



BENCHMARK
 NORTHWEST CORNER OF SECTION 27
 TOWNSHIP 7 NORTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4231.00'

THE ORCHARDS AT JDC RANCH PHASES 3A AND 3B

2800 WEST 2600 NORTH STREET
 WEBER COUNTY, UTAH

FOR REVIEW
 NOT FOR CONSTRUCTION

DATE PRINTED
 February 2, 2024

EN SIGN
 THE STANDARD IN ENGINEERING

LAYTON
 919 North 400 West
 Layton, UT 84041
 Phone: 801.547.1100

SANDY
 Phone: 801.255.0529

TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
 NILSON HOMES
 1740 COMBE RD, SUITE 2
 SOUTH OGDEN, UT 84403

CONTACT:
 STEVE ANDERSON
 PHONE: 801.392.8100

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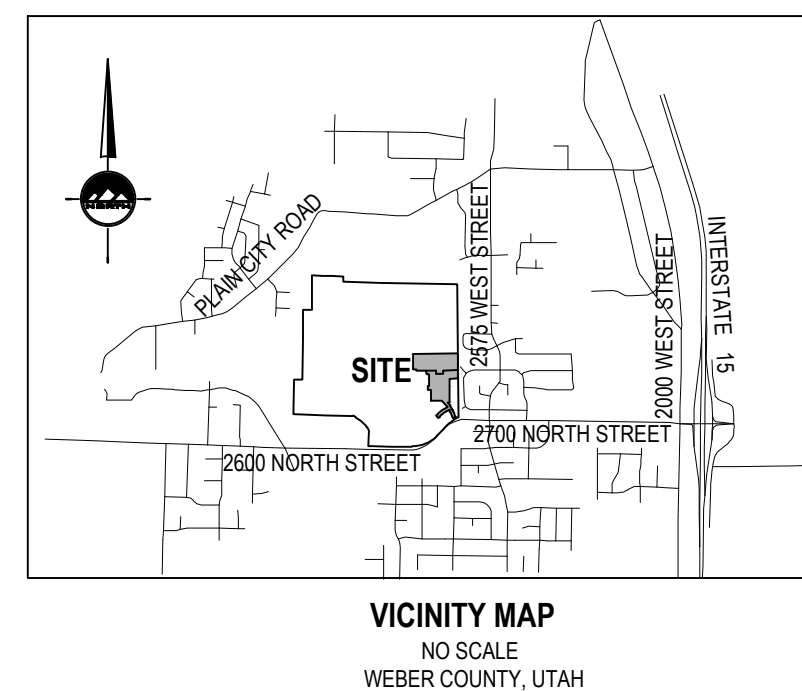
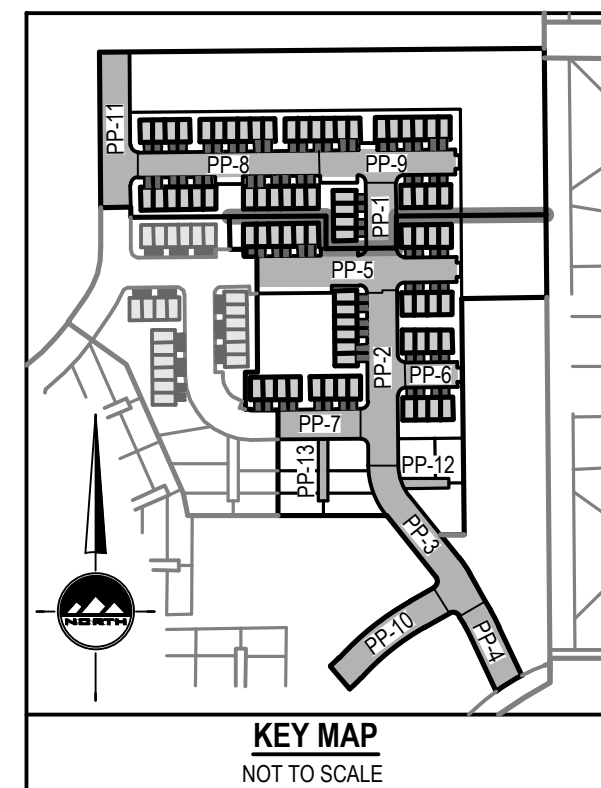
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NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



GENERAL NOTES

1. ALL WORK SHALL CONFORM TO WEBER COUNTY STANDARDS & SPECIFICATIONS.
2. CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

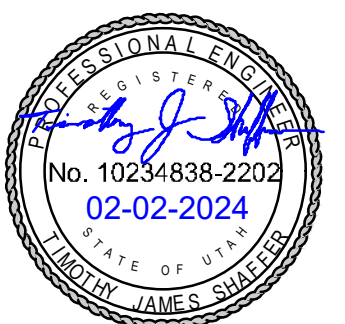
NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE ORCHARDS AT JDC RANCH
 PHASES 3A AND 3B
 2800 WEST 2600 NORTH STREET
 WEBER COUNTY, UTAH



NO. DATE REASON FOR REVIEW

COVER

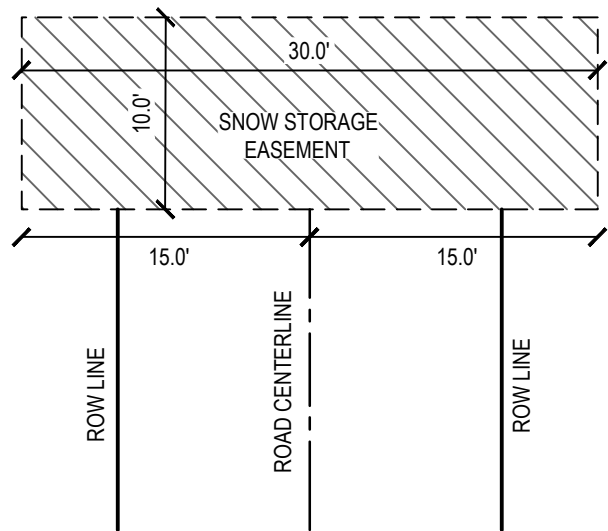
PROJECT NUMBER 9872 PRINT DATE 2024-02-02
 PROJECT MANAGER CP DESIGNED BY TS

THE ORCHARDS AT JDC RANCH PHASE 3A

LOCATED IN THE SOUTHEAST QUARTER SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY, UTAH
JANUARY 2024

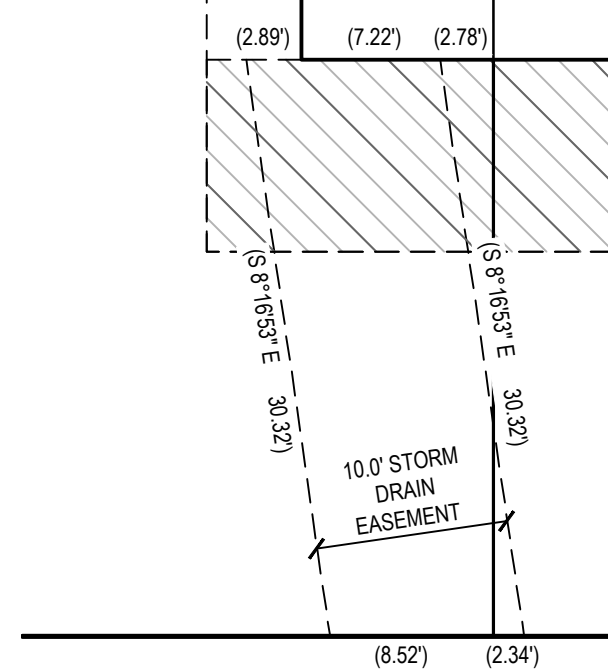
GENERAL NOTES:

- PROPERTY IS WITHIN RESIDENTIAL OVERLAY ZONE.
 - FRONT YARD SETBACK IS 20' FROM PUBLIC RIGHT OF WAY
 - REAR YARD SETBACK IS 10'
 - SIDE YARD SETBACK IS 5' TOTAL
 - ADJACENT TO RIGHT OF WAY IS 10'
- ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (P.U.&D.E) ARE 10' FRONT FROM PUBLIC RIGHT OF WAY, 5' FROM PRIVATE DRIVEWAY.
- OPEN SPACE A, B AND C ARE TO BE OWNED AND MAINTAINED BY THE ORCHARDS AT JDC RANCH HOMEOWNERS ASSOCIATION.
- UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.
- 5/8" x 24" REBAR AND CAP WILL BE PLACED AT ALL REAR LOT CORNERS AND FRONT CORNERS WILL BE MARKED WITH A NAIL OR RIVET AT THE EXTENSION IN THE CURB.
- PROTECT ALL EXISTING SECTION CORNERS AND STREET MONUMENTS. COORDINATE ALL SURVEY STREET MONUMENT INSTALLATION, GRADE ADJUSTMENT, AND ALL REQUIRED FEES AND PERMITS WITH THE COUNTY SURVEYOR PRIOR TO DISRUPTION OF ANY EXISTING MONUMENTS.
- THE LOWEST FLOOR ELEVATION WILL NOT BE LOWER THAN ELEVATION 42.11 FT.



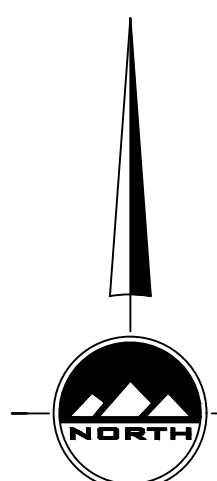
SNOW STORAGE EASEMENT TYPICAL DETAIL

SCALE: NONE

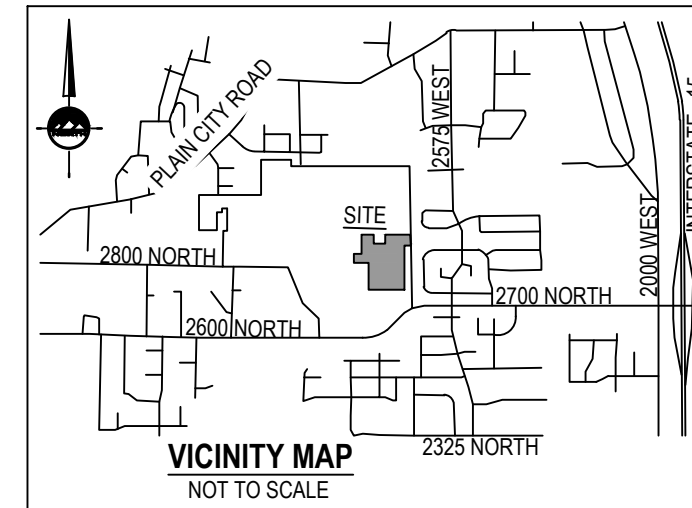
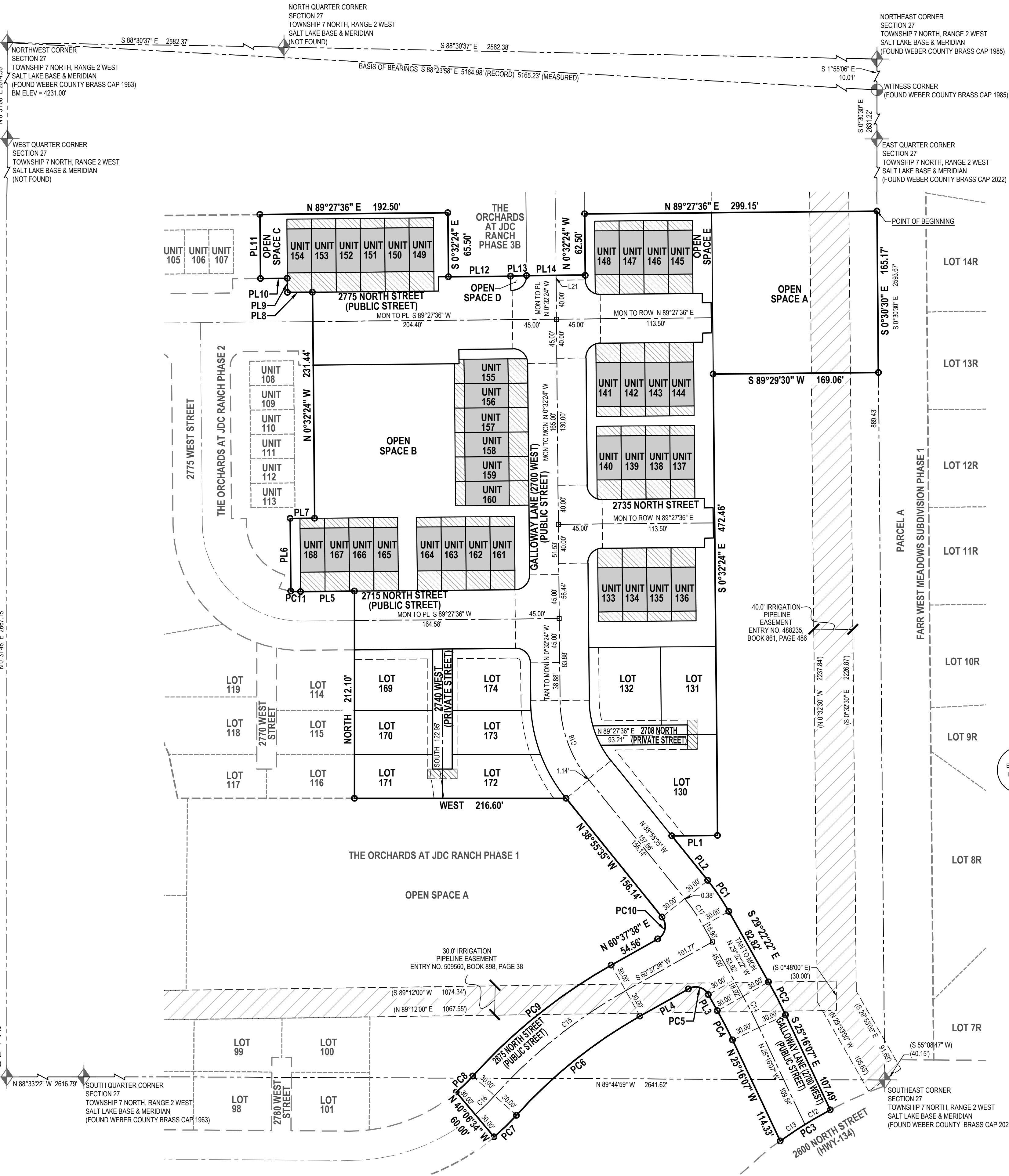
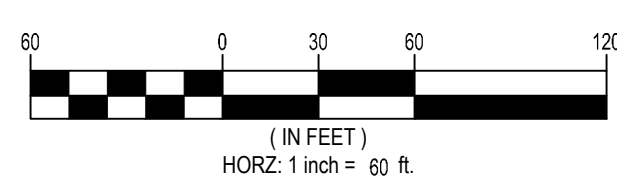


STORM DRAIN EASEMENT

SCALE: 1" = 10'



HORIZONTAL GRAPHIC SCALE



PROPERTY CURVE TABLE



PROPERTY LINE TABLE



LEGEND

	SECTION CORNER
	WITNESS CORNER
	PROPOSED STREET MONUMENT
	SET 5/8" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENSGN ENG. & LAND SURV."
	SECTION LINE
	SECTION TIE LINE
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CENTERLINE
	ADJACENT CENTERLINE
	RIGHT OF WAY
	ADJACENT RIGHT OF WAY
	LOT LINE
	ADJACENT LOT LINE
	EASEMENT
	TANGENT LINE
	LAND DRAIN EASEMENT
	SNOW STORAGE EASEMENT
	LIMITED COMMON AREA
	PROPERTY LINE
	MONUMENT
	CENTERLINE
	TANGENT LINE
	PUBLIC UTILITY & DRAINAGE EASEMENT

DEVELOPER
NILSON HOMES
1740 COMBE RD. SUITE 2
SOUTH OGDEN, UTAH 84403
801-392-8100

RECORD OF SURVEY

ROS NO.: _____
COUNTY SURVEYOR REVIEWER: _____ DATE: _____

COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION ON THE _____ DAY OF _____, 20____.
CHAIRMAN, WEBER COUNTY PLANNING COMMISSION: _____

THE ORCHARDS AT JDC RANCH PHASE 3A

LOCATED IN THE SOUTHEAST QUARTER SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY, UTAH

WEBER COUNTY RECORDER

ENTRY NO. _____ FILED _____ FEE _____
PAID _____
RECORDED THIS _____ DAY OF _____, 20____
AT _____ IN BOOK _____ OF OFFICIAL RECORDS
PAGE _____
WEBER COUNTY RECORDER
BY _____ DEPUTY RECORDER

SHEET 1 OF 2

PROJECT NUMBER: 982
MANAGER: CRESTON
DRAWN BY: J. RINDLISBACHER
CHECKED BY: T. WILLIAMS
DATE: 2/22/2024

SURVEYOR'S CERTIFICATE

I, **TRENT R. WILLIAMS**, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold License No. **8034679** in accordance with Title 58, Chapter 22 of the Professional Engineers and Land Surveyors Act. I further certify that by authority of the Owners, I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17 and have verified all measurements and that the monuments shown on this plat are located as indicated and are sufficient to accurately establish the boundaries of the herein described tract of real property and that it has been drawn correctly and is a true and correct representation of the herein described lands included in said subdivision based on data compiled from The County Recorder's office. I further certify that all lots meet frontage width and area requirements of applicable zoning ordinances.

SURVEY NARRATIVE

Purpose of Survey is to split existing parcels into lots and streets.

BOUNDARY DESCRIPTION

A parcel of land, situated in the Southeast Quarter of Section 27, Township 7 North, Range 2 West, Salt Lake Base and Meridian, said parcel also located in Weber County, Utah. Being more particularly described as follows:
Beginning at a point, which is North 0°30'30" West 889.43 feet along the Section Line from the Southeast Corner of said Section 27 and running thence:
thence South 89°29'30" West 169.06 feet;
thence South 0°32'24" East 472.46 feet;
thence South 89°27'36" West 46.89 feet;
thence South 38°55'53" East 58.63 feet;
thence southeasterly 38.35 feet along the arc of a 230.00-foot radius curve to the right (center bears South 51°04'25" West and the long chord bears South 34°08'59" East 38.31 feet with a central angle of 09°33'13");
thence South 29°22'22" East 62.82 feet;
thence southeasterly 31.84 feet along the arc of a 530.00-foot radius curve to the right (center bears South 60°37'38" West and the long chord bears South 27°19'15" East 37.96 feet with a central angle of 04°06'15");
thence North 25°16'07" East 107.49 feet;
thence southwesterly 60.44 feet along the arc of a 429.00-foot radius curve to the left (center bears South 27°44'08" East and the long chord bears South 58°13'43" West 60.39 feet with a central angle of 08°04'19");
thence North 25°16'07" West 114.33 feet;
thence northwesterly 35.67 feet along the arc of a 470.00-foot radius curve to the left (center bears South 64°43'53" West and the long chord bears North 27°19'15" West 33.66 feet with a central angle of 04°06'15");
thence North 29°22'22" West 18.92 feet;
thence northwesterly 23.56 feet along the arc of a 15.00-foot radius curve to the left (center bears South 60°37'38" West and the long chord bears North 74°22'22" West 21.21 feet with a central angle of 90°00'00");
thence South 60°37'38" West 56.77 feet;
thence southwesterly 162.91 feet along the arc of a 500.00-foot radius curve to the left (center bears South 29°22'22" East and the long chord bears South 51°17'35" West 162.19 feet with a central angle of 18°40'05");
thence southwesterly 31.84 feet along the arc of a 230.00-foot radius curve to the right (center bears North 48°02'27" West and the long chord bears South 45°55'30" West 31.81 feet with a central angle of 07°55'53");
thence North 40°06'34" West 60.00 feet;
thence northeasterly 23.53 feet along the arc of a 170.00-foot radius curve to the left (center bears North 40°06'34" West and the long chord bears North 45°55'30" East 23.51 feet with a central angle of 07°55'53");
thence northeasterly 182.46 feet along the arc of a 560.00-foot radius curve to the right (center bears South 48°02'27" East and the long chord bears South 51°17'35" East 181.65 feet with a central angle of 18°40'05");
thence North 03°37'38" East 54.56 feet;
thence northwesterly 26.06 feet along the arc of a 15.00-foot radius curve to the left (center bears North 29°22'22" West and the long chord bears North 10°51'01" East 22.91 feet with a central angle of 99°33'13");
thence North 38°55'53" West 156.14 feet;
thence West 216.60 feet;
thence North 212.10 feet;
thence South 89°27'36" West 55.10 feet;
thence westerly 10.03 feet along the arc of a 70.00-foot radius curve to the right (center bears North 0°32'24" West and the long chord bears North 86°20'00" West 10.03 feet with a central angle of 08°12'48");
thence North 0°32'24" West 74.28 feet;
thence North 89°27'36" East 25.00 feet;
thence North 0°32'24" West 231.44 feet;
thence South 89°27'36" West 25.60 feet;
thence North 0°32'24" West 14.50 feet;
thence South 89°27'36" West 27.50 feet;
thence North 0°32'24" West 65.50 feet;
thence North 89°27'36" East 192.50 feet;
thence South 0°32'24" East 65.50 feet;
thence North 89°27'36" East 63.50 feet;
thence North 89°43'27" East 16.51 feet;
thence North 89°27'36" East 60.00 feet;
thence North 0°32'24" West 62.50 feet;
thence North 89°27'36" East 299.15 feet;
thence South 0°30'30" East 165.17 feet to the Point of Beginning;

Contains: 304,074 square feet or 6.981 acres

OWNER'S DEDICATION

We(I) the undersigned owners of the above described tract of land, do hereby set apart and subdivide the same into lots and streets (private streets/private right-of-way) as shown hereon and name said tract, and do hereby dedicate, grant and convey to Weber County, Utah, or its designee, all those parts or portions of said tract of land designated as hereby the same to be used as public open space:

THE ORCHARDS AT JDC RANCH PHASE 3A

Dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares.
Dedicate and reserve unto themselves, their heirs, their grantees and assigns, a right-of-way to be used in common with all others within said subdivision (and those adjoining subdivisions that may be subdivided by the undersigned owners, their successors, or assigns) on, over and across all those portions or parts of said tract of land designated on this plat as private streets (private rights-of-way) as access to the individual lots, to be maintained by a home owners association whose membership consists of said owners, their grantees, successors, or assigns.

Grant and convey to the subdivision home owners association, all those part or portions of said tract of land designated as common areas to be used for recreational and open space purposes for the benefit of each home owners association member in common with all others in the subdivision and grant and dedicate to the county a perpetual open space right and easement on and over the common areas to guarantee to Weber County that the common areas remain open and undeveloped except for approved recreational, parking and open space purposes.

Grant and dedicate a perpetual right and easement over, upon and under the lands designated hereon as public utility, and drainage easements with no buildings or structures being erected within such easements.

Grant and dedicate unto all owners of lots upon which private land drains are constructed or which are otherwise dependent upon such land drains, an easement over such land drains for the purpose of perpetual maintenance and operation.

In witness whereof We(I) have hereto set our hands(s) this _____ day of _____, A.D. 20____.

By: **DAVID LOWRY**

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH
County of Weber J.S.S.
On the _____ day of _____, A.D. 20____, I, _____, personally appeared before me, the undersigned Notary Public, in and for said County of _____ in the State of Utah, who after being duly sworn, acknowledged to me that He is the Manager, of West Park Community, a Limited Liability Company and that He signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.
MY COMMISSION EXPIRES: _____ RESIDING IN _____ COUNTY.

ENSGN
LAYTON
919 North 400 West
Layton UT 84041
Phone: 801.547.1100
Fax: 801.593.6315
WWW.ENSGNENG.COM

WEBER COUNTY SURVEYOR
I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.
SIGNED THIS _____ DAY OF _____, 20____.
WEBER COUNTY SURVEYOR
RECORD OF SURVEY #
WCO-106-1-8(3)(1); 10; WCO-45-2(2)

COUNTY COMMISSION ACCEPTANCE
THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH THIS _____ DAY OF _____, 20____.
CHAIRMAN, WEBER COUNTY COMMISSION
ATTEST: _____
TITLE: _____

COUNTY ATTORNEY
I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERE TO AND NOW IN FORCE AND EFFECT.
SIGNED THIS _____ DAY OF _____, 20____.
SIGNATURE: _____

COUNTY ENGINEER
I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.
SIGNED THIS _____ DAY OF _____, 20____.
SIGNATURE: _____

RECORD OF SURVEY
ROS NO.: _____
COUNTY SURVEYOR REVIEWER: _____ DATE: _____

COUNTY PLANNING COMMISSION APPROVAL
THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION ON THE _____ DAY OF _____, 20____.
CHAIRMAN, WEBER COUNTY PLANNING COMMISSION: _____

THE ORCHARDS AT JDC RANCH PHASE 3A

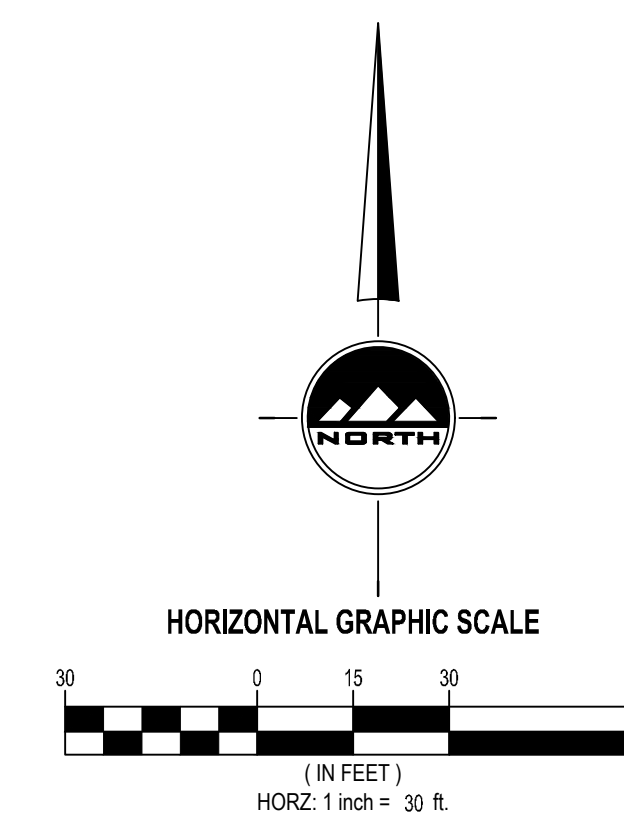
LOCATED IN THE SOUTHEAST QUARTER SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY, UTAH
JANUARY 2024

LINE	BEARING	LENGTH
L15	N0°32'24"W	5.00'
L16	S89°27'36"W	1.50'
L17	N0°32'24"W	14.50'
L18	S89°27'36"W	10.50'
L19	S0°32'24"E	14.50'
L20	S89°27'36"W	4.50'
L21	N0°32'24"W	5.00'
L22	N90°00'00"E	10.00'

CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C12	429.00'	30.10'	4°01'11"	S60°15'17"W	30.09'
C13	429.00'	30.34'	4°03'08"	S66°13'07"W	30.33'
C14	500.00'	35.82'	4°06'15"	S27°19'15"E	35.81'
C15	530.00'	172.68'	18°40'05"	SS1°17'35"W	171.92'
C16	200.00'	27.69'	7°56'53"	S45°56'30"W	27.66'
C17	200.00'	33.35'	9°33'13"	S34°08'59"E	33.31'
C18	130.00'	87.10'	38°23'11"	N19°44'00"W	85.48'
C19	100.00'	19.01'	10°53'34"	N33°28'48"W	18.98'
C20	100.00'	10.93'	6°18'52"	N24°54'04"W	10.93'
C21	100.00'	10.53'	6°02'04"	N18°45'06"W	10.53'
C22	100.00'	26.52'	15°11'40"	N8°06'14"W	26.44'
C23	14.95'	18.47'	70°49'28"	N34°43'28"E	17.32'
C24	15.23'	5.10'	19°10'32"	N79°43'28"E	5.07'
C25	15.00'	5.10'	19°28'16"	N80°48'16"W	5.07'
C26	15.00'	18.46'	70°31'44"	N35°48'16"W	17.32'
C27	15.00'	18.46'	70°31'44"	N34°43'28"E	17.32'
C28	15.00'	5.10'	19°28'16"	N79°43'28"E	5.07'
C29	15.00'	5.10'	19°28'16"	N80°48'16"W	5.07'
C30	15.00'	18.46'	70°31'44"	N35°48'16"W	17.32'
C31	15.00'	23.56'	90°00'00"	S44°27'36"W	21.21'
C32	15.00'	18.66'	71°15'38"	SS4°54'35"E	17.48'
C33	15.00'	4.91'	18°44'22"	S9°54'35"E	4.88'

LEGEND

- SECTION CORNER
- PROPOSED STREET MONUMENT
- SET 5/8" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENSIGN ENG. & LAND SURV."
- SECTION LINE
- SECTION TIE LINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE
- ADJACENT CENTERLINE
- RIGHT OF WAY
- ADJACENT RIGHT OF WAY
- LOT LINE
- ADJACENT LOT LINE
- EASEMENT
- TANGENT LINE
- LAND DRAIN EASEMENT
- SNOW STORAGE EASEMENT
- LIMITED COMMON AREA
- PL
- MON
- CL
- TAN
- PUADE
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- EASEMENT
- TANGENT LINE
- LAND DRAIN EASEMENT
- SNOW STORAGE EASEMENT
- LIMITED COMMON AREA
- PL
- MON
- CL
- TAN
- PUADE
- SECTION CORNER
- PROPOSED STREET MONUMENT
- SET 5/8" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENSIGN ENG. & LAND SURV."
- SECTION LINE
- SECTION TIE LINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE
- ADJACENT CENTERLINE
- RIGHT OF WAY
- ADJACENT RIGHT OF WAY
- LOT LINE
- ADJACENT LOT LINE
- EASEMENT
- TANGENT LINE
- LAND DRAIN EASEMENT
- SNOW STORAGE EASEMENT
- LIMITED COMMON AREA
- PL
- MON
- CL
- TAN
- PUADE



THE ORCHARDS AT JDC RANCH PHASE 3A

LOCATED IN THE SOUTHEAST QUARTER SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY, UTAH

WEBER COUNTY RECORDER

ENTRY NO. _____ FILED FOR RECORD AND
PAID _____ DAY OF _____ 20____
RECORDED THIS _____ AT _____
PAGE _____ IN BOOK _____ OF OFFICIAL RECORDS

SHEET 2 OF 2

PROJECT NUMBER : 9872
MANAGER : C PRESTON
DRAWN BY : J.RINOLISBACHER
CHECKED BY : T.WILLIAMS
DATE : 2/2/2024

WEBER COUNTY RECORDER
BY _____ DEPUTY RECORDER

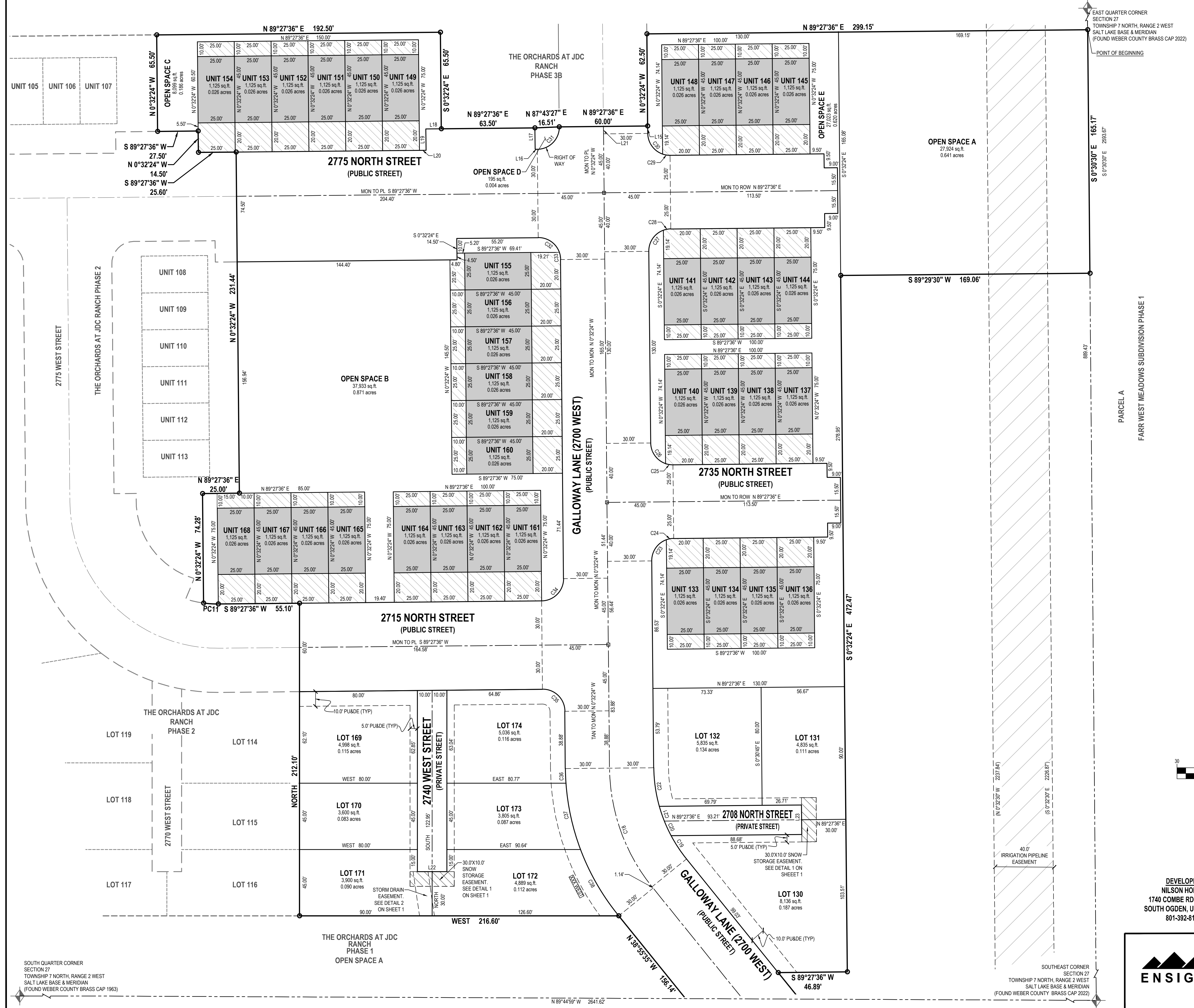
DEVELOPER
NILSON HOMES
1740 COMBE RD, SUITE 2
SOUTH OGDEN, UTAH 84403
801-392-8100

ENSIGN

LAYTON
919 North 400 West
Layton UT 84041
Phone: 801.547.1100
Fax: 801.593.6315

SALT LAKE CITY
1000 East 100 South
Salt Lake City UT 84143
Phone: 801.966.1433
Fax: 801.966.2983

WWW.ENSINGENG.COM

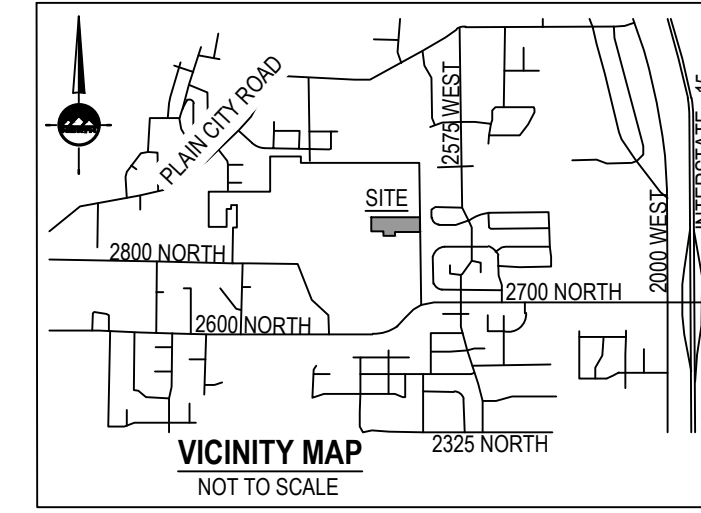


SOUTH QUARTER CORNER
SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
(FOUND WEBER COUNTY BRASS CAP 1963)

SOUTHEAST CORNER
SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
(FOUND WEBER COUNTY BRASS CAP 2022)

THE ORCHARDS AT JDC RANCH PHASE 3B

LOCATED IN THE SOUTHEAST QUARTER SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY, UTAH
JANUARY 2024



SURVEYOR'S CERTIFICATE

I, TRENT R. WILLIAMS, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold License No. 8834679 in accordance with Title 58, Chapter 22 of the Professional Engineers and Land Surveyors Act. I further certify that by authority of The Owners, I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17 and have verified all measurements and that the monuments shown on this plat are located as indicated and are sufficient to accurately establish the boundaries of the herein described tract of real property and that it has been drawn correctly and is a true and correct representation of the herein described lands included in said subdivision based on data compiled from The County Recorder's office. I further certify that all lots meet frontage width and area requirements of applicable zoning ordinances.

SURVEY NARRATIVE

Purpose of Survey is to split existing parcels into lots and streets.

BOUNDARY DESCRIPTION

A parcel of land, situated in the Southeast Quarter of Section 27, Township 7 North, Range 2 West, Salt Lake Base and Meridian, said parcel also located in Weber County, Utah. Being more particularly described as follows:

Beginning at a point, which is North 0°30'30" West 889.43 feet along the Section Line from the Southeast Corner of said Section 27 and running thence:

- thence South 89°27'36" West 299.15 feet;
- thence South 0°32'24" East 62.50 feet;
- thence South 89°27'36" West 60.00 feet;
- thence South 87°43'27" West 16.51 feet;
- thence South 89°27'36" West 63.50 feet;
- thence North 0°32'24" West 65.50 feet;
- thence South 89°27'36" West 390.00 feet;
- thence North 0°32'24" West 20.39 feet;
- thence South 89°27'36" West 60.00 feet;
- thence North 0°32'24" East 310.37 feet;
- thence North 89°27'36" East 689.33 feet;
- thence South 0°30'30" East 333.26 feet to the Point of Beginning.

Contains: 302,787 square feet or 6.951 acres

OWNER'S DEDICATION

We(I) the undersigned owners of the above described tract of land, do hereby set apart and subdivide the same into lots and streets (private streets/private right-of-way's) as shown hereon and name said tract, and do hereby dedicate, grant and convey to Weber County, Utah, or its designee, all those parts or portions of said tract of land designated as parks the same to be used as public open space:

THE ORCHARDS AT JDC RANCH PHASE 3B

Dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares. Dedicate and reserve unto themselves, their heirs, their grantees and assigns, a right-of-way to be used in common with all others within said subdivision (and those adjoining subdivisions that may be subdivided by the undersigned owners, their successors, or assigns) on, over and across all those portions or parts of said tract of land designated on this plat as private streets (private rights-of-way) as access to the individual lots, to be maintained by a home owners association whose membership consists of said owners, their grantees, successors, or assigns.

Convey to Weber County, or its designee, all those parts or portions of said tract of land designated as open space to be used as public open space. (Parcel A)

Grant and convey to the subdivision home owners association, all those part or portions of said tract of land designated as common areas to be used for recreational and open space purposes for the benefit of each home owners association member in common with all others in the subdivision and grant and dedicate to the county a perpetual open space right and easement on and over the common areas to guarantee to Weber County that the common areas remain open and undeveloped except for approved recreational, parking and open space purposes.

Grant and dedicate a perpetual right and easement over, upon and under the lands designated herof as public utility, and drainage easements with no buildings or structures being erected within such easements.

Grant and dedicate unto all owners of lots upon which private land drains are constructed or which are otherwise dependent upon such land drains, an easement over such land drains for the purpose of perpetual maintenance and operation.

In witness whereof We(I) have hereto set our hands(s) this _____ day of _____ A.D., 20__.

By: DAVID LOWRY

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH
County of Weber

J.S.S.

On the _____ day of _____, A.D., 20__, personally appeared before me, the undersigned Notary Public, in and for said County of _____ in the State of Utah, who after being duly sworn, acknowledged to me that He is the Manager, of West Park Community LLC a Limited Liability Company and that He signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.

MY COMMISSION EXPIRES: _____

_____, RESIDING IN _____ COUNTY,
NOTARY PUBLIC

RECORD OF SURVEY

ROS NO.: _____
S: _____

COUNTY SURVEYOR REVIEWER DATE

COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION ON THE _____ DAY OF _____, 20__.

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

SHEET 1 OF 2

PROJECT NUMBER : 9872

MANAGER : C PRESTON

DRAWN BY : J.RINDUSBACHER

CHECKED BY : T.WILLIAMS

DATE : 2/2/2024

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE _____
PAID _____ FILED FOR RECORD AND
RECORDED THIS _____ DAY OF _____ 20__

AT _____ PAGE _____ IN BOOK _____ OF OFFICIAL RECORDS

WEBER COUNTY RECORDER

BY _____ DEPUTY RECORDER

GENERAL NOTES:

- PROPERTY IS WITHIN RESIDENTIAL OVERLAY ZONE.
 - FRONT YARD SETBACK IS 20' FROM PUBLIC RIGHT OF WAY
 - REAR YARD SETBACK IS 10'
 - SIDE YARD SETBACK IS 5' TOTAL
 - ADJACENT TO RIGHT OF WAY IS 10'
- ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (PU&E) ARE 10' FRONT FROM PUBLIC RIGHT OF WAY, 5' FROM PRIVATE DRIVEWAY.
- OPEN SPACE A, B AND C ARE TO BE OWNED AND MAINTAINED BY THE ORCHARDS PHASE 3B HOMEOWNER'S ASSOCIATION.
- UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.
- 5/8" x 24" REBAR AND CAP WILL BE PLACED AT ALL REAR LOT CORNERS AND FRONT CORNERS WILL BE MARKED WITH A NAIL OR RIVET AT THE EXTENSION IN THE CURB.
- PROTECT ALL EXISTING SECTION CORNERS AND STREET MONUMENTS. COORDINATE ALL SURVEY STREET MONUMENT INSTALLATION, GRADE ADJUSTMENT, AND ALL REQUIRED FEES AND PERMITS WITH THE COUNTY SURVEYOR PRIOR TO DISRUPTION OF ANY EXISTING MONUMENTS.
- THE LOWEST FLOOR ELEVATION WILL NOT BE LOWER THAN ELEVATION 42__ FT.

