

The Nobs Residence

6640 E 1100 S - SKI

LAKE LOT #3

DESIGN PARAMETERS	
CODE	IRC 2012 / ASCE 7-10
SEMI LOAD	50 PSF @ 3.500'
WIND	115 MPH, EXPOSURE C
SEISMIC	DIS 1545 S-N-1.2 3500/4000
FLOOR	40'
IMPORTANCE FACTOR	1.0

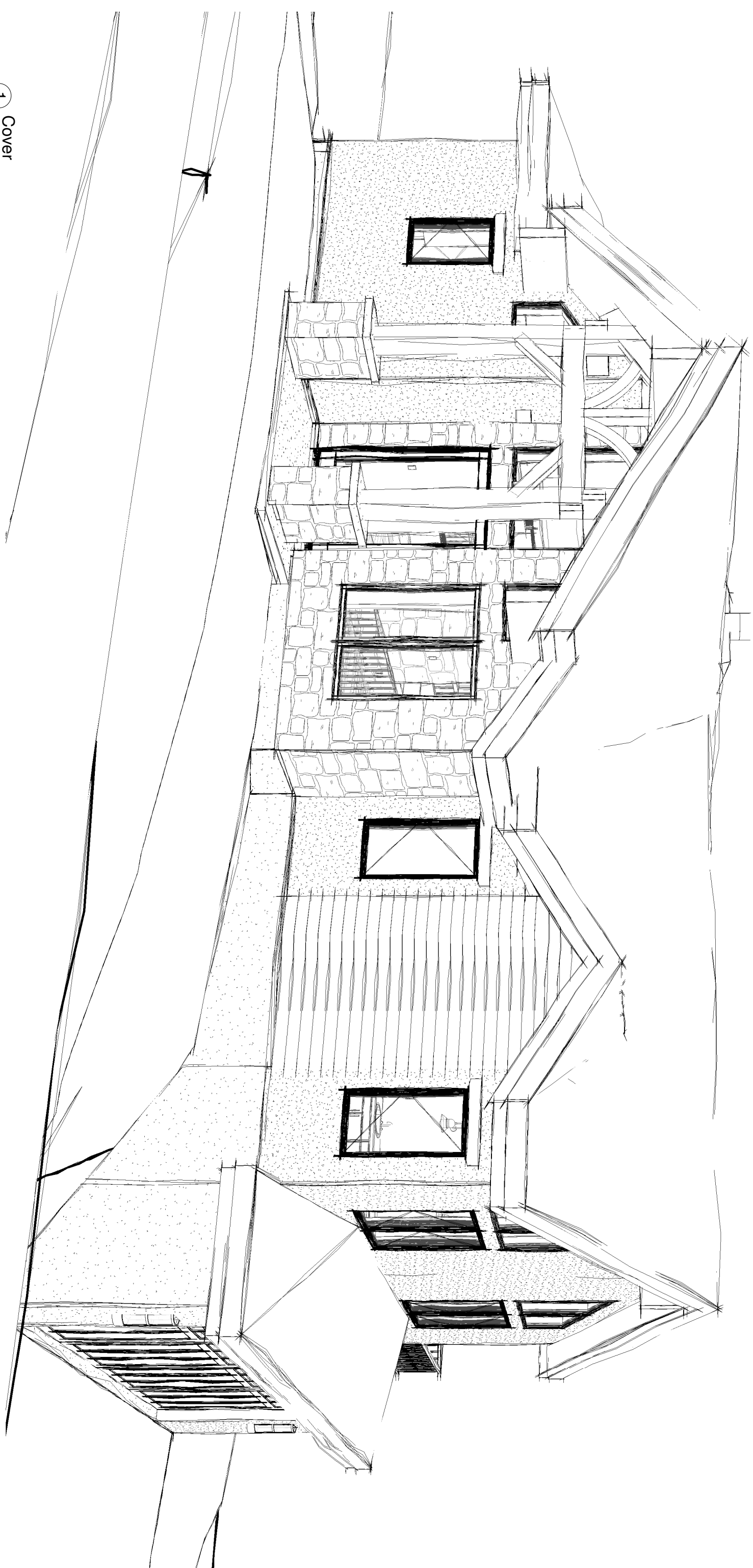
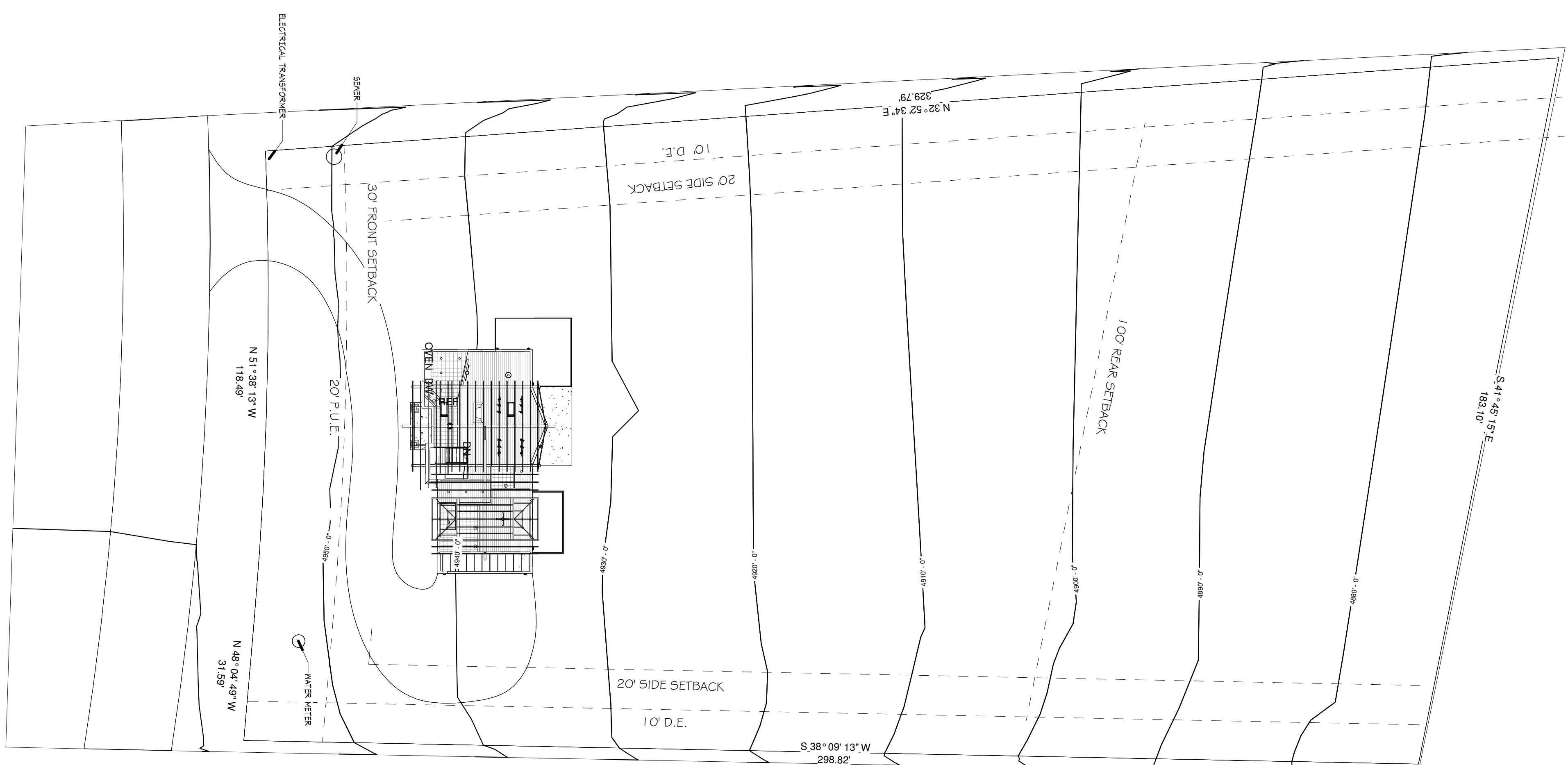
Sheet Number	Sheet Name	Current Revision	Sheet Issue Date
A1	Cover Page / Site Plan		04/07/2015
A2	Ground Level Plan		04/07/2015
A3	Main Floor Plan		04/07/2015
A4	Reflected Ceiling Plans		04/07/2015
A5	Elevations		04/07/2015
A6	Elevations		04/07/2015
A7	Building Sections		04/07/2015
A8	Electrical Plans		04/07/2015
C1	Topo Site		04/07/2015
S1	Notes, Sections & Details		04/07/2015
S2	Foundation Plan		04/07/2015
S3	Main Floor Framing Plan		04/07/2015
S4	Roof Plans		04/07/2015

Area Schedule (Gross Building)			
Name	Area	Perimeter	
Living Area			
Main Floor Living Area	1387 SF	164' - 6.9/32"	
Lower Level Living Area	853 SF	127' - 3.1/2"	
Living Area: 2	2240 SF		
Non Living Area			
2 - Car Garage	564 SF	95' - 0"	
Lower Level Porch	354 SF	100' - 9.9/16"	
Main Porch West	248 SF	73' - 5.1/2"	
Main Porch East	129 SF	48' - 2"	
Front Entry	60 SF	35' - 1.5/32"	
Lower Level Entry	59 SF	34' - 8"	
Non Living Area: 6	1415 SF		
	3655 SF		

1. ALL WORK TO BE DONE SHALL COMPLY WITH THE IRC 2012. GENERAL CONTRACTOR SHALL COMPLY WITH ALL LOCAL BUILDING CODES AND ORDINANCES GOVERNING THIS WORK INCLUDING CODES AND SUBDIVISION DESIGN GUIDELINES.
2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY DESIGNER OF ANY DISCREPANCIES FOUND.
3. GENERAL CONTRACTOR SHALL CAREFULLY CONSIDER ALL TRAILS TO PREPARE CONSTRUCTION AND PROVIDE THE HIGHEST QUALITY OF WORKMANSHIP OF THE INVOLVED TRADES.
4. ALL LIGHTING TO MEET COUNTY LIGHTING ORDINANCES.
5. CONTRACTOR TO CONSIDER ALL REQUIRED SPECIFICATIONS.
6. MANUFACTURERS SPECIFICATIONS FOR INSTALLATION OF MATERIALS SHALL BE FOLLOWED.
7. ALL WORKER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING EGRESS AND PARKING SHALL WEAR BE SAFETY VESTS, HELMETS OR FOUNDATION-SHAKE REDUCERS.
8. NO MOOD SHALL BE COLDER THAN 1/2" TO THE EARTH UNLESS SEPARATED BY CONCRETE AT LEAST 3" IN THICKNESS WITH AN EXPANSION JOINTS SPACED AT 12' BETWEEN THE EARTH AND THE CONCRETE INCLUDING BEAMS AND STOPS.
9. CONTRACTOR TO PROVIDE ENGINEER TRUSS BRACKETS BY THE TRUSS MANUFACTURERS ENGINEER PRIOR TO TRUSS INSTALL.
10. DIMENSIONS GIVEN TO FACE OF STUDS UNLESS OTHERWISE NOTED ON PLANS.
11. ALL DIMENSIONS TO BE INDICATED PER IRC 2012.
12. ALL G.I.B.S TO BE INDICATED PER IRC 2012.
13. BEFORE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION.
14. FIRESTOP ALL FLUES PER IRC 2012.
15. G.I.B.S IN HAZARDOUS LOCATIONS TO BE TAPERED GLASS PER IRC 2012.
16. HAZARDOUS MATERIALS TO BE PER STATE, LOCAL AND FEDERAL GUIDELINES.
17. ALL EXTERIOR FLOORS TO BE WEATHER STRIPPED.
18. EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF.
19. PROVIDE FINE BLOCKING AND PARTITION AT ALL COVERED SPACES OF PAULS FLOOR AND CEILING OPENINGS AND SOFFITS PER 2012 IRC.
20. SITES TO BE MAINTAINED TO A CLEAN AND WORKMANLY CONDITION AT ALL TIMES. ALL TRASH TO BE CONTAINED AT THE END OF EACH WORK DAY.
21. SUBCONTRACTORS SHALL MAINTAIN ACCESS TO ALL PORTIONS OF THE COMMONS AND SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF THE COMMONS. ALL SUBCONTRACTORS SHALL MAINTAIN ACCESS TO ALL PORTIONS OF THE COMMONS AND SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF THE COMMONS.

