

2815 WEST 3300 SOUTH WEST HAVEN, UTAH 84401 801-731-1668 12/9/2024

Weber County Planning Commission 2380 Washington Boulevard Ogden, Utah 84401

To Whom It May Concern:

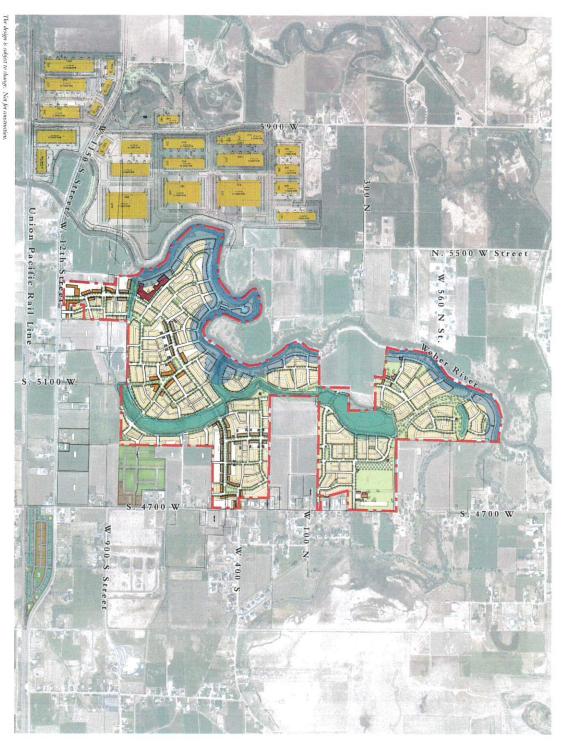
Taylor West Weber Water Improvement District ("The District"). Has received notice of intent to request rezone at an approx. address of 5100 W. From 900 S. to 700 N., also known as the Gibson Property in Unincorporated Weber County. The District has the capacity to support this area to be rezoned as described in the attached documents. The district will supply culinary water for culinary use only. The developer has been advised of two options for water capacity. One provide water from underground water rights with the points of diversions being changed to Taylor West Weber Water. Two pay the current Weber Basin impact fee for water rights. Our current impact study determined that .35-acre ft. per eru is needed. The area does have pressurized secondary water currently. Therefore, connection to Hooper Irrigation is mandatory. Once a plan is presented a review will need to be completed. The District board of directors and the engineer must review the plan before it is approved. The District board of directors may indicate other requirements so a will serve letter will be issued upon plan review. The will serve letter will indicate all requirements before subdivision approval and after subdivision approval. The District engineers will perform a hydraulic model to determine optimum fire flow and more requirements for a water line upsize may be required. This is in no way a letter of feasibility for a subdivision or will serve of any kind, this is only a letter of acknowledgment supporting the application to rezone the area. If you have any questions, feel free to contact me. This letter will be ratified by the Board of Directors at our Board Meeting on December 18th, 2024, at 4:30 pm.

Best Regards,

Ryan Rogers Manager

Taylor West Weber Water Imp.

# **DIAGRAMS: OPEN SPACE CALCULATION**



Key

Subject Property

105	Total
58	Open Space around Wetlands
47	Open Space along the River
93.5 Area (ac.)	Total Open Space Provided in Plan
27.1	50' Setback from Wetlands
35.8	Slough and Other Wetlands
30.6	100' Setback from River
Area (ac.)	Open Space from Natural Features
89.7	Total
89.7	300' Setback from River
Diea (ac.)	Open space Proposed by County

### Notes

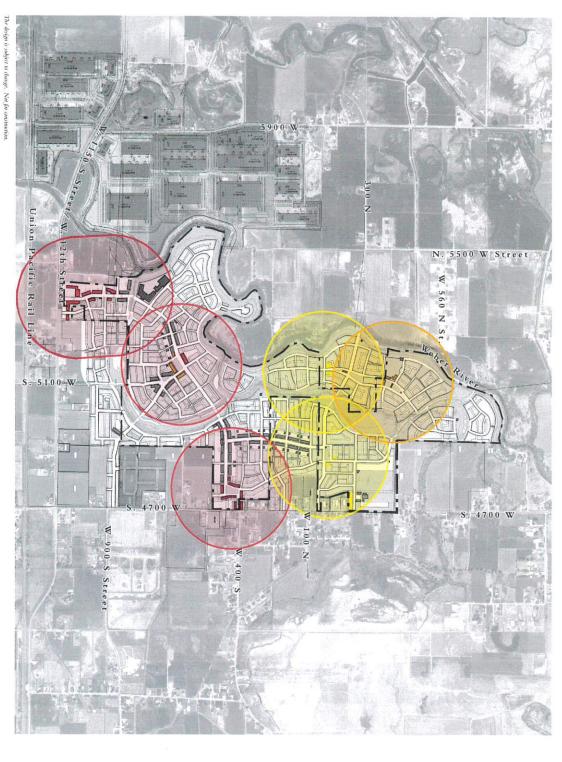
- The closest distance from any Right-of-Way or private lot to the river is 100 feet (some trails are closer).
- The farthest distance from any Right-of-Way or private lot to the river is 300 feet.
- 4.8 miles as a loop. The "Emerald Necklace" trail system is approximately