LINE TABLE

LINE	BEARING	LENGTH
L1	S89°27'36"W	1.50'
L2	S89°27'36"W	4.50'
L3	S89°27'36"W	1.00'
L4	S0°32'24"E	14.50'
L5	N0°32'24"W	14.50'
L6	N89°27'36"E	4.00'
L7	N89°27'36"E	4.00'
L8	S0°32'24"E	14.50'
L9	S0°32'24"E	5.50'
L10	N0°32'24"W	5.50'
L11	N0°32'24"W	5.50'

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	15.00'	23.56'	90°00'00"	N45°32'24"W	21.21'
C2	15.00'	23.56'	90°00'00"	S44°27'36"W	21.21'
C3	15.00'	23.56'	90°00'00"	S45°32'24"E	21.21'
C4	15.00'	5.10'	19°28'16"	S79°43'28"W	5.07'
C5	15.00'	18.46'	70°31'44"	S34°43'28"W	17.32'

COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH THIS _____ DAY OF _____, 20__.

CHAIRMAN, WEBER COUNTY COMMISSION

ATTEST: _____

TITLE: _____

COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT.

SIGNED THIS _____ DAY OF _____, 20__.

SIGNATURE _____

COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

SIGNED THIS _____ DAY OF _____, 20__.

SIGNATURE _____

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.

SIGNED THIS _____ DAY OF _____, 20__.

WEBER COUNTY SURVEYOR
RECORD OF SURVEY #
WCO-106-1-8(c) (PL 10, WCO 45-4-2(c))

DEVELOPER
NILSON HOMES
1740 COMBE RD, SUITE 2
SOUTH OGDEN, UTAH 84403
801-392-8100



LAYTON
919 North 400 West
Layton UT 84041
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WWW.ENSIGNENG.COM

SALT LAKE CITY
Phone: 801.256.0529
TOOELE
Phone: 435.463.2890
CEDAR CITY
Phone: 435.865.1453
RICHFIELD
Phone: 435.896.2883

THE ORCHARDS AT JDC RANCH PHASE 3B

LOCATED IN THE SOUTHEAST QUARTER SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY, UTAH
JANUARY 2024

NORTH QUARTER CORNER
SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
(NOT FOUND)

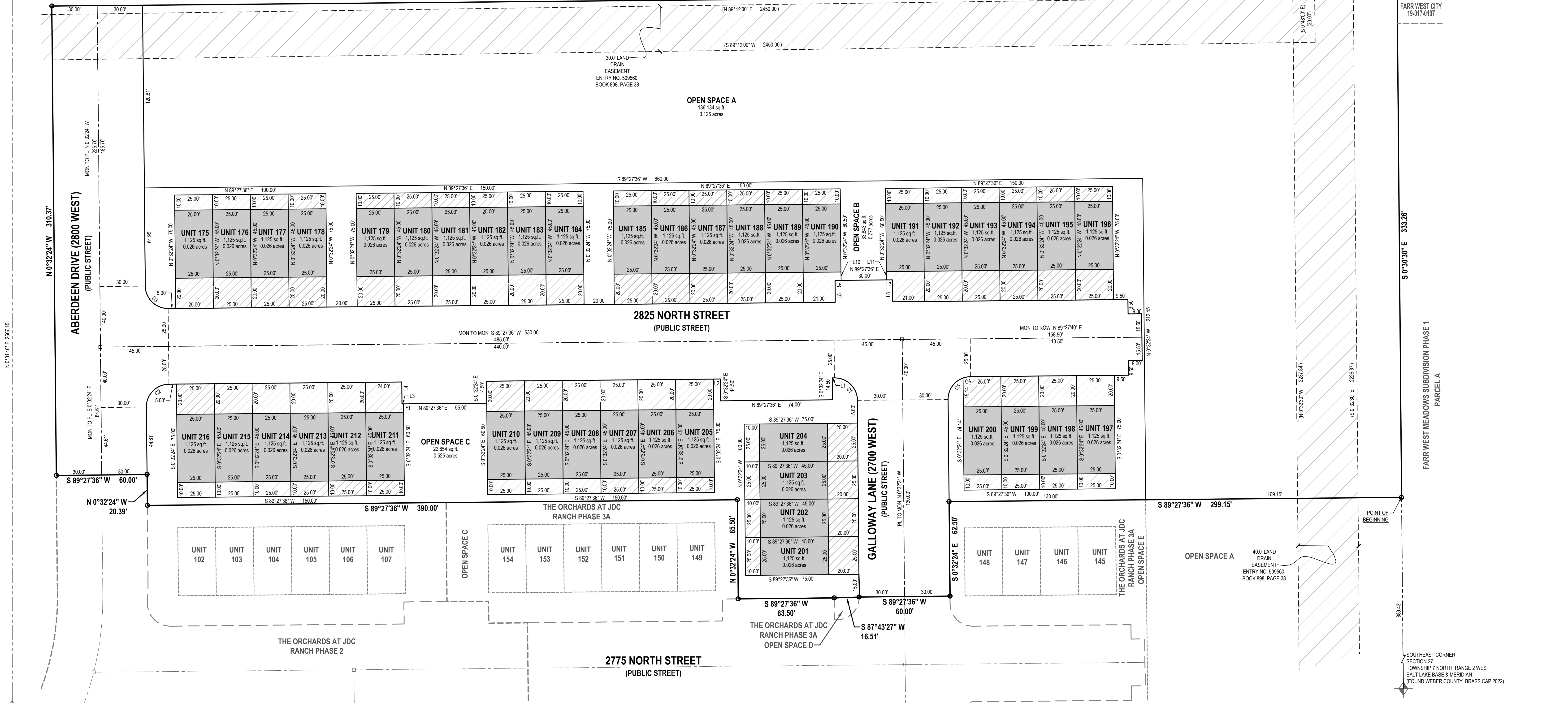
NORTHEAST CORNER
SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
(FOUND WEBER COUNTY BRASS CAP 1985)

NORTHWEST CORNER
SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
(FOUND WEBER COUNTY BRASS CAP 1963)
BM ELEV = 4231.00'

WITNESS CORNER
SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
(FOUND WEBER COUNTY BRASS CAP 1985)

WEST QUARTER CORNER
SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
(NOT FOUND)

EAST QUARTER CORNER
SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
(FOUND WEBER COUNTY BRASS CAP 2022)

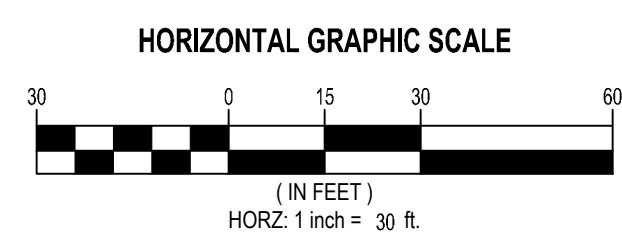
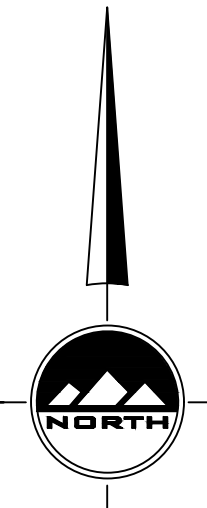


LEGEND

- SECTION CORNER
- WITNESS CORNER
- PROPOSED STREET MONUMENT
- SET 5/8" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENSGN ENG. & LAND SURV." SECTION LINE
- SECTION TIE LINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE
- ADJACENT CENTERLINE
- RIGHT OF WAY
- ADJACENT RIGHT OF WAY
- LOT LINE
- ADJACENT LOT LINE
- EASEMENT
- TANGENT LINE
- LAND DRAIN EASEMENT
- LIMITED COMMON AREA

ABBREVIATIONS LIST

- PL PROPERTY LINE
- MON MONUMENT
- CL CENTERLINE
- TAN TANGENT LINE
- PUD&E PUBLIC UTILITY & DRAINAGE EASEMENT



DEVELOPER
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1740 COMBE RD, SUITE 2
SOUTH OGDEN, UTAH 84403
801-392-8100

ENSGN
LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100
Fax: 801.593.6315
WWW.ENSGNENG.COM

THE ORCHARDS AT JDC RANCH PHASE 3B

LOCATED IN THE SOUTHEAST QUARTER SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY, UTAH

WEBER COUNTY RECORDER

ENTRY NO. _____ FILED FOR RECORD AND
PAID _____ DAY OF _____
RECORDED THIS _____ DAY OF _____ 20____
AT _____ IN BOOK _____ OF OFFICIAL RECORDS
PAGE _____

SHEET 2 OF 2

PROJECT NUMBER : 9872
MANAGER : C PRESTON
DRAWN BY : J.RINDOLSBACHER
CHECKED BY : T.WILLIAMS
DATE : 2/2/2024

WEBER COUNTY RECORDER
BY _____ DEPUTY RECORDER

GENERAL NOTES

- 1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION (APWA CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
2. CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
3. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
4. CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
9. ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
10. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
11. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
12. ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
13. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
14. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
16. EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW.
16.1. CONTRACTOR IS REQUIRED TO LOCATE AND POT-HOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
16.2. CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE. IN ADDITION TO 16.1 AND 16.2 ABOVE THE CONTRACTOR MUST VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POT-HOLING" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNATED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
16.4. IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
16.5. IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POT-HOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
17. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
18. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
19. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
20. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
21. CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
22. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
24. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
25. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
26. CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
27. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
28. ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
29. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
30. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
31. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
32. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
2. CONTRACTOR SHALL COORDINATE LOCATION OF NEW 'DRY UTILITIES' WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
3. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
4. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
5. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 33 05 20 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
6. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
7. THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
9. ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
10. ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
11. CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
12. SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
13. CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
14. EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
15. CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
16. ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET. EDGE TO EDGE. FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
17. CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
18. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
19. CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- 1. TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
2. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
3. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
4. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
5. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
6. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
7. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
8. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
9. THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- 1. EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
2. THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
2. THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
3. THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
4. ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
5. THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
6. THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
8. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
9. THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
10. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
12. THE CONTRACTOR IS WARNED THAT AN EARTH-WORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFT-OVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
13. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
14. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
15. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
16. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

Table with 3 columns: Abbreviation, Description, and Symbol. Includes entries like APWA (AMERICAN PUBLIC WORKS ASSOCIATION), AR (ACCESSIBLE ROUTE), ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS), AWWA (AMERICAN WATER WORKS ASSOCIATION), BOS (BOTTOM OF BASH), BVC (BEGIN VERTICAL CURVE), C (CURVE), CB (CATCH BASIN), CF (CURB FACE OR CUBIC FEET), CL (CENTER LINE), CO (CLEAN OUT), COMM (COMMUNICATION), CONC (CONCRETE), CONT (CONTINUOUS), DIA (DIAMETER), DIP (DUCTILE IRON PIPE), ELEC (ELECTRICAL), ELEV (ELEVATION), EOA (EDGE OF ASPHALT), EVC (END OF VERTICAL CURVE), EW (EACH WAY), EXIST (EXISTING), FF (FINISH FLOOR), FG (FINISH GRADE), FH (FIRE HYDRANT), FL (FLOW LINE OR FLANGE), GB (GRADE BREAK), GF (GARAGE FLOOR), GV (GATE VALVE), HC (HANDICAP), HP (HIGH POINT), IRR (IRRIGATION), K (RATE OF VERTICAL CURVATURE), LD (LAND DRAIN), LF (LINEAR FEET), LP (LOW POINT), MEX (MATCH EXISTING), MH (MANHOLE), MJ (MECHANICAL JOINT), NG (NATURAL GROUND), NIC (NOT IN CONTRACT), NO (NUMBER), OC (ON CENTER), OCEW (ON CENTER EACH WAY), OHP (OVERHEAD POWER), PC (POINT OF CURVATURE OR PRESSURE CLASS), PCC (POINT OF COMPOUND CURVATURE), PI (POINT OF INTERSECTION), PIV (POST INDICATOR VALVE), PL (PROPERTY LINE), PRC (POINT OF REVERSE CURVATURE), PROPOSED (PROPOSED), PT (POINT OF TANGENCY), PVC (POINT OF VERTICAL CURVATURE), PVI (POINT OF VERTICAL INTERSECTION), PVT (POINT OF VERTICAL TANGENCY), R (RADIUS), RD (ROOF DRAIN), ROW (RIGHT OF WAY), S (SLOPE), SAN SWR (SANITARY SEWER), SD (STORM DRAIN), SEC (SECONDARY), SS (SANITARY SEWER), STA (STATION), SW (SECONDARY WATER LINE), TBC (TOP BACK OF CURB), TOB (TOP OF BASIN), TOG (TOP OF GRADE), TOA (TOP OF ASPHALT), TOC (TOP OF CONCRETE), TOW (TOP OF FOUNDATION), TOW (TOP OF WALL), TOS (TOP OF STEP), TYP (TYPICAL), VC (VERTICAL CURVE), WV (WALL INDICATOR VALVE), W (WATER LINE).

LEGEND

Table with 3 columns: Symbol, Description, and Symbol. Includes entries like SECTION CORNER, EXISTING MONUMENT, PROPOSED MONUMENT, EXISTING REBAR AND CAP, SET ENSIGN REBAR AND CAP, EXISTING WATER METER, PROPOSED WATER METER, EXISTING WATER MANHOLE, PROPOSED WATER MANHOLE, EXISTING WATER BOX, PROPOSED WATER BOX, EXISTING WATER VALVE, PROPOSED WATER VALVE, EXISTING FIRE HYDRANT, PROPOSED FIRE HYDRANT, PROPOSED FIRE DEPARTMENT CONNECTION, EXISTING SECONDARY WATER VALVE, PROPOSED SECONDARY WATER VALVE, EXISTING IRRIGATION BOX, EXISTING IRRIGATION VALVE, PROPOSED IRRIGATION VALVE, EXISTING SANITARY SEWER MANHOLE, PROPOSED SANITARY SEWER MANHOLE, EXISTING SANITARY CLEAN OUT, EXISTING SANITARY CLEAN OUT BOX, PROPOSED STORM DRAIN CLEAN OUT BOX, EXISTING STORM DRAIN INLET BOX, EXISTING STORM DRAIN CATCH BASIN, PROPOSED STORM DRAIN CATCH BASIN, EXISTING STORM DRAIN COMBO BOX, PROPOSED STORM DRAIN COMBO BOX, EXISTING STORM DRAIN CLEAN OUT, EXISTING STORM DRAIN CULVERT, PROPOSED STORM DRAIN CULVERT, TEMPORARY SAG INLET PROTECTION, TEMPORARY IN-LINE INLET PROTECTION, ROOF DRAIN, EXISTING ELECTRICAL MANHOLE, EXISTING ELECTRICAL BOX, EXISTING TRANSFORMER, EXISTING UTILITY POLE, EXISTING LIGHT, PROPOSED LIGHT, EXISTING GAS METER, EXISTING GAS MANHOLE, EXISTING GAS VALVE, EXISTING TELEPHONE MANHOLE, EXISTING TELEPHONE BOX, EXISTING TRAFFIC SIGNAL BOX, EXISTING CABLE BOX, EXISTING BOLLARD, PROPOSED BOLLARD, EXISTING SIGN, PROPOSED SIGN, EXISTING SPOT ELEVATION, PROPOSED SPOT ELEVATION, EXISTING FLOW DIRECTION, EXISTING TREE, DENSE VEGETATION.

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



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THE ORCHARDS AT JDC RANCH
PHASES 3A AND 3B
2800 WEST 2600 NORTH STREET
WEBER COUNTY, UTAH



NO. DATE REVISION
FOR REVIEW

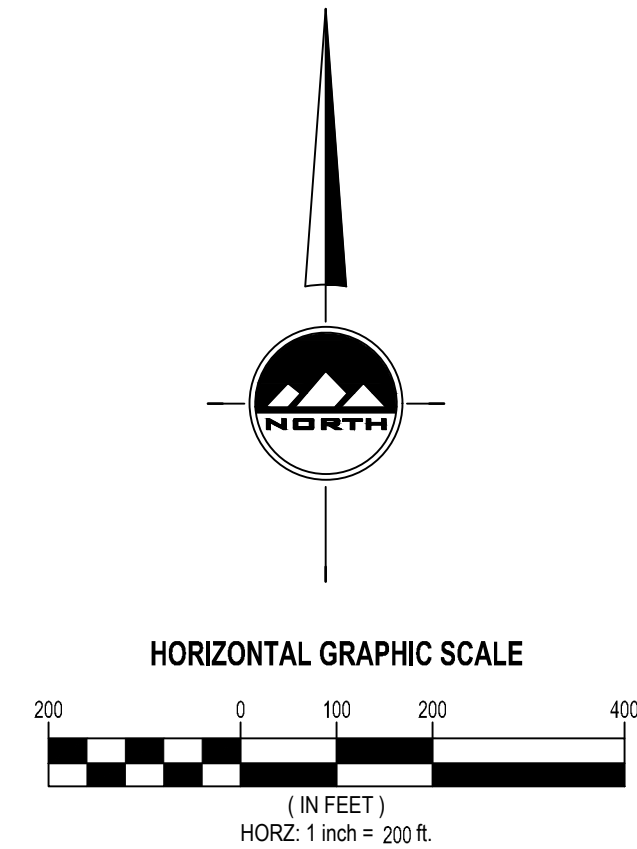
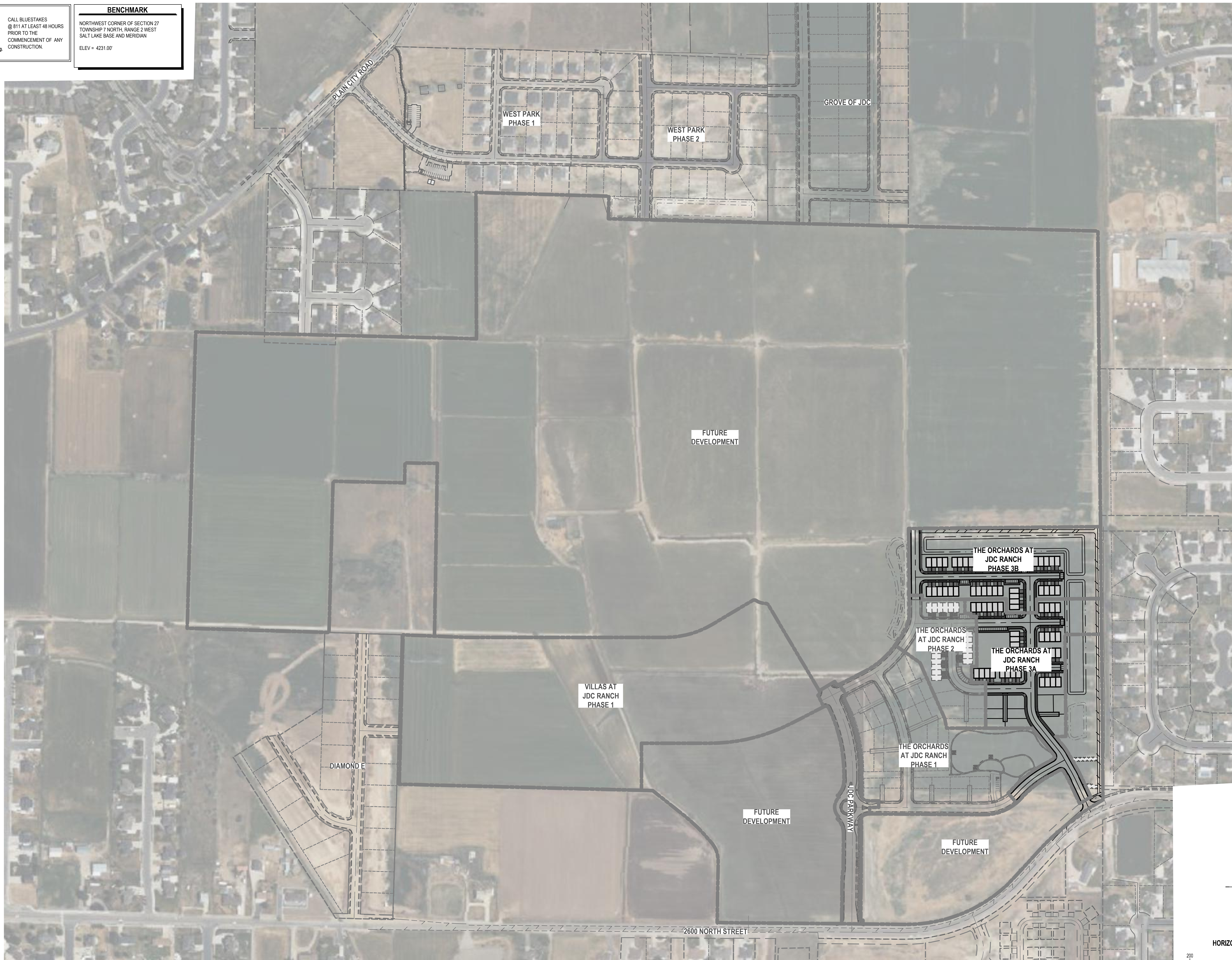
GENERAL NOTES

PROJECT NUMBER 9872 PRINT DATE 2024-02-02
PROJECT MANAGER CP DESIGNED BY TS

C-001

811
Know what's below.
Call before you dig.

BENCHMARK
NORTHWEST CORNER OF SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4231.00'



ENSIGN
THE STANDARD IN ENGINEERING

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WEBER COUNTY, UTAH**



NO. DATE REVISION FOR REVIEW

**OVERALL DEVELOPMENT
SITE PLAN**

PROJECT NUMBER 9872
PROJECT MANAGER CP
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C-002



CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

NORTHWEST CORNER OF SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4231.00'

GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



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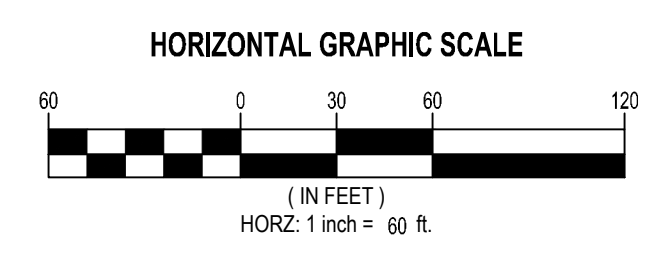
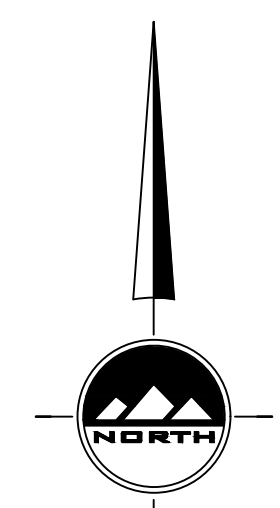
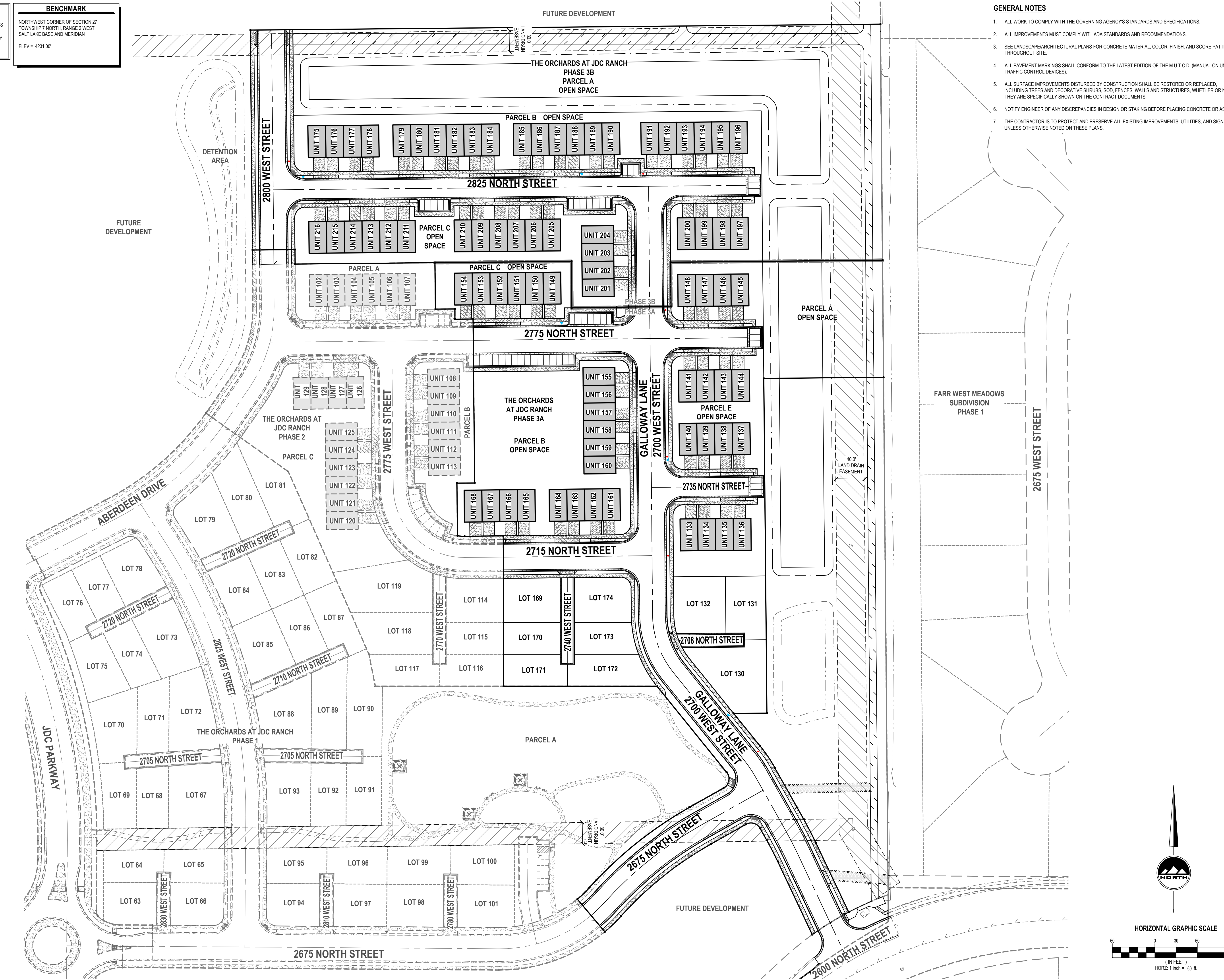


NO. DATE REVISION FOR REVIEW

OVERALL SITE PLAN

PROJECT NUMBER 9872 PRINT DATE 2024-02-02
PROJECT MANAGER CP DESIGNED BY TS

C-100



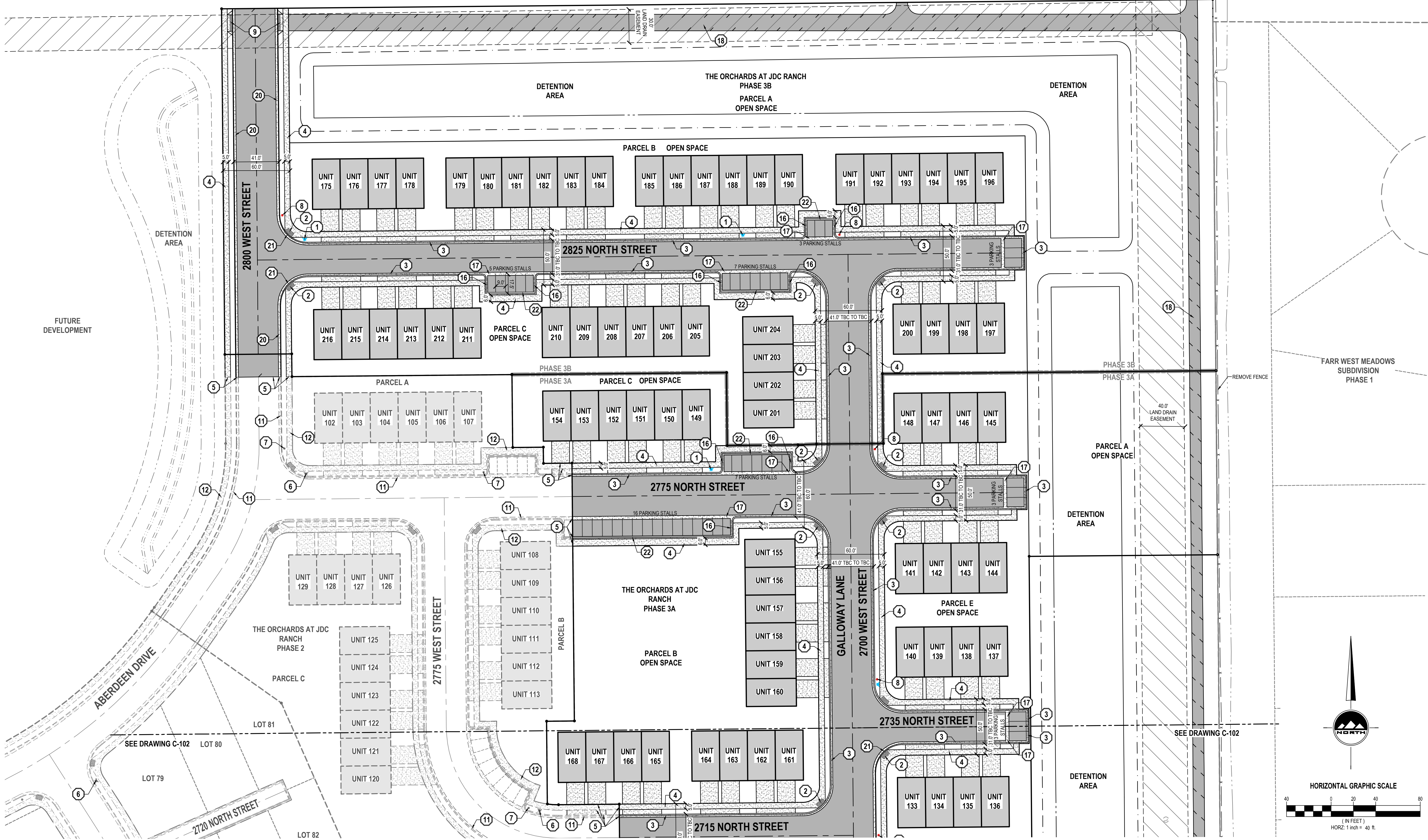


BENCHMARK
 NORTHWEST CORNER OF SECTION 27
 TOWNSHIP 7 NORTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4231.00'

- SCOPE OF WORK:**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
1. INSTALL FIRE HYDRANT AND VALVE PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
 2. INSTALL HANDICAP ACCESSIBLE RAMP PER APWA PLAN 235.2
 3. INSTALL 30" TYPE 'F' MOUNTABLE CURB AND GUTTER PER APWA STANDARDS AND SPECIFICATIONS PLAN 205.2
 4. INSTALL CONCRETE SIDEWALK PER APWA PLAN 231. WIDTH PER PLAN
 5. MATCH EXISTING IMPROVEMENTS
 6. EXISTING FIRE HYDRANT
 7. EXISTING STREET LIGHT
 8. INSTALL STREET LIGHT PER WEBER COUNTY STANDARDS AND SPECIFICATIONS COORDINATE ALL PROPOSED STREET LIGHT LOCATIONS WITH WEBER COUNTY AND THE STREET LIGHT INSTALLATION WITH ROCKY MOUNTAIN POWER.
 9. INSTALL DRIVE APPROACH PER APWA PLAN 221.1
 10. INSTALL ASPHALT DRIVEWAY PER DETAIL 8/C-500
 11. EXISTING CURB AND GUTTER
 12. EXISTING SIDEWALK
 13. INSTALL 24" MODIFIED TYPE 'F' MOUNTABLE CURB AND GUTTER PER DETAIL 9/C-500
 14. INSTALL 24" MODIFIED TYPE 'F' REVERSE MOUNTABLE CURB AND GUTTER PER DETAIL 10/C-500
 15. TRANSITION FROM 24" MODIFIED TYPE 'F' MOUNTABLE CURB AND GUTTER TO 24" MODIFIED TYPE 'F' REVERSE PAN MOUNTABLE CURB AND GUTTER
 16. TRANSITION FROM 30" TYPE 'F' COLLECTION CURB AND GUTTER TO 30" TYPE 'F' REVERSE PAN CURB AND GUTTER
 17. INSTALL 3" WATERWAY PER DETAIL 11/C-500

18. INSTALL CLASS 2 TRAIL PER DETAIL 13/C-500
19. INSTALL HANDICAP ACCESSIBLE RAMP PER APWA PLAN NO. 236.1
20. INSTALL 30" TYPE 'A' CURB AND GUTTER PER APWA STANDARDS AND SPECIFICATIONS PLAN 205.1
21. TRANSITION FROM 30" TYPE 'A' CURB AND GUTTER TO 30" TYPE 'F' COLLECTION CURB AND GUTTER
22. INSTALL 30" TYPE 'F' MOUNTABLE REVERSE PAN CURB AND GUTTER PER DETAIL 12/C-500
23. INSTALL TYPE B1 CURB AND GUTTER PER UDOT STANDARD PLAN GW 2A
24. TRANSITION FROM TYPE B1 CURB AND GUTTER TO 30" TYPE 'A' CURB AND GUTTER

FUTURE DEVELOPMENT



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FOR:
 NILSON HOMES
 1740 COMBE RD, SUITE 2
 SOUTH OGDEN, UT 84403

CONTACT:
 STEVE ANDERSON
 PHONE: 801.392.8100

**THE ORCHARDS AT JDC RANCH
 PHASES 3A AND 3B**
 2800 WEST 2600 NORTH STREET
 WEBER COUNTY, UTAH



NO. DATE REASON FOR REVIEW

SITE PLAN

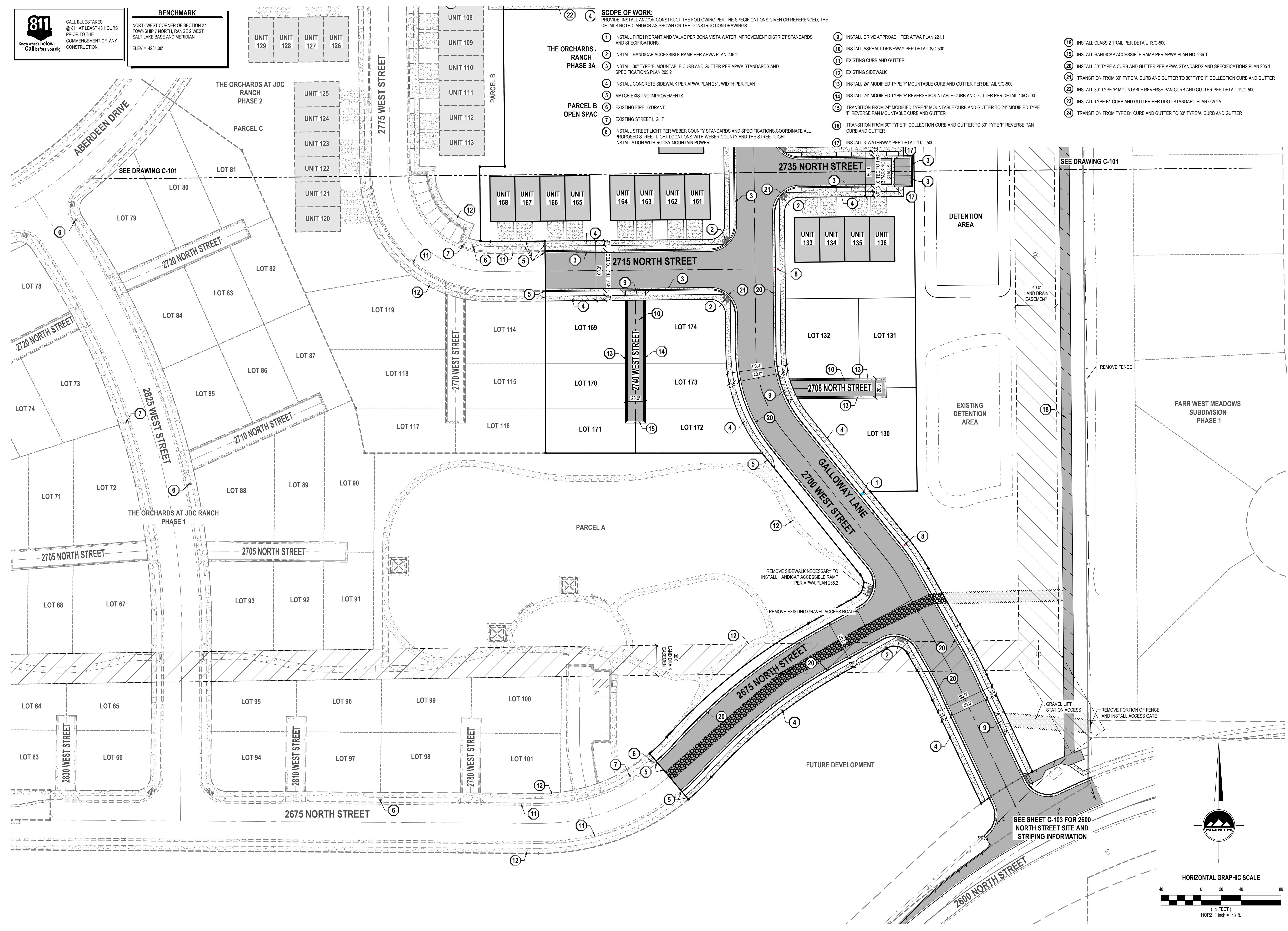
PROJECT NUMBER: 9872
 PROJECT MANAGER: CP
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 DESIGNED BY: TS

C-101



BENCHMARK
 NORTHWEST CORNER OF SECTION 27
 TOWNSHIP 7 NORTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4231.00'

UNIT 129 UNIT 128 UNIT 127 UNIT 126



- SCOPE OF WORK:**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
1. INSTALL FIRE HYDRANT AND VALVE PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
 2. INSTALL HANDICAP ACCESSIBLE RAMP PER APWA PLAN 235.2
 3. INSTALL 30" TYPE "F" MOUNTABLE CURB AND GUTTER PER APWA STANDARDS AND SPECIFICATIONS PLAN 205.2
 4. INSTALL CONCRETE SIDEWALK PER APWA PLAN 231. WIDTH PER PLAN
 5. MATCH EXISTING IMPROVEMENTS
 6. EXISTING FIRE HYDRANT
 7. EXISTING STREET LIGHT
 8. INSTALL STREET LIGHT PER WEBER COUNTY STANDARDS AND SPECIFICATIONS COORDINATE ALL PROPOSED STREET LIGHT LOCATIONS WITH WEBER COUNTY AND THE STREET LIGHT INSTALLATION WITH ROCKY MOUNTAIN POWER
 9. INSTALL DRIVE APPROACH PER APWA PLAN 221.1
 10. INSTALL ASPHALT DRIVEWAY PER DETAIL 8/C-500
 11. EXISTING CURB AND GUTTER
 12. EXISTING SIDEWALK
 13. INSTALL 24" MODIFIED TYPE "F" MOUNTABLE CURB AND GUTTER PER DETAIL 9/C-500
 14. INSTALL 24" MODIFIED TYPE "F" REVERSE MOUNTABLE CURB AND GUTTER PER DETAIL 10/C-500
 15. TRANSITION FROM 24" MODIFIED TYPE "F" MOUNTABLE CURB AND GUTTER TO 24" MODIFIED TYPE "F" REVERSE PAN MOUNTABLE CURB AND GUTTER
 16. TRANSITION FROM 30" TYPE "F" COLLECTION CURB AND GUTTER TO 30" TYPE "F" REVERSE PAN CURB AND GUTTER
 17. INSTALL 3" WATERWAY PER DETAIL 11/C-500
 18. INSTALL CLASS 2 TRAIL PER DETAIL 13/C-500
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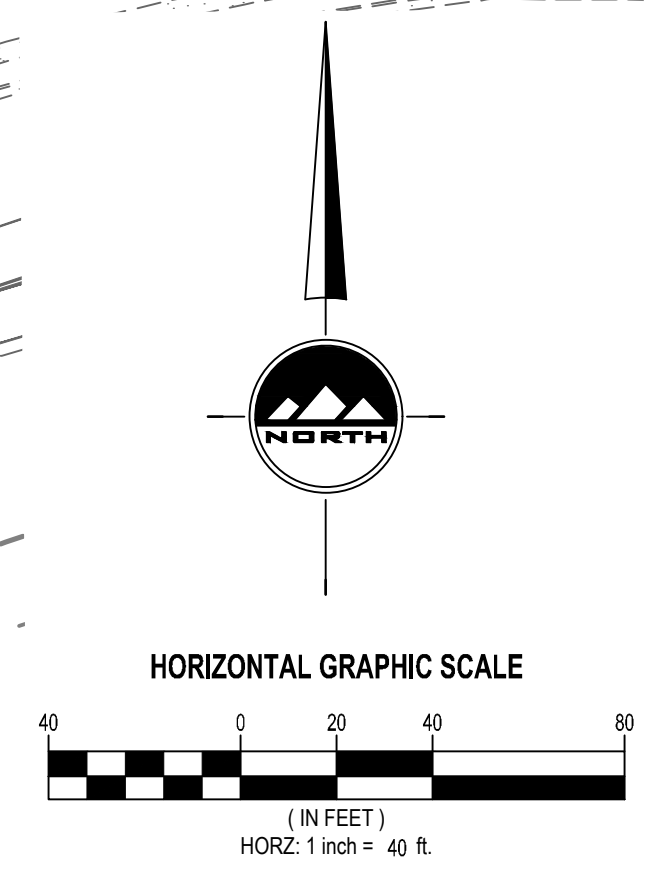