2 General Notes

1/2" = 1'-0"



LUNDIN DESIGN GROUP

2485 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401
P: 1 (801) 345 - 1560 F: 1 (801) 345 - 1561

DESIGN

LUNDIN HOMES, LLC

2485 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401
P: 1 (801) 345 - 1560 F: 1 (801) 345 - 1561

GENERAL CONTRACTOR

attitude

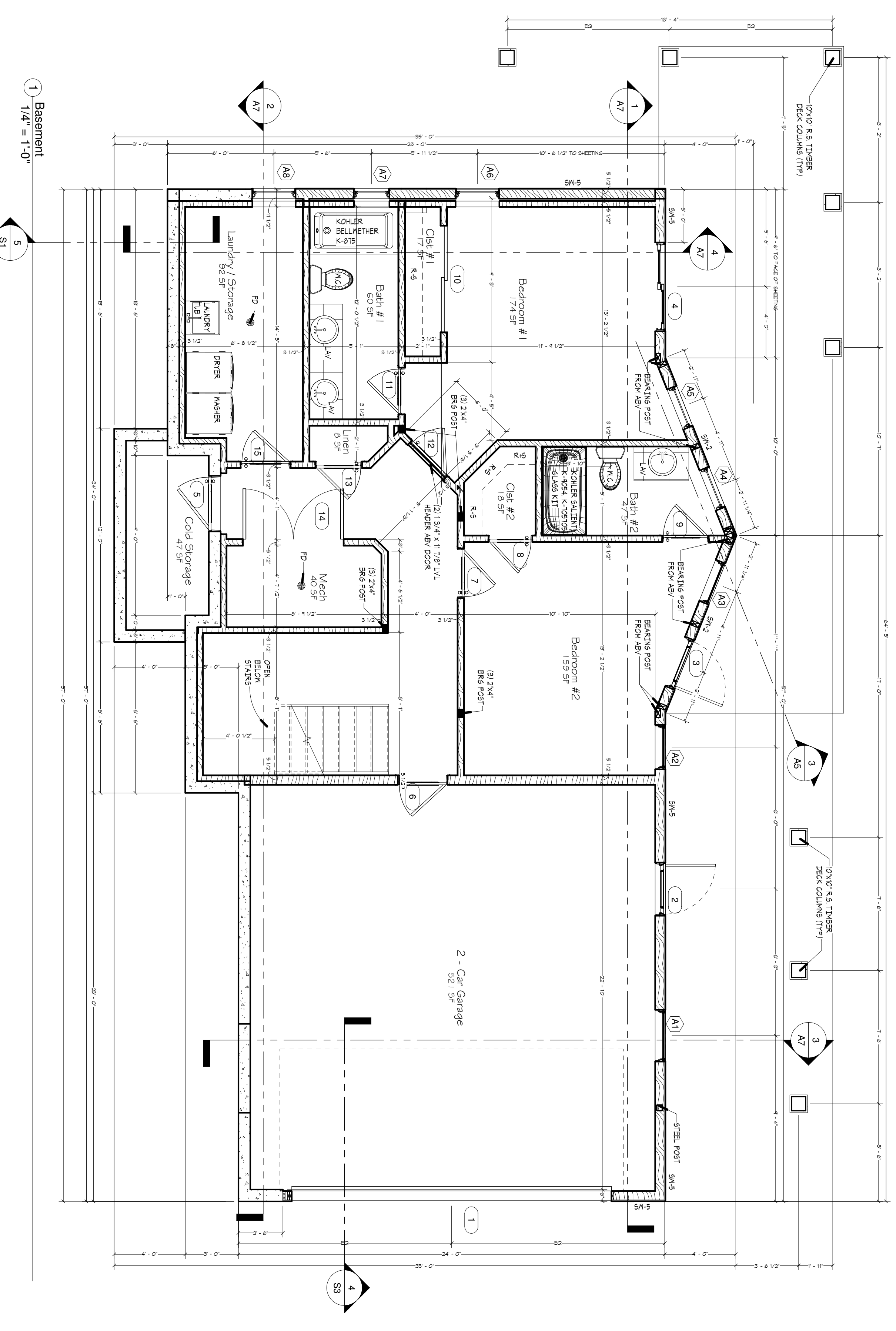
PO Box 716
Eden, Utah 84310
(801) 391-2973

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The Nobs Residence

Door Number	Door Size	Description	Finish
OVERHEAD SECTIONAL DOOR			
1	18'x8'	Garage Door	
2	3'-0" x 6'-8"	Out-Swing French - Left Hand Operation	
3	3'-0" x 6'-8"	Out-Swing French - Left Hand Operation	
4	(2) 2'6" x 6'8"	French Sliding Patio Door	
5	3'-0" X 6'-8"		
6	2'-8" x 6'-8"		
7	2'-8" x 6'-8"		
8	2'-4" x 6'-8"		
9	2'-6" x 6'-8"		
10	6'-0" X 6'-8"		
11	2'-6" x 6'-8"		
12	2'-8" x 6'-8"		
13	2'-6" x 6'-8"		
14	(2) 2'-8" x 6'-8"		
15	2'-8" x 6'-8"		
16	(2) 6' 0" x 8' 0"	Out-Swing French - Passive / Active Units	
17	3'-0" x 8'-0"	Out-Swing French - Left Hand Operation	
18	(2) 2'6" x 8'-0"	French Sliding Patio Door	
19	2'-6" x 8'-0"		
20	2'-6" x 8'-0"		
21	2'-8" x 8'-0"		
22	3'-0" x 8'-0"		
23	2'-6" x 8'-0"		

Mark	Type	Head Height	Comments	Level
A1	36" x 48"	6'-8"		Basement
A2	30" x 60"	6'-8"		Basement
A3	30" x 60"	6'-8"		Basement
A4	30" x 60"	6'-8"	TEMPERED	Basement
A5	30" x 60"	6'-8"		Basement
A6	30" x 60"	6'-8"		Basement
A7	24" x 18"	6'-8"	TEMPERED	Basement
A8	30" x 32"	6'-8"	TEMPERED	Basement
B1	32" x 90"	16'-6"	FIXED TRAPEZOID	Main Floor
B2	32" x 90"	16'-6"	FIXED TRAPEZOID	Main Floor
B3	36" x 72"	8'-0"		Main Floor
B4	36" x 72"	8'-0"		Main Floor
B5	36" x 36"	13'-0"	FIXED TRAPEZOID	Main Floor
B6	36" x 60"	8'-0"		Main Floor
B7	36" x 60"	8'-0"		Main Floor
B8	30" x 60"	8'-0"		Main Floor
B9	30" x 60"	8'-0"		Main Floor
B10	30" x 42"	12'-2"	FIXED TRAPEZOID	Main Floor
B11	30" x 59"	13'-7"	FIXED TRAPEZOID	Main Floor
B12	30" x 60"	8'-0"		Main Floor
B13	30" x 60"	8'-0"		Main Floor
B14	30" x 59"	13'-7"	FIXED TRAPEZOID	Main Floor
B15	30" x 42"	12'-2"	FIXED TRAPEZOID	Main Floor
B16	36" x 72"	8'-0"		Main Floor
B17	36" x 72"	8'-0"		Main Floor
B18	36" x 36"	11'-8"	FIXED TRAPEZOID	Main Floor
B19	36" x 36"	11'-8"	FIXED TRAPEZOID	Main Floor
B20	36" x 72"	8'-0"		Main Floor
B21	56" x 78"	8'-0"		Main Floor
B22	56" x 78"	8'-0"		Main Floor
B23	56" x 72"	14'-4"	FIXED TRAPEZOID	Main Floor
B24	56" x 104"	17'-0"	FIXED TRAPEZOID	Main Floor
B25	56" x 78"	8'-0"		Main Floor
B26	56" x 78"	8'-0"		Main Floor
B27	56" x 104"	17'-0"	FIXED TRAPEZOID	Main Floor
B28	56" x 72"	14'-4"	FIXED TRAPEZOID	Main Floor
B29	36" x 72"	8'-0"		Main Floor
B30	36" x 72"	8'-0"		Main Floor
B31	36" x 72"	8'-0"		Main Floor
B32	36" x 72"	8'-0"		Main Floor
B33	36" x 30"	11'-2"	FIXED TRAPEZOID	Main Floor
B34	36" x 30"	11'-2"	FIXED TRAPEZOID	Main Floor
B35	36" x 72"	8'-0"		Main Floor
B36	36" x 72"	8'-0"		Main Floor
B38	36" x 48"	8'-0"		Main Floor
B39	36" x 36"	13'-0"		Main Floor
C1	Master Shower Glass		TEMPERED	Roof
C2			ROOF SKYLIGHT	Roof
C3			ROOF SKYLIGHT	Roof

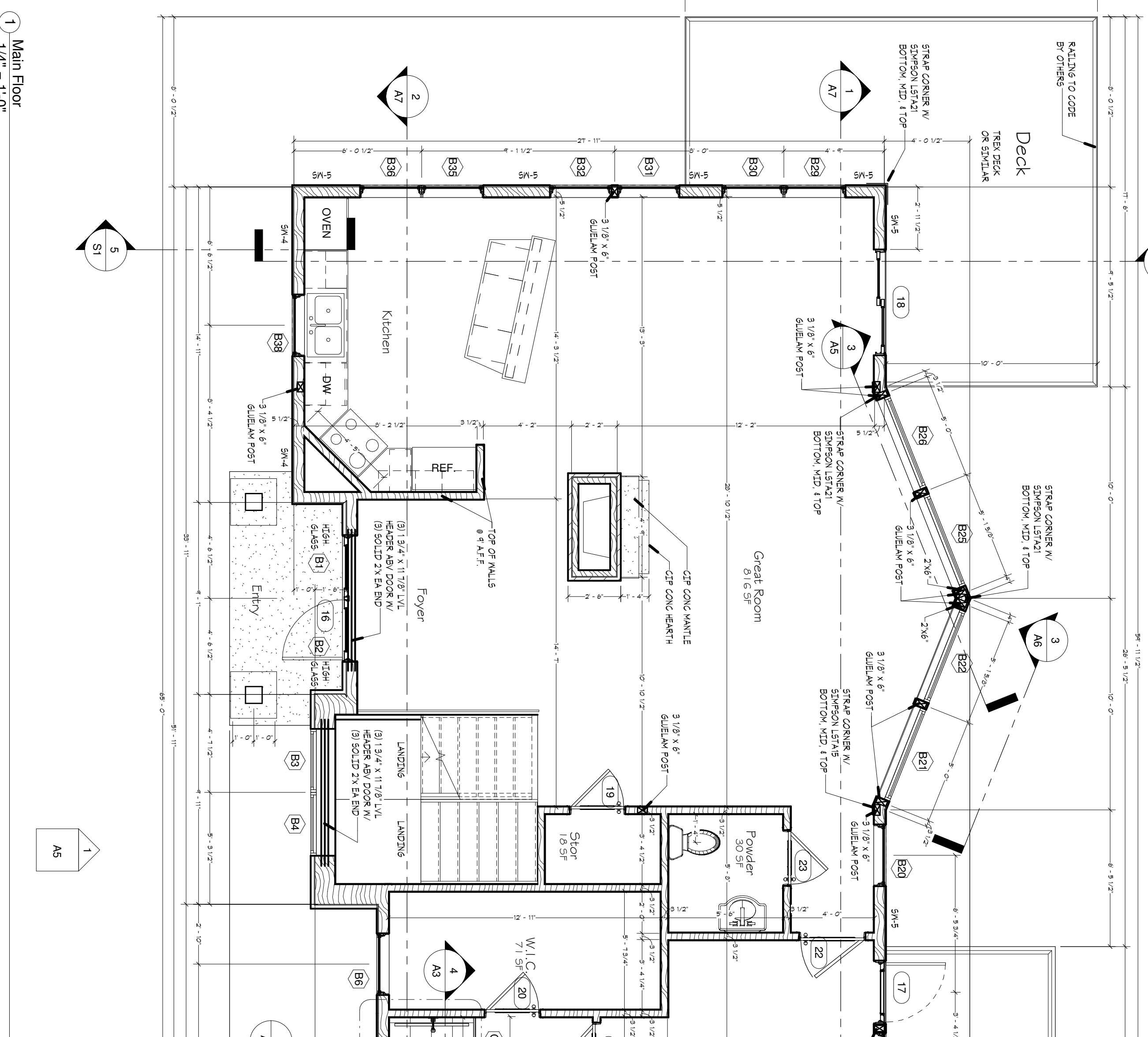
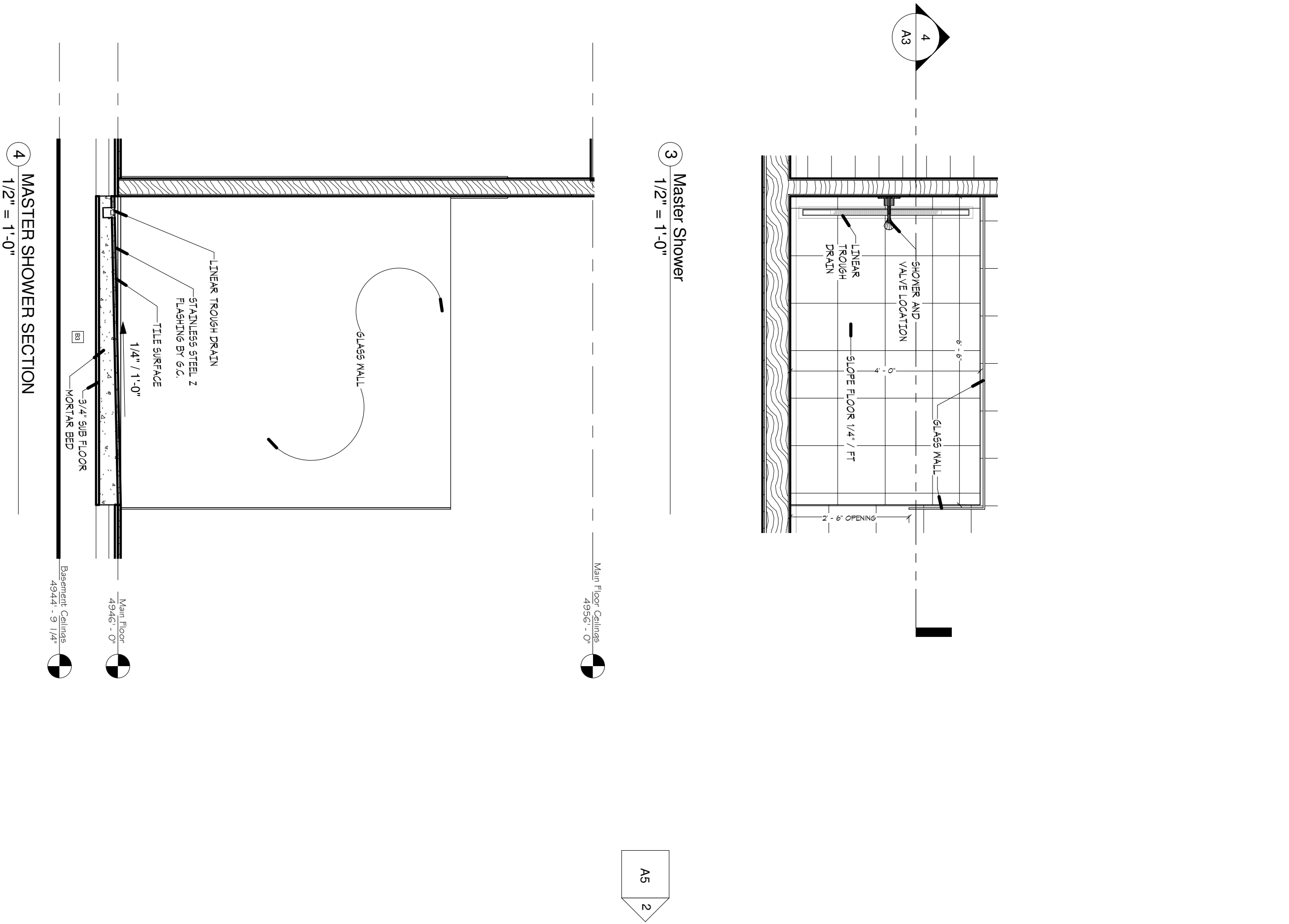


- GENERAL NOTES**
1. ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR FRAMING TO BE 2"x4" STUDS @ 16" O.C. UNLESS OTHERWISE NOTED. W/ 5/8" BRG J.W.C.
 3. ALL INTERIOR FRAMING TO BE 2"x4" STUDS UNLESS OTHERWISE NOTED. W/ 5/8" BRG J.W.C.
 4. VERIFY ALL FIXTURES, FINISHES AND EQUIPMENT WITH DESIGNER / CLIENT.
 5. PROVIDE NON-SLIPPER MATS BEHIND BOARDS AT ALL BATHS AND SHOWER WALLS. FLOOR TO CEILING.
 6. TRIP/SLIP HAZARD TO BE REMOVED WITH REQUIRED ISG. CLEARANCES W/ 5/8" BRG BRG.
 7. MANHOLETS ARE TO MEET REQUIREMENTS OF THE IBC FOR WEIGHT PROTECTION AND CONTINUITY. CROSS-SECTION AND SEPARATION FROM WALL.
 8. GARAGE WALLS AND CEILING ARE TO HAVE 5/8" TYPE X 5/8" BRG.
 9. MAINTAIN MIN. HEAD CLEARANCE AT STAIRS OF NOT LESS THAN 8'-0" MEASURED VERTICALLY FROM THE SLOPED PLANE. ADJUSTING THE HEAD WINGS OR FROM FLOOR SURFACE OF LANDINGS.
 10. GARAGE WALLS SHALL MEET IBC REQUIREMENTS FOR INCLUDING THE SIDES OF ALL VANDOS AND STAIRS MORE THAN 30" ABOVE GRADE.
 11. PROVIDE 5/8" BRG BLOCKING AS REQUIRED FOR CHIMNEYS, FINISHES EQUIPMENT AND ACCESSORIES AS REQUIRED BY EACH COMPONENT'S MANUFACTURER.
 12. SOUND INSULATION ALL INTERIOR BERNOCK BATHROOM AND LAUNDER ROOM WALLS.
 13. ALL DOORS SHALL BE INSTALLED 1" FROM WALL J.W.C.
 14. REFER TO FINISH PLAN FOR INTERIOR ELEVATION REFERENCES.
 15. AIRTIGHT PERMANENT APPROXIMATE INSULATION REQUIRED.
 16. CONNECTION TO WATER COMPANY SERVICE SHALL BE BOUGHT TO THE WATER SERVICE OFF. VALUE 3/4" BRG J.W.C. ACCESS LOCATION.

