



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request:	Approval of conditional use permit for a condominium project including lockout rooms and allowance to exceed the required 25 feet in building height per the CVR-1 Zone.
Agenda Date:	Tuesday, December 02, 2014
Applicant:	Skyline Mountain Base, LLC
File Number:	CUP2014-29

Property Information

Approximate Address:	3567 Nordic Valley Way Eden, UT 84310
Project Area:	Approximately 3.2 acres
Zoning:	CVR-1
Existing Land Use:	Ski Resort and Recreation area
Proposed Land Use:	Ski Resort and Recreation area
Parcel ID:	22-023-0086
Township, Range, Section:	T7N, R1E, Section 29

Adjacent Land Use

North:	Forest Residential and Agricultural	South:	Forest Residential
East:	Forest Residential and Open Space	West:	Ski Resort and Private Campground

Staff Information

Report Presenter:	Ronda Kippen rkippen@co.weber.ut.us 801-399-8768
Report Reviewer:	SW

Applicable Ordinances

- Title 101, Chapter 1, General Provisions, Section 7, Definitions
- Title 104, Chapter 11 Commercial Valley Resort Recreation-1 (CVR-1) Zone
- Title 108, Chapter 1, Design Review
- Title 108, Chapter 2, Ogden Valley Architectural, Landscape and Screening Standards
- Title 108, Chapter 4, Conditional Uses
- Title 108, Chapter 8, Parking and Loading Space, Vehicle Traffic and Access Regulations
- Title 108, Chapter 16, Ogden Valley Lighting
- Title 110, Chapter 2, Ogden Valley Signs

Background and Summary

Nordic Valley Ski Resort, located at 3567 East Nordic Valley Drive, is requesting approval of a conditional use permit for a condominium project consisting of 54 units with 54 lockout units. The proposed condominium project is conditionally allowed as a "Condominium rental apartment, including lockout rooms" in the Commercial Valley Resort Recreation (CVR-1) Zone per the Uniform Land Use Code of Weber County, Utah (LUC) §104-11-4. In order to reduce the overall building footprint, the applicant is requesting as part of the conditional use permit, that the Planning Commission varies the maximum height requirement of 25 feet per the CVR-1 Zone and consider an average height of 54 feet as conditionally allowed in LUC §104-11-4 and defined by the LUC §101-1-7.

The applicant received approval for the first stage of a transitional process for the ski resort in September of this year. If the Planning Commission approves the request for a condominium project and additional building height, the applicant will begin the process for a condominium subdivision as required in the LUC §106-3.

Conditional use permits should be approved as long as any harmful impact can be mitigated. The LUC already specifies certain standards necessary for mitigation of harmful impact to which the proposal must adhere. To ensure that the natural environment is preserved to the greatest possible extent, the Planning Commission, subject to the reviews and

recommendations of the required public agencies, must review and approve the general siting and architectural design of the building, the layout of the parking areas and the landscaping. The proposed application appears to meet these standards. The following is staff's evaluation of the request.

Analysis

General Plan: The Ogden Valley General Plan identifies the need to encourage commercial development in the Ogden Valley within established commercial areas, supporting continued development of resort-related commercial areas by promoting active recreational opportunities in the Ogden Valley and encouraging private businesses to meet the growing demand for recreational facilities (see the 1998 Ogden Valley General Plan §3 Ogden Valley General Plan Goals and Objectives and §5 Commercial Development).

Zoning: The intent and purpose of the CVR-1 Zone per the LUC §104-11-1 is:

"(a) The purpose of this zone is to provide locations in the Ogden Valley and at major recreation resort areas, where service facilities and goods normally required by the public in the pursuit of general recreation activities can be obtained."

The CVR-1 Zone allows for condominium rental apartments, including lockout rooms. A condominium rental apartment has been defined in the LUC §101-1-7 as:

"Condominium rental apartment (condo-tel): The term "condominium rental apartment (condo-tel)" means a condominium residential project in which the units, when not occupied by the owner, may be placed in a management rental pool for rent as transient living quarters similar to a motel operation. Because of the transient rental characteristics, a condominium rental apartment is classified as a use category separate and distinct from a condominium dwelling unit."

The CVR-1 Zone has specific standards identified in the LUC §104-11-6 that shall be met as part of the development process. Those standards are as follows:

- Minimum lot area: 2.5 acre site, with the following minimum area requirement for uses within that site:
 - Condominium rental apartments require, per building, 7,500 square feet of net developable area plus 2,000 square feet of net developable area for each dwelling unit in excess of two dwelling units.
 - Lockout sleeping room, 500 square feet.
 - Other uses: none.
- Minimum lot width: 150 feet minimum frontage.
- Minimum yard setbacks:
 - Front: 30 feet minimum.
 - Side: 20 feet minimum, except as otherwise required by this or any other county ordinance.
 - Rear: 20 feet minimum, except as otherwise required by this or any other county ordinance.
- Building height: Conditional use permit is required if over 25 feet in height.

The subject property will be divided as part of the platting process required for condominium projects and will consist of approximately 3.2 acres. The acreage requirement has been established by the CVR-1 Zone which requires 7,500 square feet for the first 2 units, 2,000 square feet for each additional unit and 500 square feet for each lock-out unit. It appears that the 190,132 sq. ft. structure may be the largest structure in the Ogden Valley. The following percentages have been calculated based on the proposed final 3.2 acres. The proposed condominium project will have an area footprint of 54,003 sq. ft., which will cover 38% of the final site. The hard surface paving will cover 5% and the landscaping will cover 57% of the final site (see Exhibit B-1 (AS101-A)).

The CVR-1 Zone also requires additional design standards including a minimum of ten percent commercial uses other than the condominium rental apartments per LUC §104-11-5. The commercial amenities that have been proposed include 4,035 sq. ft. for office spaces and conference areas located on the lower level (see Exhibit B-2 (A100)), 2,500 sq. ft. for conference areas on the second and third floors (see Exhibit B-4 & B-5 (A102 & A103)), and 5,854 sq. ft. of commercial space on the fourth floor (see Exhibit B-6 (A104)). These amenities will provide 12,389 sq. ft. of commercial use, meeting the required ten percent commercial use of 12,336 sq. ft. based on the building area after removing the plaza, pool and parking areas from the overall square footage calculations. In addition to the commercial amenities, there will be 18,548 sq. ft. dedicated to the outdoor plaza and pool area (see Exhibit B-3 (A101)), and 102 underground parking stalls and five outdoor parking stalls (see Exhibit B-2 (A100)). In approving the site plan, the Planning Commission will need to find that the proposed building and uses are sized in proportion to the recreational amenities for which they will provide goods and services.

The proposal adheres to the required lot area and setbacks. In order to reduce the buildings footprint the applicant is requesting that the Planning Commission vary the maximum building height requirement of 25 feet and consider an average height of 54 feet which is allowed by a conditional use permit. Building height is defined in the LUC §101-1-7 as:

"Building, height of: The term "height of building" means the vertical distance from the average of the highest natural grade and the lowest natural grade to the highest point of the coping of a flat roof, or to the deck line of a mansard roof, or to the highest point of the ridge of a pitch or hip roof."

The applicant's requested average building height of 54' is based on measurements taken from the highest natural grade line (64') and lowest natural grade line (44') as measured to the highest point on the roof line as identified on the "North to South Grade Section"(see Exhibit C-2 (A301)). In reviewing the proposal, an average building height of 37' can be found based on measurements taken from the highest natural grade line (60'7") and lowest natural grade line (12'9") to the highest point on the roof line as identified on the "East to West Grade Section" (see Exhibit C-2 (A301)). An overall average building height measured from the highest and lowest natural grade line to the highest point on the roof line using the combined measurements from the East to West and North to South Grade Section is 45'5". Based on these calculations, the average building height may not seem too extreme; however, it is essential to make note that the actual building height as measured from the finished grade will range from 26' at the lowest point to 71' at the highest point of the building (see Exhibit C-1 (A201 & A202)). In contrast, a single family residential dwelling is allowed a maximum average building height of 35' in other zones throughout the Ogden Valley. The applicant has designed the site to utilize the surrounding mountains to soften the effect of the proposed structure. The visual impact and height of the condominium project are considerations of the Planning Commission and will require approval.

Conditional Use Review: The proposed uses are conditionally allowed in the CVR-1 Zone. A review process has been outlined in LUC §108-4-3 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects. As a requirement of the conditional use permit, the applicant has provided a "Will-Serve Letter" from Nordic Mountain Water Inc. (see Exhibit D) for water services and a "Will-Serve Letter" from Wolf Creek Water and Sewer Improvement District (see Exhibit E) for the waste disposal. The applicant has provided the required material to facilitate a review of the proposed project including grading, drainage, and a geotechnical report. The architectural plans have identified an erroneous address for the project location. A condition of approval has been made part of the Planning Division's recommendations to ensure that the approved site plans coincide with the correct site address.

The Engineering Division has reviewed the civil engineering drawings (see Exhibit F) and has conditionally approved the proposal based on more detailed plans that will be made part of the required subdivision process. As part of this process, the recommendations that have been identified in the Geotechnical Report will need to be identified on the subdivision plans and followed throughout the development of the site.

The Weber Fire District has reviewed the proposal and has made specific comments and conditions regarding fire suppression including the need for detailed locations of fire hydrants with adequate flow and a fire access lane along the south side of the building. It appears that the majority of the comments will be able to be addressed without modifying the general layout and design of the site plan with the exception of the fire access lane. The remaining comments and conditions will be addressed during the subdivision process when more detailed plans are required. If modifications to the site plan are necessary to adhere to the requirements of the Weber Fire District and such modifications alter the approved maximum average building height, the applicant will have to receive additional approvals from the Planning Commission.

Design Review: The CVR-1 Zone and the proposed conditional use, mandates a design review as outlined in the LUC §108-1 to ensure that the general layout and appearance of the building shall not impair the orderly and harmonious development of the neighborhood nor impair investment in and occupation of the neighborhood. Additional design reviews may be required as the commercial uses within the development are identified to ensure that adequate parking as required by the LUC §108-8 is available and that any proposed signage conforms to the LUC §110-2. As part of this review, the Planning Commission shall consider the applicable matters based on the proposed conditional use and impose conditions to mitigate deficiencies where the plan is found deficient. The matters for consideration are as follows:

- 1) *Considerations relating to traffic safety and traffic congestion.* The proposal includes improvements for the widening of the existing abutting street together with sidewalk, curb and gutter and adequate drive approaches for the ingress and egress to the site and the building along Nordic Valley Way. The applicant has provided 107 parking spaces on the site plan, of which 102 parking spaces are underground parking. It appears that all the proposed parking meets the parking standards as outlined in LUC §108-8-7(c) as well as the surface lighting of the off street parking as outlined in LUC §108-2-6 & §108-16 (see Exhibit B-1 & B-2 (AS101-A & A100)). Parking requirements for the future uses of the development will be evaluated as part of the required design review process for the new commercial uses.

2) *Considerations relating to outdoor advertising.* The applicant received approval for a monument sign as allowed in LUC §110-2-5 in September of this year. As part of the review, the Planning Division took into consideration the architectural renderings including the location, color, lighting and size of the monument sign for the ski resort. The location of the monument sign has been identified on the site plan as #15 on sheet AS101-A (also identified as Exhibit B-1).

3) *Considerations relating to landscaping, screening and buffering.* The applicant has been able to adequately address the minimum landscaping requirements of the Design Review as outlined in LUC §108-1-4(3) and the Ogden Valley Architectural, Landscape and Screening Design Standards as outlined in LUC §108-2-5 and §108-2-9 (see Exhibit G (L101 & L102) with the exception of the following:

- The proposed site plan has identified a “temporary trash enclosure” as #16 on sheet AS101-A (also identified as Exhibit B-1). The proposed screening for the trash dumpster adheres with LUC §108-2-7; however, if this location is truly temporary in nature, the applicant will need to provide an alternative trash dumpster location and receive the required approvals for the location and screening. If the proposed trash location will be the permanent location, the site plan will need to be corrected to reflect such. A condition has been made part of the Planning Division’s recommendations to ensure adequate garbage facilities and screening.
- The LUC requires that all parking areas are screened or buffered from view along all street rights-of-way and should consist of earth berms or mounds and trees when practicable. Due to the location of the parking area and the access from Nordic Valley Way, requiring additional trees and/or berms to screen the entire parking area may create a traffic hazard when taking into account snow accumulations in the area. According to LUC §108-2-8 when an access way intersects with a public right-of-way, all landscaping and screening within a ten foot triangular area shall provide unobstructed cross-visibility at a level between two and eight feet in height. A condition has been made part of the Planning Division’s recommendations to ensure adequate measures have been put in place to maintain clear sight distance and proper screening of the parking area.

When long expanses of building walls and other barriers are part of a proposal as they are with this application, taller trees can be required as part of the landscaping plan to create a softening effect as allowed in LUC §108-2-5(j)(4). If the Planning Commission feels additional landscaping, screening and buffering measures need to be implemented; a specific condition of approval will need to be added.

