

@ 811 AT LEAST 48 HOURS COMMENCEMENT OF ANY

BENCHMARK

NORTHWEST CORNER OF SECTION 27 TOWNSHIP 7 NORTH, RANGE 2 WEST SALT LAKE BASE AND MERIDIAN ELEV = 4231.00'

THE ORCHARDS AT JDC RANCH PHASE 2

FOR REVIEW NOT FOR CONSTRUCTION DATE PRINTED March 1, 2024

2800 WEST 2600 NORTH STREET WEBER COUNTY, UTAH

IDEX O	F DRAWINGS	PP-0	PLAN AND PROFILE KEY MAP
OF 2	ORCHARDS PH2 PLAT	PP-1	2775 NORTH STREET PLAN AND PROFILE
OF 2	ORCHARDS PH2 PLAT	PP-2	2775 WEST STREET PLAN AND PROFILE
-001	GENERAL NOTES	PP-3	2715 NORTH STREET PLAN AND PROFILE
-100	SITE PLAN	PP-4	2800 WEST STREET/ABERDEEN DRIVE
-200	GRADING AND DRAINAGE PLAN		PLAN AND PROFILE
-201	GRADING AND DRAINAGE PLAN	PP-5	2770 WEST STREET PLAN AND PROFILE
-202	GRADING AND DRAINAGE PLAN	C-500	DETAILS
-300	UTILITY PLAN	C-501	DETAILS NOTICE TO DEVELO

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

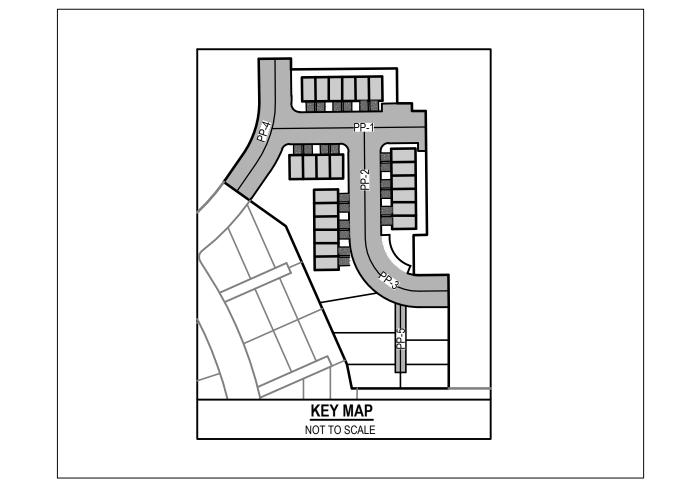
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY. REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

LOPER/ CONTRACTOR

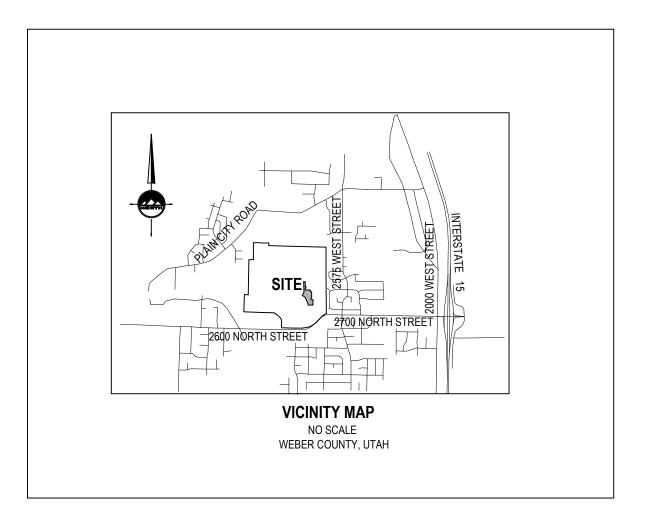
UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

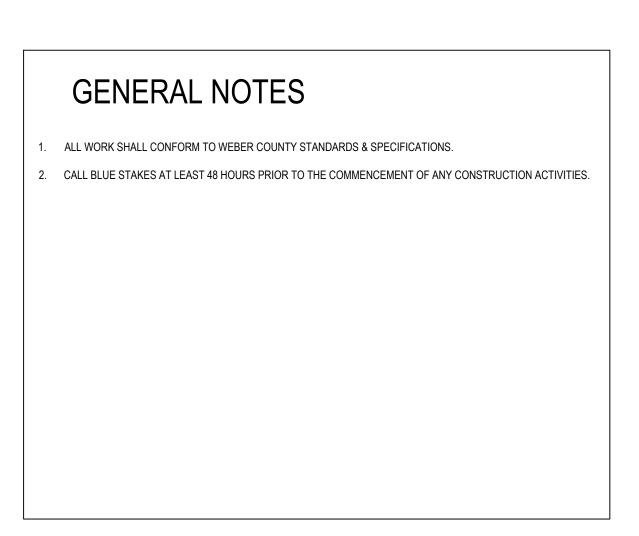
UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



EROSION CONTROL PLAN







919 North 400 West Layton, UT 84041 Phone: 801.547.1100

Phone: 801.255.0529

Phone: 435.843.3590

Phone: 435.865.1453 RICHFIELD

Phone: 435.896.2983 WWW.ENSIGNENG.COM

NILSON HOMES 1740 COMBE RD, SUITE 2 SOUTH OGDEN, UT 84403

STEVE ANDERSON PHONE: 801.392.8100

DS AT JDC RANCH

ORCHARI

600 NORTH STREET

2024-03-01

THE ORCHARDS AT JDC RANCH PHASE 2

NORTH QUARTER CORNER

SALT LAKE BASE & MERIDIAN

SOUTH QUARTER CORNER

SALT LAKE BASE & MERIDIAN

TOWNSHIP 7 NORTH, RANGE 2 WEST

(FOUND WEBER COUNTY BRASS CAP 1963)

SECTION 27

TOWNSHIP 7 NORTH, RANGE 2 WEST

SECTION 27

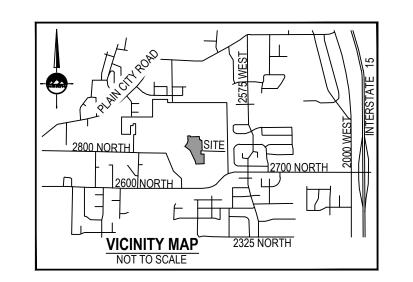
(NOT FOUND)

LOCATED IN THE SOUTHEAST QUARTER SECTION 27 TOWNSHIP 7 NORTH, RANGE 2 WEST SALT LAKE BASE AND MERIDIAN WEBER COUNTY, UTAH **JANUARY 2024**

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2775 NORTH STREET

2000



GENERAL NOTES:

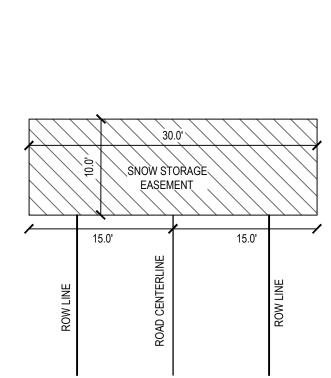
 PROPERTY IS WITHIN RESIDENTIAL OVERLAY ZONE. A. FRONT YARD SETBACK IS 20' B. REAR YARD SETBACK IS 10' C. SIDE YARD SETBACK IS 5'

D. ADJACENT TO RIGHT OF WAY IS 10'

2. ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (PU&DE) ARE 10' FRONT

FROM PUBLIC RIGHT OF WAY, 5' FROM PRIVATE DRIVEWAY.

- 3. PARCELS A,B & CARE TO BE OWNED AND MAINTAINED BY THE ORCHARDS PHASE 2 HOME OWNER'S ASSOCIATION.
- 4. UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.
- 5. 5/8" x 24" REBAR AND CAP WILL BE PLACED AT ALL REAR LOT CORNERS AND FRONT CORNERS WILL BE MARKED WITH A NAIL OR RIVET AT THE EXTENSION IN THE CURB.
- 6. PROTECT ALL EXISTING SECTION CORNERS AND STREET MONUMENTS. COORDINATE ALL SURVEY STREET MONUMENT INSTALLATION, GRADE ADJUSTMENT, AND ALL REQUIRED FEES AND PERMITS WITH THE COUNTY SURVEYOR PRIOR TO DISRUPTION OF ANY EXISTING MONUMENTS.
- 7. THE LOWEST FLOOR ELEVATION WILL NOT BE LOWER THAN ELEVATION
- 8. PERPETUAL EASEMENT GRANTED TO THE UNITED STATES OF AMERICA TO CONSTRUCT, RECONSTRUCT, OPERATE AND MAINTAIN AN UNDERGROUND PIPELINE OR PIPELINES AND APPURTENANT STRUCTURES.
- 9. EARTH CUTS OR FILLS, TREES, SHRUBS, AND/OR PERMANENT OR TEMPORARY STRUCTURES OF ANY KIND ARE STRICTLY PROHIBITED WITHIN SAID EASEMENT WITHOUT PRIOR WRITTEN PERMISSION FROM THE WEBER BASIN WATER CONSERVATION DISTRICT AND THE UNITED STATES BUREAU OF RECLAMATION.







WWW.ENSIGNENG.COM

CEDAR CITY Phone: 435.865.1453 RICHFIELD

WEBER COUNTY SURVEYOR I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH. SIGNED THIS ____ DAY OF ____

WEBER COUNTY SURVEYOR

WCO-106-1-8(c)(1)h.10; WCO 45-4-2(c)

RECORD OF SURVEY #____

N 88°33'22" W 2616.79'

TOWNSHIP 7 NORTH, RANGE 2 WEST

(FOUND WEBER COUNTY BRASS CAP 1963)

SALT LAKE BASE & MERIDIAN

SOUTHWEST CORNER

NORTHWEST CORNER

BM ELEV = 4231.00'

TOWNSHIP 7 NORTH, RANGE 2 WEST

(FOUND WEBER COUNTY BRASS CAP 1963)

S 88°30'37" E 2582.31

SALT LAKE BASE & MERIDIAN

WEST QUARTER CORNER

SALT LAKE BASE & MERIDIAN

TOWNSHIP 7 NORTH, RANGE 2 WEST

SECTION 27

(NOT FOUND)

SECTION 27

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH THIS DAY OF

COUNTY COMMISSION ACCEPTANCE

POINT OF BEGINNING

SECTION TIE DETAIL

N 89°44'59" W 2641.62'

COUNTY ATTORNEY NOW IN FORCE AND AFFECT. CHAIRMAN, WEBER COUNTY COMMISSION ATTEST: ______

SIGNATURE

S 88°30'37" E 2582.31

BASIS OF BEARINGS S 88°23'58" E 5164.98' (RECORD) 5165.23' (MEASURED)

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND

COUNTY ENGINEER I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

ROS NO.: OUNTY SURVEYOR REVIEWER DATE

DEVELOPER

NILSON HOMES

1740 COMBE RD. SUITE 2 **SOUTH OGDEN, UTAH 84403**

801-392-8100

RECORD OF SURVEY LOCATED IN THE SOUTHEAST QUARTER SECTION 27 TOWNSHIP 7 NORTH, RANGE 2 WEST SALT LAKE BASE AND MERIDIAN WEBER COUNTY, UTAH

WEBER COUNTY RECORDER ENTRY NO. ______ FEE
PAID _____ FILED FOR RECORD AND
RECORDED THIS ____ DAY OF ____, 20 ____,
AT _____ IN BOOK _____ OF OFFICIAL RECORDS

DEPUTY RECORDER

SURVEY NARRATIVE Purpose of Survey is to split existing parcels into lots and streets.

