D-202	D	2'8"	9'0"	Swing Simple	GROUP 2	(1)
D-203	E	2'8"	9'0"	Pocket Simple	BY MANUF.	
D-204	J	9'8"	9'0"	Slider	BY MANUF.	
D-205	J	9'4"	9'0"	Slider	BY MANUF.	
D-206	E	2'8"	9'0"	Pocket Simple	BY MANUF.	
D-207	E	2'8"	9'0"	Pocket Simple	BY MANUF.	
D-208	E	2'8"	9'0"	Pocket Simple	BY MANUF.	
D-209	E	3'0"	8'0"	Pocket Simple	BY MANUF.	
D-210	J	9'0"	9'0"	Slider	BY MANUF.	
D-211	E	3'0"	9'0"	Pocket Simple	BY MANUF.	
D-212	E	3'0"	9'0"	Pocket Simple	BY MANUF.	
D-213	E	2'4"	9'0"	Pocket Simple	BY MANUF.	
D-214	D	2'8"	9'0"	Swing Simple	GROUP 2	(1)
D-215	E	3'5"	9'0"	Pocket Simple	BY MANUF.	
D-216	K	21'6"	9'0"	Slider	BY MANUF.	
D-217	K	21'6"	9'0"	Slider	BY MANUF.	
D-218	J	9'8"	9'0"	Slider	BY MANUF.	
D-219	C	3'0"	9'0"	Swing Simple	BY MANUF.	COORDINATE LOCATION OF PRE-DRILLED HOLE IN PANEL FOR LOCK

WINDOW COVERINGS/SHADING DEVICES
(1) INTERIOR MOTORIZED ROLLING WINDOW SHADE PER SPECIFICATIONS

WINDOW SCHEDULE ***SEE PLANS FOR QUANTITIES***

Mark		Nominal Size O.A. Width	Nominal Size O.A. Height	Glass	Egress Win	Comments
W-01		9'0"	4'0"	LOW E, TEMPERED	FALSE	(1)
W-02		2'6"	9'0"	LOW E, TEMPERED	FALSE	(1)
W-03		6'0"	9'0"	LOW E, TEMPERED	FALSE	(1)
W-04	ABV	3'6"	2'0"	LOW E, TEMPERED	FALSE	(1)
W-05	ABV	6'0"	2'0"	LOW E, TEMPERED	FALSE	(1)
W-06		3'0"	9'0"	LOW E, TEMPERED	FALSE	(1)

WINDOW TYPES



W0-1
FIXED
U VALUE .34 MINIMUM

W0-2
UPPER: TILT/TURN TEMPERED
LOWER: FIXED

U VALUE .34 MINIMUM

W0-3
FIXED
TEMPERED GLAZING
U VALUE .34 MINIMUM

W0-4
AWNING
TEMPERED GLAZING
U VALUE .34 MINIMUM

W0-5
AWNING
TEMPERED GLAZING
U VALUE .34 MINIMUM

W0-6
FIXED
TEMPERED GLAZING
U VALUE .34 MINIMUM

WINDOW COVERINGS/SHADING DEVICES
(1) INTERIOR MOTORIZED ROLLING WINDOW SHADE PER SPECIFICATIONS

HARDWARE GROUPS
BRUSHED ALUMINUM FINISH, TYPICAL

GROUP 1

EXTERIOR ENTRY
KEY CODE ACCESS (PROGRAMMABLE FROM OFFSITE)

GROUP 2

EXTERIOR ENTRY/TERRACE
PROVIDE MAGNETIC DOOR STOP @ 90 DEGREE OPEN POSITION

GROUP 3

BLACK STEEL BARN DOOR TRACK CONCEALED IN SOFFIT

DOOR AND WINDOW NOTES

1. REFER TO DRAWINGS FOR SPECIFIC DOOR AND WINDOW SIZES.
2. INTERIOR DOORS TO BE RIMADESIO SLIDING DOORS, UNLESS NOTED OTHERWISE
3. ALL EXTERIOR DOORS TO BE INSULATED METAL WITH COMPLETE WEATHER-STRIPPING SYSTEM.
4. FINISH HARDWARE: HARDWARE ALLOWANCE SHALL INCLUDE FURNISHING LOCKS, HINGES, PRIVACY AND PASSAGE SETS, BUTTS, DEADBOLTS, CLOSERS, THRESHOLDS, WEATHERSTRIPPING, PULLS, CATCHES, STOPS, PIVOTS HINGES, AND ALL FORMS OF APPLIED HARDWARE. DO NOT INSTALL HARDWARE UNTIL FINISHING OF DOORS IS COMPLETED, KEEP HARDWARE FREE FROM SCRATCHES AND OTHER DAMAGE. HARDWARE SHALL BE IN PERFECT, OPERATING CONDITION.
5. LOW-E, NFRC RATED WINDOW AND GLASS DOORS COMPRISE ≥90% OF TOTAL ABOVE-GRADE GLASS AREA, U=0.34 OR LOWER. ALL EXTERIOR GLAZING TO BE CLEAR DOUBLE-PANE LOW-E.
6. SHOWERS SHALL HAVE DOORS SIZED TO PROVIDE A MINIMUM OF 22-INCH NET CLEAR OPENING. ALL HINGED DOORS MUST SWING OUT.
7. GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED.
8. TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITH A 24 INCHES ARCH OF DOORS, GLAZING LESS THAN 60 INCHES ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT. OF STAIRS, OR GLAZING WITHIN 5 FT. OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT.
9. SAFETY GLAZING REQUIRED WHEN WALK-THROUGH HAZARD EXISTS MEETING ALL OF THE FOLLOWING: EXPOSED AREA OF GLAZING > 9 SQ. FT., BOTTOM EDGE < 18 INCHES ABOVE FLOOR OR GROUND, TOP EDGE > 36 INCHES ABOVE FLOOR OR GROUND, WITHIN 36 INCHES HORIZONTAL OF WALKING SURFACE.
10. DOORS AND CABINETRY HARDWARE TO BE SELECTED BY OWNER AND ARCHITECT.
11. PROVIDE SCREENS ON ALL OPERABLE WINDOWS AND DOORS

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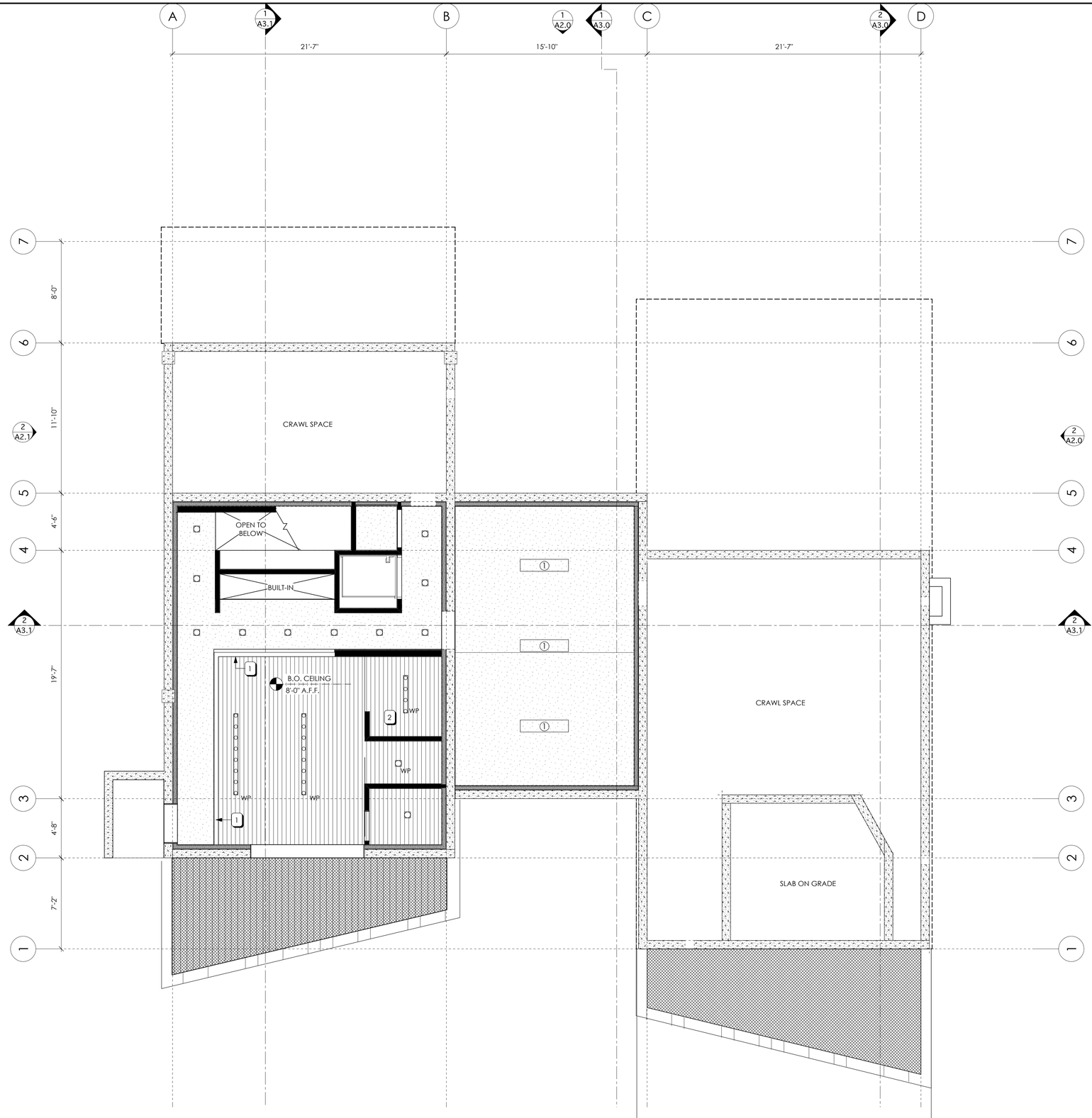
WINDOW & DOOR SCHEDULES