4) *Considerations relating to buildings and site layout.* The proposed building has an exterior finish consisting of predominantly natural, muted earth tone colors of hardi-plank batten board, hardi-board tongue and groove, stone veneer, timber and asphalt/metal roofing materials. The metal roof areas, aluminum windows and glass store front must be non-reflective. The proposed colors for the external surfaces are found on sheet A201 (see Exhibit C-1) and identified on said sheet as follows:

1. “Driftwood” Asphalt Shingles
2. “Earthen Jug” Hardi-Plank Batten Board
3. “Dark Bronze” Standing Seam Metal Roof
4. “Cottonwood” Stone Veneer
5. “Cinnamon” Stained Timber
6. “Coconut Husk” Hardi-Board T&G Beveled
7. “Dark Bronze” Flashing

The exterior lighting will consist of three 20’ parking lot light poles (277 V., 10,000 lumens) and seven 42” high light bollard area lights (277 V., 1,000 lumens @ 15.5 watts). The proposed outdoor lighting must be partially or fully shielded as required in LUC §108-16 in order to comply with the Ogden Valley Lighting night sky requirements. If the Planning Commission feels that additional measures need to be taken to ensure adequate protection of the night sky, a condition of approval will need to be added.

Swimming pools are allowed to be located to the side of a dwelling or private/public facility. The proposed swimming pool location meets the minimum setback of ten feet from the future property line. As part of a building permit, the applicant will need to enclose the swimming pool area with either a substantial fence of not less than six feet in height or by a power safety cover meeting the requirements of the International Building Code

per LUC §108-7-18. A condition has been made part of the Planning Division's recommendations to ensure adequate measures have been taken regarding health, safety and welfare.

The building and site layout has been reviewed against the design criteria of the CVR-1 Zone in the LUC §104-11, the Design Review in the LUC §108-1, the Ogden Valley Architectural, Landscape and Screening Design Standards in the LUC §108-2-4 and it appears that the proposal meets the minimum requirements of the applicable areas of the Uniform Land Use Code of Weber County.

5) *Considerations relating to utility easements, drainage, and other engineering questions.* The applicant has provided civil engineered drawings (see Exhibit F) that identify the existing and proposed topography, contour lines, utilities, easements and drainage. The applicant will need to adhere to all conditions of the Engineering Division pertaining to utilities to and through the property, storm water drainage including retention facilities by providing more detailed drawings as part of the subdivision process.

6) *Considerations relating to prior development concept plan approval associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval.* The Planning Division is unaware of prior development conceptual plans as part of any rezoning agreement that may have been approved for the subject property by Weber County; therefore, considerations pertaining to this portion of the code are not applicable at this time.

Conformance to the General Plan

The proposed use conforms to the Ogden Valley General Plan by encouraging commercial development in the Ogden Valley within established commercial areas and supporting continued development of resort-related commercial areas by promoting active recreational opportunities in the Ogden Valley.

Summary of Planning Commission Considerations

LUC §108-4-4 states:

"Conditional Uses shall be approved on a case-by case basis. The planning commission shall not authorize a conditional use permit unless evidence is present to establish:

1. *Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke or noise.*
2. *That the proposed use will comply with the regulations and conditions specified in the Land Use Code and other applicable agency standards of use."*

The Planning Commission will need to determine if the proposed condominium project meets the requirements of the applicable Uniform Land Use Code of Weber County. The Planning Commission may impose additional conditions in order to ensure full compliance with the required standards. In making a decision, the Planning Commission should consider the following questions:

- Are the proposed building and uses sized in proportion to the recreational amenities for which they will provide goods and services?
- Could the additional height of the condominium project be harmful to the adjacent property owners? If yes, what conditions could be put in place to mitigate detrimental effects?
- Does the submittal meet the architectural detail standards required by LUC §108-1 & §108-2? If no, then what conditions/architectural details could be added in order to comply?
- Does additional landscaping and screening need to be implemented to provide adequate screening of the off-street parking and to add a softening effect to the structure in order to fully comply with the requirements of LUC §108-1 (Design Review) and §108-2 (Ogden Valley Architectural Standards)?
- Have the "Criteria for Issuance of Conditional Use Permit" and other applicable ordinances been met?

Staff Recommendation

The Planning Division recommends approval of file# CUP 2014-29, a conditional use permit request for a 54 unit condominium with 54 lockout rooms and allowance to exceed the required 25 feet in building height in the CVR-1 Zone for the property located at 3567 E Nordic Valley Way, Eden. This recommendation for approval is subject to all review agency requirements and based on the findings and conditions of approval as listed below:

Findings for approval

1. The proposed use conforms to the goals, objectives and policies of the Ogden Valley General Plan.
2. The proposed use, if conditions are imposed, will comply with applicable County ordinances.
3. The proposed building and uses are proportionately sized to the recreational amenities for which they provide goods and services.
4. The additional building height will allow for a smaller building footprint, reducing storm runoff and overall soil disturbance.
5. The proposed use, if conditions are imposed, will not be detrimental to the public health, safety, or welfare.

Conditions of Approval

- The conditional use permit will be contingent on the approval and recordation of a condominium subdivision plat.
- The maximum average height as measured from the natural existing grade to the highest point on the roof line shall not exceed 54'.
- The project location will be corrected on the site plan to reflect the property located at 3567 E Nordic Valley Way.
- The permanent location of the garbage facilities will need to be identified on the site plan.
- All windows, glass store fronts and metal roof areas will consist of non-reflective material.
- Clear sight distance will be maintained for all accesses that abut the public right-of-way to ensure traffic safety.
- To ensure adequate screening from the public right-of-way, additional trees or shrubs will be placed along the parking area.
- Adequate fencing or a power safety pool cover will be required as part of the building permit process for the swimming pool.
- Adequate shielding of all outdoor lighting will be provided in order to conform to LUC §108-16 pertaining to the Ogden Valley Lighting night sky requirements.
- Minor site plan alterations may be approved by the Planning Director but none so much that will surpass the approvals made by the Planning Commission.
- Requirements of the Weber County Building Division
- Requirements and recommendations of the Weber Fire District
- Requirements of the Weber County Engineering Division
- Requirements of the Weber County Health Department

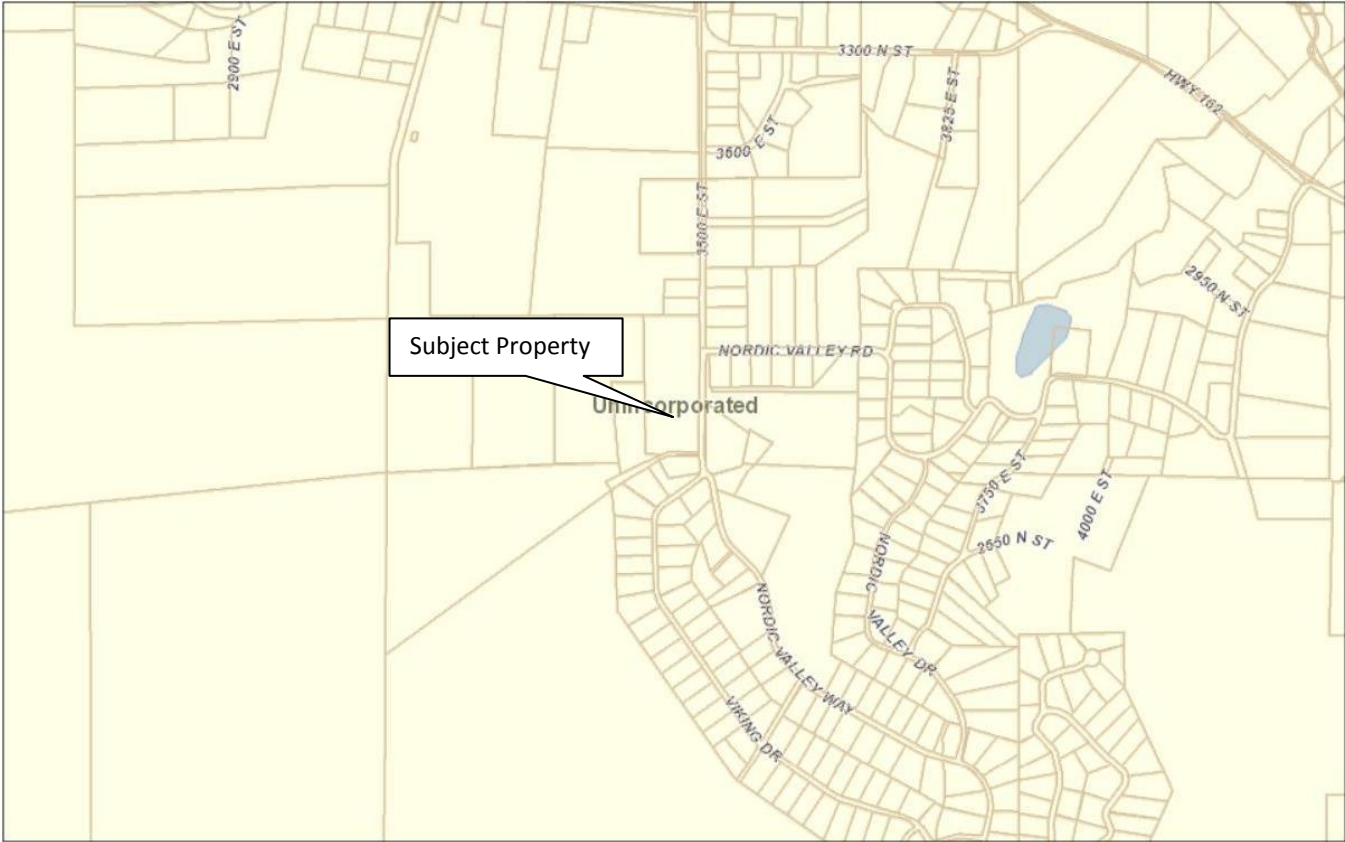
Exhibits

- A. Application
- B. Architectural Site Plan
 - 1. AS101-A (Site Plan)
 - 2. A100 (Lower Level Floor Plan & Parking)
 - 3. A101 (Plaza Level Floor Plan)
 - 4. A102 (Second Level Floor Plan)
 - 5. A103 (Third Level Floor Plan)
 - 6. A104 (Fourth Level Floor Plan)
- C. Architectural Elevations
 - 1. A201 & A202 (Exterior Building Elevations)
 - 2. A301 (Grade Sections)
- D. Water "Will Serve Letter"
- E. Sewer "Will Serve Letter"
- F. Civil Engineering Drawings
- G. Landscaping & Irrigation Plans

Map 1



Map 2



Weber County Conditional Use Permit Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
Property Owner Contact Information			
Name of Property Owner(s) Skyline Mountain Base, LLC		Mailing Address of Property Owner(s) 3567 N Nordic Valley Way Eden UT 84310	
Phone 435-210-1910	Fax		
Email Address jrichards@nordicvalley.com		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Authorized Representative Contact Information			
Name of Person Authorized to Represent the Property Owner(s) Greg Jensen		Mailing Address of Authorized Person 1391 N 5900 E Eden UT 84310	
Phone 801-791-9104	Fax		
Email Address gjensen@nordicvalley.com		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Property Information			
Project Name Pine Canyon Lodge		Total Acreage	Current Zoning CVR-1
Approximate Address 3497 N Nordic Valley Way Eden UT 84310		Land Serial Number(s) 22-023-0086	
Proposed Use Condominiums & Commercial			
Project Narrative <p>This is a 54 unit condo project with lockout rooms, underground parking, office space and swimming pool. We are seeking a Conditional Use Permit for our building whereas the building's height requires a Conditional Use Permit. The building we are proposing has a total height of 64 feet with a maximum of 54 feet to finished grade.</p> <p>The building pales to the 3000 ft backdrop of the mountain in the background. In addition, the buiding is in fact small compared to it's counterparts at any other ski area in the state which has developed the necessary element of residential real estate. The building is in harmony with the overall community in relation to other resorts and in relation to it's surroundings.</p> <p>The building will be a beautiful structure created in cooperation with several mulit-million dollar home designers. The building has been inspired by the best architecture in Deer Valley and Jackson Hole. The building's exterior is a combination of natural wood and stone with no use of visible synthetic material with the exeption of use of materials found most friendly to the enviroment.</p>			

Basis for Issuance of Conditional Use Permit

That the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well being of the community:

Nordic Valley Ski Resort has long been an Ogden Valley Icon. It has the potential to become one of the best ski areas in the state and a crown jewel of Weber County. Nordic Valley hires over 220 seasonally and 50 people year round with the average job annual position paying over \$50K per year with benefits. With events sponsored by Nordic Valley, such as the Balloon Festival, it has been a major factor in community business support, jobs, tourism, recreation and the like, all bringing in much needed revenue to local business while supporting our community in jobs and economic dollars.

Nordic Valley is not fiscally sound which creates a danger to the job base in the community as well as a potential eyesore in the shape of a potential abandon ski area. In order to continue operation, the Ski Area needs the complement of basic development. Not unlike Alta or Park City, Nordic Valley does not make its revenue on ski passes. In the past several years, the resort has not made a profit, and has in fact lost hundreds of thousands of dollars while struggling to stay open. This is evidenced by bankruptcies and bank ownership. Like other ski resorts in the state and all over the world, what we are proposing to do at Nordic Valley is not out of the norm, in fact it is out of the norm to have a ski area with no commercial or residential development. Real estate and commercial development is the economic engine of ski areas, and those elements create jobs for the community, revenue for the community, and security for the long term health of the development and the communities that surround it.

Our request for conditional use for Pine Canyon Lodge helps to ensure the security and longevity at Nordic Valley Ski Resort, thus securing hundreds of local jobs, and in fact creating even more full time non-seasonal jobs in the area. The request for CUP also ensures that seasonal and other year round events the community has enjoyed, will continue. Pine Canyon Lodge will bring a permanent customer base to Nordic Valley and help ensure it's future for decades to come. This is a foundation that is not experimental, but proven at ski areas all over the world.

