



**2815 WEST 3300 SOUTH
WEST HAVEN, UTAH 84401
801-731-1668
12/9/2024**

Weber County Planning Commission
2380 Washington Boulevard
Ogden, Utah 84401

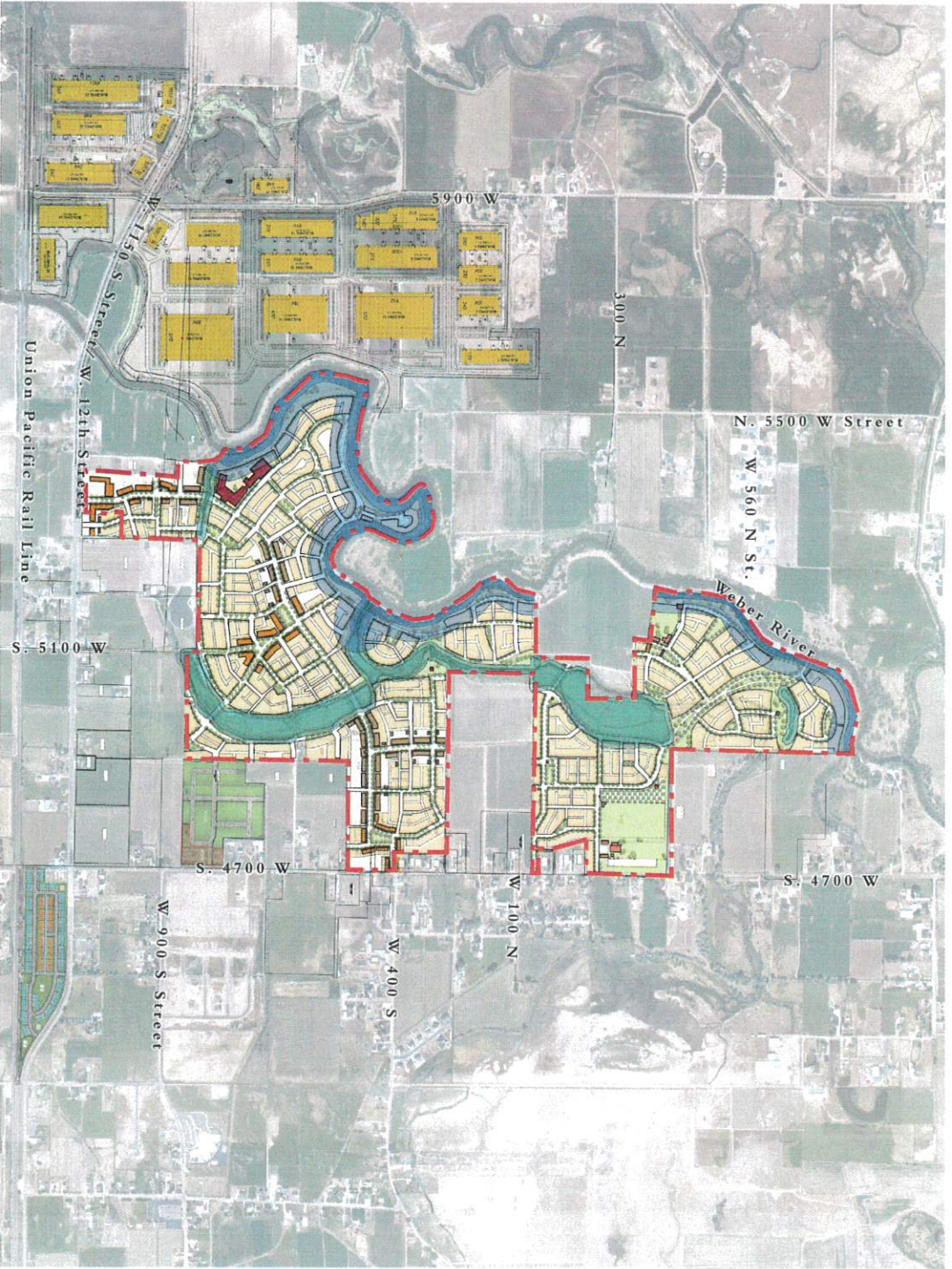
To Whom It May Concern:

Taylor West Weber Water Improvement District ("The District"). Has received notice of intent to request rezone at an approx. address of 5100 W. From 900 S. to 700 N., also known as the Gibson Property in Unincorporated Weber County. The District has the capacity to support this area to be rezoned as described in the attached documents. The district will supply culinary water for culinary use only. The developer has been advised of two options for water capacity. One provide water from underground water rights with the points of diversions being changed to Taylor West Weber Water. Two pay the current Weber Basin impact fee for water rights. Our current impact study determined that .35-acre ft. per eru is needed. The area does have pressurized secondary water currently. Therefore, connection to Hooper Irrigation is mandatory. Once a plan is presented a review will need to be completed. The District board of directors and the engineer must review the plan before it is approved. The District board of directors may indicate other requirements so a will serve letter will be issued upon plan review. The will serve letter will indicate all requirements before subdivision approval and after subdivision approval. The District engineers will perform a hydraulic model to determine optimum fire flow and more requirements for a water line upsize may be required. This is in no way a letter of feasibility for a subdivision or will serve of any kind, this is only a letter of acknowledgment supporting the application to rezone the area. If you have any questions, feel free to contact me. This letter will be ratified by the Board of Directors at our Board Meeting on December 18th, 2024, at 4:30 pm.

Best Regards,

Ryan Rogers
Manager
Taylor West Weber Water Imp.

DIAGRAMS: OPEN SPACE CALCULATION



The design is subject to change. Not for construction.

Key
 - - - Subject Property

Open Space Proposed by County	Area (ac.)
300' Setback from River	89.7
Total	89.7

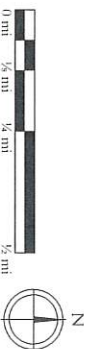
Open Space from Natural Features	Area (ac.)
100' Setback from River	30.6
Slough and Other Wetlands	35.8
50' Setback from Wetlands	27.1
Total	93.5

Open Space Provided in Plan	Area (ac.)
Open Space along the River	47
Open Space around Wetlands	58
Total	105