A6.0



1 **LOWER REFLECTED CEILING PLAN**
Scale: 1/4" = 1'-0"

NOTE: COORDINATE WITH ARCHITECT FOR PLACEMENT OF FIRE SPRINKLER HEADS, CEILING SPEAKERS, ETC. LOCATE WITHIN LINEAR PANEL "REVEAL" IN CEILING WHEREVER POSSIBLE.

GENERAL NOTES & LEGEND

- GYPSUM BOARD, SMOOTH TEXTURE, PAINTED PER SCHEDULE
- SHIPLAP WOOD SIDING AS SELECTED (INTERIOR APPLICATION)
- EPOXY COATING AS SELECTED
- BLACK MESH INFILL BELOW OPEN DECKING - MATCH SIDING (PAINT EXPOSED DECKING STRUCTURE BLACK)
- ENERGYSTAR RATED WALL MOUNTED LIGHT FIXTURE
- ARTEMIDE "NOTHING" RECESSED LIGHT OR APPROVED SIMILAR
- WP ARTEMIDE "NOTHING" WATER PROOF RECESSED LIGHT OR APPROVED SIMILAR
- INTERIOR LED TRACK FIXTURE
- EXTERIOR GRADE ROPE LIGHT
- ARTEMIDE "NOTHING" LINEAR SYSTEM M182 + DIFFUSER ACCESSORY (OR APPROVED EQUAL)
- ① ENERGYSTAR RATED1X4 FLUORESCENT WITH T8 LAMP

REFLECTED CEILING PLAN KEYED NOTES

1. TRACK FOR GLASS PARTITIONS
2. COORDINATE CEILING FINISH WITH SAUNA SUPPLIER

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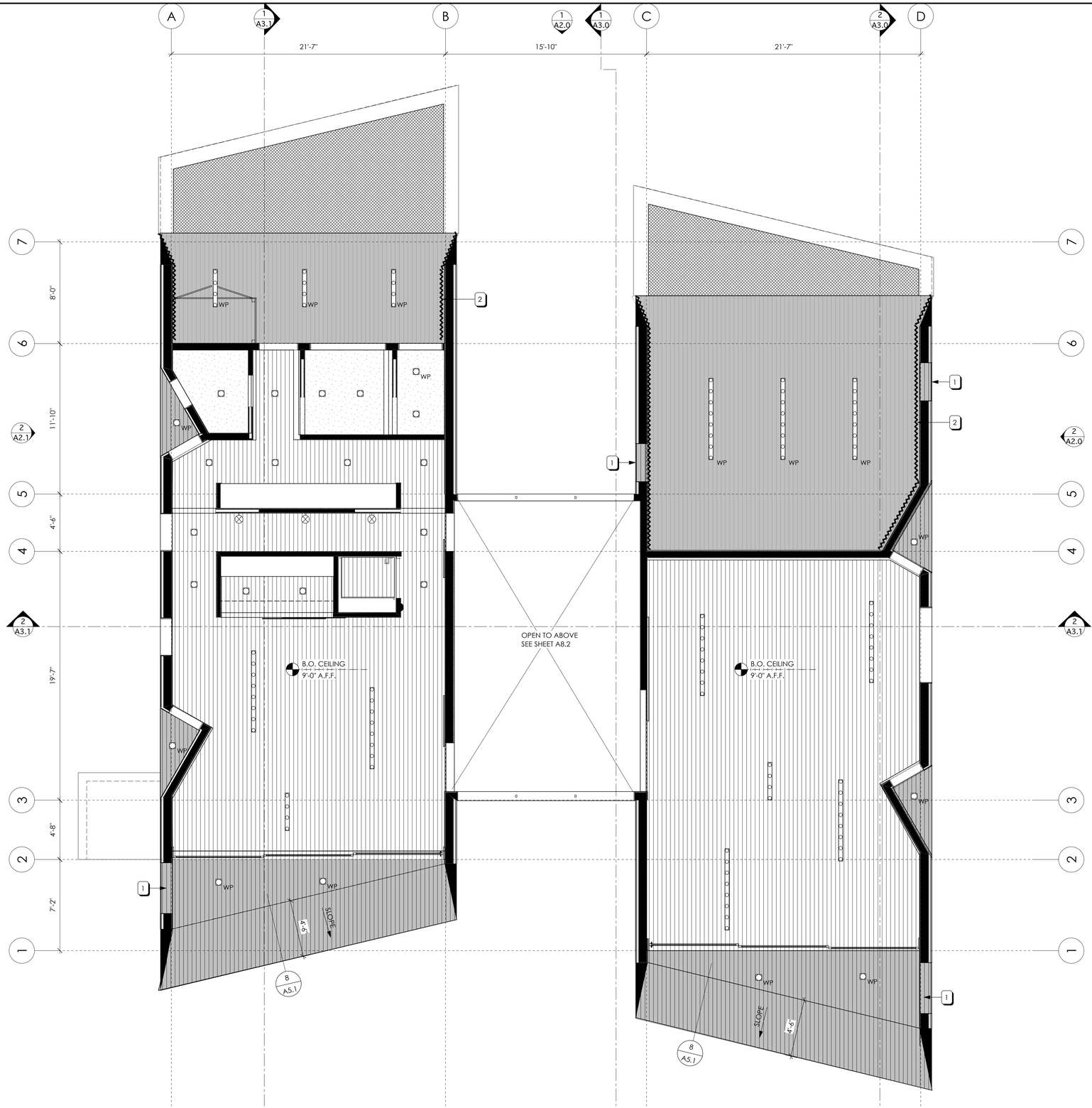
LOWER FLOOR REFLECTED CEILING PLAN

A8.0



1 **MAIN REFLECTED CEILING PLAN**
Scale: 1/4" = 1'-0"

GENERAL NOTES & LEGEND

- GYPSUM BOARD, SMOOTH TEXTURE, PAINTED PER SCHEDULE
- SHIPLAP WOOD SIDING AS SELECTED (INTERIOR APPLICATION)
- SHIPLAP WOOD SIDING AS SELECTED (EXTERIOR APPLICATION)
- BLACK MESH INFILL BELOW OPEN DECKING - MATCH SIDING (PAINT EXPOSED DECKING STRUCTURE BLACK)
- ENERGYSTAR RATED WALL MOUNTED LIGHT FIXTURE
- ARTEMIDE "NOTHING" RECESSED LIGHT OR APPROVED SIMILAR
- WP ARTEMIDE "NOTHING" WATER PROOF RECESSED LIGHT OR APPROVED SIMILAR
- INTERIOR LED TRACK FIXTURE
- EXTERIOR GRADE ROPE LIGHT
- ARTEMIDE "NOTHING" LINEAR SYSTEM M182 + DIFFUSER ACCESSORY (OR APPROVED EQUAL)
- ① ENERGYSTAR RATED1X4 FLUORESCENT WITH T8 LAMP

NOTE: COORDINATE WITH ARCHITECT FOR PLACEMENT OF FIRE SPRINKLER HEADS, CEILING SPEAKERS, ETC. LOCATE WITHIN LINEAR PANEL "REVEAL" IN CEILING WHEREVER POSSIBLE.