That such use will not, under the circumstances of the particular case and the conditions imposed, be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complimentary to the existing surrounding uses, buildings and structures when considering traffic generation, parking, building design and location, landscaping and signs:

Whereas we have not requested anything that is out of the norm for a ski area other than the height of our proposed building is much lower than that of a typical residential building at a ski area, and whereas we are not blocking the views of surrounding properties, and whereas creating such building replaces much older structures and a utility yard, the proposed building is a huge improvement to that which currently exists on the same property. It is proven that such structures are in no way detrimental to the safety or general welfare of the community, but in fact provide additional fire suppression, a security element from both natural and man made hazards, and an attentive general population to assists in monitoring the surrounding areas. This building will also have a commercial element open the the public for restroom use, emergency communication and the like.

Whereas this will be located at a ski area, it is common and traditional to have such structures to compliment the existing business and therefor the surrounding uses. The building is located at the base of a 3000 vertical foot backdrop (the mountain) which causes the proposed building to pail in comparison to its surroundings. The lodge style is complimentary to its location and the landscaping which exists and will be added to further compliment the building and blend it into the natural surroundings.

The parking for the structure will be underground and will pose no visual impact, the traffic generated by this building will be largely seasonal and with only 54 residence hardly noticeable whereas the traffic becomes stationary once the residence is occupied. In comparison with the existing traffic during the ski season, the full time parking for the residence will ease the burden of traffic coming and going to the resort.

That the proposed use will comply with the regulations and conditions specified in this Ordinance for such use:

The proposed building and use is in harmony with the regulations and conditions specified. We have retained the services of Reeve and Associates to assure that this use will comply with all regulations allowed within the conditional use guidelines.

That the proposed use conforms to the goals, policies and governing principles and land use of the General Plan for Weber County:

By developing this structure, we begin the process of beautifying the surrounding area and creating a true destination in Weber County which is in direct correlation with the general plan. This will be the first ski area in Weber County to offer an overnight stay to its customers and thus we become a destination "town center" style project in an area (Nordic Valley) which has been identified as an ideal location to create such a center.

That the proposed use will not lead to the deterioration of the environment or ecology of the general area, nor will produce conditions or emit pollutants of such a type or of such a quantity so as to detrimentally effect, to any appreciable degree, public and private properties including the operation of existing uses thereon, in the immediate vicinity of the community or area as a whole:

The proposed project and use will reverse several decades of neglect to the surrounding environment and the ecology in the general area. The project will introduce large amounts of new living landscape and put measures in place that better control water runoff, retention, and the like. In addition, with the development of this building, we also develop a complimentary complete sewer line stretching all the way to the Wolf Creek Sewer District. With this line in place, we will also connect the existing structures at the ski area as well as several surrounding homes thus removing several septic systems in the area, which systems have been identified by the state and the county as detrimental to the nitrate levels in Pineview and the surrounding area. Thus by approving this CUP the County begins the process of reducing nitrate levels contributed in the immediate vicinity and to the community as a whole, ensuring better storm water control, and creating accountability in the area over such.

As said, the building will be a beautiful structure created in cooperation with several multi million dollar home designers. Please note the accompanying rendering of the building on location. The building has been inspired by successful projects in the French alps, the best architecture in Deer Valley and Jackson Hole. The building exterior nearly 100% natural with a combination of natural wood and stone with no use of visible synthetic material with exception of use of materials found most friendly to the environment and visually pleasing.

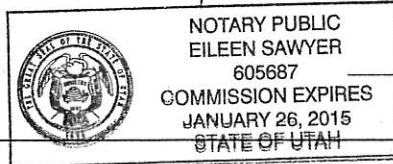
Property Owner Affidavit

I (We), Joshua Richards, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

[Signature]
(Property Owner)

(Property Owner)

Subscribed and sworn to me this 23 day of Oct, 20 14



[Signature]
(Notary)

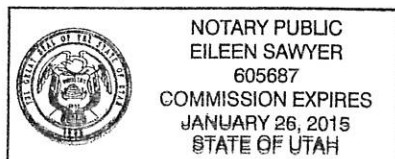
Authorized Representative Affidavit

I (We), Joshua Richards, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), Eileen Sawyer, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

[Signature]
(Property Owner)

(Property Owner)

Dated this 23 day of Oct, 20 14, personally appeared before me Joshua Richards, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.



[Signature]
(Notary)



PINE CANYON CONDOMINIUMS

NORDIC VALLEY, UTAH

PINE CANYON CONDOMINIUMS

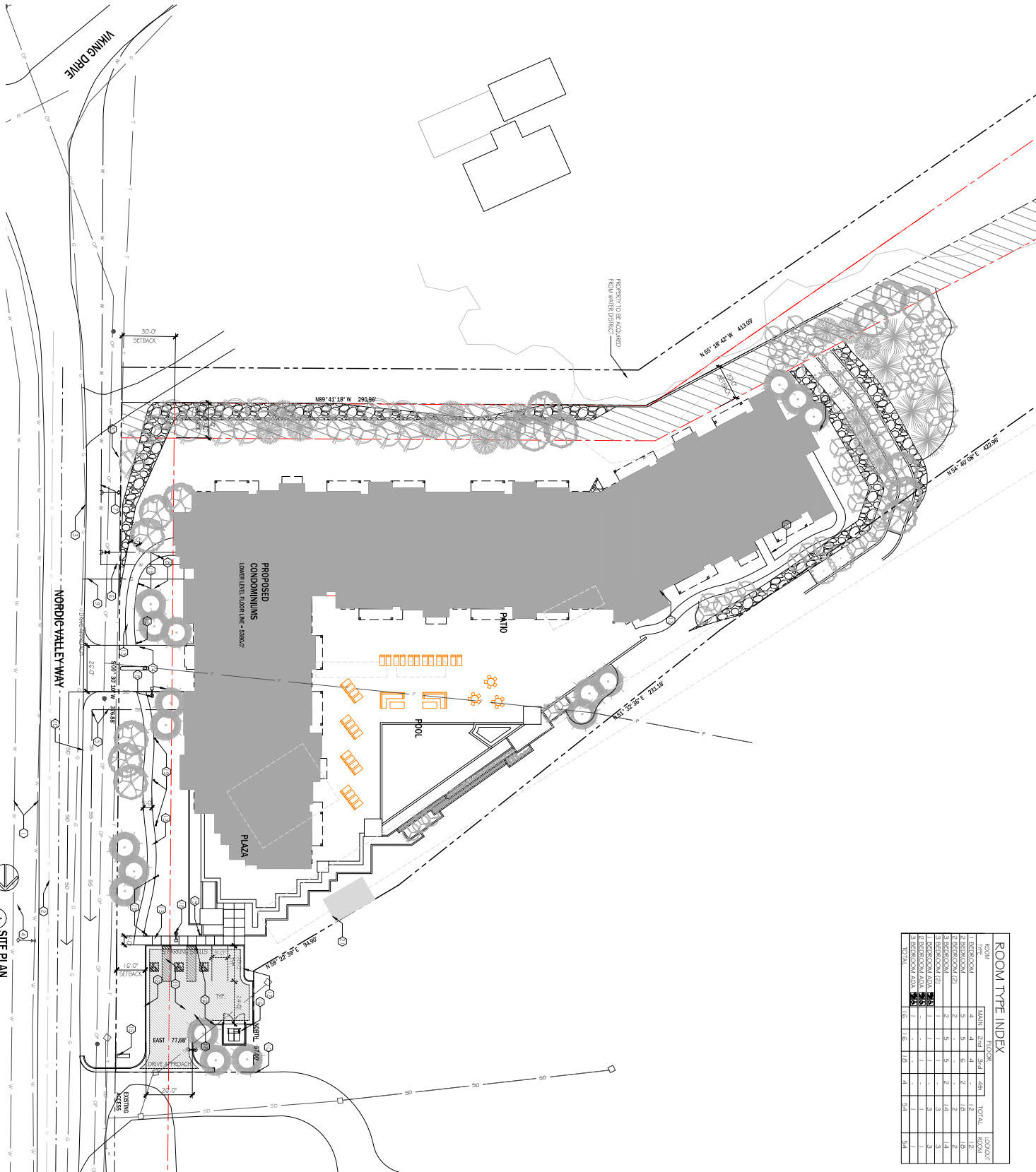
2803 NORDIC VALLEY WAY,
EDEN, UTAH 84310

DESIGN DEVELOPMENT
10 / 23 / 2014



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A-3350 SIXTEEN HUNDRED-FOUR LEVEL 1000 FLOOR PLAN	
A-3360 SIXTEEN HUNDRED-FIVE LEVEL 1000 FLOOR PLAN	
A-3370 SIXTEEN HUNDRED-SIX LEVEL 1000 FLOOR PLAN	
A-3380 SIXTEEN HUNDRED-SEVEN LEVEL 1000 FLOOR PLAN	
A-3390 SIXTEEN HUNDRED-EIGHT LEVEL 1000 FLOOR PLAN	
A-3400 SIXTEEN HUNDRED-NINE LEVEL 1000 FLOOR PLAN	
A-3410 SEVENTEEN HUNDRED LEVEL 1000 FLOOR PLAN	
A-3420 SEVENTEEN HUNDRED-ONE LEVEL 1000 FLOOR PLAN	
A-3430 SEVENTEEN HUNDRED-TWO LEVEL 1000 FLOOR PLAN	
A-3440 SEVENTEEN HUNDRED-THREE LEVEL 1000 FLOOR PLAN	
A-3450 SEVENTEEN HUNDRED-FOUR LEVEL 1000 FLOOR PLAN	
A-3460 SEVENTEEN HUNDRED-FIVE LEVEL 1000 FLOOR PLAN	
A-3470 SEVENTEEN HUNDRED-SIX LEVEL 1000 FLOOR PLAN	
A-3480 SEVENTEEN HUNDRED-SEVEN LEVEL 1000 FLOOR PLAN	
A-3490 SEVENTEEN HUNDRED-EIGHT LEVEL 1000 FLOOR PLAN	
A-3500 SEVENTEEN HUNDRED-NINE LEVEL 1000 FLOOR PLAN	
A-3510 EIGHTEEN HUNDRED LEVEL 1000 FLOOR PLAN	
A-3520 EIGHTEEN HUNDRED-ONE LEVEL 1000 FLOOR PLAN	
A-3530 EIGHTEEN HUNDRED-TWO LEVEL 1000 FLOOR PLAN	
A-3540 EIGHTEEN HUNDRED-THREE LEVEL 1000 FLOOR PLAN	
A-3550 EIGHTEEN HUNDRED-FOUR LEVEL 1000 FLOOR PLAN	</

Exhibit B-1 Site Plan



ROOM TYPE INDEX		ROOM FLOOR				TOTAL ROOM
TYPE	ROOM	1st fl.	2nd fl.	3rd fl.	4th fl.	
1	BEDROOM	5	4	4	-	12
2	BEDROOM	5	4	5	2	15
3	BEDROOM (2)	2	-	-	2	2
4	BEDROOM	2	5	5	2	14
5	BEDROOM (2)	1	1	1	-	3
6	BEDROOM	1	1	1	-	3
7	BEDROOM ADA	1	-	-	-	1
8	BEDROOM ADA	1	-	-	-	1
TOTAL		16	15	19	4	54

SITE PLANNING NOTES.