SURVEYOR'S CERTIFICATE

License No. 8034679 in accordance with Title 58, Chapter 22 of the Professional Engineers and Land Surveyors Act. I further certify that by

described lands included in said subdivision based on data compiled from The County Recorder's office. I further certify that all lots meet frontage

authority of The Owners, I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17 and have verified all measurements and that the monuments shown on this plat are located as indicated and are sufficient to accurately establish the boundaries of the herein described tract of real property and that it has been drawn correctly and is a true and correct representation of the herein

BOUNDARY DESCRIPTION

A parcel of land, situated in the Southeast Quarter of Section 27, Township 7 North, Range 2 West, Salt Lake Base and Meridian, said parcel also ocated in Weber County, Utah. Being more particularly described as follows:

, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold

Beginning at a point on the north line of g a property corner for The Orchards at JDC Ranch - Phase I Subdivision, said point being North 89°44'59" West 725.03 feet along the Section Line and North 00°15'01" East 285.13 feet from the Southeast Corner of said Section 27 and running thence along the perimeter of said subdivision the following three (3) courses and distances:

> 1) North 11°13'32" West 45.88 feet; 2) North 23°48'56" West 281.85 feet; 3) North 54°38'01" West 142.63 feet;

width and area requirements of applicable zoning ordinances.

thence northeasterly 4.08 feet along the arc of a 170.00-foot radius tangent curve to the left (center bears North 54°38'01" West and the long hord bears North 35°04'13" East 14.08 feet with a central angle of 0°35'33");

thence North 34°47'07" East 59.02 feet; thence northeasterly 104.77 feet along the arc of a 170.00-foot radius tangent curve to the left (center bears North 55°13'34" West and the long ord bears North 17°07'01" East 103.13 feet with a central angle of 35°18'50");

thence North 00°32'24" West 79.84 feet; thence North 89°27'36" East 60.00 feet; thence South 00°32'24" East 20.39 feet;

thence North 89°27'36" East 197.50 feet; thence South 00°32'24" East 65.50 feet; thence North 89°27'36" East 27.50 feet; thence South 00°32'24" East 14.50 feet;

thence North 89°27'36" East 25.60 feet; thence South 00°32'24" East 231.44 feet thence South 89°27'36" West 25.00 feet; thence South 00°32'24" East 74.28 feet;

thence easterly 10.03 feet along the arc of a 70.00-foot radius non-tangent curve to the left (center bears North 07°40'24" East and the long chord ears South 86°26'00" East 10.03 feet with a central angle of 08°12'48");

thence North 89°27'36" East 55.10 feet; thence South 212.10 feet to a point along the North property line of The Orchards at JDC Ranch - Phase I subdivision; thence along said subdivision West 181.08 feet to the Point of Beginning;

Contains: 159,482 square feet or 3.661 acres. 6 Lots, 22 Units and 3 Open Spaces

OWNER'S DEDICATION

We(I) the undersigned owners of the above described tract of land, do hereby set apart and subdivide the same into lots and streets (private streets/private right-of-way's) as shown hereon and name said tract, and do hereby dedicate, grant and convey to Weber County, Utah, or its designee, all those parts or portions of said tract of land designated as parks the same to be used as public open space:

THE ORCHARDS AT JDC RANCH

Dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares.

Dedicate and reserve unto themselves, their heirs, their grantees and assigns, a right-of-way to be used in common with all others within said subdivision (and those adjoining subdivisions that may be subdivided by the undersigned owners, their successors, or assigns) on, over and across all those portions or parts of said tract of land designated on this plat as private streets (private rights-of-way) as access to the individual lots, to be maintained by a home owners association whose membership consists of said owners, their grantees, successors, or

Grant and convey to the subdivision home owners association, all those part or portions of said tract of land designated as common areas to be used for recreational and open space purposes for the benefit of each home owners association member in common with all others in the subdivision and grant and dedicate to the county a perpetual open space right and easement on and over the common areas to guarantee to Weber County that the common areas remain open and undeveloped except for approved recreational, parking and open space purposes.

Grant and dedicate a perpetual right and easement over, upon and under the lands designated hereon as public utility, and drainage easements with no buildings or structures being erected within such easements.

Grant and dedicate unto all owners of lots upon which private land drains are constructed or which are otherwise dependent upon such land drains, an easement over such land drains for the purpose of perpetual maintenance and operation.

In witness whereof We(I) have hereto set our hands(s) this _____ day of

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH County of Weber \S.S.

By: DAVID LOWRY

personally appeared before me, the undersigned Notary Public, in and for said County of duly sworn, acknowledged to me that He is the Manager, of West Park Community LLC a Limited Liability Company and that He signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.

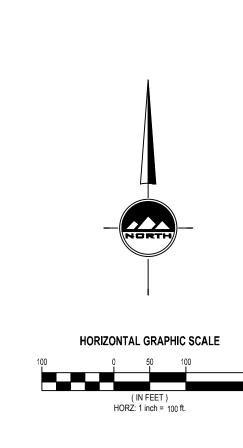
MY COMMISSION EXPIRES:

RESIDING IN NOTARY PUBLIC

THE ORCHARDS AT JDC RANCH PHASE 2

SHEET 1 OF 2 COUNTY PLANNING COMMISSION APPROVAL PROJECT NUMBER: 9872 THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION ON THE

MANAGER: C.PRESTON DRAWN BY: A.SHELBY WEBER COUNTY RECORDER CHECKED BY : T.WILLIAMS CHAIRMAN, WEBER COUNTY PLANNING COMMISSION DATE: 3/1/2024



SOUTHEAST CORNER

TOWNSHIP 7 NORTH, RANGE 2 WEST

(FOUND WEBER COUNTY BRASS CAP 2022)

SALT LAKE BASE & MERIDIAN

SECTION 27

SIGNATURE

NORTHEAST CORNER

WITNESS CORNER

BRASS CAP 1985)

SECTION 27

(FOUND WEBER COUNTY

EAST QUARTER CORNER

TOWNSHIP 7 NORTH, RANGE 2 WEST SALT LAKE BASE & MERIDIAN

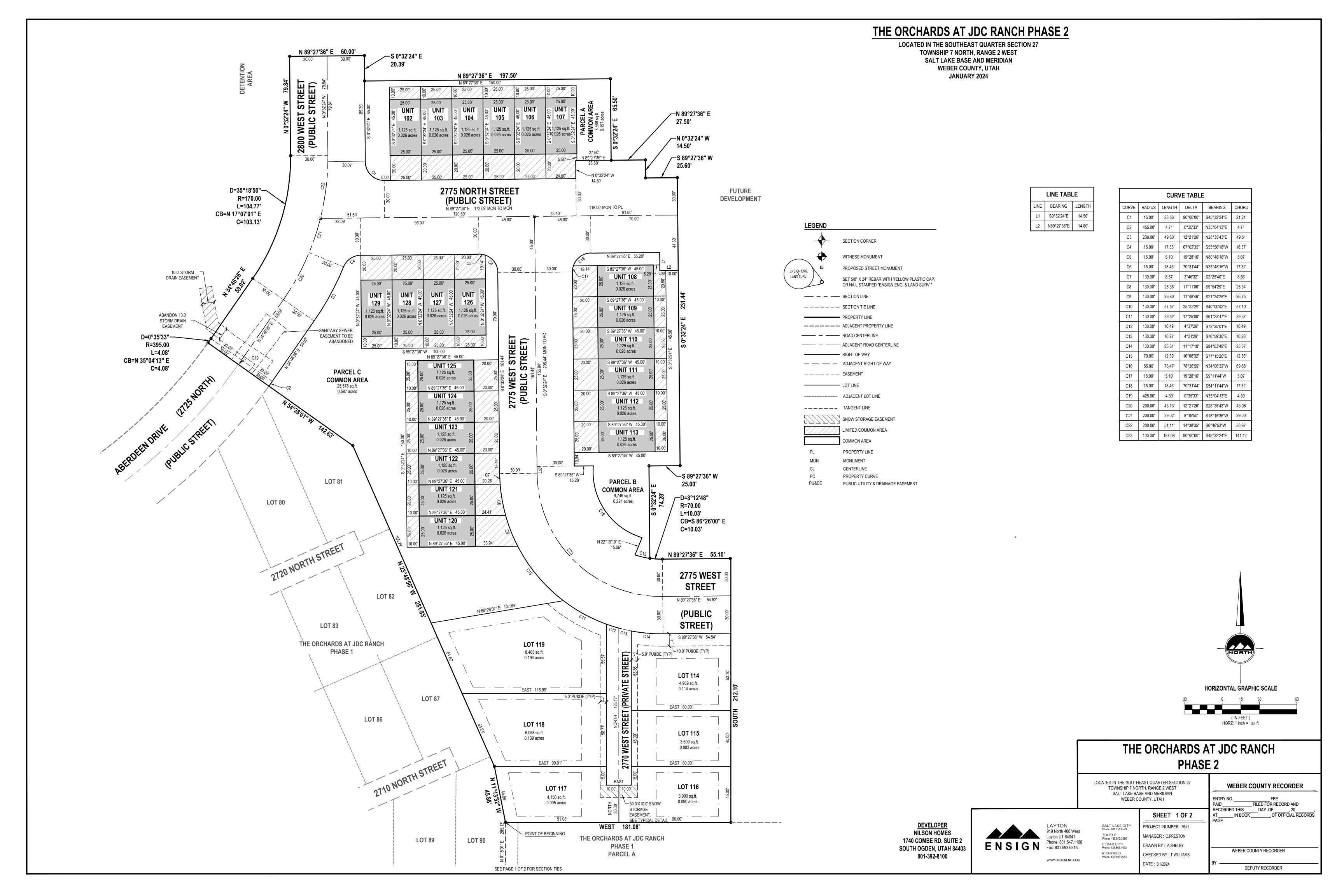
(FOUND WEBER COUNTY BRASS CAP 2022

TOWNSHIP 7 NORTH, RANGE 2 WEST

(FOUND WEBER COUNTY BRASS CAP 1985)

SALT LAKE BASE & MERIDIAN

SECTION 27



GENERAL NOTES

OUTLINED BELOW:

- 1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- 2. CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- 3. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- 4. CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- 8. THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- 9. ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- 10. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 11. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- 12. ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 13. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- 14. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- 15. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- 16. EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE
- 16.1. CONTRACTOR IS REQUIRED TO LOCATE AND POTHOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY)
 THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS
 WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED
 THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED
 CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN.
 IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE
 CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
- 16.2. CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
 16.3. IN ADDITION TO 16.1 AND 16.2 ABOVE THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POTHOLING" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED
- PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.

 16.4. IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO
- RESOLVE THE CONFLICT.

 16.5. IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POTHOLE" EXISTING UTILITIES A REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT
- 17. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO
- 18. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.

ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.

UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.

- 19. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- 20. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY
- 21. CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF
- 22. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- 23. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- 24. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- 25. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- 26. CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- 27. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- 28. ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE
- 29. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
- 30. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
- 31. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- 32. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER
- 2. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- 3. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- 4. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S
- 5. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 33 05 20 BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
- 6. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- 7. THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
- ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 10. ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- 11. CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- 12. SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- 13. CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- 14. EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- 16. ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, EDGE TO EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
- 17. CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- 18. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET
- 19. CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
- 20. ALL CULINARY WATER INFRASTRUCTURE WORK IS TO BE DONE IN ACCORDANCE WITH BONA VISTA STANDARDS.

TRAFFIC CONTROL AND SAFETY NOTES

WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.

- 1. TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- 2. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- 3. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT
- 4. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- 5. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
- 6. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
- 7. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- 8. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- 9. THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- 1. EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- 2. THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- 3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- 2. THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- 3. THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- 4. ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- 5. THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- 6. THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- 8. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES
- 9. THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH
- 10. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTORS' FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- 11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OF THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE.
- 12. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- 13. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- 14. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- 15. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- 16. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