REFLECTED CEILING PLAN KEYED NOTES

1. WRAP EXTERIOR WOOD SIDING INSIDE HEADER OF OPENING, TYPICAL
2. COORDINATE SPATIAL REQUIREMENTS FOR SELECTED LIGHT FIXTURE - CONCEAL ROPE LIGHT ABOVE CEILING FINISH
3. N/A

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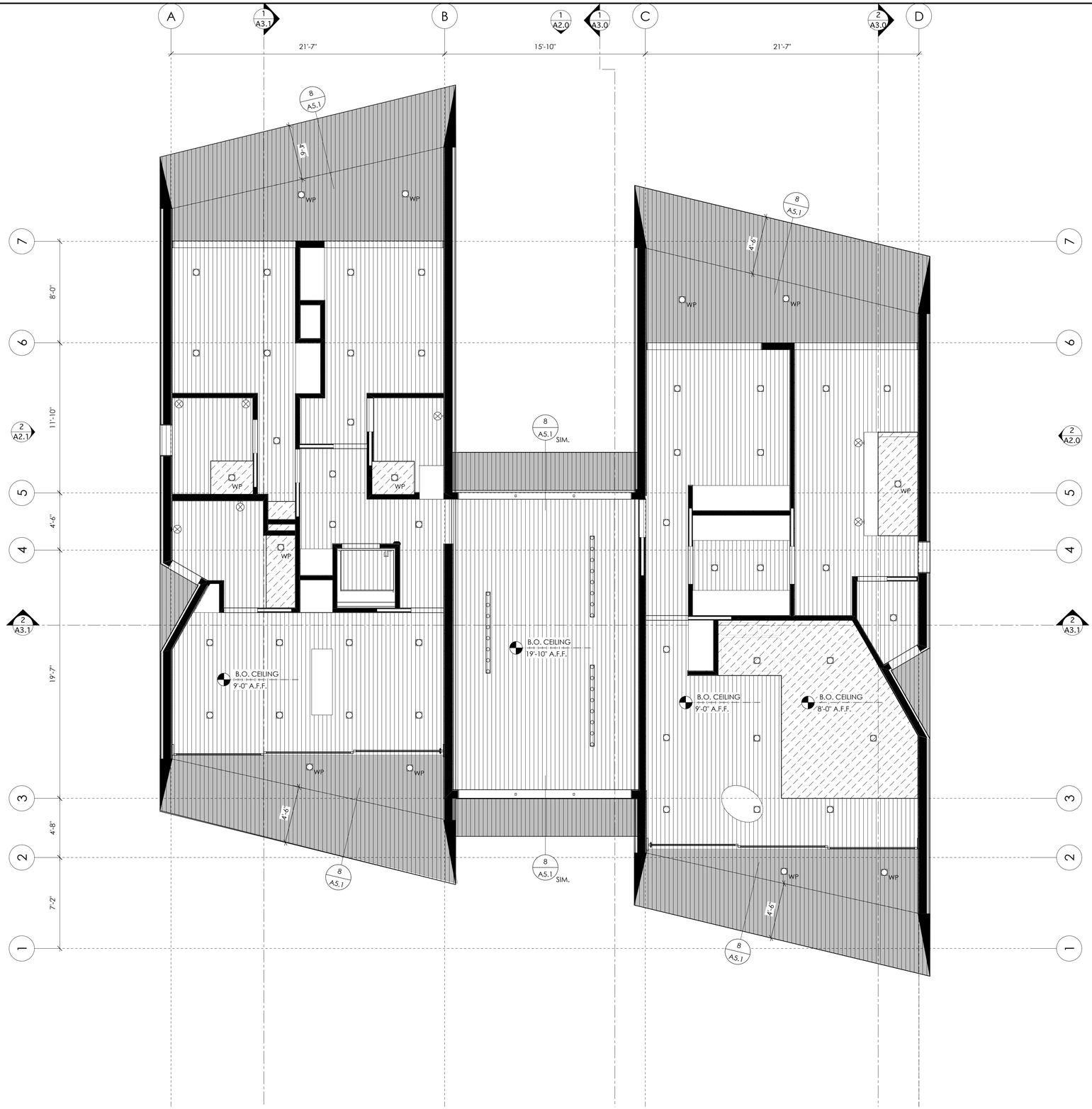
MAIN FLOOR REFLECTED CEILING PLAN

A8.1



1 **UPPER REFLECTED CEILING PLAN**
Scale: 1/4" = 1'-0"

NOTE: COORDINATE WITH ARCHITECT FOR PLACEMENT OF FIRE SPRINKLER HEADS, CEILING SPEAKERS, ETC. LOCATE WITHIN LINEAR PANEL "REVEAL" IN CEILING WHEREVER POSSIBLE.

GENERAL NOTES & LEGEND

- GYPSUM BOARD, SMOOTH TEXTURE, PAINTED PER SCHEDULE
- SHIPLAP WOOD SIDING AS SELECTED (INTERIOR APPLICATION)
- SHIPLAP WOOD SIDING AS SELECTED (EXTERIOR APPLICATION)
- EPOXY COATING AS SELECTED
- BOARD FORMED CONCRETE, WITH LOW VOC SEALER
- ENERGYSTAR RATED WALL MOUNTED LIGHT FIXTURE
- ARTEMIDE "NOTHING" RECESSED LIGHT OR APPROVED SIMILAR
- WP ARTEMIDE "NOTHING" WATER PROOF RECESSED LIGHT OR APPROVED SIMILAR
- INTERIOR LED TRACK FIXTURE
- EXTERIOR GRADE ROPE LIGHT
- ARTEMIDE "NOTHING" LINEAR SYSTEM M182 + DIFFUSER ACCESSORY (OR APPROVED EQUAL)
- 1 ENERGYSTAR RATED1X4 FLUORESCENT WITH T8 LAMP

REFLECTED CEILING PLAN KEYED NOTES

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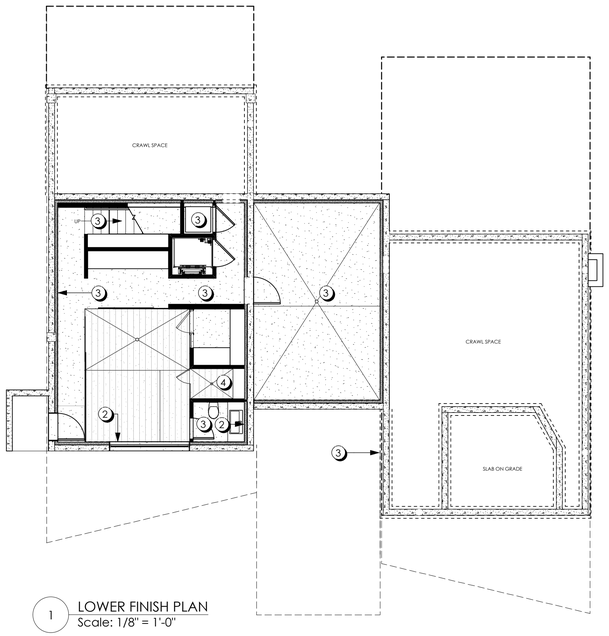
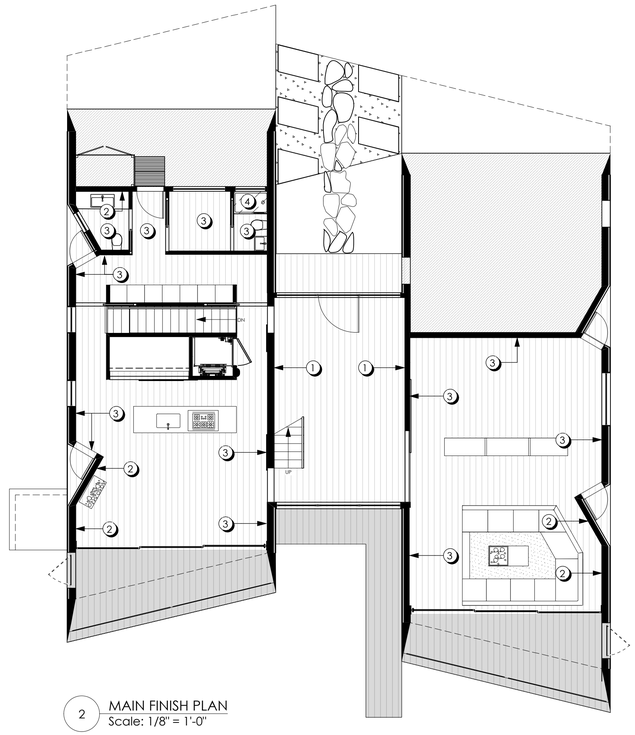
UPPER FLOOR REFLECTED CEILING PLAN