1. DESIGN OF WATER MAIN (HARDENED)
2. DESIGN OF WATER MAIN (HARDENED)
3. DESIGN OF WATER MAIN (HARDENED)
4. DESIGN OF WATER MAIN (HARDENED)
5. DESIGN OF WATER MAIN (HARDENED)
6. DESIGN OF WATER MAIN (HARDENED)
7. DESIGN OF WATER MAIN (HARDENED)
8. DESIGN OF WATER MAIN (HARDENED)
9. DESIGN OF WATER MAIN (HARDENED)
10. DESIGN OF WATER MAIN (HARDENED)
11. DESIGN OF WATER MAIN (HARDENED)
12. DESIGN OF WATER MAIN (HARDENED)
13. DESIGN OF WATER MAIN (HARDENED)
14. DESIGN OF WATER MAIN (HARDENED)
15. DESIGN OF WATER MAIN (HARDENED)
16. DESIGN OF WATER MAIN (HARDENED)
17. DESIGN OF WATER MAIN (HARDENED)
18. DESIGN OF WATER MAIN (HARDENED)
19. DESIGN OF WATER MAIN (HARDENED)
20. DESIGN OF WATER MAIN (HARDENED)

[illegible]

OWNER: OWNER'S NAME

PROJECT: NORDIC VALLEY DEVELOPMENT

LOCATION: ~~2803~~ ³⁵⁶⁷ NORDIC VALLEY WAY, EDEN, UTAH 84310

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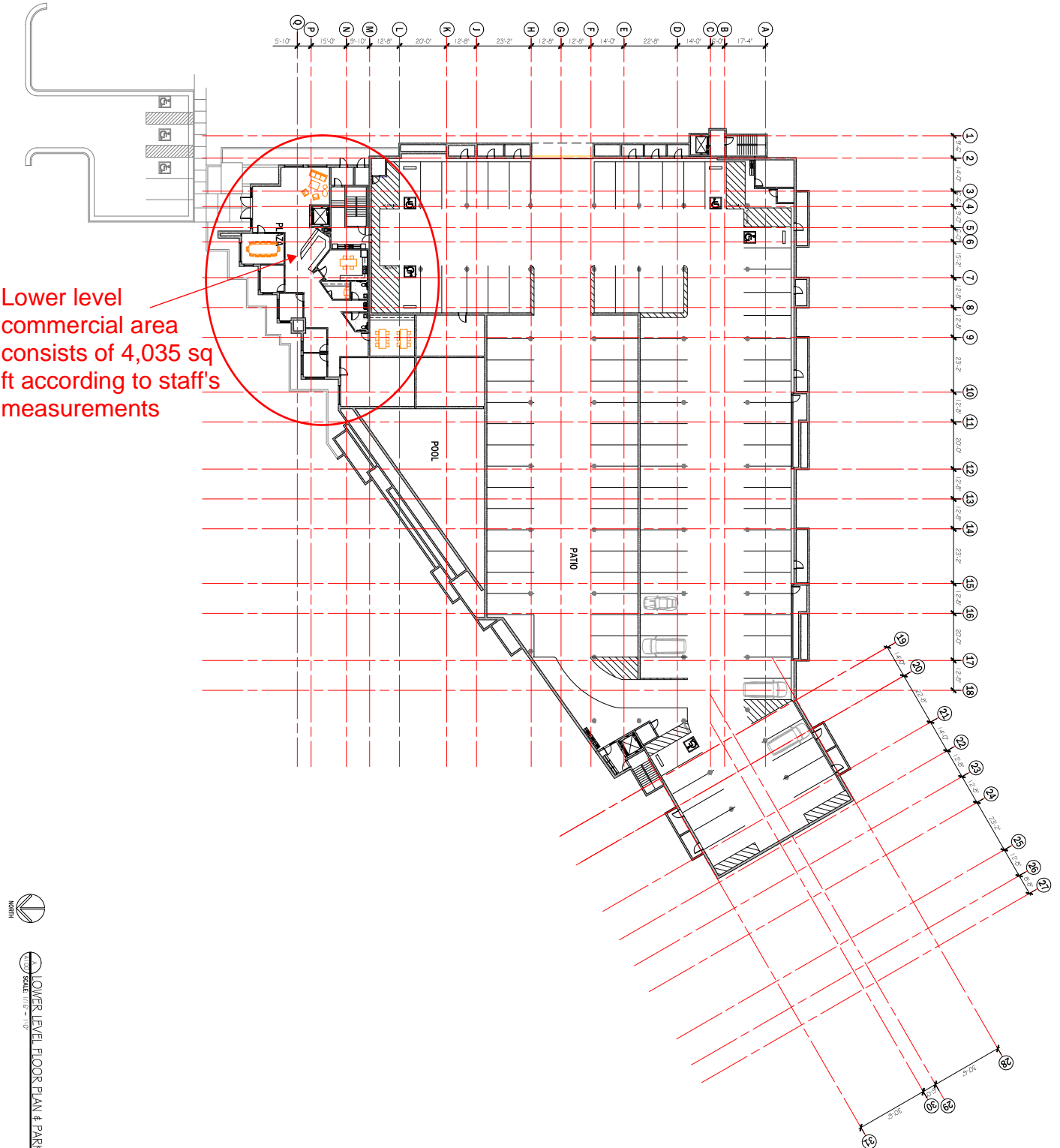
SITE PLAN

SHEET NUMBER:

DATE: 11/20/14

Exhibit B-2: Lower Level Floor Plan & Parking

Lower level commercial area consists of 4,035 sq ft according to staff's measurements



LOWER LEVEL FLOOR PLAN & PARKING
SCALE 1/8" = 1'-0"

DATE: 11/20/14
SHEET NUMBER: A100
LOWER LEVEL FLOOR PLAN & PARKING

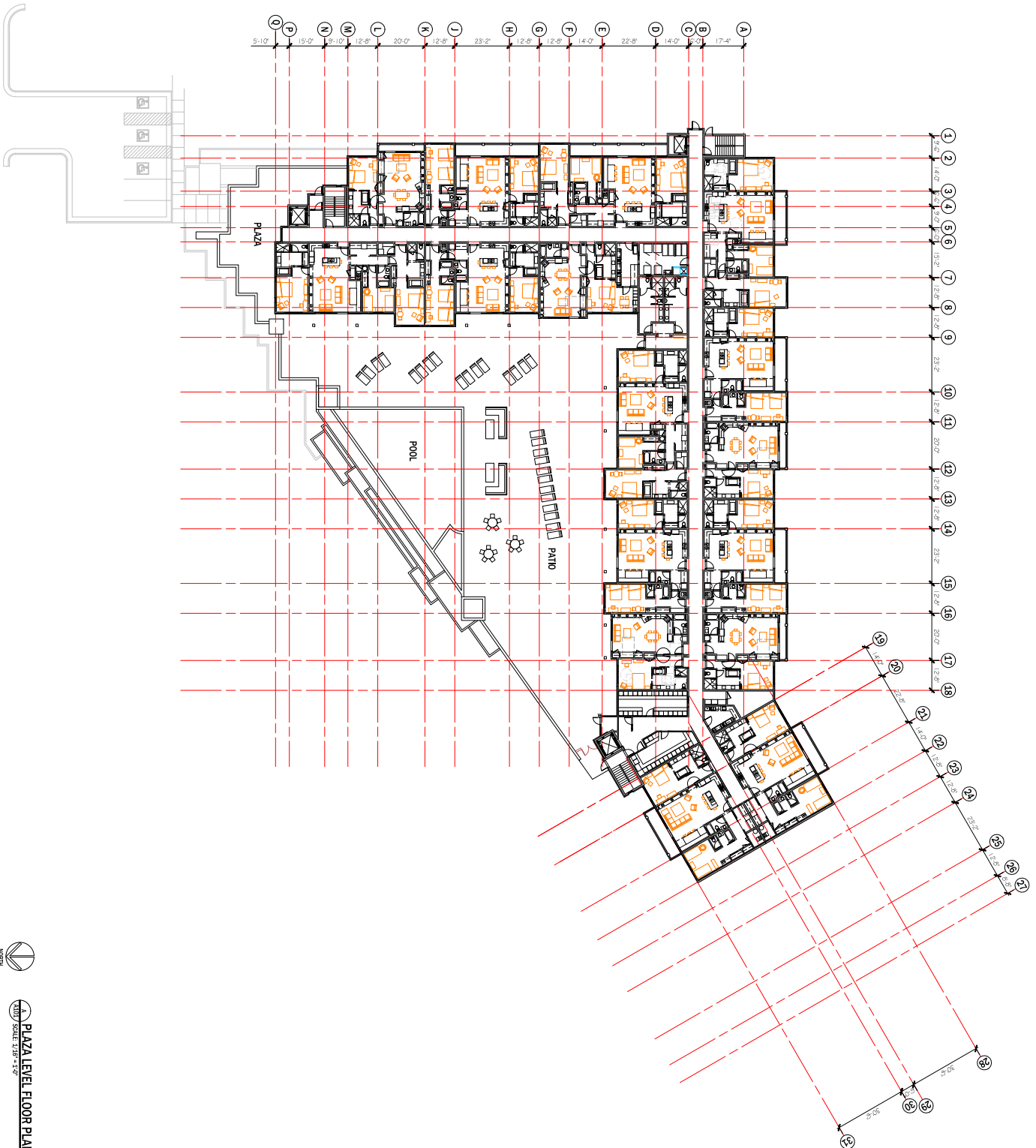


OWNER: PINE CANYON LODGE, INC.
PROJECT: PINE CANYON CONDOMINIUM
LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310
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REVISIONS:
REVISION NO. 1
DATE 11/20/14
DRAWN BY: JVO
CHECKED BY: JVO



Exhibit B-3: Plaza Level Floor Plan



PLAZA LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"

SHEET NUMBER:
A101
DATE: 11/20/14



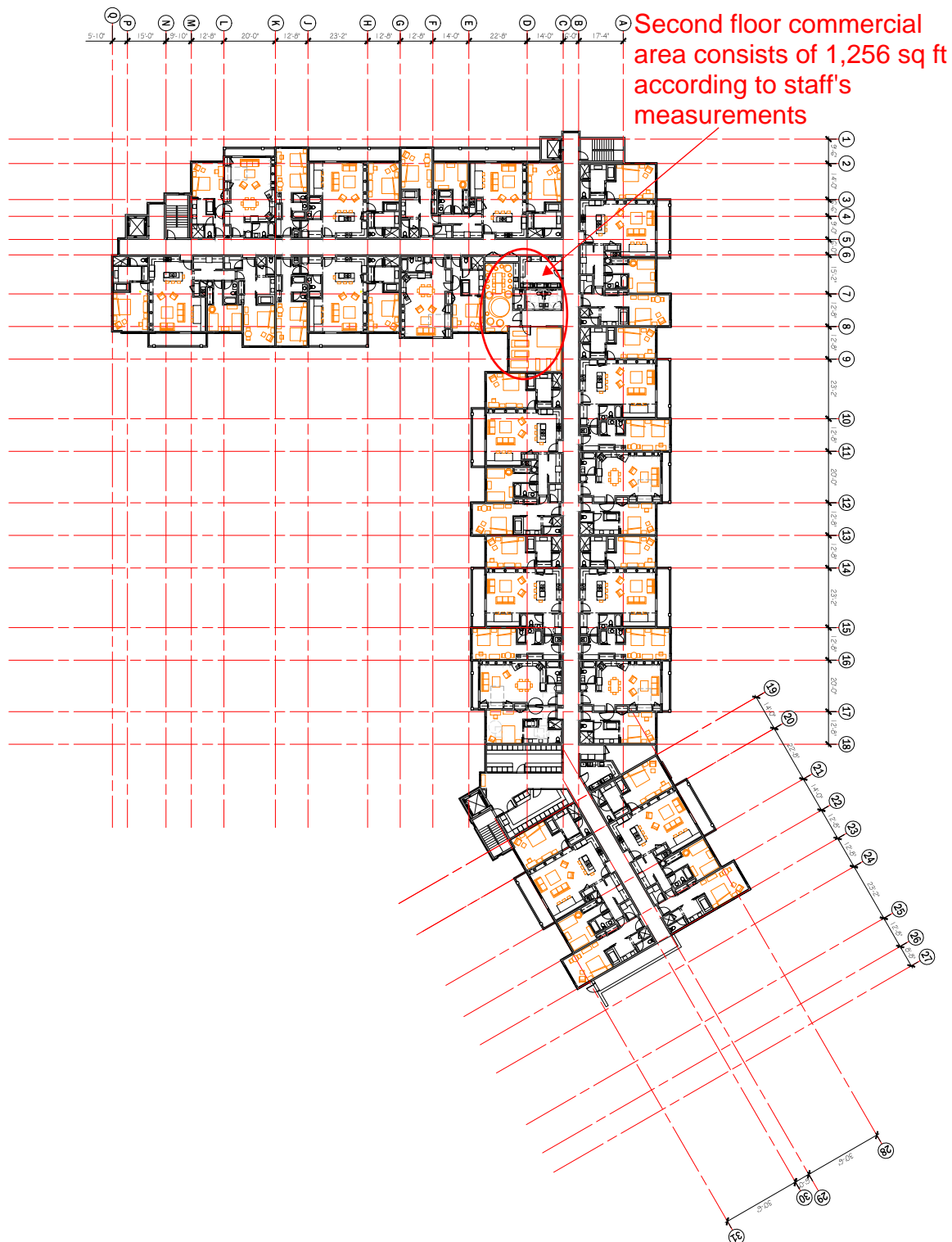
OWNER: PINE CANYON LODGE, INC.
PROJECT: **PINE CANYON CONDOMINIUM**
LOCATION: **2638** NORDIC VALLEY WAY, EDEN, UTAH 84310

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REVISIONS	DATE	BY	CHKD



Exhibit B-4: Second Level Floor Plan



SECOND LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"

DATE: 11/20/14

SHEET NUMBER:
A102

SECOND LEVEL
FLOOR PLAN



OWNER: PINE CANYON LODGE, INC.

PROJECT: **PINE CANYON CONDOMINIUM**

LOCATION: **3567 NORDIC VALLEY WAY, EDEN, UTAH 84310**

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REVISIONS:

PROJECT NO.