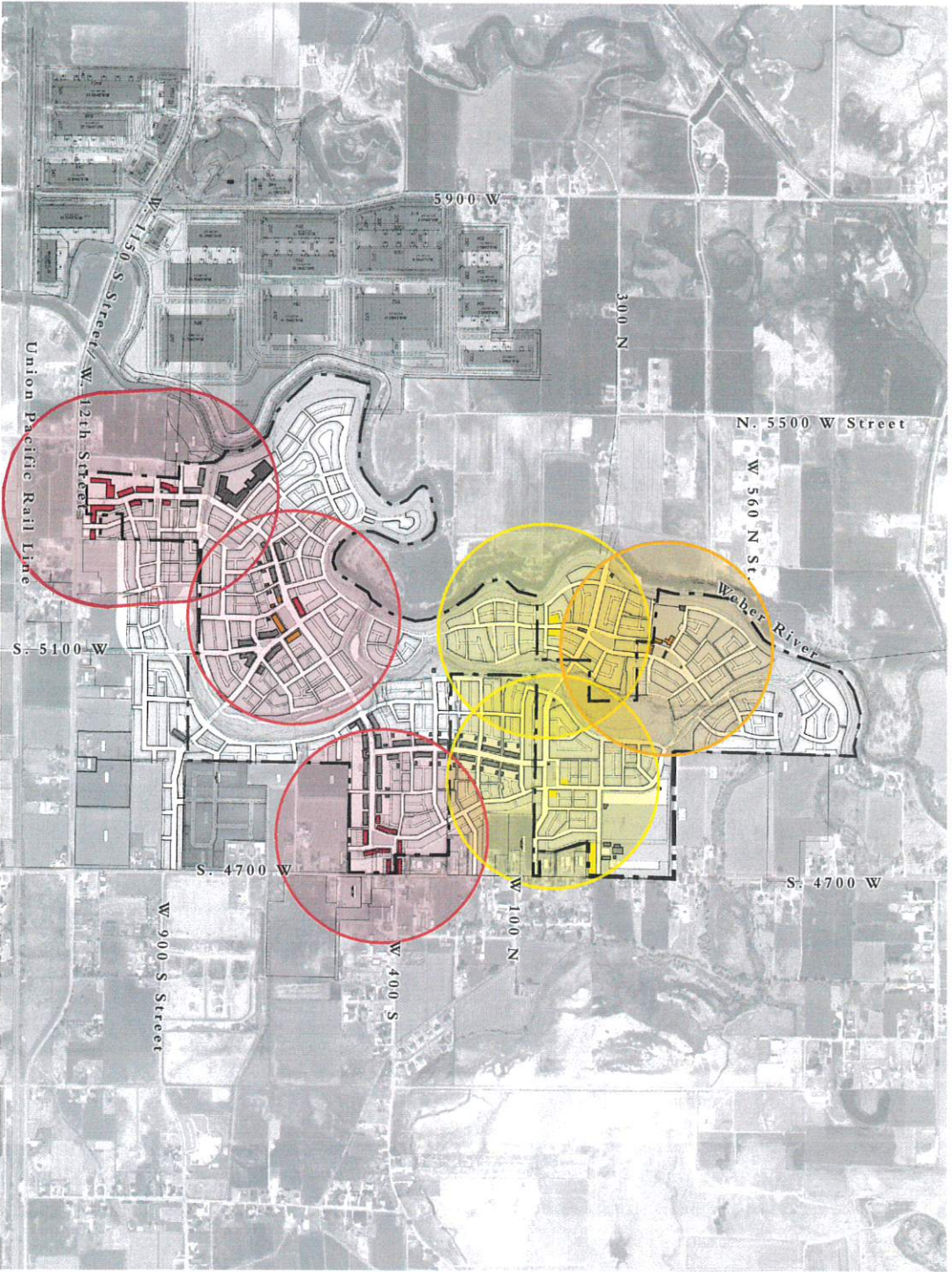
Notes

1. The closest distance from any Right-of-Way or private lot to the river is 100 feet (some tracts are closer).
2. The farthest distance from any Right-of-Way or private lot to the river is 300 feet.
3. The "Emerald Necklace" trail system is approximately 4.8 miles as a loop.

All calculations and measurements are approximate and may be adjusted.



DIAGRAMS: COMMERCIAL AREAS



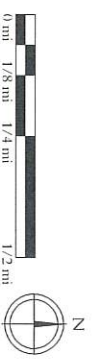
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GIBSON PROPERTY DRAFT

Key		
	Subject Property	
	5-minute walking radius	
Commercial Centers		
	Minimum Recommended	172,000 sqft
	Shown on Charactc Plan	45,500 sqft
	Additional Recommended	26,000 sqft
Total		220,100 sqft

Notes
 All calculations and measurements are approximate and may be adjusted.