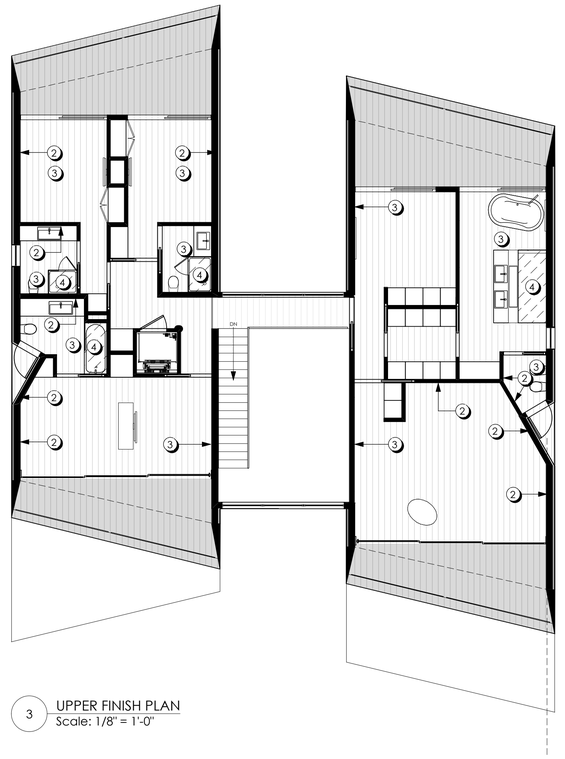
A8.2



1 LOWER FINISH PLAN
Scale: 1/8" = 1'-0"



2 MAIN FINISH PLAN
Scale: 1/8" = 1'-0"



3 UPPER FINISH PLAN
Scale: 1/8" = 1'-0"

FINISH LEGEND

- WOOD FLOORING, LOW/NO VOC STAIN AND SEALER
- WOOD DECKING, LOW/NO VOC STAIN AND SEALER
- EXPOSED CONCRETE SLAB WITH EXPOSED AGGREGATE & LOW/NO VOC SEALER
- EXTERIOR SLAB ON GRADE WITH INTEGRAL COLOR AS APPROVED BY ARCHITECT
- EPOXY COATING AS SELECTED

WALL FINISH KEY

1. STANDING SEAM METAL PANELS TO MATCH EXTERIOR
2. WOOD SIDING TO MATCH EXTERIOR
3. SMOOTH PAINTED GYPSUM BOARD
   (BID ALT: VENETIAN PLASTER FINISH)
4. EPOXY COATING AS SELECTED

ELEVATOR CAB FINISHES

FLOOR AND CEILING: TO MATCH ADJACENT FLOORING AND CEILING TREATMENT (WOOD FLOORING, SHIPLAP WOOD CEILING)

WALLS: PAINTED GYP. BD. WITH REVEAL BASE PER INTERIOR DETAILS, TYPICAL

INTERIOR ALLOWANCES

1- FRAMELESS MIRRORS IN ALL BATHS

2 - FRAMELESS, TEMPERED GLASS SHOWER ENCLOSURES AT ALL SHOWERS

3 - CUSTOM FRAMING AND EPOXY FINISH IN ALL TUB AND SHOWER AREAS

LOW-EMITTING MATERIALS			
Adhesives & Sealants			
All adhesives and sealants used on the interior of the building (defined as inside of the weatherproofing system and applied on site) shall comply with the requirements of the following reference standards:			
Adhesives, Sealants and Sealant Primers: South Coast Air Quality Management District (SCAQMD) Rule #1168. VOC limits are listed in the table below and correspond to an effective date of July 1, 2005 and rule amendment date of January 7, 2005			
Architectural Applications	**VOC Limit [g/L less water]**	**Specialty Application**	**VOC Limit [g/L less water]**
Indoor Carpet Adhesives	50	PVC Welding	510
Carpet Pad Adhesives	50	CPVC Welding	490
Wood Flooring Adhesives	100	ABS Welding	325
Rubber Flooring Adhesives	60	Plastic Cement Welding	250
Subfloor Adhesives	50	Adhesive Primer for Plastic	550
Ceramic Tile Adhesives	65	Contact Adhesive	80
VCT & Asphalts Adhesives	50	Special Purpose Contact Adhesive	250
Drywall & Panel Adhesives	50	Structural Wood Member Adhesive	140
Multipurpose Construction Adhesives	70	Sheet Applied Rubber Lining Operations	850
Structural Glazing Adhesives	100	Top & Trim Adhesive	250
Substrate Specific Applications	**VOC Limit [g/L less water]**	**Sealants**	**VOC Limit [g/L less water]**
Metal to Metal	30	Architectural	250
Plastic Foams	50	Nonmembrane Roof	300
Porous Material (except wood)	50	Roadway	250
Wood	30	Single-Ply Roof Membrane	450
Fiberglass	80	Other	420
		Sealant Primers	**VOC Limit [g/L less water]**
		Architectural Non Porous	250
		Architectural Porous	775
		Other	750
Aerosol Adhesives		**VOC Weight [g/L minus water]**	
General purpose mist spray		65% VOCs by weight	
General purpose web spray		55% VOCs by weight	
Special purpose aerosol adhesive (all types)		70% VOCs by weight	
Paints & Coatings			
Paints and coatings used on the interior of the building (defined as inside of the weatherproofing system and applied on-site) shall complay with the following criteria:			
Architectural paints, coatings and primers applied to interior walls and ceilings: Do not exceed the VOC content limits established in Green Seal Standard GS-11, Paints, First Edition, May 20, 1993			
Flats		50 g/L	
Non-flats		150g/L	
Anti-corrosive and anti-rust paints applied to interior ferrous metal substrates: Do not exceed the VOC content of 250 g/L established in Green Seal Standard GC-03, Anti-Corrosive Paints, Second Edition, January 7, 1997			
Clear wood finishes, floor coatings, stains, sealers, and shellacs applied to interior elements: Do not exceed the VOC content limits established in SCAQMD Rule 1113, Architectural Coatings, rules in effect on January 1, 2004			
Clear wood finishes	Varnish 350 g/L	Lacquer 550 g/L	
Floor coatings 100 g/L	100 g/L		
Sealers			
waterproofing sealers 250 g/L	sanding sealers 275 g/L	all other sealers 200 g/L	
Shellac: pigmented 550 g/L	clear 730 g/L		
Stains 250 g/L			

Appliance Schedule

Equipment						Elec.		
ITEM	**Location**	**Manufacturer**	**Model**	**Stock #**	**Size**	**Watts**	**Amps**	**Remarks**
FIREPLACE #1	DINING							WOOD BURNING W/GASKETED DOOR
FIREPLACE #2	LIVING							WOOD BURNING W/GASKETED DOOR
FIREPLACE #3	BED 1							GAS
FIREPLACE #4	BED 2							GAS
FIREPLACE #5	MASTER SUITE 2							GAS
FIREPLACE #6	MASTER SUITE 1							GAS
FIREPLACE #7	MASTER SITTING ROOM							GAS
WINE REFRIGERATOR	MUD ROOM							
REFRIGERATOR	KITCHEN							
HOOD	KITCHEN							
COOKTOP	KITCHEN							W/DOWNDRAFT
MICROWAVE	KITCHEN							
WALL OVEN	KITCHEN							
DISHWASHER	KITCHEN							
STACKED WASHER/DRYER	BASEMENT LAUNDRY							

Plumbing Schedule

ITEM	LOCATION	MANUFACTURER	MODEL	FINISH	NOTES
KITCHEN SINK					
KITCHEN FAUCET					2 GPM OR BETTER
TOILETS					1.28 GPF OR DUAL FLUSH
WASHBASIN					
BATHROOM FAUCET					2 GPM OR BETTER
WALLBAR					
HANDSHOWER					
SHOWER CONTROLLER					
WALL OUTLET					
SHOWER HEAD					
SHOWER ARM					
TUB					
TUB FAUCET					
BIDET					

Cabinet Schedule

ITEM	LOCATION	CABINET	SHELVES	COUNTER/TOP	BACKSPLASH	Notes
WARDROBES/MUD ROOM STORAGE		BY POLIFORM	BY POLIFORM			CONTRACTOR TO COORDINATE PRE-FAB. HEIGHT OF ALL WARDROBES WITH INTERIOR FINAL CEILING FINISH HEIGHTS
VANITY	ALL BATHS		-		-	PROVIDE ALLOWANCE FOR FLOATING VANITY CLAD IN BLACK METAL FINISH