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AMERICAN PUBLIC WORKS ASSOCIATION
              ACCESSIBLE ROUTE
              AMERICAN SOCIETY FOR TESTING AND MATERIALS
              AMERICAN WATER WORKS ASSOCIATION
             BOTTOM OF STEP
             BEGIN VERTICAL CURVE
             CATCH BASIN
              CURB FACE OR CUBIC FEET
COMM
             COMMUNICATION
CONC
             CONCRETE
             CONTINUOUS
             DIAMETER
              DUCTILE IRON PIPE
ELEC
             ELECTRICAL
ELEV
             ELEVATION
             EDGE OF ASPHALT
             END OF VERTICAL CURVE
             EACH WAY
             EXISTING
             FINISH FLOOR
             FINISH GRADE
             FIRE HYDRANT
             FLOW LINE OR FLANGE
              GRADE BREAK
              GARAGE FLOOF
             GATE VALVE
             HANDICAP
             HIGH POINT
             IRRIGATION
             RATE OF VERTICAL CURVATURE
             LAND DRAIN
             LINEAR FEET
             LOW POINT
             MATCH EXISTING
             MANHOLE
             MECHANICAL JOINT
             NATURAL GROUND
              NOT IN CONTRACT
             NUMBER
             ON CENTER
              ON CENTER EACH WAY
             OVERHEAD POWER
             POINT OF CURVATURE OR PRESSURE CLASS
             POINT OF COMPOUND CURVATURE
             POINT OF INTERSECTION
             POST INDICATOR VALVE
              PROPERTY LINE
             POINT OF REVERSE CURVATURE
             PROPOSED
             POINT OF TANGENCY
             POINT OF VERTICAL CURVATURE
             POINT OF VERTICAL INTERSECTION
             POINT OF VERTICAL TANGENCY
             ROOF DRAIN
ROW
             RIGHT OF WAY
             SLOPE
             SANITARY SEWER
             STORM DRAIN
              SECONDARY
             SANITARY SEWER
             STATION
              SECONDARY WATER LINE
              TOP BACK OF CURB
             TOP OF GRATE
             TOP OF ASPHALT
             TOP OF CONCRETE
              TOP OF FOUNDATION
             TOP OF WALL
             TOP OF STEP
              TYPICAL
              VERTICAL CURVE
             WALL INDICATOR VALVE
             WATER LINE
```

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET

LEGEND

	SECTION CORNER	— – – –	EXISTING EDGE OF ASPHALT
+	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
⊡	PROPOSED MONUMENT		EXISTING STRIPING
0	EXISTING REBAR AND CAP		PROPOSED STRIPING
0	SET ENSIGN REBAR AND CAP	$ \times$ $-$	EXISTING FENCE
MV O	EXISTING WATER METER	X	PROPOSED FENCE
MV O	PROPOSED WATER METER		EXISTING FLOW LINE
W	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
W	PROPOSED WATER MANHOLE		GRADE BREAK
W	EXISTING WATER BOX	— — sd — —	EXISTING STORM DRAIN LINE
W	EXISTING WATER VALVE	SD	PROPOSED STORM DRAIN LINE
W M	PROPOSED WATER VALVE	—— RD ——	ROOF DRAIN LINE
Ç,	EXISTING FIRE HYDRANT		CATCHMENTS
,	PROPOSED FIRE HYDRANT	— HWL — —	HIGHWATER LINE
HR*	PROPOSED FIRE DEPARTMENT CONNECTION	— — ss — —	EXISTING SANITARY SEWER
SWV	EXISTING SECONDARY WATER VALVE	SS	PROPOSED SANITARY SEWER LINE
swv	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
RR	EXISTING IRRIGATION BOX	— — Id — —	EXISTING LAND DRAIN LINE
RR	EXISTING IRRIGATION VALVE	LD	PROPOSED LAND DRAIN LINE
RR	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
S	EXISTING SANITARY SEWER MANHOLE	w	EXISTING CULINARY WATER LINE
<u>s</u>	PROPOSED SANITARY SEWER MANHOLE	—— w ——	PROPOSED CULINARY WATER LINE
0	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
D	EXISTING STORM DRAIN CLEAN OUT BOX	— — sw — —	EXISTING SECONDARY WATER LINE