OCTOBER 29, 2024

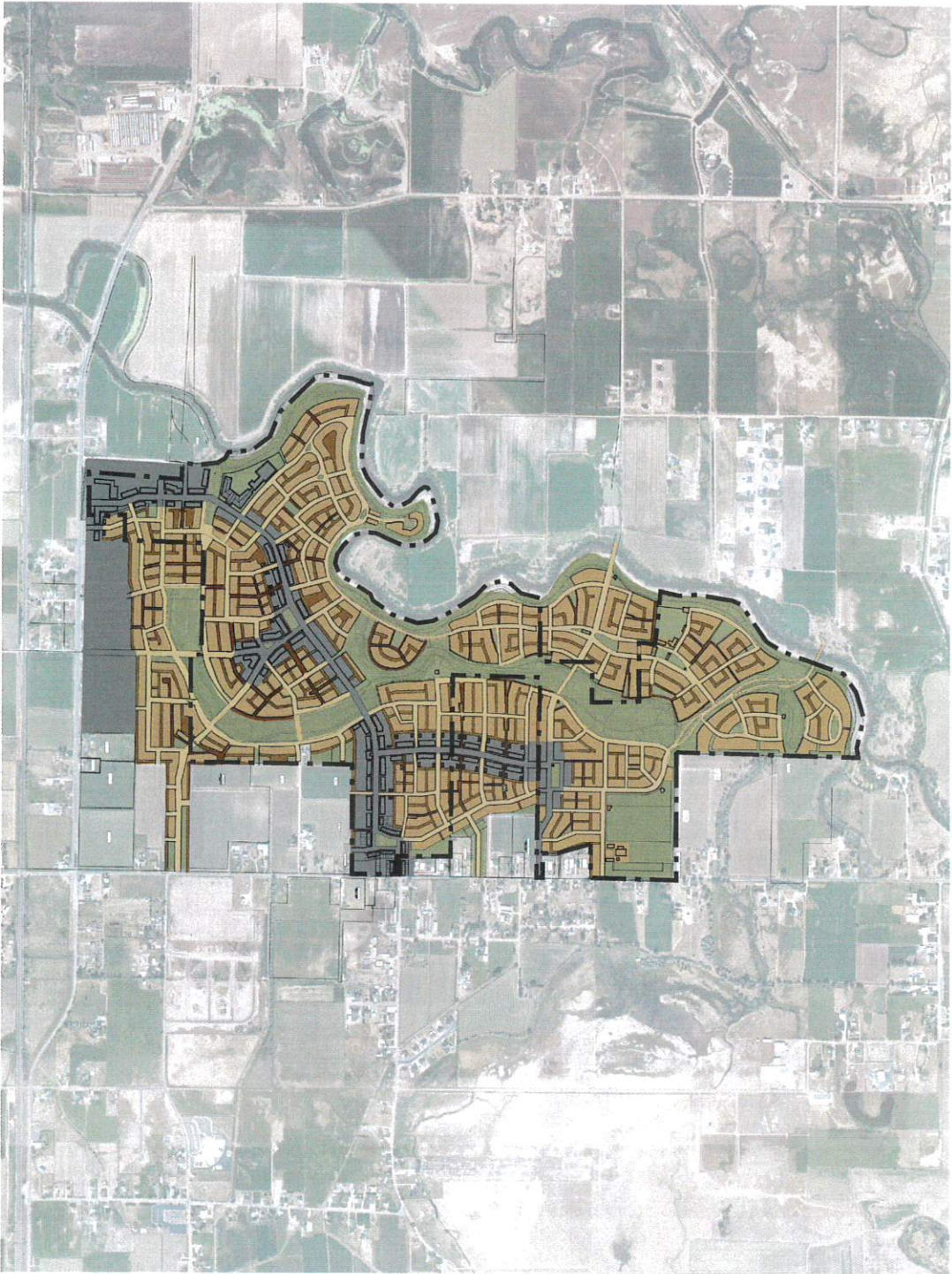
DIAGRAMS: PHASE 1 PROGRAM



Residential Program		Units
M	Mansion/Estate	15
H	House	22
C	Cottage/Bungalow	32
D	Duplex	18
RH	Rowhouse	24
MF	MF Mansion	20
EE	Thin Buildings	12
MF	MF Corridor Building	216
	Mixed-Use	36
Total		407
Commercial Program		Area (SF)
	Live-Work	12,000
	Mixed-Use	16,900
	Single-Story Commercial	44,300
G	Grocery	20,000
Total		93,200