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SITE PLAN

PROJECT NUMBER 9872
 PRINT DATE 2024-02-02
 PROJECT MANAGER CP
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SEE SHEET C-103 FOR 2600 NORTH STREET SITE AND STRIPING INFORMATION

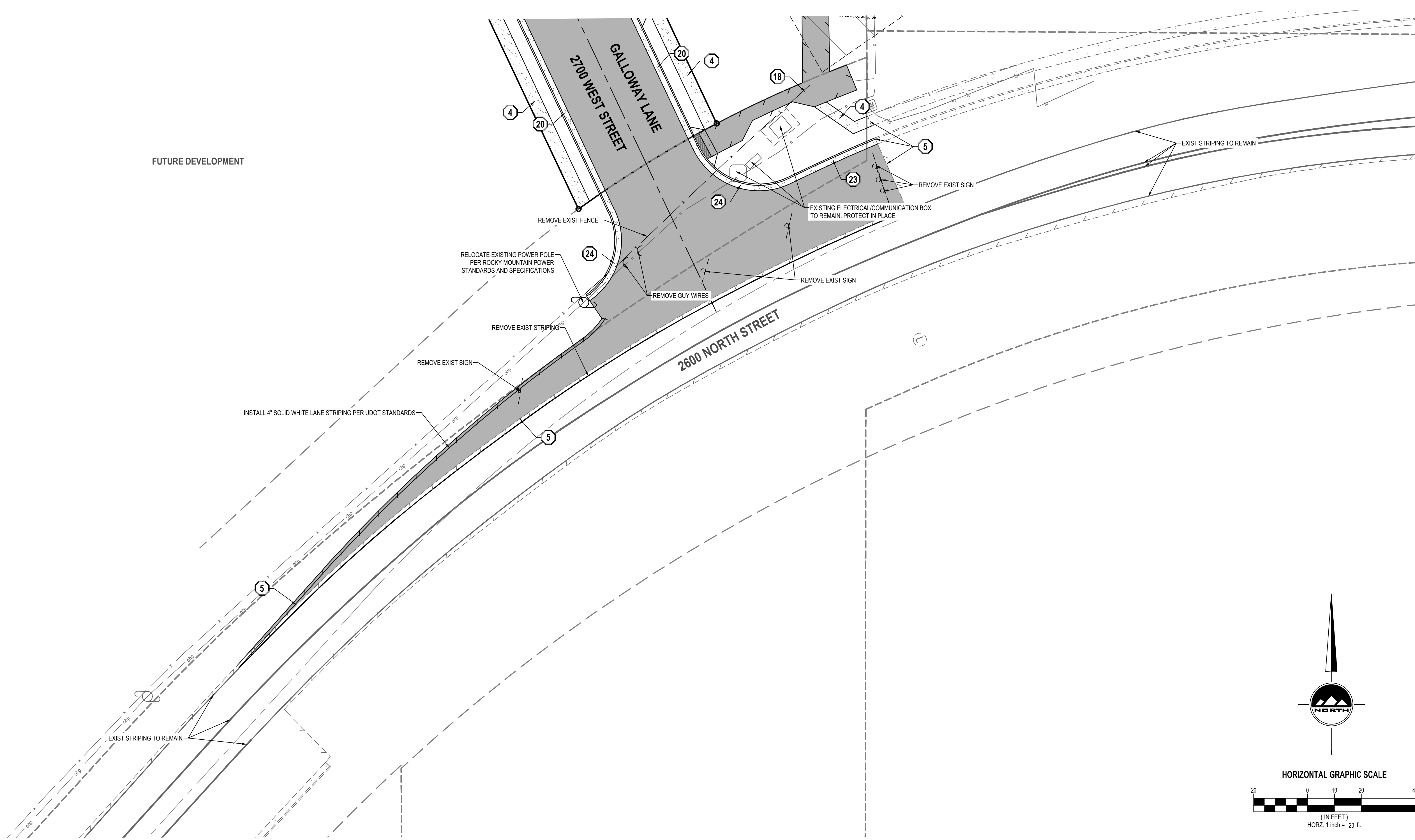


BENCHMARK
 NORTHWEST CORNER OF SECTION 27
 TOWNSHIP 7 NORTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4231.00'

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- 1 INSTALL FIRE HYDRANT AND VALVE PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
- 2 INSTALL HANDICAP ACCESSIBLE RAMP PER APWA PLAN 235.2
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- 7 EXISTING STREET LIGHT
- 8 INSTALL STREET LIGHT PER WEBER COUNTY STANDARDS AND SPECIFICATIONS COORDINATE ALL PROPOSED STREET LIGHT LOCATIONS WITH WEBER COUNTY AND THE STREET LIGHT INSTALLATION WITH ROCKY MOUNTAIN POWER
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- 14 INSTALL 24" MODIFIED TYPE 'F' REVERSE MOUNTABLE CURB AND GUTTER PER DETAIL 10/C-500
- 15 TRANSITION FROM 24" MODIFIED TYPE 'F' MOUNTABLE CURB AND GUTTER TO 24" MODIFIED TYPE 'F' REVERSE PAN MOUNTABLE CURB AND GUTTER
- 16 TRANSITION FROM 30" TYPE 'F' COLLECTION CURB AND GUTTER TO 30" TYPE 'F' REVERSE PAN CURB AND GUTTER
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- 22 INSTALL 30" TYPE 'F' MOUNTABLE REVERSE PAN CURB AND GUTTER PER DETAIL 12/C-500
- 23 INSTALL TYPE B1 CURB AND GUTTER PER UDOT STANDARD PLAN GW 2A
- 24 TRANSITION FROM TYPE B1 CURB AND GUTTER TO 30" TYPE 'A' CURB AND GUTTER



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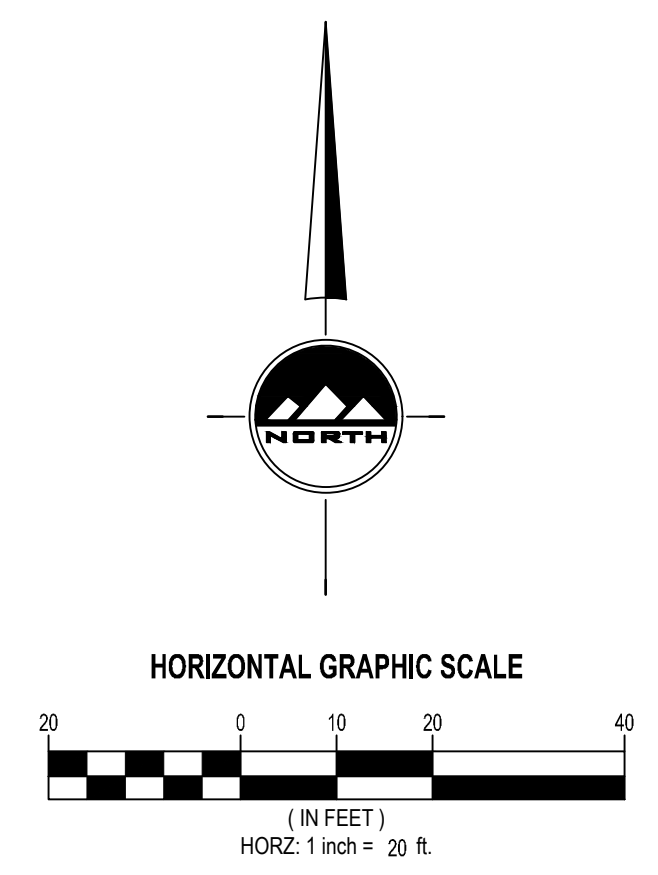


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2600 NORTH STREET SITE AND STRIPING PLAN

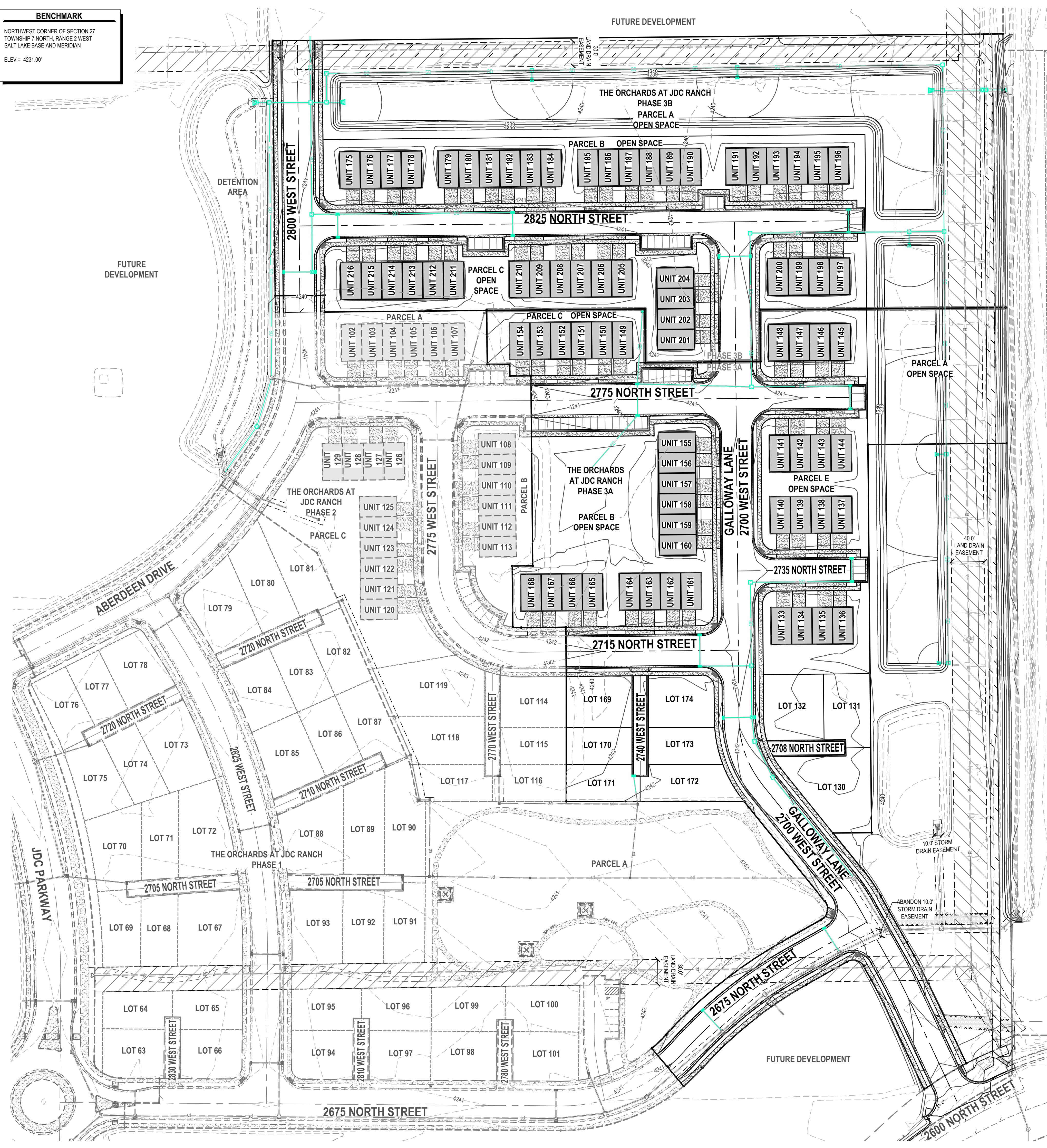
PROJECT NUMBER 9872 PRINT DATE 2024-02-02
 PROJECT MANAGER CP DESIGNED BY TS

C-103





BENCHMARK
 NORTHWEST CORNER OF SECTION 27
 TOWNSHIP 7 NORTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4231.00'



- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
 4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
 5. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 6. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
 7. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 8. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
 9. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
 10. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 11. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
 12. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

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 WEBER COUNTY, UTAH**

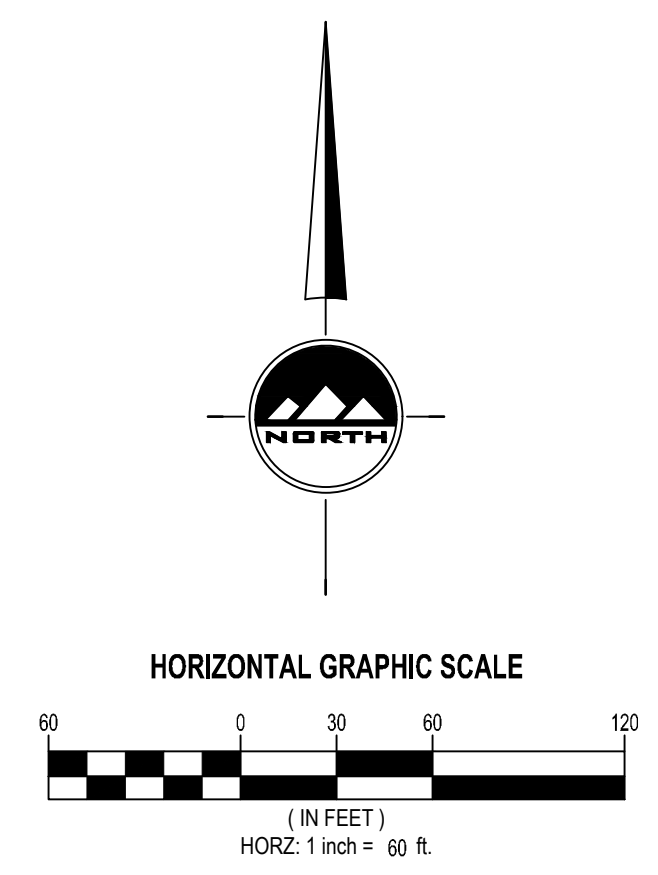


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OVERALL GRADING AND DRAINAGE PLAN

PROJECT NUMBER 9872 PRINT DATE 2024-02-02
 PROJECT MANAGER CP DESIGNED BY TS

C-200



811

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PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
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BENCHMARK

NORTHWEST CORNER OF SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4231.00'



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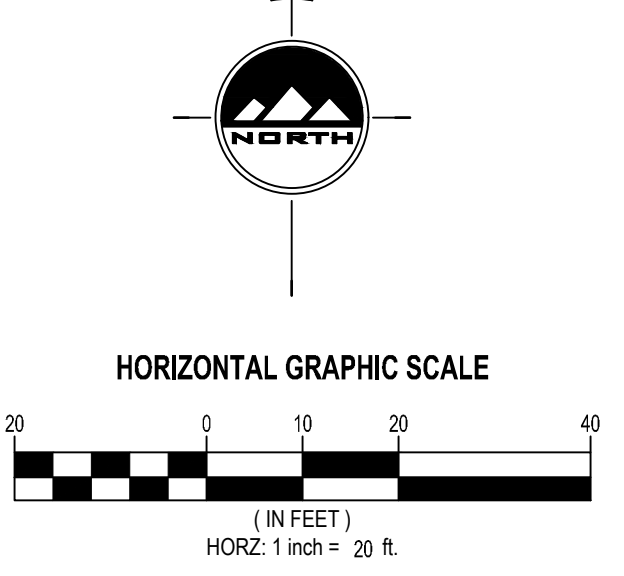
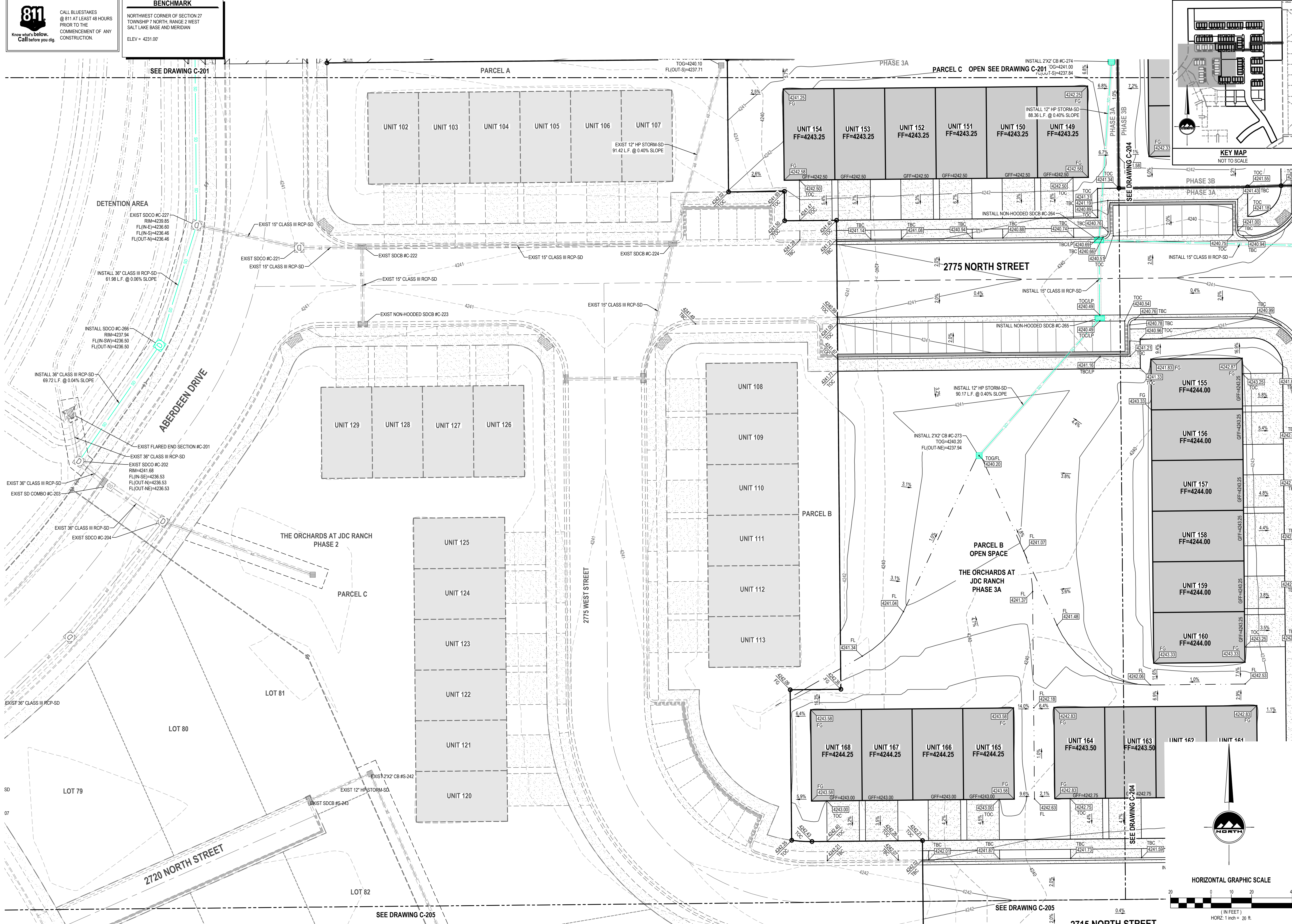
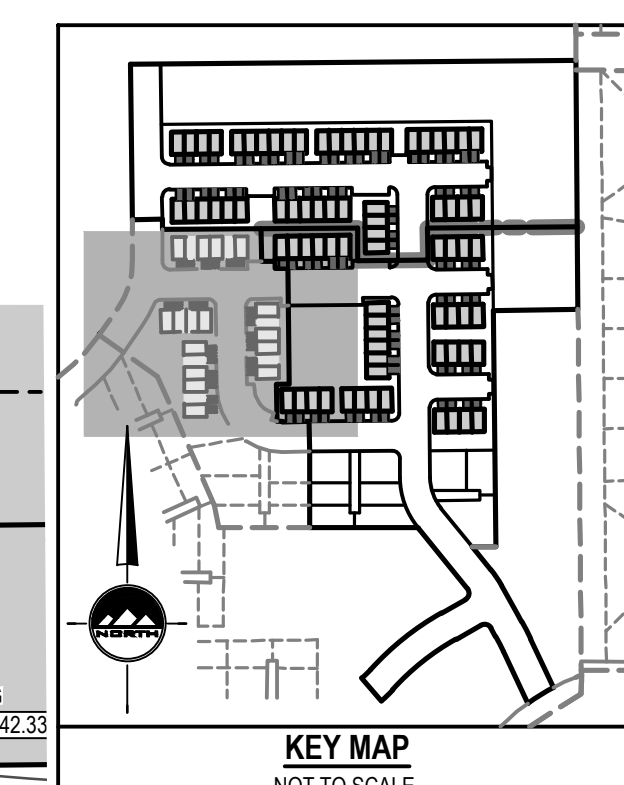
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**THE ORCHARDS AT JDC RANCH
PHASES 3A AND 3B
2800 WEST 2600 NORTH STREET
WEBER COUNTY, UTAH**



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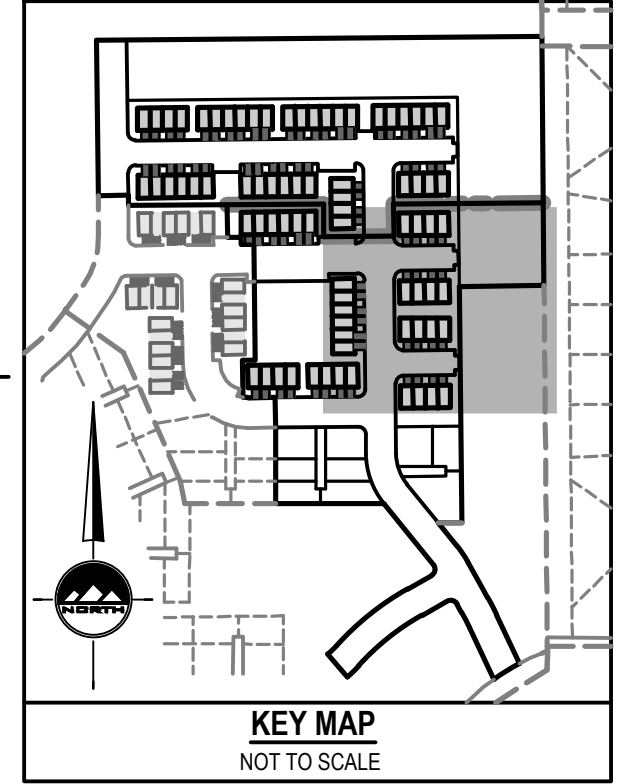
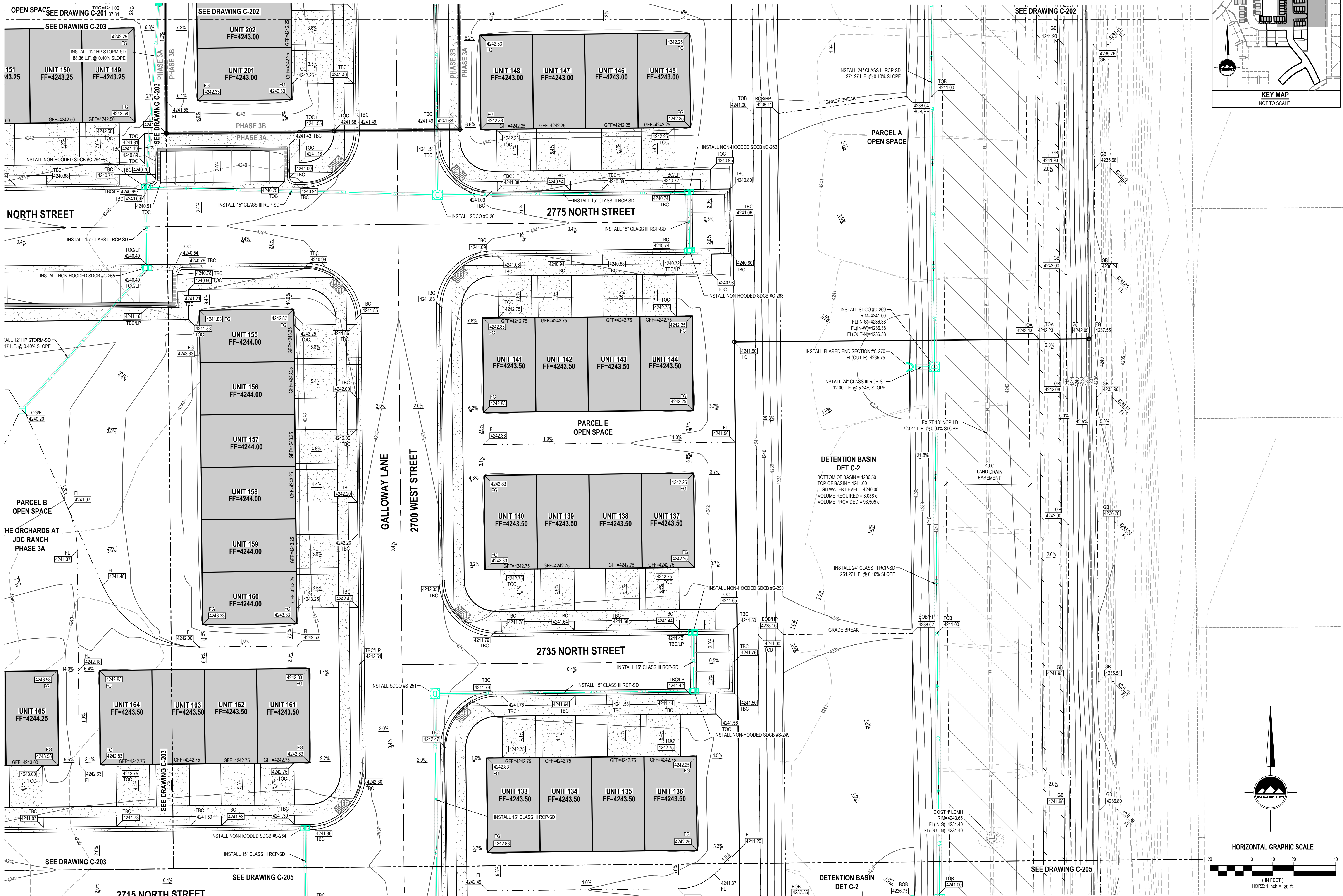
GRADING AND DRAINAGE PLAN

PROJECT NUMBER: 9872
PRINT DATE: 2024-02-02
PROJECT MANAGER: CP
DESIGNED BY: TS

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BENCHMARK
 NORTHWEST CORNER OF SECTION 27
 TOWNSHIP 7 NORTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4231.00'



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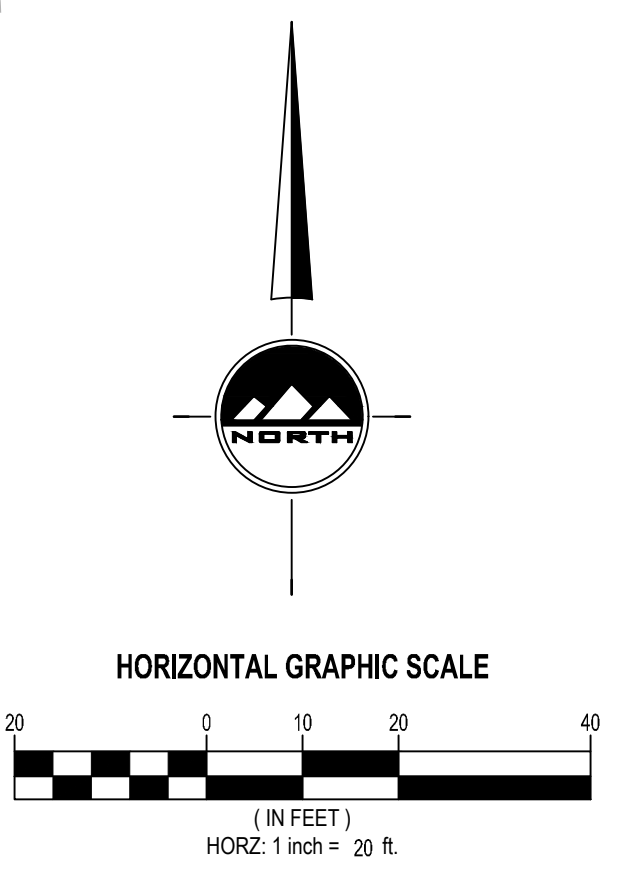


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GRADING AND DRAINAGE PLAN

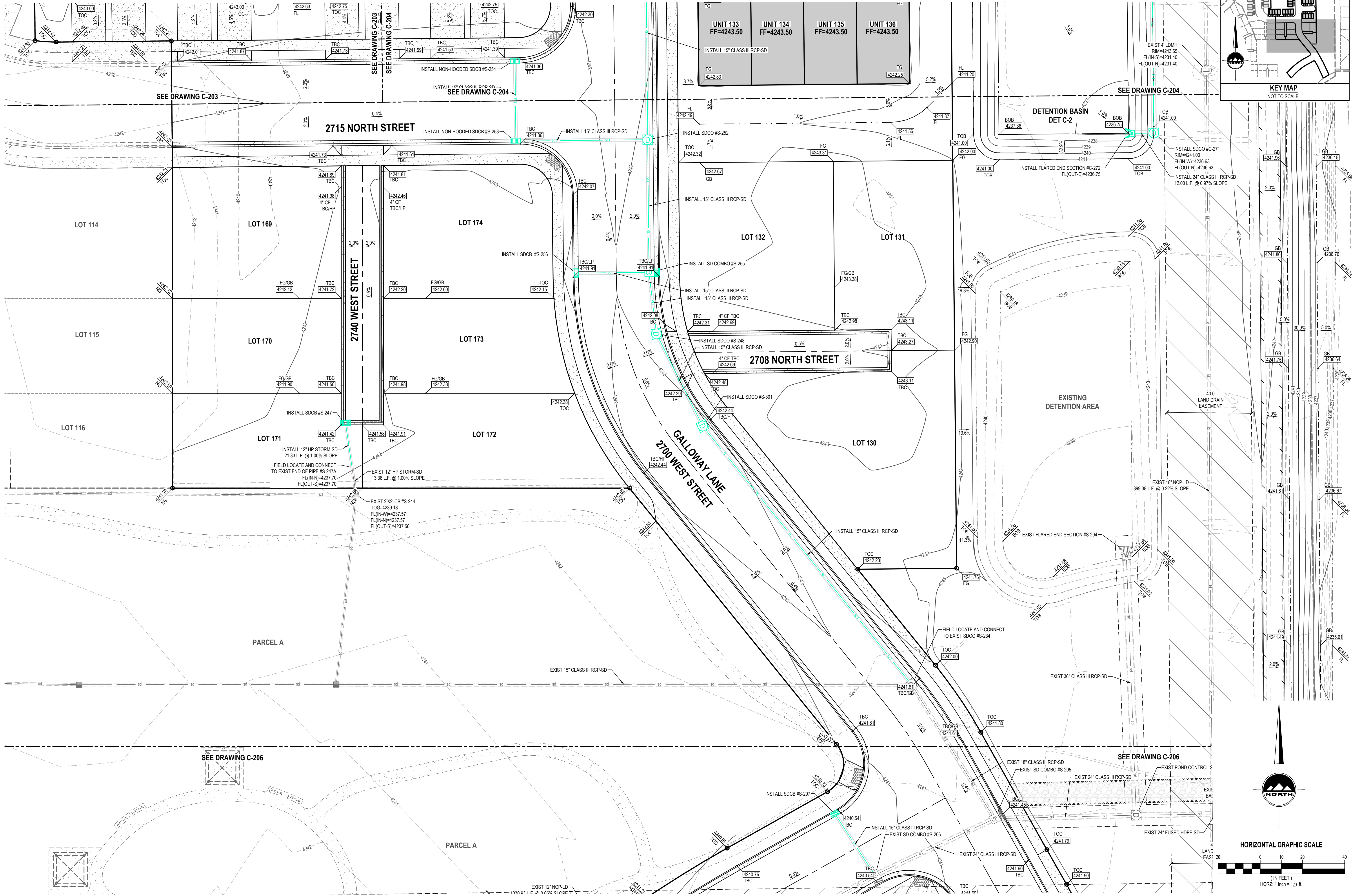
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ELEV = 4231.00'



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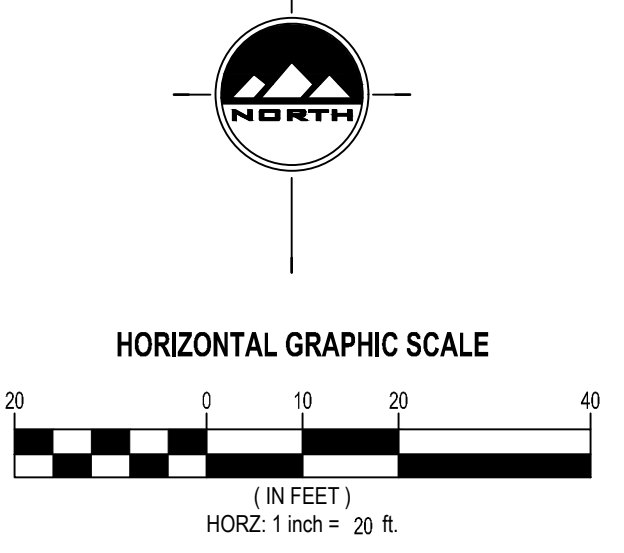


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GRADING AND DRAINAGE PLAN

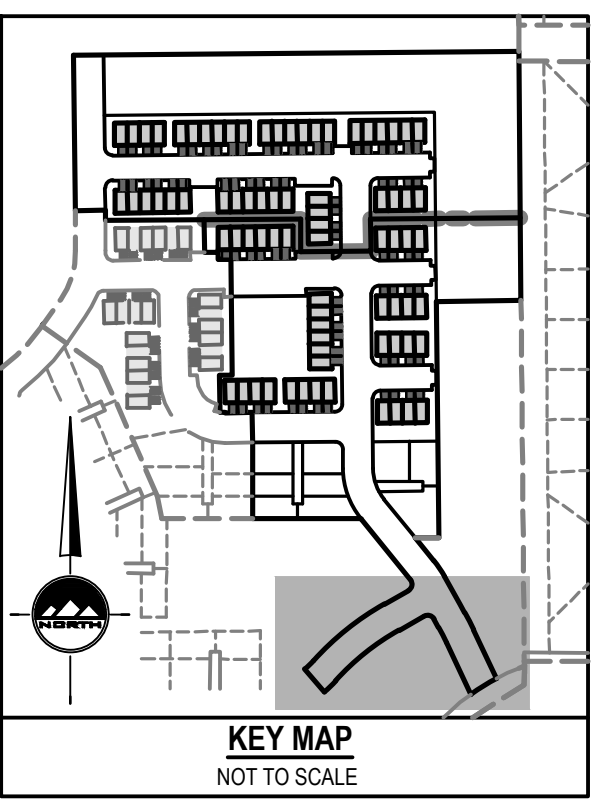
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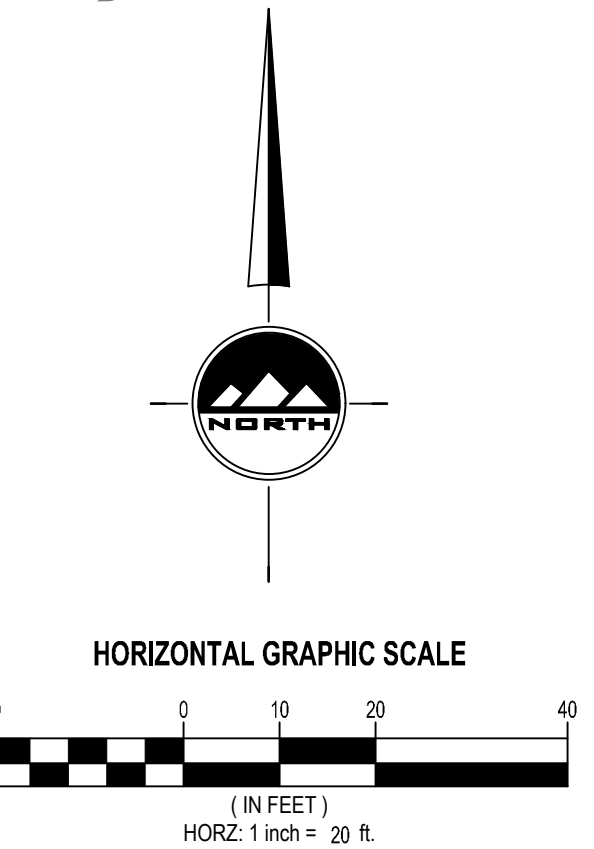
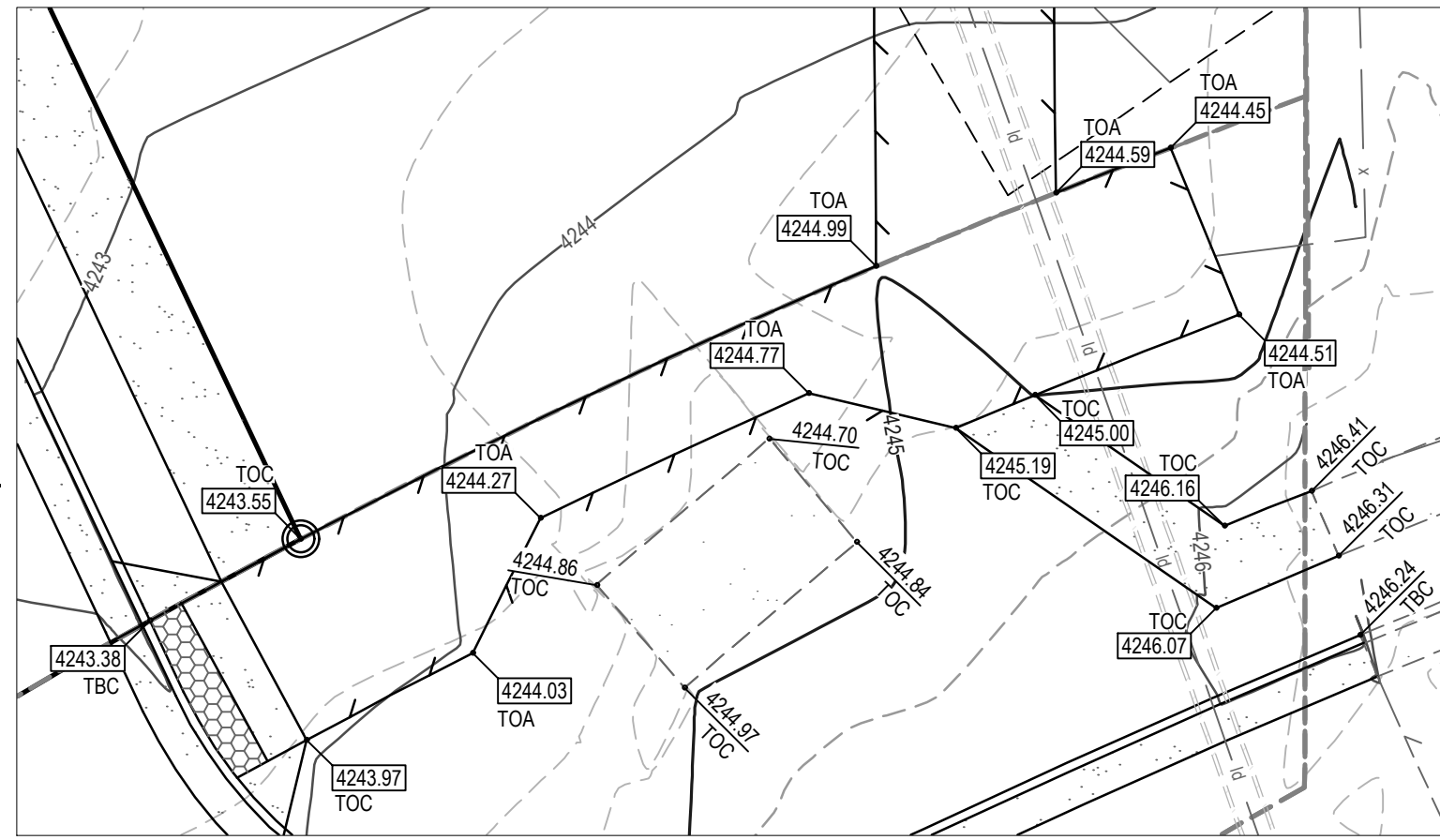
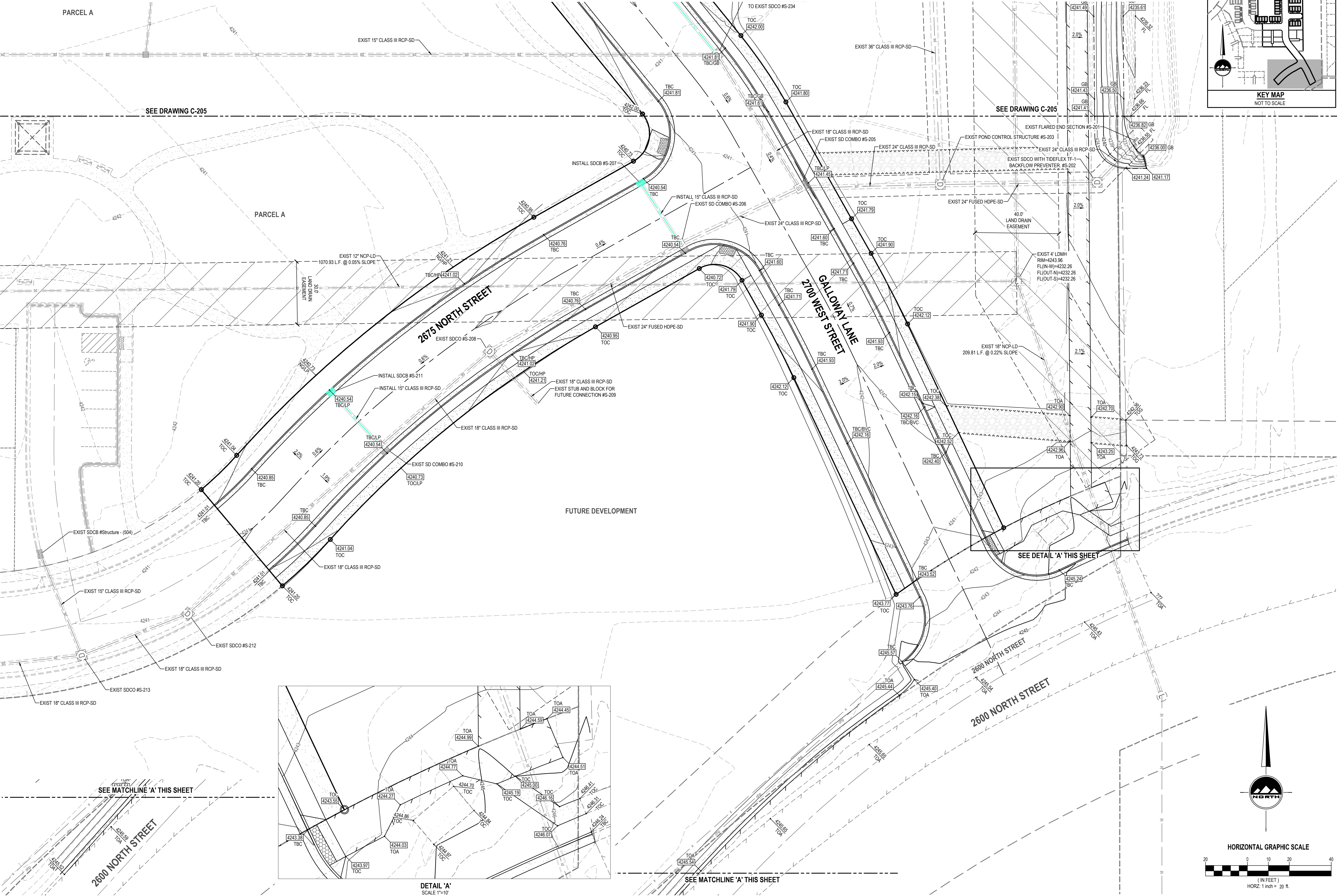
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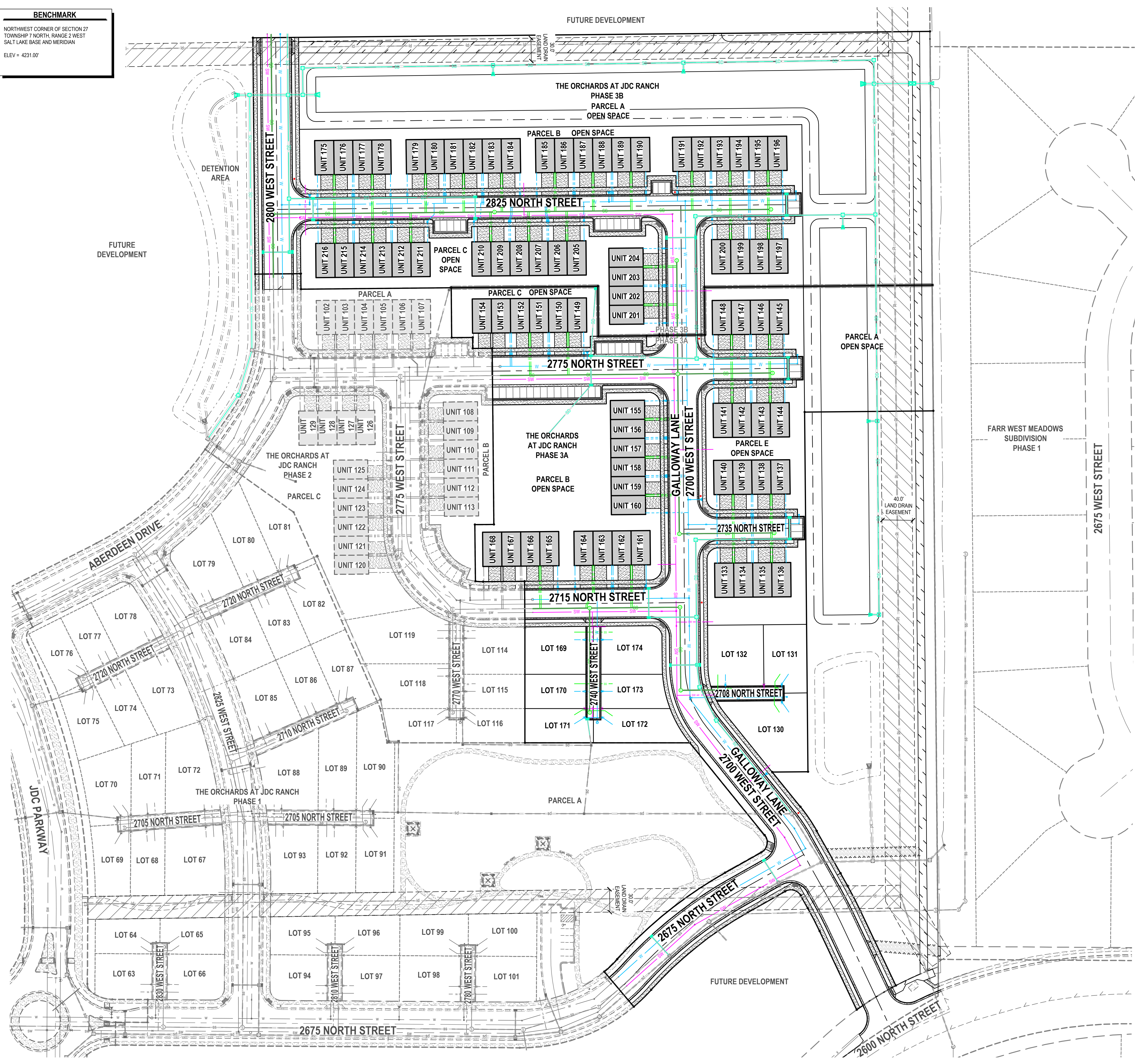
GRADING AND DRAINAGE PLAN

