

Homeowner:
Ryan & Rance Fisher
801 725-3839

General Contractor:

FISHER RESIDENCE
Lot #1 Warren Estates
502 North 5500 West
Warren, Utah

PROPERTY NO.
5101
DESCRIPTION
SITE PLAN

Scale 1/4" = 1 Foot

Creative Line L.L.C.
Custom Home Solutions
CreativeLineLLC.com
Ashlie Hull
801 628-7041

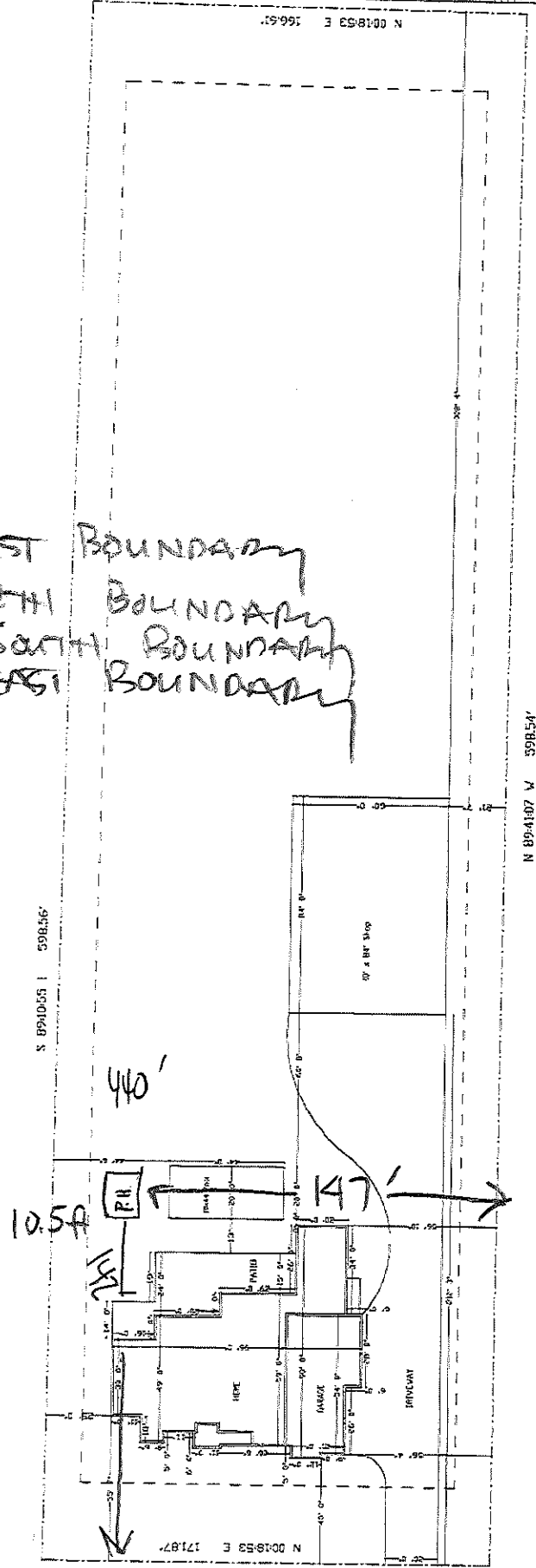
Fisher Residence
Lot #1 Warren Estates
502 North 5500 West
Warren, Utah
Area: 10,299 Sq. Ft.
2.22 Acres
Scale: 1" = 16'

Property Line
Building Setbacks

SET BACKS
142 ft. From WEST BOUNDARY
10.5 ft. From NORTH BOUNDARY
147 ft. From SOUTH BOUNDARY
440 ft. From EAST BOUNDARY

Note: Street, curb and gutter will be inspected and cleared at all ends and set at 150' end of every way.
Note: Final base for proposed driveway to be placed and maintained around any stone drain inlet subject to or immediately adjacent to the driveway construction.
Note: Storm water may be collected along property line to prevent storm water flow onto adjacent lots. Final grading plan should show adjacent lots.
Note: A final concrete sidewalk area must be crosswalk at the driveway for concrete, paint, stucco, or masonry work. Washout in the ground is prohibited.

Note: All storm water and dirt will be kept on site during construction until final landscaping is done.
Note: Surface drainage shall be directed to a storm sewer collection system. The driveway shall not be constructed so as to create a drainage lot that will cause the driveway to collect water away from the driveway. The driveway shall be constructed with a minimum of 1/4" slope per foot. The driveway shall be constructed with a minimum of 1/4" slope per foot. The driveway shall be constructed with a minimum of 1/4" slope per foot.



5500 WEST STREET

N 89-4187 W 598.54'