DIAGRAMS: IMPERVIOUS SURFACE COVERAGE



Key
 - - - Subject Property

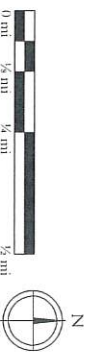
Approximate Impervious Surface Coverage

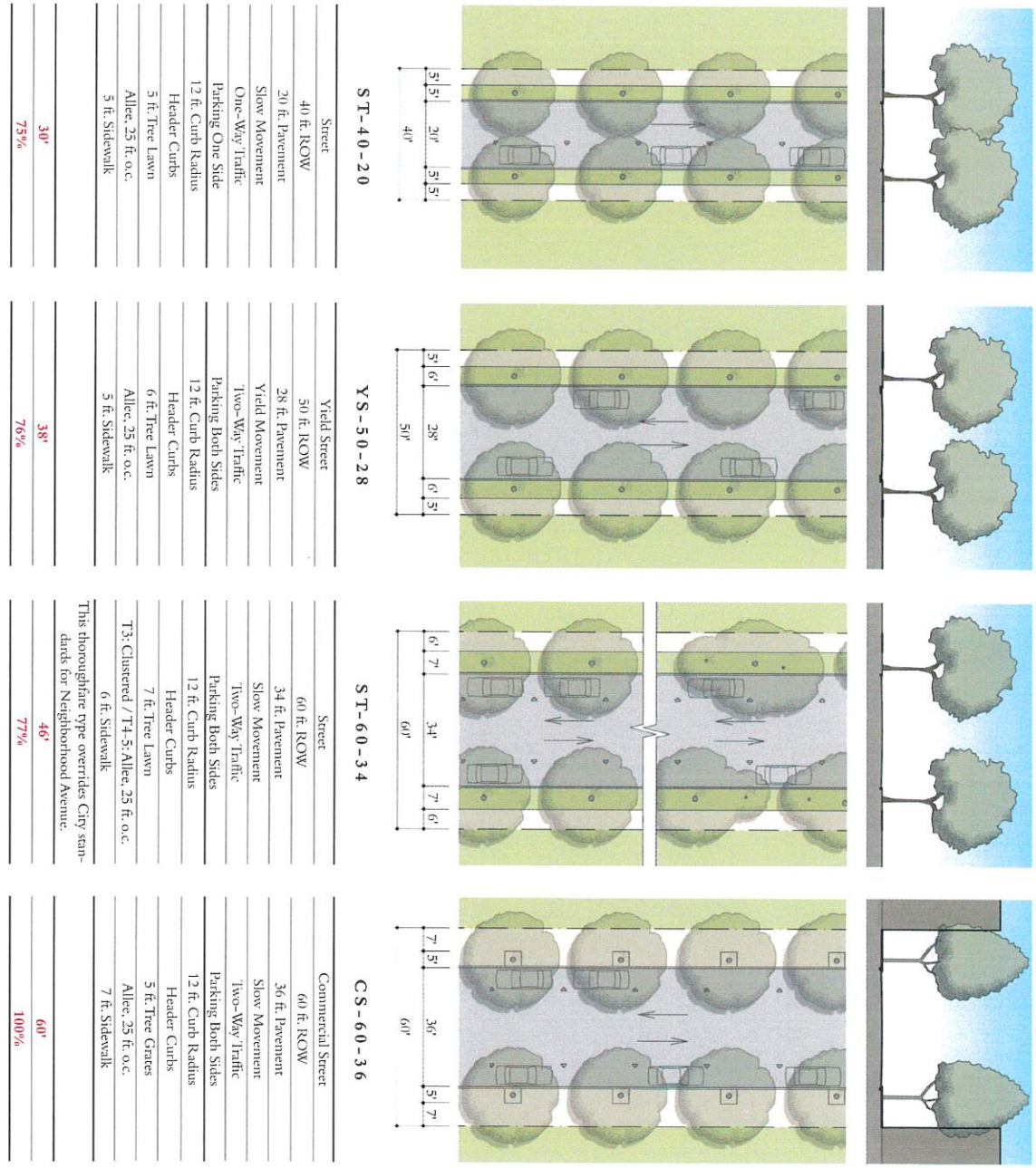
- 100% (Commercial Areas incl. Streets)
- 80% (Typical Streets)
- 70% (Typical Lots)
- 50% (Typical Alleys)
- 40% (Typical Pedestrian Paths)
- 0% (Open Space)

All the impervious surface values listed are an approximation based on rough calculations from other Traditional Neighborhood Developments. See the following pages for a detailed breakdown of this approximate calculation.

This diagram is intended to inform a conceptual stormwater layout, and all assumptions and calculations for any stormwater layout should be confirmed by a civil engineer.