All calculations and measurements are approximate and may be





## DIAGRAMS: COMMERCIAL AREAS



### Key

Subject Property

5-minute walking radius

2000	Additional Recommended
Plan 45,500 sqft	Shown on Charrette Plan
nded 172,000 sqft	Minimum Recommended

### Notes

All calculations and measurements are approximate and may be adjusted.



## DIAGRAMS: PHASE 1 PROGRAM

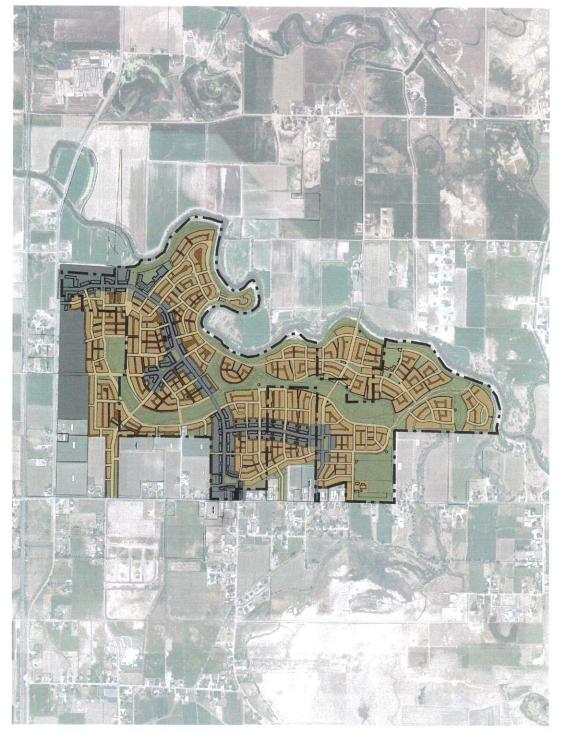


Mansion/Estate House Cottage/Bungalow Duplex Rowhouse MF Mansion Live-Work Thin Buildings MF Corridor Building Mixed-Use Mixed-Use Mixed-Use Single-Story Commercial Grocery  Area Live-Work  I Mixed-Use	93,200	Total
Mansion/Estate House Cottage/Bungalow Duplex Rowhouse MF Mansion Live-Work Thin Buildings MF Corridor Building Mixed-Use Mixed-Use Mixed-Use Single-Story Commercial  Mixed-Use Single-Story Commercial	20,000	G Grocery
Mansion/Estate House Cottage/Bungalow Duplex Rowhouse MF Mansion Live-Work Thin Buildings MF Corridor Building Mixed-Use  Mixed-Use  Mixed-Use  Mixed-Use  I Mixed-Use	44,300	Single-Story Commercial
Mansion/Estate House Cottage/Bungalow Duplex Rowhouse MF Mansion Live-Work Thin Buildings MF Corridor Building Mixed-Use Mixed-Use Mixed-Use Mixed-Use  Mixed-Use  Mixed-Use  Mixed-Use  Mixed-Use  Mixed-Use	16,900	Mixed-Use
Mansion/Estate House Cottage/Bungalow Duplex Rowhouse MF Mansion Live-Work Thin Buildings MF Corridor Building Mixed-Use Mixed-Use Mixed-Use Mercial Program Area	12,000	Live-Work
Mansion/Estate House Cottage/Bungalow Duplex Rowhouse MF Mansion Live-Work Thin Buildings MF Corridor Building MF Corridor Building	Area (SF)	Commercial Program
iding	407	Total
w	36	Mixed-Use
W	216	MF MF Corridor Building
W	12	TB Thin Buildings
W	12	Live-Work
W	20	MF Mansion
W	24	RH Rowhouse
W	18	Duplex
	32	C Cottage/Bungalow
	22	H House
	15	Mansion/Estate
	Units	Residential Program

se sory Commercial	93,200	
7 A A A	20,000	rocery
O. S. L.	44,300	ngle-Story Commercial
O and	16,900	ixed-Use
	12,000	ve-Work
	Area (SF)	ercial Program