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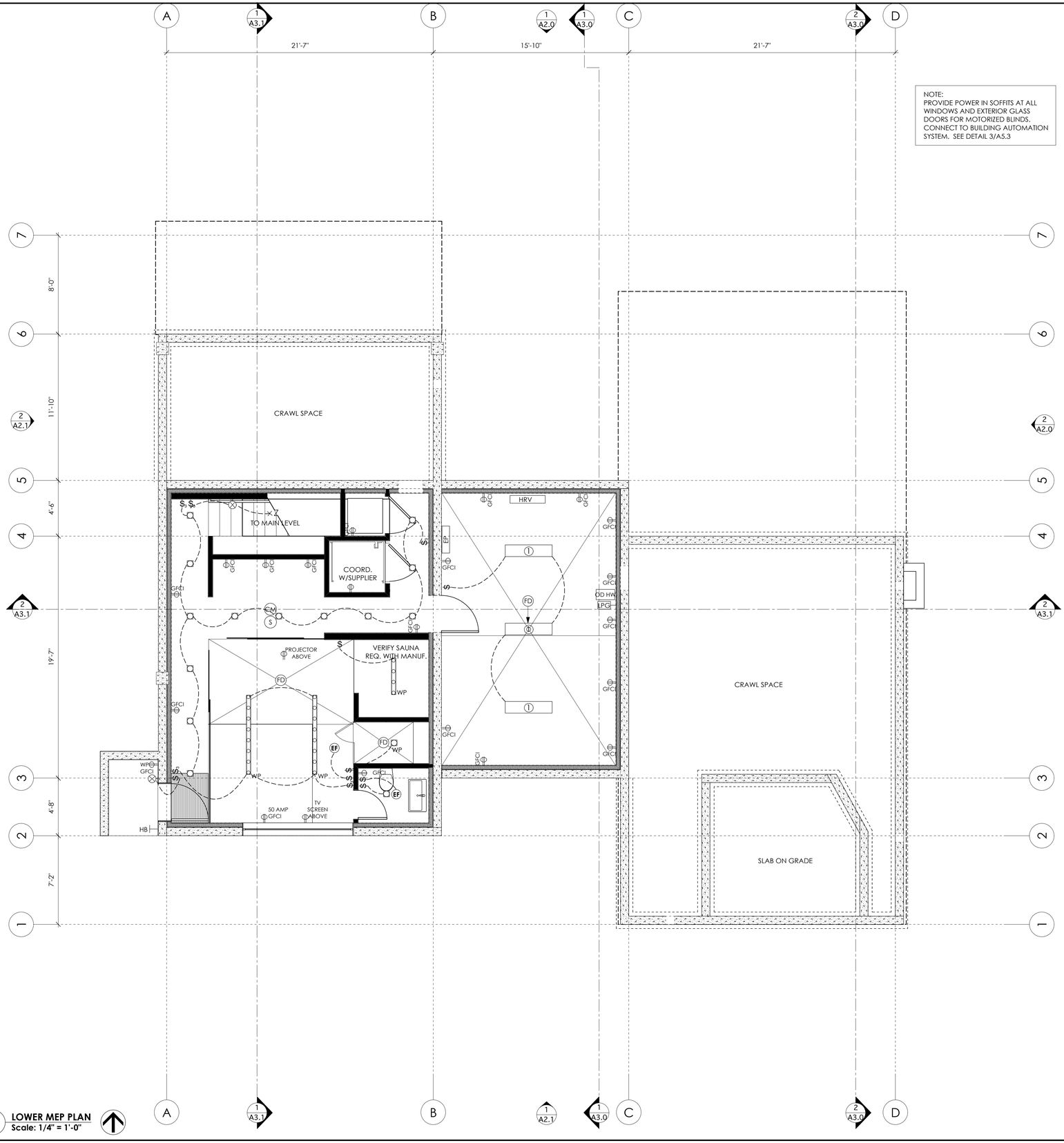
FINISH PLAN & SCHEDULES

A9.0



1 **LOWER MEP PLAN**
Scale: 1/4" = 1'-0"

ELECTRICAL

1. ALL CONDUIT SHALL BE 1/2" MINIMUM WITH COPPER CONDUCTORS INSTALLED. ALUMINUM CONDUCTORS WILL NOT BE ALLOWED.
2. ELECTRICAL CONTRACTOR SHALL PROVIDE AS PART OF THIS CONTRACT LEGIBLE LABELING OF ALL BREAKERS ON PANEL BOARD WITH TYPEWRITTEN OR PLASTIC EMBOSSED LABEL.
3. PROVIDE NO MORE THAN EIGHT DUPLEX CONVIENCE OUTLETS AND NO MORE THAN THREE COMPUTER OUTLETS ON ANY ONE CIRCUIT.
4. THE ELECTRICAL INSTALLATION SHALL MEET THE STANDARDS PRESCRIBED BY THE NATIONAL ELECTRICAL CODE AND ALL LOCAL AMENDMENTS, ALL APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES, THE AMERICANS WITH DISABILITIES ACT (ADA), AND LOCAL AND STATE BUILDING CODES. CONSTRUCTION SHALL IN GENERAL BE IN ACCORDANCE WITH STANDARDS AND REQUIREMENTS OF UTILITIES AND AUTHORITIES HAVING JURISDICTION.
5. PROVIDE A U-FER GROUND.
6. FOR EACH EQUIPMENT CONNECTION, DETERMINE AND PROVIDE THE DEVICE, OUTLET OR JUNCTION BOX REQUIRED TO CONNECT THE EQUIPMENT. VERIFY EXACT LOCATIONS WITH ARCHITECT/OWNER PRIOR TO INSTALLATIONS.
7. VERIFY ELECTRICAL REQUIREMENTS FOR ANY EQUIPMENT OR APPLIANCES SHOWN ON PLANS PRIOR TO COMMENCEMENT OF WORK. PROVIDE ISOLATED GROUND WIRES AS REQUIRED BY EQUIPMENT MANUFACTURERS.
8. PROVIDE COLOR AND FINISH OPTIONS FOR ALL POWER DEVICES, LIGHT SWITCHES, OUTLETS, AND COMMUNICATION COVER PLATES AS APPLICABLE FOR APPROVAL BY OWNER/ARCHITECT.
9. ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, BATHS, UNFINISHED BASEMENTS AND OUTSIDE RECEPTACLES SHALL BE GFIC PROTECTED.
10. CENTER ALL RECEPTACLES (DATA & OUTLET) AT 18" A.F.F. AND ELECTRICAL SWITCHES AT 48" A.F.F. UNLESS NOTED OTHERWISE ON PLAN.
11. PROVIDE MOTOR STARTERS NOT OTHERWISE PROVIDED WITH MECHANICAL EQUIPMENT. PROVIDE CONDUIT FOR MECHANICAL CONTROL WIRING AS MAY BE REQUIRED BY CODE. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR AS TO LOCATION OF RTUS, AHUS, ACCUS, HPS, EFS, WATER HEATERS, PUMPS, ETC. (AS APPLICABLE).
12. CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHTING AS NEEDED FOR THE USE OF ALL TRADES.
13. ELECTRICAL CONTRACTOR SHALL REVIEW ALL FIXTURE AND SWITCH LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION OF FIXTURES WITH A SITE WALK-THRU AFTER FRAMING.
14. ELECTRICAL PANELS MUST COMPLY WITH IRC E3305 FOR 30"X36" WORKING SPACE AND 6'-6" HEADROOM
15. HOT TUB AND SPA INSTALLATIONS AND LOCATION SHALL COMPLY WITH E4103 & NEC 680.
16. FURNISH LABOR AND MATERIALS FOR A COMPLETE AND PERFECTLY OPERATING ELECTRICAL SYSTEM.
17. CONTRACTOR TO PROVIDE TERMINAL HOOKUP OF ALL FIXTURES, APPLIANCES AND FANS.
18. ARC-FAULT CIRCUIT INTERRUPTERS ARE REQUIRED ON ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLE OUTLETS IN DWELLING UNIT BEDROOMS.
19. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED OUTDOORS AT THE FRONT AND BACK OF EACH DWELLING UNIT HAVING DIRECT ACCESS TO GRADE. BUBBLE COVERS ARE REQUIRED IF OUTLETS ARE EXPOSED TO WEATHER. ALL EXTERIOR BALCONIES OVER 20 SQ. FT. REQUIRE A RECEPTACLE.
20. FIXTURES TO BE LAMPED WITH FLUORESCENT TUBE, COMPACT FLUORESCENT, LED, OR LOW VOLTAGE HALOGEN BULBS. INCANDESCENT BULBS ARE NOT ALLOWED.
21. CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR ELECTRICAL FIXTURES BASED UPON A "HIGH QUALITY" LINE OF FIXTURES. VERIFY SELECTION WITH OWNER / ARCHITECT.
22. RECESSED LIGHTING FIXTURES TO BE ICAT LABELED AND SEALED TO DRYWALL
23. CONTRACTOR SHALL RELOCATE/RE-INSTALL EXISTING FIXTURES AS SHOWN AND SHALL RE-INSTALL ANY EXISTING FIXTURES REMOVED TO ACCOMPLISH OTHER PORTIONS OF THE WORK.
24. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. LOCATE IN ALL BEDROOMS, AREAS PROVIDING BEDROOM ACCESS (W/IN 12 FEET) AND ON EACH FLOOR LEVEL. DETECTORS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER-CURRENT PROTECTION.
25. WALLS LONGER THAN TWO FEET REQUIRE AN OUTLET. HALLWAYS OF 10'-0" OR MORE SHALL HAVE AT LEAST ONE RECEPTACLE. ALL 15 AND 20 AMP RECEPTACLES SHALL BE TAMPER RESISTANT.
26. ALL UTILITIES ENTERING THE STRUCTURE SHALL BE PROPERLY BONDED IMMEDIATELY PRIOR TO ENTRY IN ACCORDANCE WITH THE ELECTRICAL CODE.
27. BONDS OR GROUNDS SHALL OCCUR AT ONLY ONE POINT ALONG EACH UTILITY IN ACCORDANCE WITH THE ELECTRICAL CODE.
28. ALL UTILITIES SHALL BE TESTED WITH A GAUSSMETER WHEN THE HOUSE POWER IS TURNED OFF. IF MAGNETIC FIELDS ARE DETECTED, INFORM OWNER OR ARCHITECT IMMEDIATELY.

