



BENCHMARK
NORTHWEST CORNER OF SECTION 27 TOWNSHIP 7 NORTH, RANGE 2 WEST SALT LAKE BASE AND MERIDIAN ELEV = 4231.00'

# JDC PARKWAY

2800 WEST 2600 NORTH STREET  
WEBER COUNTY, UTAH

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FOR REVIEW  
NOT FOR CONSTRUCTION

DATE PRINTED  
December 8, 2023

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

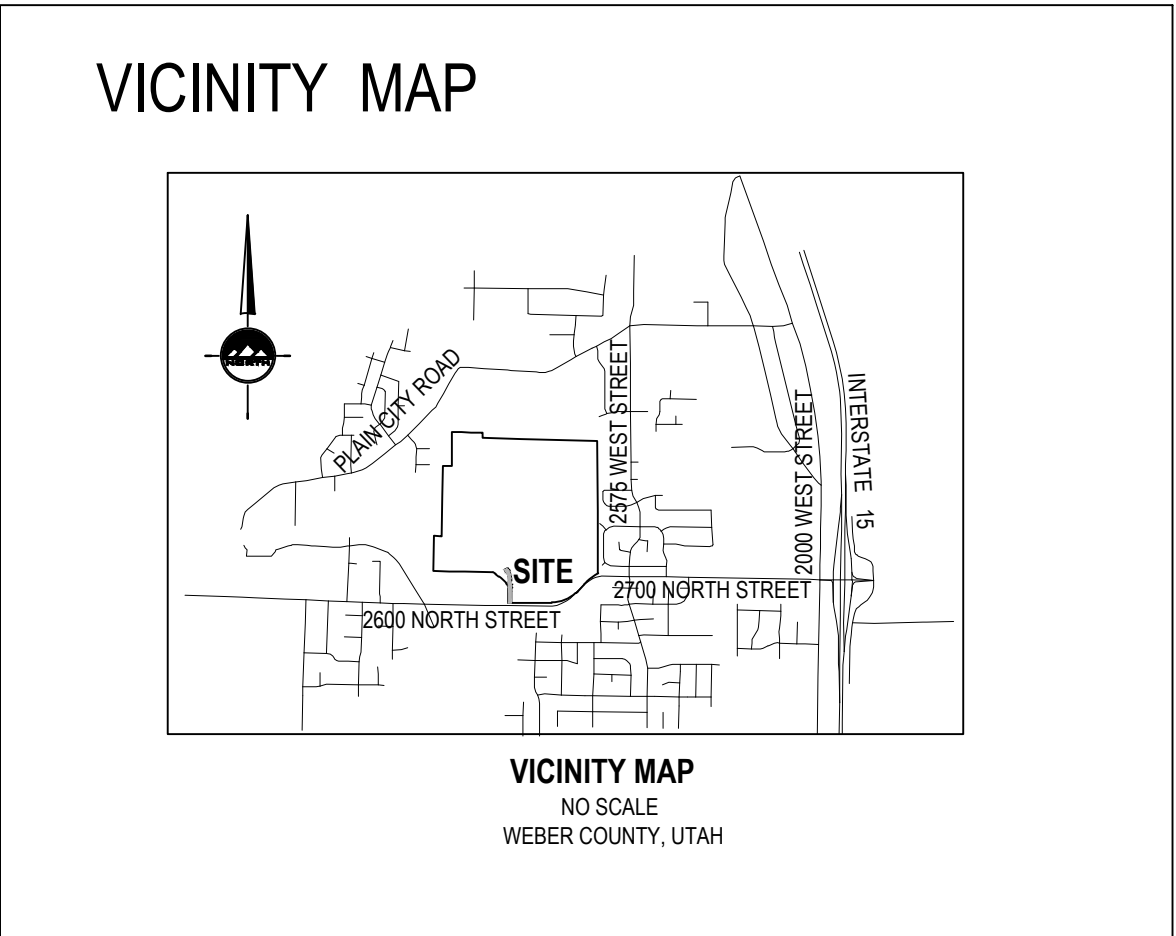
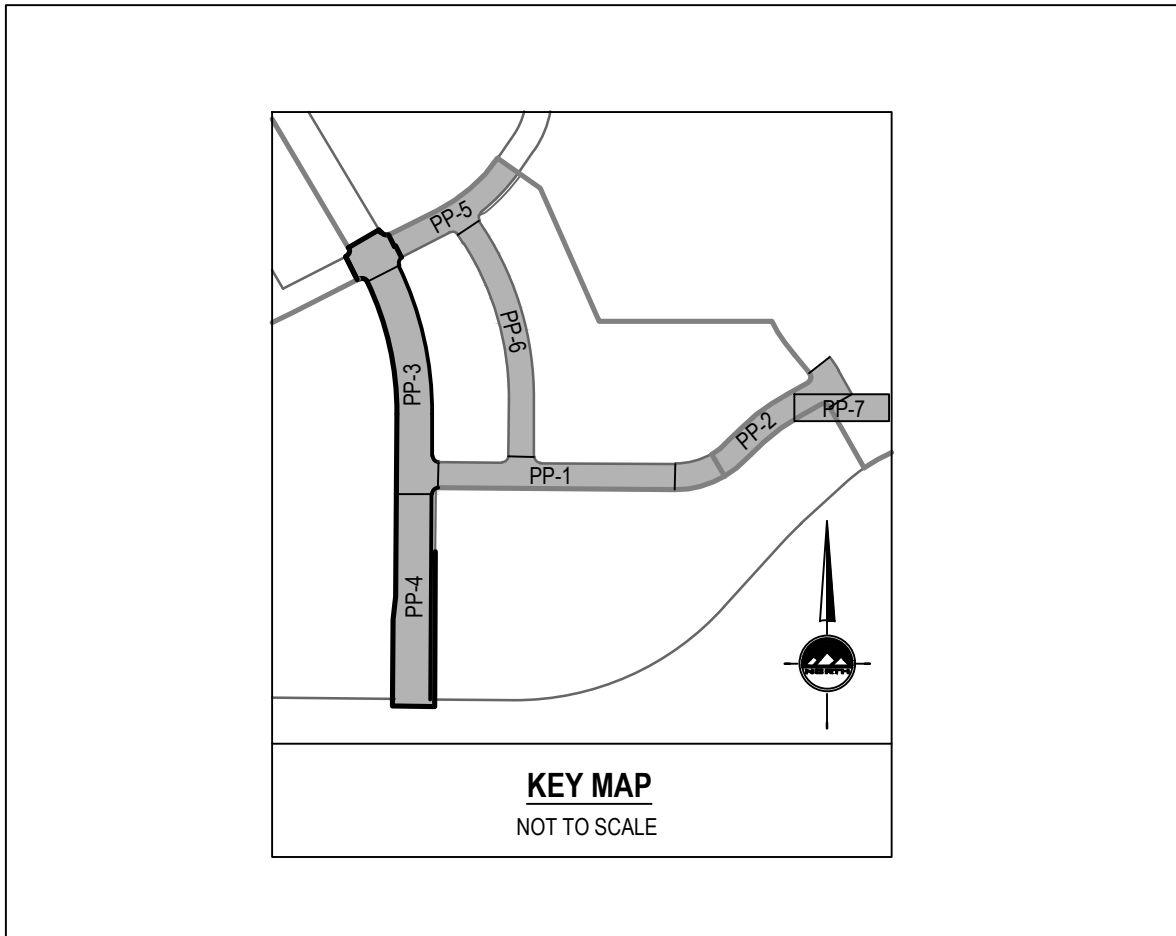
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