# **DIAGRAMS: IMPERVIOUS SURFACE COVERAGE**



Key

: Subject Property

## Approximate Impervious Surface Coverage

- 100% (Commercial Areas incl. Streets)
- 80% (Typical Streets)
- 70% (Typical Lots)
- 50% (Typical Alleys)
- 40% (Typical Pedestrian Paths)
- 0% (Open Space)

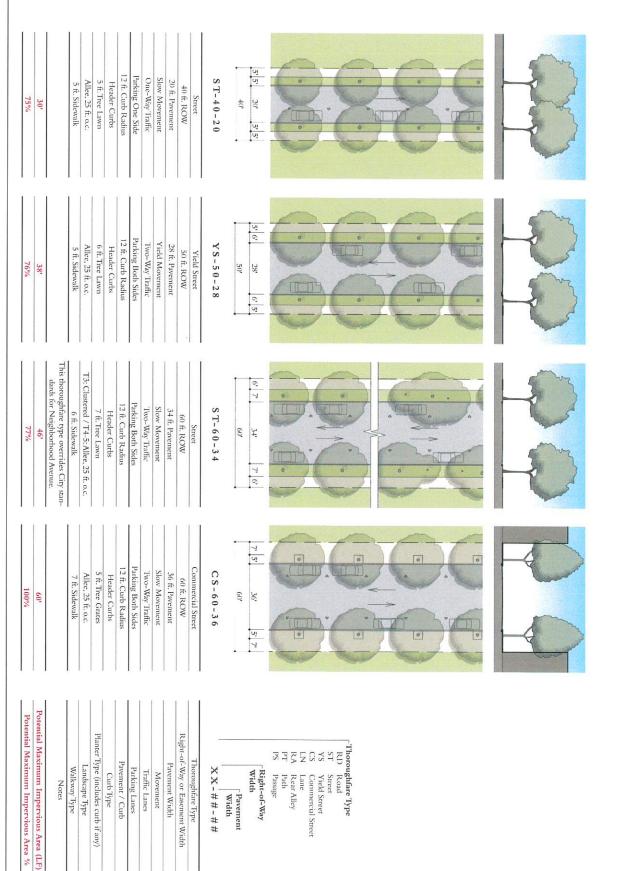
All the impervious surface ratios listed are an approximation based on rough calculations from other Traditional Neighborhood Developments. See the following pages for a detailed breakdown of this approximate calculation.

This diagram is intended to inform a conceptual stormwater layout, and all assumptions and calculations for any stormwater layout should be confirmed by a civil engineer.

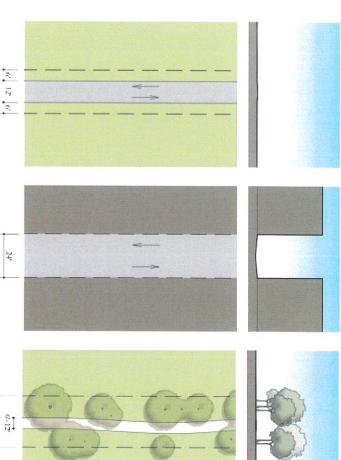
All calculations and measurements are approximate and may be

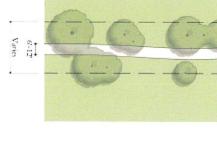




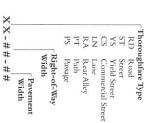


Pavement Width









Notes	Walkway Type	Landscape Type	Planter Type (includes curb if any)	Curb Type	Pavement / Curb	Parking Lanes	Traffic Lanes	Movement	Pavement Width	Right-of-Way or Easement Width	Thoroughfare Type
	pe	pe	curb if any)		Jurb	es	žS.		dth	ment Width	Type

Potential Maximum Impervious Area (LF) Potential Maximum Impervious Area %

### Thoroughfare Standards

herein supersede the provisions of thoroughfares (C.5-C.7): Ordinances. The following apply to all appendix C, Chapter 6, Table 5.2.1 and section 5.5 of the Taylor Code of Thoroughfare Standards contained