D	PROPOSED STORM DRAIN CLEAN OUT BOX	SW	PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX	——————————————————————————————————————	PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN	- $-$ irr $ -$	EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN	—— IRR ——	PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX	ohp	EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX	— — e — —	EXISTING ELECTRICAL LINE
0	EXISTING STORM DRAIN CLEAN OUT	— g — —	EXISTING GAS LINE
→	EXISTING STORM DRAIN CULVERT	t	EXISTING TELEPHONE LINE
→	PROPOSED STORM DRAIN CULVERT	——AR	ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE

TEMPORARY BERM

□□□□□□□□□ EXISTING WALL

PROPOSED WALL

EXISTING CONTOURS

PROPOSED CONTOURS

PROPOSED ASPHALT

PROPOSED REVERSE PAN CURB AND GUTTER

CONCRETE TO BE REMOVED

EXISTING CONCRETE

PROPOSED CONCRETE

EXISTING BUILDING

PROPOSED BUILDING

BUILDING TO BE REMOVED

EXISTING CURB AND GUTTER

PROPOSED CURB AND GUTTER

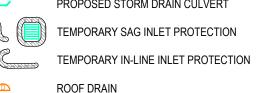
TRANSITION TO REVERSE PAN CURB

BUILDABLE AREA WITHIN SETBACKS

EXISTING ASPHALT TO BE REMOVED

PUBLIC DRAINAGE EASEMENT

—— LOD — LIMITS OF DISTURBANCE



ROOF DRAIN

EXISTING ELECTRICAL MANHOLE

EXISTING ELECTRICAL BOX

E EXISTING ELECTRICAL BOX

EXISTING TRANSFORMER

EXISTING UTILITY POLE

EXISTING LIGHT

▶ PROPOSED LIGHT
► EXISTING GAS METER

© EXISTING GAS MANHOLE

SING GAS VALVE

EXISTING TELEPHONE MANHOLE

EXISTING TELEPHONE BOX

EXISTING TRAFFIC SIGNAL BOX

PROPOSED SIGN

EXISTING SIGN

PROPOSED SIGN

EXISTING SPOT ELEVATION

PROPOSED SPOT ELEVATION

PROPOSED BOLLARD

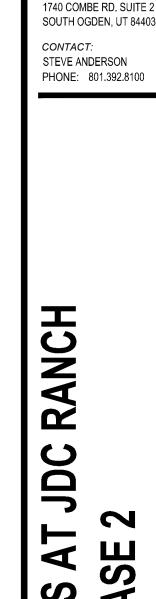
EXISTING TREE

DENSE VEGETATION

 \Longrightarrow

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET

EXISTING FLOW DIRECTION



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Layton, UT 84041

THE ORCHARD
PH/
2800 WEST 260

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OUNTY

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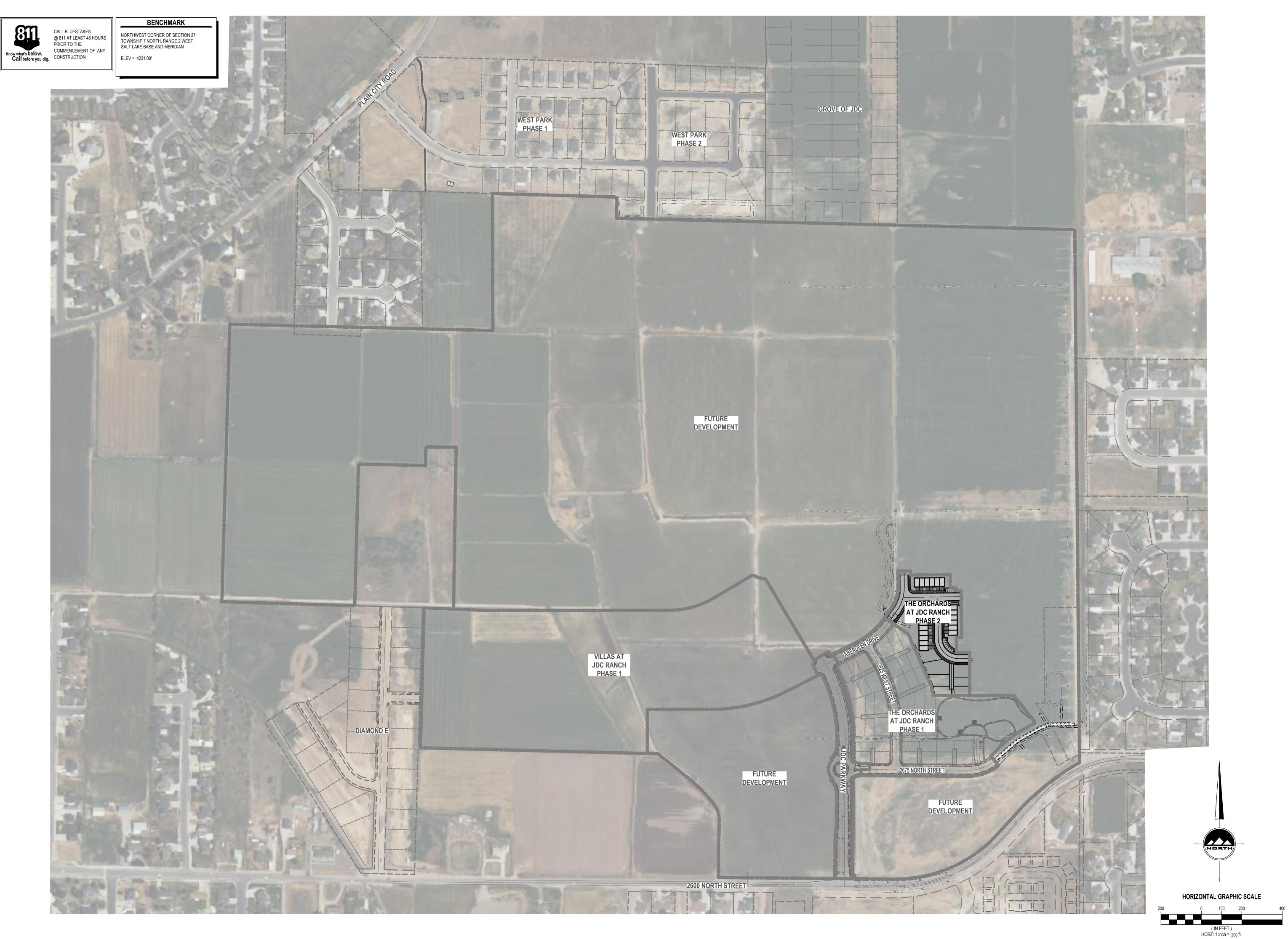


FOR REVIEW

GENERAL NOTES

PROJECT NUMBER PRINT DATE 9872 2024-03-01
PROJECT MANAGER DESIGNED BY

C-001





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JDC RANCH

DS

THE ORCHARI

2800 WEST 2600 NORTH STREET WEBER COUNTY, UTAH PHASE



OVERALL DEVELOPMENT SITE PLAN

PRINT DATE 2024-03-01

C-002



CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK

NORTHWEST CORNER OF SECTION 27 TOWNSHIP 7 NORTH, RANGE 2 WEST SALT LAKE BASE AND MERIDIAN ELEV = 4231.00'

SCOPE OF WORK:

5 MATCH EXISTING IMPROVEMENTS

6 EXISTING STREET LIGHT

10) INSTALL ASPHALT DRIVEWAY PER DETAIL 8/C-500

EXISTING CURB AND GUTTER

FUTURE

DEVELOPMENT

PARCEL A

UNIT 105

UNIT 103

FUTURE DEVELOPMENT

4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM

THE STANDARD IN ENGINEERING



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CONTACT: STEVE ANDERSON PHONE: 801.392.8100

RANCH 2800 WEST 2600 N WEBER COU PHA

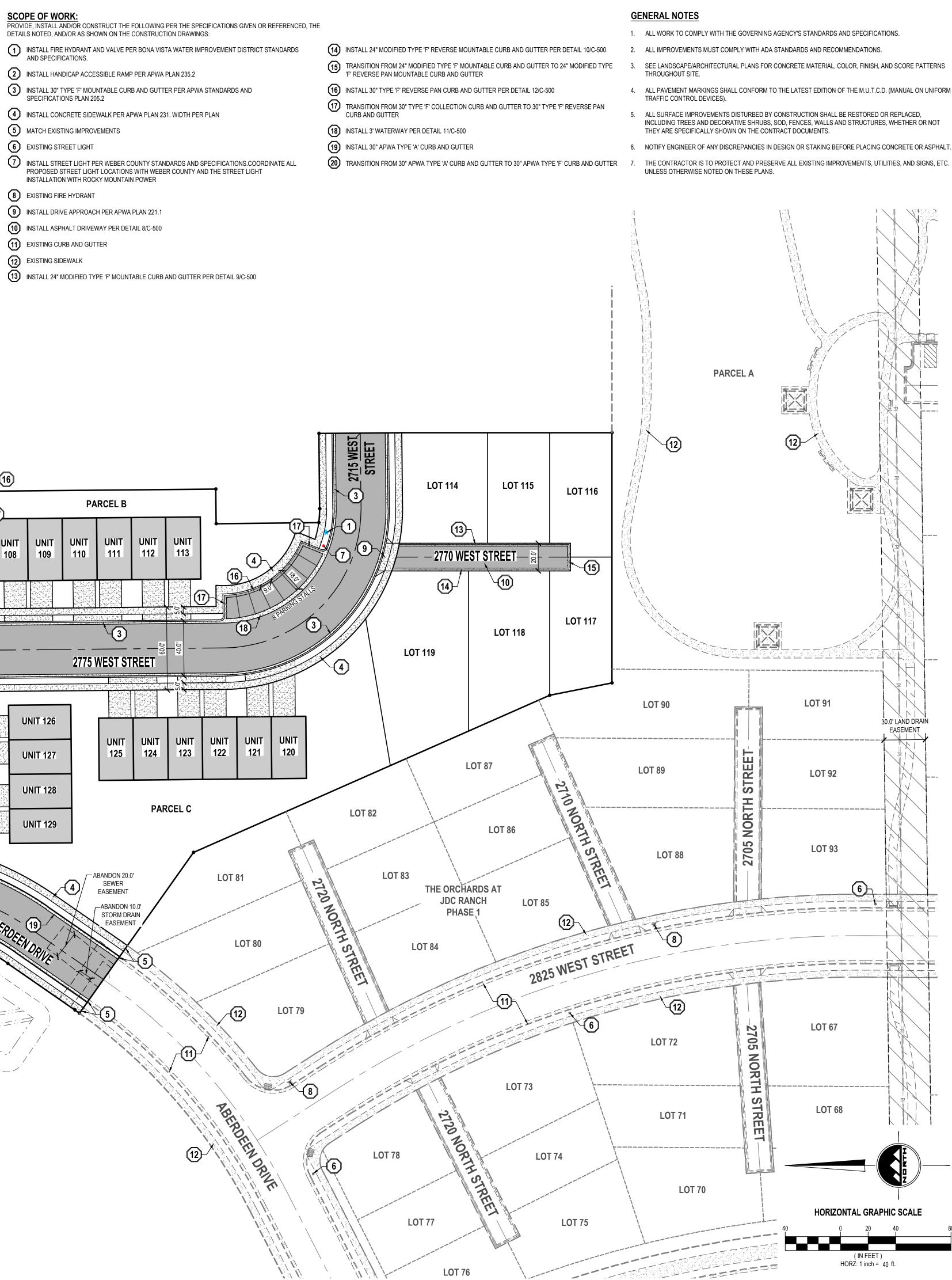
COUNTY

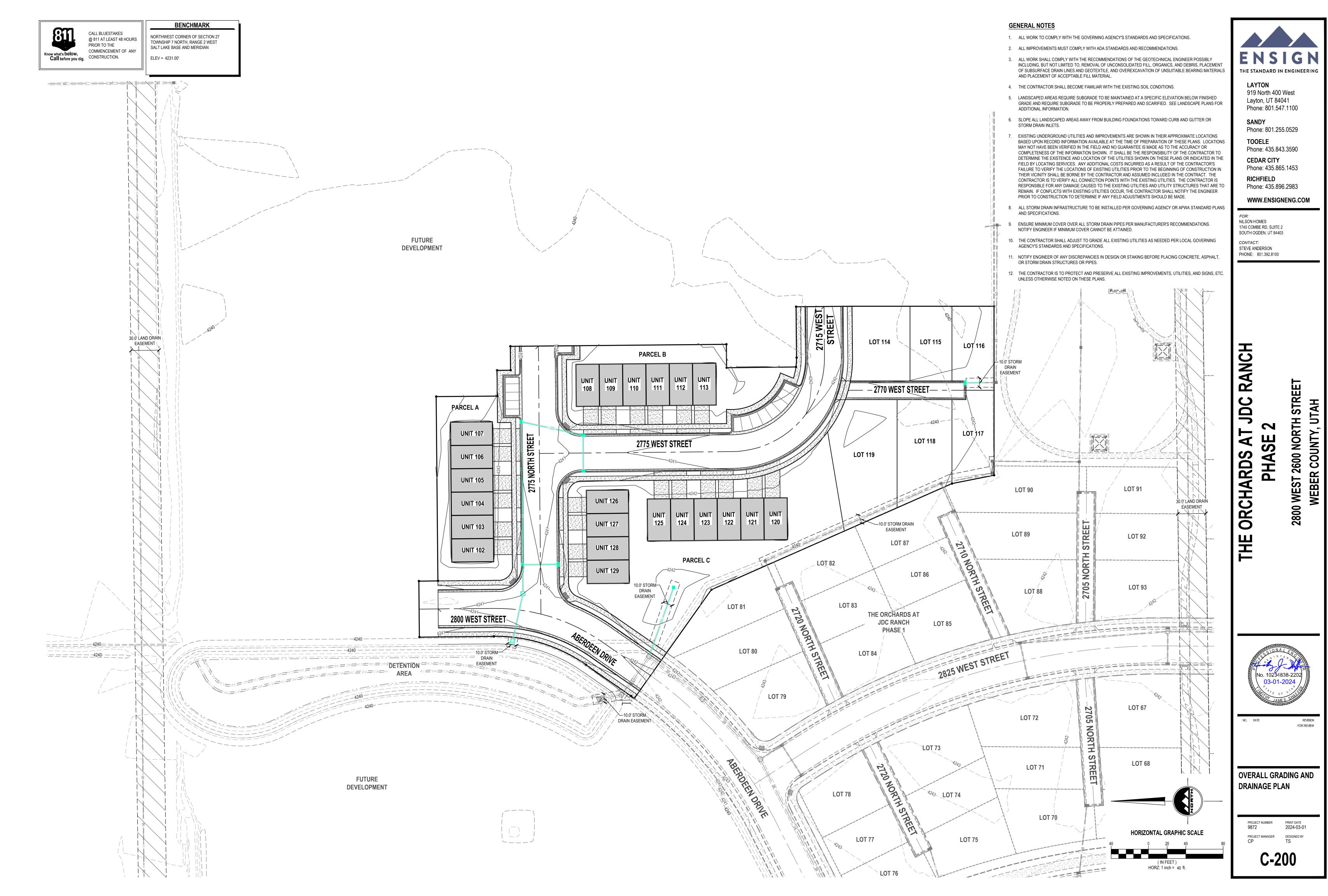
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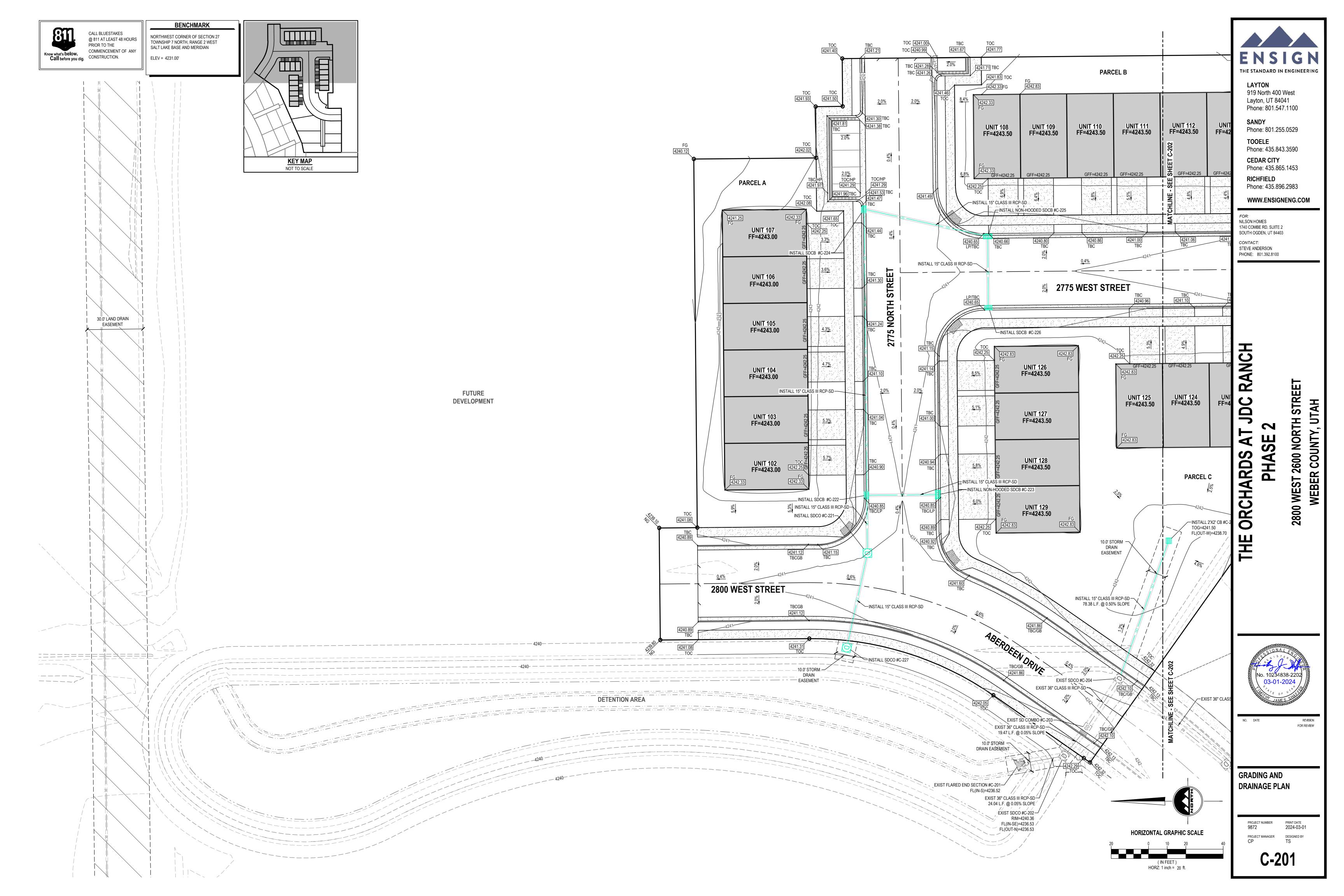
SITE PLAN

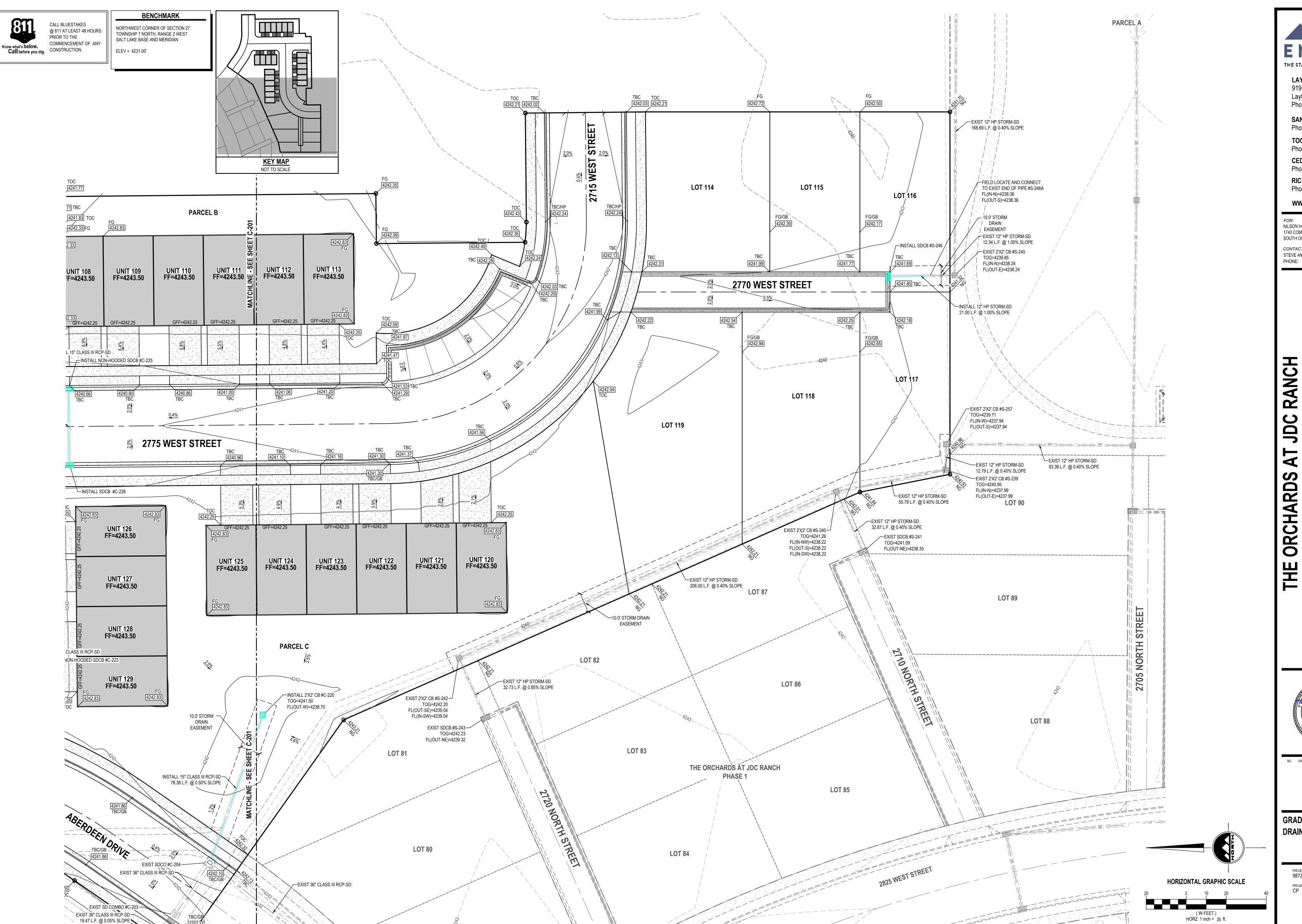
2024-03-01

PROJECT MANAGER DESIGNED BY **C-100**









THE STANDARD IN ENGINEERING

LAYTON 919 North 400 West Layton, UT 84041 Phone: 801.547.1100

SANDY

Phone: 801.255.0529 **TOOELE**

Phone: 435.843.3590 **CEDAR CITY**

Phone: 435.896.2983

Phone: 435.865.1453 RICHFIELD

WWW.ENSIGNENG.COM

NILSON HOMES 1740 COMBE RD. SUITE 2 SOUTH OGDEN, UT 84403 CONTACT:

STEVE ANDERSON PHONE: 801.392.8100

JDC

AT

STREET 2800 WEST 2600 NORTH STRE WEBER COUNTY, UTAH

PHASE



GRADING AND DRAINAGE PLAN

PRINT DATE 2024-03-01 PROJECT MANAGER DESIGNED BY



CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK

NORTHWEST CORNER OF SECTION 27 TOWNSHIP 7 NORTH, RANGE 2 WEST SALT LAKE BASE AND MERIDIAN

ELEV = 4231.00'

Phone: 435.843.3590 **CEDAR CITY** Phone: 435.865.1453 RICHFIELD Phone: 435.896.2983 WWW.ENSIGNENG.COM NILSON HOMES 1740 COMBE RD. SUITE 2 SOUTH OGDEN, UT 84403 STEVE ANDERSON PHONE: 801.392.8100 RANCH ORCHARI 뿔

STREET

2800 WEST 2

COUNTY

WEBER

THE STANDARD IN ENGINEERING

919 North 400 West

Phone: 801.547.1100

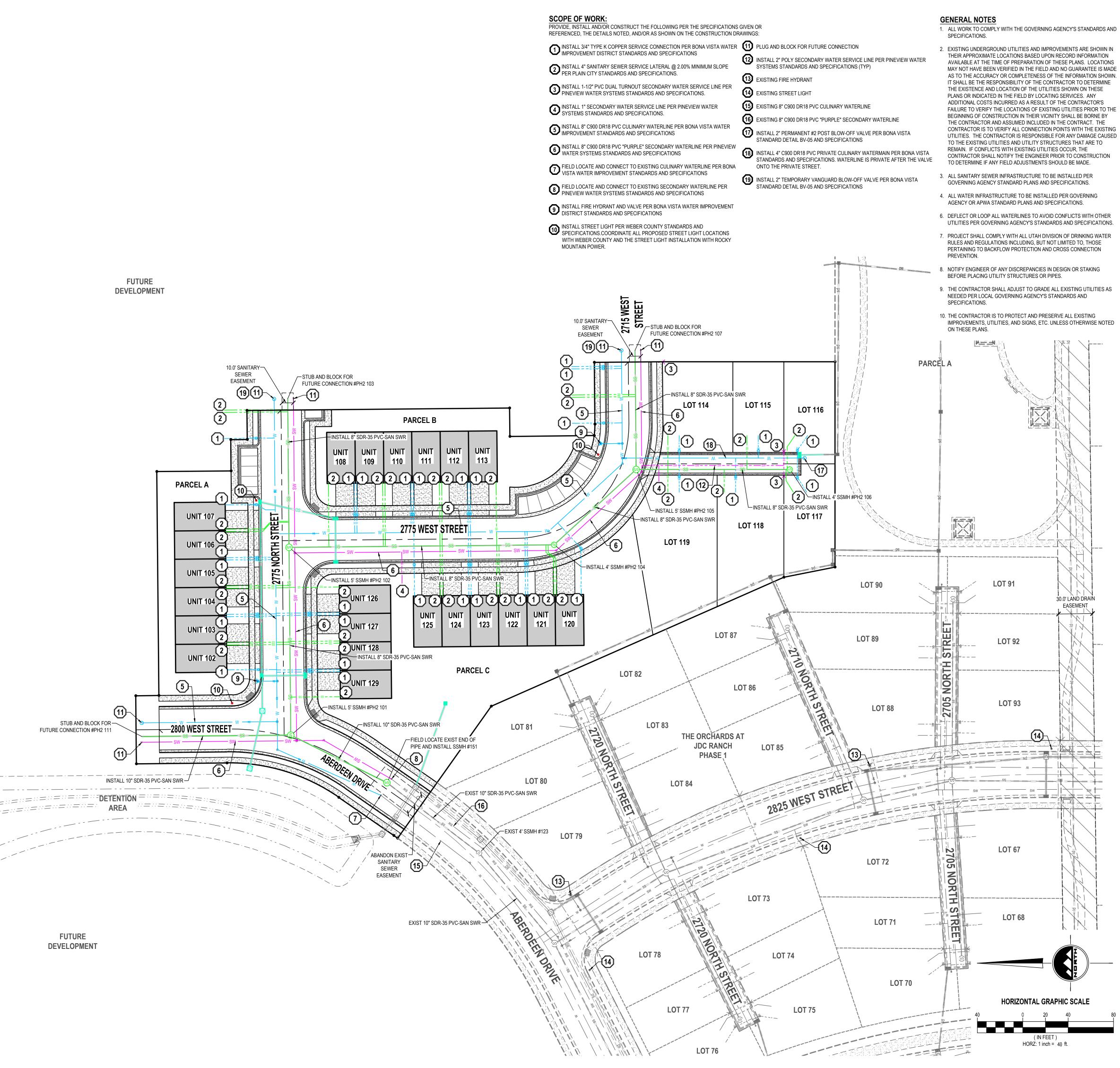
Phone: 801.255.0529

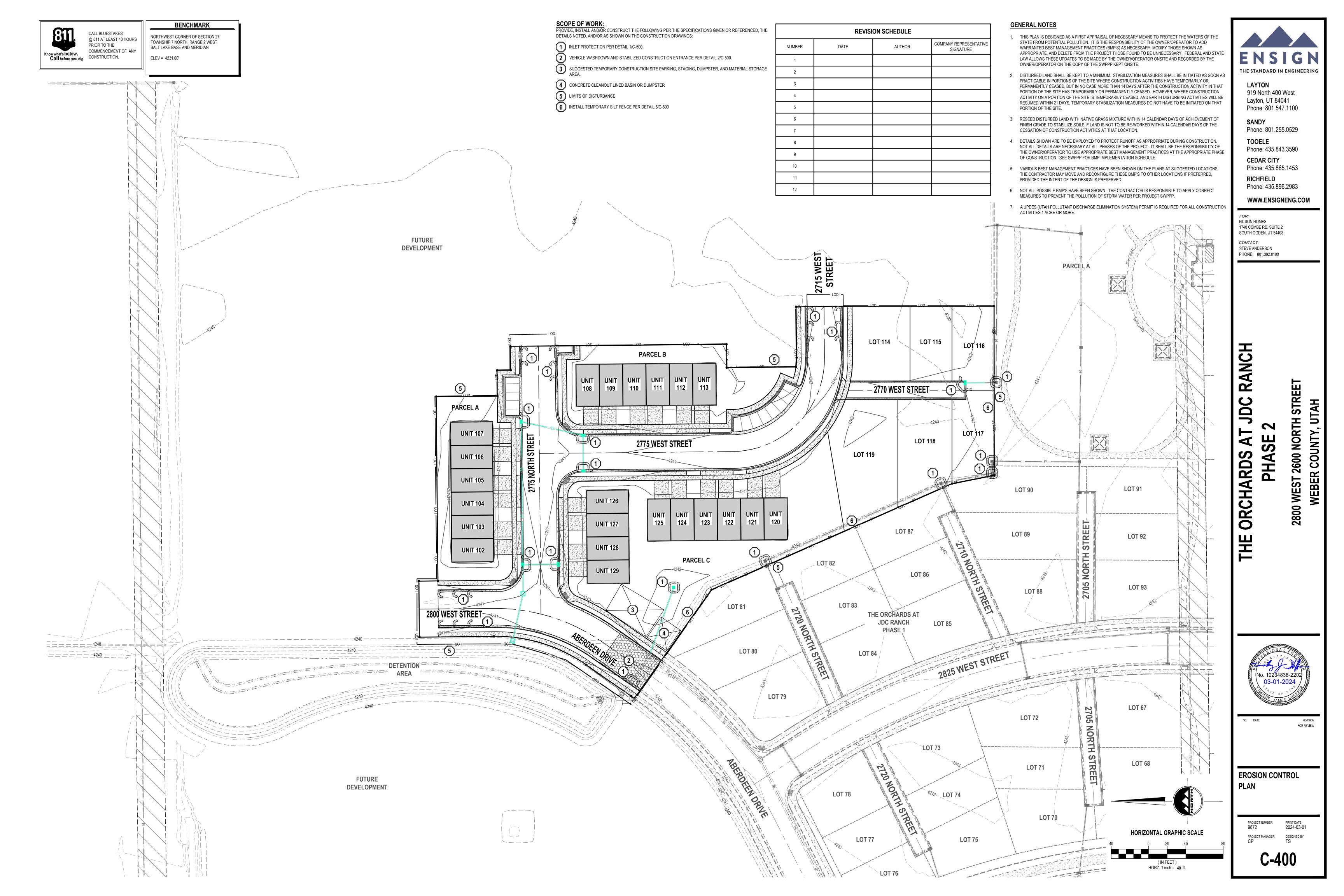
TOOELE

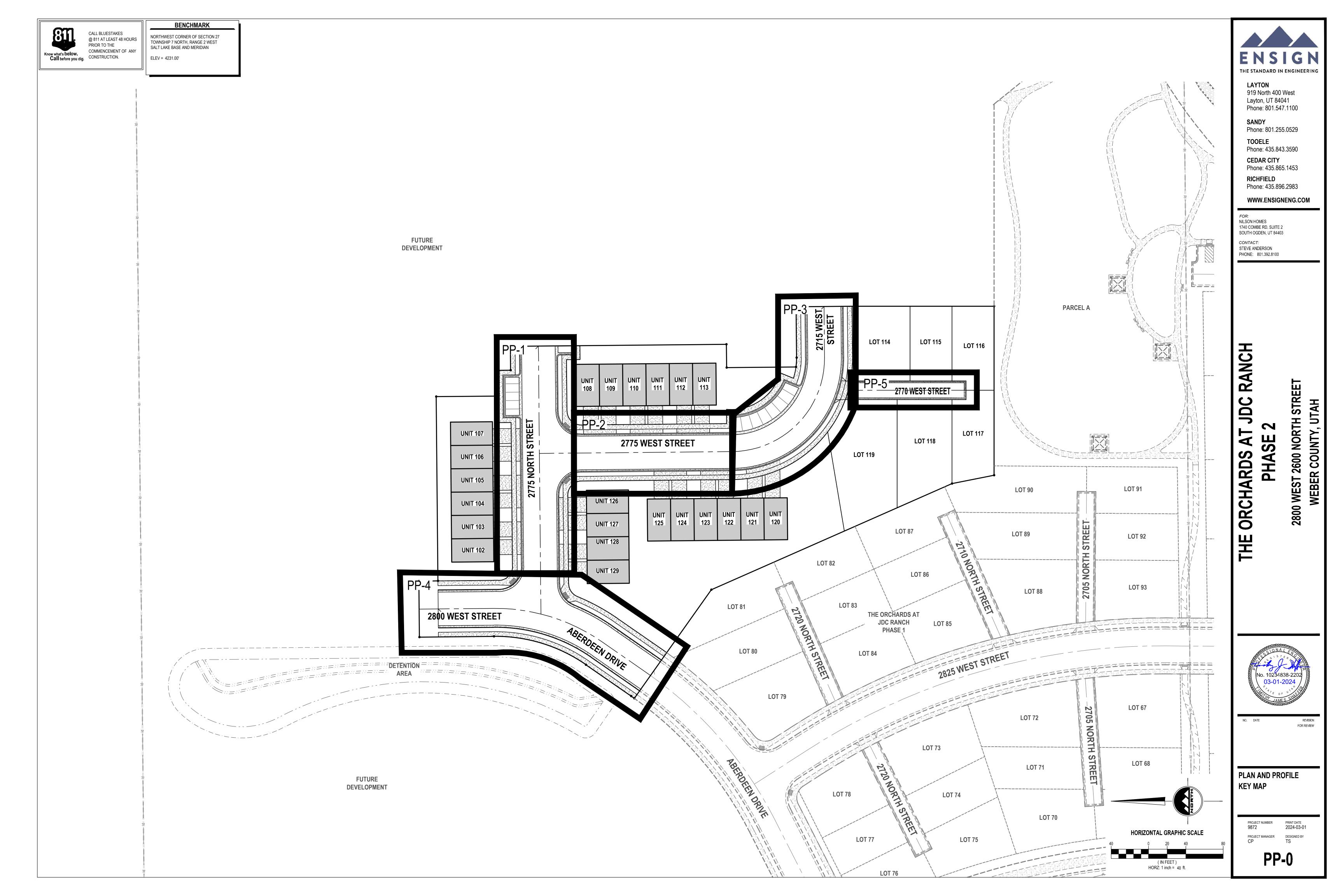
Layton, UT 84041

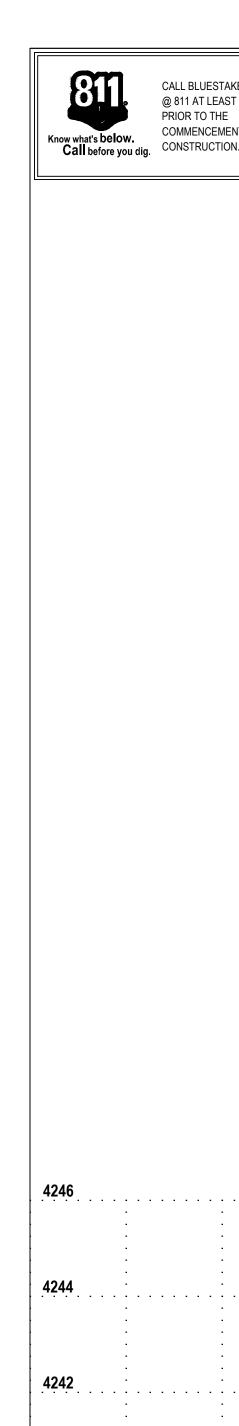
UTILITY PLAN

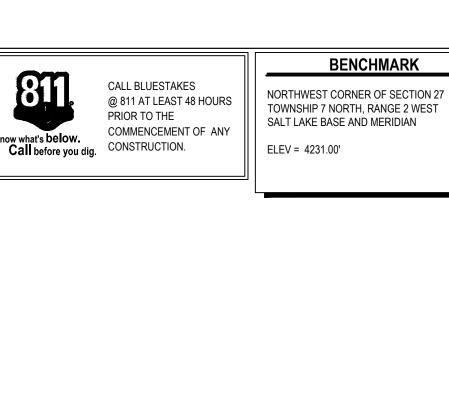
2024-03-01











SCOPE OF WORK: PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

INSTALL 3/4" TYPE K COPPER SERVICE CONNECTION PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS

INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE PER PLAIN CITY STANDARDS AND SPECIFICATIONS.

3 INSTALL 1-1/2" PVC DUAL TURNOUT SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS. (1) INSTALL 1" SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.

5 INSTALL 8" C900 DR18 PVC CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS

- 6 INSTALL 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE PER PINEVIEW 11 PLUG AND BLOCK FOR FUTURE CONNECTION WATER SYSTEMS STANDARDS AND SPECIFICATIONS
- 7 FIELD LOCATE AND CONNECT TO EXISTING CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS 8 FIELD LOCATE AND CONNECT TO EXISTING SECONDARY WATERLINE PER
- PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS 9 INSTALL FIRE HYDRANT AND VALVE PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS

2 2

←INSTALL 15" CLASS III RCP-SD

INSTALL NON-HOODED SDCB #C-223

TOG=4240.55

UNIT 128

UNIT 129

.:· FL(OUT-N)=4237.97

38.00 L.F. @ 0.40% SLOPE

UNIT 102

-1+03 (19.00 L)

INSTALL SDCB #C-222

10 INSTALL STREET LIGHT PER PLAIN CITY STANDARDS AND WITH PLAIN CITY AND THE STREET LIGHT INSTALLATION WITH ROCKY

UNIT 103

4241.04

INSTALL 8" SDR-35 PVC-SAN SWR

UNIT 127

18 INSTALL 4" C900 DR18 PVC PRIVATE CULINARY WATERMAIN PER BONA VISTA

(19) INSTALL 2" TEMPORARY VANGUARD BLOW-OFF VALVE PER BONA VISTA

VALVE ONTO THE PRIVATE STREET.

STANDARD DETAIL BV-05 AND SPECIFICATIONS

STANDARDS AND SPECIFICATIONS. WATERLINE IS PRIVATE AFTER THE

TBC DATA

D=90°00'00"

FUTURE

DEVELOPMENT

STUB AND BLOCK FOR FUTURE CONNECTION #PH2 103

R=2.50'

L=3.93'

4241.36

_____D=90°00'00" ___

R=2.50'

L=3.93'

└-INSTALL 8" SDR-35 PVC-SAN SWR

UNIT 108

| INSTALL 15" CLASS III RCP-SD | TBC DATA | D=90°00'00" |

TBC DATA

L=38.48'

L/4=9.62'

- 12 INSTALL 2" POLY SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS (TYP)
- 13 EXISTING FIRE HYDRANT

UNIT 105

4241.24

INSTALL 5' SSMH #PH2 102

INSTALL 8" SDR-35 PVC-SAN SWR-

UNIT 126 L/4=9.62'

233.56 L.F. @ 0.40% SLOPE

2 2

INSTALL 15" CLASS III RCP-SD

14 EXISTING STREET LIGHT

UNIT 104

- 15 EXISTING 8" C900 DR18 PVC CULINARY WATERLINE
- (16) EXISTING 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE
- SPECIFICATIONS.COORDINATE ALL PROPOSED STREET LIGHT LOCATIONS

 17 INSTALL 2" PERMANENT #2 POST BLOW-OFF VALVE PER BONA VISTA STANDARD DETAIL BV-05 AND SPECIFICATIONS

UNIT 106

UNIT 107

TBC DATA

D=90°00'00":

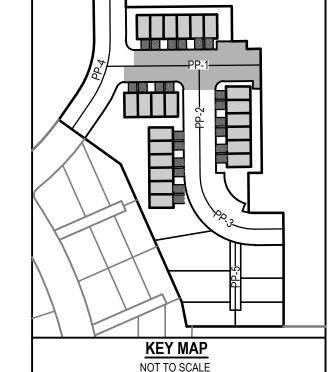
4241.44

R=2.50' L=3.93'

4241.33

PARCEL A

-2+56.25 (18.99 L) INSTALL SDCB #C-224



Phone: 801.255.0529 **TOOELE** Phone: 435.843.3590

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Layton, UT 84041

CEDAR CITY Phone: 435.865.1453

RICHFIELD Phone: 435.896.2983