2 Ground Level Notes
1/2" = 1'-0"

1 Basement
1/4" = 1'-0"

 2495 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401 P: 1 (201) 345-1560 F: 1 (201) 345-1561 DESIGN	 2495 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401 P: 1 (201) 345-1560 F: 1 (201) 345-1561 GENERAL CONTRACTOR	 PO Box 716 Eden, Utah 84310 (801) 391-2973 Engineering
<p style="text-align: center;">The Nob's Residence</p> <p style="text-align: center;">6640 E 1100 S - SKI LAKE LOT #3</p> <p style="text-align: center;">Ground Level Plan</p>		
Project number: 2014-023 Date: 04/13/2015 Drawn by: Karl Lundin Checked by: []	No. [] Description [] Date []	Scale: As indicated A2



- GENERAL NOTES**
1. ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR FINISHES TO BE 2x4 STUDS @ 24\"/>
- General Main Floor Notes**
1. 1/2\"/>

The Nob's Residence
 6640 E 1100 S - SKI LAKE LOT #3
 Main Floor Plan

Project number: 2014-023
 Date: 04/13/2015
 Drawn by: Karl Lundin
 Checked by: [Signature]

Scale: As indicated

No.	Description	Date

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2425 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401
 P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561

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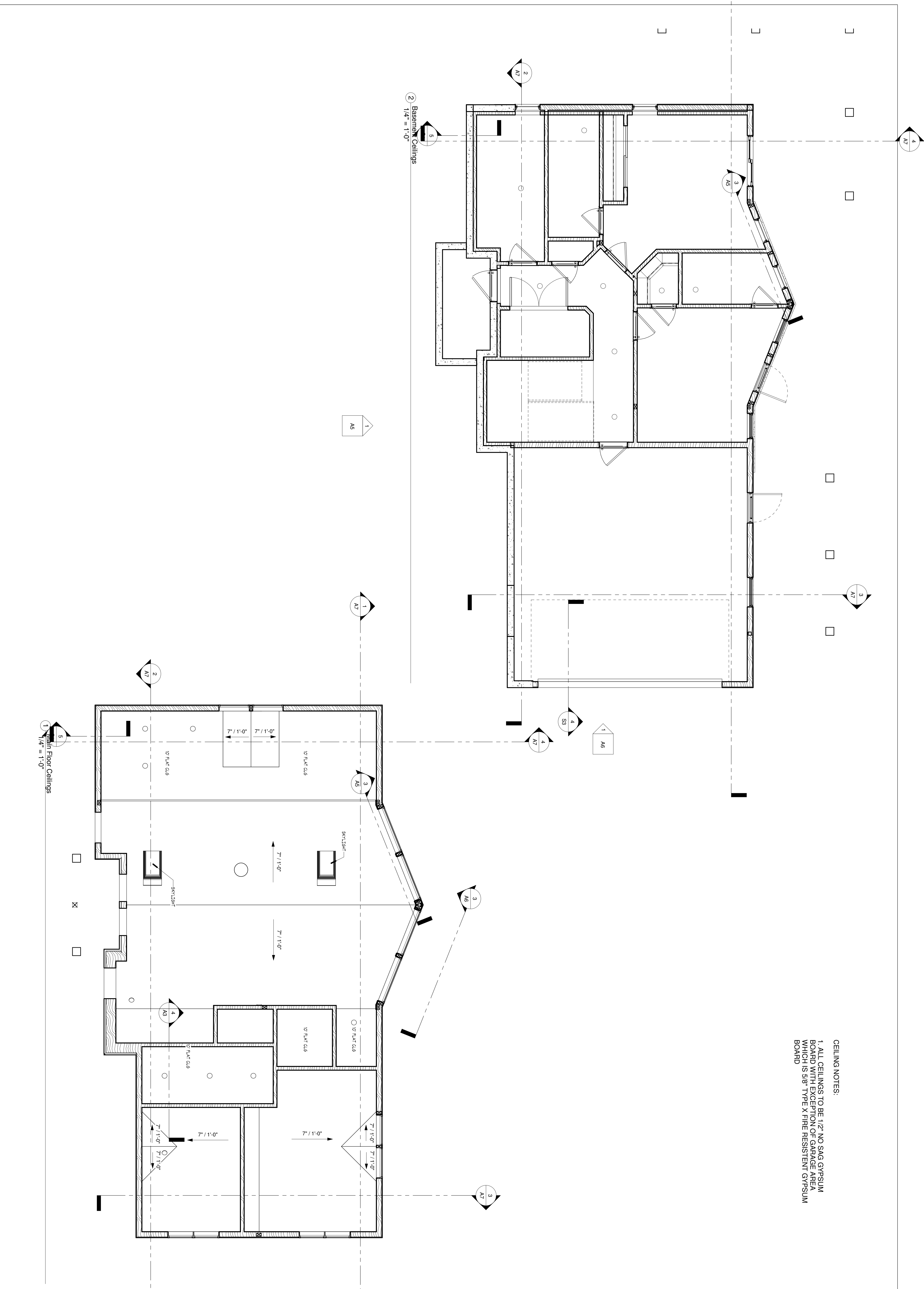
LUNDIN HOMES, LLC

2425 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401
 P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561

GENERAL CONTRACTOR

atitud Engineering

PO Box 716
 Eden, Utah 84310
 (801) 391-2973



CEILING NOTES:
 1. ALL CEILINGS TO BE 1/2" NO SAG GYPSUM BOARD WITH EXCEPTION OF GARAGE AREA WHICH IS 5/8" TYPE X FIRE RESISTANT GYPSUM BOARD

The Nobs Residence
 6640 E 1100 S - SKI LAKE LOT #3
 Reflected Ceiling Plans

Project number: 2014-023
 Date: 04/13/2015
 Drawn by: KARL LUNDIN
 Checked by: []

Scale: 1/4" = 1'-0"
A4

No.	Description	Date
1		
2		
3		
4		
5		

LUNDIN DESIGN GROUP

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 P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561

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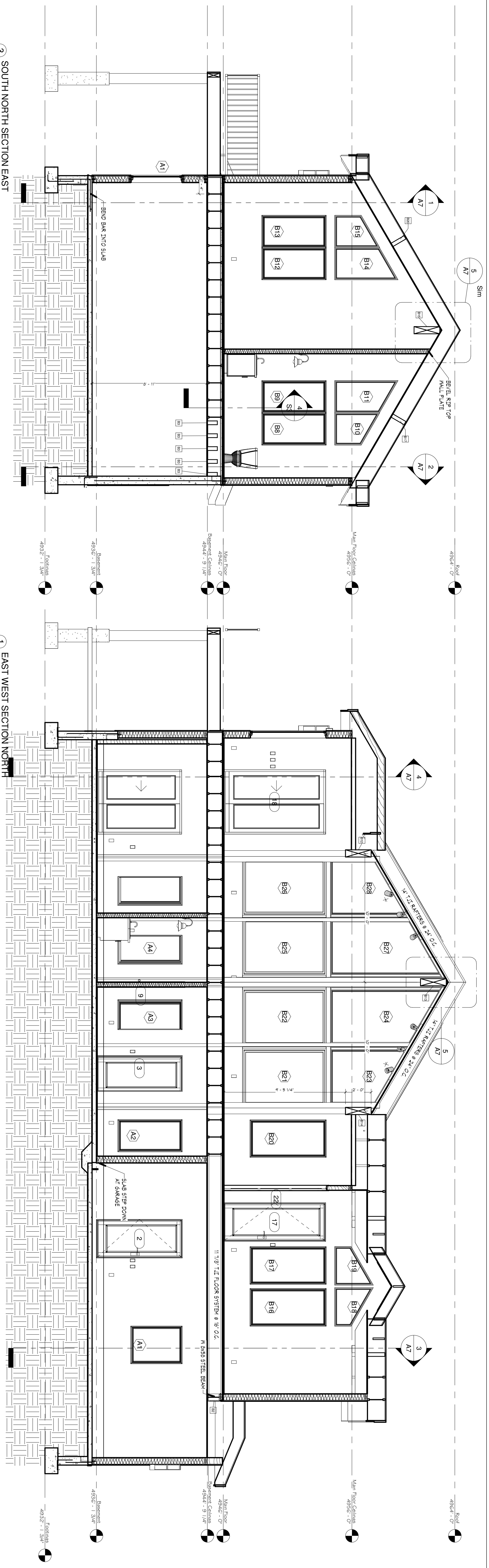
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2495 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401
 P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561

GENERAL CONTRACTOR

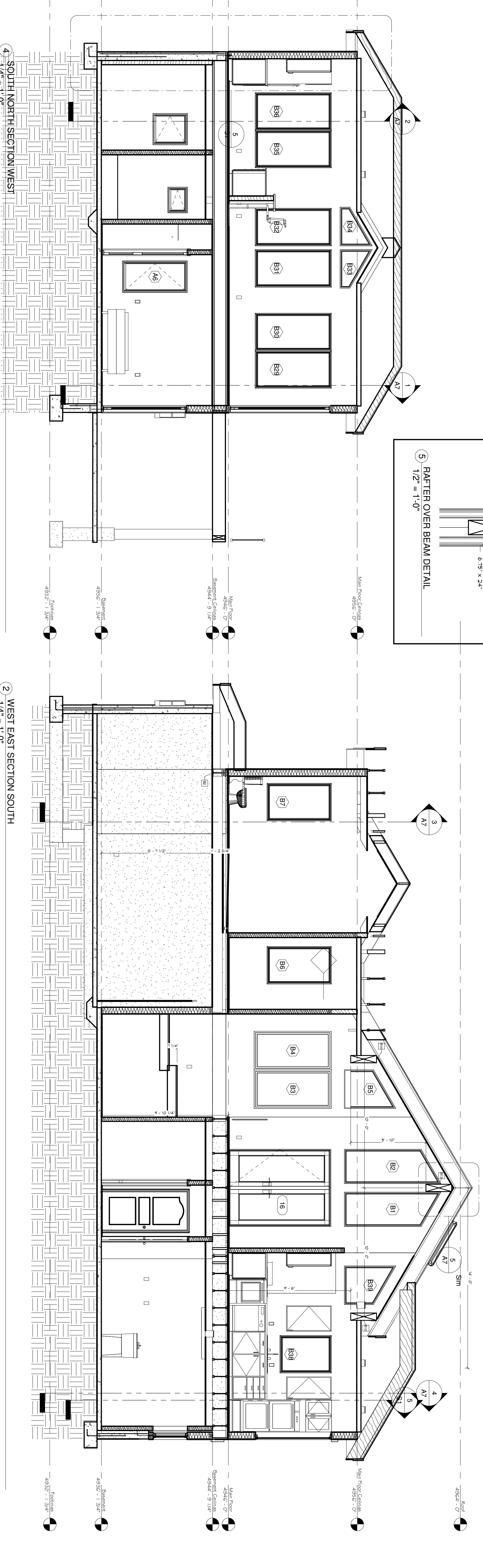
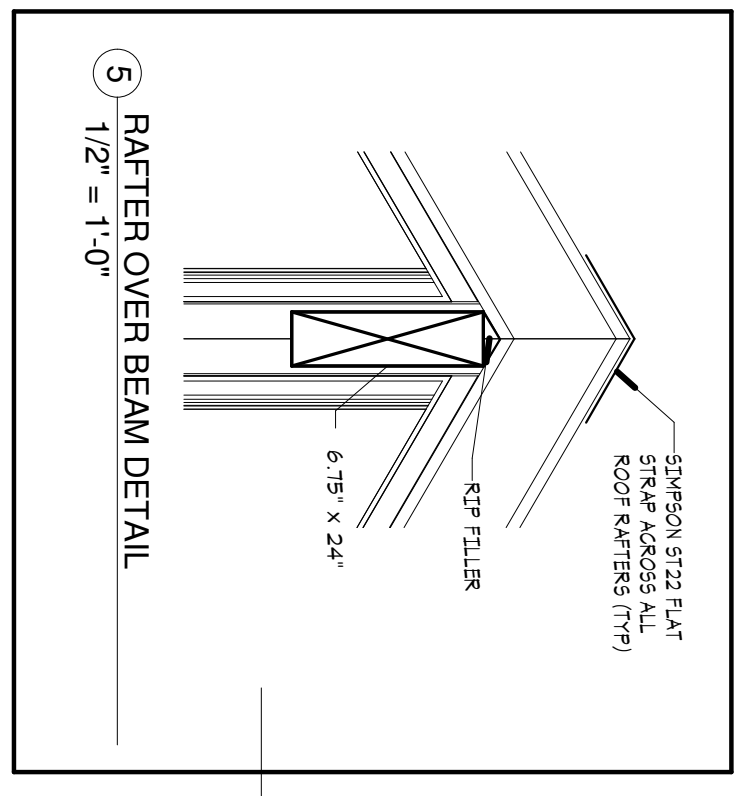
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 (801) 391-2973