All calculations and measurements are approximate and may be adjusted.





Street	40 ft. ROW
	20 ft. Pavement
	Slow Movement
	One-Way Traffic
	Parking One Side
	12 ft. Curb Radius
	Header Curbs
	5 ft. Tree Lawn
	Allee, 25 ft. o.c.
	5 ft. Sidewalk
	30'
	75%

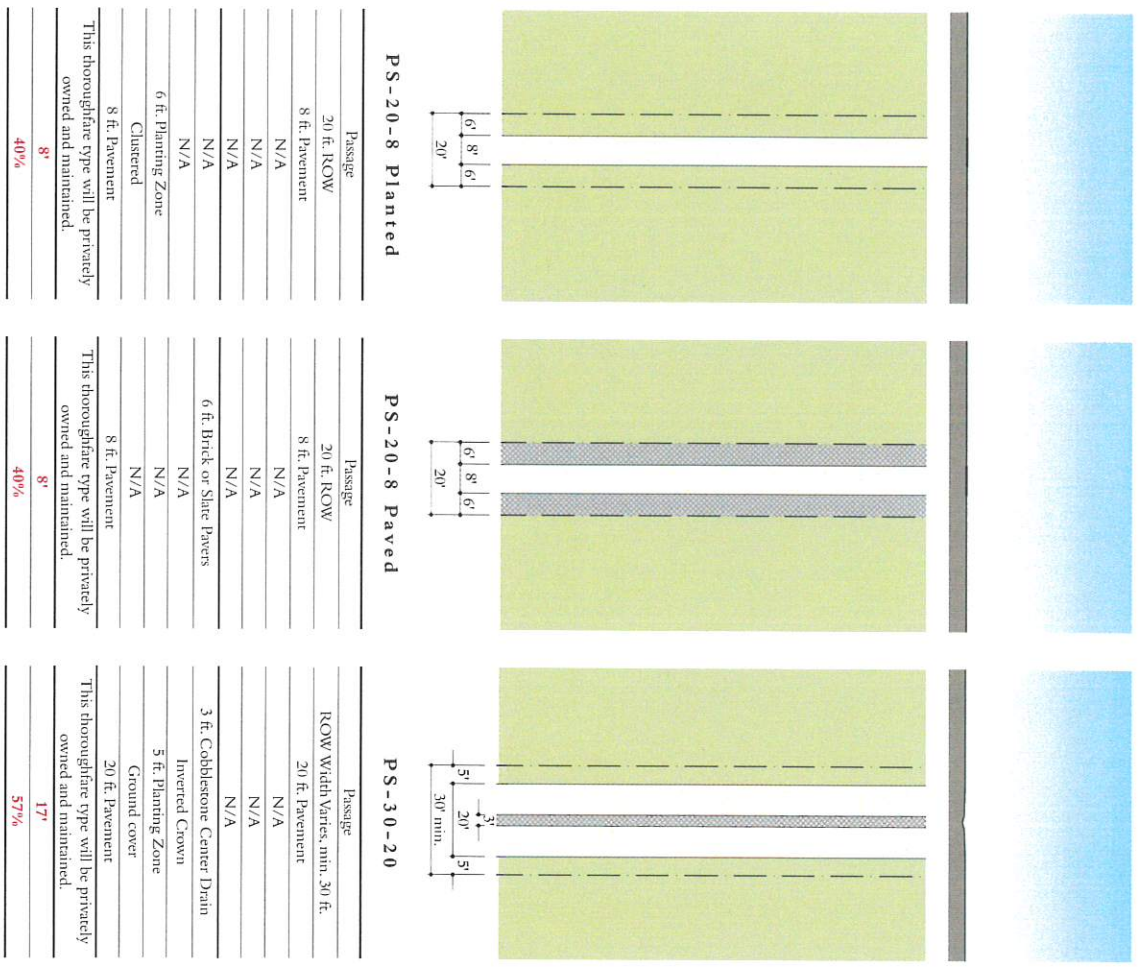
Yield Street	50 ft. ROW
	28 ft. Pavement
	Yield Movement
	Two-Way Traffic
	Parking Both Sides
	12 ft. Curb Radius
	Header Curbs
	6 ft. Tree Lawn
	Allee, 25 ft. o.c.
	5 ft. Sidewalk
	38'
	76%