PLUMBING

1. FURNISH LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL A COMPLETE AND FULLY FUNCTIONAL PLUMBING SYSTEM, INCLUDING SOIL, WASTE, DOMESTIC WATER PIPING, AS REQUIRED, PLUMBING FIXTURES AND TRIM. PRIOR TO SUBMITTING BID, VERIFY UTILITY CONNECTIONS. PROVIDE TAPS, HOOKUPS TO EXISTING UTILITIES AND INSTALL MANHOLES AND METERS.
2. WATER LINES SHALL BE TYPE L HARD COPPER ABOVE GRADE, TYPE K HARD COPPER BELOW GRADE. BELOW CONCRETE SLABS USE TYPE K SOFT. NO JOINTS BELOW FLOOR SLABS ALLOWED. FITTINGS SHALL BE WROUGHT COPPER. SOLDER WITH 95-5 SOLDER WITH SUITABLE FLUX. NO ACID CORE SOLDER. INSULATE HOT AND COLD WATER PIPING WITH ARMAFLEX.
3. WATER SERVICE LINE FROM METER TO HOUSE SHALL BE TYPE K COPPER.
4. BUILDING SEWER SHALL BE NO HUB CAST IRON, VITRIFIED CLAY PIPE OR APPROVED NON-PVC PIPE. CAULK ALL JOINTS OR PROVIDE NEOPRENE GASKETS.
5. PIPING TO HOSE BIBBS SHALL BE CONCEALED IN WALL AND UNDER SLABS. PROVIDE ANTI-SIPHON DEVICES. PROVIDE NON-FREEZE TYPE BACKFLOW PREVENTER HOSE BIBS PER IRCP2902.3. P2603.2
6. KEEP ROOF VENT PENETRATIONS TO A MINIMUM. GROUP MULTIPLE VENT PIPES FOR SINGLE VENT THRU ROOF. PROVIDE PROPOSED LOCATION OF PLUMBING VENT(S) THROUGH ROOF TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. PLUMBING VENTS THROUGH THE ROOF TO BE A MINIMUM 3-INCH PIPE. VENT STACKS PENETRATING INTO ATTICS SHOULD BE SEALED WITH FLEXIBLE SEALS TO HANDLE EXPANSION OF PIPES.
7. PITCH WASTE AND DRAIN LINES 3" AND SMALLER AT 1/4" PER FOOT MINIMUM. OPEN DRAINS USED SOLELY FOR EMERGENCY OVERFLOW SHALL BE RUN OUTSIDE TO DAYLIGHT WITH SCREENED ENDS.
8. WHEREVER PLUMBING PENETRATES THE WALL, APPLY 100% SILICONE CAULKING, AQUARIUM GRADE, TO CREATE AN AIRTIGHT SEAL.
9. THE USE OF PVC IS PROHIBITED.
10. FLOW RATE OF SHOWERHEADS NOT TO EXCEED 2.5 GPM.
11. LOW FLOW TOILETS AND SHOWER HEADS SHOULD BE INSTALLED TO MINIMIZE WATER CONSUMPTION. PRESSURE BALANCED SHOWER CONTROLS SHOULD BE USED TO REDUCE THE DANGERS OF SCALDING.
12. INSTALL AN ENERGY STAR QUALIFYING TANKLESS WATER HEATER CONDENSING ULTRA-LOW NOx INDOOR NATURAL GAS HOT WATER SYSTEM. ALL HW LINES TO BE CONTINUOUSLY INSULATED W/ R-11 MIN. FROM SOURCE TO FIXTURES.
13. ALL SHOWERS AND BATH/SHOWER COMBINATIONS SHALL BE PROVIDED BALANCED PRESSURE, THERMOSTATIC, OR COMBINATION AUTOMATIC COMPENSATING VALVES THAT COMPLY WITH ASEE 1016 OR ASTM A112.1/CSA b1.25.1
14. HOT WATER SHALL BE SET AT A MAXIMUM TEMPERATURE OF 120 DEGREES FAHRENHEIT.
15. BACKFLOW PREVENTERS TO BE INSTALLED AS REQUIRED (INCLUDES FIRE SPRINKLER SYSTEM, BOILERS, ETC.)
16. VERIFY DETAILS OF SYSTEMS WITH ARCHITECT PRIOR TO INSTALLATION. PROVIDE A 2-YEAR WARRANTY.
17. PLUMBING INSTALLATION TO ACCOMODATE SEASONAL FLUSHOUT AND WEATHERIZATION OF EQUIMPMENT. COORDINATE WITH PLUMBING CONTRACTOR
18. INSULATE ALL HOT WATER PIPES

ELECTRICAL LEGEND

	ENERGYSTAR RATED WALL MOUNTED LIGHT FIXTURE
	ICAT/ENERGYSTAR RATED ARTEMIDE "NOTHING" RECESSED LIGHT OR APPROVED SIMILAR
WP	ICAT/ENERGYSTAR RATED ARTEMIDE "NOTHING" WATER PROOF RECESSED LIGHT OR APPROVED SIMILAR
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	EXTERIOR GRADE ROPE LIGHT
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	ENERGY STAR RATED SURFACE MOUNTED CEILING DIRECTIONAL LIGHT
	PENDANT FIXTURE
	ENERGY STAR RATED BI-DIRECTIONAL CEILING FAN
	ENERGY STAR RATED BI-DIRECTIONAL CEILING FAN W/ LIGHT
LED	LANDSCAPE LIGHT (SOLAR POWERED)
	DUPLEX WALL OUTLET - "adorne" BY LEGRANDE OR EQUAL
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CVS	CENTRAL VAC STORAGE RECEPTACLE
EFT	GARAGE EXHAUST FAN ON TIMER TRIGGERED BY GARAGE DOOR ACTIVATION, USE TAMARAK TECCH OR EQUAL.
EP	ELECTRICAL PANEL
SPK	FLUSH-MOUNT SPEAKER
WP	RECESSED WEATHERPROOF WALL LIGHT
MS	MOTION SENSOR

MECHANICAL LEGEND

FD	FLOOR DRAIN
HRV	FULLY DUCTED HEAT RECOVERY VENTILATION SYSTEM
OD HW	ON-DEMAD HOT WATER CONTROLS
HB	HOSE BIBB
LPG	PROPANE GAS
EF	EXHAUST FANS - ENERGY STAR RATED, QUIET MOTION (TIED INTO HRV SYSTEM)