- Paving Materials. Association (POA). maintained by the Property Owners' than asphalt and concrete shall be concrete pavers may be used asphalt pavers, brick pavers, and currently acceptable to the City to paving materials and surfaces Paving materials and surfaces other In addition
- Street Trees. The following apply to street trees:
- · Street trees shall be Cedar Elm, Drake Elm, Bigtooth Maple the City shall be approved by Other tree species acceptable to Red Oak, Texas Ash, or Pecan Chinquapin Oak, Monterey Oak Warrant.
- Street tree spacing shall typically a gallery, arcade, or colonnade is extenuating circumstances. Street trees are not required where trees may be irregular to avoid retail frontages, the spacing of the design merit, and/or other as needed for specific locations be as designated by the PD visually obscuring the shop fronts planting due to site conditions, by Warrant from required tree Specific areas may be exempted Thoroughfare Types and adapted
- emergency vehicles, and the like. ft. 6 in.) for moving vans, buses clearance in the travel lanes (12 Trees shall be maintained by the POA to permit sufficient vertical

(See C. 10 and C. 12).

- alternated species with shade naturalistic or regularly-spaced shall include trees planted in a The public frontage in maturity, clears at least one story. canopies of a height that, at allee pattern of a single
- at least one story. of a height that, at maturity, clears The public frontage in T4 and single species with shade canopies regularly-spaced allee pattern of a T5 shall include trees planted in a
- Utility Easements. last resort. the exception and the location of casements on private lots shall be as required. Provision of utilities in easements in these thoroughfares in secondary thoroughfares, with other utilities shall be provided in primary thoroughfares and water and sewer shall be provided Typically,
- Carlos G. Parker Blvd and North may be limited and would require ROW/Road, improvements to it G. Parker Blvd is a TxDOT one with street trees. Because Carlos and a planting strip of 7' minimum adjacent to the R.O.W. boundary to have a sidewalk of 5'-8' in width of these RsOW, it would be ideal Dr Rights-of-Way. Within each
- as consistent with the Lot Standards permitted to encroach over RsOW Way. Portions of buildings may be Encroachments over Rights-ofcoordination with the State Agency



This thoroughfare type will be privately

This thoroughfare type will be privately

This thoroughfare type will be privately Trees, ground cover, shrubs, lawn 6 ft. to 12 ft. Pavement

Open

N/A N/A N/A N/A N/A

1 1

No Sidewalk

NA

owned and maintained

100%

Varies

No Sidewalk

Varies

owned and maintained

50%

12 ft. Curb Radius; Apron at Street

12 ft. Curb Radius; Apron at Street Two-Way Traffic, Fire Access

No Parking

Inverted Crown

Inverted Crown

6 ft. Lawn

Slow Movement

Slow Movement

24 ft. Pavement

24 ft. ROW

Rear Alley

Commercial Alley

24 ft. ROW

ROW Width Varies

CA-24-24

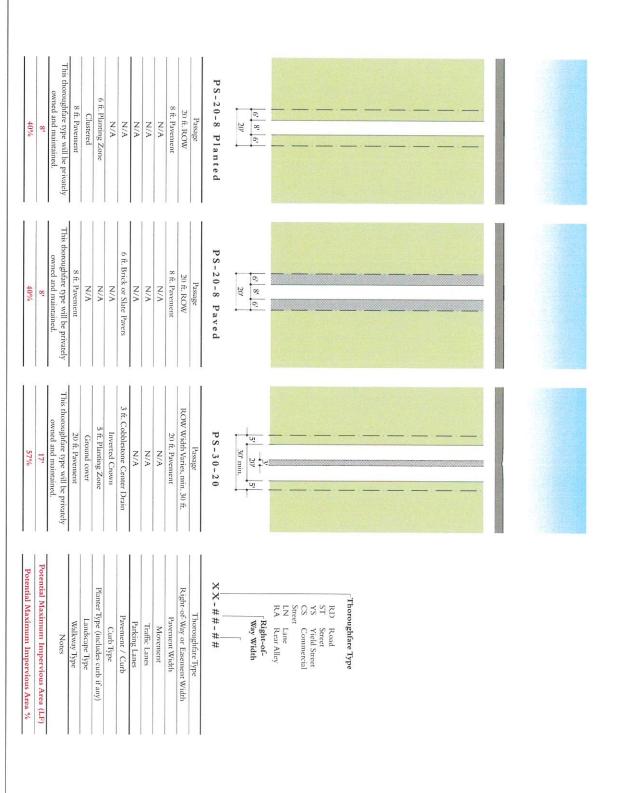
24'

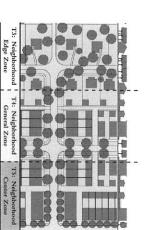
Two-Way Traffic 12 ft. Pavement

No Parking

RA-24-12

124.