DATE

BY

NO

CHANGED BY

NO

vanZEBEN

ARCHITECTURE

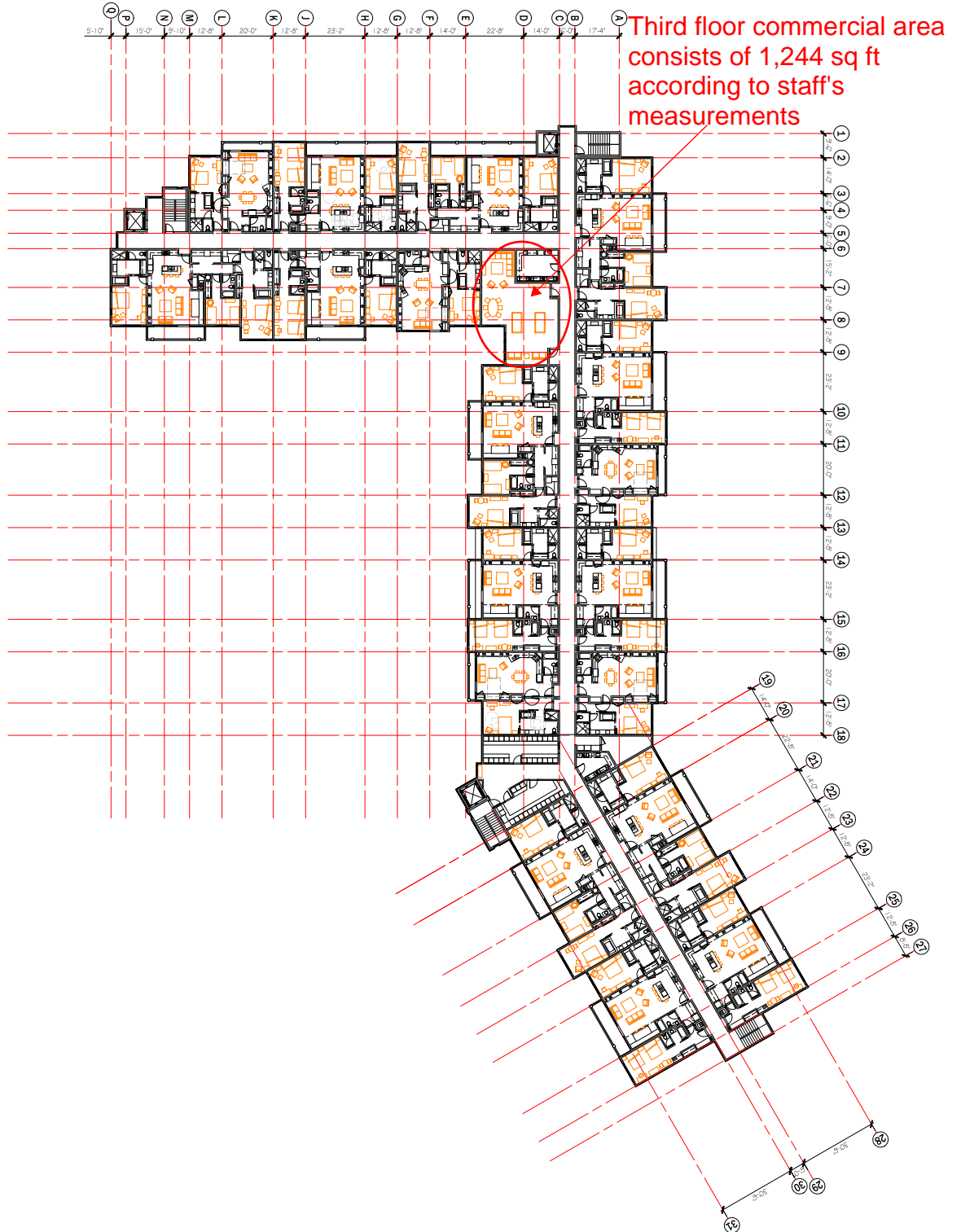
INC.

10000

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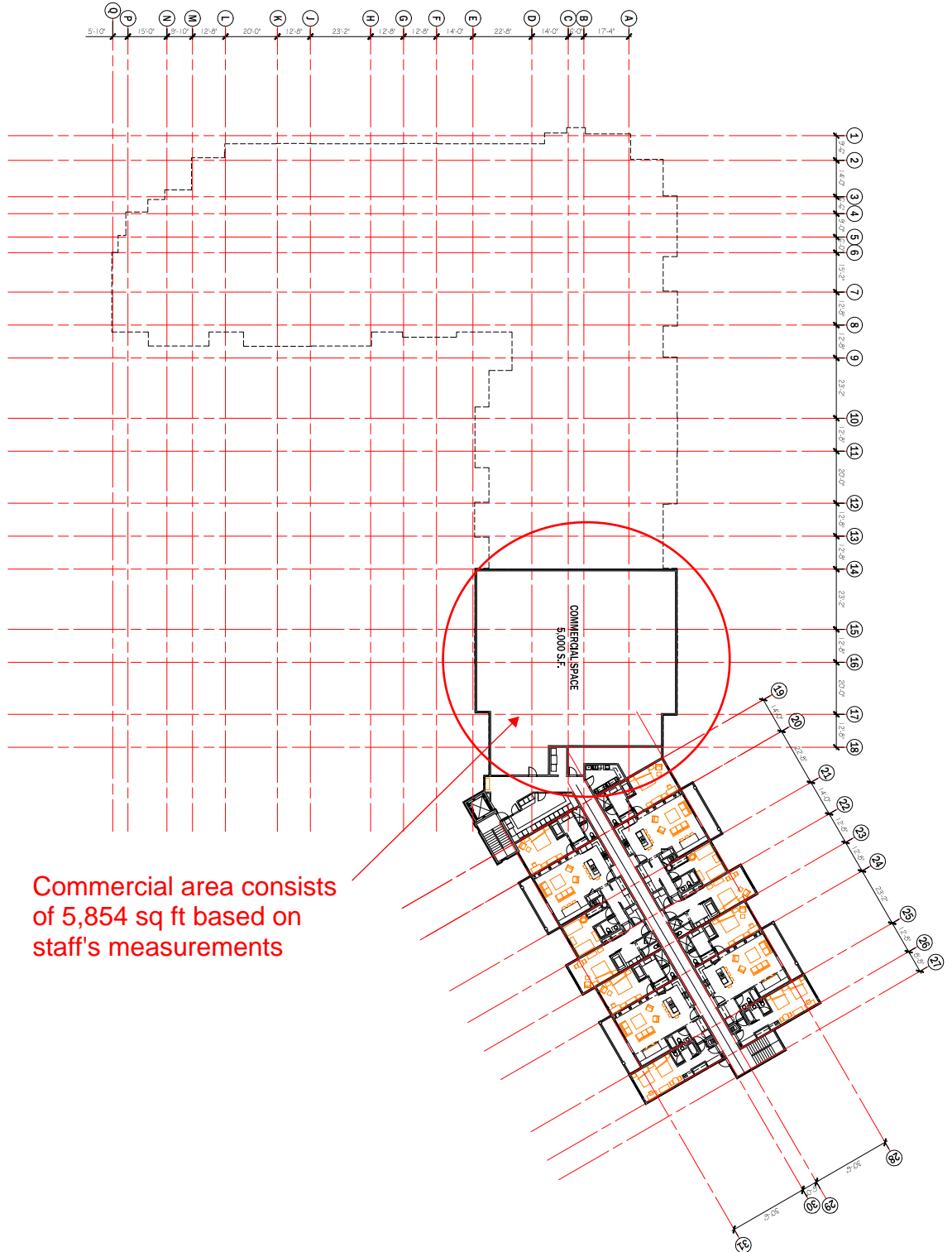
Exhibit B-5: Third Level Floor Plan



THIRD LEVEL FLOOR PLAN



Exhibit B-6: Fourth Floor Plan



Commercial area consists of 5,854 sq ft based on staff's measurements



FOURTH LEVEL FLOOR PLAN



Exhibit C-Architectural Elevations



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

DATE: 10/12/14

SHEET NUMBER:
A202

BUILDING
ELEVATIONS



OWNER: PINE CANYON LODGE, INC.

PROJECT: **PINE CANYON CONDOMINIUM**

LOCATION: **3567** ~~2805~~ NORDIC VALLEY WAY, EDEN, UTAH 84310

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REVISIONS:

DESIGNED BY:

CHECKED BY:

DATE:

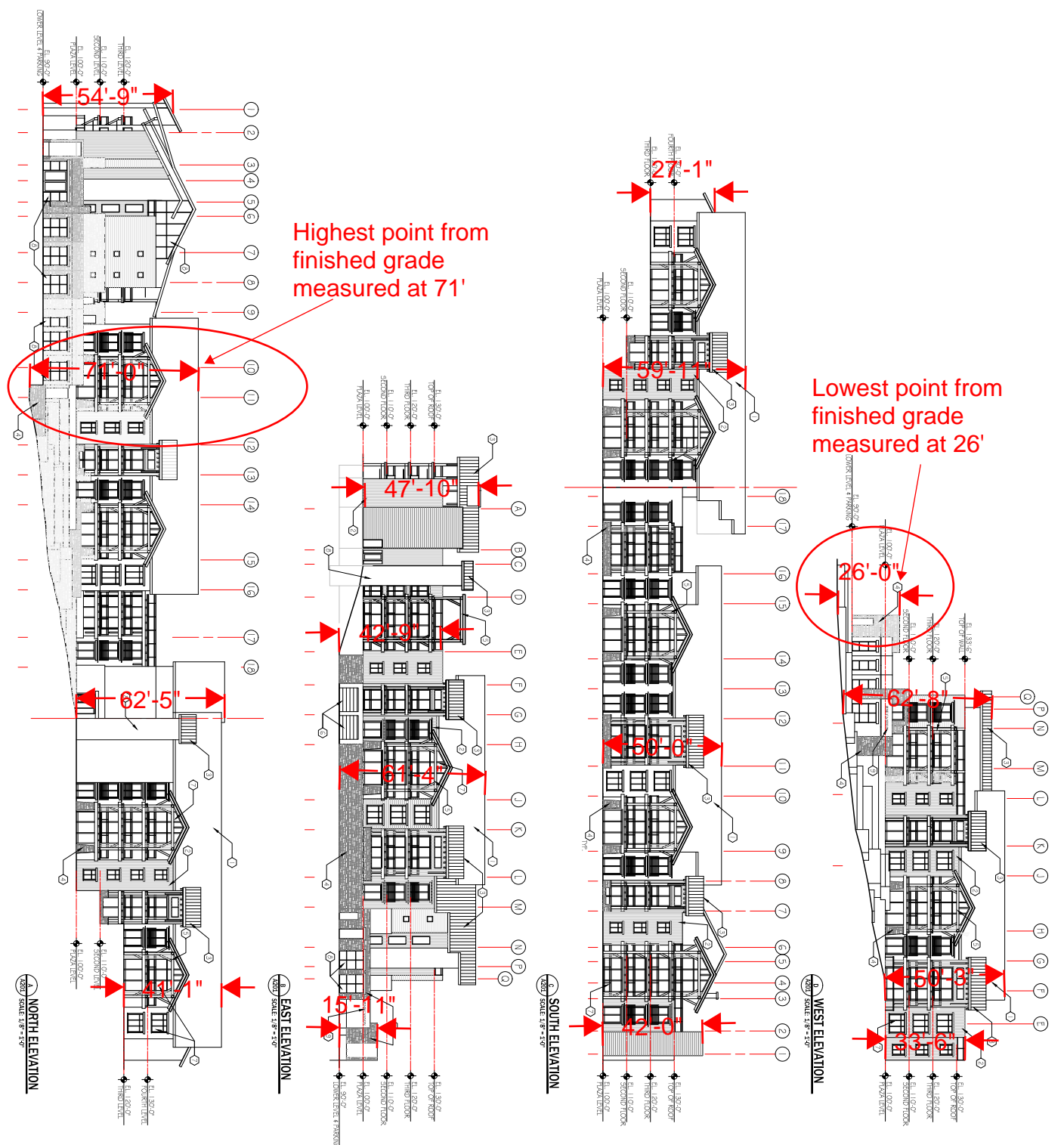
10/12/14

vanZeeb
ARCHITECTURE, INC.

3567 Nordic Valley Way
Eden, Utah 84310

vanZeeb
ARCHITECTURE, INC.

Exhibit C-1: Exterior Building Elevations

[illegible]

Architectural elevation drawing of a building facade. The drawing includes the following annotations:

- 12'-9"**: Height from existing ground to the top of the roof.
- 60'-7"**: Total height from existing ground to the top of the ridge.
- Average building height**: Overall height of the building.
- TOP OF RIDGE**: The highest point of the roof.
- TOP OF EAVE**: The highest point of the eaves.
- TOP OF ROOF**: The highest point of the roof structure.
- EXISTING GROUND**: The ground level on the left side of the drawing.

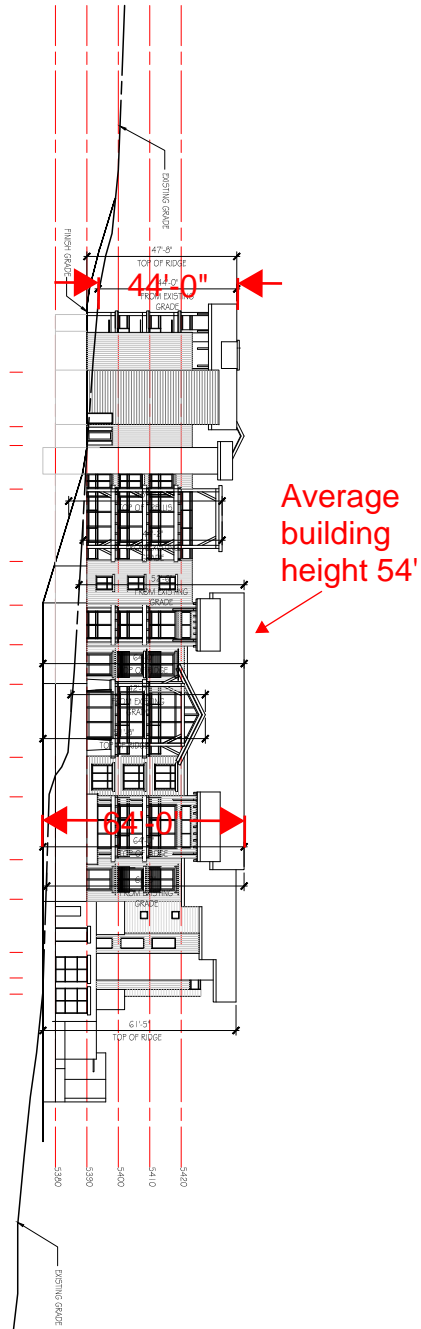
Average building height 37'

EAST TO WEST GRADE SECTION
A
A301 SCALE 1/16" = 1'-0"

EXISTING GRADE
FINISH GRADE



————— DOWLING GRADE
————— FINISH GRADE



Average
building
height 54'

-64'-0"-

Combined average building height 45'5"



Exhibit D- Water "Will-Serve Letter"

Nordic Mountain Water Inc.