GENERAL NOTES

- ALL WORK SHALL CONFORM TO WEBER COUNTY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

**LAYTON**  
919 North 400 West  
Layton, UT 84041  
Phone: 801.547.1100

**SANDY**  
Phone: 801.255.0529

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

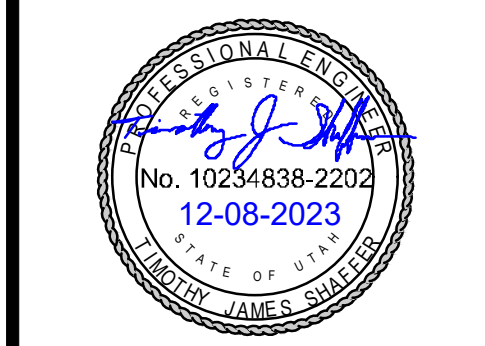
**RICHFIELD**  
Phone: 435.896.2983

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
NILSON HOWES  
1740 COMBE RD, SUITE 2  
SOUTH OGDEN, UT 84403

CONTACT:  
STEVE ANDERSON  
PHONE: 801.392.8100

JDC PARKWAY  
2800 WEST 2600 NORTH STREET  
WEBER COUNTY, UTAH



NO.	DATE	REVISION FOR REVIEW

COVER

PROJECT NUMBER 9872	PRINT DATE 2023-12-08
PROJECT MANAGER CP	DESIGNED BY TS

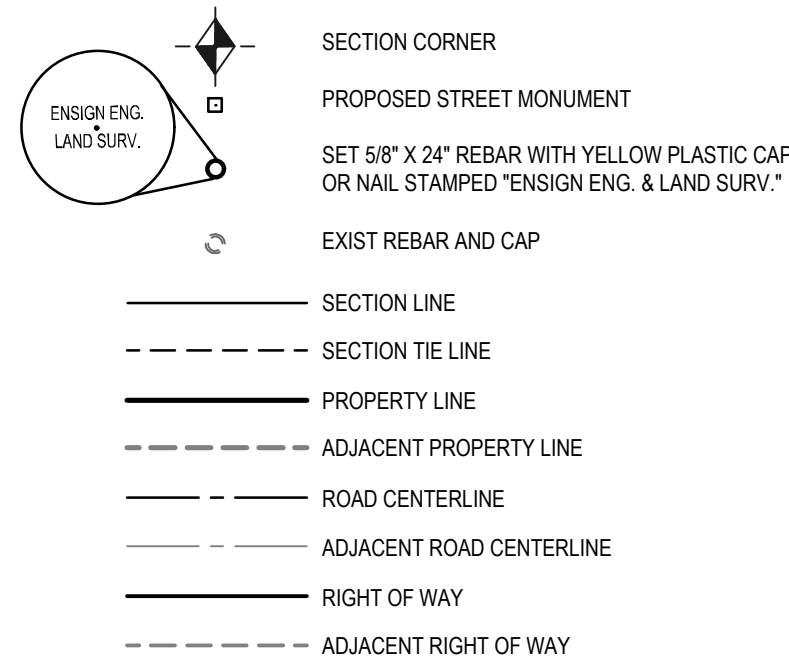
# JDC PARKWAY ROAD DEDICATION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27  
AND THE NORTHEAST QUARTER OF SECTION 34,  
TOWNSHIP 7 NORTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
WEBER COUNTY, UTAH  
NOVEMBER 2023

## GENERAL NOTES:

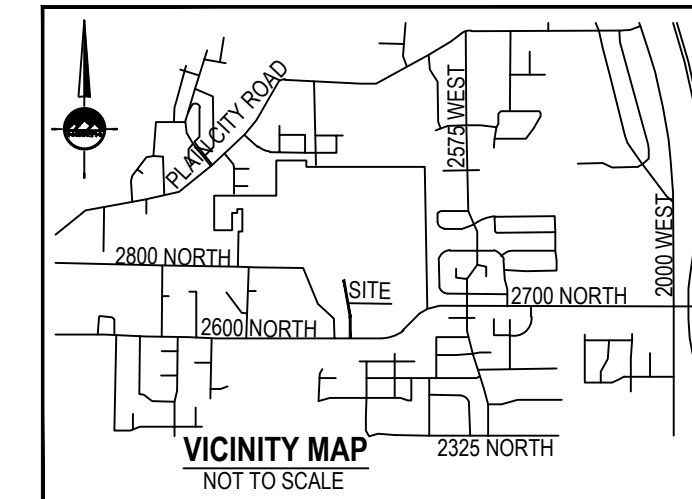
- UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.
- PROTECT ALL EXISTING SECTION CORNERS AND STREET MONUMENTS. COORDINATE ALL SURVEY STREET MONUMENT INSTALLATION, GRADE ADJUSTMENT, AND ALL REQUIRED FEES AND PERMITS WITH THE COUNTY SURVEYOR PRIOR TO DISRUPTION OF ANY EXISTING MONUMENTS.