PROJECT NUMBER 9872
PROJECT MANAGER CP
PRINT DATE 2024-02-02
DESIGNED BY TS

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BENCHMARK
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 3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
 4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
 5. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 6. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
 7. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
 8. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
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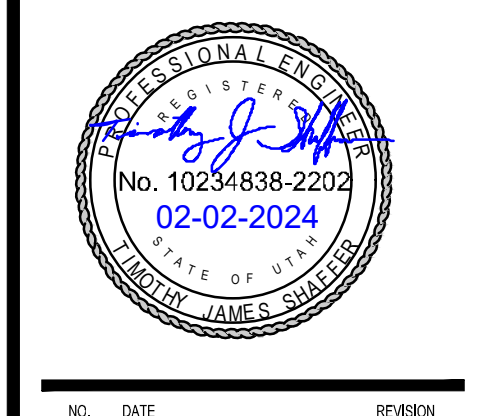
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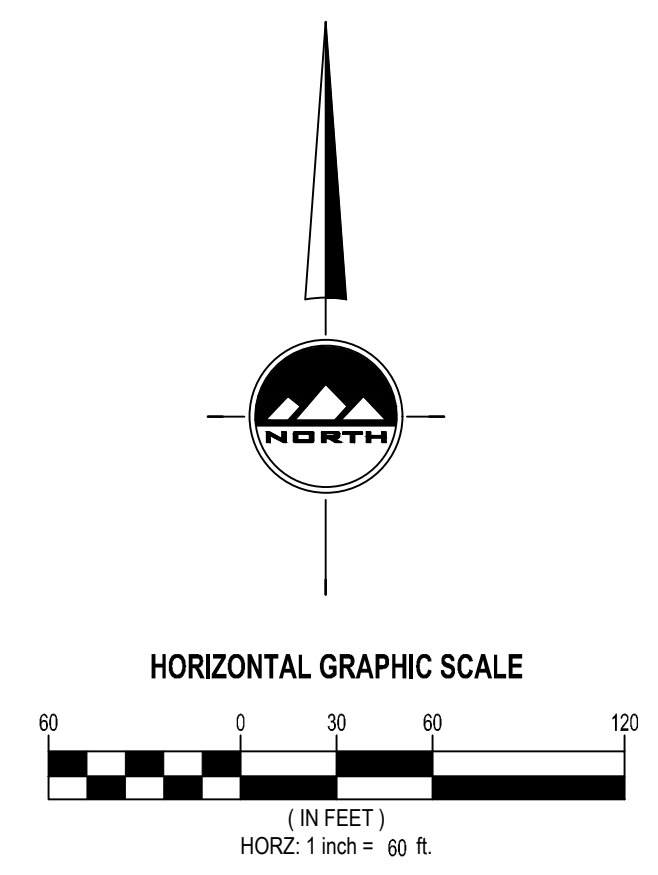


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OVERALL UTILITY PLAN

PROJECT NUMBER 9872 PRINT DATE 2024-02-02
 PROJECT MANAGER CP DESIGNED BY TS

C-300

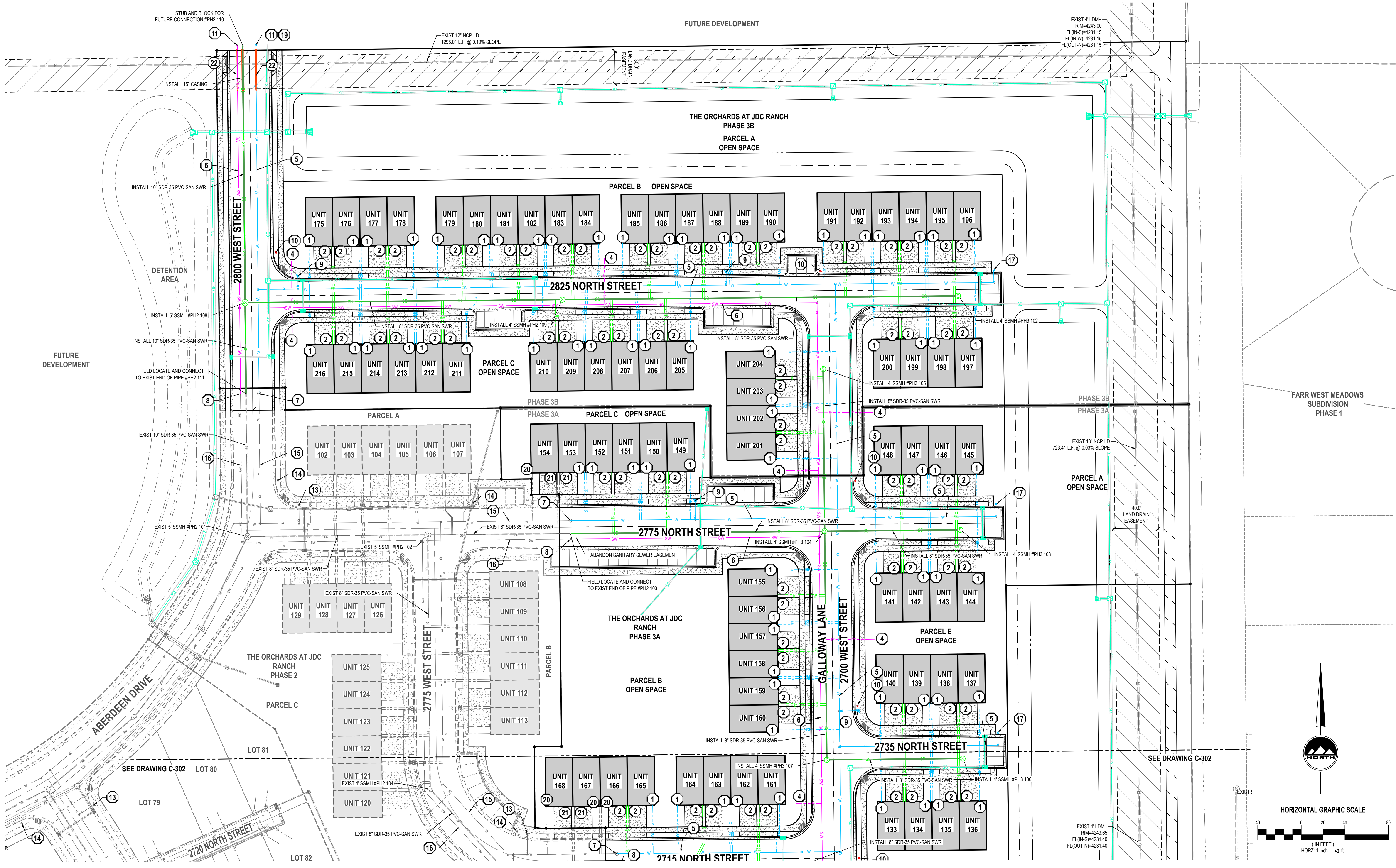




BENCHMARK
 NORTHWEST CORNER OF SECTION 27
 TOWNSHIP 7 NORTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4231.00'

SCOPE OF WORK:
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 INSTALL TYPICAL WATER CONNECTION PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS
- 2 INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE PER PLAIN CITY STANDARDS AND SPECIFICATIONS.
- 3 INSTALL 1-1/2" PVC DUAL TURNOUT SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
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CONTACT:
 STEVE ANDERSON
 PHONE: 801.392.8100

**THE ORCHARDS AT JDC RANCH
 PHASES 3A AND 3B
 2800 WEST 2600 NORTH STREET
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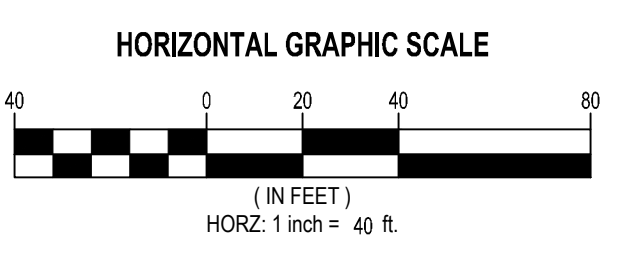
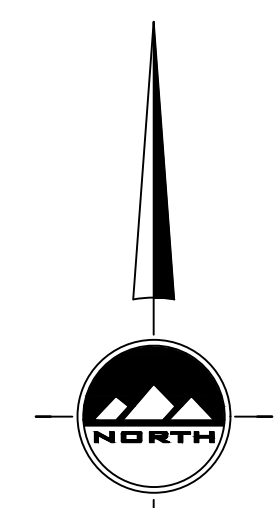


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UTILITY PLAN

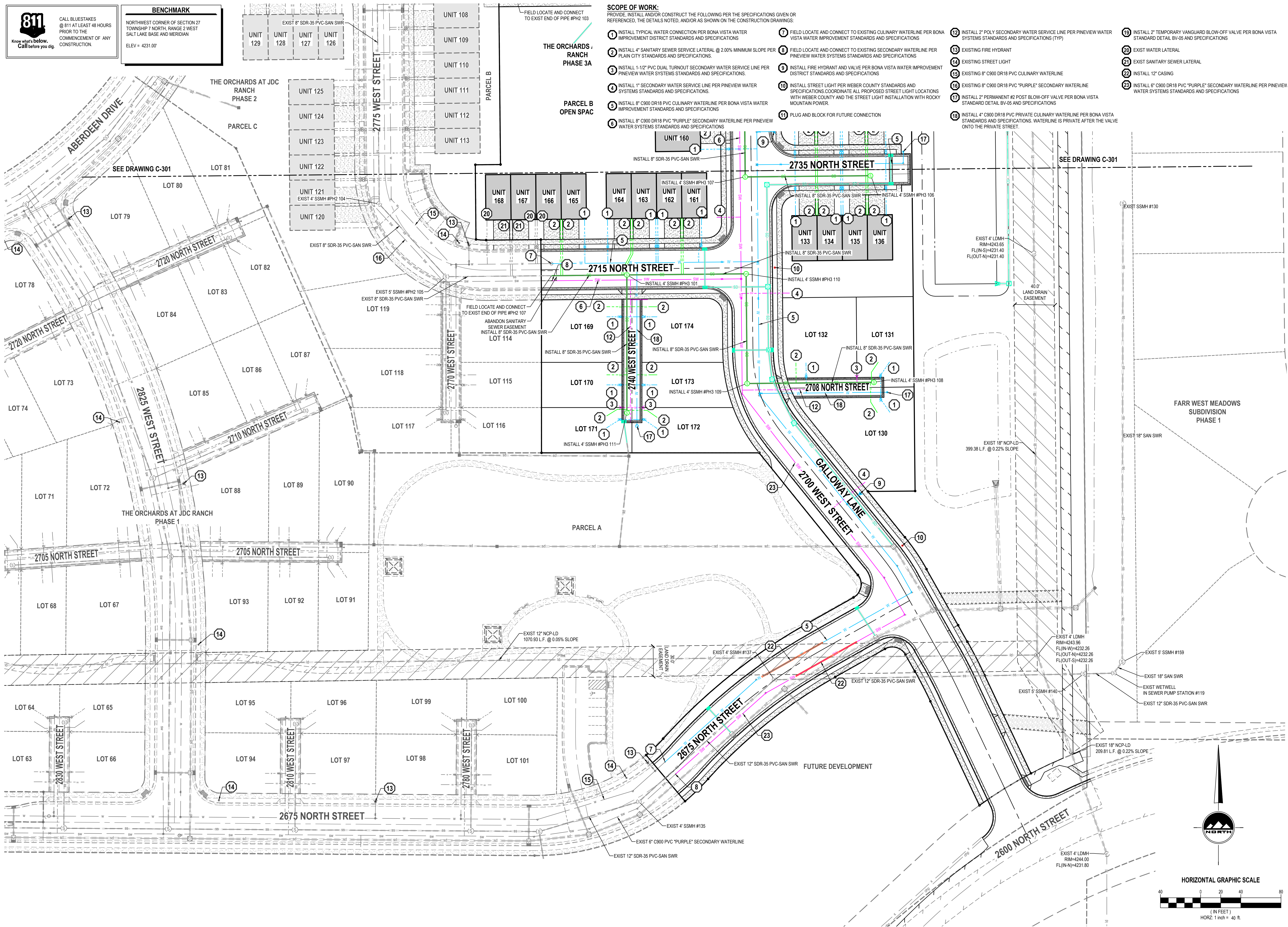
PROJECT NUMBER 9872 PRINT DATE 2024-02-02
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C-301





BENCHMARK
 NORTHWEST CORNER OF SECTION 27
 TOWNSHIP 7 NORTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
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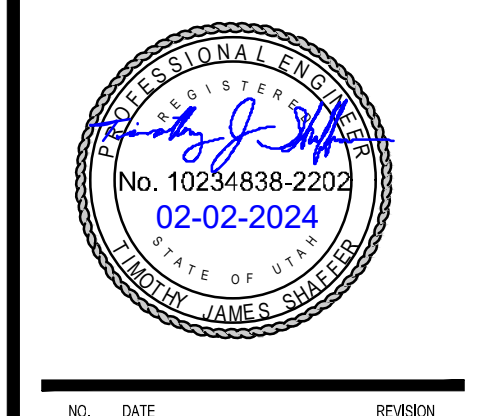
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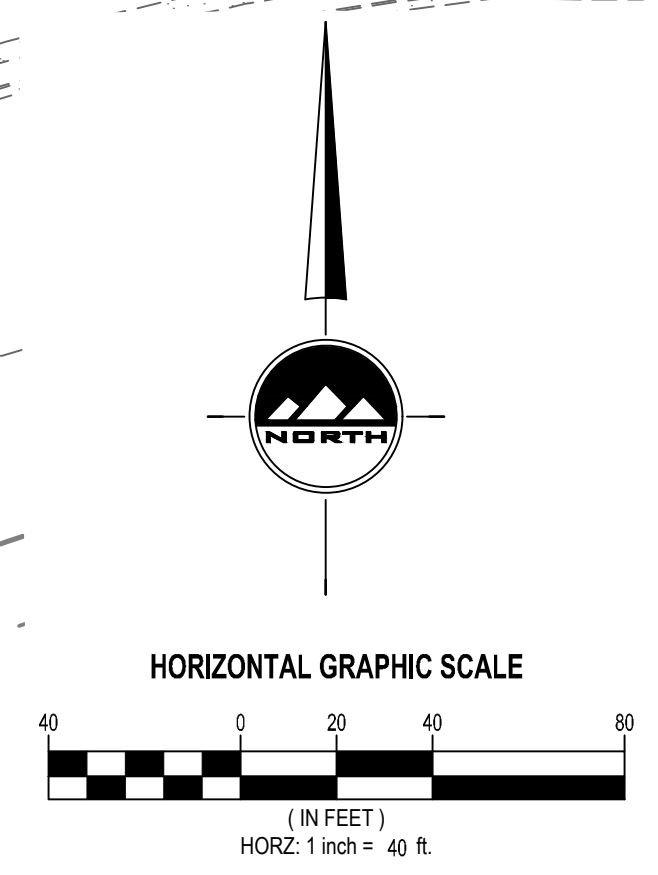


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UTILITY PLAN

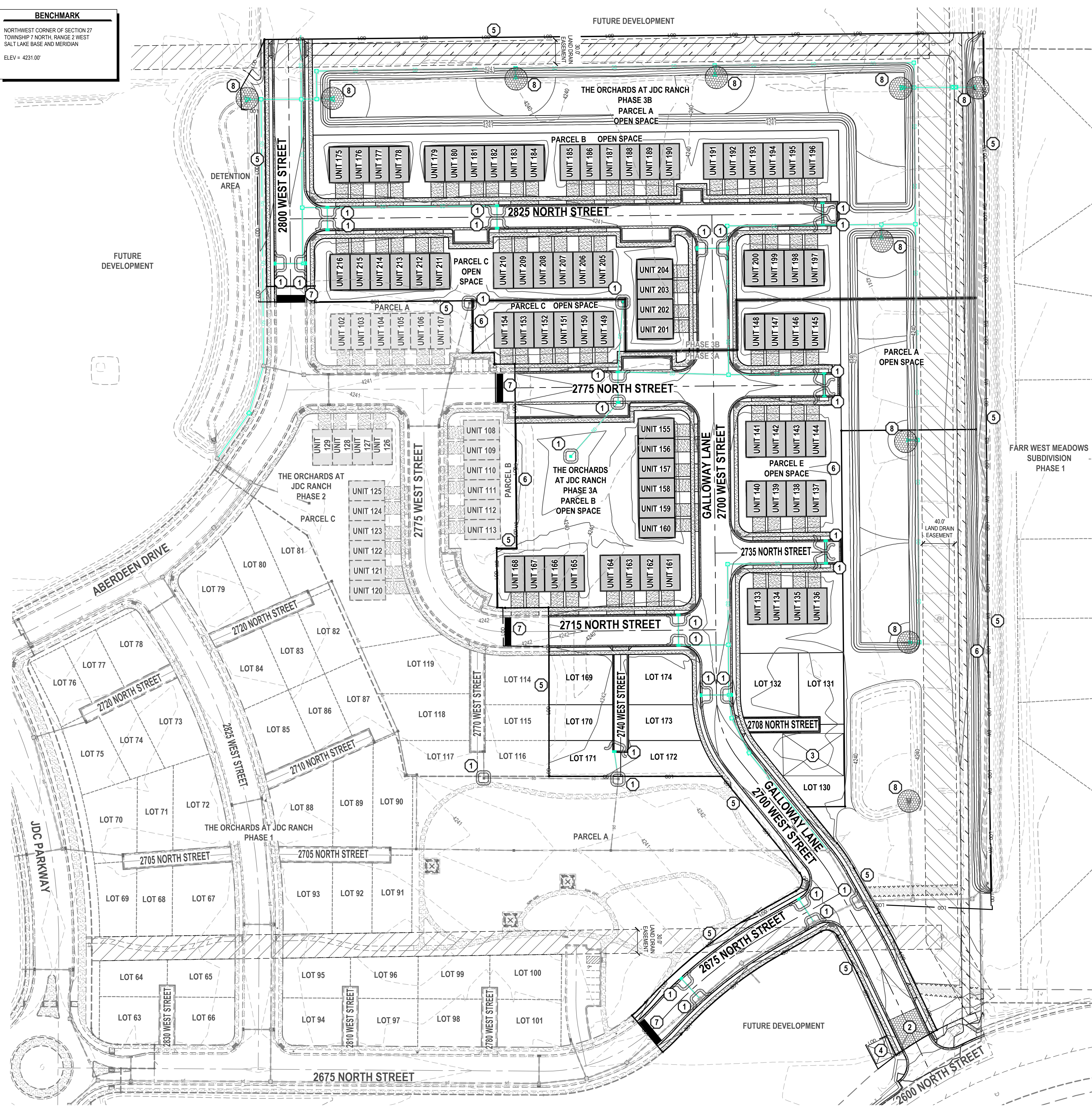
PROJECT NUMBER 9872
 PROJECT MANAGER CP
 PRINT DATE 2024-02-02
 DESIGNED BY TS

C-302





BENCHMARK
 NORTHWEST CORNER OF SECTION 27
 TOWNSHIP 7 NORTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4231.00'



- GENERAL NOTES**
- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
 - DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
 - RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
 - DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
 - VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMPs TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
 - NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
 - A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

- SCOPE OF WORK:**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- INLET PROTECTION PER DETAIL 1/C-500.
 - VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 2/C-500.
 - SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
 - CONCRETE CLEANOUT LINED BASIN OR DUMPSTER.
 - LIMITS OF DISTURBANCE.
 - INSTALL TEMPORARY STRAW WATTLE OR EQUIVALENT BMP PER DETAIL 5/C-500.
 - BLOCK ENTRANCE DURING CONSTRUCTION.
 - INSTALL OUTLET PROTECTION PER DETAIL 2/C-501.

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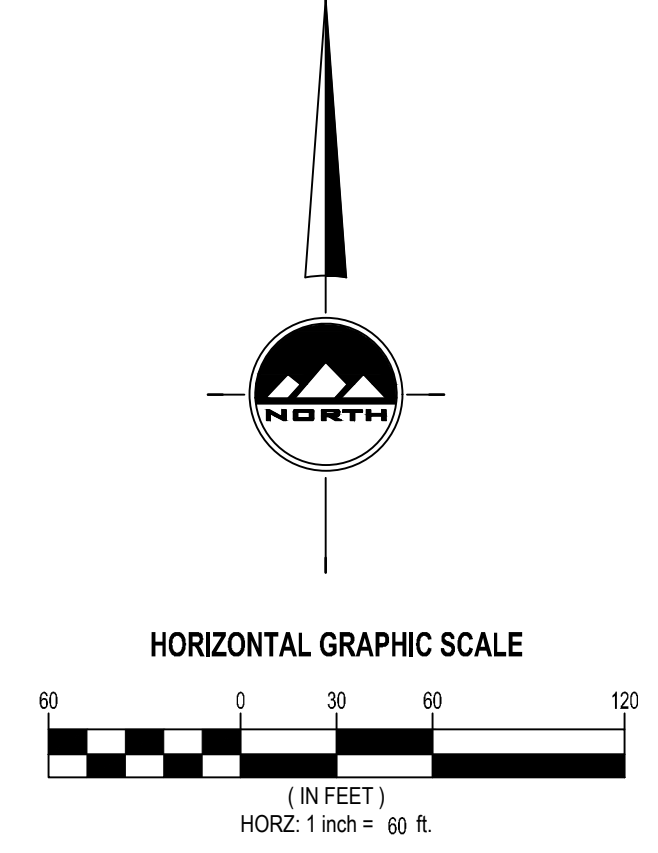


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OVERALL EROSION CONTROL PLAN

PROJECT NUMBER 9872 PRINT DATE 2024-02-02
 PROJECT MANAGER CP DESIGNED BY TS

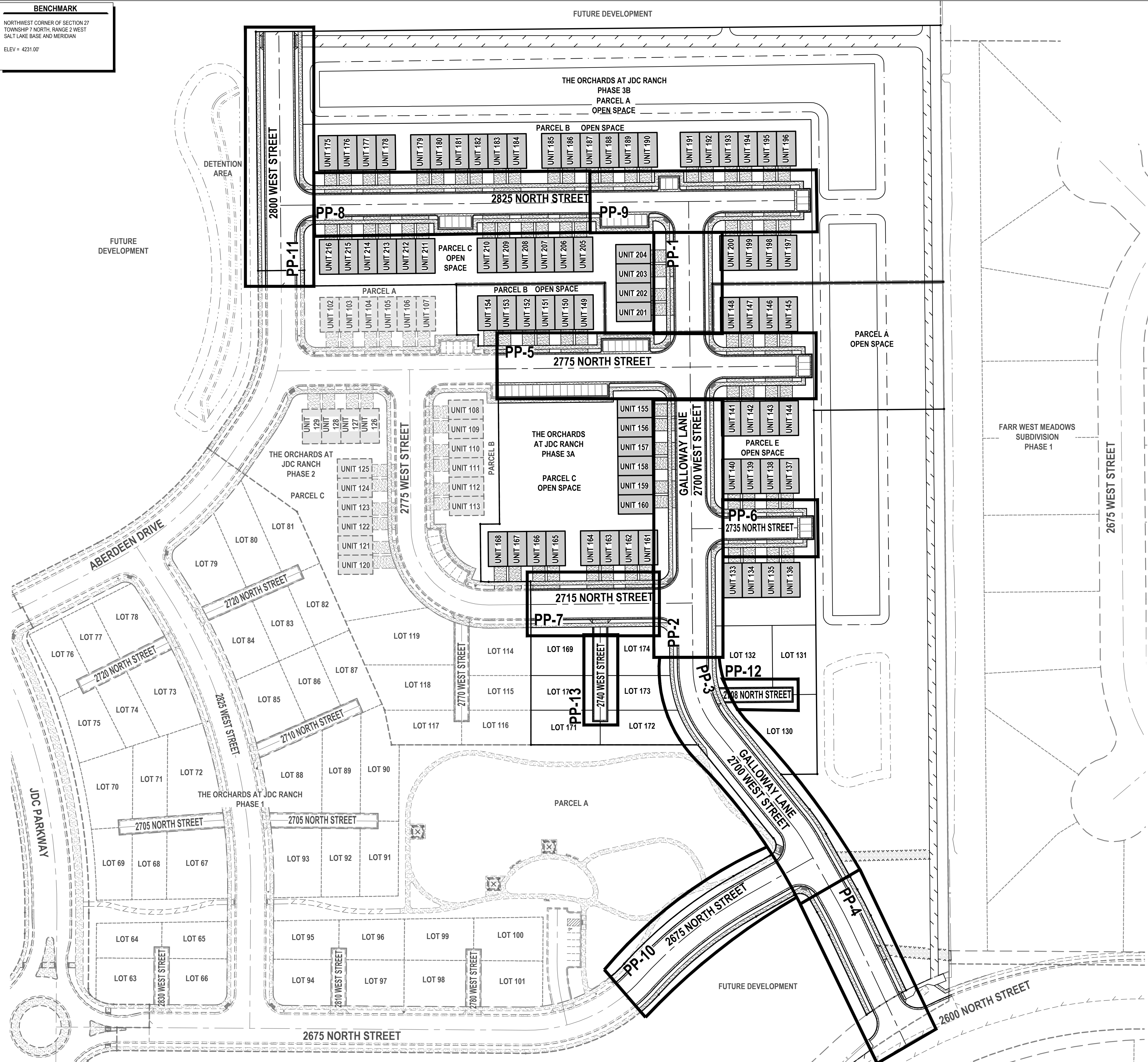
C-400



811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
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BENCHMARK
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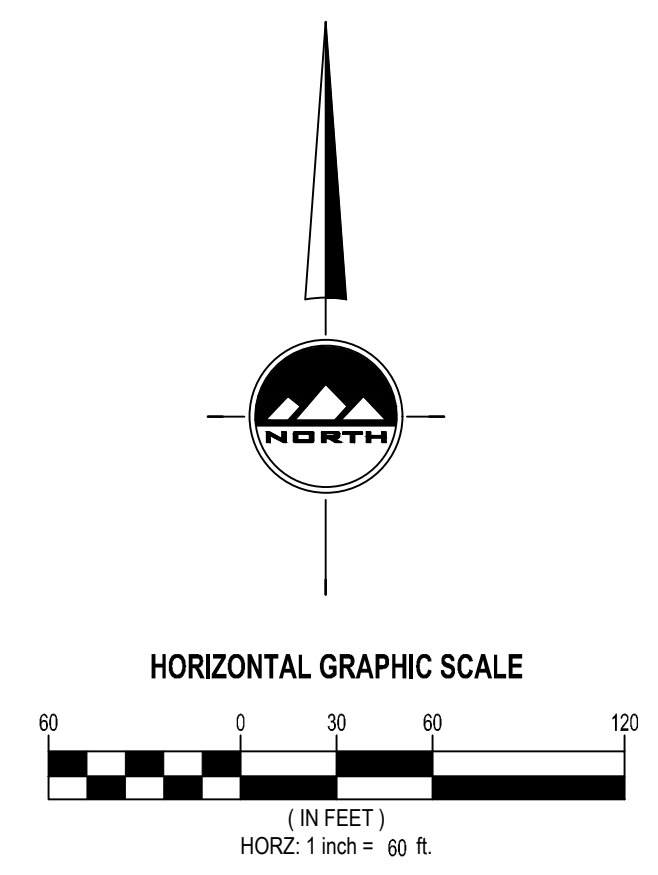


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**PLAN AND PROFILE
KEY MAP**

PROJECT NUMBER 9872 PRINT DATE 2024-02-02
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PP-0

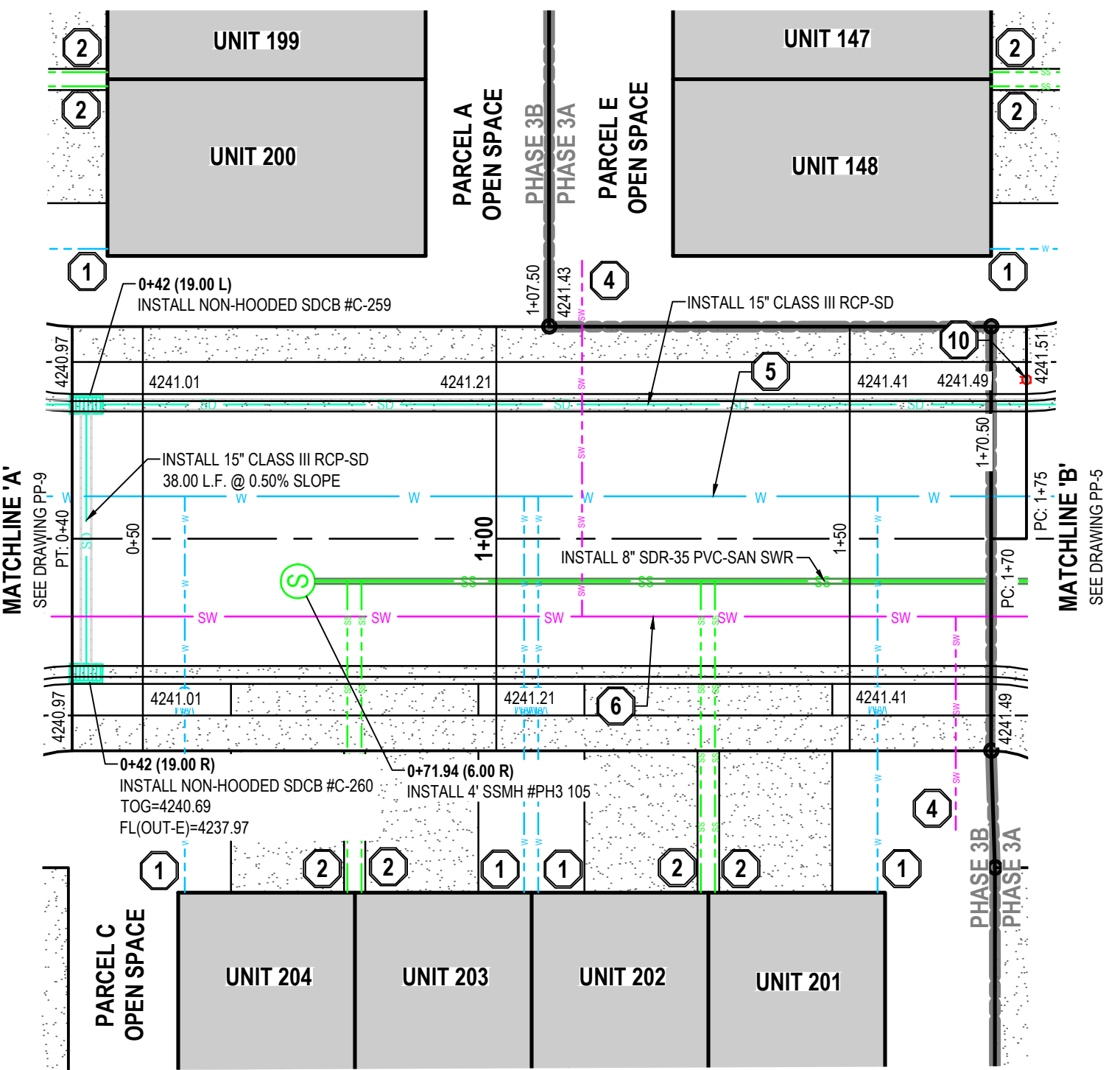


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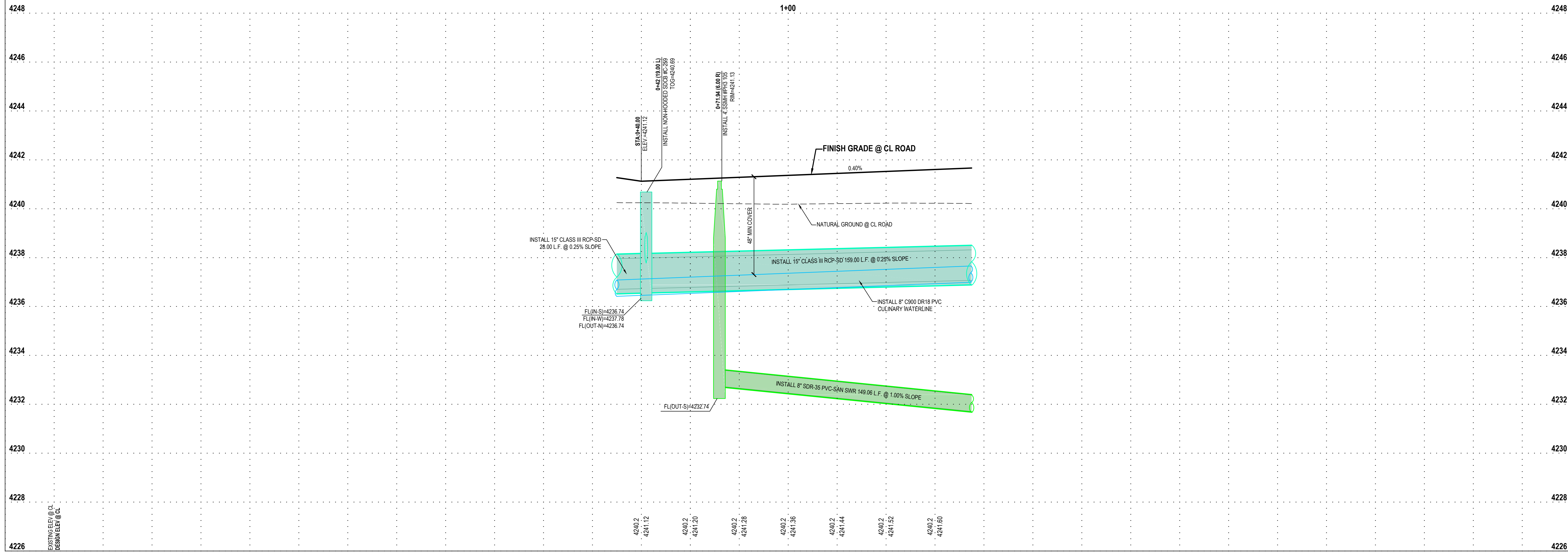
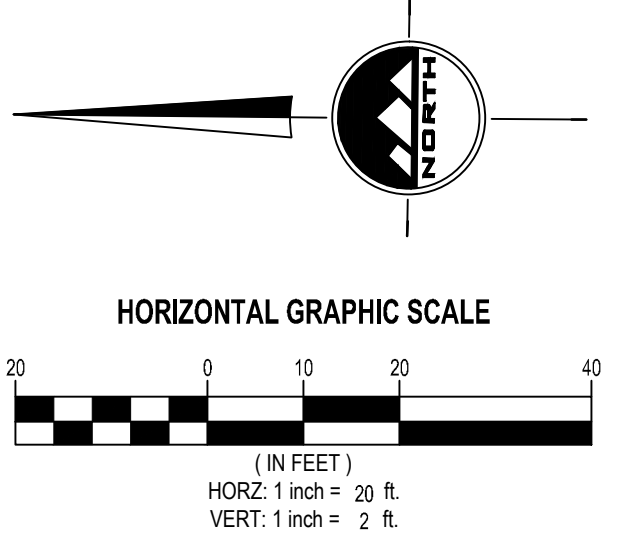
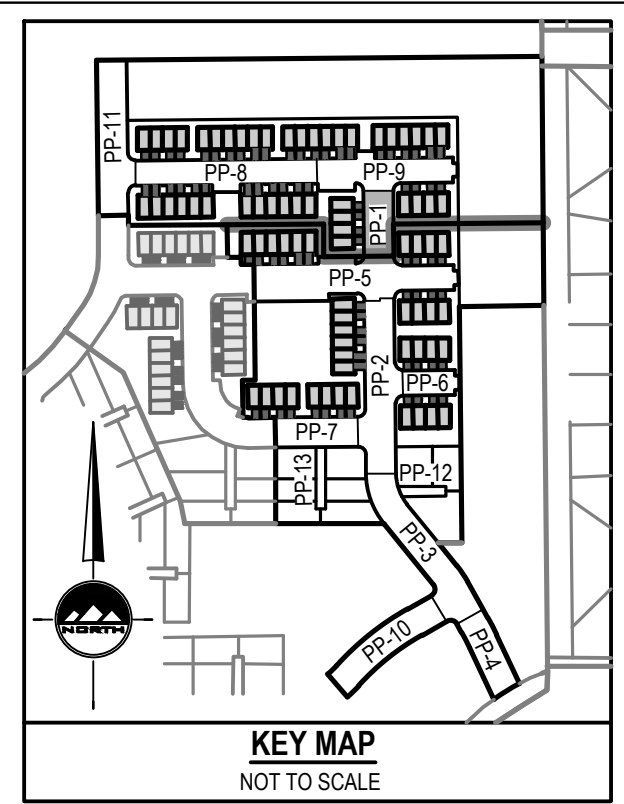
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GALLOWAY LANE (2700 WEST STREET)