Pine Canyon Lodge Inc.
54-Unit Pine Canyon Condominium Complex
Liberty, Utah 84310

Ref: Reservation Service Agreement

Nordic Mountain Water Inc. (NMWI) agrees to provide water for to the 54-unit Pine Canyon Lodge Inc. Condominium Complex under the following Terms and Conditions:

- (1) A 10% Non-refundable deposit is required on the total number of connections reserved multiplied by the current Infrastructure Fee per unit rounded up to nearest full unit. (i.e. 54-units X 10% = 5.4 rounded up to 6 units)
 - a. Reservation of Service is guaranteed for one year at the Infrastructure Fee rate in affect on the date this Reservation Service Agreement is signed by both NMWI and its representatives.
 - b. Options after one year are:
 - i. Pay outstanding balance of total Infrastructure Fees outlined in paragraph c.
 1. A monthly Stand-by fee is in affect thereafter until physical water connection is made. Currently, the standby fee is \$20/condo per month and is subject to change.
 - ii. Forfeit Reservation, deposit is non-refundable, Service Agreement is nullified.
 - iii. Renegotiate this Reservation Service Agreement at the discretion of NMWI. Previous deposits will continue to be credited to balance due while this service agreement is valid.
 - c. Details
 - i. Total Connections 54 condominiums
 - ii. Total Infrastructure Fee is \$405,000 based on 54 units X \$7,500 per unit
 - iii. Initial required non-refundable deposit is \$45,000 based on 6 units @ \$7,500 each
 - iv. Final payment of \$360,000 due 1 year from date this agreement is signed by both parties and the full deposit is paid.
 - v. Monthly charge per condominium (at completion):
 1. \$51.25 based on \$37+\$14.25 for up to 7,500 gals/month.
 2. Overages will be charged incrementally per 1000 gallons for usage exceeding 7,500 gallons – TBD.
 3. Monthly rate guaranteed for 1 year from date this agreement is signed.
 - d. Restrictions
 - i. Any Home Owners Association (HOA) organized by Pine Canyon Condominium Complex or Pine Canyon after this agreement is in place cannot include any culinary water provided by NMWI.
 - ii. No extensions to the water system developed for the Pine Canyon Condominium Complex that includes water provided by NMWI will be allowed beyond the initial 54-condominium units.
 - iii. Pine Canyon cannot resale, manage, restrict, or charge any additional fees for water provided by NMWI under any circumstance.



Exhibit D- Water "Will-Serve Letter"


- iv. The 5-unit Pine Canyon Condominium Complex is considered to have one voting membership in NMWI.
- (2) Developer pays all costs including required modifications to existing NMWI infrastructure necessary to provide NMWI water to this condominium complex. In addition, the resulting water line extension design and all associated construction is subject to the following:
- Must meet all State, County, and County Fire District Specifications and requirements
 - Must meet Water System Specifications as identified by NMWI
 - All waterline construction must be inspected and approved by NMWI or its identified Agent during all water system construction and/or modification.
 - NMWI will take possession of the modified portion of the system at the time of completion.
 - Developer will provide a warranty bond to cover costs of the modification during construction and for 1 year following completion of modifications or from date NMWI takes possession, whichever date is later.
- (3) NMWI uses a gravity-flow distribution system. Since an engineering study has not been completed for the proposed Pine Canyon Condominium complex, NMWI cannot guarantee adequate water pressure.
- (4) This agreement is a good faith effort by NMWI and contains terms and conditions as set forth by the NMWI board of directors, however, it may be subject to change pending review by NMWI legal counsel.

If these conditions are acceptable, please submit the appropriate deposit and sign this agreement. We also require purchase of one Membership (see item d paragraph iv) in NMWI at the current rate of \$300 at the time the Infrastructure Fees are paid. If you have any questions, please feel free to contact Bill Green at (801) 791-3976 anytime or through our NMWI office.

Sincerely,

Bill D. Green
President
Nordic Mountain Water

Agreement of Addendum of October 9, 2014:
Pine Canyon Representative:

 Date: 10-16-14
Josh Richards


Agreement of Addendum of October 9, 2014:
Nordic Mountain Water, Inc. Representative:

 Date: 10/16/2014
Bill D. Green

Addendum of October 9, 2014:

It is agreed that upon signature of Agreement of Terms above by both parties, this agreement is valid subject to NMWI receiving \$45,000 deposit on or before Oct. 21, 2014. If said deposit is not received by Oct. 21, 2014 this agreement shall become null and void.

Agreement of Addendum of October 9, 2014:
Pine Canyon Representative:

 Date: 10-16-14
Josh Richards

Agreement of Addendum of October 9, 2014:
Nordic Mountain Water, Inc. Representative:


 Date: 10/16/2014
Bill D. Green

Exhibit E- Sewer "Will-Serve Letter"



Wolf Creek Water and Sewer Improvement District

P.O. Box 658
3632 N. Wolf Creek Dr.
Eden, Utah 84310
(801) 745-3435
Fax (801) 745-3454

October 7, 2014

Pine Canyon Lodge, Inc.
Attention: Jackson Stevens

Subject: Nordic Valley Area Wastewater Treatment Request

Wolf Creek Water and Sewer Improvement District (WCWSID) on 7 October, 2014 this letter is to notify Pine Canyon Lodge, Inc. that WCWSID has the waste water capacity and CAN and WILL serve 56 additional sewer connections from the Nordic Valley Area as requested.

Pine Canyon Lodge, Inc. will be responsible for all associated costs for all required engineering, impact fees, construction drawings, piping installation and all permit approval cost for delivering waste water to the WCWSID treatment plant as approved by WCWSID. Specific terms and conditions to be negotiated in a separate agreement.

Wolf Creek Water and Sewer Improvement District

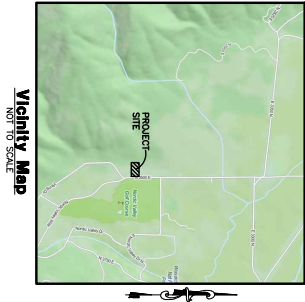
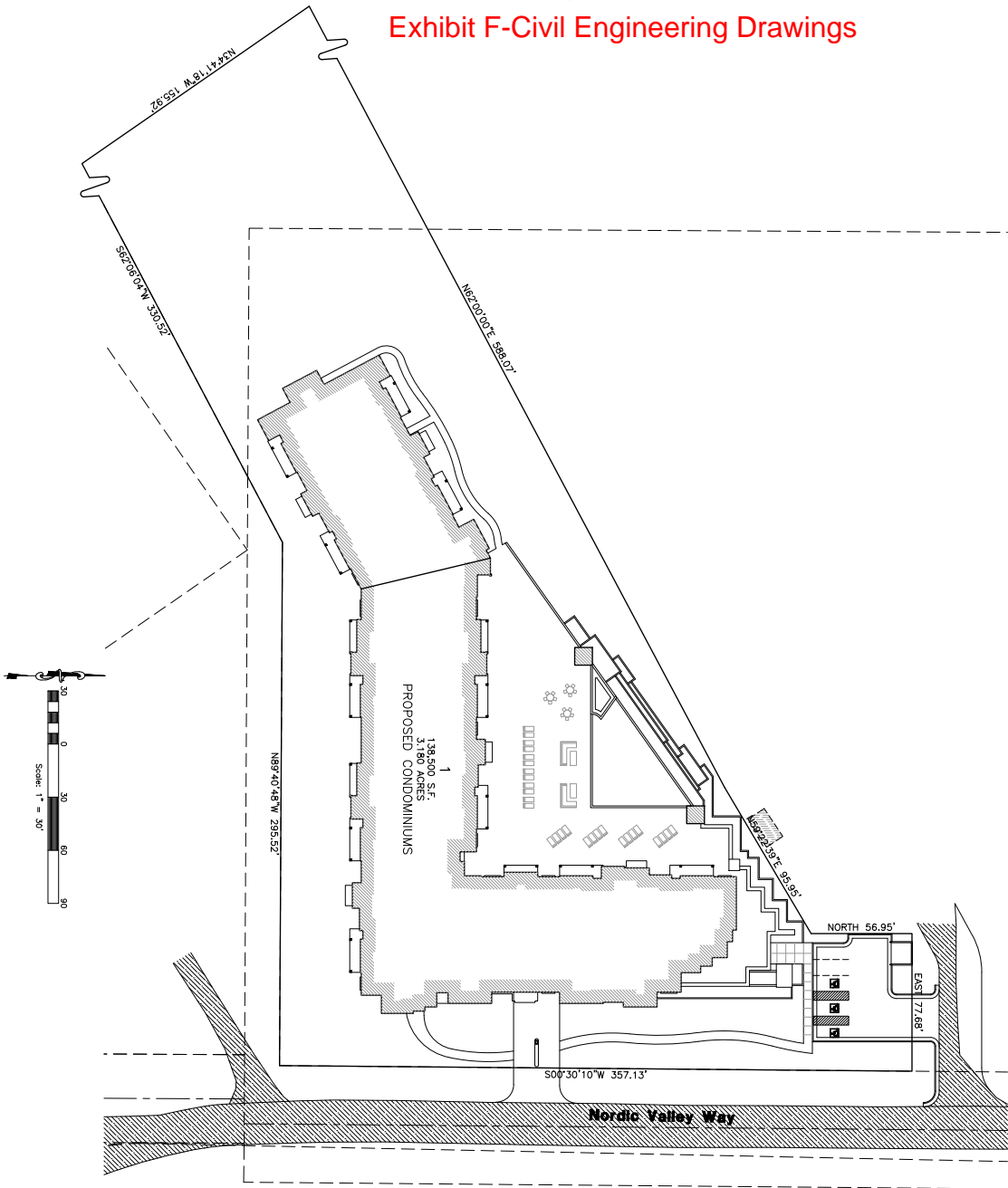
A handwritten signature in cursive script, appearing to read "Robert Thomas", written over a horizontal line.

Robert Thomas, General Manager

PINE CANYON CONDOMINIUMS

Site Plans
EDEN, WEBER COUNTY, UTAH
OCTOBER 2014

Exhibit F-Civil Engineering Drawings



- Sheet Index**
- Sheet 1 - Cover/Index Sheet
 - Sheet 2 - Notes & Legend Sheet
 - Sheet 3 - Existing Site Plan
 - Sheet 4 - Demolition Plan
 - Sheet 5 - Proposed Site Plan
 - Sheet 6 - Grading Plan
 - Sheet 7 - Utility Plan
 - Sheet 8 - Storm Water Pollution Prevention Plan Exhibit
 - Sheet 9 - Storm Water Pollution Prevention Plan Details

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES, OR ANY OTHER OBSTRUCTIONS, ARE NOT SHOWN ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND MARK ALL SUCH UTILITIES AND OBSTRUCTIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND OBSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND OBSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND OBSTRUCTIONS.

Developer Contact:

Greg Jensen / Development Coordinator
Nordic Valley Ski Resort
2980 North Highway 162
Eden, UT 84301
PH: (801) 731-9104

Call Toll Free

1-800-862-4111

two working days before you dig

Revised: 11-21-14

Pine Canyon Condominiums

EDEN, WEBER COUNTY, UTAH

Cover/Index Sheet



Project Info:

Engineer: GREG JENSEN, P.E.
Owner: R. HANSEN
Prep Date: FEBRUARY 8, 2014
Name: PINE CANYON
CONDO SITE PLAN
Number: 0387-201

REVISIONS	
DATE	DESCRIPTION
11-21-14 RH	Architect Changes



Reeve & Associates, Inc.