3 SOUTH NORTH SECTION EAST
1/4" = 1'-0"

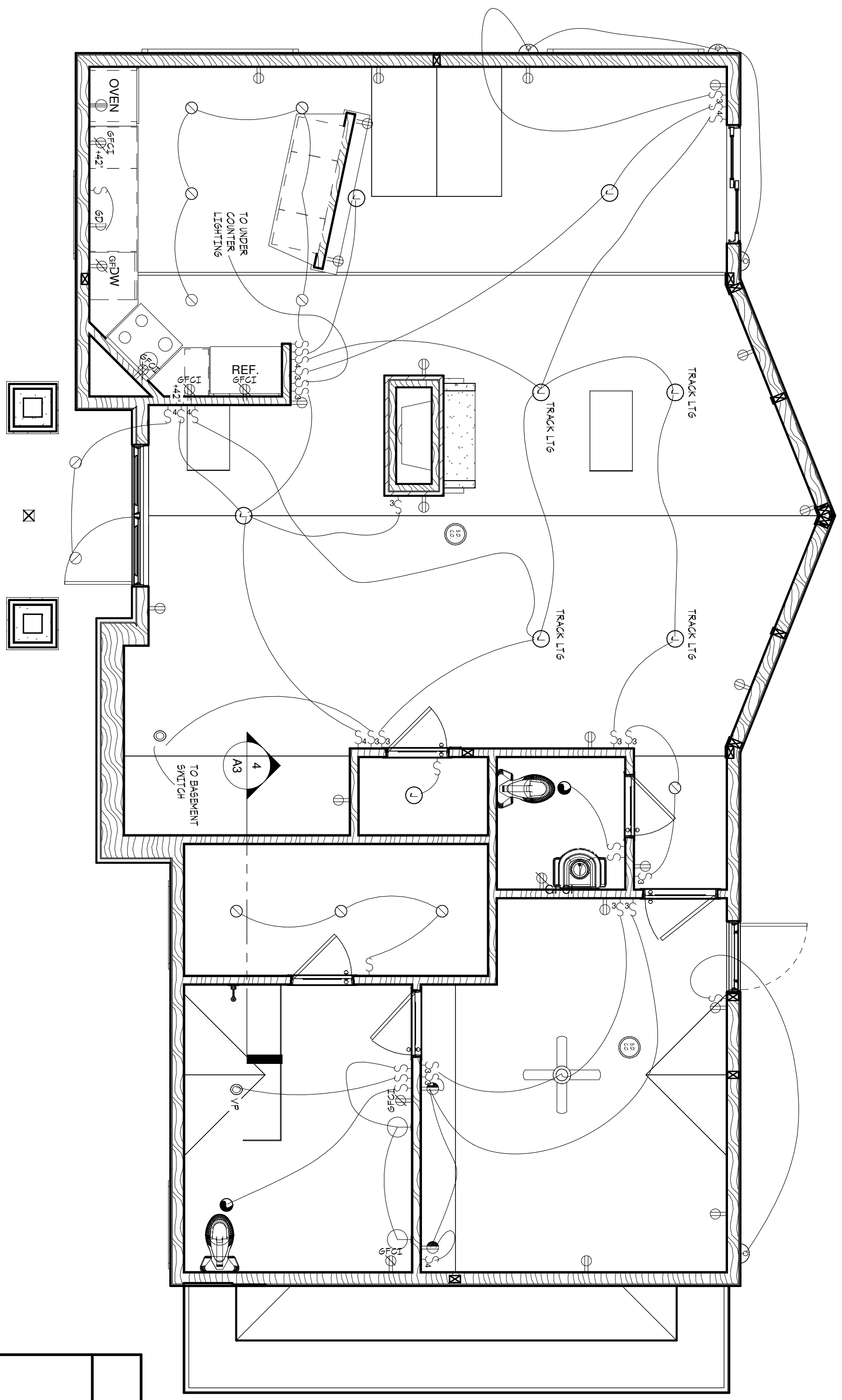
1 EAST WEST SECTION NORTH
1/4" = 1'-0"



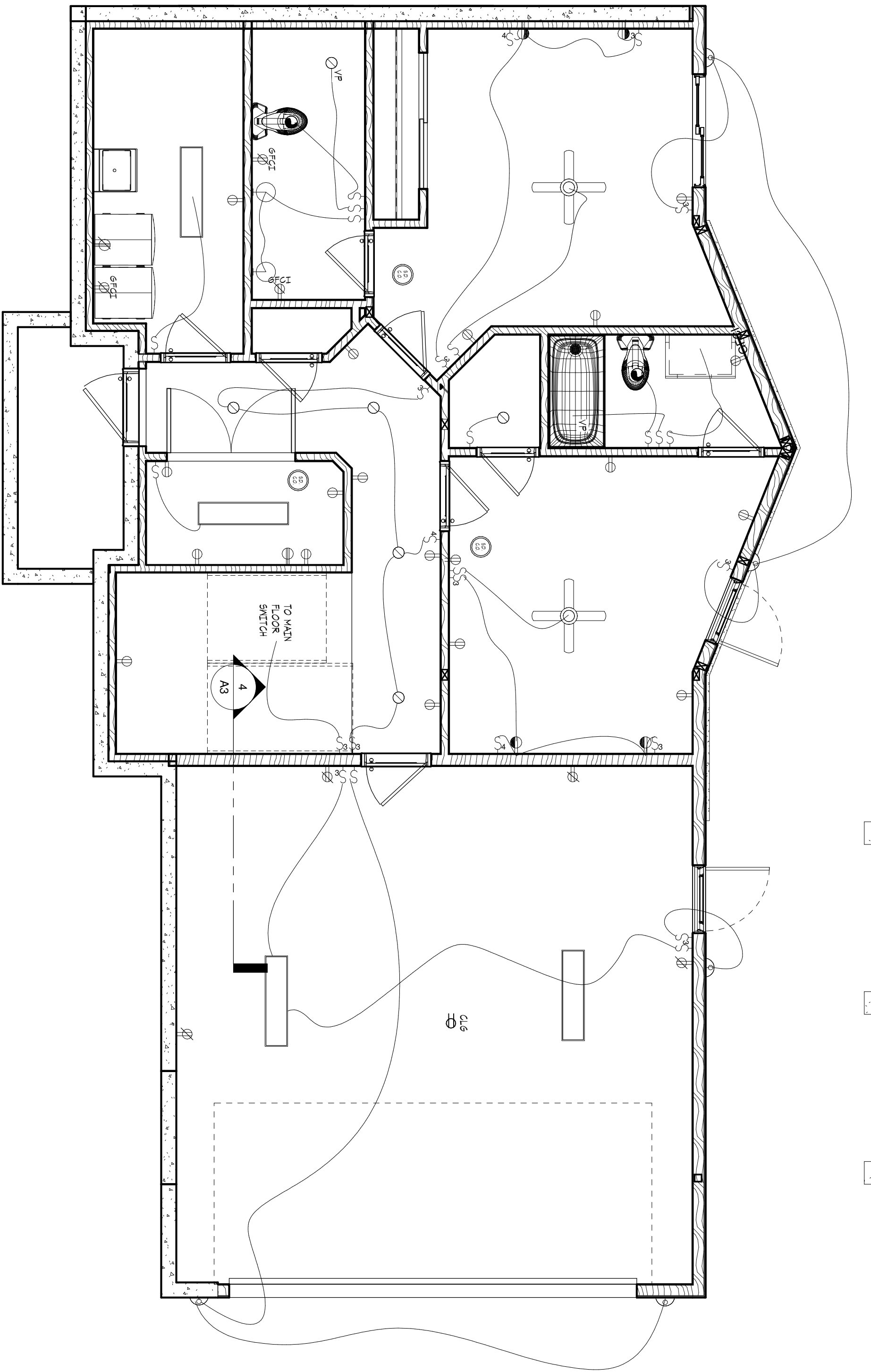
4 SOUTH NORTH SECTION WEST
1/4" = 1'-0"

2 WEST EAST SECTION SOUTH
1/4" = 1'-0"

<p>Project number 2014-023</p> <p>Date 04/13/2015</p> <p>Drawn by KARL LUNDIN</p> <p>Checked by A7</p> <p>Scale As indicated</p>	<p>The Nob's Residence</p> <p>6640 E 1100 S - SKI LAKE LOT #3</p> <p>Building Sections</p>		<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Description	Date																<p>LUNDIN DESIGN GROUP</p> <p>2405 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401 P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561</p> <p>DESIGN</p>	<p>LUNDIN HOMES, LLC</p> <p>2405 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401 P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561</p> <p>GENERAL CONTRACTOR</p>	<p>North Engineering ENGINEERING</p> <p>PO Box 716 Eden, Utah 84310 (801) 391-2973</p>
	No.	Description	Date																					



2 MAIN FLOOR ELECTRICAL
1/4" = 1'-0"



1 BASEMENT ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRICAL SYMBOLS

S	TOGGLE SWITCH
D	DINER SWITCH
⊕	WALL MOUNT LIGHT FIXTURE
⊕	MALL MOUNT LIGHT FIXTURE
⊕	RECESS LIGHT FIXTURE
⊕	RECESS EYE BALL FIXTURE
⊕	LOW VOLTAGE RECESS LIGHT
⊕	IN-MALL RECESS LIGHT
⊕	FLOURESCANT LIGHT
⊕	240V FLOURESCANT LIGHT FIXTURE
⊕	STRIP LIGHT FIXTURE
⊕	EXTERIOR FLOOD LIGHTS
⊕	OUTLET
⊕	220V OUTLET
⊕	SWITCHED OUTLET
⊕	OUTLET AT 42" A.F.F.
⊕	GROUND FAULT OUTLET
⊕	TELEVISION OUTLET
⊕	PHONE OUTLET
⊕	FAX OUTLET
⊕	JUNCTION BOX
⊕	EXHAUST FAN
⊕	SPEAKER
⊕	SECURITY PANEL
⊕	THERMOSTAT
⊕	SMOKE & CARBON MONOXIDE DETECTOR
⊕	VAPOR PROOF
⊕	WATER PROOF
⊕	FLOOR MOUNTED ELECTRICAL DISCONNECT
⊕	ELECTRICAL PANEL
⊕	CEILING FAN
⊕	CEILING FAN W/ LIGHT

3 ELECTRICAL SYMBOLS 2
3/16" = 1'-0"

The Nobs Residence
6640 E 1100 S - SKI LAKE LOT #3
Electrical Plans

Project number: 2014-023
Date: 04/13/2015
Drawn by: KARL LUNDIN
Checked by: []

Scale: As indicated
A8

No.	Description	Date

LUNDIN DESIGN GROUP

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P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561
DESIGN