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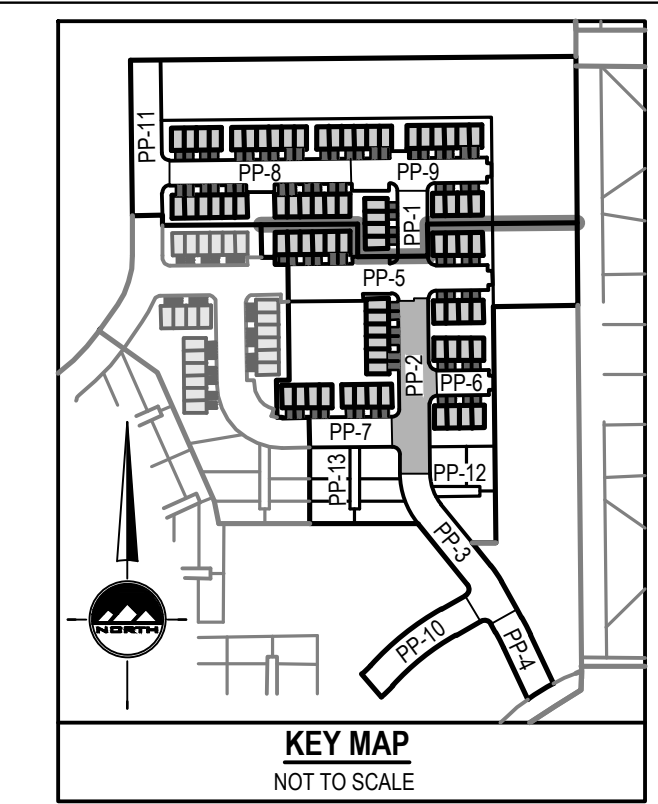
GALLOWAY LANE (2700 WEST STREET)
PLAN AND PROFILE

PROJECT NUMBER: 9872
PRINT DATE: 2024-02-02
PROJECT MANAGER: CP
DESIGNED BY: TS

PP-1

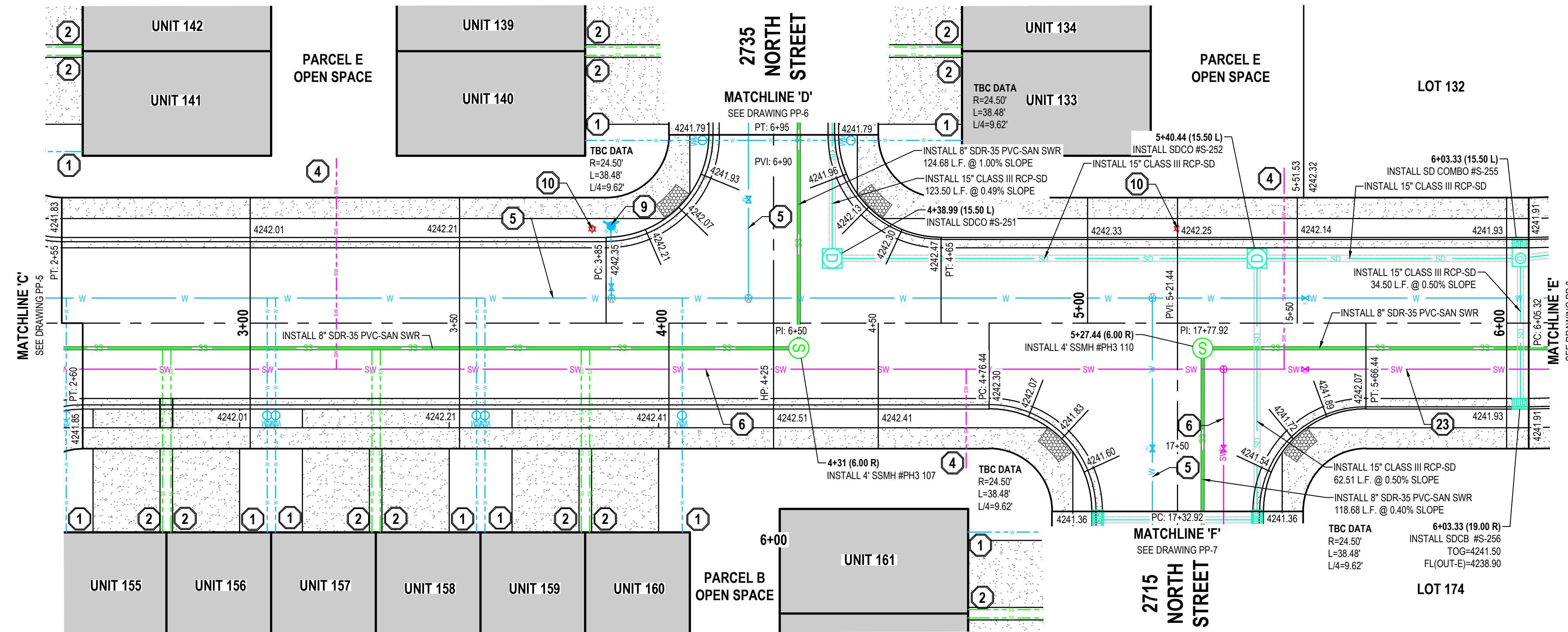
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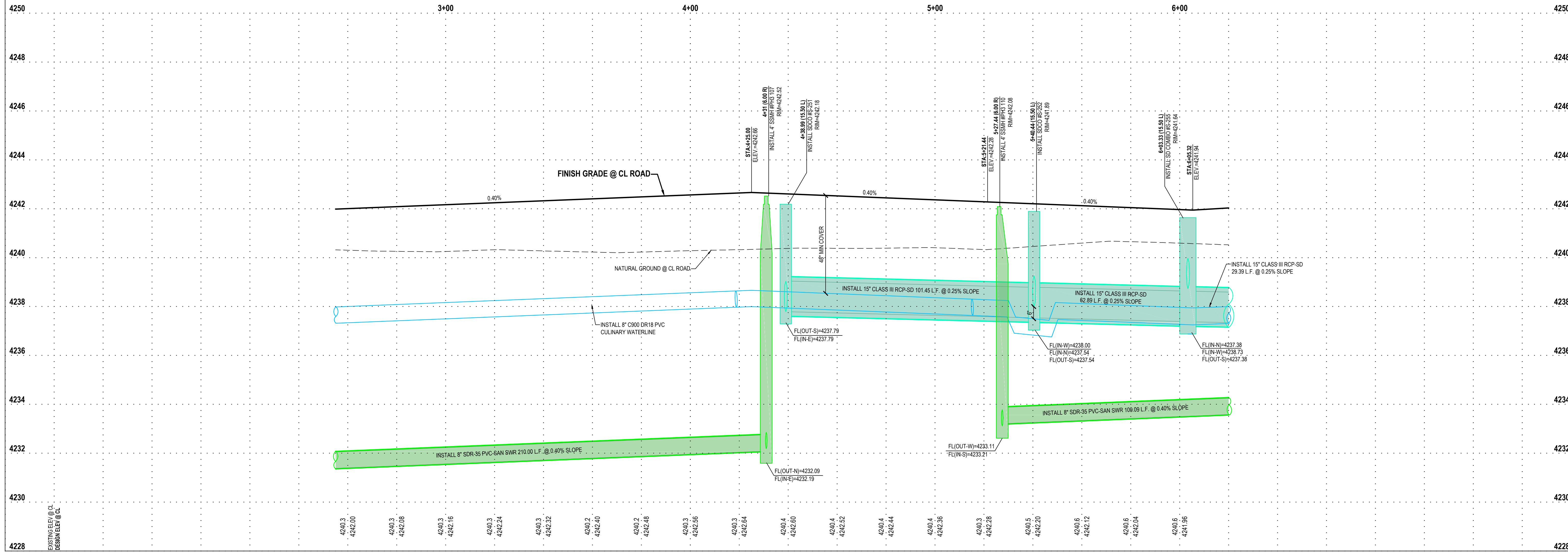
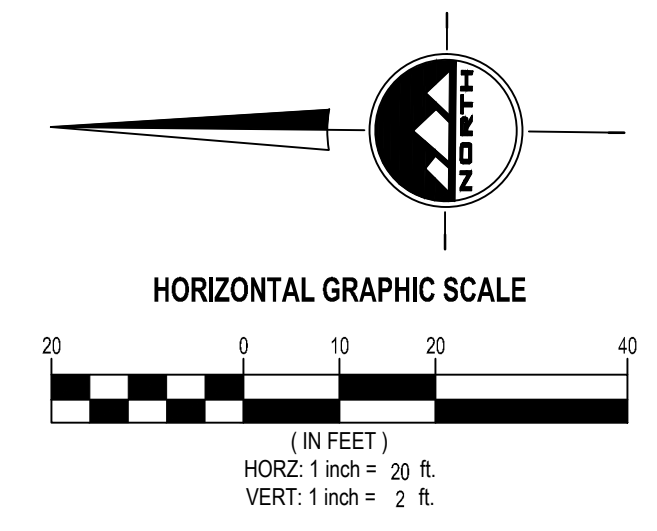


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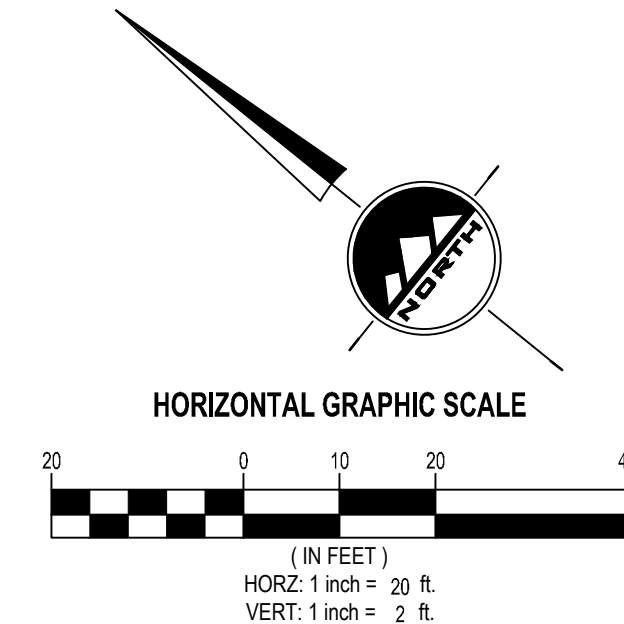
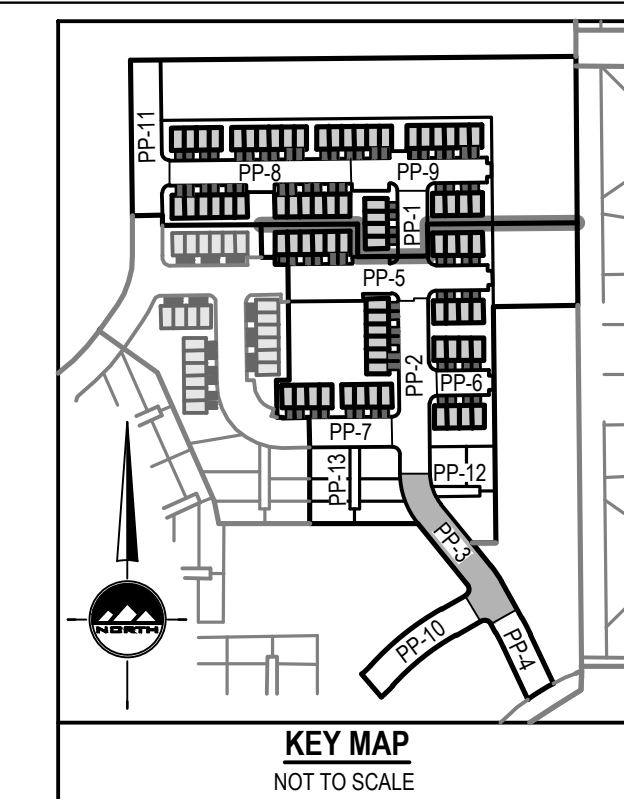
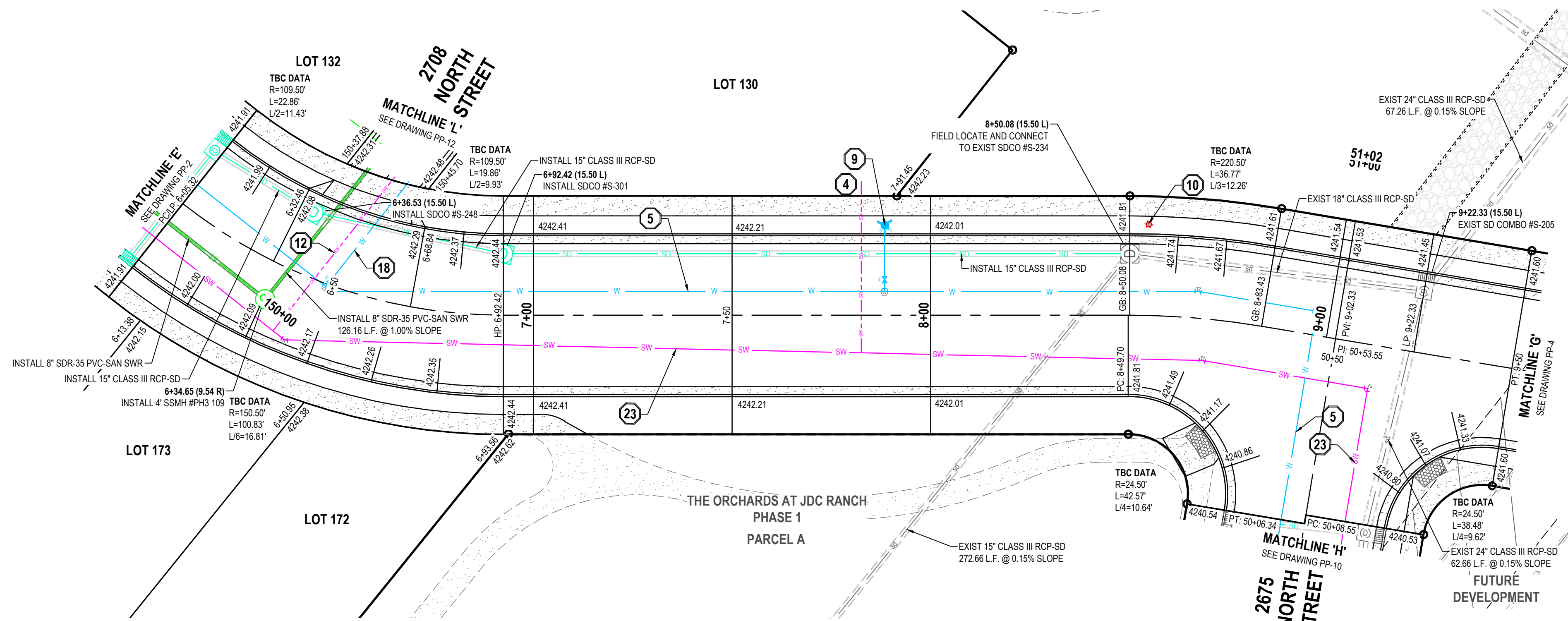
NO. DATE REVISION FOR REVIEW

GALLOWAY LANE (2700 WEST STREET)
PLAN AND PROFILE

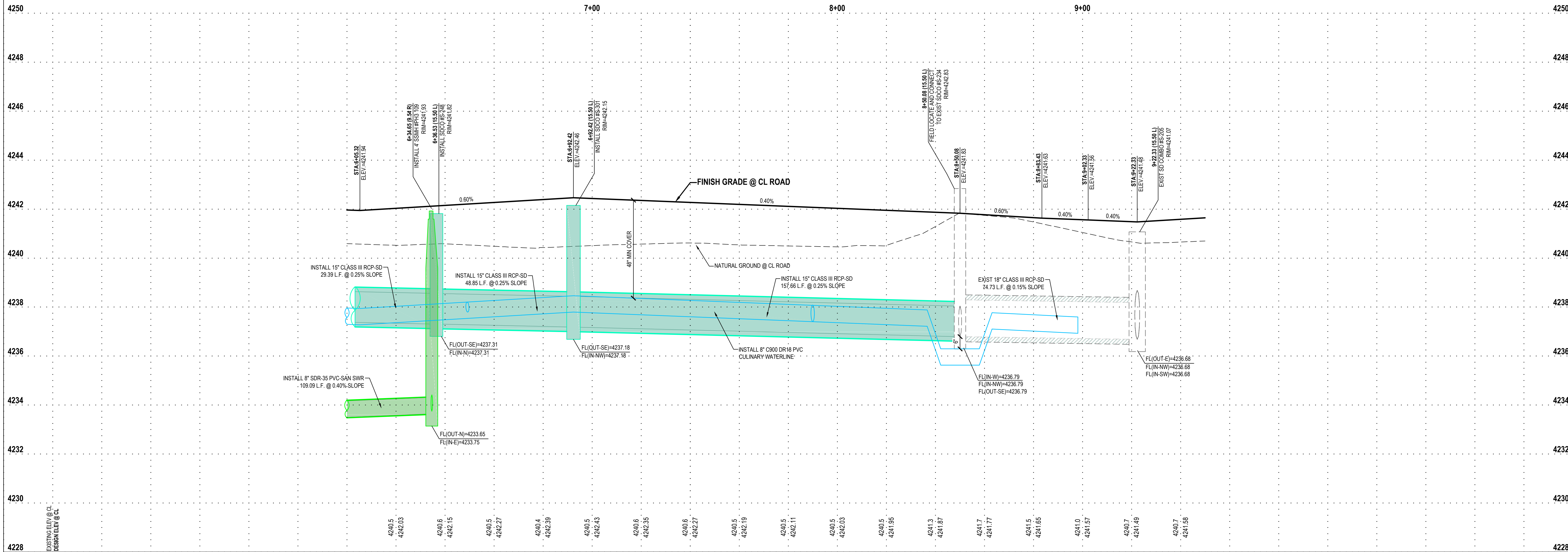
PROJECT NUMBER 9872 PRINT DATE 2024-02-02
PROJECT MANAGER CP DESIGNED BY TS

SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

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2. INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE PER PLAIN CITY STANDARDS AND SPECIFICATIONS.
3. INSTALL 1-1/2" PVC DUAL TURNOUT SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
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20. EXIST WATER LATERAL
21. EXIST SANITARY SEWER LATERAL
22. INSTALL 12" CASING
23. INSTALL 6" C900 DR18 PVC CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS



GALLOWAY LANE (2700 WEST STREET)



**THE ORCHARDS AT JDC RANCH
PHASES 3A AND 3B
2800 WEST 2600 NORTH STREET
WEBER COUNTY, UTAH**

ENSIGN
THE STANDARD IN ENGINEERING

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FOR:
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CONTACT:
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**GALLOWAY LANE
(2700 WEST STREET)
PLAN AND PROFILE**

PROJECT NUMBER 9872 PRINT DATE 2024-02-02
PROJECT MANAGER CP DESIGNED BY TS

PP-3

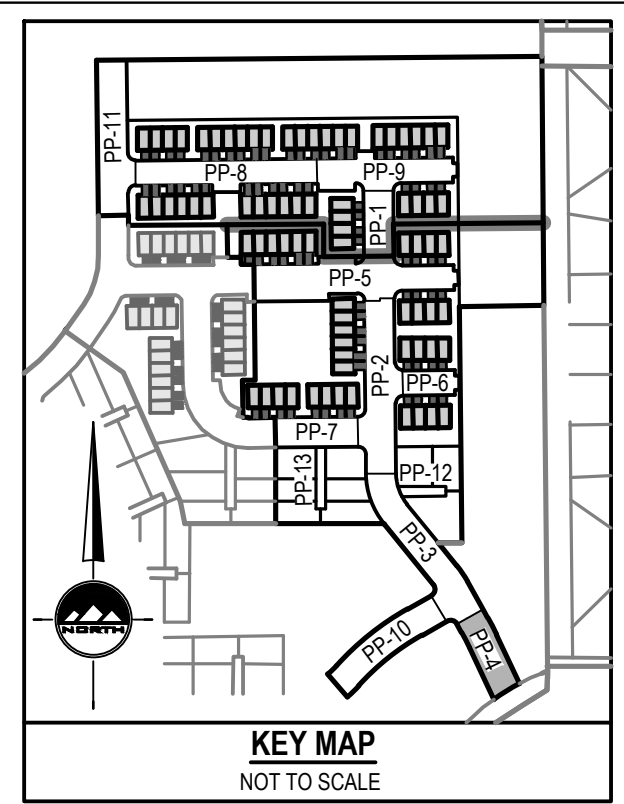
811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
NORTHWEST CORNER OF SECTION 27
TOWNSHIP 7 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4231.00'

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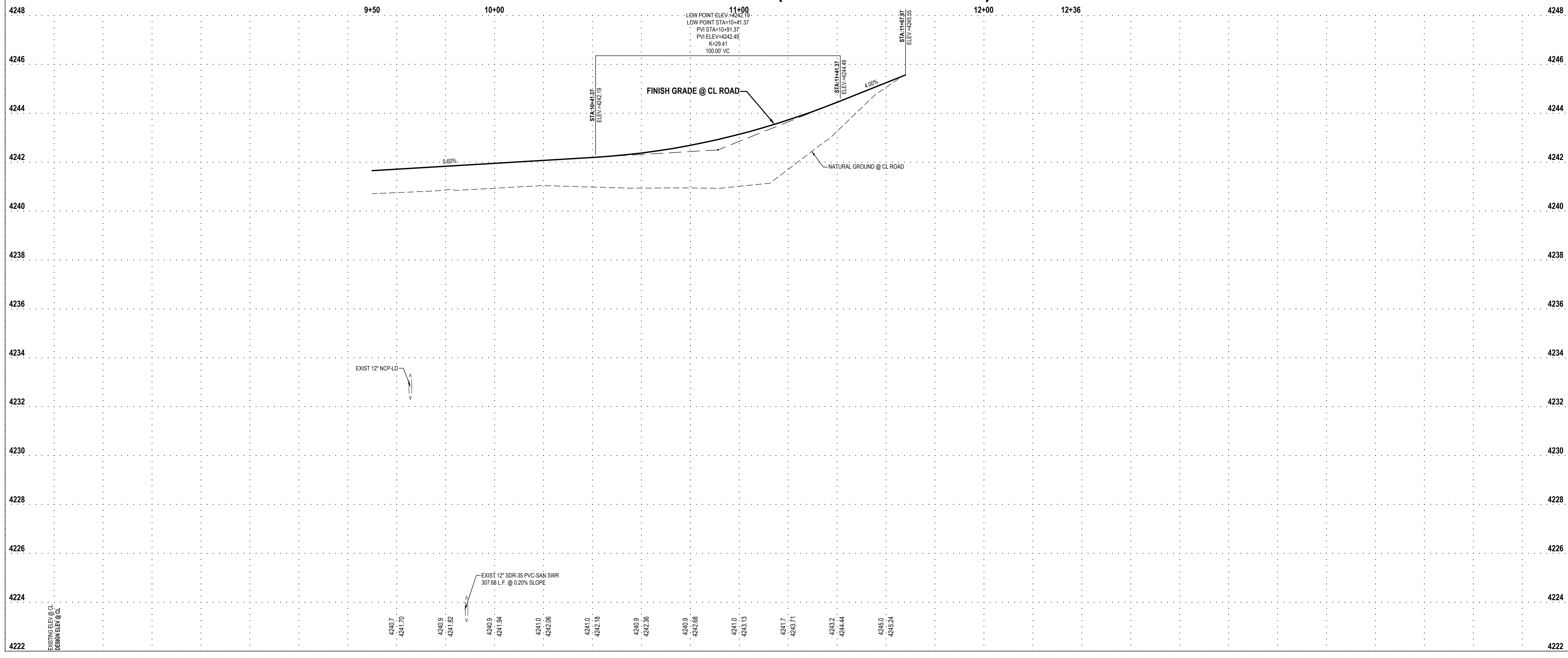
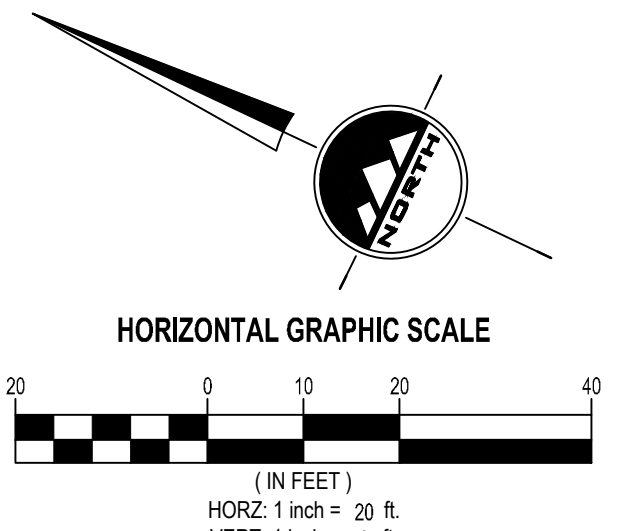
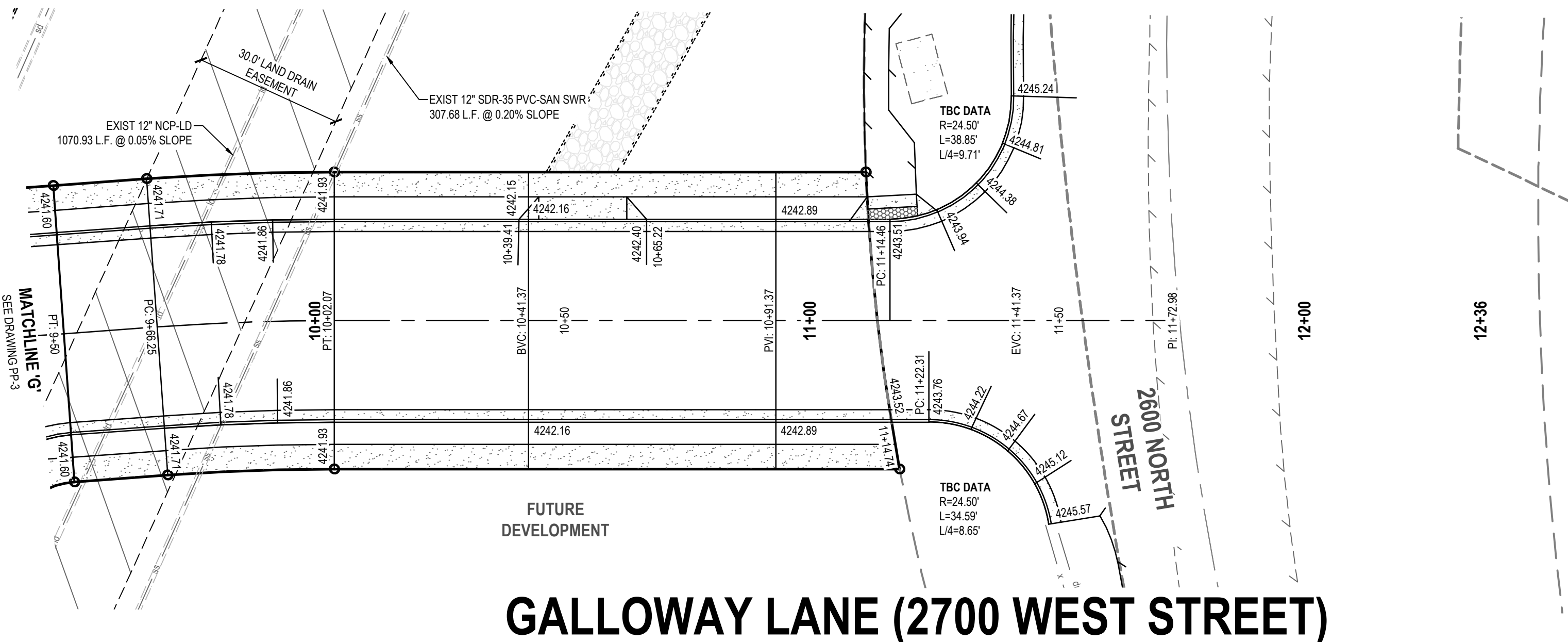
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NO.	DATE	REVISION
		FOR REVIEW

GALLOWAY LANE
(2700 WEST STREET)
PLAN AND PROFILE

PROJECT NUMBER: 9872
PRINT DATE: 2024-02-02
PROJECT MANAGER: CP
DESIGNED BY: TS

PP-4

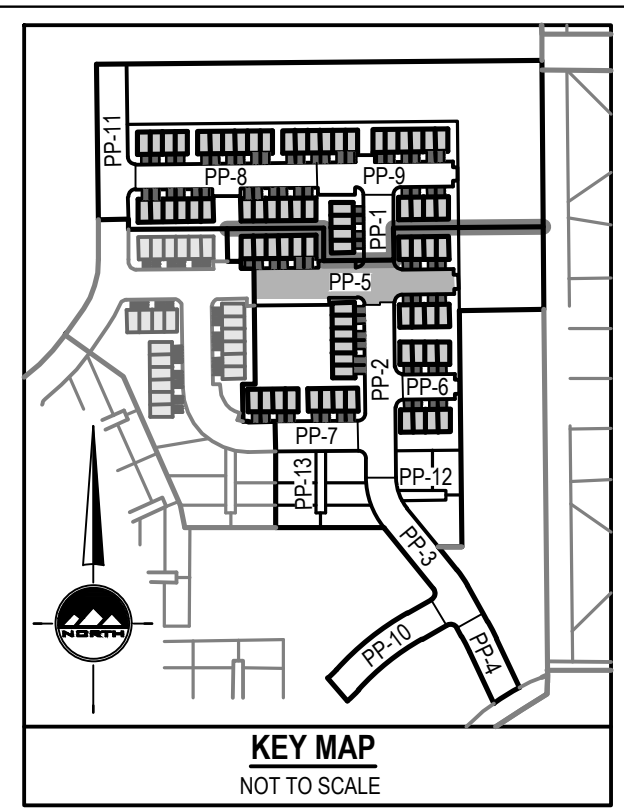


BENCHMARK
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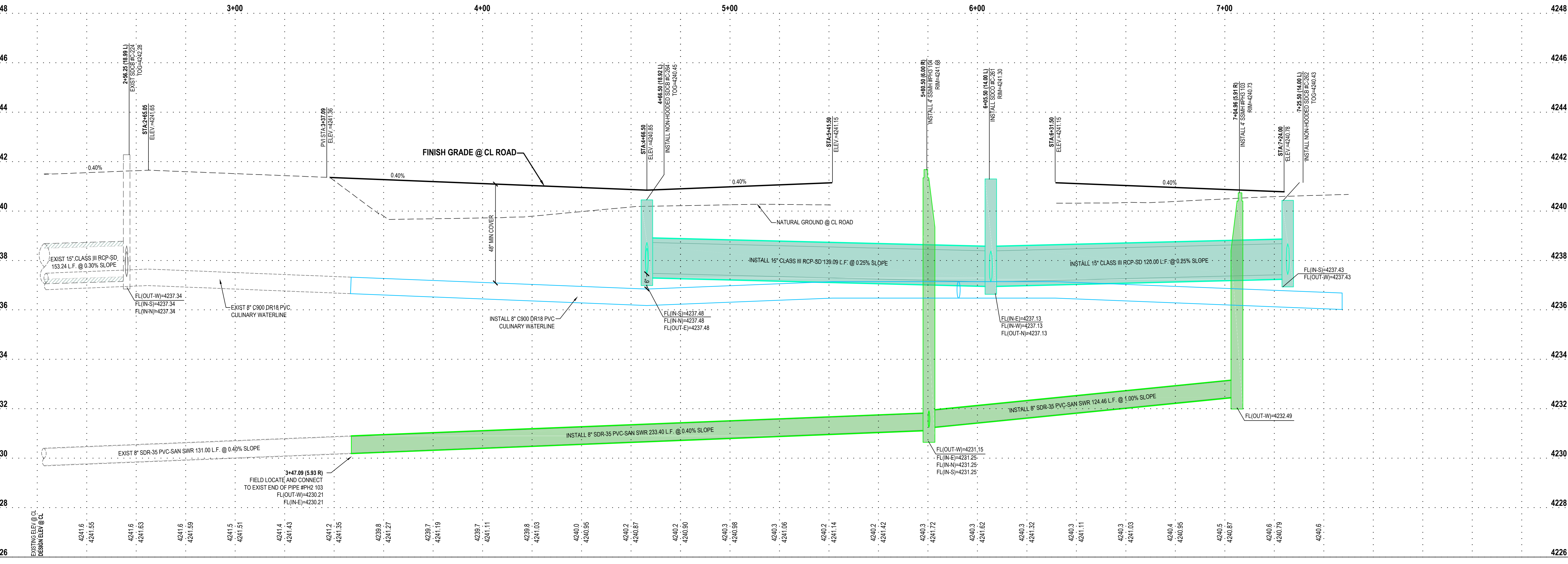
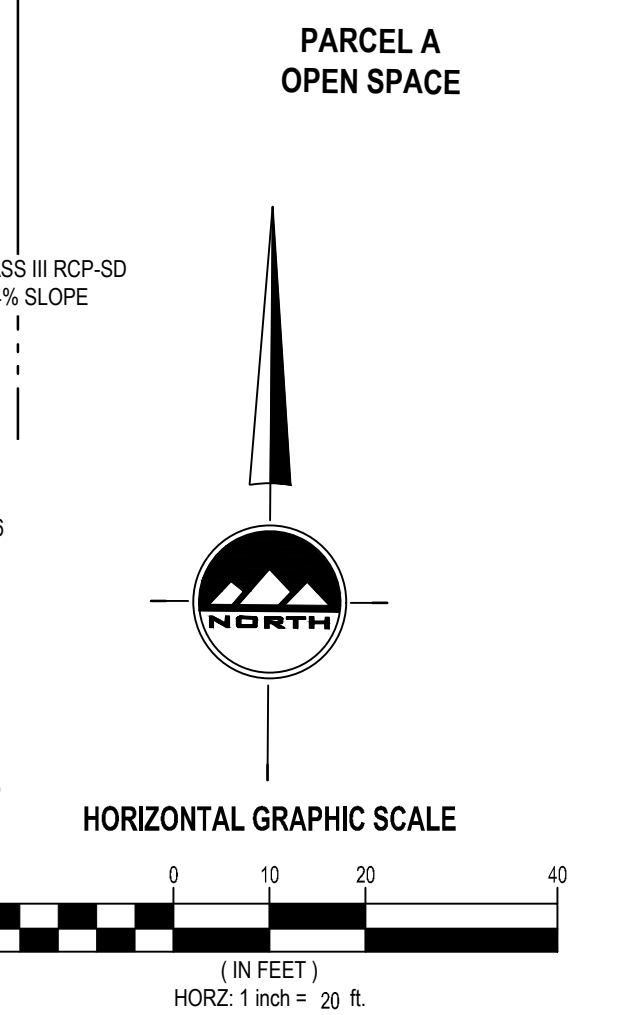
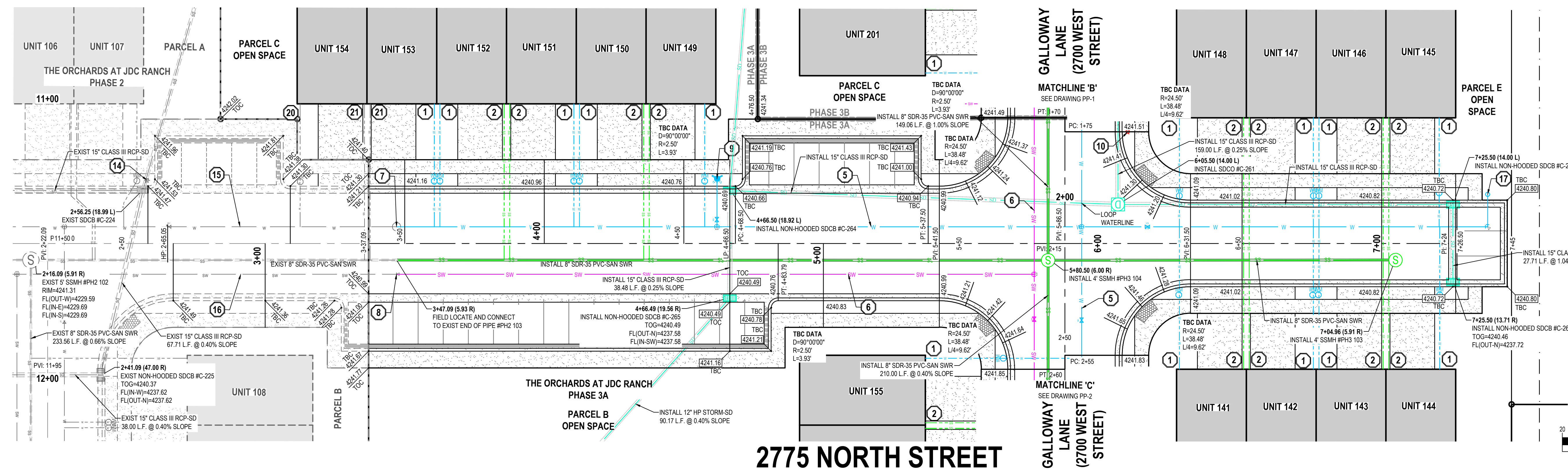
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FOR:
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CONTACT:
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 PHONE: 801.392.8100