800 CHAMBERS STREET, SUITE 14, EDEN, UTAH 84301
TEL: (801) 621-3100 FAX: (801) 621-3066 www.ra-inc.com
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

General Notes:

- ### Utility Notes:

- ## **Erosion Control General Notes:**

- Maintenance:**

- EXPOSED SLOPES:

- c) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL E

- ### Legend

-

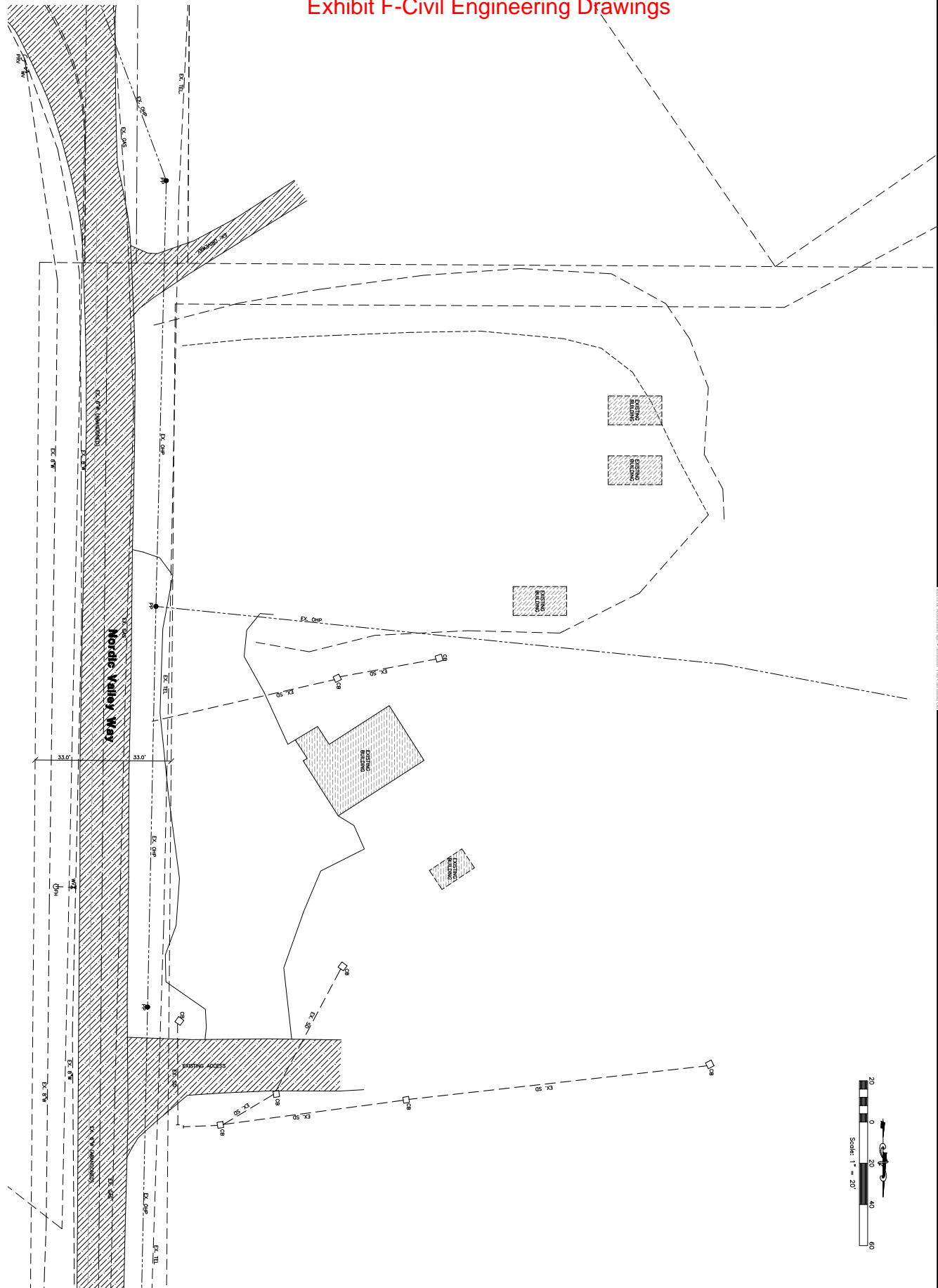


Project Info,
Engineer: J. NATE REEVE, P.E.
Drafter: R. HANSEN
Begin Date: OCTOBER 8, 2014
Name: PINE CANYON CONDOMINIUMS SITE PLAN
Number: 6387-01



Exhibit F-Civil Engineering Drawings

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 820 CHAMBERS STREET, SUITE 114, GORDON, UTAH 84043, AND SHALL NOT BE REPRODUCED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



Revised: 11-21-14

Sheet
3

Sheets
9

Project Info

Engineered by: REEVE, P.E.
Checker: R. HANSEN
Reg. Date: FEBRUARY 8, 2014
Name: PINE CANYON
CONDO SITE PLAN
Number: 0387-201

Pine Canyon Condominiums

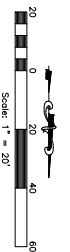
EDEN, WEBER COUNTY, UTAH

Existing Site Plan

REVISIONS	
DATE	DESCRIPTION
11-21-14	RH Architect Changes

Reeve & Associates, Inc.

820 CHAMBERS STREET, SUITE 114, GORDON, UTAH 84043
TEL: (801) 621-3100 FAX: (801) 621-3068 www.reeve-inc.com
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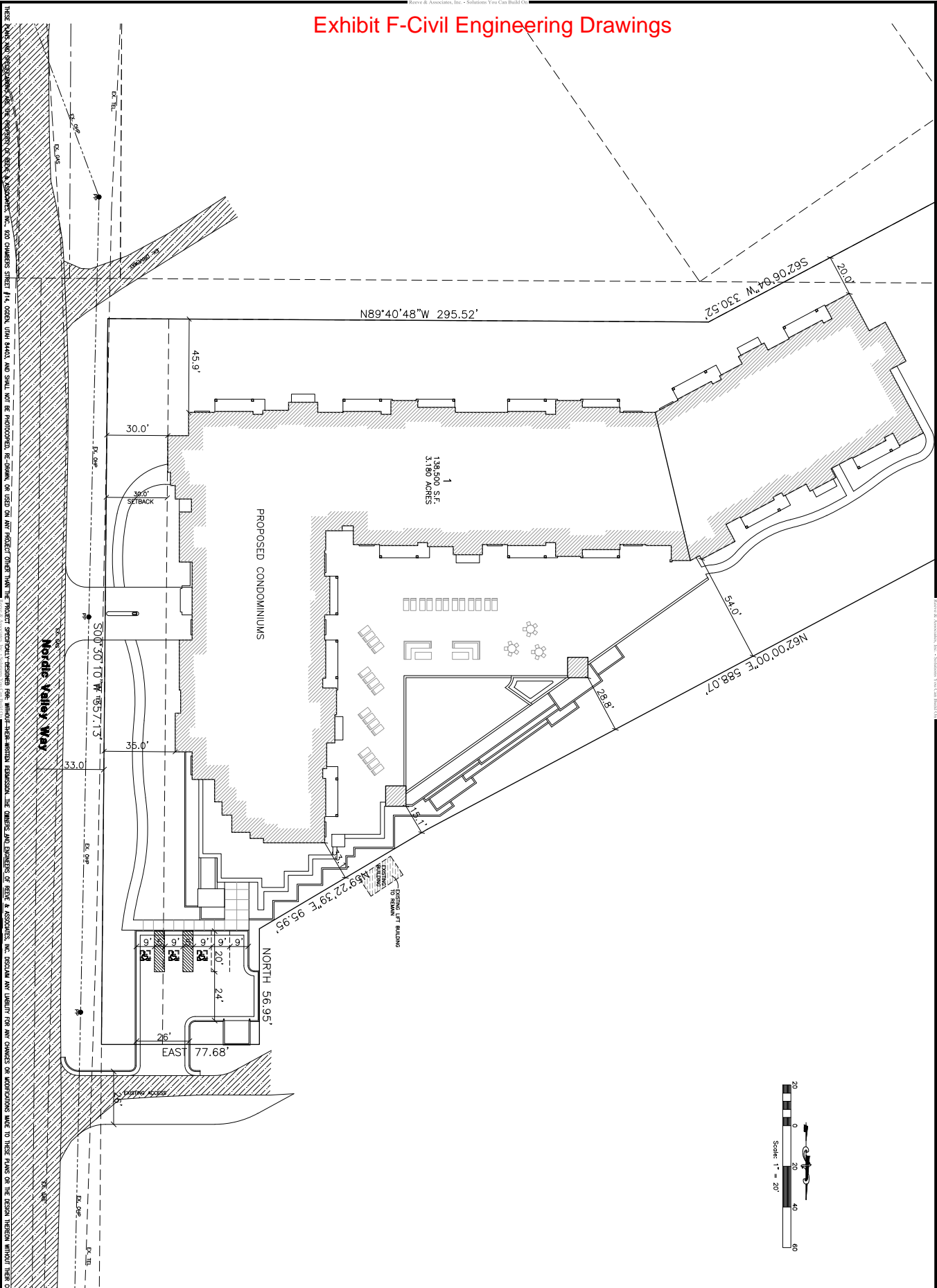
Demolition Plan



Reeve
& Associates, Inc.
 920 CHAMBERS STREET, SUITE 14, OGDEN, UTAH 84403
 TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-ogden.com
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS

Project Info.	
Engineer:	J. NATE REEVE, P.E.
Draftsman:	R. HANSEN
Begin Date:	OCTOBER 8, 2014
Name:	PINE CANYON CONDORNILUMS SITE PLAN
Number:	6.587-01
Sheet	9
4	Sheets

Exhibit F-Civil Engineering Drawings



Revised: 11-21-14

Sheet 9

Sheets

Project Info
Engineer: R. HANSEN, P.E.
Project: PINE CANYON CONDOMINIUMS
Date: 8.2014
Drawing: CONDO SITE PLAN
Number: 0387-2011

Pine Canyon Condominiums
EDEN, WEBER COUNTY, UTAH

Proposed Site Plan

REVISIONS	
DATE	DESCRIPTION
11-21-14	RH Architect Changes

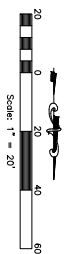
Reeve & Associates, Inc.
801 CHIMNEY STREET, SUITE 114, EDEN, UTAH 84403
TEL: (801) 421-3100 FAX: (801) 421-3068 www.ra-utah.com
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REVISIONS	
DATE	DESCRIPTION
11-21-14 RH	Architect Changes



Project Info.	
Engineer:	J. MAE REDE, P.E.
Draftsman:	R. HANSEN
Begin Date:	OCTOBER 8, 2014
Name:	PINE CANYON CONDOMINIUMS SITE PLAN
Number:	6387-01
Sheet	9
6	Sheets



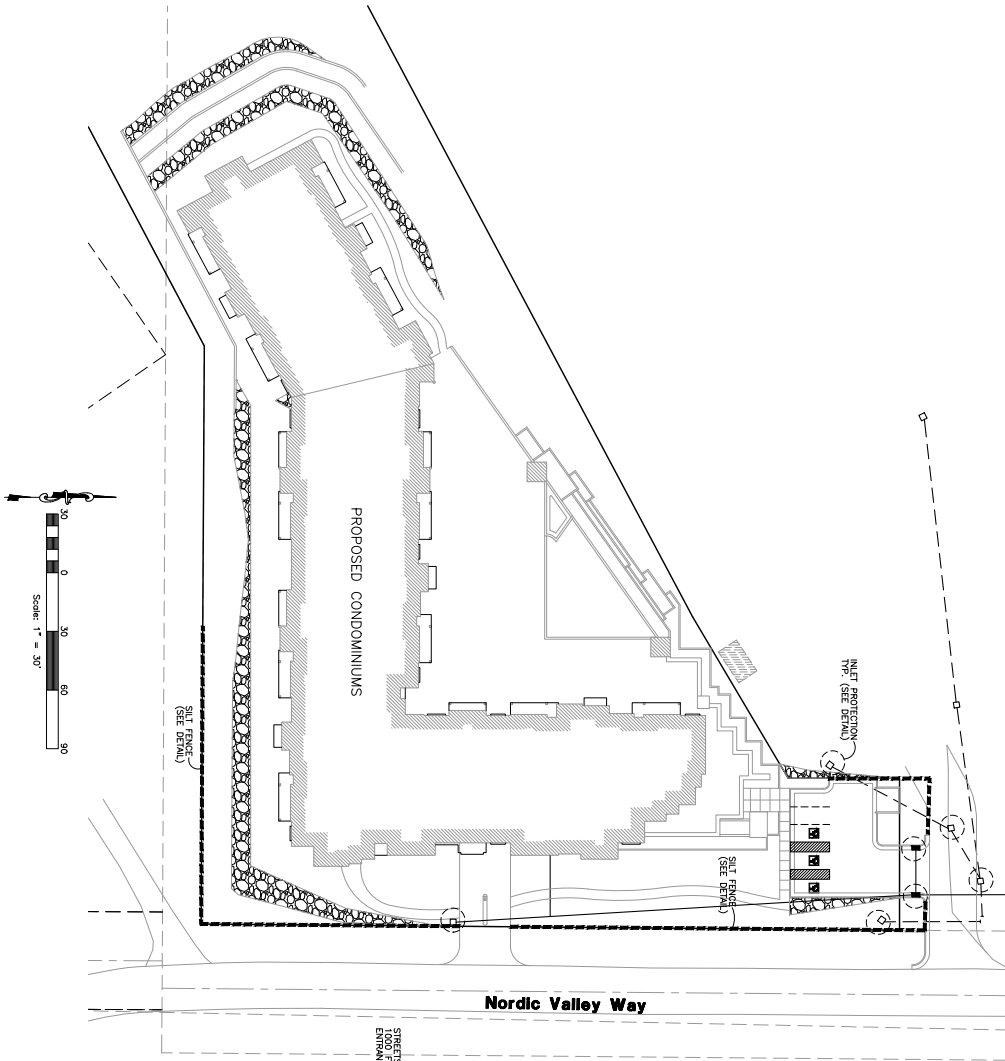
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REVISIONS	
DATE	DESCRIPTION
11-21-14	RH Architect Changes



Sheet	9
7	Sheets

PINE CANYON CONDOMINIUMS
Storm Water Pollution Prevention Plan Exhibit
EDEN, WEBER COUNTY, UTAH
OCTOBER 2014