LUNDIN HOMES, LLC

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P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561
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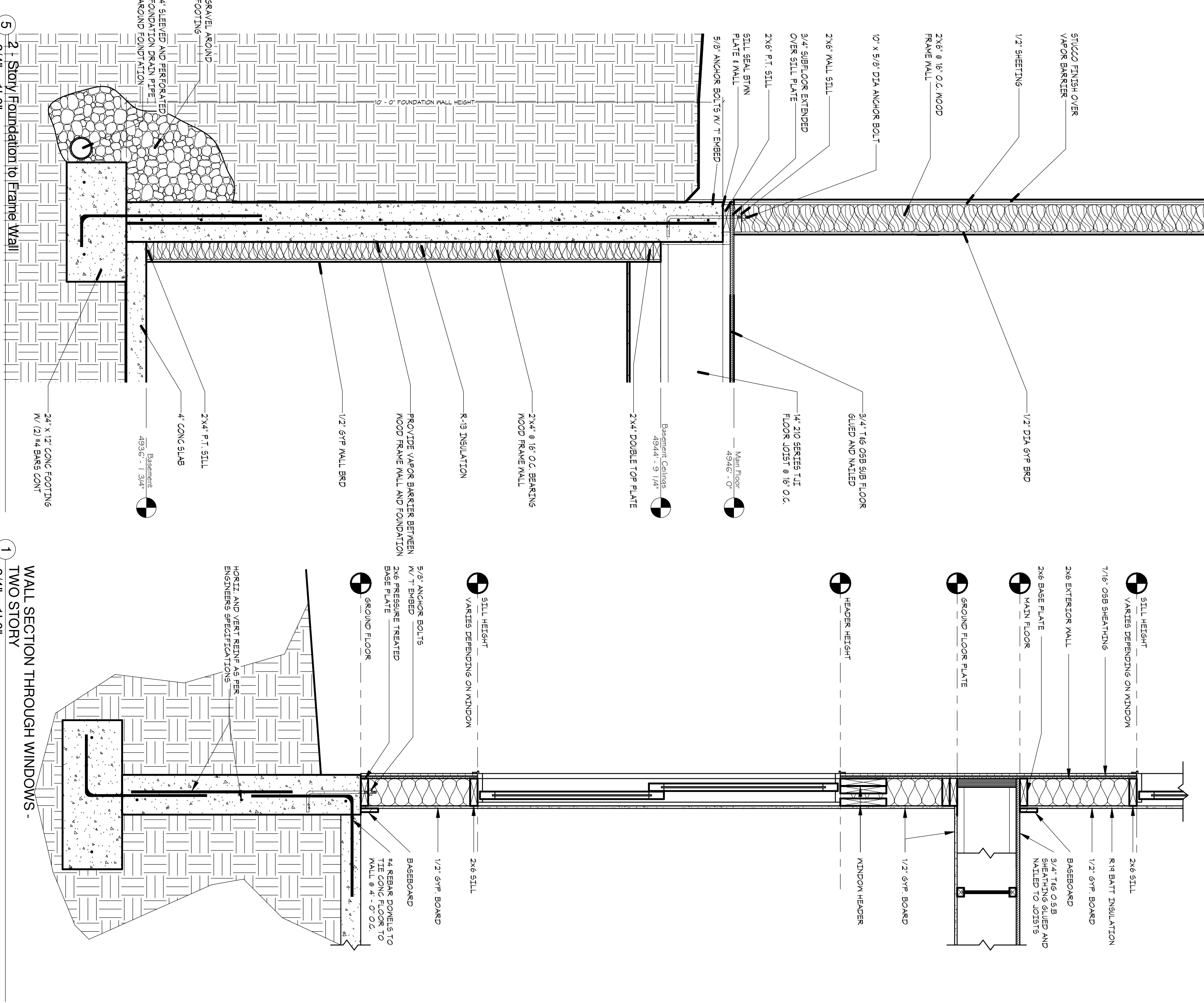
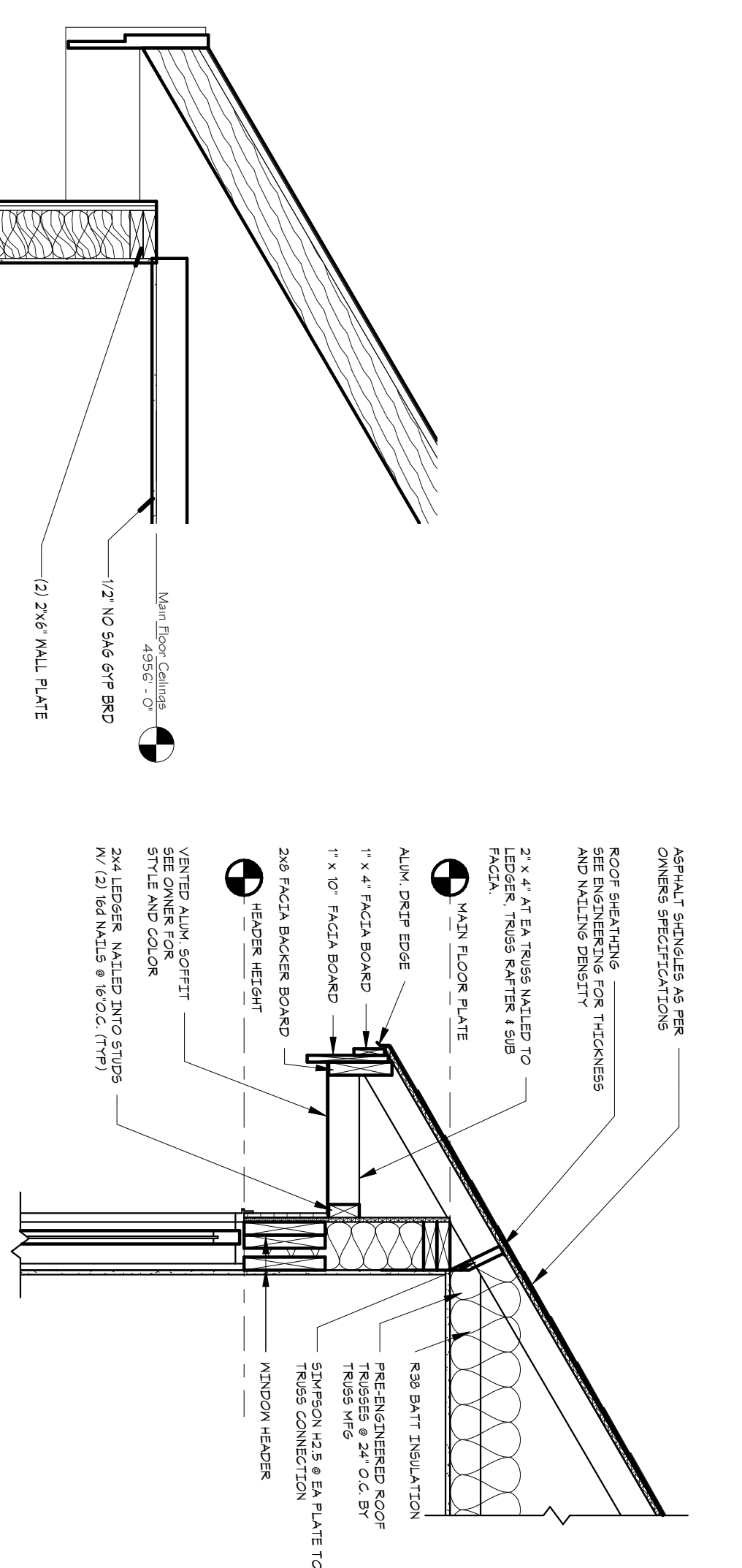
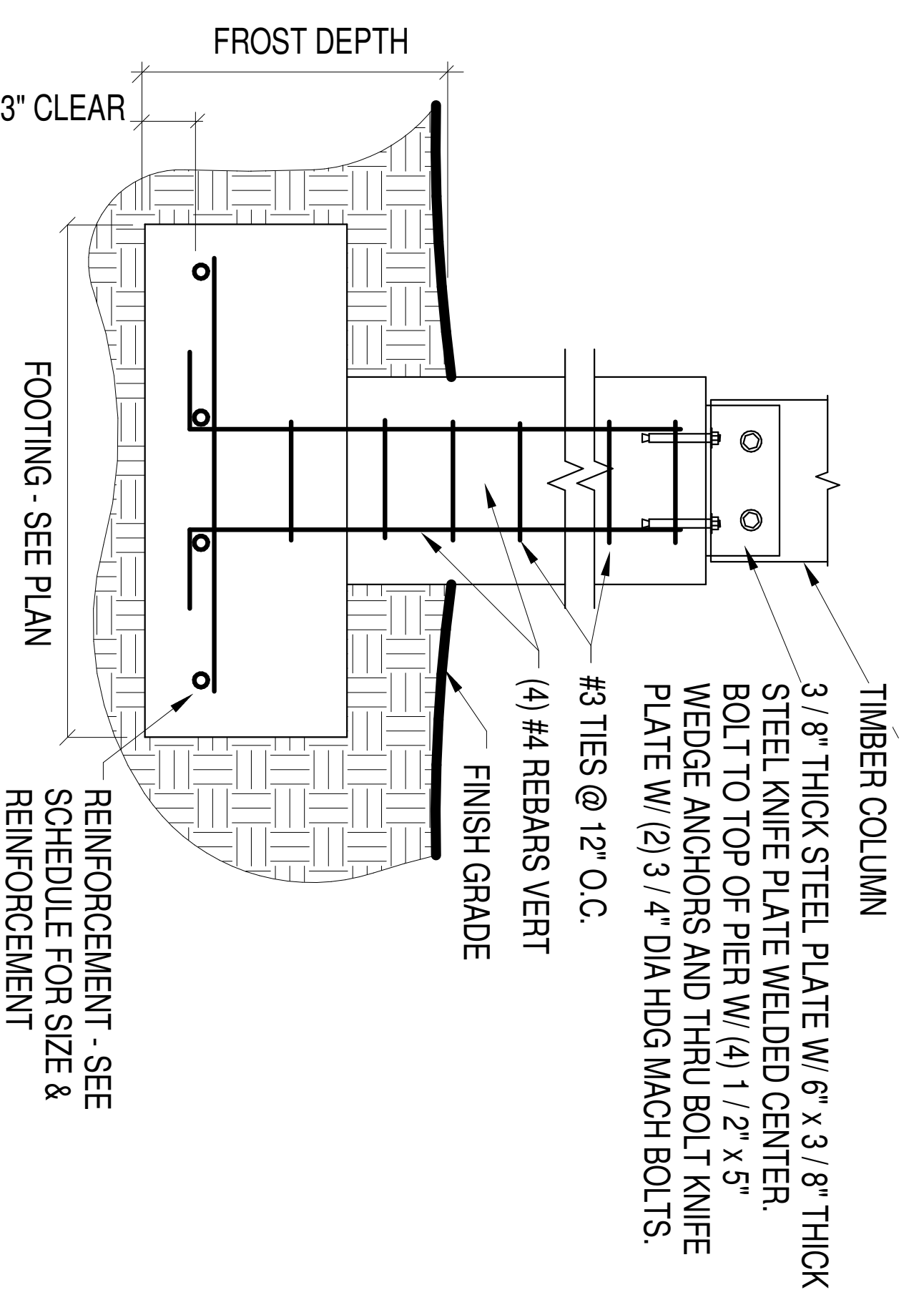
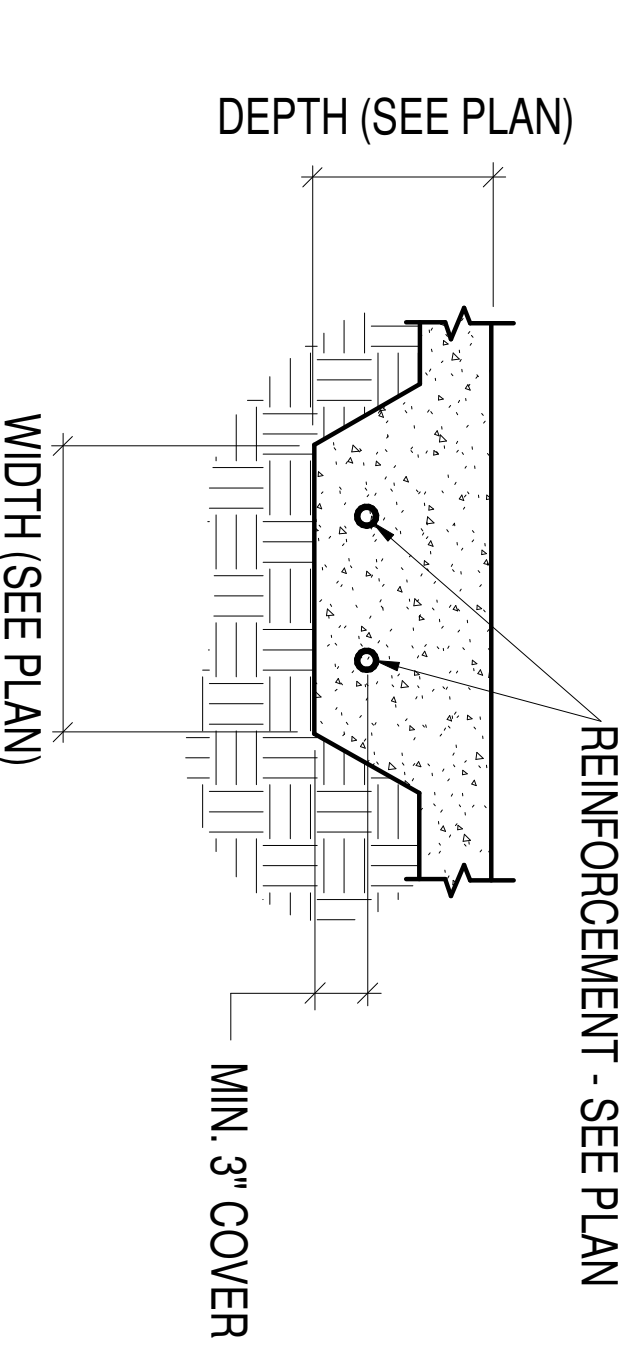
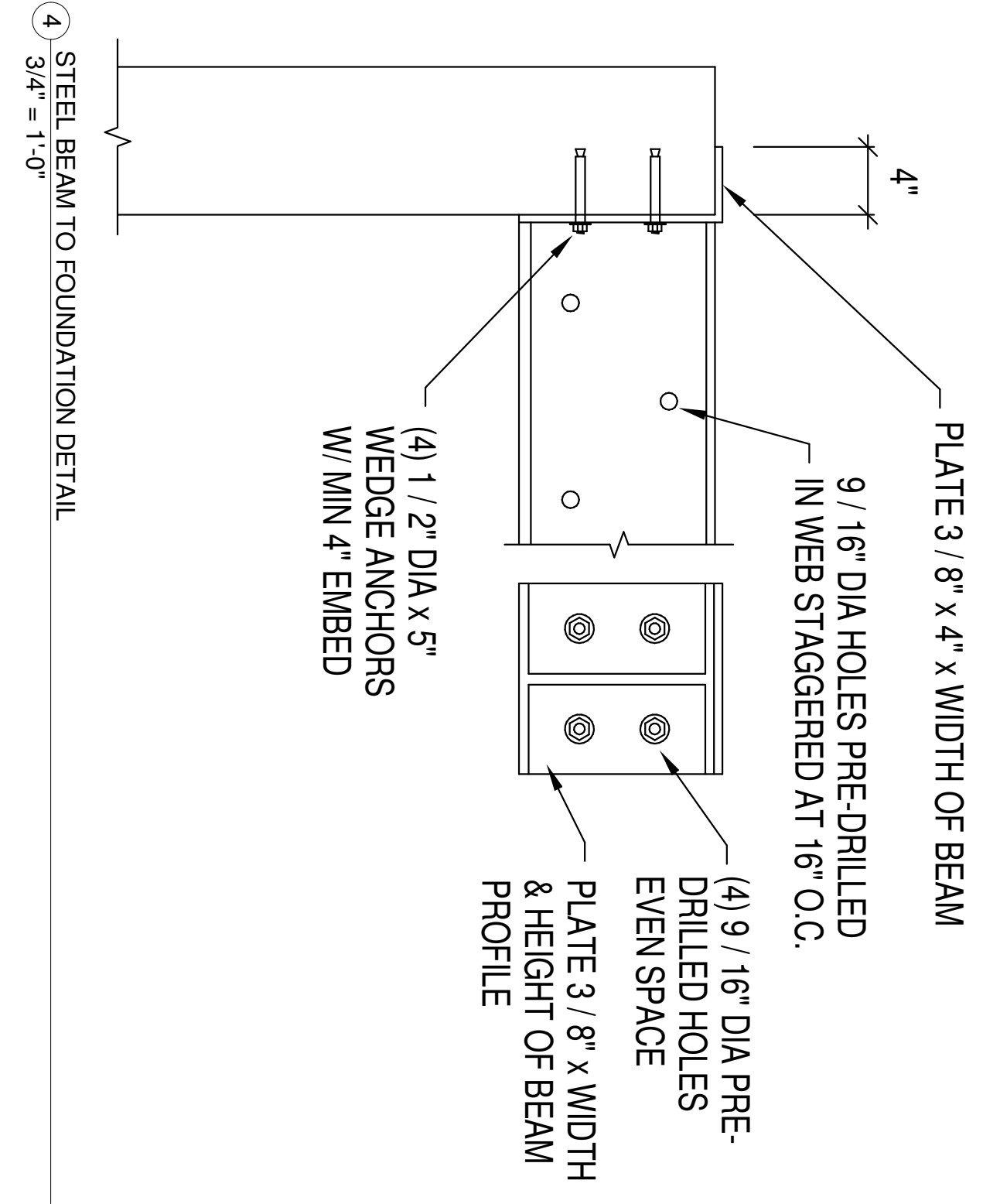
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PO Box 716
Eden, Utah 84310
(801) 391-2973

- LUMBER NOTES:**
1. LUMBER GRADES SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - GLULAM BEAMS 24F V 17 DF
 - JOISTS DOUBLE-FIR/LAKED 12
 - ROOFING DOUBLE-FIR/LAKED 12
 - STUDS DOUBLE-FIR/LAKED 12
 - STUDS NOMINATING WALLS DOUBLE-FIR/LAKED 12
 - STRIPS DOUBLE-FIR/LAKED 12
 - STRIP JOISTS DOUBLE-FIR/LAKED 12
 - TRIM AS PER MANUFACTURER
 - TRIM AS PER MANUFACTURER
 - TRIM AS PER MANUFACTURER
 2. WHERE VOT NOTED OTHERWISE, CONCRETE SHALL BE 4000 PSI CONCRETE. REINFORCEMENT SHALL BE AS NOTED OR PER SPECIFICATIONS. ALL STEEL AND WOOD SHALL BE TREATED TO PREVENT WOOD DESTROYING INSECTS.
 3. ALL DIMENSIONS SHALL BE AS NOTED UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE AS NOTED UNLESS OTHERWISE NOTED.
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 16. ALL DIMENSIONS SHALL BE AS NOTED UNLESS OTHERWISE NOTED.