**THE ORCHARDS AT JDC RANCH
 PHASES 3A AND 3B**
 2800 WEST 2600 NORTH STREET
 WEBER COUNTY, UTAH



NO. DATE REASON FOR REVIEW

**2775 NORTH STREET
 PLAN AND PROFILE**

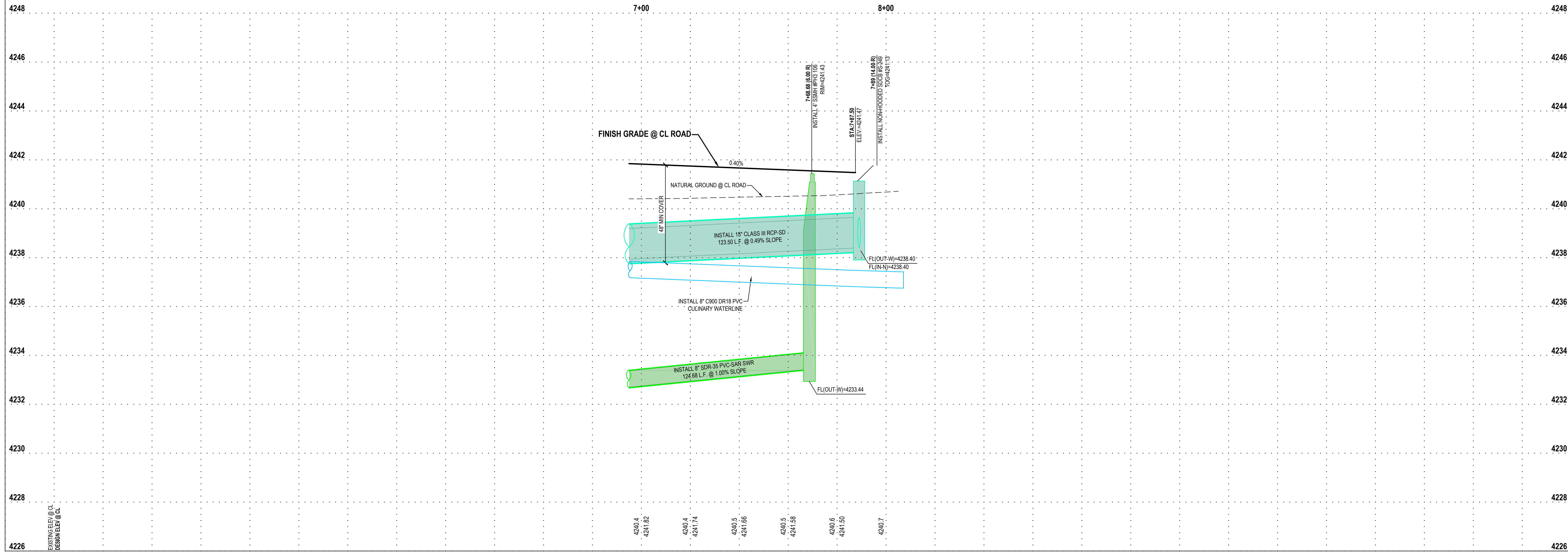
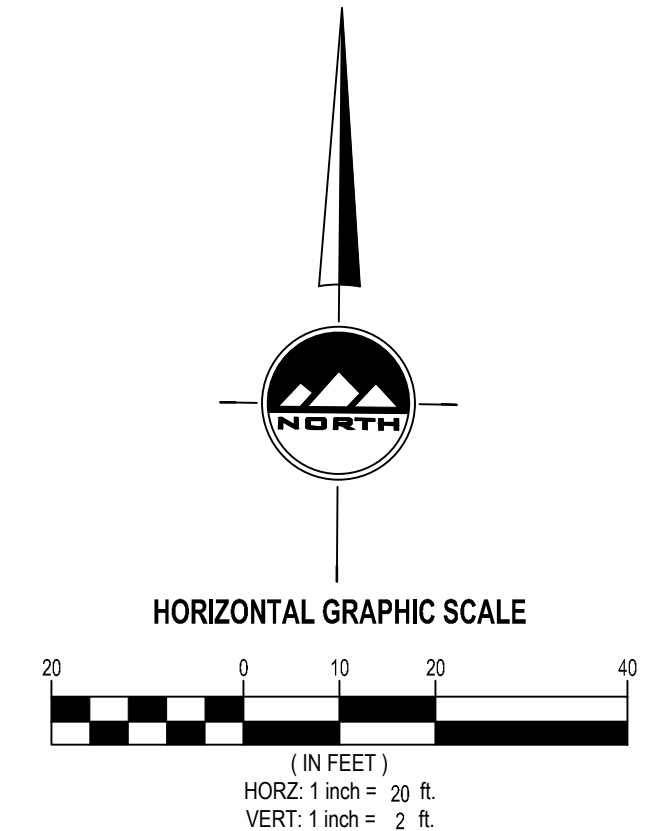
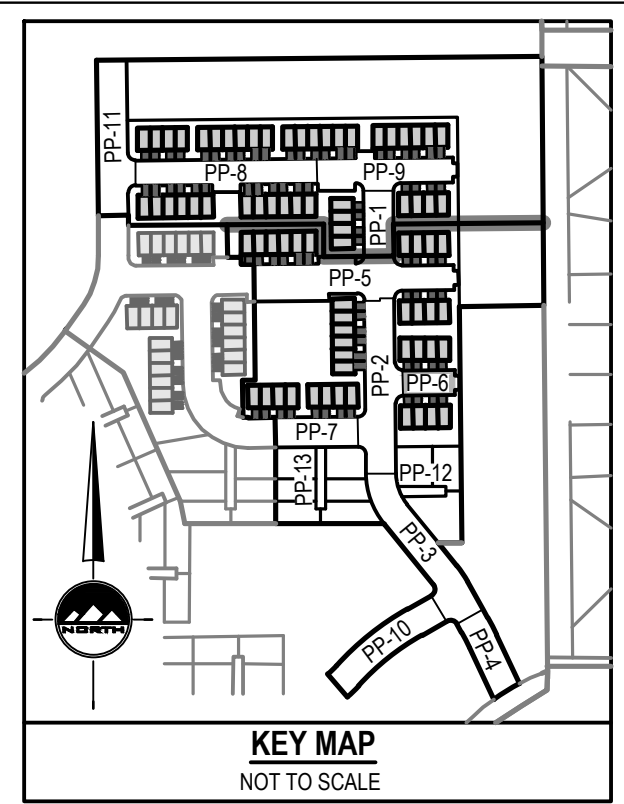
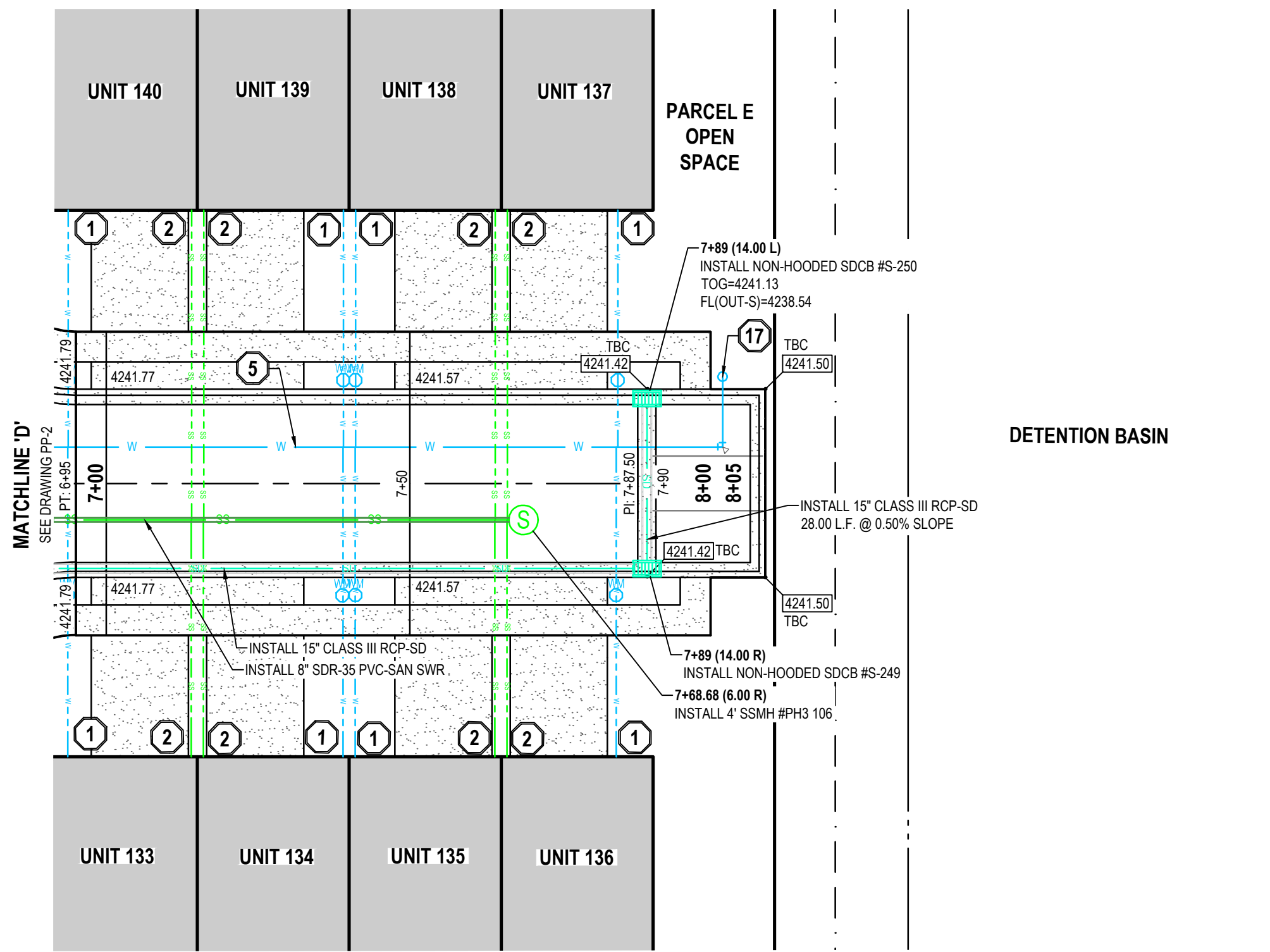
PROJECT NUMBER: 9872
 PRINT DATE: 2024-02-02
 PROJECT MANAGER: CP
 DESIGNED BY: TS

PP-5



BENCHMARK
 NORTHWEST CORNER OF SECTION 27
 TOWNSHIP 7 NORTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4231.00'

- SCOPE OF WORK:**
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NO.	DATE	REVISION
		FOR REVIEW

2735 NORTH STREET
 PLAN AND PROFILE

PROJECT NUMBER: 9872
 PRINT DATE: 2024-02-02
 PROJECT MANAGER: CP
 DESIGNED BY: TS

PP-6



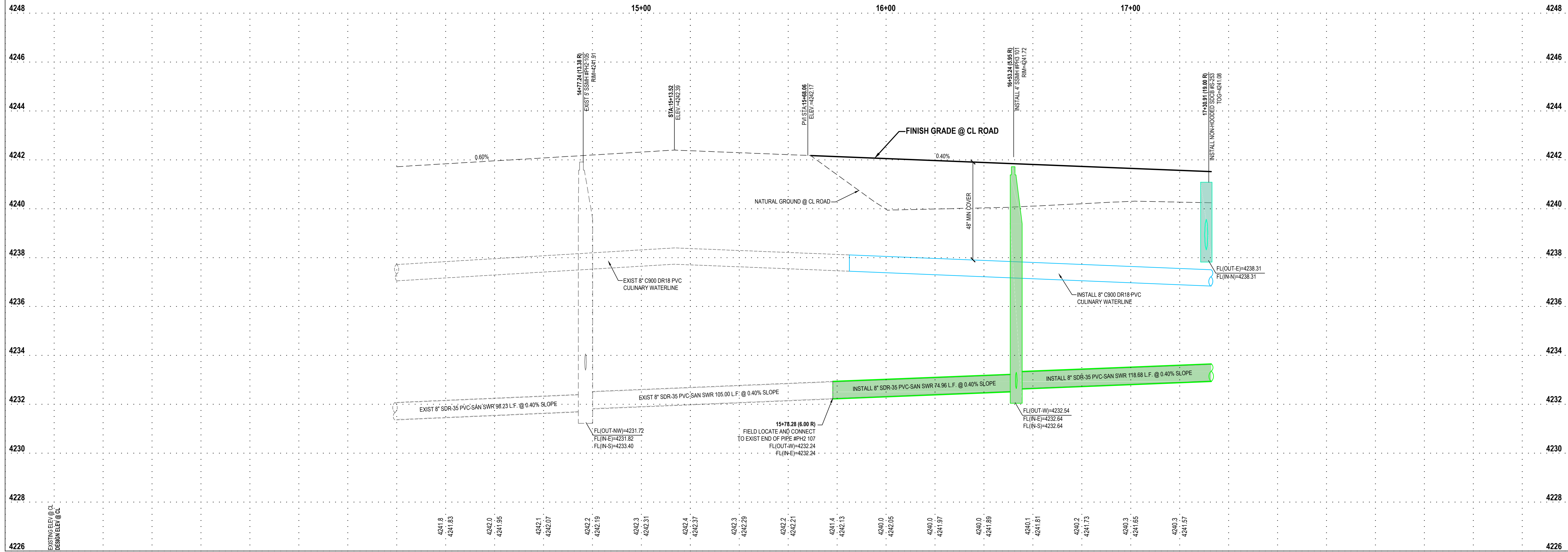
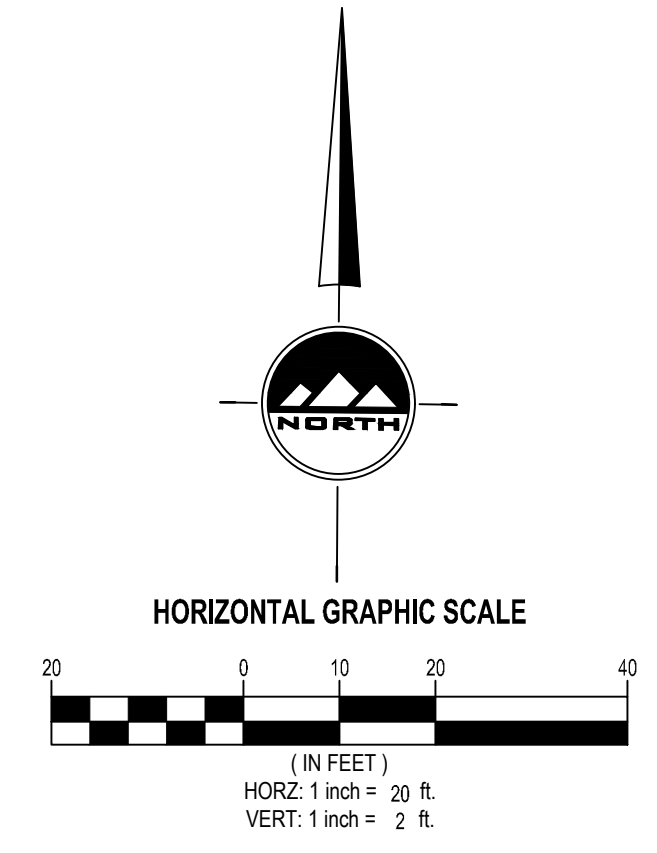
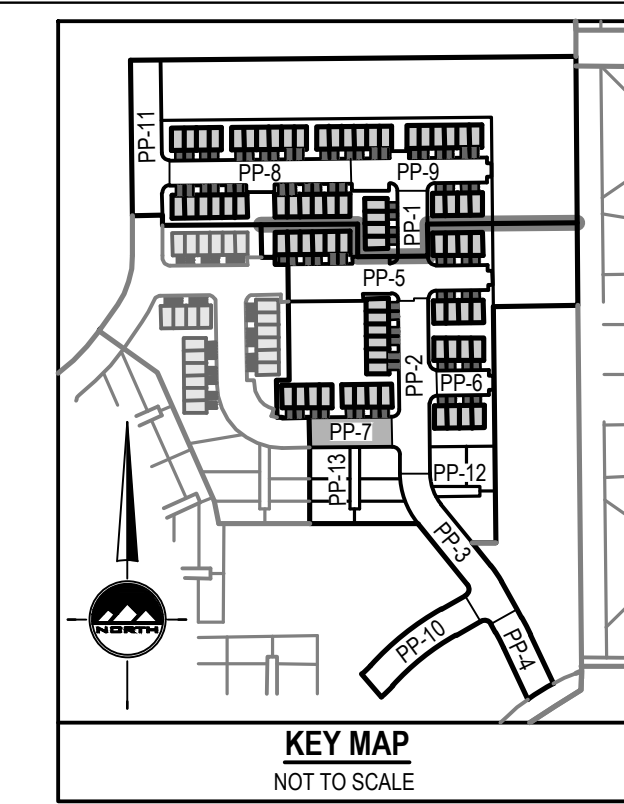
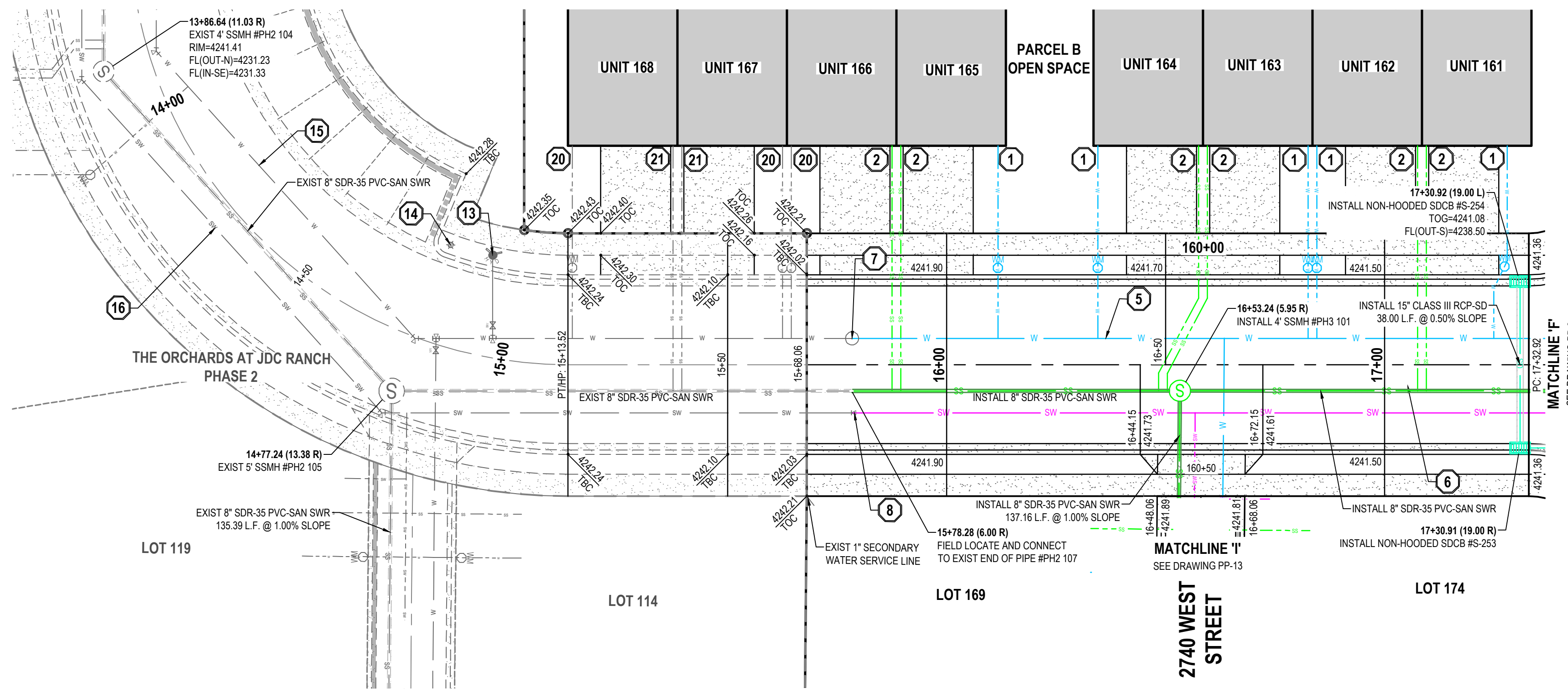
BENCHMARK

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CONTACT:
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NO. DATE REASON FOR REVIEW

**2715 NORTH STREET
PLAN AND PROFILE**

PROJECT NUMBER: 9872
PRINT DATE: 2024-02-02
PROJECT MANAGER: CP
DESIGNED BY: TS

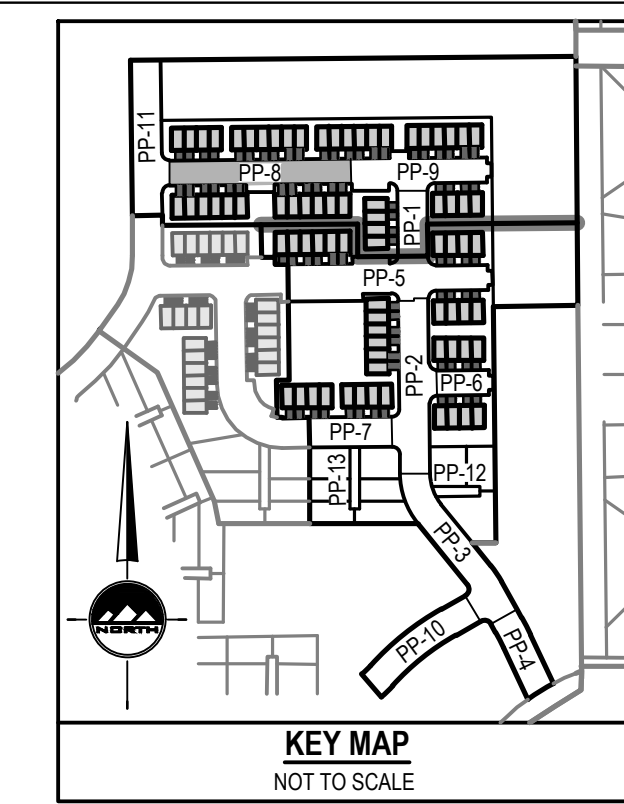
PP-7



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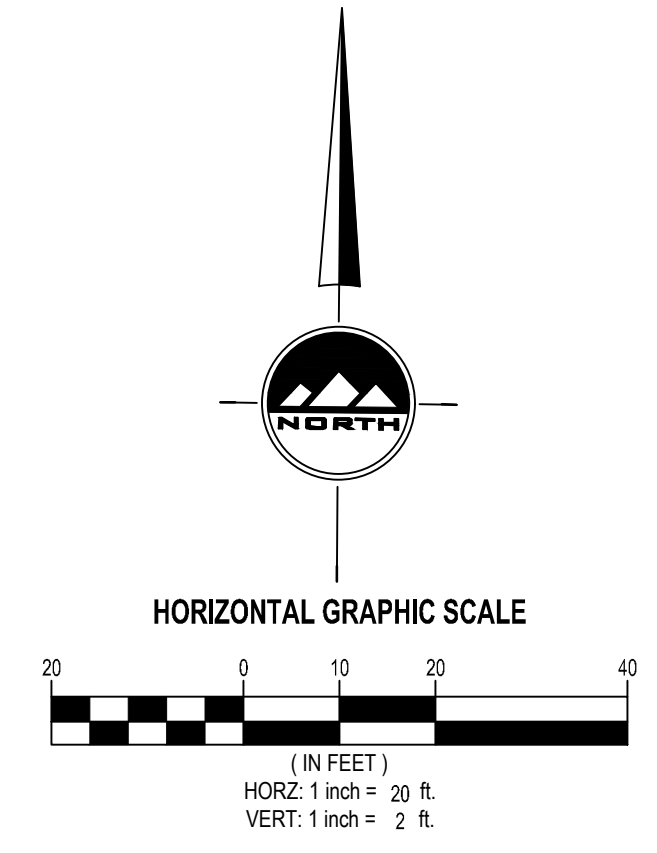
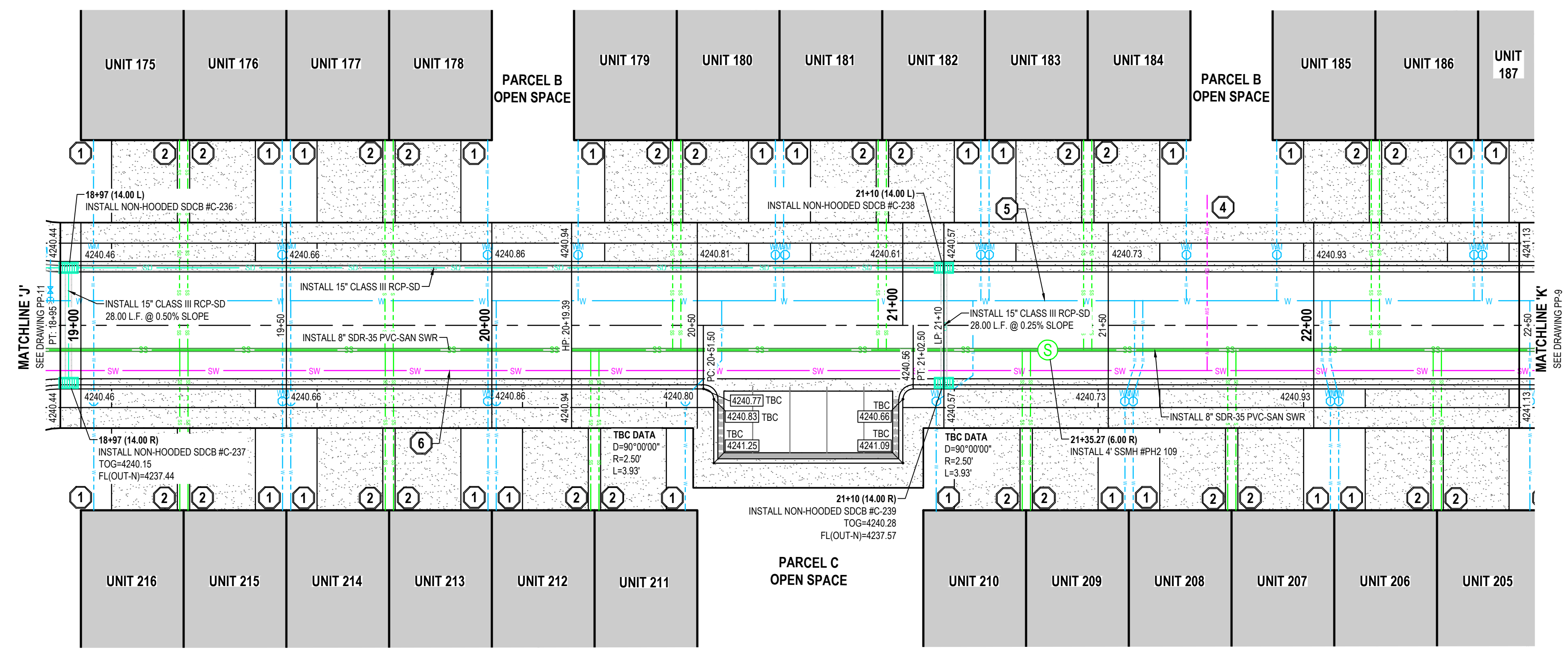
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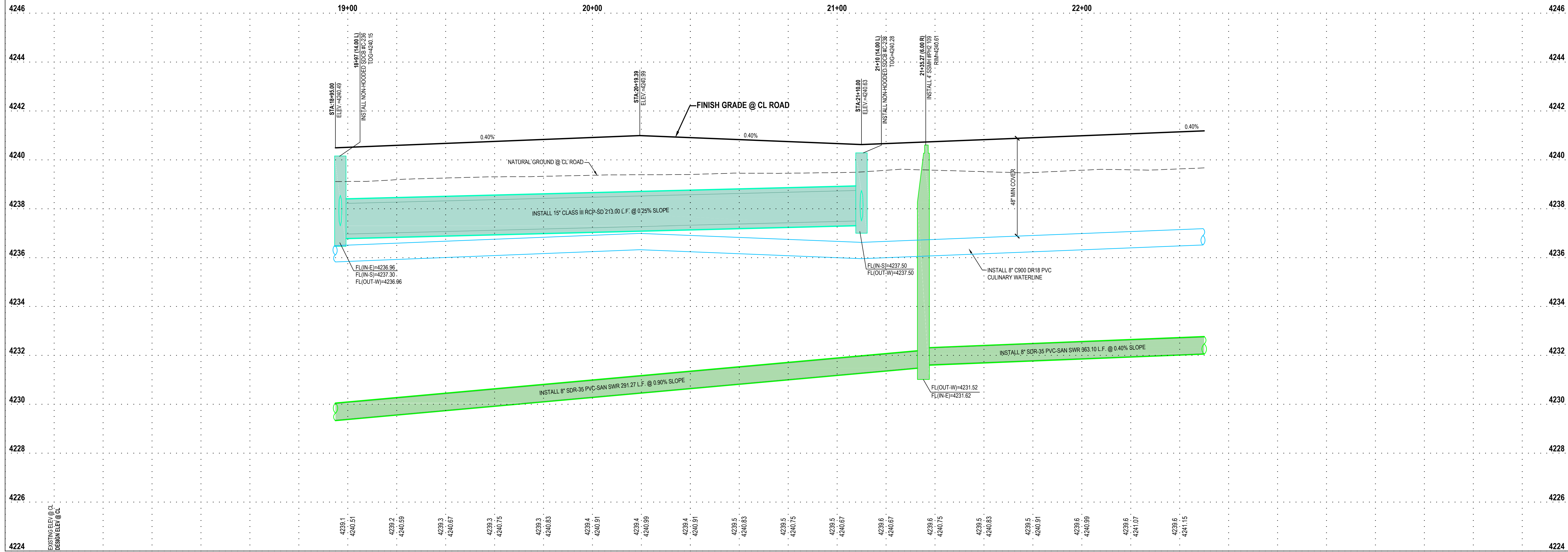
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FOR:
 NILSON HOMES
 1740 COMBE RD, SUITE 2
 SOUTH OGDEN, UT 84403

CONTACT:
 STEVE ANDERSON
 PHONE: 801.392.8100



2825 NORTH STREET



THE ORCHARDS AT JDC RANCH
PHASES 3A AND 3B
 2800 WEST 2600 NORTH STREET
 WEBER COUNTY, UTAH



2825 NORTH STREET
PLAN AND PROFILE

PROJECT NUMBER: 9872
 PRINT DATE: 2024-02-02
 PROJECT MANAGER: CP
 DESIGNED BY: TS

PP-8

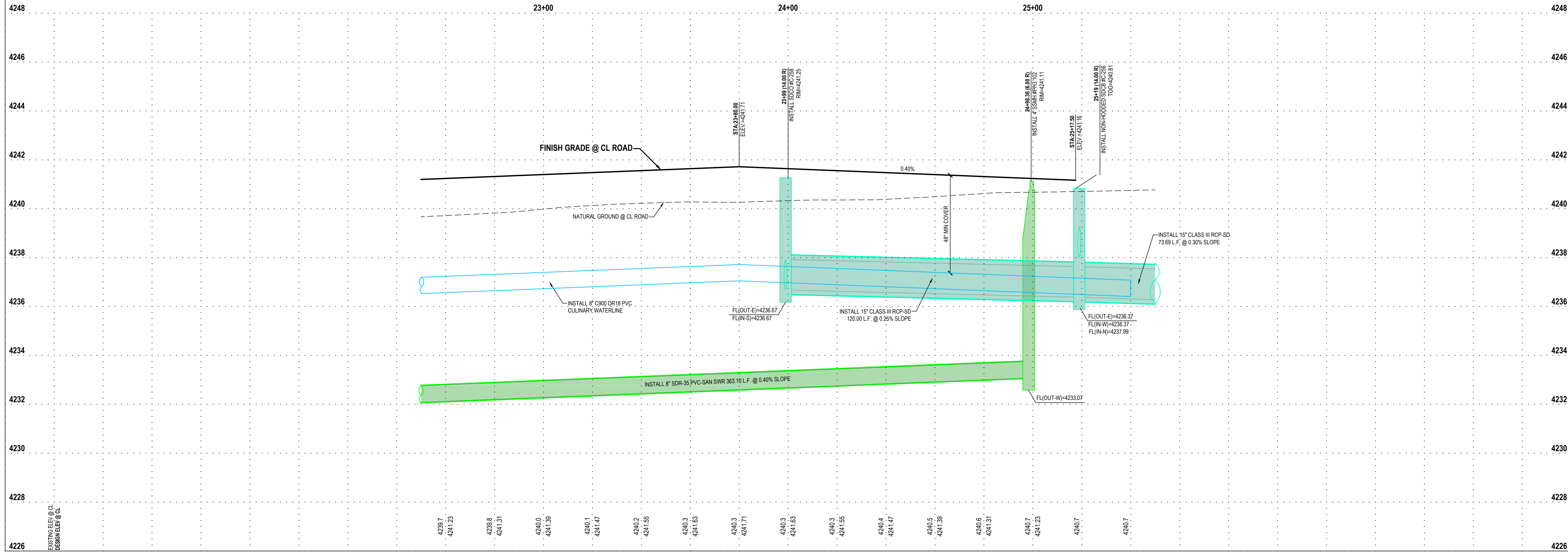
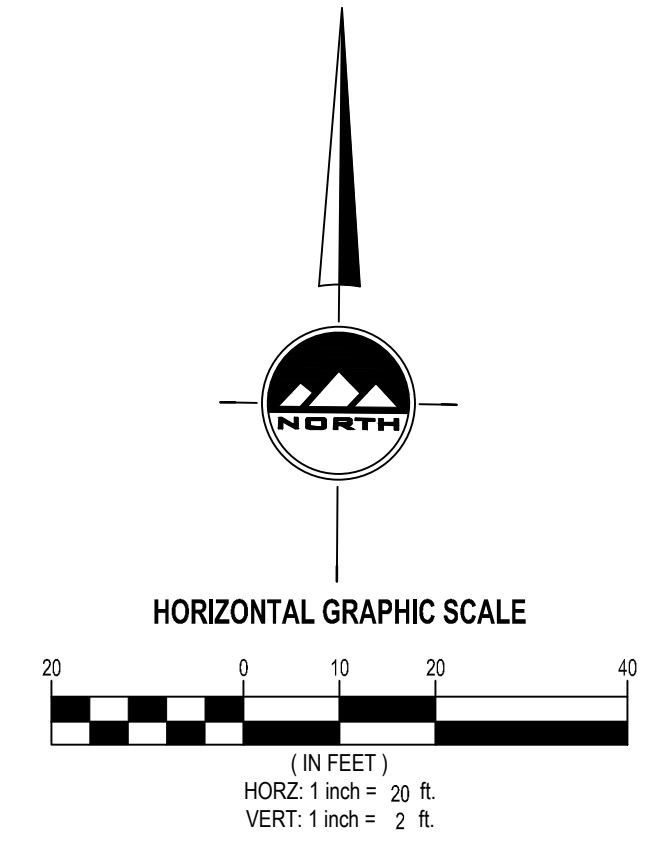
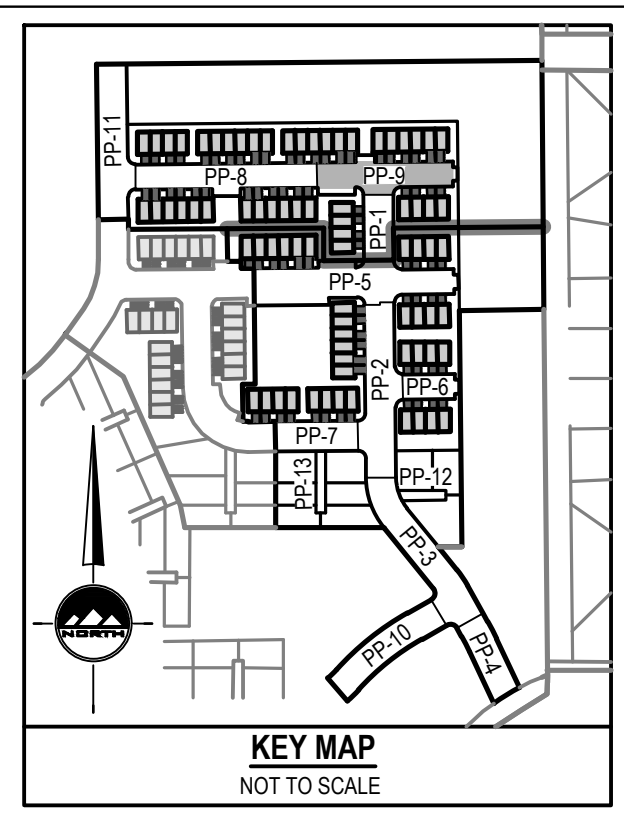
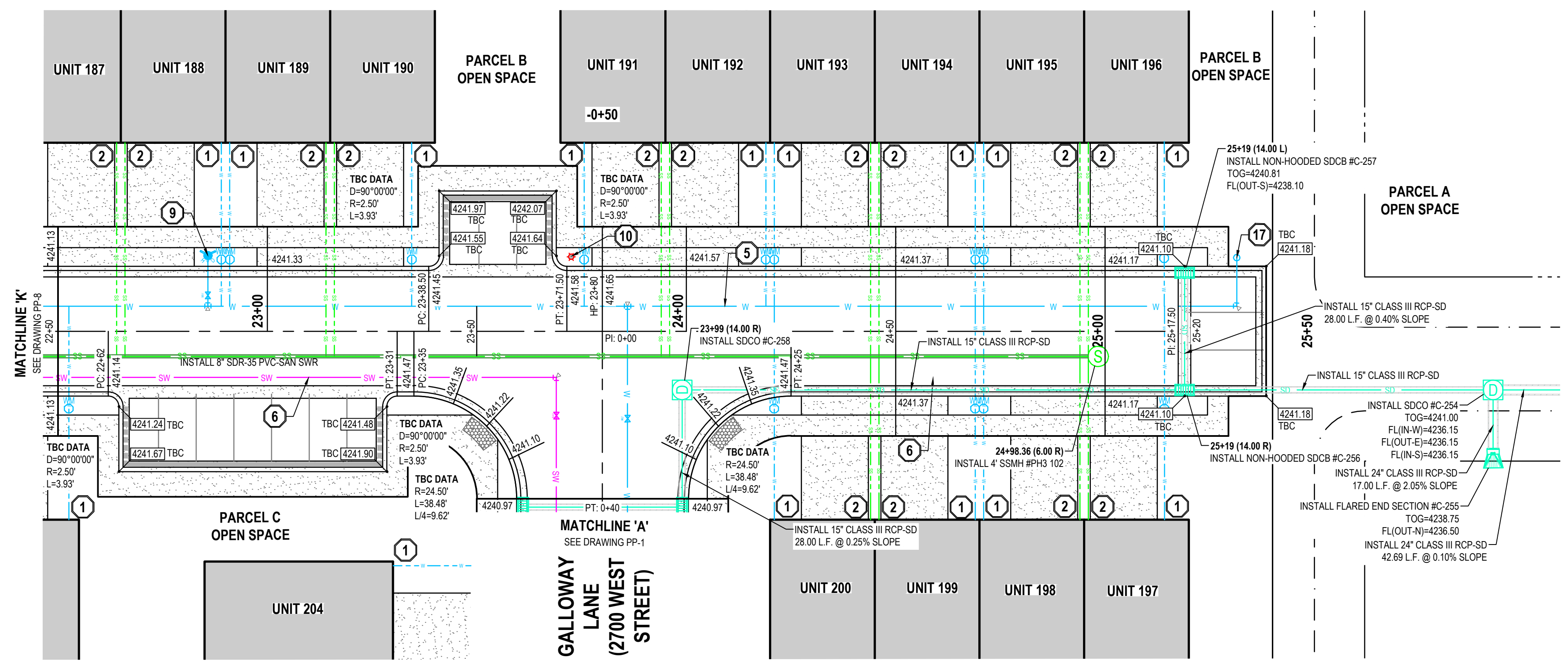


BENCHMARK
 NORTHWEST CORNER OF SECTION 27
 TOWNSHIP 7 NORTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4231.00'

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NO. DATE REASON FOR REVIEW

2825 NORTH STREET
PLAN AND PROFILE

PROJECT NUMBER 9872 PRINT DATE 2024-02-02
 PROJECT MANAGER CP DESIGNED BY TS

PP-9



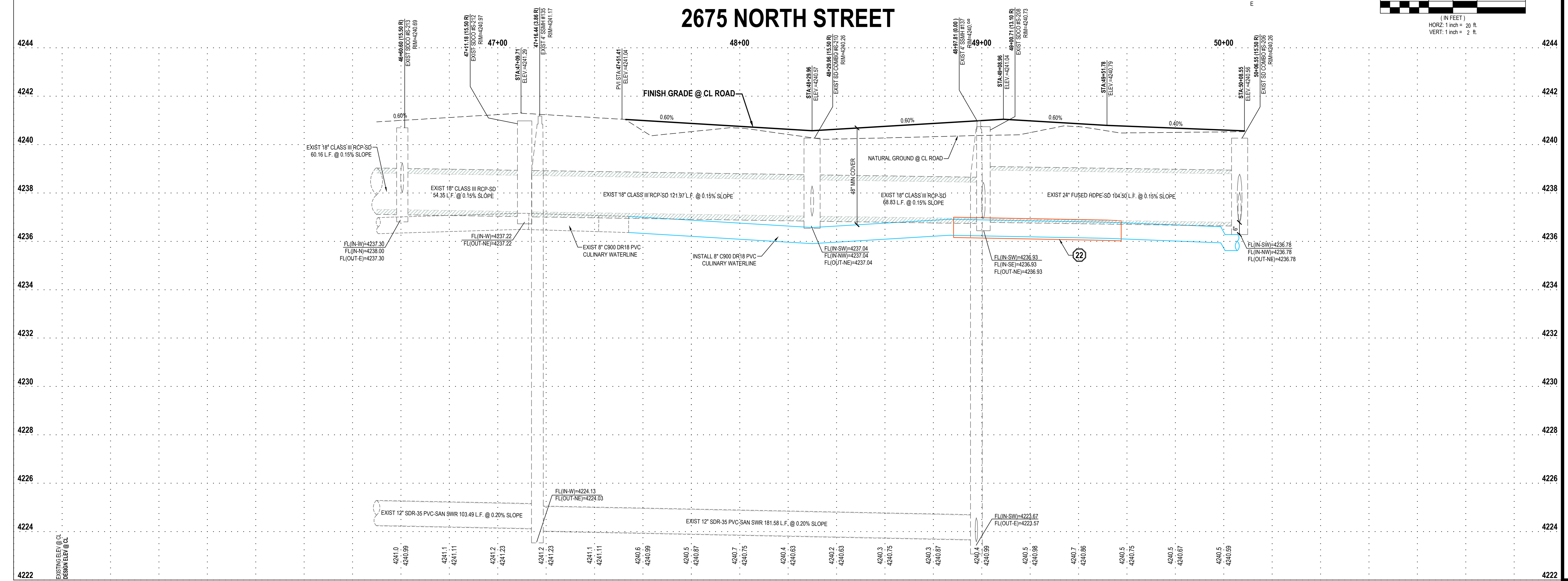
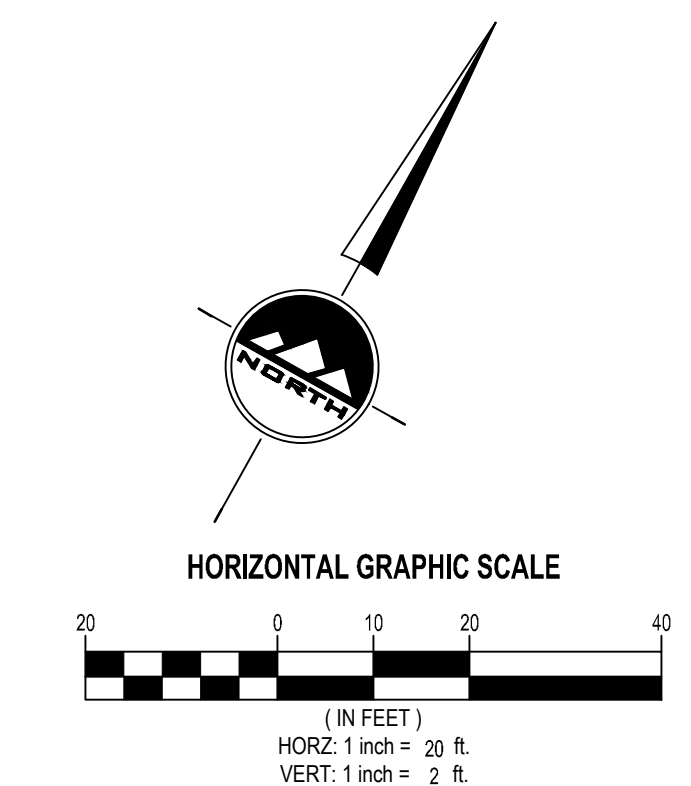
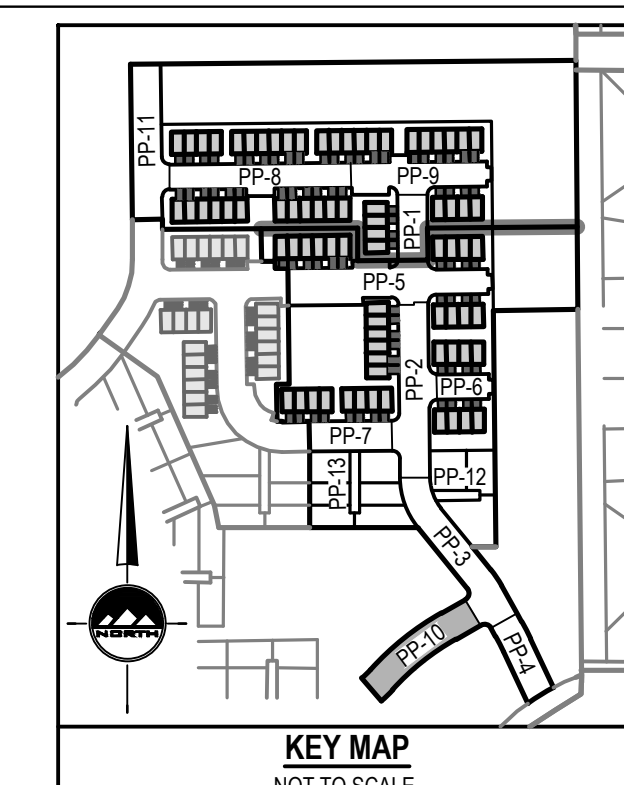
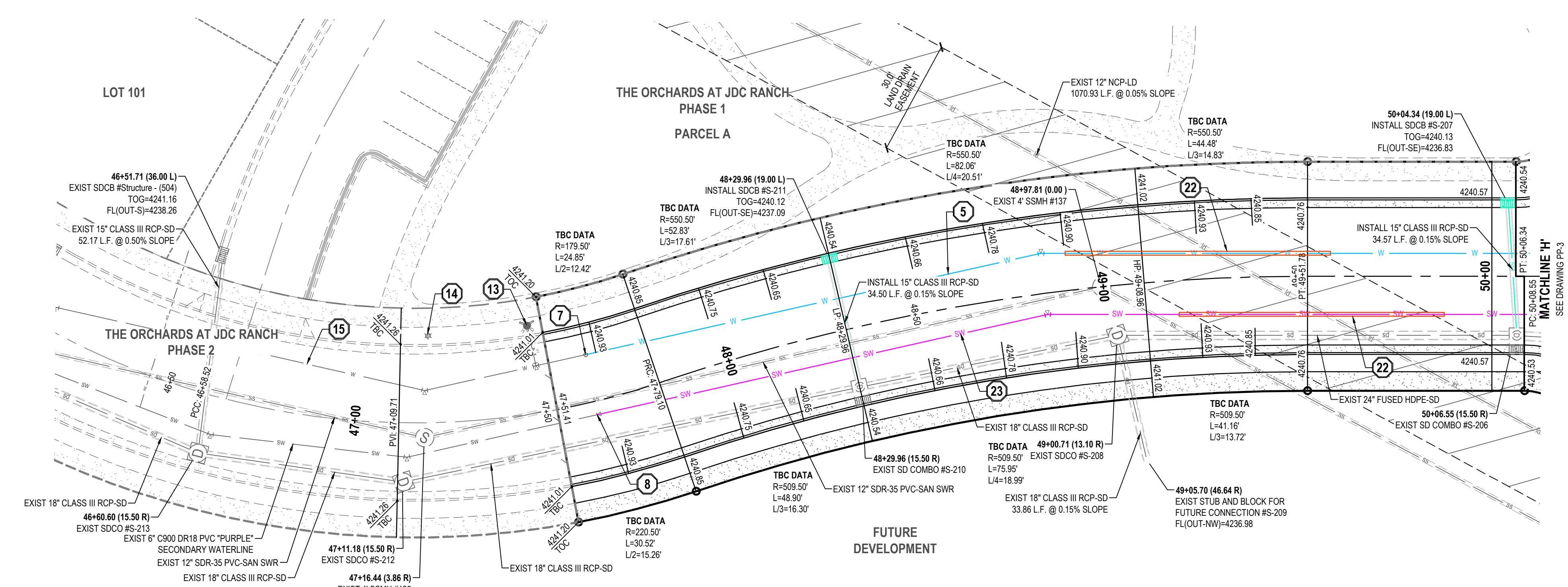
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NO. DATE REVISION FOR REVIEW