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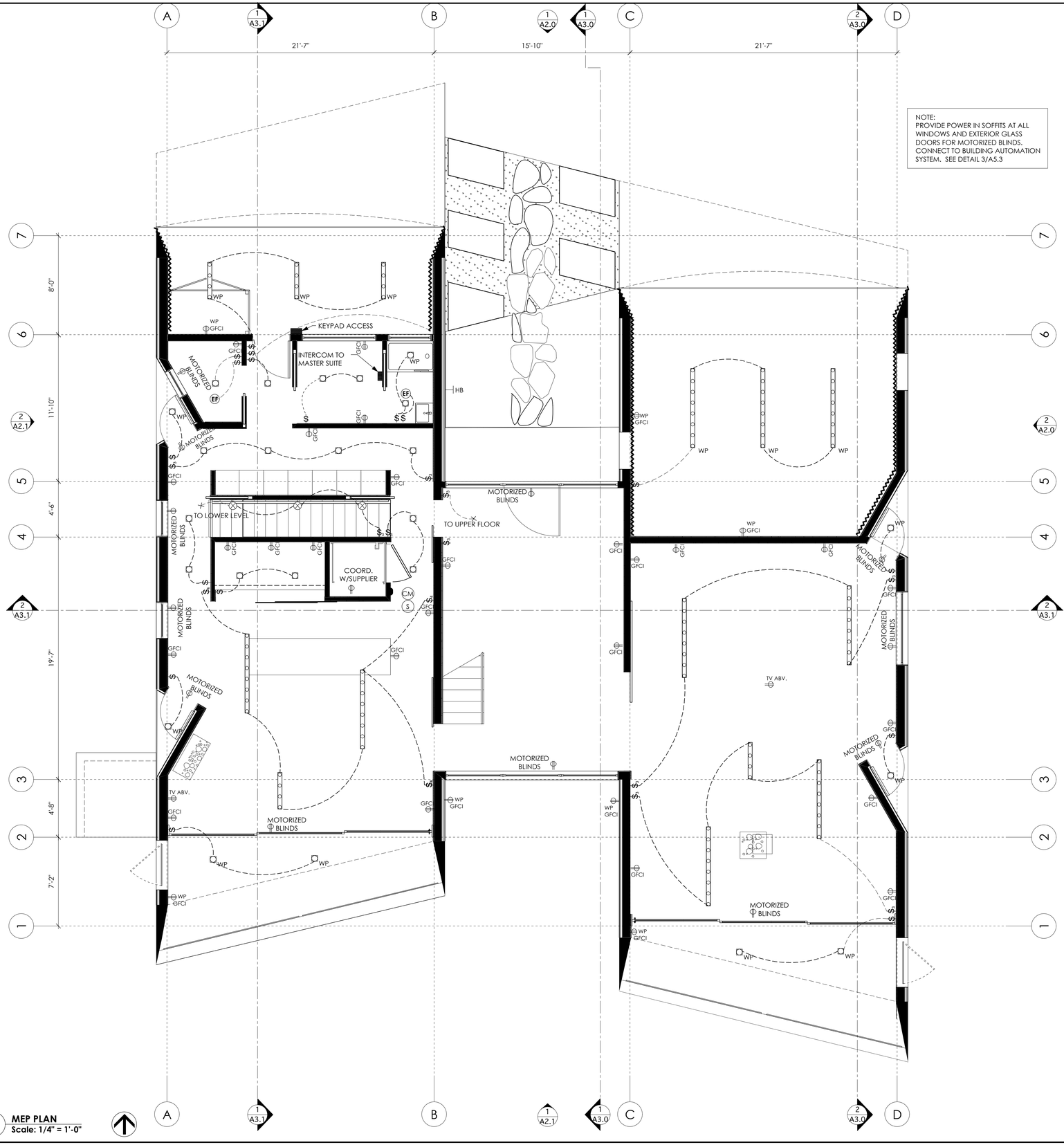
DATE
13 MAY 2015

REVISIONS

LOWER FLOOR MEP PLAN

ME1.0



1 **MEP PLAN**
Scale: 1/4" = 1'-0"

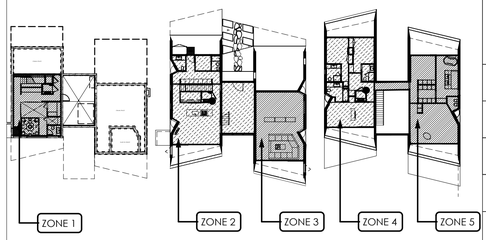
MECHANICAL

1. FURNISH LABOR AND MATERIALS FOR A FULLY FUNCTIONAL SYSTEM INCLUDING: AN ENERGY STAR QUALIFYING HEAT RECOVERY VENTILATION SYSTEM, VENTING EXHAUST FANS AND KITCHEN RANGE HOOD
2. AT A MINIMUM, ALL WORK SHALL CONFORM TO ESTABLISHED BUILDING STANDARDS AND BASE BUILDING SPECIFICATIONS AND STANDARDS, AND TO LOCAL CODES/STANDARDS.
3. PROVIDE 2-YEAR WARRANTY.
4. SUBMIT PRODUCT DATA FOR ARCHITECT'S APPROVAL.
5. INSTRUCT OWNER IN OPERATION OF EQUIPMENT AND FURNISH OPERATING MANUALS AND WARRANTY INFORMATION.
6. PROVIDE GAS LOG AND GAS APPLIANCES WITH A SHUT-OFF VALVE WITHIN 6 FEET OF THE APPLIANCE.
7. PROVIDE KITCHEN RANGE HOOD (INCLUDE APPLIANCE RANGE HOOD COMBINATIONS) VENTED TO THE EXTERIOR CAPABLE OF EXHAUSTING AT LEAST 100 CFM (PER ASHRAE 62.2, 2003). KITCHEN HOODS THAT ARE CAPABLE OF EXHAUSTING AIR TO THE OUTSIDE IN EXCESS OF 400 CFM REQUIRE MAKE UP AIR.
8. ALL FIREPLACES AND STOVES IN HOME MUST MEET THE FOLLOWING CRITERIA: GAS FIREPLACES ARE POWER OR DIRECT VENT AND MUST HAVE AN ELECTRONIC IGNITION; FACTORY BUILT, WOOD BURNING FIREPLACES MUST BE EPA CERTIFIED, INCLUDE A SPARK ARRESTOR AND BE ENCLOSED; PELLET OR OTHER SOLID FUEL BURNING STOVES MUST MEET ASTM E1509-04; WOOD STOVE AND FIREPLACE INSERTS MUST BE EPA CERTIFIED.
9. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
10. PROVIDE RECIRCULATING PUMP SYSTEM ON DHW LINES TO AVOID COLD WATER WAIT FOR HOT WATER AT ALL TAPS, SYSTEM TO BE BUTTON OR MOTION ACTIVATED.
11. PROVIDE ENERGY STAR QUALIFIED PROGRAMMABLE THERMOSTATS.
12. UNLESS OTHERWISE NOTED, MOUNT THERMOSTATS AT 48" A.F.F. TO CENTERLINE.
13. PROVIDE ENERGY STAR QUALIFIED GAS BOILER WITH AN AFUE OF 90 OR GREATER
14. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING IN WINDOWS OF NOT LESS THAN 3 SQ. FT. IF GLAZING IS NOT PRESENT, PROVIDE A MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCTING 50 CFM FOR INTERMITTENT OPERATION OR 20 CFM FOR CONTINUOUS OPERATION. VENTILATED AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.
15. BATH CEILING UNITS PROVIDING ANY COMBINATION OF HEAT, LIGHT OR VENTILATION SHALL BE PROVIDED WITH CONTROLS PERMITTING SEPARATE OPERATION OF THE HEATING FUNCTION.
16. VENT DRYER TO THE OUTSIDE. MAXIMUM LENGTH OF THE DUCT WITH TWO 90-DEGREE ELBOWS IS 15 FEET. PROVIDE MAKEUP AIR TO LAUNDRY ROOM.
17. VERIFY ALL LOCATIONS OF AIR DEVICES AND CEILING EQUIPMENT. COORDINATE WITH GENERAL CONTRACTOR, OTHER TRADES, AND ARCHITECT/ENGINEER TO AVOID CONFLICTS (E.G. WITH LIGHTS, SMOKE DETECTORS, BORDERS OF CEILING HEIGHT/TYPE CHANGES, ETC.).
18. FURNISH LABOR, MATERIALS AMD EQUIPMENT NECESSARY TO INSTALL A COMPLETE AND FULLY FUNCTIONING, AUTOMATED, ENERGY EFFICIENT DRIVEWAY SNOWMELT SYSTEM TO INCLUDE HEATING ELEMENT, ACTIVATION DEVICE, CONTACTOR PANEL AND MARKER PLATE; PROVIDE GUTTER MELT SYSTEM WITH SELF-REGULATING GUTTER HEATING CABLE AT GUTTERS AND DOWNSPOUTS. SNOWMELT SYSTEM SHALL BE COMPATIBLE WITH BUILDING MANAGEMENT SYSTEM AND OPERABLE FROM OFF-SITE. COORDINATE WITH HOME AUTOMATION PROVIDER AND CONTRACTOR.
19. PROVIDE SNOW MELTING SYSTEM LAYOUT FOR ARCHITECT APPROVAL PRIOR TO INSTALLATION.
20. ALL BATHROOM EXHAUST FANS SHALL BE ENERGY STAR RATED AND TIED INTO THE HRV SYSTEM.