MINIMUM NAILING SCHEDULE

CONNECTION	NAILING
1. JOIST TO SILL GIRDER, TOENAIL	3 - 8d
2. BRIDGING TO JOIST, TOENAIL EA END	2 - 8d
3. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d AT 16" O.C.
4. TOP PLATE TO STUD, END NAIL	2 - 16d
5. STUD TO SOLE PLATE	4 - 8d TOENAIL, 2 - 16d END NAIL
6. DOUBLE STUDS, FACE NAIL	16d AT 24" O.C.
7. DOUBLE TOP PLATES, FACE NAIL	16d AT 16" O.C.
8. TOP PLATES, LAP AND INTERSECTIONS FACE NAIL	2 - 10d
9. CONTINUOUS HEADERS TWO PIECES ALONG EA EDGE	16d AT 24" O.C.
10. CEILING JOISTS TO PLATE TOENAIL	16d AT 16" O.C.
11. CONTINUOUS HEADERS TO STUD TOENAIL	2 - 10d
12. CEILING JOISTS, LAP OVER PARTITIONS FACE NAIL	4 - 8d
13. CEILING JOISTS TO PARALLEL RAFTERS FACE NAIL	3 - 16d
14. RAFTER TO PLATE TOENAIL	3 - 8d
15. BUILD UP CORNER STUDS	16d AT 24" O.C.
16. BUILD UP GIRDERS AND BEAMS	20d AT 32" O.C. STAGGERED, 2 - 20d AT ENDS AND SPLICES



PO Box 716
Eden, Utah 84310
(801) 391-2973

atitud
Engineering

LUNDIN HOMES, LLC

2495 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401
P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561

GENERAL CONTRACTOR

LUNDIN DESIGN GROUP

2495 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401
P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561

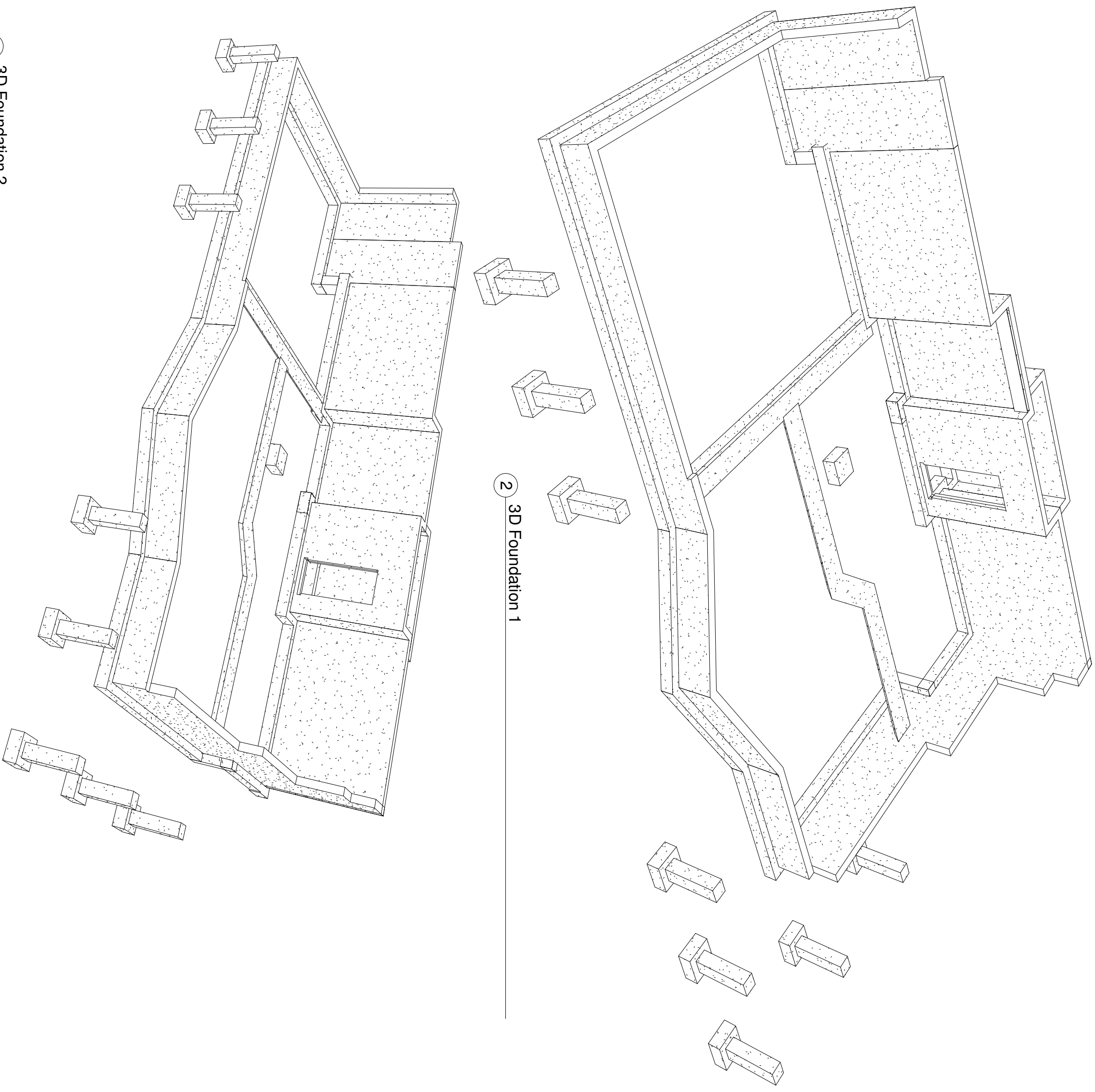
DESIGN

No.	Description	Date

The Nobs Residence
6640 E 1100 S - SKI LAKE LOT #3

Notes, Sections & Details

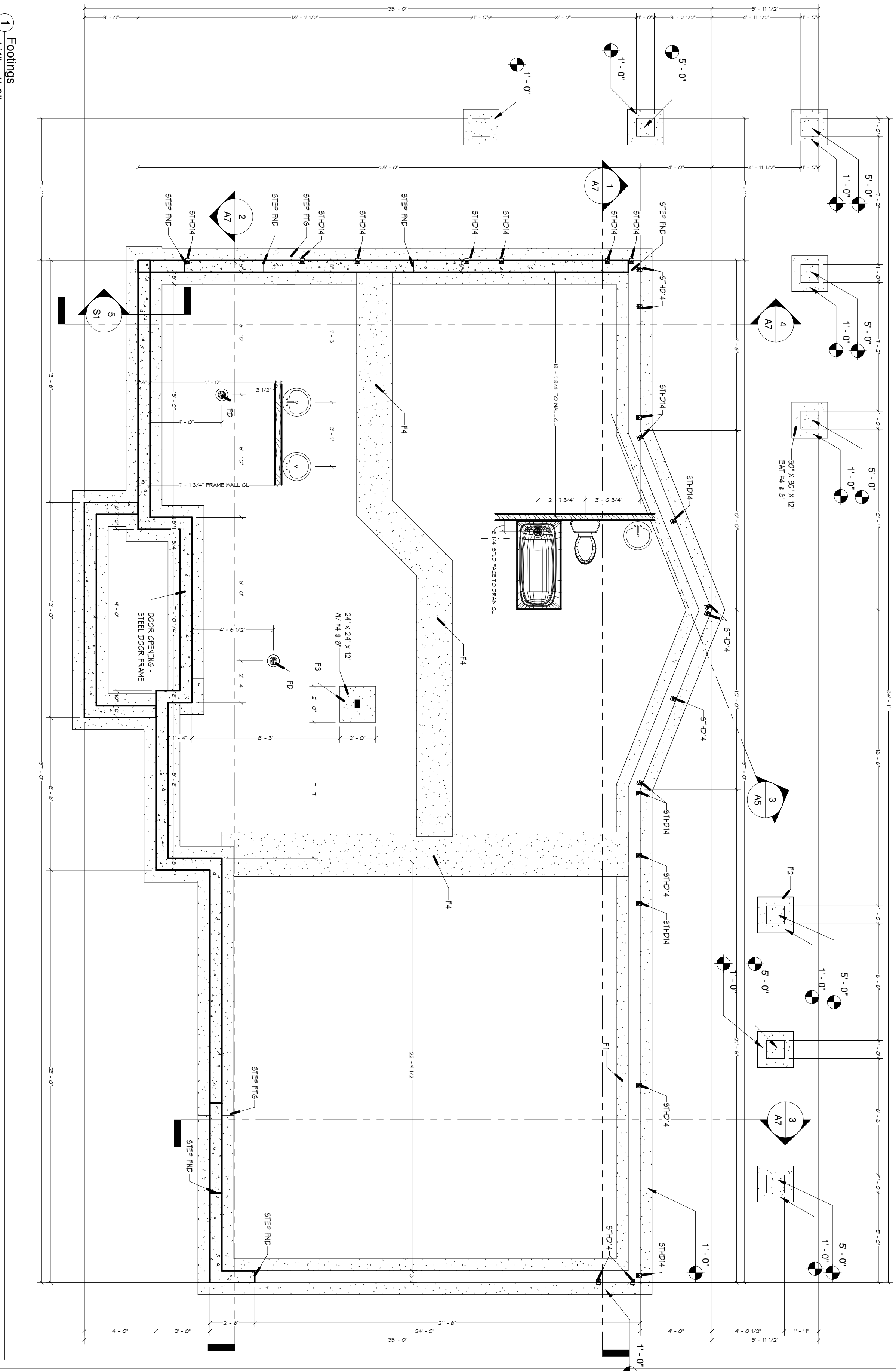
Project number: 2014-023
Date: 04/13/2015
Author: [Blank]
Checked by: [Blank]
Scale: As indicated



CONCRETE WALL SCHEDULE

WALL HEIGHT	TOP EDGE SUPPORT	MINIMUM THICKNESS	REINFORCING		STEEL AT OPENINGS	REMARKS
			VERTICAL	HORIZONTAL		
2'-0"	NONE	8"	#4 AT 18" O.C.	2 - #4		#4 FOOTING DOWELS AT 32" O.C. EXTENDING 18" INTO FOUNDATION WALL. DO NOT BACKFILL ANY FOUNDATION WALLS UNTIL FLOOR FRAMING HAS BEEN INSTALLED BLOCKED AND SHEATHED. ALT. BOWING OR TILTING FOUNDATION WALL.
4'-0"		8"	#4 AT 18" O.C.	4 - #4	ABOVE: 2 - #4 BARS	
6'-0"		8"	#4 AT 18" O.C.	5 - #4	EA SIDE: 1 - #4 BAR	
8'-0"		8"	#4 AT 18" O.C.	6 - #4		
9'-0"	FLOOR OR ROOF DIAPHRAGM	8"	#4 AT 16" O.C.	18 - #4	BELOW: 1 - #4 BAR	
10'-0"		8"	#4 AT 12" O.C.	#4 AT 12" O.C.		
12'-0"		10"	#5 AT 8" O.C.	#4 AT 12" O.C.		

- NOTES:**
1. VERTICAL STEEL TO BE PLACED IN CENTER OF WALL AND EXTEND TO WITHIN THREE INCHES OF THE TOP OF THE WALL. DOWELS OF #4 BARS TO MATCH VERTICAL STEEL PLACEMENT SHALL BE PROVIDED IN THE FOOTING EXTENDING 24" INTO THE FOUNDATION WALL.
 2. ONE HORIZONTAL BAR SHALL BE LOCATED IN THE TOP 4" ONE BAR IN THE BOTTOM 4" AND THE OTHER BARS EQUALLY SPACED. CORNER REINFORCING SHALL BE PROVIDED SO AS TO LAP 24".
 3. BARS SHALL BE PLACED WITHIN 2" OF OPENINGS AND EXTEND 24" BEYOND THE EDGE OF THE OPENING. VERTICAL BARS MAY TERMINATE 3" FROM THE TOP OF THE CONCRETE.
 4. PLACE 1/2" X 10" ANCHOR BOLTS AT TOP OF ALL WALLS TO RECEIVE SILL PLATES. USE 3"x3"x1/4" WASHERS ON ALL ANCHOR BOLTS. ANCHOR BOLTS SHALL BE PLACED AT 32" O.C. ON WALLS DESIGNATED AS SW-1, SW-2 AND SW-3. ANCHOR BOLTS SHALL BE PLACED AT 16" O.C. ON WALLS DESIGNATED AS SW-4. PLATES ARE TO HAVE A MINIMUM OF (2) ANCHOR BOLTS. SPACE ANCHOR BOLTS BETWEEN 4" AND 12" FROM FOUNDATION WALL CORNERS AND PLATE ENDS.
 5. USE 1/2" LONG ANCHOR BOLTS FOR DOUBLE SILL PLATES AND 1/2" LONG ANCHOR BOLTS FOR TRIPLE SILL PLATES.
 6. UNTEL DEPTH SHALL BE 2" FOR EACH FOOT OF OPENING WIDTH. MIN. 6".
 7. 24" X 12" CONC. FOOTING WITH (2) #4 BARS BELOW CONC. WALLS U.N.O.
 8. 18" X 10" CONC. FT.S. WITH (2) #4 BARS BELOW INTERIOR BEARING WALLS U.N.O.
 9. ALL FOOTINGS SHALL BEAR ON NATIVE SOIL OR ENGINEER FILL COMPACTED TO 95% IN 8" MAX LIFTS.
 10. ANY UNCONTROLLED FILL SHALL BE REMOVED AND REPLACED WITH GRANULAR STRUCTURAL FILL MATERIAL COMPACTED IN 8" LIFTS.
 11. SEE ARCHITECTURAL PLANS FOR FOOTING, FOUNDATION STEPDOWNS, AND WALL HEIGHTS.