Construction Activity Schedule

- PROJECT LOCATION: EDEN, WEBER COUNTY, UTAH
- PROJECT START DATE: OCTOBER 2014
- PROJECT END DATE: OCTOBER 2014
- STORM WATER MANAGEMENT CONTACT / INSPECTOR: ANDREW JENSEN (801) 791-9104
- STORM WATER MANAGEMENT SCHEDULE: TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER
- STORM WATER MANAGEMENT SCHEDULE: TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

Revised: 11-21-14



Pine Canyon Condominiums
EDEN, WEBER COUNTY, UTAH
Storm Water Pollution
Prevention Plan Exhibit

DATE	REVISIONS	DESCRIPTION
11-21-14	RH	Architect Changes



Reeve & Associates, Inc.
801 CHAMBERS STREET, SUITE 14, EDEN, UTAH 84403
TEL: (801) 421-3100 FAX: (801) 421-3066 WWW.REEVE-ASSOCIATES.COM
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

Project Info
Engineer: ANDREW JENSEN, P.E.
Draftsman: R. HANSEN
Design Date: OCTOBER 8, 2014
Name: PINE CANYON CONDO SITE PLAN
Number: 0387-201
Sheet 8 of 9

Exhibit F-Civil Engineering Drawings

BASIS OF BEARINGS

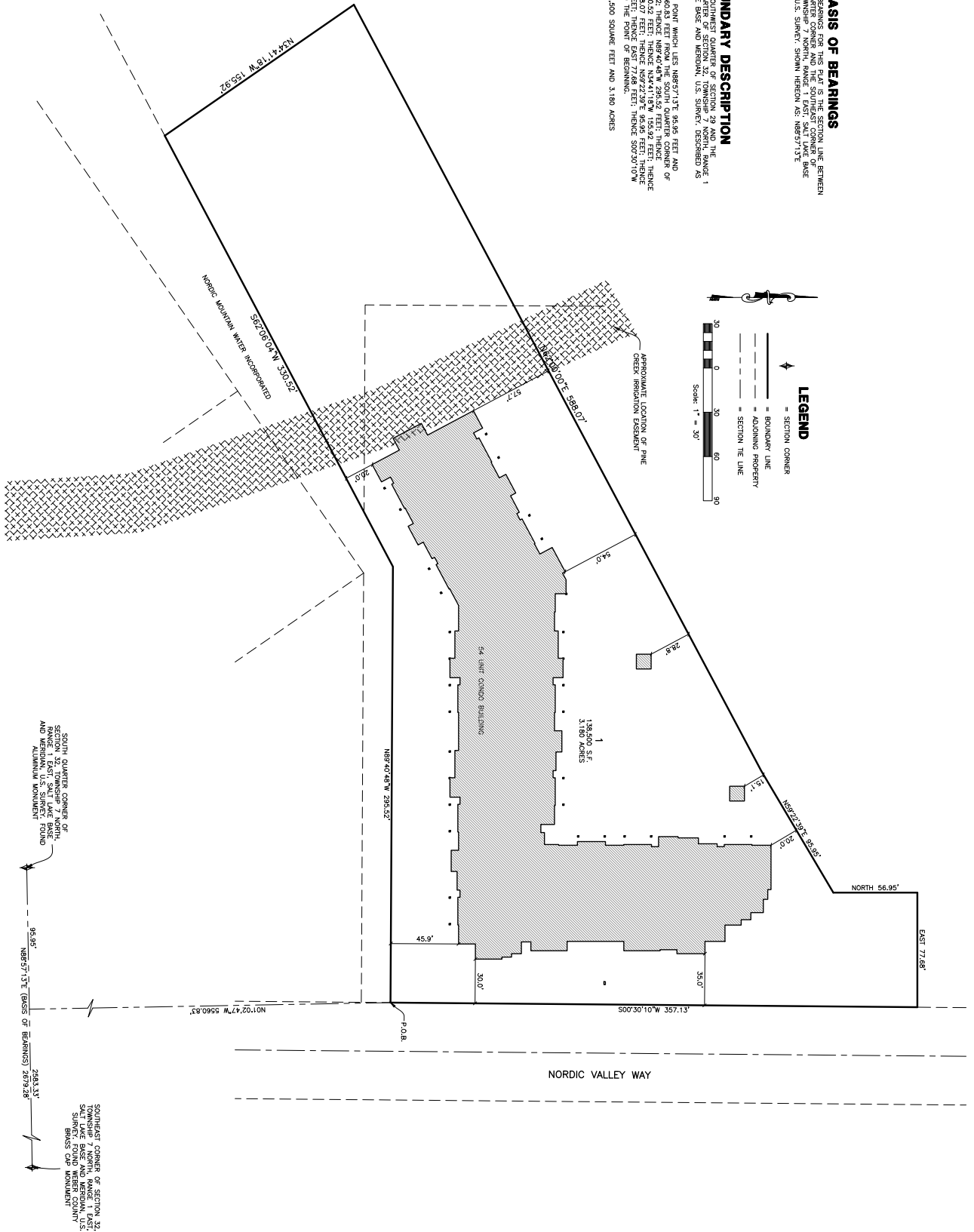
THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE SOUTH QUARTER CORNER AND THE SOUTHEAST CORNER OF SECTION 32, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. SHOWN HEREON AS: N88°57'13"E

BOUNDARY DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 29 AND THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 7 NORTH, RANGE 1 EAST, COUNTY OF GARFIELD, STATE OF UTAH, BEING DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH LIES N86°07'13"E 95.95 FEET AND N01°02'47"W 566.60.83 FEET FROM THE SOUTH QUARTER CORNER OF SECTIONS 29 AND 32; THENCE N86°41'40"E 42.9583 FEET; THENCE S86°07'13"E 95.95 FEET; THENCE N86°07'13"E 95.95 FEET; THENCE N02°00'01"E 586.07 FEET; THENCE N62°22'30"E 95.95 FEET; THENCE N01°02'47"W 566.60 FEET; THENCE EAST 77.68 FEET; THENCE S07°30'10"W 357.13 FEET TO THE POINT OF BEGINNING.

CONTAINING 138,500 SQUARE FEET AND 3.180 ACRES



PRELIMINARY PLAN

WEBER COUNTY, UTAH

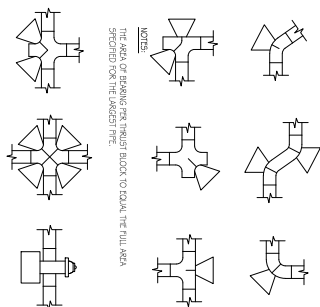
PINE CANYON CONDO - BUILDING 1

REVISIONS	
DATE	DESCRIPTION



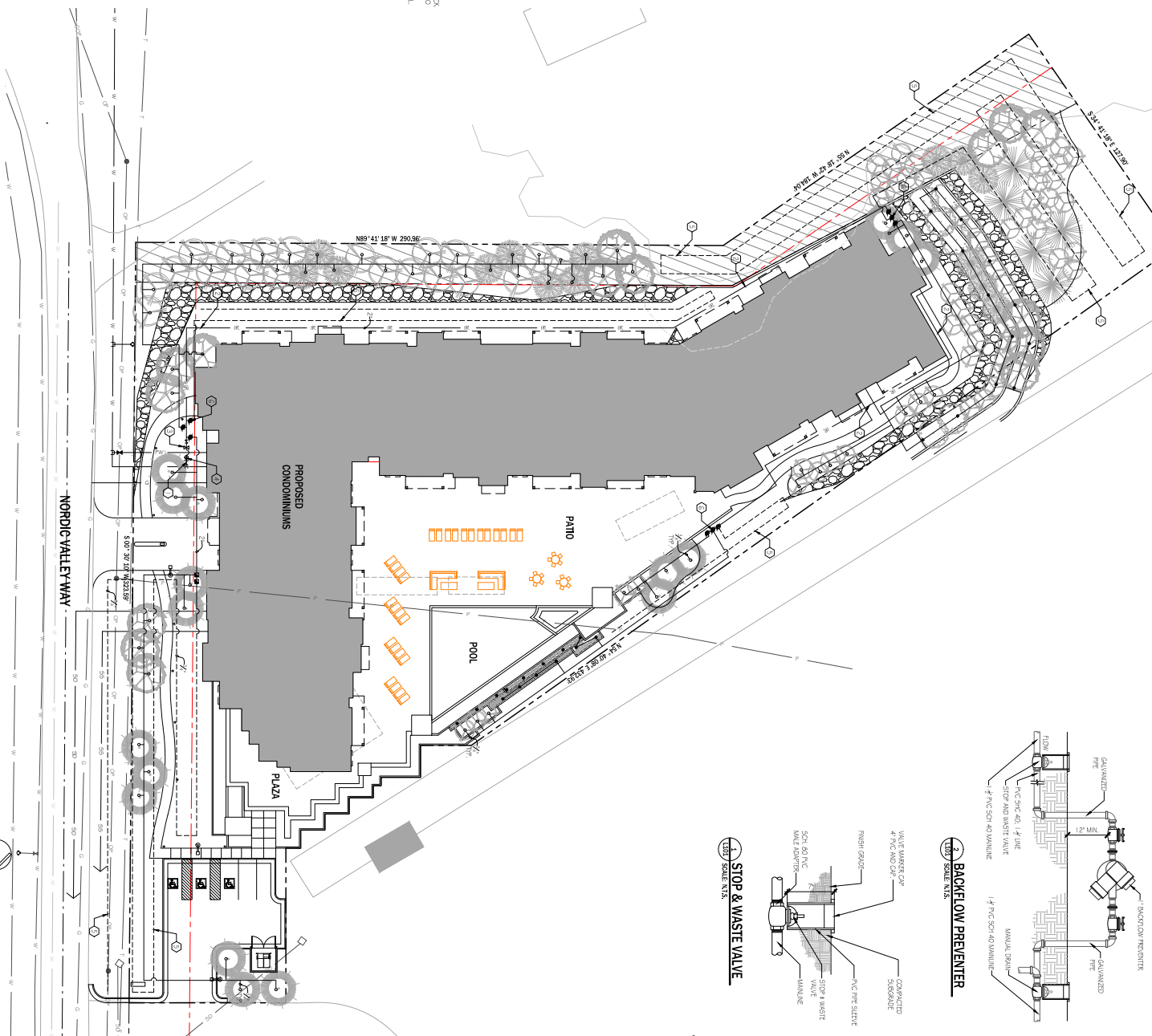
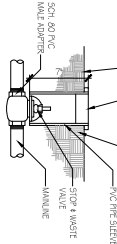
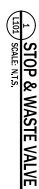
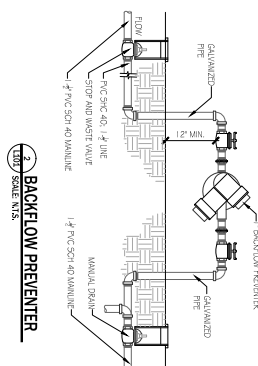
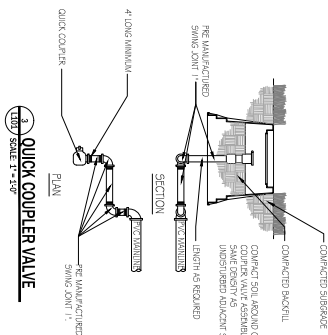
Project info.	
Surveyor:	R. KUNZ
Designer:	N. ANDERSON
Begin Date:	10-10-14
Name:	EXHIBIT NORDIC VALLEY
Scale:	1"=30'
Revision:	11-20-14
Number:	6387-01

Exhibit G-Irrigation Plan



MANUAL BEARING AREA IN SQUARE FEET									
FITTING PILE OR CAP	90° BAND CB955	TIE ON BAND		45° BAND		22.5° BAND		1.25° BAND	
		A1	A2	BAND	BAND	BAND	BAND	BAND	BAND
4	1.4	1.9	1.9	1.4	1.0	1.0	1.0	1.0	1.0
5	2.6	4.0	4.0	2.6	2.1	1.1	1.0	1.0	2.1
6	4.6	6.6	6.6	4.6	3.7	1.9	1.0	1.0	3.6
10	7.3	10.3	10.3	7.3	5.6	2.8	1.4	1.4	5.5

1. CONCRETE THURST BLOCKING TO BE PLACED AGAINST UNDISTURBED EARTH OR STRUCTURAL BLOCK FILL APPROVED BY ARCHITECT.
2. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES
3. ALL BURIED PILING EXCEPT FLAGGED, SCAFFOLD SOCKET WELD PVC OR WELDED STEEL PILE SPECIFIED TO BE PRECAST. PILES SHALL BE PROVIDED WITH CONCRETE THURST BLOCKS AT ALL DIRECTION CHANGES UNLESS OTHERWISE NOTED.
4. THURST BLOCK SHALL NOT BE LOCATED OR SIZED TO DISPLACE ADJACENT PILES OF PILES.



IRRIGATION KEYNOTES:

GENERAL IRRIGATION
NOTES:


- [illegible]

SPRINKLER HEAD LEGEND

DESCRIPTION	RADIUS
11/11	12"
FULL SPRAY	

	HALF SPRAY	12'
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	QUARTER SPRAY	1/2"
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	VARIABLE ARC SPRAY	12'
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△	510P SPRAY	8
△	MULTI SPRAY	8

STOP & WASTE	
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N	BACKFLOW PREVENTER	
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	CONTROLLER	
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	CONTROL VALVE	
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1	SLEEVE	
2	COVER AROUND IT	

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GRAPHIC SCALE