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STREET

UTAH

COUNTY, I

NILSON HOMES 1740 COMBE RD. SUITE 2

SOUTH OGDEN, UT 84403

CONTACT: STEVE ANDERSON PHONE: 801.392.8100

HORIZONTAL GRAPHIC SCALE

HORZ: 1 inch = 20 ft.

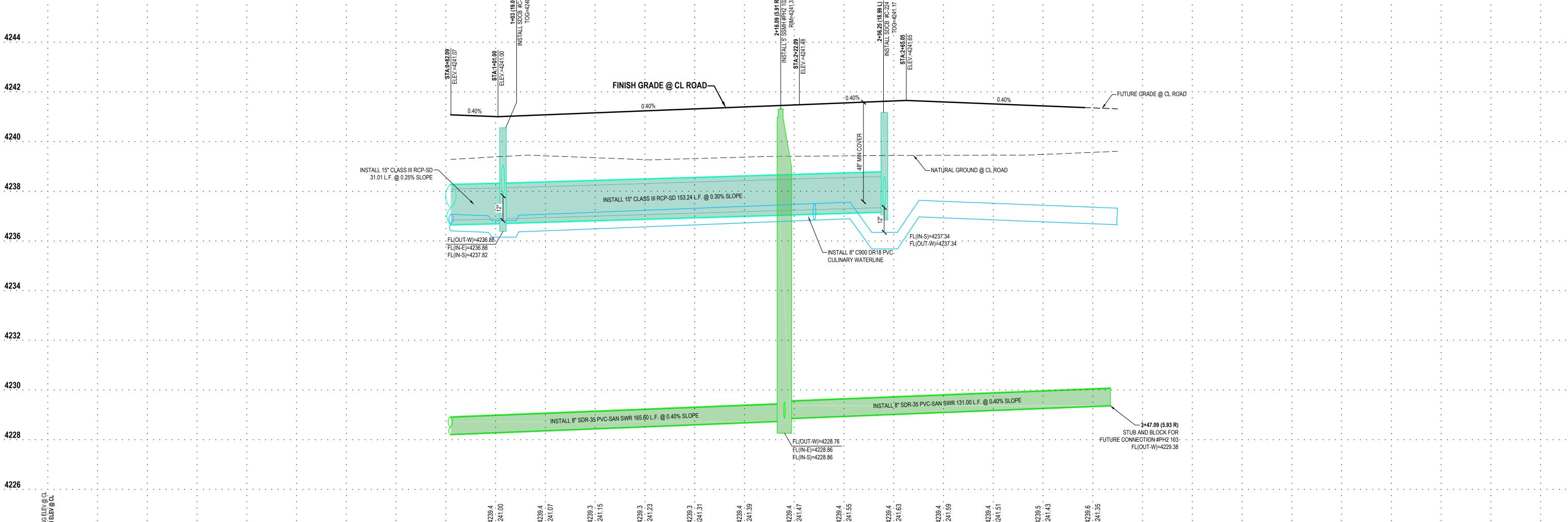
VERT: 1 inch = 2 ft.

2775 NORTH STREET

MATCHLINE 'B'

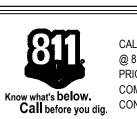
SEE DRAWING PP-2

4240.84 4240.65 PC: 11+95 4240.65 4240.84 R=24.50



RANCH JDC 4 S 4 ORCHARI

2775 NORTH STREET **PLAN AND PROFILE**



4248

CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK

NORTHWEST CORNER OF SECTION 27 TOWNSHIP 7 NORTH, RANGE 2 WEST SALT LAKE BASE AND MERIDIAN ELEV = 4231.00'

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- INSTALL 3/4" TYPE K COPPER SERVICE CONNECTION PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS
- 2 INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE PER PLAIN CITY STANDARDS AND SPECIFICATIONS.
- (1) INSTALL 1" SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
- 5 INSTALL 8" C900 DR18 PVC CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS
- 6 INSTALL 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE PER PINEVIEW 11 PLUG AND BLOCK FOR FUTURE CONNECTION
 - WATER SYSTEMS STANDARDS AND SPECIFICATIONS 7 FIELD LOCATE AND CONNECT TO EXISTING CULINARY WATERLINE PER BONA
- 3 INSTALL 1-1/2" PVC DUAL TURNOUT SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.

 8 FIELD LOCATE AND CONNECT TO EXISTING SECONDARY WATERLINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS

VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS

- DISTRICT STANDARDS AND SPECIFICATIONS

UNIT 110

4240.87

PARCEL C

UNIT 109

- 9 INSTALL FIRE HYDRANT AND VALVE PER BONA VISTA WATER IMPROVEMENT
- 10 INSTALL STREET LIGHT PER PLAIN CITY STANDARDS AND WITH PLAIN CITY AND THE STREET LIGHT INSTALLATION WITH ROCKY

UNIT 108

-11+97 (19.00 L)

└─11+97 (19.00 R) INSTALL SDCB #C-226 TOG=4240.36 FL(OUT-E)=4237.77

INSTALL NON-HOODED SDCB #C-225

─INSTALL 15" CLASS III RCP-SD 38.00 L.F. @ 0.40% SLOPE

UNIT 126

UNIT 112

4241.07 5

4241.07

UNIT 124

INSTALL 8" SDR-35 PVC-SAN SWR

(1) (1)

UNIT 113

PARCEL B

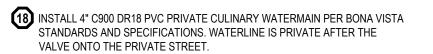
4241.27

UNIT 122

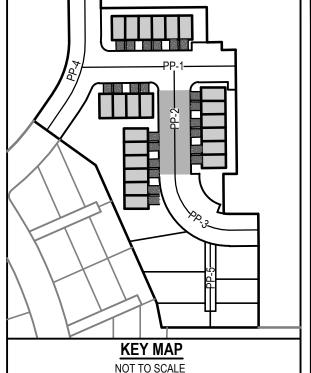
UNIT 123

- INSTALL 2" POLY SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS (TYP)
- 13 EXISTING FIRE HYDRANT
- 14 EXISTING STREET LIGHT
 - 15 EXISTING 8" C900 DR18 PVC CULINARY WATERLINE
 - 16 EXISTING 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE
- SPECIFICATIONS.COORDINATE ALL PROPOSED STREET LIGHT LOCATIONS

 17 INSTALL 2" PERMANENT #2 POST BLOW-OFF VALVE PER BONA VISTA STANDARD DETAIL BV-05 AND SPECIFICATIONS



19 INSTALL 2" TEMPORARY VANGUARD BLOW-OFF VALVE PER BONA VISTA STANDARD DETAIL BV-05 AND SPECIFICATIONS



THE STANDARD IN ENGINEERING

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Phone: 801.255.0529

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NILSON HOMES

SOUTH OGDEN, UT 84403

1740 COMBE RD. SUITE 2

CONTACT: STEVE ANDERSON PHONE: 801.392.8100

HORIZONTAL GRAPHIC SCALE

HORZ: 1 inch = 20 ft.

VERT: 1 inch = 2 ft.

JDC 4 S 4248 ORCHARI

RANCH

STREET COUNTY, 2800 WEST 2 WEBER

4

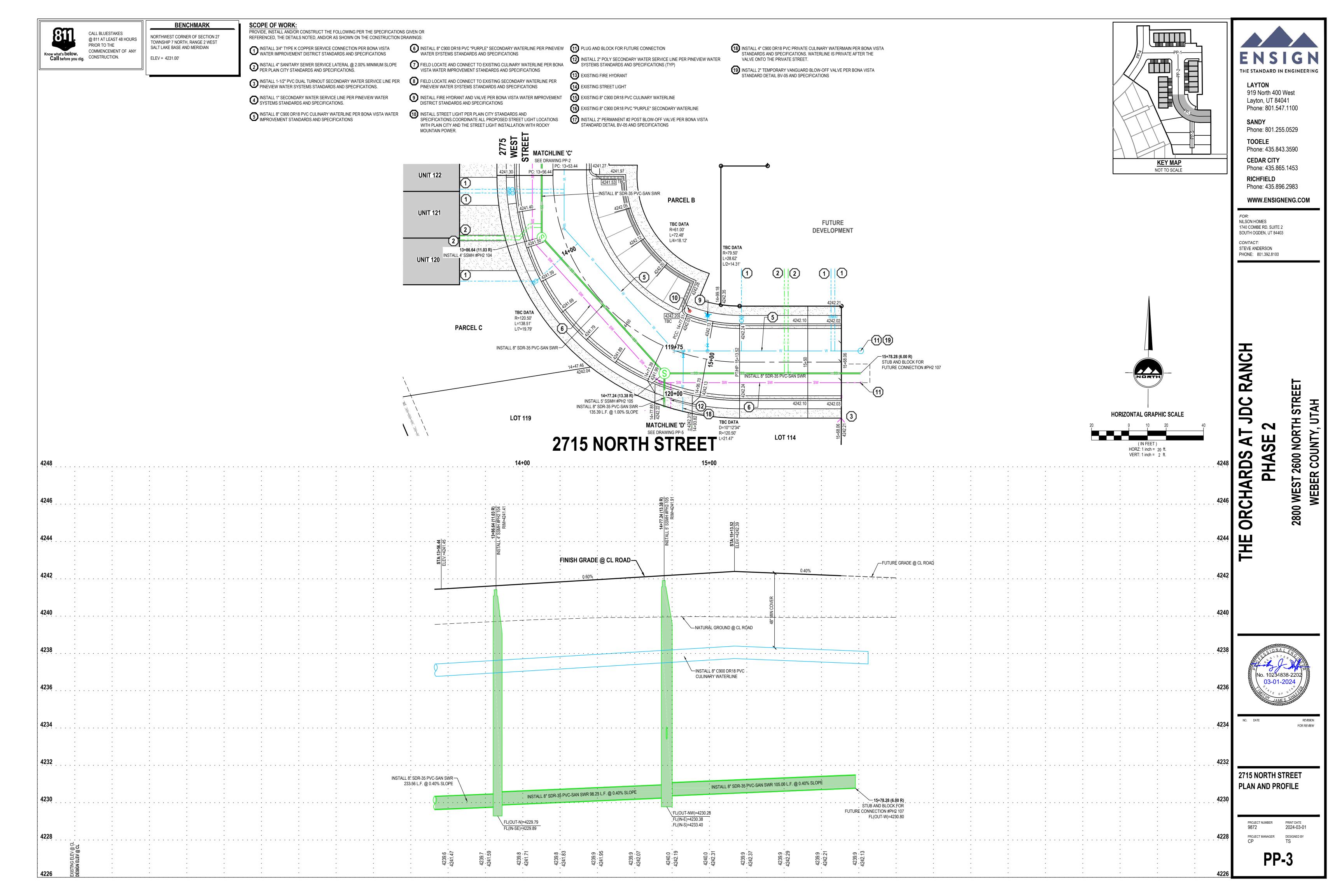


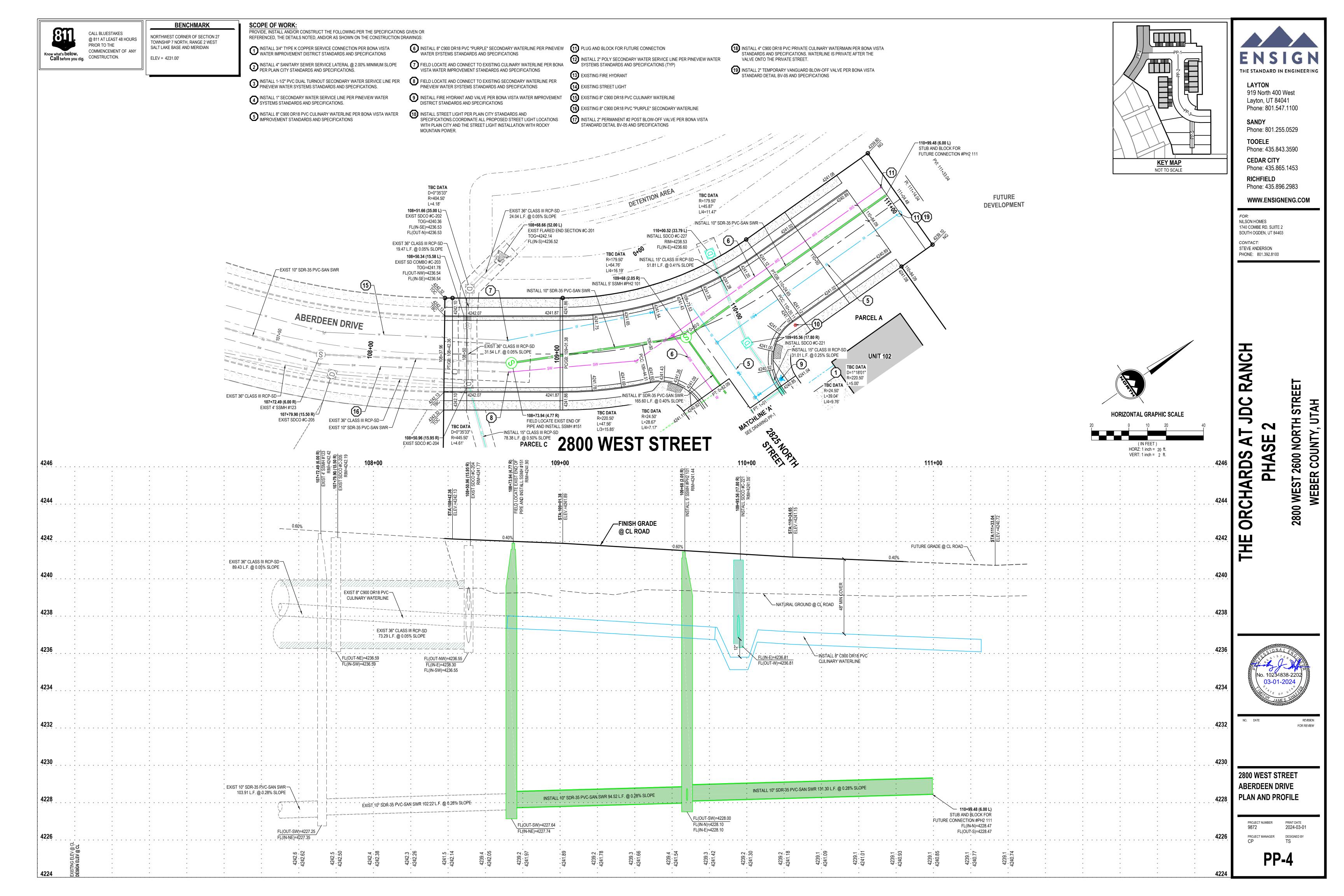
2775 WEST STREET **PLAN AND PROFILE**

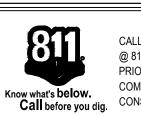
2775 WEST STREET

UNIT 125

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CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK

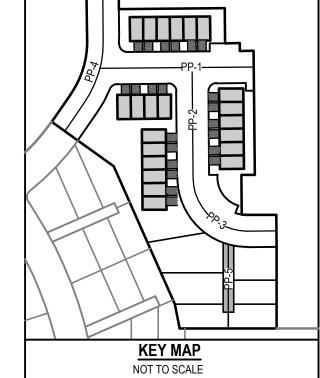
NORTHWEST CORNER OF SECTION 27 TOWNSHIP 7 NORTH, RANGE 2 WEST SALT LAKE BASE AND MERIDIAN ELEV = 4231.00'