1 Footings
1/4" = 1'-0"

Project number	2014-023
Date	04/13/2015
Drawn by	KARL LUNDIN
Checked by	Checker

The Nobs Residence
6640 E 1100 S - SKI LAKE LOT #3
Foundation Plan

Scale: As indicated

No.	Description	Date

LUNDIN DESIGN GROUP

2405 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401
P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561

DESIGN

LUNDIN HOMES, LLC

2405 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401
P: 1 (201) 345 - 1560 F: 1 (201) 345 - 1561

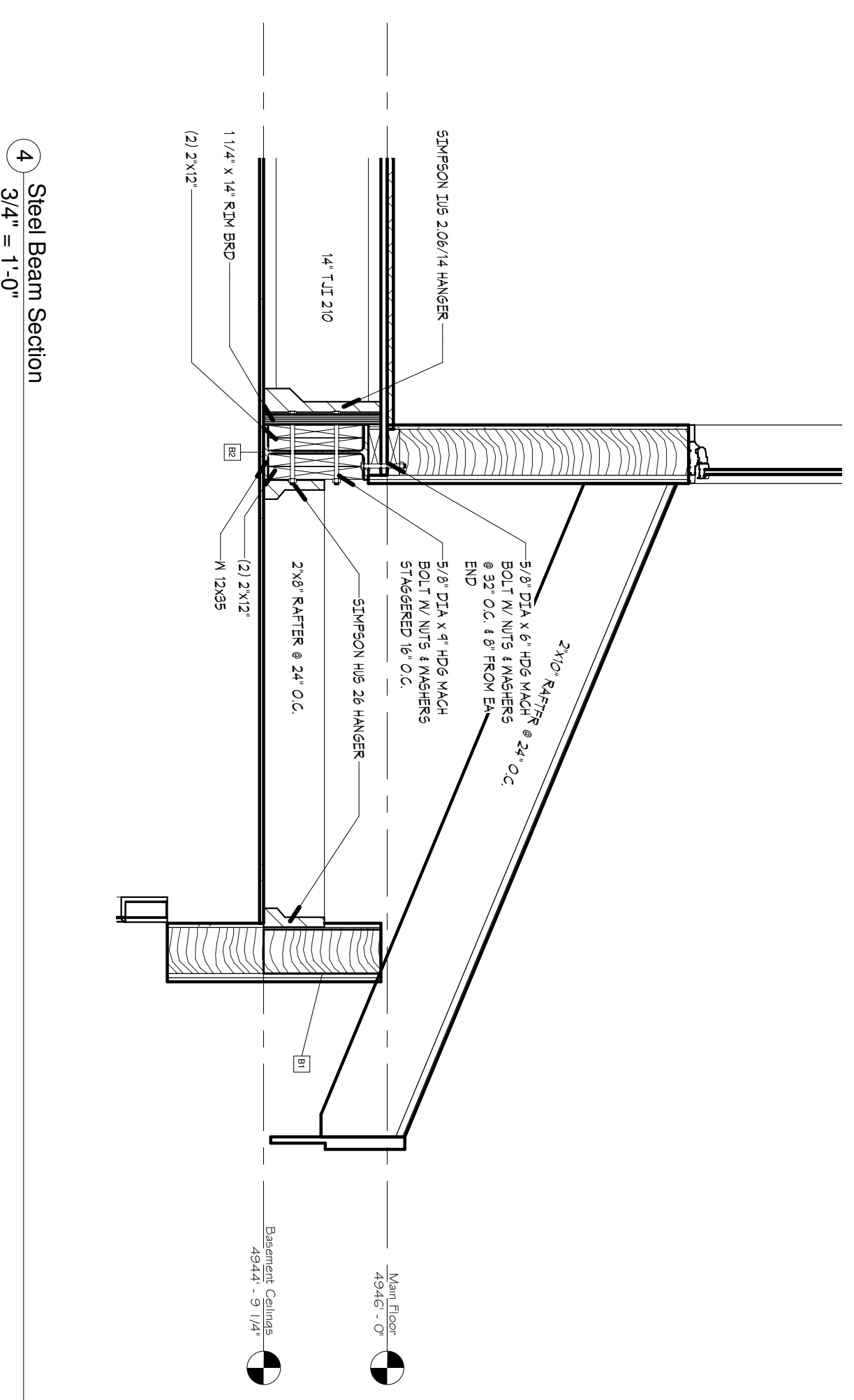
GENERAL CONTRACTOR

atitud
Engineering

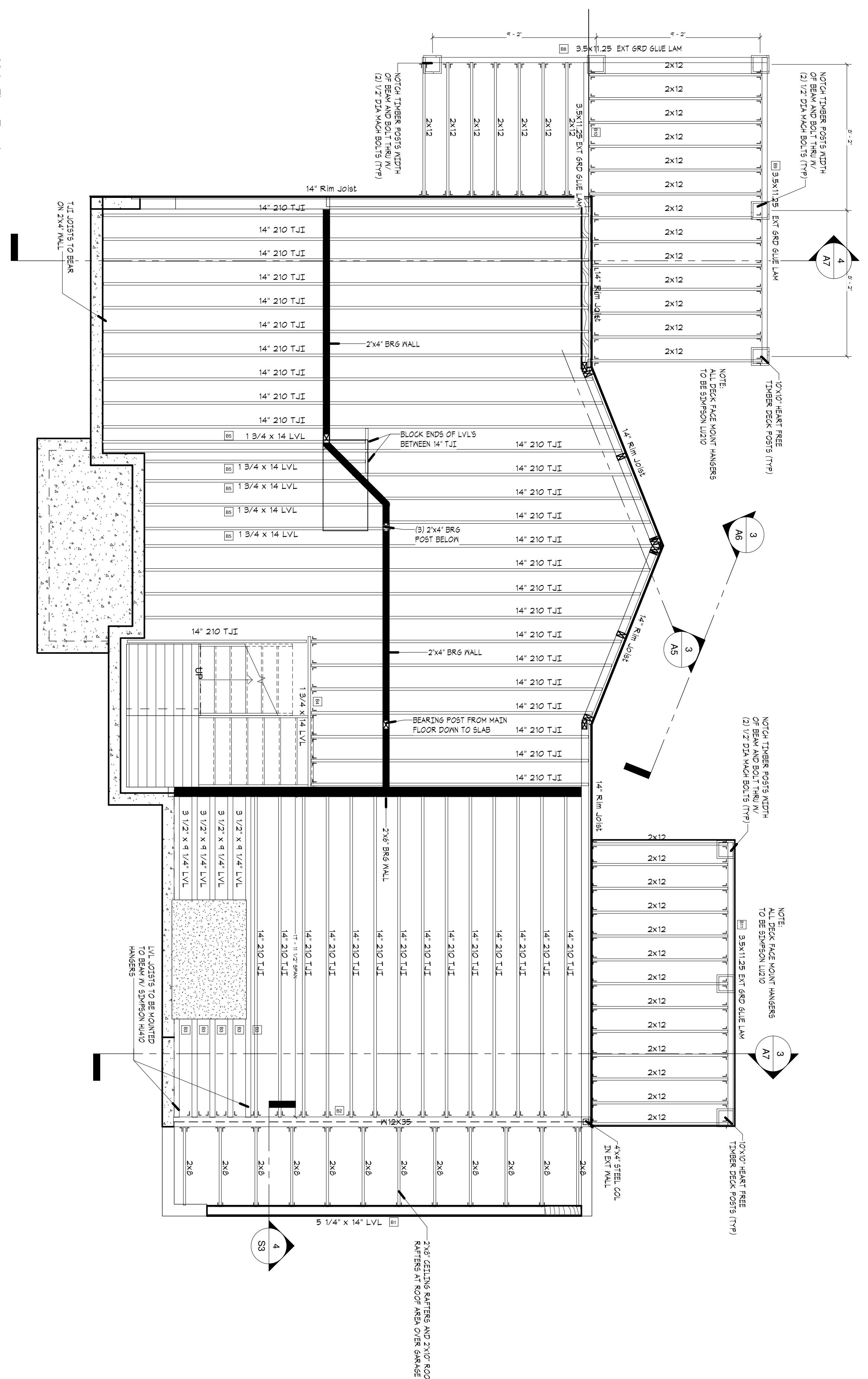
PO Box 716
Eden, Utah 84310
(801) 391-2973

- CONCRETE NOTES:**
1. ALL COLUMN REINFORCING WALLS AND ALL EXTERIOR PLUMBING CORERS, GUTTERS, ETC. SHALL BE NORMAL WEIGHT MATERIALS. REINFORCING WALLS SHALL BE NO GREATER THAN 16" AND SLUMP SHALL BE 9" OR LESS. NORMAL WEIGHT CONCRETE SHALL BE 3750 PSI PER CIBC21 VAND.
 2. ALL REINFORCING SLABS AND BEAMS SHALL BE NORMAL WEIGHT CONCRETE WITH A COMPRESSIVE STRENGTH SHALL TO AT LEAST 3000 PSI. PER SQUARE INCH WITHIN 28 DAYS AFTER POURING. THE WATER/CEMENT RATIO SHALL BE NO GREATER THAN 0.44 AND SLUMP SHALL BE 4" OR LESS. NORMAL WEIGHT CONCRETE SHALL BE 625 PSI PER CIBC21 VAND.
 3. ALL FOOTINGS, FOUNDATIONS, AND INTERIOR SLABS ON GRADE SHALL BE NORMAL WEIGHT CONCRETE WITH A COMPRESSIVE STRENGTH SHALL TO AT LEAST 3000 PSI. PER SQUARE INCH WITHIN 28 DAYS AFTER POURING. THE WATER/CEMENT RATIO SHALL BE NO GREATER THAN 0.50 AND SLUMP SHALL BE 4" OR LESS. NORMAL WEIGHT CONCRETE SHALL BE 775 PSI PER CIBC21 VAND.
 4. UNLESS OTHERWISE NOTED, ALL FOUNDATION WALL VERTICAL JOINTS SHALL BE KEPT WITH A KEY 1/4" DEEP X 1/2" WIDE. REINFORCING SHALL BE PERFORMED 72 HOURS BEFORE CASTING. REINFORCING SHALL BE CONTINUOUS THROUGH THE JOINTS. ALL REINFORCING SHALL BE PERFORMED AS FOLLOWS: 2" BEAMS AND COLUMNS, 1" IN FOOTINGS, WALLS AND REINFORCING SLABS, 2" IN INTERIOR WALLS, AND 3" ABOVE BOTTOM AND SIDES OF FOOTINGS.
 5. ALL OPENINGS IN CONCRETE WALLS SHALL BE REINFORCED WITH (2) #5 BARS EXTENDING 2'-0" MIN. BEYOND THE EDGE OF THE OPENING IN EACH FACE OF OPENING.
 6. ALL CONCRETE WORK SHALL BE PLACED, CURED, STRIPPED, AND PROTECTED AS DIRECTED BY THE SPECIFICATIONS AND A/C2 STANDARDS AND PRACTICES.
 7. BEFORE CONCRETE IS FORMED CHECK WITH ALL TRADES TO DETERMINE PROPER PLACEMENT OF ALL OPENINGS, SIZES, TYPES, CONDITIONS, BOLTS, INSERTS, ETC. RELATIVE TO WORK.
 8. CONTRACTOR IS RESPONSIBLE FOR ALL FORMWORK AND FORMWORK.
 9. REFER TO ARCHITECTURAL DRAWINGS FOR HOLES, GROOVES, ORNAMENTS, CUTS OR GROOVES, REQUIRED TO BE FINISHED IN CONCRETE AND FLOOR FINISHES AND SLAB DEPRESSIONS.
 10. REINFORCING BARS SHALL BE CLEAN AND FREE FROM OIL, GREASE, RUST, AND OTHER CONTAMINANTS.
 11. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND SHALL HAVE A MINIMUM STEEL LAP OF 6" IN ALL DIRECTIONS.
 12. ALL REINFORCING SHALL BE DETAILLED AND PLACED IN ACCORDANCE WITH THE CURRENT A/C2 DETAILS SHOWN.
 13. FOR STEPS IN FOUNDATION GREATER THAN 2 FEET, MAKE CORNER WITH (2) #4 BARS EXTENDING 16" EACH DIRECTION.
 14. STRUCTURAL CONCRETE HAS BEEN DESIGNATED AT 2800 PSI PER SQUARE INCH AND SPECIFIED AT A MINIMUM STRENGTH CONCRETE AS STATED IN THE CONCRETE NOTES. NO SPECIAL DIRECTIONS ARE REQUIRED AS PER SECTION 103.4.4.