SPACE HEATING: RADIANT FLOOR

1. PROVIDE WARMBOARD HYDRONIC RADIANT FLOOR HEATING SYSTEM.
2. PROVIDE A COMPLETE SYSTEM INCLUDING BOILER, TUBING, PUMPS, ACCESSORIES, VALVES AND CONTROLS AND ALL OTHER COMPONENTS NECESSARY FOR A COMPLETE INSTALLATION.
3. PROVIDE ENERGY STAR RATED THERMOSTATS AND CONTROLS SUCH THAT THE HOUSE CAN BE ZONED AND CONTROLLED AS SEVERAL DISTINCT 'ZONES', REFER TO MECHANICAL DRAWINGS FOR HEATING ZONES.
4. INCLUDE TUBING AND MANIFOLD SHOP DRAWINGS.
5. PROVIDE A ROOM-BY-ROOM HEAT LOSS ANALYSIS AND HEATING REQUIREMENTS FOR INDIVIDUAL ROOMS; SIZE BOILER AND CONFIRM THAT EACH ROOM WILL HAVE ADEQUATE HEAT ON THE COLDEST NIGHT OF EACH YEAR.
6. PROVIDE A COMPLETE PLUMBING SCHEMATIC LISTING ALL THE MECHANICAL COMPONENTS NEEDED TO ASSEMBLE THE BOILER ROOM.
7. SPECIFY PIPE SIZING REQUIREMENTS FOR ALL DISTRIBUTION LINES THAT SERVE THE MANIFOLDS AS WELL AS THE COPPER PIPING AND PIPING LAYOUT SCHEMATIC IN THE BOILER/MECHANICAL ROOM.
8. PROVIDE CONTROL SCHEMATICS THAT DOCUMENT THE ELECTRICAL COMPONENTS NEEDED TO OPERATE THE HEATING SYSTEM.
9. ALL EQUIPMENT TO BE LOCATED IN THE MECHANICAL ROOM.
10. VERIFY PROPOSED DESIGN WITH ARCHITECT PRIOR TO INSTALLATION.
11. INSTALLATION OF RADIANT SYSTEM TO MEET RPA STANDARD GUIDELINES.
12. DESIGN AND INSTALLATION OF THE SYSTEM IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR AND MUST BE DONE IN COMPLIANCE WITH THE CURRENT MECHANICAL CODE AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
13. FRESH AIR VENTILATION TO BE PROVIDED WITH A HEAT RECOVERY VENTILATOR, RENEW AIR OR EQUAL, DISTRIBUTED UTILIZING SMALL DIAMETER, HIGH VELOCITY DUCTWORK, UNICO SYSTEM OR EQUAL. COORDINATE LAYOUT WITH ARCHITECT FOR APPROVAL.
14. ZONE PLUMBING WITH SHUT OFF TO EACH ZONE AND AT EACH FIXTURE.
15. INSPECT DUCTWORK PRIOR TO CONCEALING, TEST FOR LEAKAGE.
16. ALL DUCTWORK TO BE CONCEALED IN CEILING CHASE ABOVE CEILING FINISH. DROPPED SOFFITS WILL NOT BE PERMITTED.

RADIANT ZONE KEY PLAN



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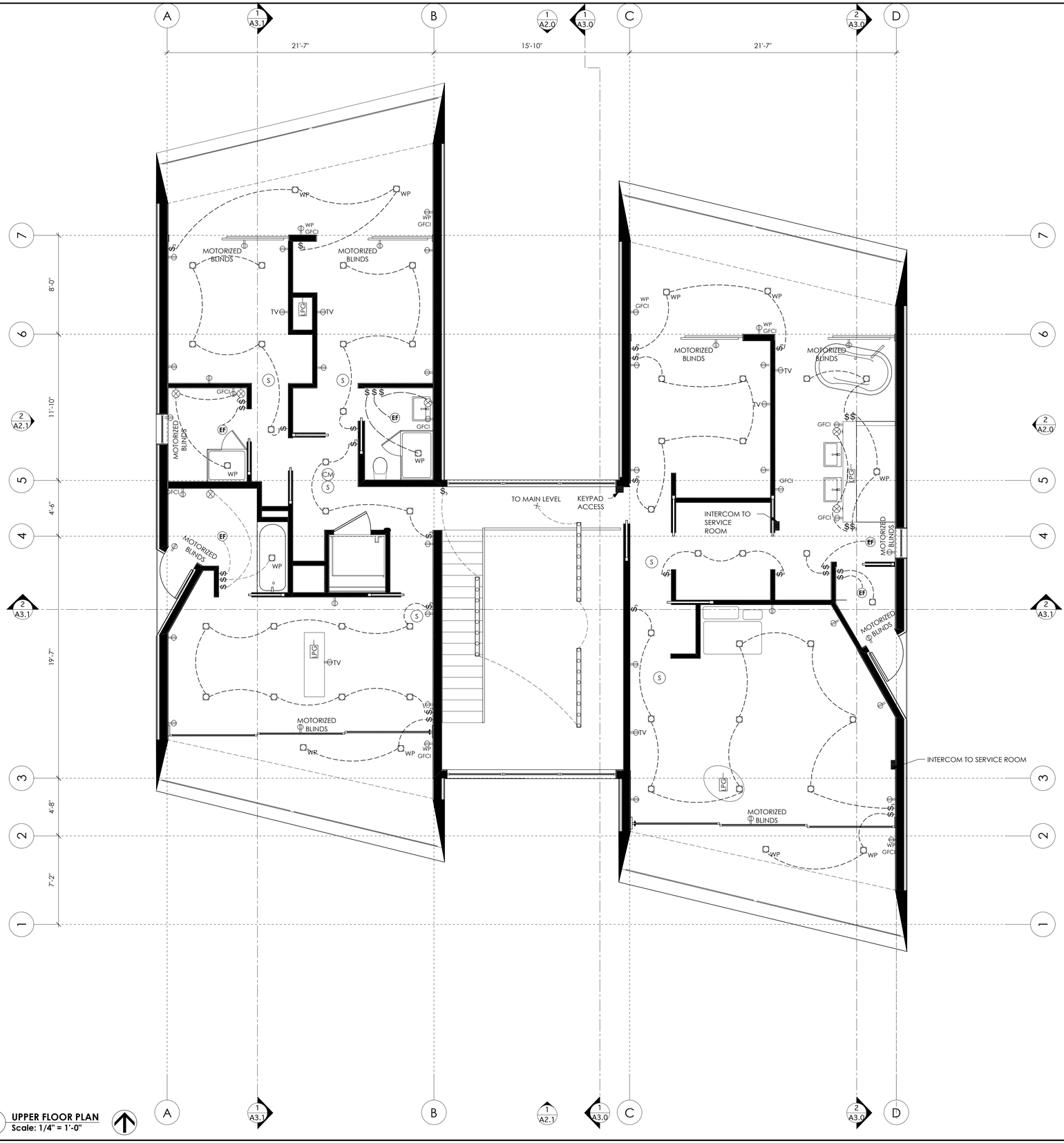
MAIN FLOOR MEP PLAN

ME1.1



1 **UPPER FLOOR PLAN**
Scale: 1/4" = 1'-0"

NOTE:
PROVIDE POWER IN SOFFITS AT ALL WINDOWS AND EXTERIOR GLASS DOORS FOR MOTORIZED BLINDS. CONNECT TO BUILDING AUTOMATION SYSTEM. SEE DETAIL 3/A5.3

ELECTRICAL LEGEND

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LPG	PROPANE GAS
EF	EXHAUST FANS - ENERGY STAR RATED, QUIET MOTION

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