Street	60 ft. ROW
	34 ft. Pavement
	Slow Movement
	Two-Way Traffic
	Parking Both Sides
	12 ft. Curb Radius
	Header Curbs
	7 ft. Tree Lawn
	T3: Clustered / T4-5: Allee, 25 ft. o.c.
	6 ft. Sidewalk
	This thoroughfare type overrides City standards for Neighborhood Avenue.
	46'
	77%

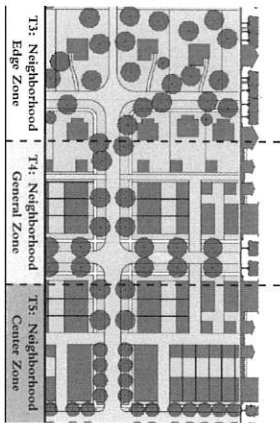
Commercial Street	60 ft. ROW
	36 ft. Pavement
	Slow Movement
	Two-Way Traffic
	Parking Both Sides
	12 ft. Curb Radius
	Header Curbs
	5 ft. Tree Grates
	Allee, 25 ft. o.c.
	7 ft. Sidewalk
	60'
	100%

Thoroughfare Type	
Right-of-Way or Easement Width	
Pavement Width	
Movement	
Traffic Lanes	
Parking Lanes	
Pavement / Curb	
Curb Type	
Planer Type (includes curb if any)	
Landscape Type	
Walkway Type	
Notes	
Potential Maximum Impervious Area (LF)	
Potential Maximum Impervious Area %	

- Thoroughfare Type**
- RD Road
 - ST Street
 - YS Yield Street
 - CS Commercial Street
 - LN Lane
 - RA Rear Alley
 - PT Path
 - PS Passage
- Right-of-Way Width**
- Pavement Width**
- XX-##-##**



PS-20-8 Planted	PS-20-8 Paved	PS-30-20	XX-#-#-#
Passage	Passage	Passage	Thoroughfare Type
20 ft. ROW	20 ft. ROW	ROW Width Varies, min. 30 ft.	R/D Road
8 ft. Pavement	8 ft. Pavement	20 ft. Pavement	ST Street
N/A	N/A	N/A	YS Yield Street
N/A	N/A	N/A	CS Commercial Street
N/A	N/A	N/A	LN Lane
N/A	6 ft. Brick or Slate Layers	3 ft. Cobblestone Center Drain	RA Rear Alley
N/A	N/A	Inverted Crown	
6 ft. Planting Zone	N/A	5 ft. Planting Zone	
Clustered	N/A	Ground cover	
8 ft. Pavement	8 ft. Pavement	20 ft. Pavement	
This thoroughfare type will be privately owned and maintained.	This thoroughfare type will be privately owned and maintained.	This thoroughfare type will be privately owned and maintained.	
8'	8'	17'	
40%	40%	57%	
			Potential Maximum Impervious Area (LI)
			Potential Maximum Impervious Area %
			Thoroughfare Type
			Right-of-Way or Easement Width
			Pavement Width
			Movement
			Traffic Lanes
			Parking Lanes
			Pavement / Curb
			Curb Type
			Planter Type (includes curb if any)
			Landscape Type
			Walkway Type
			Notes



a. LOT DIMENSIONS

Lot Width	50 ft. min., 120 ft. max.	12 ft. min., 96 ft. max.	12 ft. min., 180 ft. max.
Lot Coverage	70% max.	80% max.	95% max.