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- 6 INSTALL 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE PER PINEVIEW (11) PLUG AND BLOCK FOR FUTURE CONNECTION
- WATER SYSTEMS STANDARDS AND SPECIFICATIONS
- 7 FIELD LOCATE AND CONNECT TO EXISTING CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS 8 FIELD LOCATE AND CONNECT TO EXISTING SECONDARY WATERLINE PER
- 9 INSTALL FIRE HYDRANT AND VALVE PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS
 - 10 INSTALL STREET LIGHT PER PLAIN CITY STANDARDS AND WITH PLAIN CITY AND THE STREET LIGHT INSTALLATION WITH ROCKY
- INSTALL 2" POLY SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS (TYP)
- 13 EXISTING FIRE HYDRANT
- 14 EXISTING STREET LIGHT PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
 - 15 EXISTING 8" C900 DR18 PVC CULINARY WATERLINE (16) EXISTING 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE
- SPECIFICATIONS.COORDINATE ALL PROPOSED STREET LIGHT LOCATIONS

 17 INSTALL 2" PERMANENT #2 POST BLOW-OFF VALVE PER BONA VISTA STANDARD DETAIL BV-05 AND SPECIFICATIONS
- 18 INSTALL 4" C900 DR18 PVC PRIVATE CULINARY WATERMAIN PER BONA VISTA STANDARDS AND SPECIFICATIONS. WATERLINE IS PRIVATE AFTER THE VALVE ONTO THE PRIVATE STREET.
- 19 INSTALL 2" TEMPORARY VANGUARD BLOW-OFF VALVE PER BONA VISTA STANDARD DETAIL BV-05 AND SPECIFICATIONS





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SOUTH OGDEN, UT 84403 CONTACT: STEVE ANDERSON PHONE: 801.392.8100

RANCH JDC

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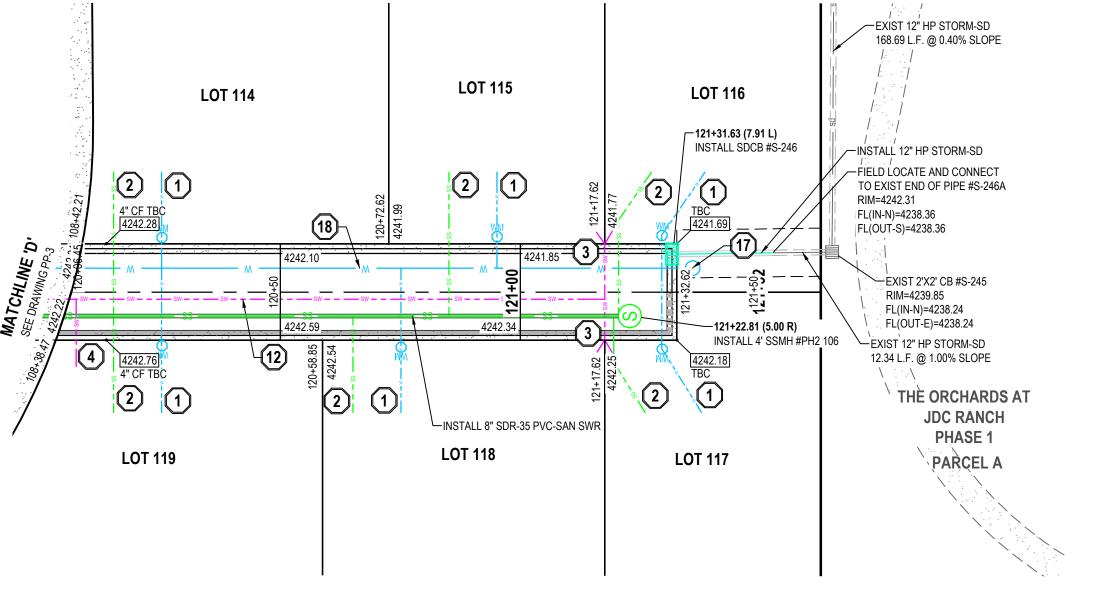
HORIZONTAL GRAPHIC SCALE

4 HORZ: 1 inch = 20 ft. S VERT: 1 inch = 2 ft. 4248 ARI

STREET UTAH HASE 2800 WEST

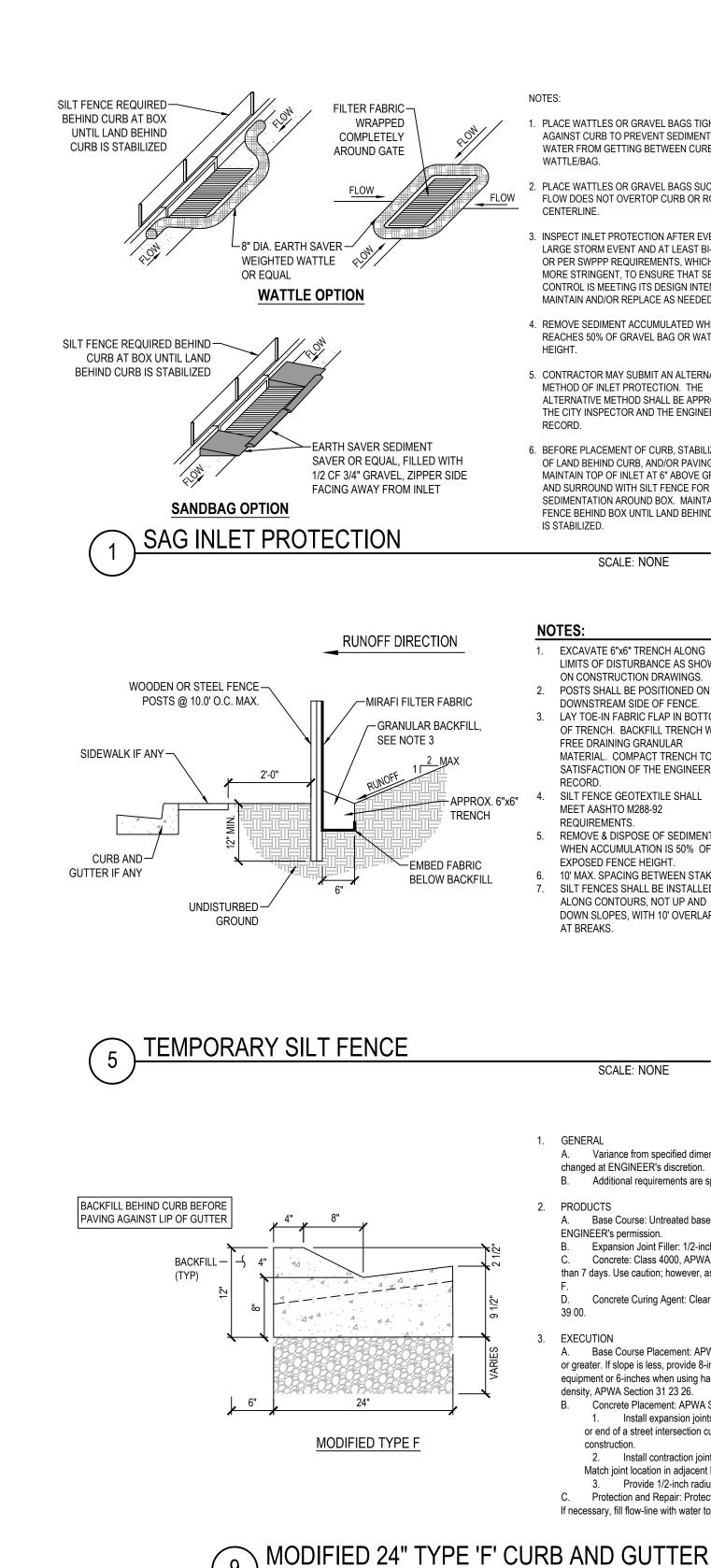
COUNTY, I

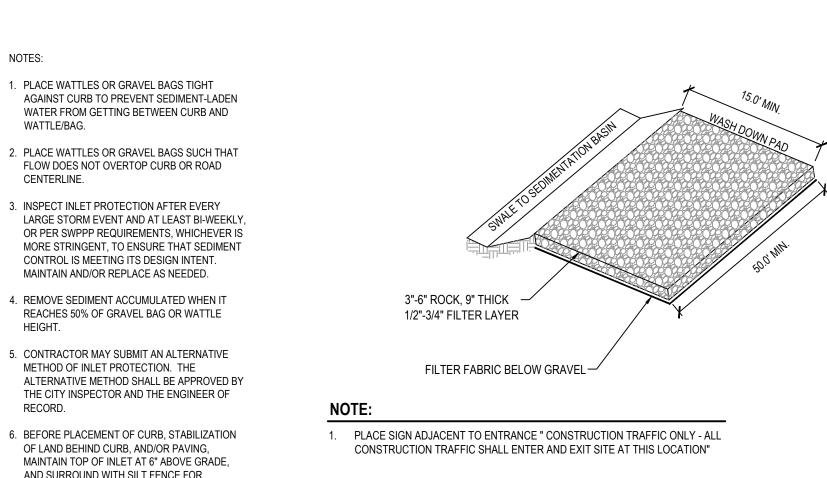
2770 WEST STREET **PLAN AND PROFILE**

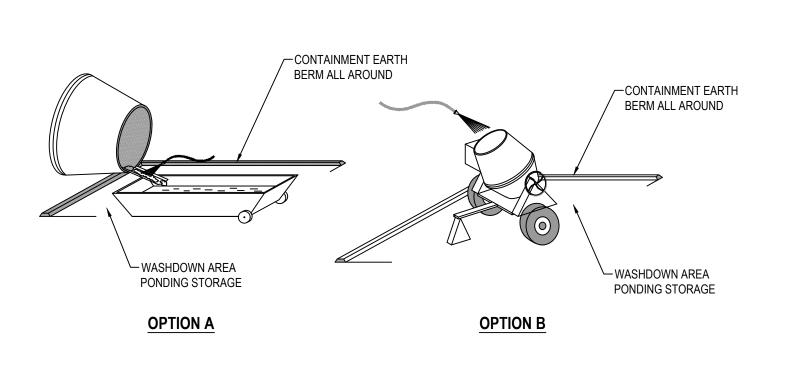


2770 WEST STREET

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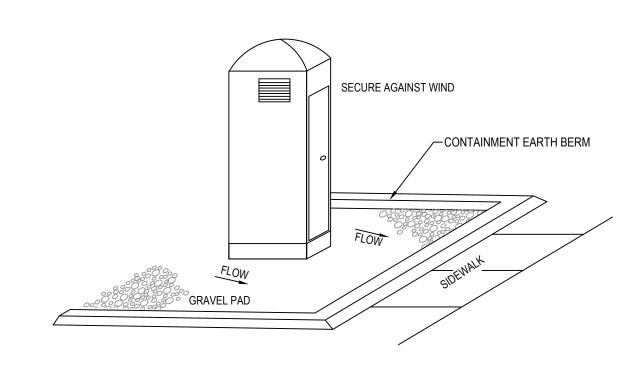


20' DRIVEWAY

16' ASPHALT DRIVE

8" PROPERLY PREPARED -

SUBGRADE

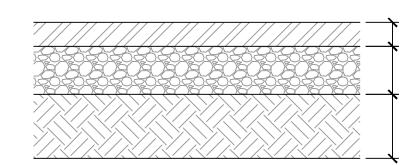




SCALE: NONE

ASPHALT NOTES

- 1. ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- 2. ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- 3. REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



STANDARD ASPHALT SECTION

3" ASPHALTIC CONCRETE PER SPECIFICATIONS, APWA CLASS II ROAD 6" UNTREATED BASE COURSE COMPACTED PER GEOTECHNICAL REPORT AND SPECIFICATIONS

> 8" PROPERLY PREPARED SUBGRADE OR FILL COMPACTED PER GEOTECHNICAL REPORT AND SPECIFICATIONS

EMBED FABRIC

BELOW BACKFILL

NOTES:

SEDIMENTATION AROUND BOX. MAINTAIN SILT

FENCE BEHIND BOX UNTIL LAND BEHIND CURB

SCALE: NONE

EXCAVATE 6"x6" TRENCH ALONG

POSTS SHALL BE POSITIONED ON

DOWNSTREAM SIDE OF FENCE.

3. LAY TOE-IN FABRIC FLAP IN BOTTOM

FREE DRAINING GRANULAR

SILT FENCE GEOTEXTILE SHALL

REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF

10' MAX. SPACING BETWEEN STAKES.

SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND

DOWN SLOPES, WITH 10' OVERLAP

SCALE: NONE

MEET AASHTO M288-92

EXPOSED FENCE HEIGHT.

REQUIREMENTS.

AT BREAKS.

RECORD.

LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.

OF TRENCH. BACKFILL TRENCH WITH

SATISFACTION OF THE ENGINEER OF

MATERIAL. COMPACT TRENCH TO

IS STABILIZED.

YPICAL 60' STREET CROSS SECTION

−3" ASPHALT

─6" ROAD BAS

BACKFILL BEHIND CURB BEFORE

PAVING AGAINST LIP OF GUTTER

BACKFILL-

---8" PROPERLY PREPARED

SUBGRADE

STABILIZED CONSTRUCTION ENTRANCE

18'

2% SLOPE

SCALE: NONE

MODIFIED TYPE F

-8" ROAD BASE

└─4" ROAD BASE

SCALE: NONE

2770 WEST ALLEY SECTION

2' MOUNTABLE -

CONCRETE WASTE MANAGEMENT

SCALE: NONE

SCALE: NONE

←2' MOUNTABLE

SCALE: NONE