**2675 NORTH STREET
PLAN AND PROFILE**

PROJECT NUMBER 9872 PRINT DATE 2024-02-02
PROJECT MANAGER CP DESIGNED BY TS

PP-10



CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
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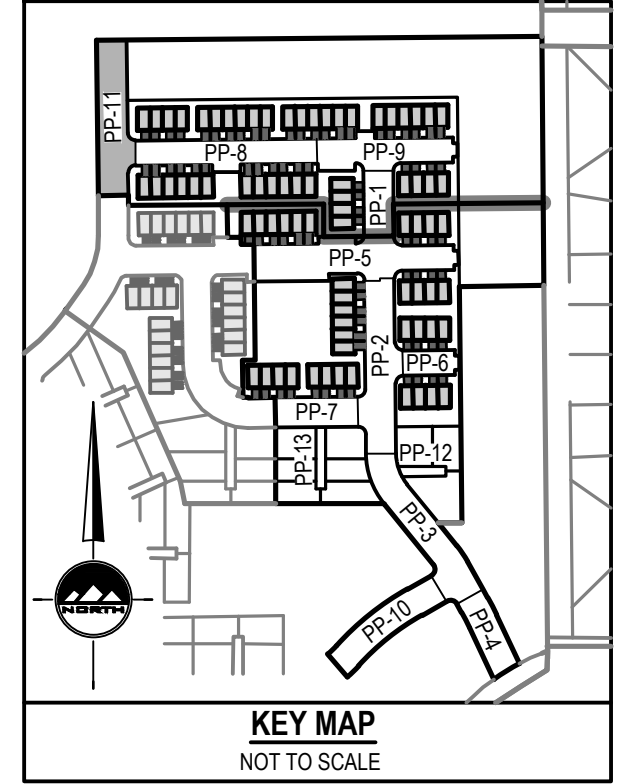
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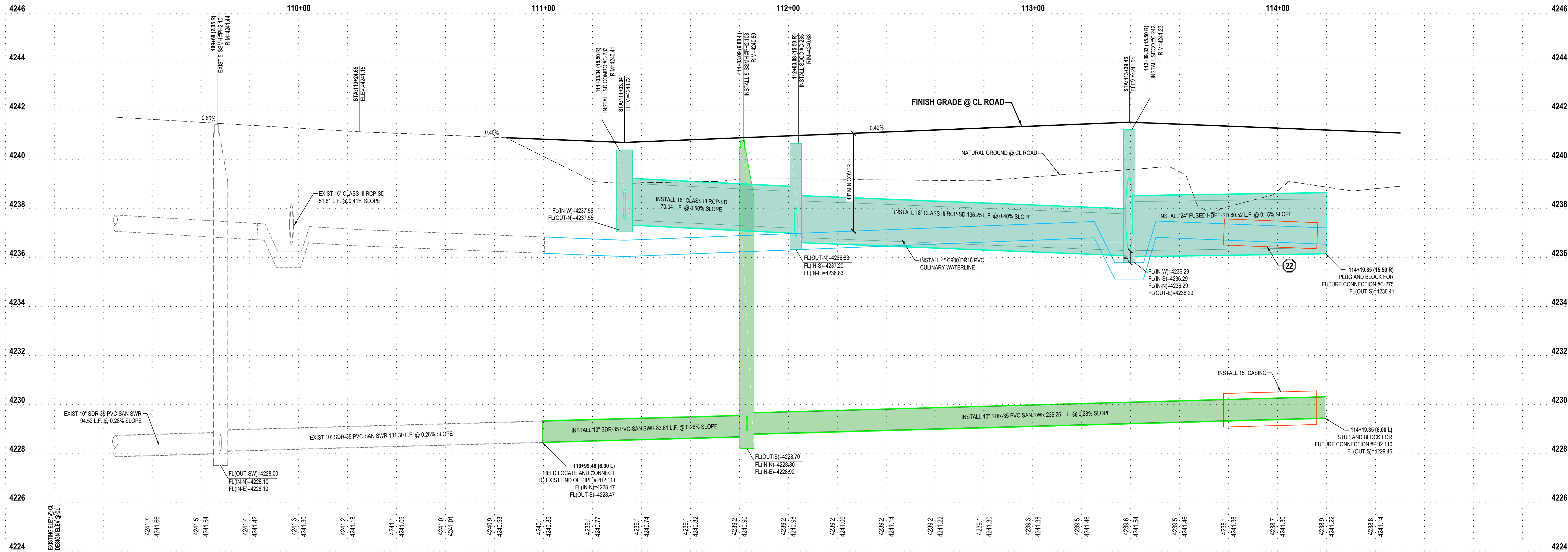
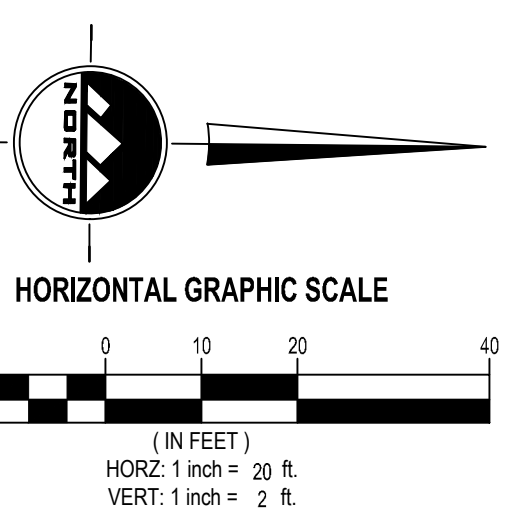
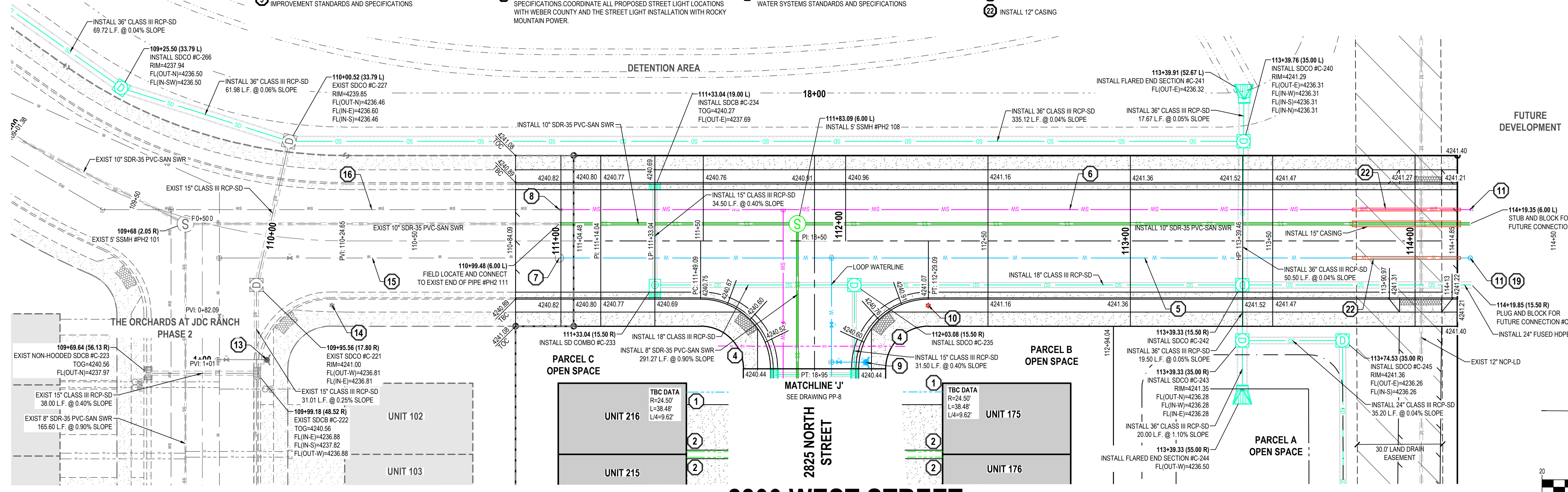
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WEBER COUNTY, UTAH**



NO. DATE REVISION FOR REVIEW

**2800 WEST STREET
PLAN AND PROFILE**

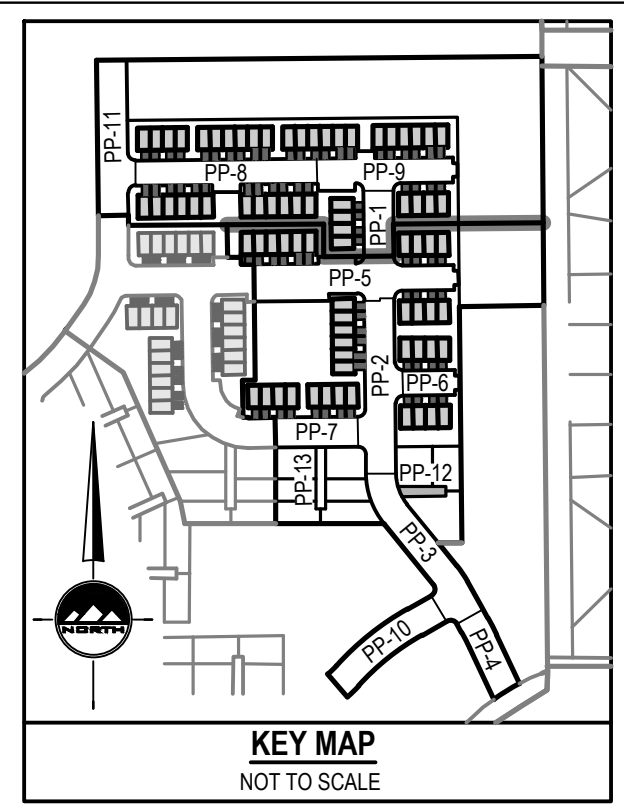
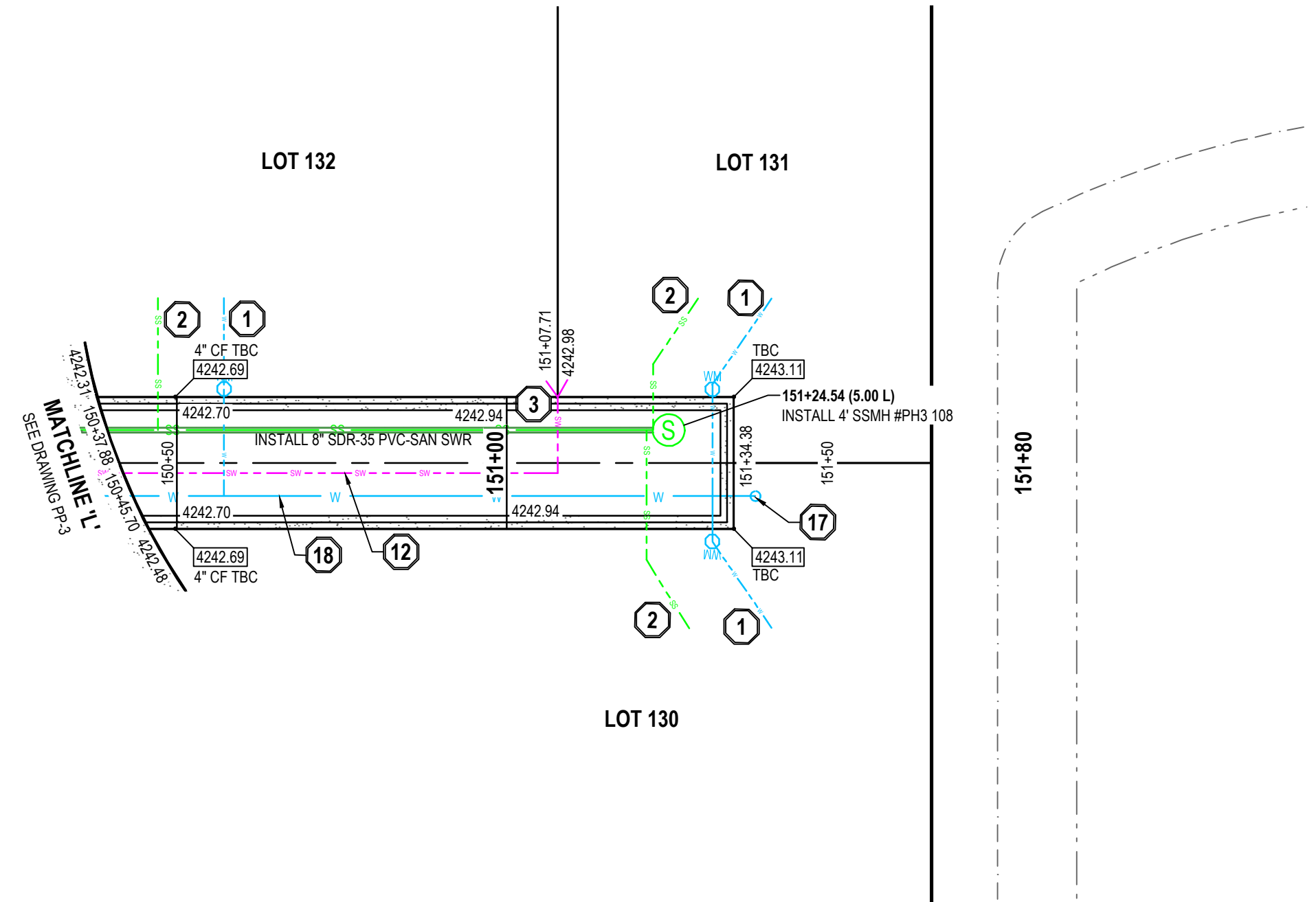
PROJECT NUMBER 9872 PRINT DATE 2024-02-02
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811
Know what's below.
Call before you dig.

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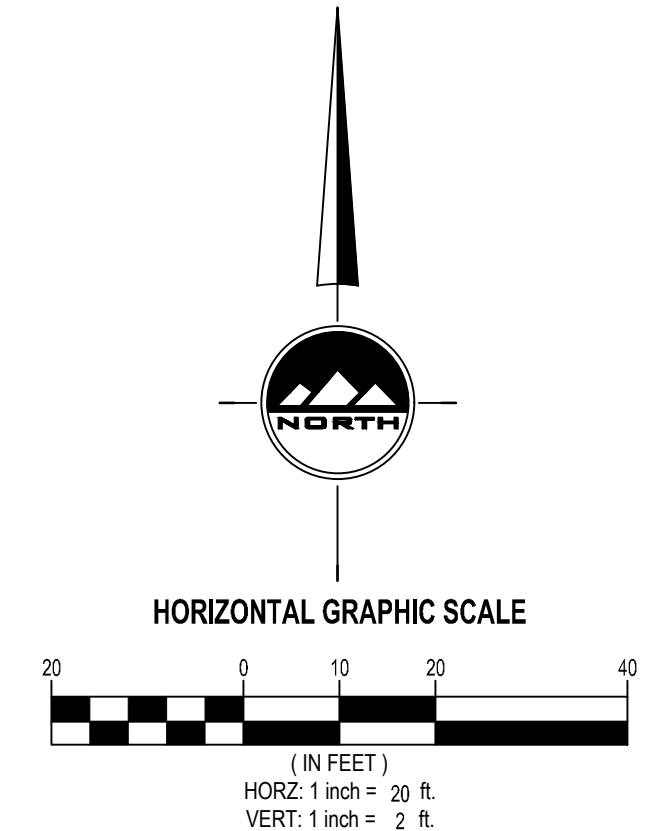
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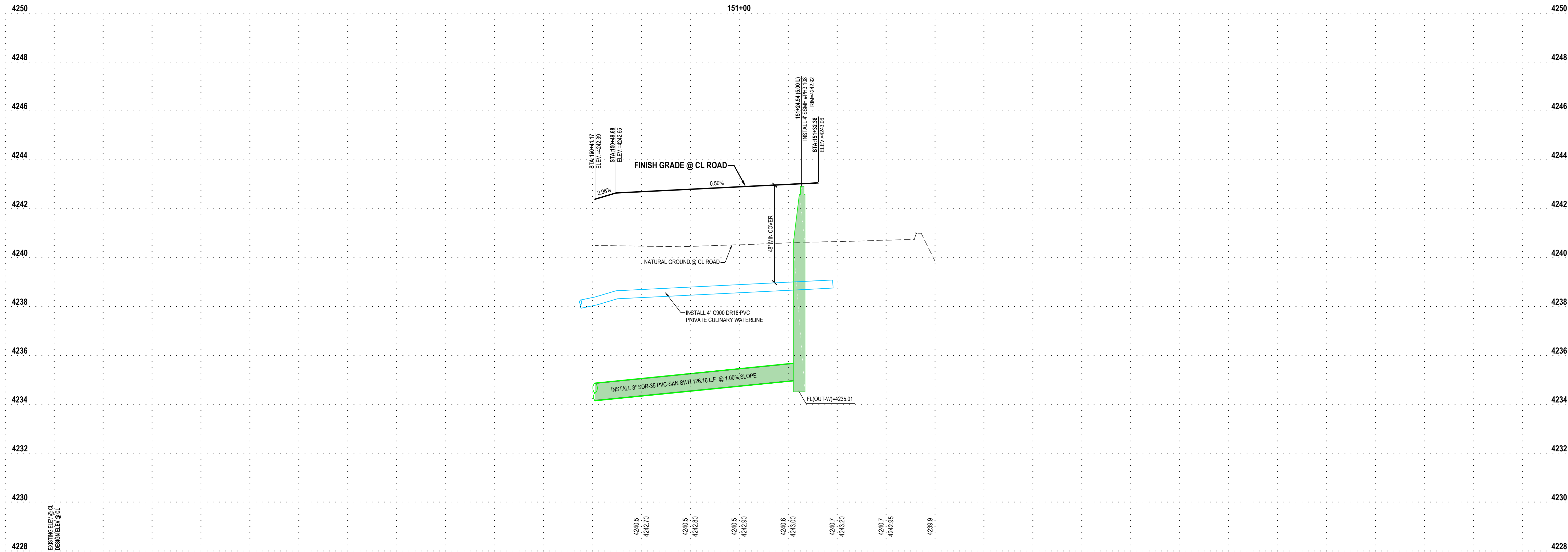
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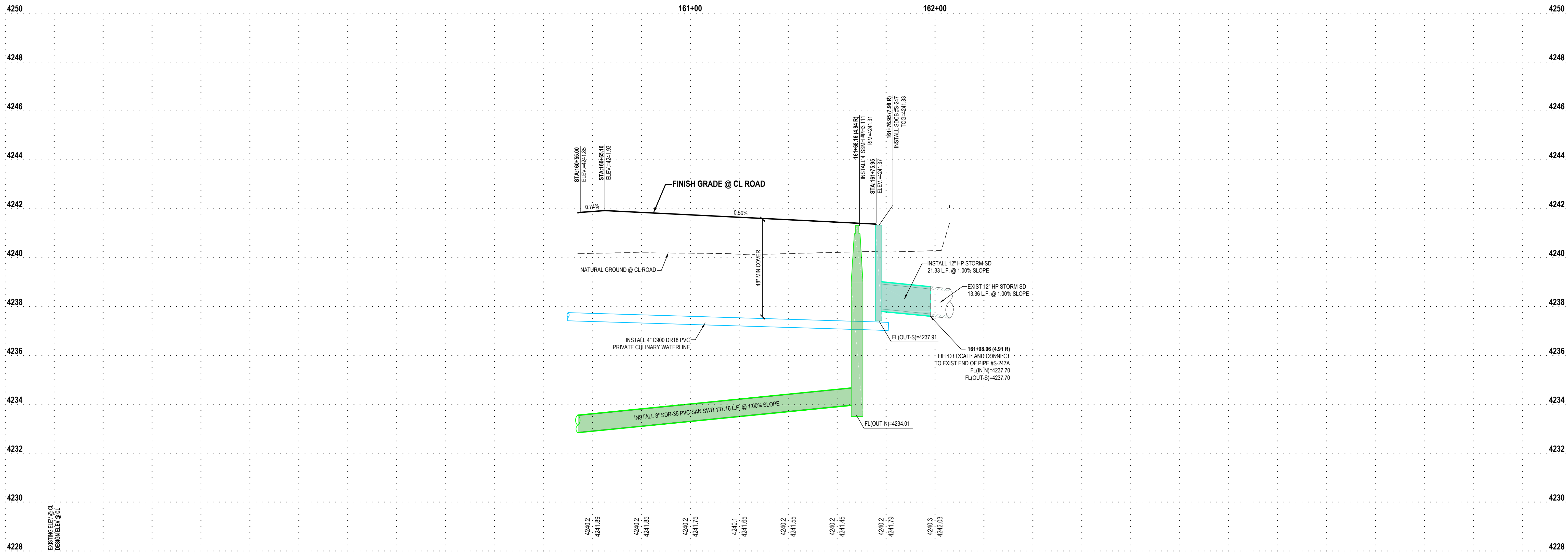
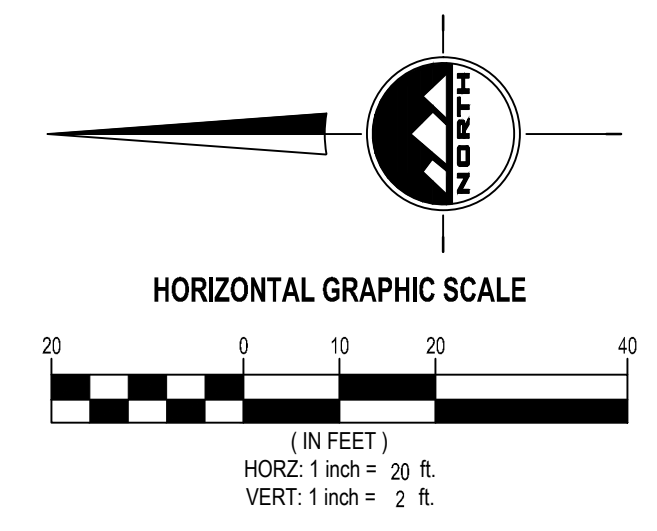
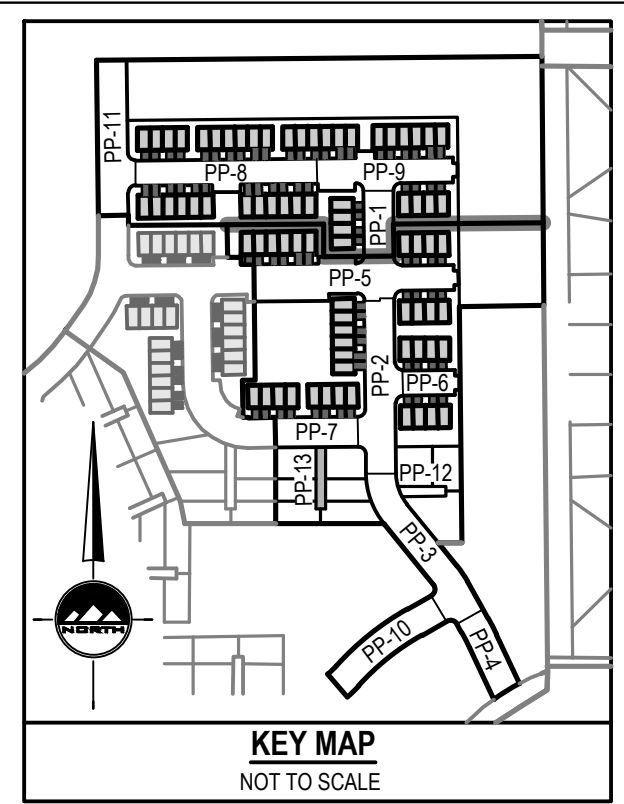
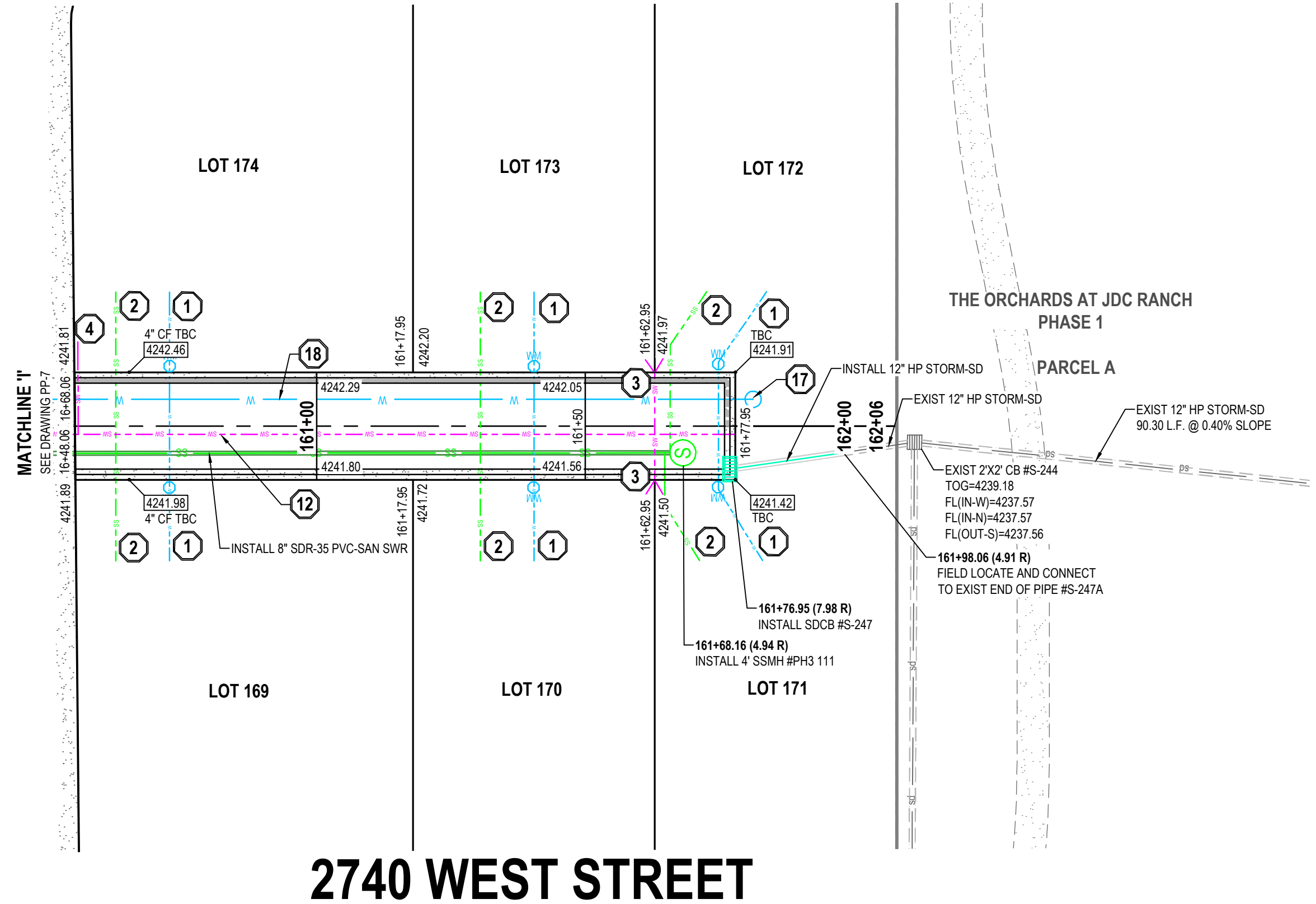
PP-12

EXISTING ELEV @ CL
DESIGN ELEV @ CL



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 ELEV = 4231.00'

- SCOPE OF WORK:**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- INSTALL TYPICAL WATER CONNECTION PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
 - INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE PER PLAIN CITY STANDARDS AND SPECIFICATIONS.
 - INSTALL 1-1/2" PVC DUAL TURNOUT SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
 - INSTALL 1" SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
 - INSTALL 8" C900 DR18 PVC CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS.
 - INSTALL 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
 - FIELD LOCATE AND CONNECT TO EXISTING CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS.
 - FIELD LOCATE AND CONNECT TO EXISTING SECONDARY WATERLINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
 - INSTALL FIRE HYDRANT AND VALVE PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
 - INSTALL STREET LIGHT PER WEBER COUNTY STANDARDS AND SPECIFICATIONS. COORDINATE ALL PROPOSED STREET LIGHT LOCATIONS WITH WEBER COUNTY AND THE STREET LIGHT INSTALLATION WITH ROCKY MOUNTAIN POWER.
 - PLUG AND BLOCK FOR FUTURE CONNECTION.
 - INSTALL 2" POLY SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS (TYP).
 - EXISTING FIRE HYDRANT.
 - EXISTING STREET LIGHT.
 - EXISTING 8" C900 DR18 PVC CULINARY WATERLINE.
 - EXISTING 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
 - INSTALL 2" PERMANENT #2 POST BLOW-OFF VALVE PER BONA VISTA STANDARD DETAIL BV-05 AND SPECIFICATIONS.
 - INSTALL 4" C900 DR18 PVC PRIVATE CULINARY WATERLINE PER BONA VISTA STANDARDS AND SPECIFICATIONS. WATERLINE IS PRIVATE AFTER THE VALVE ONTO THE PRIVATE STREET.
 - INSTALL 2" TEMPORARY VANGUARD BLOW-OFF VALVE PER BONA VISTA STANDARD DETAIL BV-05 AND SPECIFICATIONS.
 - EXIST WATER LATERAL.
 - EXIST SANITARY SEWER LATERAL.
 - INSTALL 12" CASING.
 - INSTALL 6" C900 DR18 PVC CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS.



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SANDY
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FOR:
 NILSON HOMES
 1740 COMBE RD, SUITE 2
 SOUTH OGDEN, UT 84403

CONTACT:
 STEVE ANDERSON
 PHONE: 801.392.8100

**THE ORCHARDS AT JDC RANCH
 PHASES 3A AND 3B**
 2800 WEST 2600 NORTH STREET
 WEBER COUNTY, UTAH

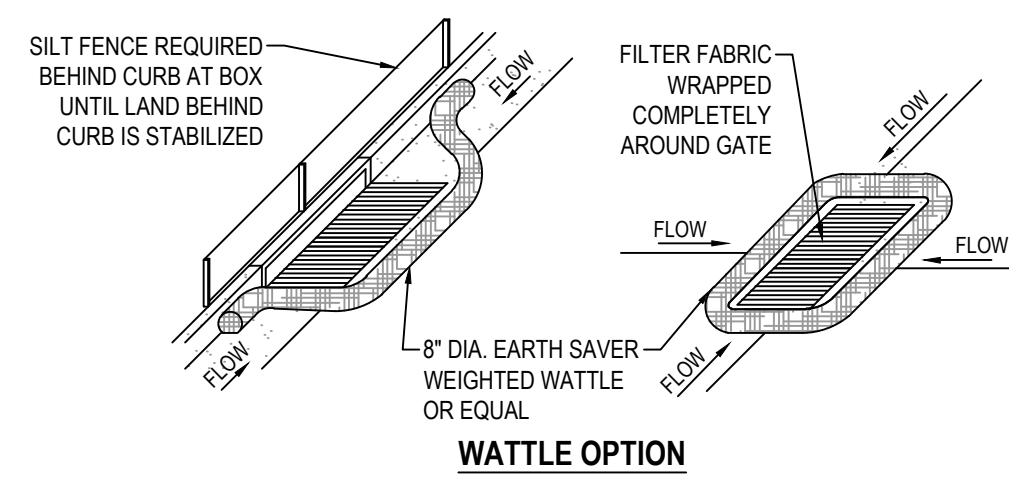


NO. DATE REASON FOR REVIEW

**2740 WEST STREET
 PLAN AND PROFILE**

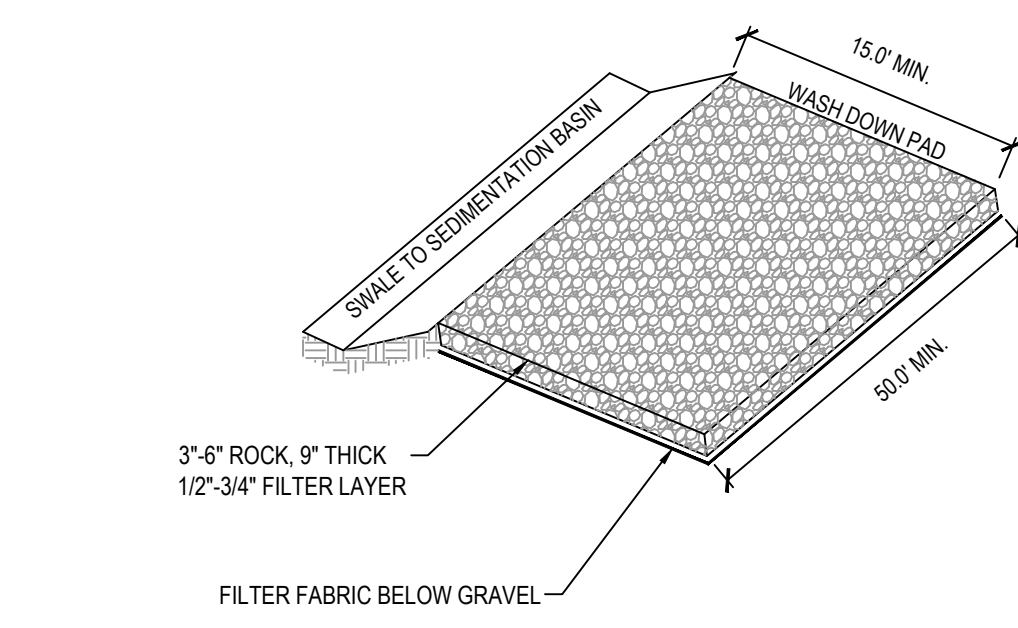
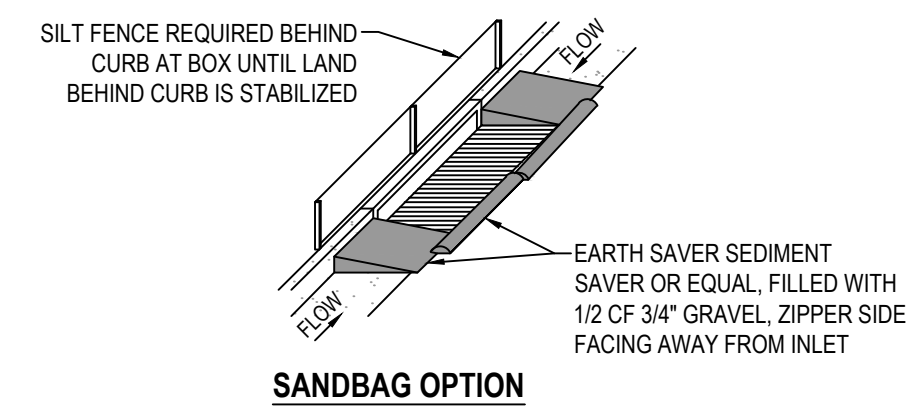
PROJECT NUMBER: 9872
 PRINT DATE: 2024-02-02
 PROJECT MANAGER: CP
 DESIGNED BY: TS

PP-13



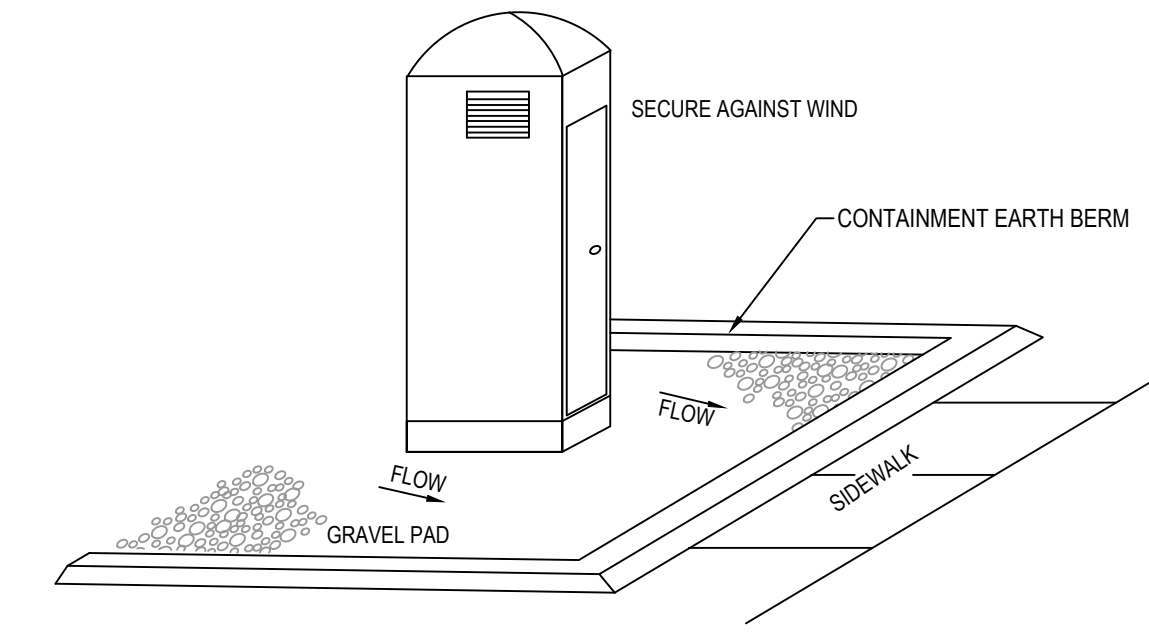
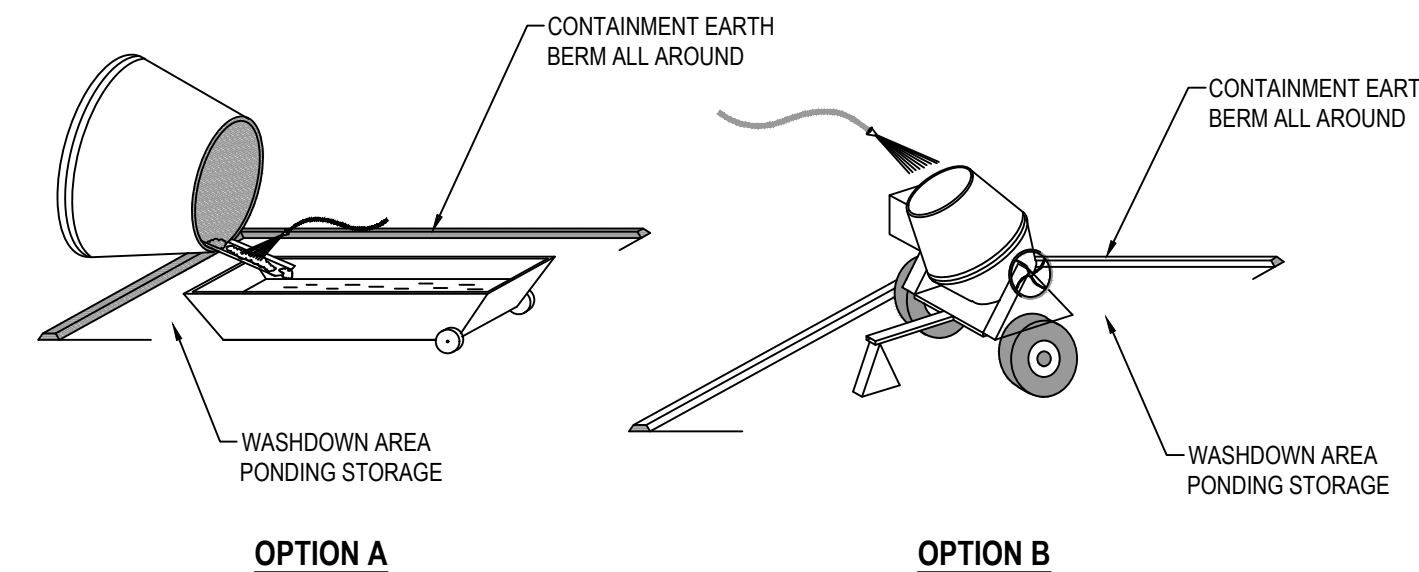
NOTES:

1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BIWEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6\"/>



NOTE:

1. PLACE SIGN ADJACENT TO ENTRANCE - CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION"



1 SAG INLET PROTECTION

SCALE: NONE

2 STABILIZED CONSTRUCTION ENTRANCE

SCALE: NONE

3 CONCRETE WASTE MANAGEMENT

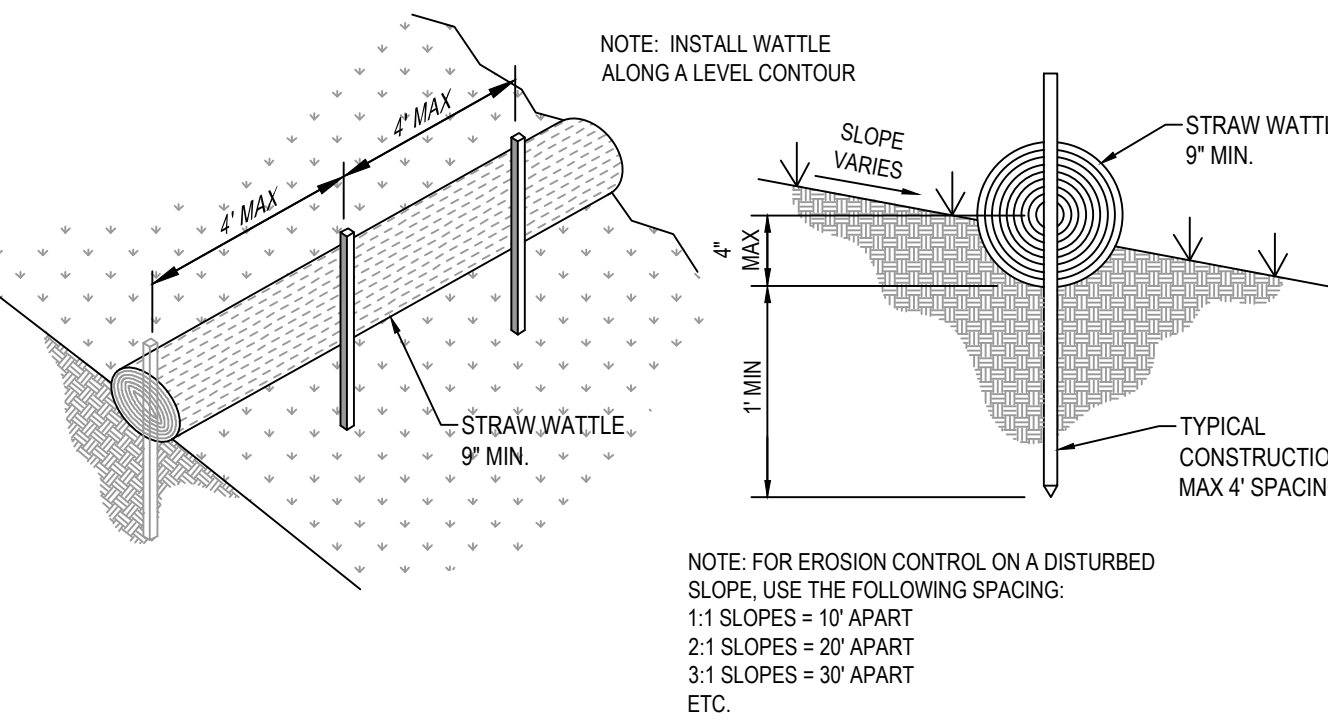
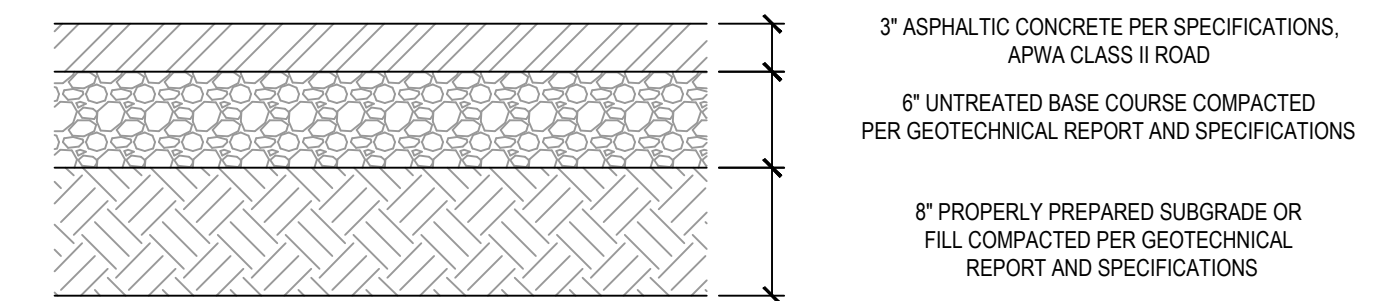
SCALE: NONE

4 PORTABLE TOILET

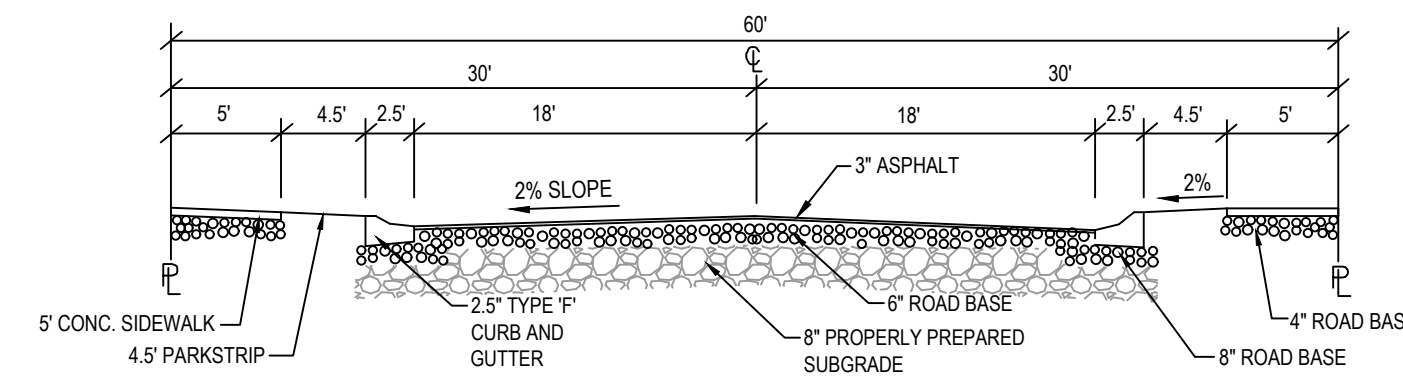
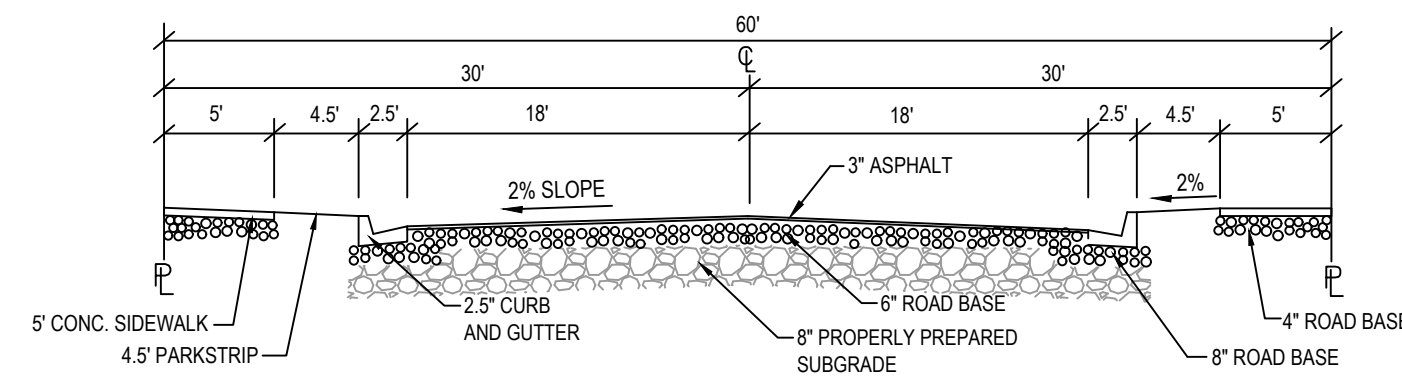
SCALE: NONE

ASPHALT NOTES

1. ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
2. ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8\"/>



- NOTE: FOR EROSION CONTROL ON A DISTURBED SLOPE, USE THE FOLLOWING SPACING:
- 1:1 SLOPES = 10' APART
 - 2:1 SLOPES = 20' APART
 - 3:1 SLOPES = 30' APART
 - ETC.



5 STRAW WATTLES

SCALE: NONE

6 TYPICAL 60' STREET CROSS SECTION

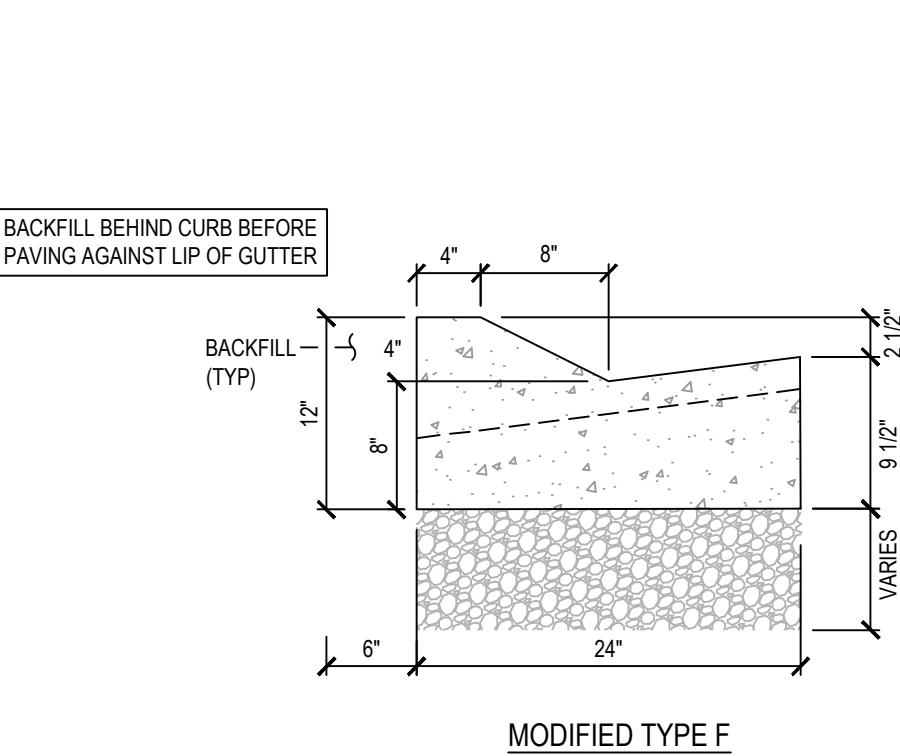
SCALE: NONE

6 60' STREET CROSS SECTION W/ TYPE 'F' CURB

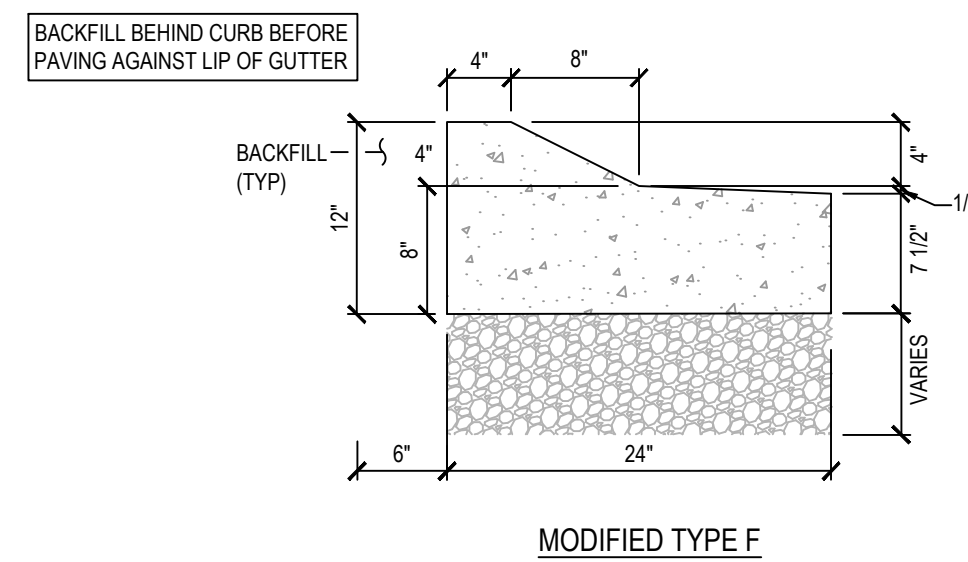
SCALE: NONE

8 STANDARD ASPHALT SECTION

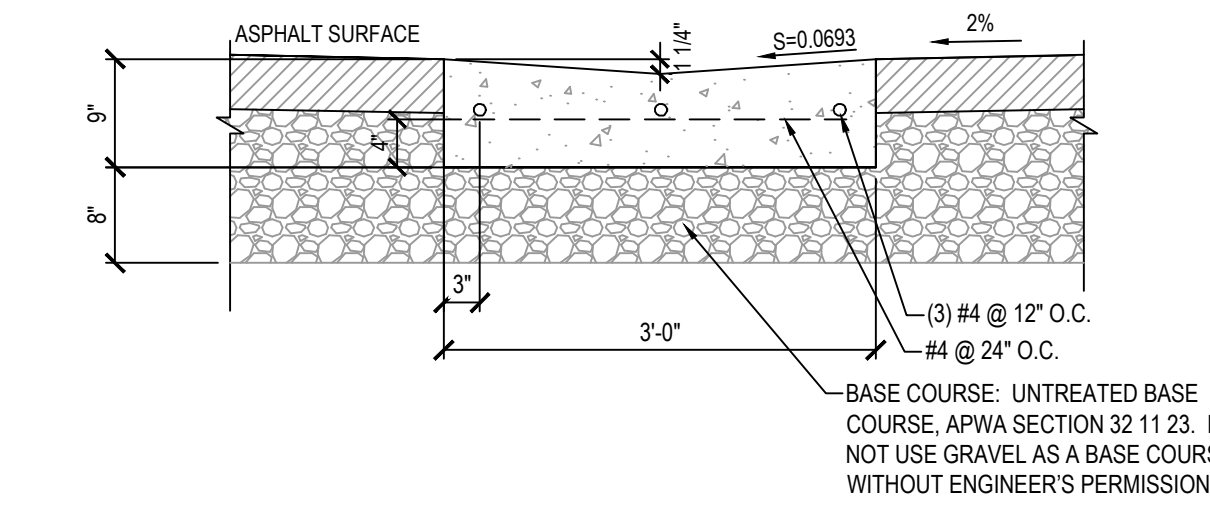
SCALE: NONE



- CURB AND GUTTER
1. GENERAL
 - A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
 - B. Additional requirements are specified in APWA Section 32 16 13.
 2. PRODUCTS
 - A. Base Course: Untreated base course, APWA section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
 3. EXECUTION
 - A. Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - B. Concrete Placement: APWA Section 03 30 10.
 1. Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
 2. Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
 3. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 - C. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



- CURB AND GUTTER
1. GENERAL
 - A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
 - B. Additional requirements are specified in APWA Section 32 16 13.
 2. PRODUCTS
 - A. Base Course: Untreated base course, APWA section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
 3. EXECUTION
 - A. Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - B. Concrete Placement: APWA Section 03 30 10.
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 3. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 - C. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



NOTE:

1. CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 211.

9 MODIFIED 24\"/>

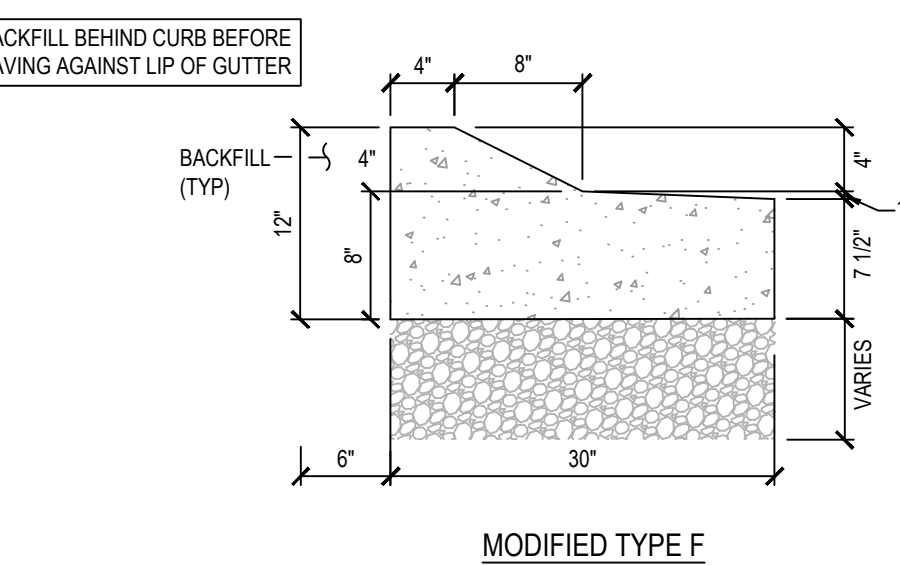
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10 MODIFIED 24\"/>

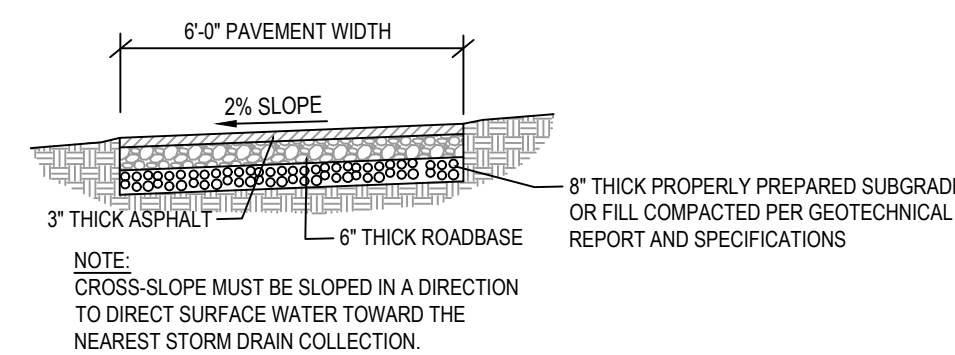
SCALE: NONE

11 3' WATERWAY

SCALE: NONE



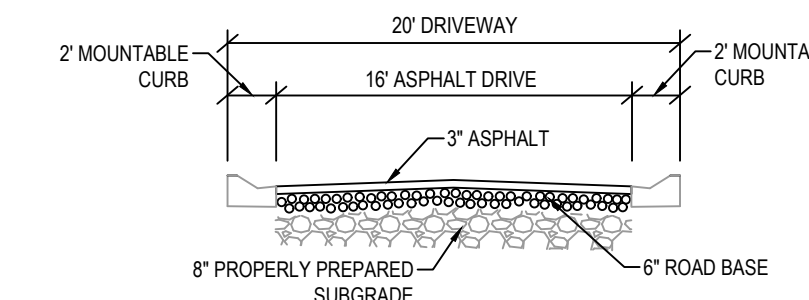
- CURB AND GUTTER
1. GENERAL
 - A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
 - B. Additional requirements are specified in APWA Section 32 16 13.
 2. PRODUCTS
 - A. Base Course: Untreated base course, APWA section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
 3. EXECUTION
 - A. Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - B. Concrete Placement: APWA Section 03 30 10.
 1. Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
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 3. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 - C. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



NOTE: CROSS-SLOPE MUST BE SLOPED IN A DIRECTION TO DIRECT SURFACE WATER TOWARD THE NEAREST STORM DRAIN COLLECTION.

14 2780 WEST STREET ALLEY SECTION

SCALE: NONE



15 2708 NORTH ALLEY SECTION

SCALE: NONE

12 30\"/>

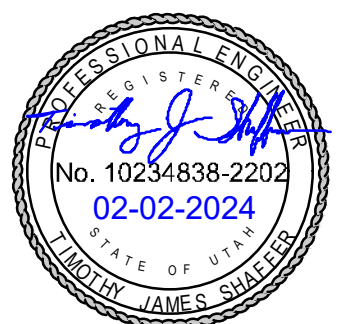
SCALE: NONE

13 CLASS 2 TRAIL SECTION

SCALE: NONE

15 2708 NORTH ALLEY SECTION

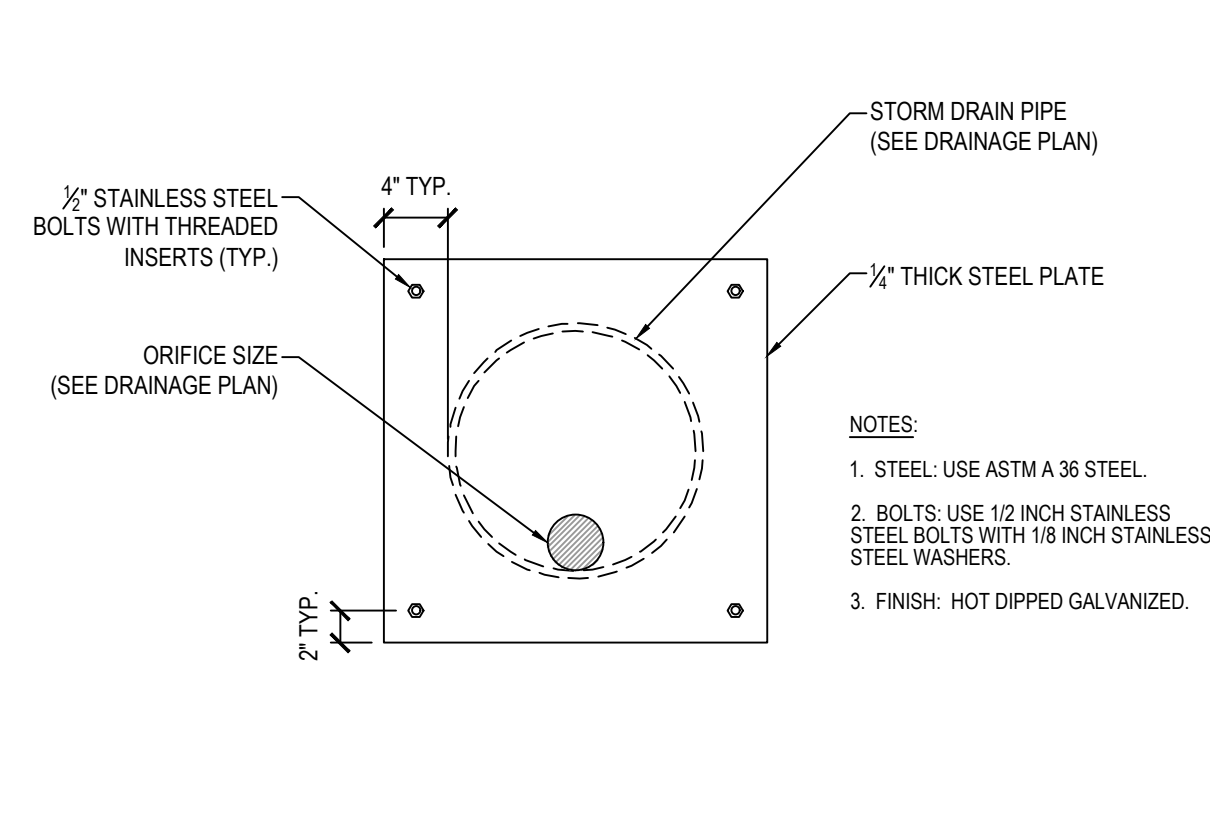
SCALE: NONE



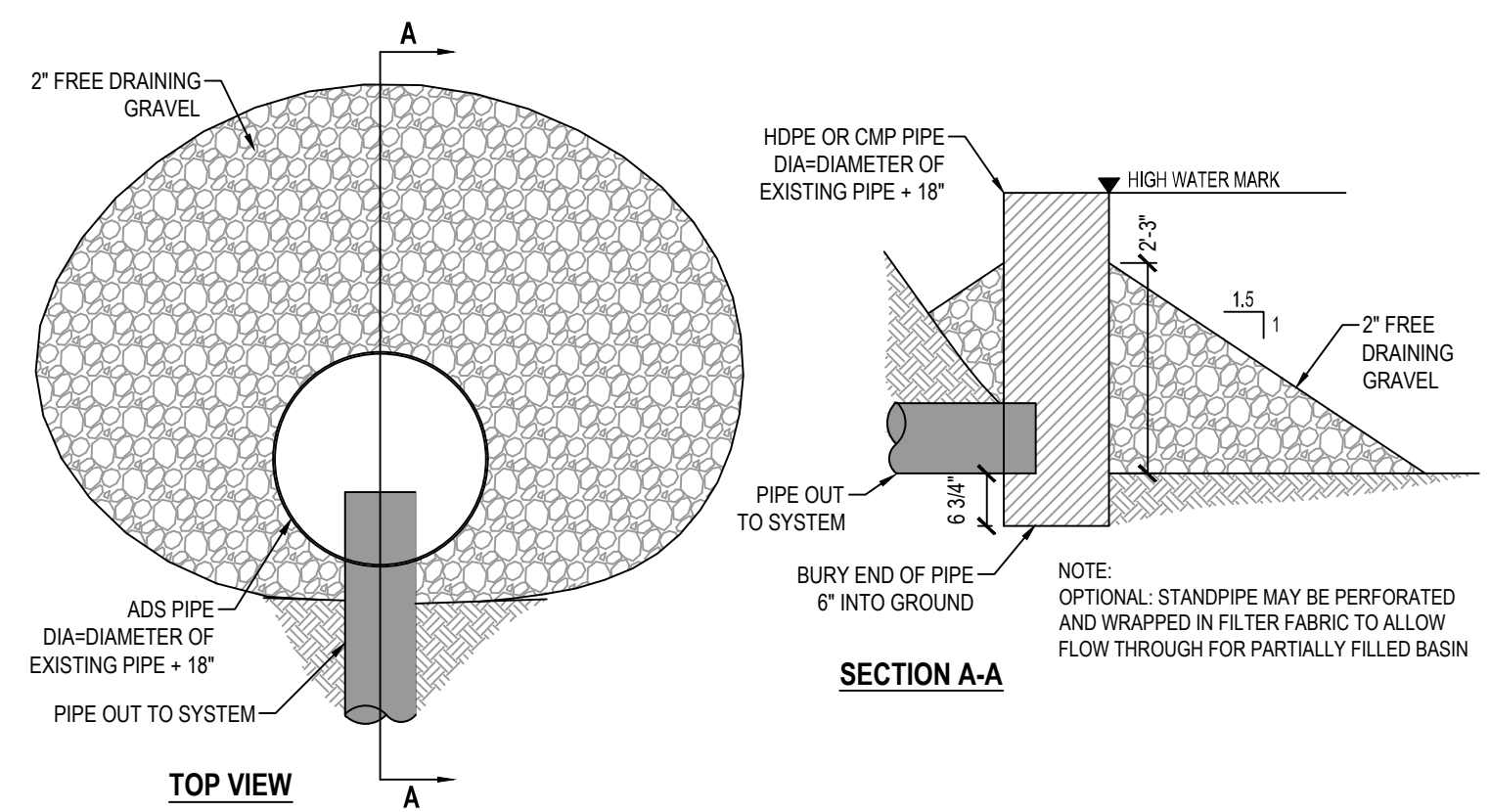
NO. DATE REVIEW FOR REVIEW

DETAILS

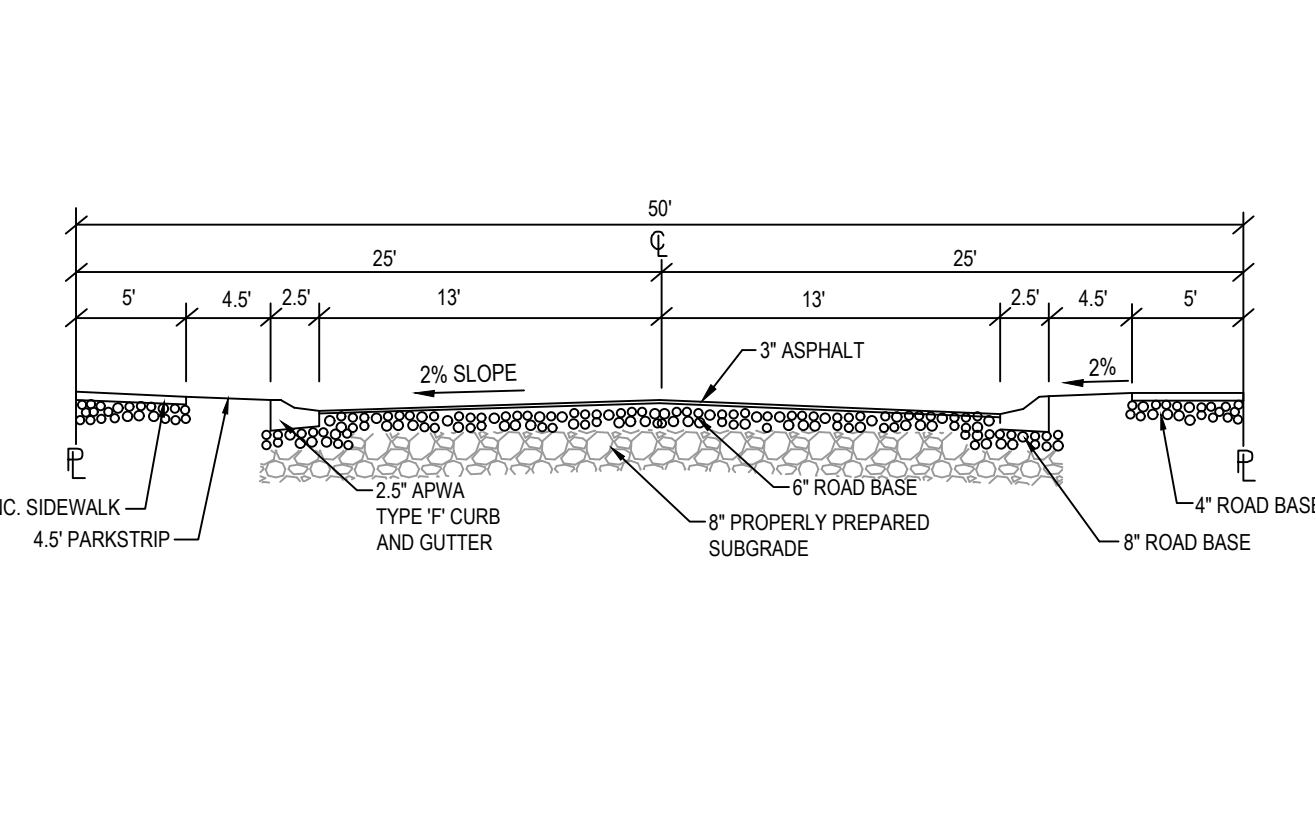
PROJECT NUMBER: 9872
PRINT DATE: 2024-02-02
PROJECT MANAGER: CP
DESIGNED BY: TS



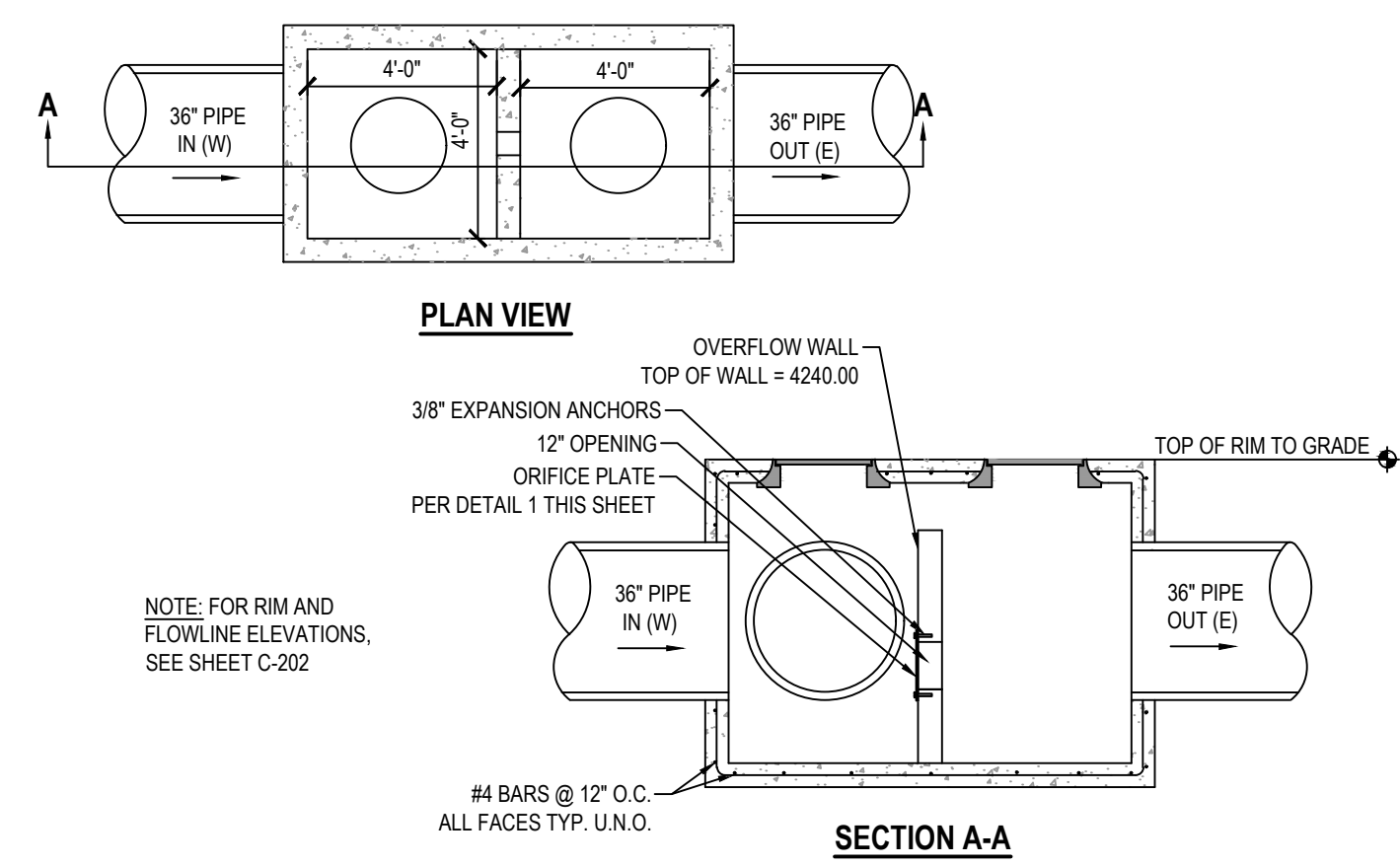
1 ORIFICE PLATE SCALE: NONE



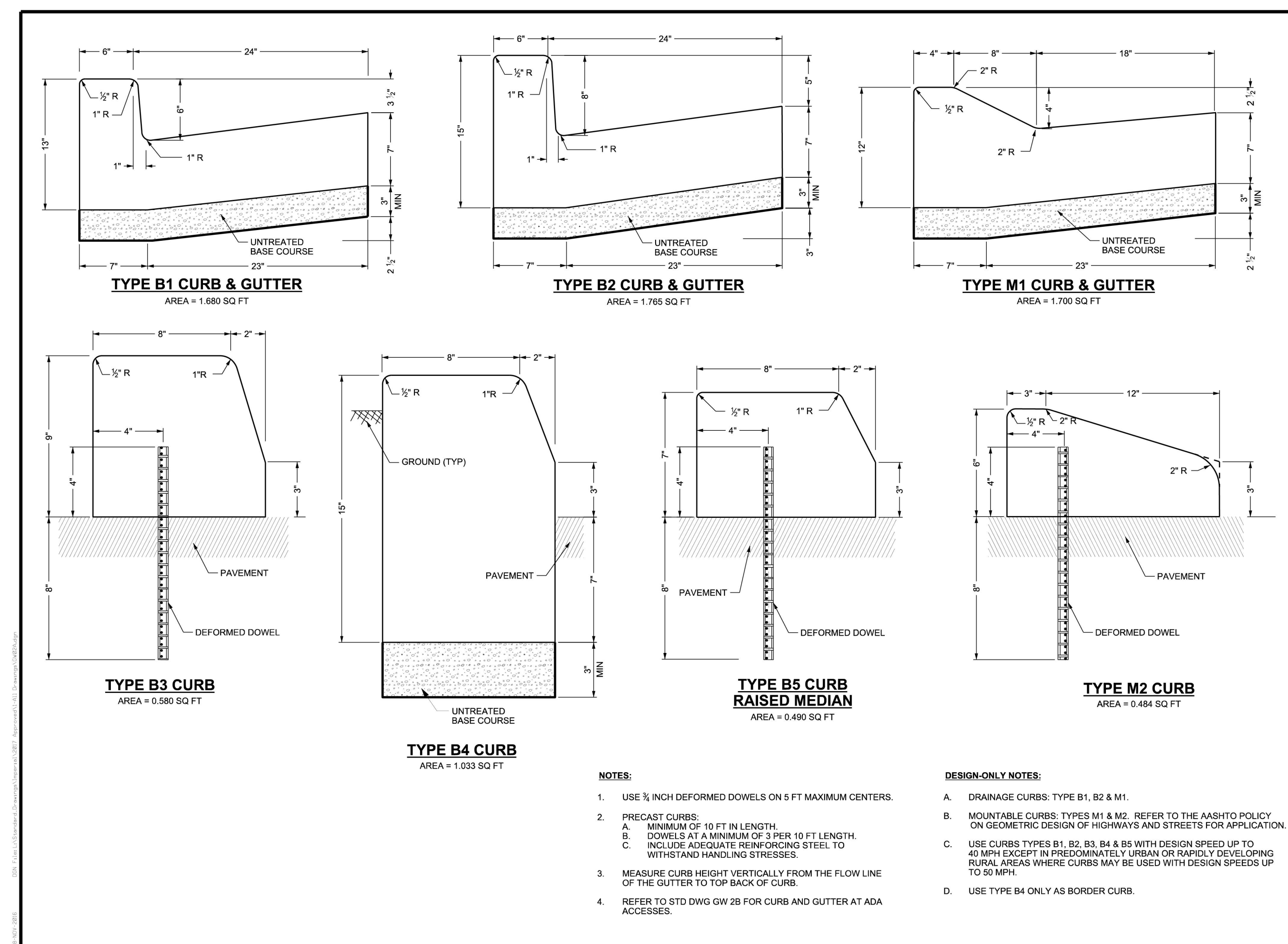
2 TEMPORARY BASIN OUTLET PROTECTION SCALE: NONE



3 50' STREET CROSS SECTION SCALE: NONE



4 BASIN CONTROL STRUCTURE #C-267 SCALE: NONE



- NOTES:**
- USE 1/2" INCH DEFORMED DOWELS ON 5 FT MAXIMUM CENTERS.
 - PRECAST CURBS:
 - MINIMUM OF 10 FT IN LENGTH.
 - DOWELS AT A MINIMUM OF 3 PER 10 FT LENGTH.
 - INCLUDE ADEQUATE REINFORCING STEEL TO WITHSTAND HANDLING STRESSES.
 - MEASURE CURB HEIGHT VERTICALLY FROM THE FLOW LINE OF THE GUTTER TO TOP BACK OF CURB.
 - REFER TO STD DWG GW 28 FOR CURB AND GUTTER AT ADA ACCESSIBLES.
- DESIGN-ONLY NOTES:**
- DRAINAGE CURBS: TYPE B1, B2 & M1.
 - MOUNTABLE CURBS: TYPES M1 & M2. REFER TO THE AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS FOR APPLICATION.
 - USE CURBS TYPES B1, B2, B3, B4 & B5 WITH DESIGN SPEED UP TO 40 MPH EXCEPT IN PREDOMINATELY URBAN OR RAPIDLY DEVELOPING RURAL AREAS WHERE CURBS MAY BE USED WITH DESIGN SPEEDS UP TO 50 MPH.
 - USE TYPE B4 ONLY AS BORDER CURB.

REVISIONS	NO.	DATE	BY	REVISIONS
UTAH DEPARTMENT OF TRANSPORTATION STANDARD DRAWING FOR ROAD AND BRIDGE CONSTRUCTION RECOMMENDED FOR LOCAL ADOPTION BY THE BOARD OF SUPERVISORS APPROVED FOR THE STATE ENGINEER APPROVED BY THE STATE ENGINEER DATE: JAN 01, 2017 DATE: JAN 01, 2017 SECURITY DIRECTOR				
CONCRETE CURB AND GUTTER TYPES STANDARD DRAWING TITLE				
STD. DWG. NO. GW 2A				

ENSIGN
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PHASES 3A AND 3B
 2800 WEST 2600 NORTH STREET
 WEBER COUNTY, UTAH



NO.	DATE	REVISION FOR REVIEW

DETAILS

PROJECT NUMBER	PRINT DATE
9872	2024-02-02
PROJECT MANAGER	DESIGNED BY
CP	TS

C-501

Implementation 01-09-2017