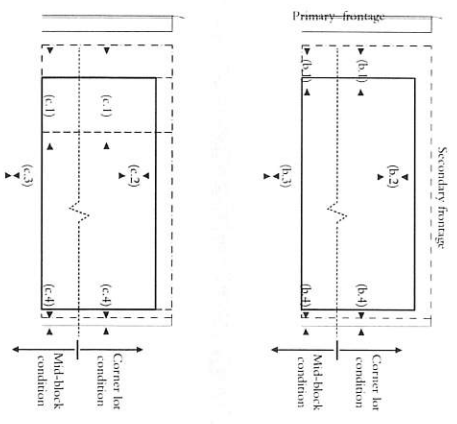
b. SETBACKS - PRINCIPAL BUILDING

(b-1) Front Setback (Principal)	18 ft. min., 30 ft. max.	0 ft. min 18 ft. max	0 ft. min 12 ft. max
(b-2) Front Setback (Secondary)	12 ft. min., 30 ft. max.	0 ft. min 18 ft. max	0 ft. min 12 ft. max
(b-3) Side Setback	5 ft. min.	0 ft. min	0 ft. min 24 ft. max
(b-4) Rear Setback	4 ft. min.	4 ft. min.	4 ft. min.
Primary Frontage Buildout	40% min	50% min	60% min

c. SETBACKS - OUTBUILDING

(c-1) Front Setback	20 ft. min from facade	20 ft. min from facade	40 ft. max from rear prop
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- Setbacks: Principal Building**
- The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
 - Facades shall be built along the primary frontage to the minimum specified frontage buildout percentage. (The frontage buildout requirement does not apply at secondary frontages.)



Setbacks: Outbuilding

- The outbuilding shall be distanced from the lot lines as shown.

POSSIBLE MAXIMUM IMPERVIOUS AREA FOR VARIOUS TRANSECT ZONES & LOT SIZES

NOTE: To calculate impervious area, consult a civil engineer. You may choose to share these conceptual values to begin acceptable calculations, but all definitive values should be verified with an engineer.

	T3: Neighborhood Edge			T4: Neighborhood General			T5: Neighborhood Center		
	Width	Depth	Area	Width	Depth	Area	Width	Depth	Area
LARGE SINGLE FAMILY									
Lot	50	100	5,000	50	100	5,000	40	100	4,000
Building	40	78	3,120	40	78	3,120	30	78	2,340
Porch	36	8	288	36	8	288	24	8	288
Front Steps & Walk	5	10	50	5	4	20	5	4	20
Rear Apron (incl. portion in alley)	24	6	144	24	4	96	24	6	144
Total Potential of Impervious Surface			3,602			3,524			2,606
Impervious Surface Area			72%			70%			67%
SMALL SINGLE FAMILY									
Lot	40	100	4,000	40	100	4,000	40	100	4,000
Building	30	78	2,340	30	78	2,340	30	78	2,340
Porch	24	8	192	24	8	288	24	8	288
Front Steps	5	10	50	5	4	20	5	4	20
Rear Apron (incl. portion in alley)	24	6	144	24	6	144	24	6	144
Total potential of Impervious Surface			2,726			2,606			2,606
Impervious Surface Area			68%			67%			67%
TOWNHOUSE									
Lot	24	100	2,400	24	100	2,400	24	100	2,400
Building	24	84	2,016	24	84	2,016	24	90	960
Porch/Scoop	24	8	192	24	8	192	6	6	36
Front Steps	5	4	20	5	4	20	5	5	25
Rear Apron (incl. portion in alley)	24	6	144	24	6	144	24	6	144
Total Potential of Impervious Surface			2,372			2,365			2,365
Impervious Surface Area			99%			99%			99%
4 - PLEX									
Lot	80	100	8,000	80	100	8,000	80	100	8,000
Building	70	60	4,200	70	60	4,200	70	60	4,200
Parking	60	20	1,200	60	20	1,200	64	8	512
Porch	64	8	512	64	8	512	64	8	512
Front Steps	5	5	25	5	5	25	5	5	25
Total Potential of Impervious Surface			5,937			5,937			5,937
Impervious Surface Area			74%			74%			74%
MIXED USE									
Lot	100	65	65,000	100	65	65,000	100	65	65,000
Building	100	65	65,000	100	65	65,000	100	65	65,000
Total Potential of Impervious Surface			65,000			65,000			65,000
Impervious Surface Area			100%			100%			100%