MODIFIED TYPE F

CURB AND GUTTER GENERAL A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion.

5' CONC. SIDEWALK -

4.5' PARKSTRIP —

PRODUCTS A. Base Course: Untreated base course, APWA section 32 11 23. Do not use gravel as a base course without ENGINEER's permission. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.

B. Additional requirements are specified in APWA Section 32 16 13.

Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03

A. Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26. B. Concrete Placement: APWA Section 03 30 10. Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start

or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.

3. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent. C. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

MODIFIED 24" REVERSE PAN TYPE 'F' CURB AND GUTTER

CURB AND GUTTER

 GENERAL A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion. B. Additional requirements are specified in APWA Section 32 16 13.

PRODUCTS A. Base Course: Untreated base course, APWA section 32 11 23. Do not use gravel as a base course without ENGINEER's permission. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.

Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03

A. Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26. B. Concrete Placement: APWA Section 03 30 10. 1. Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start

or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form 2. Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.

Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

ASPHALT SURFACE -(3) #4 @ 12" O.C. →**/** \-#4 @ 24" O.C. -BASE COURSE: UNTREATED BASE COURSE, APWA SECTION 32 11 23. DO NOT USE GRAVEL AS A BASE COURSE

1. CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 211.

3' WATERWAY

SCALE: NONE

WITHOUT ENGINEER'S PERMISSION.

RANC JDC **4** PHA ORCHARI 뿔

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2800

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COUNTY

WEBER

THE STANDARD IN ENGINEERING

919 North 400 West

Phone: 801.547.1100

Phone: 801.255.0529

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TOOELE

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NILSON HOMES

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1740 COMBE RD. SUITE 2

SOUTH OGDEN, UT 84403

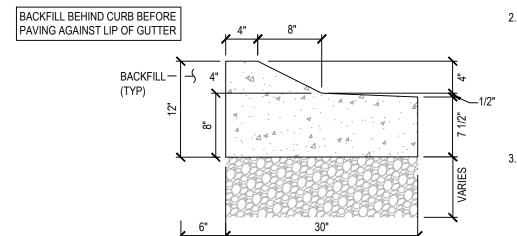
PHONE: 801.392.8100

Layton, UT 84041

FOR REVIEW

DETAILS

2024-03-01 PROJECT MANAGER



MODIFIED TYPE F

 GENERAL A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion. B. Additional requirements are specified in APWA Section 32 16 13.

CURB AND GUTTER

PRODUCTS A. Base Course: Untreated base course, APWA section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.

SCALE: NONE

Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03

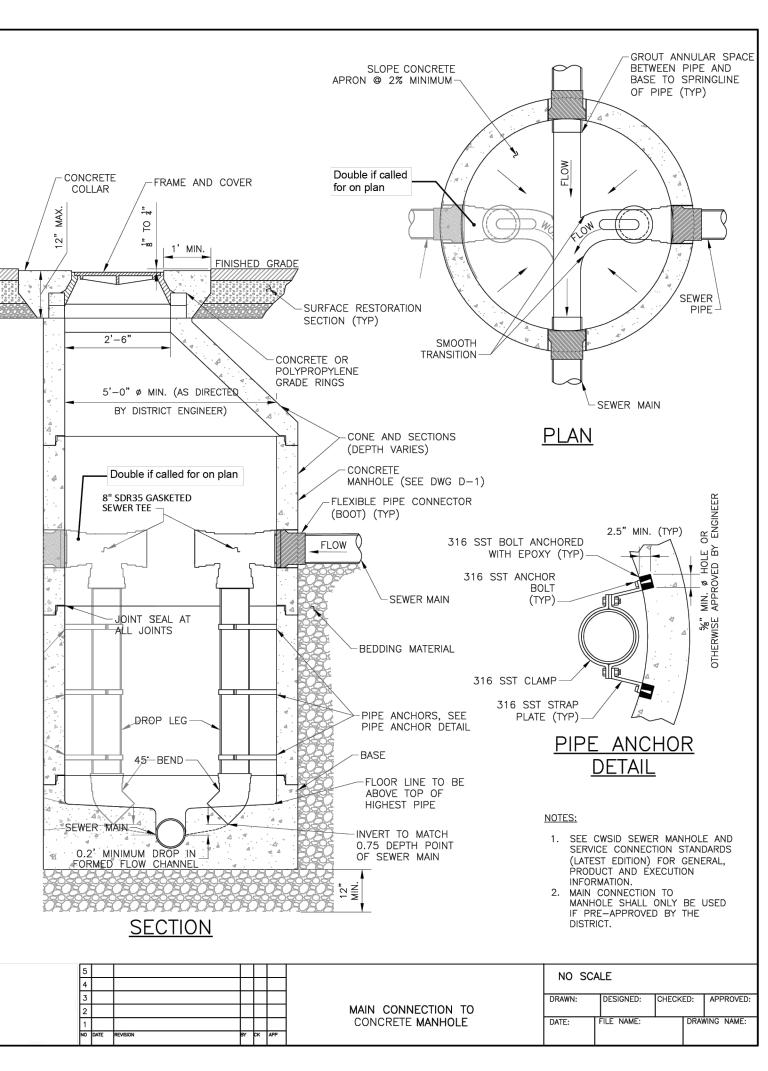
A. Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor

density, APWA Section 31 23 26. B. Concrete Placement: APWA Section 03 30 10. Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form

Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.

Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

(12) 30" REVERSE PAN TYPE 'F' CURB AND GUTTER



DROP MANHOLE

SCALE: NONE

THE STANDARD IN ENGINEERING

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SANDY Phone: 801.255.0529

TOOELE Phone: 435.843.3590 **CEDAR CITY**

Phone: 435.865.1453 RICHFIELD

Phone: 435.896.2983

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PHONE: 801.392.8100

RANCH

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THE ORCHARI

STREET **PHASE**

2800 WEST 2600 NORTH STRE WEBER COUNTY, UTAH

DETAILS