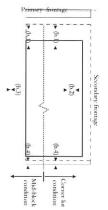


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(c.1)	ç		(b.4)	(b.3)	(b.2)	(b.1)	ъ.		
(c.1) Front Setback	SETBACKS - OUTBUILDING	Primary Frontage Buildout 40% min	(b.4) Rear Setback	(b.3) Side Setback	(b.2) Front Setback (Secondary)	(b.1) Front Setback (Principal)	SETBACKS - PRINCIPAL BUILDING	Lot Coverage	Lot Width
20 ft. min from facade	NG	40% min	4 ft. min.	5 ft.min.	12 ft. min., 30 ft. max.	18 ft. min., 30 ft. max.	BUILDING	70% max.	50 ft. min., 120 ft. max.
20 ft. min from facade		50% min	+ ft. min	0 ft. min	0 ft. min 18 ft. max	0 ft. min 18 ft. max		80% max.	12 ft. min., 96 ft. max.
40 ft. max from rear prop		60% min	4 ft. min	0 ft.min 24 ft.max	0 ft. min 12 ft. max	0 ft. min 12 ft. max		95% max.	12 ft. min., 180 ft. max.

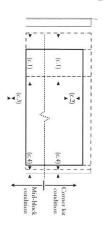
### Setbacks: Principal Building

- The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
- 2. Facades shall be built along the primary frontage to the minimum specified frontage buildout percentage. (The frontage buildout requirement does not apply at secondary frontages.)



### Setbacks: Outbuilding

The outbuilding shall be distanced from the lot lines as shown.



# POSSIBLE MAXIMUM IMPERVIOUS AREA FOR VARIOUS TRANSECT ZONES & LOT SIZES

Shoul NOI

			5,000	100	50	5,000	100	50	Lot
Area	Width Depth Area	Width	Area	Depth	Width Depth Area	Area	Width Depth Area	Width	uld be verified with an engineer.
Center	hborhood	T5: Neig	General	borhood (	T4: Neigh	Edge	3: Neighborhood Edge	T3: Nei	TE: To calculate impervious area, consult a civil en- eer. You may choose to share these conceptual values regin acceptable calculations, but all definitive values

		SE	)			4 -	PL	EX				Т	ow	NH	ou	SE			SII	NGL	MAI E F		ILY			SII		ARC LE F		ILY	
Impervious Surface Area	Total Potential of Impervious Surface	Building	Lot	Impervious Surface Area	Total Potential of Impervious Surface	Front Steps	Porch	Parking	Building	Lot	Impervious Surface Area	Total Potential of Impervious Surface	Rear Apron (incl. portion in alley)	Front Steps	Porch/Stoop	Building	Lot	Impervious Surface Area	Total potential of Impervious Surface	Rear Apron (incl. portion in alley)	Front Steps	Porch	Building	Lot	Impervious Surface Area	Total Potential of Impervious Surface	Rear Apron (incl. portion in alley)	Front Steps & Walk	Porch	Building	Lot
																				124	Ui	124	30	ŧ			24	5	36	40	50
																				6	10	œ	78	100			6	5	œ	78	100
				ï	f	ıı.	1	r.	1	1 1				ř				68%	2,726	141	50	192	2,340	4,000	72%	3,602	Ŧ	50	288	3,120	5,000
						υı	64	60	70	80			24	On.	24	24	24			13	Un	24	30	-to			24	Uı	36	40	50
						UI	00	20	60	100			6	4	œ	24	100			6	+	œ	78	100			+	+	sc	78	100
				74%	5,937	25	512	1,200	4,200	8,000	99%	2,372	Ŧ	20	192	2,016	2,400	67%	2,696	144	20	288	2,340	4,000	70%	3,524	96	20	288	3,120	5,000
		100	100			UI	64	60	70	80			24	Un.	6	24	12			12.4	Ur	24	30	45							
		65	65			Un.	00	20	60	100			6	51	6	90	100			6	_	oc	78	100							
100%	65,000	65,000	65,000	7411/4	5,937	25	512	1,200	4,200	8,000	99%	2,365	144	25	36	960	2,400	67%	2,696	144	20	288	2,340	4,000							