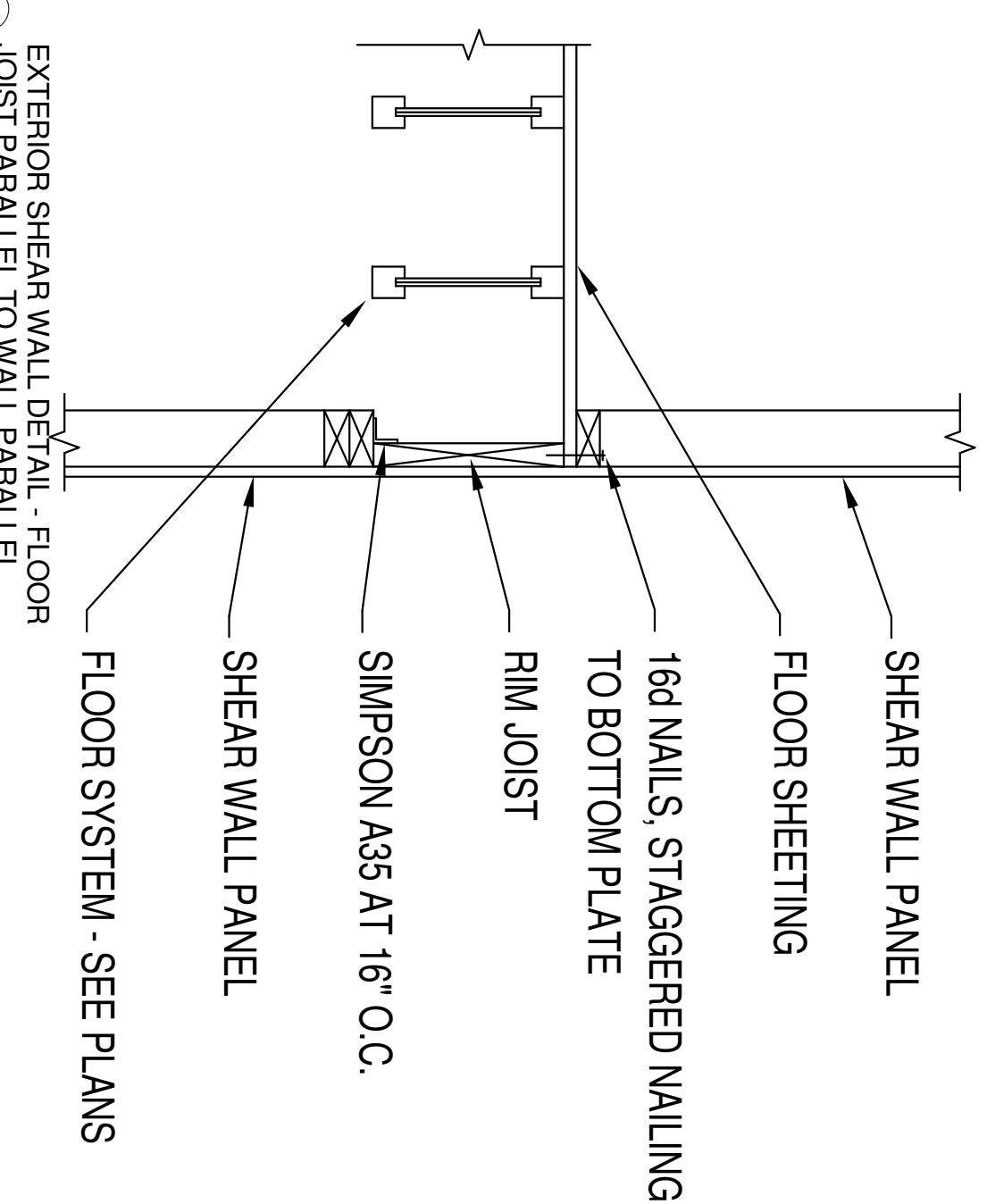
Mark	Length	Type	Family	Cut Length	Comments
B1	18'-11"	5 1/4" x 14" LVL	LVL-Laminated Veneer Lumber	18' - 10 29/32"	
B2	23'-6"	W12X35	W-Wide Flange	23' - 3 25/32"	
B3	18'-0"	3 1/2" x 9 1/4" LVL	LVL-Laminated Veneer Lumber	18' - 4 5/16"	
B3	18'-0"	3 1/2" x 9 1/4" LVL	LVL-Laminated Veneer Lumber	18' - 3 15/16"	
B3	18'-0"	3 1/2" x 9 1/4" LVL	LVL-Laminated Veneer Lumber	18' - 4 3/16"	
B3	18'-0"	3 1/2" x 9 1/4" LVL	LVL-Laminated Veneer Lumber	18' - 3 29/32"	
B3	18'-0"	3 1/2" x 9 1/4" LVL	LVL-Laminated Veneer Lumber	18' - 2 15/32"	
B4	8'-5"	1 3/4" x 14 LVL	LVL-Laminated Veneer Lumber	8' - 11 13/32"	
B5	13'-6"	1 3/4" x 14 LVL	LVL-Laminated Veneer Lumber	13' - 8 17/32"	
B5	14'-8 5/8"	1 3/4" x 14 LVL	LVL-Laminated Veneer Lumber	14' - 8 17/16"	
B5	13'-6"	1 3/4" x 14 LVL	LVL-Laminated Veneer Lumber	13' - 8 17/32"	
B5	12'-2 11/16"	1 3/4" x 14 LVL	LVL-Laminated Veneer Lumber	12' - 6 3/32"	
B5	12'-0"	1 3/4" x 14 LVL	LVL-Laminated Veneer Lumber	12' - 4 1/8"	
B8	19'-3"	3.5X11.25	Glulam-Western Species	19' - 3 9/16"	
B9	16'-5 1/2"	3.5X11.25	Glulam-Western Species	17' - 1 7/16"	
B10	7'-9 1/4"	3.5X11.25	Glulam-Western Species	7' - 7 5/16"	
B11	15'-7"	3.5X11.25	Glulam-Western Species	15' - 9 1/2"	
B12	32'-9"	6.75" x 24"	Glulam-Western Species	32' - 9"	
B13	38'-11"	6.75" x 24"	Glulam-Western Species	38' - 11"	
B14	32'-9 1/4"	6.75" x 24"	Glulam-Western Species	32' - 9 1/4"	
B15	30'-7"	6.75" x 24"	Glulam-Western Species	30' - 7"	
B16	16'-5 31/32"	(21) 3.4X14	LVL-Laminated Veneer Lumber	16' - 4 9/32"	
B17	10'-4"	(21) 3.4X14	LVL-Laminated Veneer Lumber	10' - 3 5/8"	
B18	16'-5 31/32"	(21) 3.4X14	LVL-Laminated Veneer Lumber	16' - 4 9/32"	
B19	16'-5 31/32"	(21) 3.4X14	LVL-Laminated Veneer Lumber	16' - 4 9/32"	
B20	10'-4"	(21) 3.4X14	LVL-Laminated Veneer Lumber	10' - 3 5/8"	
B21	16'-5 31/32"	(21) 3.4X14	LVL-Laminated Veneer Lumber	16' - 4 9/32"	



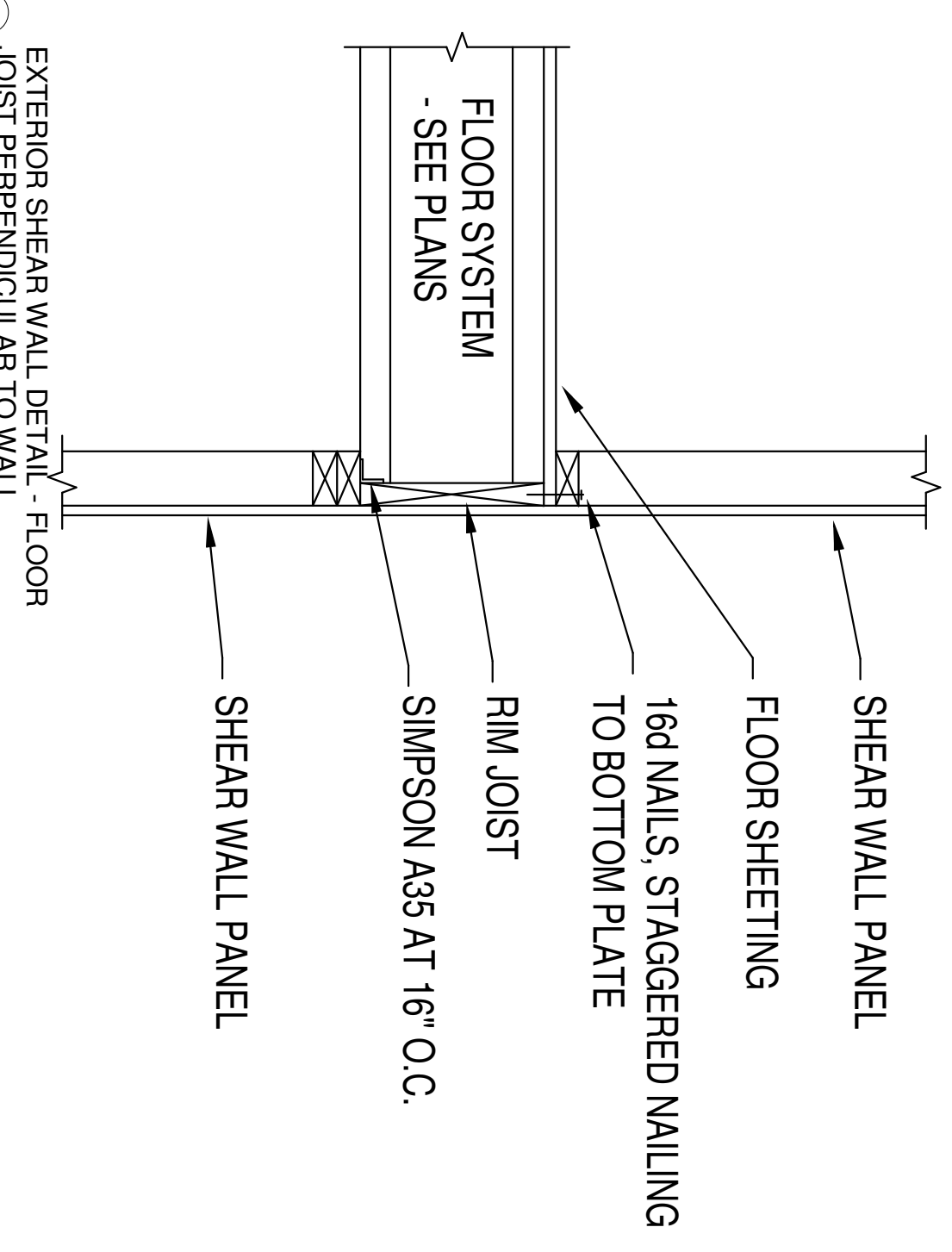
④ Steel Beam Section
3/4" = 1'-0"



① Main Floor Framing
1/4" = 1'-0"



② EXTERIOR SHEAR WALL DETAIL - FLOOR JOIST PARALLEL TO WALL PARALLEL
3/4" = 1'-0"



③ EXTERIOR SHEAR WALL DETAIL - FLOOR JOIST PERPENDICULAR TO WALL
3/4" = 1'-0"

The Nob's Residence
6640 E 1100 S - SKI LAKE LOT #3
Main Floor Framing Plan

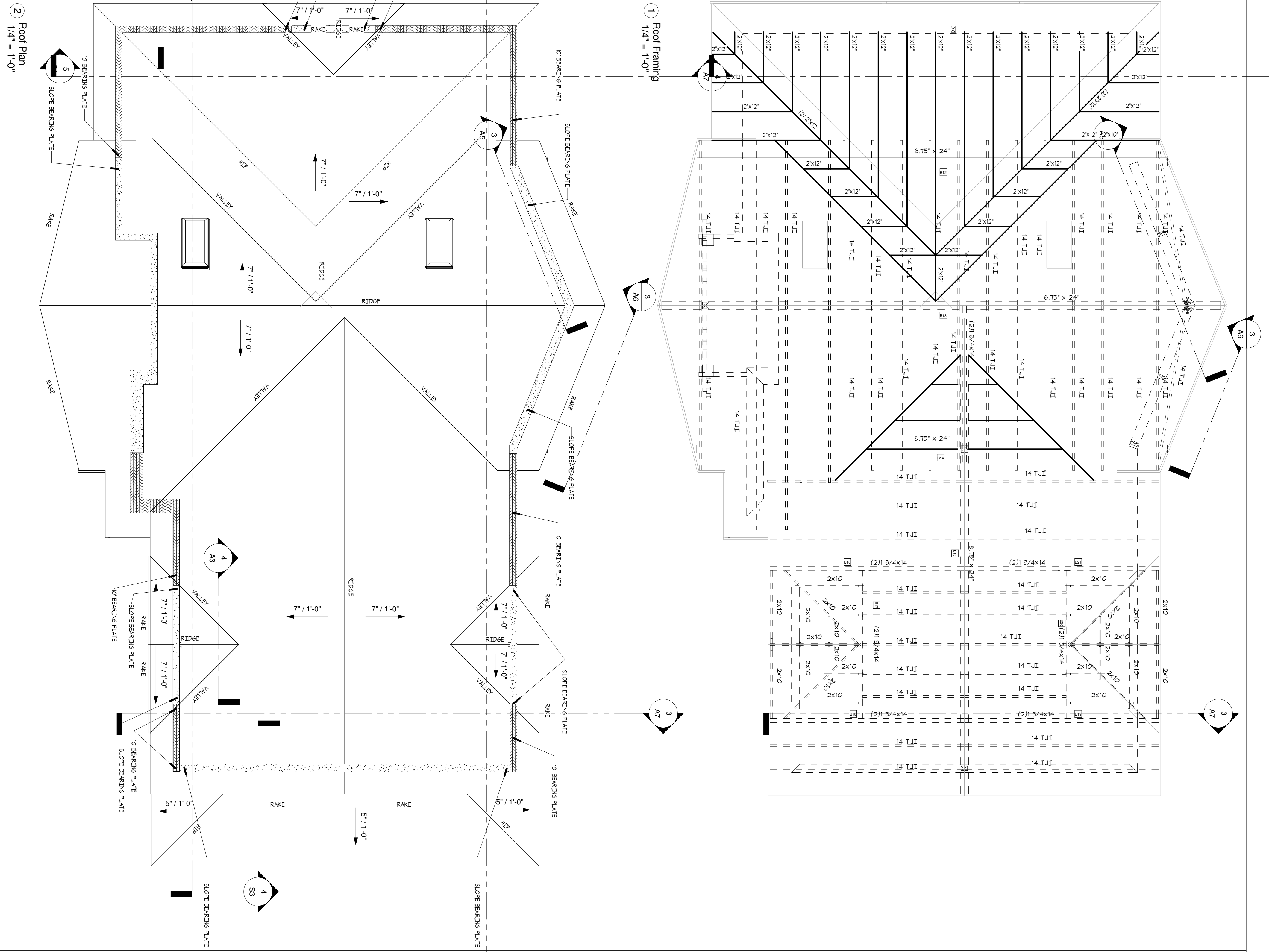
Project number: 2014-023
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Drawn by: KARL LUNDIN
Checked by: []

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P: 1 (801) 345-1560 F: 1 (801) 345-1561
DESIGN

LUNDIN HOMES, LLC
2405 GRANT AVENUE, SUITE #212 - OGDEN, UT 84401
P: 1 (801) 345-1560 F: 1 (801) 345-1561
GENERAL CONTRACTOR

atitude Engineering
PO Box 716
Eden, Utah 84310
(801) 391-2973
ENGINEERING



1 Roof Framing
1/4" = 1'-0"

2 Roof Plan
1/4" = 1'-0"

The Nob's Residence	
6640 E 1100 S - SKI LAKE LOT #3	
Roof Plans	
Project number	2014-023
Date	04/13/2015
Drawn by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

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Eden, Utah 84310
(801) 391-2973