## LEGEND



PROPERTY CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
PC1	15.00'	8.19'	31°17'33"	S15°15'06"E	8.09'
PC2	45.00'	33.95'	43°13'24"	S67°59'37"E	33.15'
PC3	60.00'	40.51'	38°40'56"	S71°03'13"W	39.74'
PC4	91.00'	75.34'	47°26'02"	N23°19'20"W	73.20'
PC5	62.50'	102.96'	94°23'02"	N0°23'10"E	91.70'
PC6	91.00'	74.79'	47°05'30"	N23°56'26"E	72.71'
PC7	708.50'	322.15'	26°03'08"	N12°37'53"W	319.38'
PC8	15.00'	23.91'	91°20'36"	N71°19'45"W	21.46'
PC9	15.00'	24.54'	93°43'06"	N16°08'24"E	21.89'
PC10	15.00'	22.59'	86°16'54"	S73°51'36"E	20.51'
PC11	15.00'	23.26'	88°50'41"	S18°34'36"W	21.00'
PC12	791.50'	362.49'	26°14'26"	S12°43'32"E	359.33'

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C13	750.00'	341.02'	26°03'08"	N12°37'53"W	338.09'
C14	750.00'	343.49'	26°14'26"	N12°43'32"W	340.49'
C15	750.00'	46.33'	3°32'23"	N27°25'38"W	46.33'
C16	750.00'	43.87'	3°21'05"	N27°31'17"W	43.86'
C17	750.00'	19.93'	1°31'20"	N29°57'29"W	19.92'



## SURVEYOR'S CERTIFICATE

I, TRENT R. WILLIAMS, do hereby certify that I am a Licensed Land Surveyor, and that I hold certificate No. 8034679 as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as JDC PARKWAY ROADWAY DEDICATION, and that this same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

## SURVEY NARRATIVE

The purpose of this survey is to separate the parcel into a public road.

## BOUNDARY DESCRIPTION

A parcel of land, situate in the Southeast Quarter of Section 27 and the Northeast Quarter of Section 34, Township 7 North, Range 2 West, Salt Lake Base and Meridian, said parcel also located in Weber County, Utah. Being more particularly described as follows:

Beginning at a point which is South 89°44'59" East 1117.34 feet along the Section Line from the Southeast Corner of said Section 27 and running thence:

South 0°23'41" West 33.33 feet;  
thence southerly 8.19 feet along the arc of a 15.00-foot radius tangent curve to the left (center bears South 89°36'19" East and the long chord bears South 15°15'06" East 8.09 feet with a central angle of 31°17'33");  
thence southeasterly 33.95 feet along the arc of a 45.00-foot radius non-tangent curve to the left (center bears North 43°37'05" East and the long chord bears South 67°59'37" East 33.15 feet with a central angle of 43°13'24");  
thence South 89°36'19" East 46.45 feet;  
thence South 0°23'41" West 30.00 feet;  
thence North 89°36'19" West 41.95 feet;  
thence South 0°23'41" West 30.00 feet;  
thence southwesterly 40.51 feet along the arc of a 60.00-foot radius non-tangent curve to the left (center bears South 0°23'41" West and the long chord bears South 71°03'13" West 39.74 feet with a central angle of 38°40'56");  
thence South 0°23'41" West 434.48 feet;  
thence South 13°08'35" East 47.52 feet;  
thence South 0°37'10" West 16.98 feet;  
thence North 89°22'50" West 99.56 feet;  
thence North 6°06'19" East 55.27 feet;  
thence North 0°23'41" East 203.90 feet;  
thence Northwesterly 73.34 feet along the arc of a 91.00-foot radius tangent curve to the left (center bears North 89°36'19" West and the long chord bears North 23°19'20" West 73.20 feet with a central angle of 47°26'02");  
thence North 43°11'38" East 11.63 feet;  
thence northerly 102.96 feet along the arc of a 62.50-foot radius non-tangent curve to the right (center bears North 43°11'38" East and the long chord bears North 0°23'10" East 91.70 feet with a central angle of 94°23'02");  
thence North 42°25'19" West 11.02 feet;  
thence northeasterly 74.79 feet along the arc of a 91.00-foot radius non-tangent curve to the left (center bears North 42°30'49" West and the long chord bears North 23°56'26" East 72.71 feet with a central angle of 47°05'30");  
thence North 0°23'41" East 27.40 feet;  
thence northerly 322.15 feet along the arc of a 708.50-foot radius tangent curve to the left (center bears North 89°36'19" West and the long chord bears North 12°37'53" West 319.38 feet with a central angle of 26°03'08");  
thence northwesterly 23.91 feet along the arc of a 15.00-foot radius tangent curve to the left (center bears South 64°20'33" West and the long chord bears North 71°19'45" West 21.46 feet with a central angle of 91°20'36");  
thence North 27°00'03" West 60.00 feet;  
thence northerly 24.54 feet along the arc of a 15.00-foot radius non-tangent curve to the left (center bears North 27°00'03" West and the long chord bears North 16°08'24" East 21.89 feet with a central angle of 93°43'06");  
thence North 59°16'51" East 20.51 feet;  
thence South 30°43'09" East 7.34 feet;  
thence Southwesterly 22.59 feet along the arc of a 15.00-foot radius tangent curve to the left (center bears North 59°16'51" East and the long chord bears North 73°51'36" East 20.51 feet with a central angle of 86°16'54");  
thence South 27°00'03" East 30.00 feet;  
thence southwesterly 23.26 feet along the arc of a 15.00-foot radius tangent curve to the left (center bears South 27°00'03" East and the long chord bears South 18°34'36" West 21.00 feet with a central angle of 88°50'41");  
thence southeasterly 362.49 feet along the arc of a 791.50-foot radius tangent curve to the right (center bears South 64°09'15" East and the long chord bears South 12°43'32" East 359.33 feet with a central angle of 26°14'26");  
thence South 0°23'41" West 65.07 feet to the Point of Beginning.

Contains: 105,883 square feet or 2.431 acres.

Trent R. Williams, PLS  
License no. 8034679  
Date

## OWNER'S DEDICATION

We(I) the undersigned owners of the above described tract of land, do hereby set apart and subdivide the same into streets as shown hereon and name said tract:

# JDC PARKWAY ROAD DEDICATION

Dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares.

In witness whereof We(I) have hereto set our hands(s) this \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_.

By: \_\_\_\_\_

## LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH  
County of Weber JS.S.  
On the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for said County of \_\_\_\_\_ in the State of Utah, who after being duly sworn, acknowledged to me that he is the Manager, of West Park Community LLC a Limited Liability Company and that he signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.

MY COMMISSION EXPIRES: \_\_\_\_\_  
RESIDING IN \_\_\_\_\_ COUNTY.

NOTARY PUBLIC \_\_\_\_\_

# JDC PARKWAY ROAD DEDICATION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27  
AND THE NORTHEAST QUARTER OF SECTION 34,  
TOWNSHIP 7 NORTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
WEBER COUNTY, UTAH

## WEBER COUNTY RECORDER

ENTRY NO. \_\_\_\_\_  
PAID \_\_\_\_\_  
FILED FOR RECORD AND  
RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL RECORDS  
PAGE \_\_\_\_\_  
PROJECT NUMBER: 9872  
MANAGER: C.PRESTON  
DRAWN BY: J.MOSS  
CHECKED BY: T.WILLIAMS  
DATE: 12/8/2023  
BY \_\_\_\_\_  
DEPUTY RECORDER

## WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
WEBER COUNTY SURVEYOR \_\_\_\_\_

## RECORD OF SURVEY

ROS NO.: \_\_\_\_\_  
COUNTY SURVEYOR REVIEWER \_\_\_\_\_ DATE \_\_\_\_\_

## BOARD OF HEALTH APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE BOARD OF HEALTH.

## COUNTY ATTORNEY'S APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE WEBER COUNTY ATTORNEY.

## PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE COUNTY PLANNING COMMISSION APPROVAL.

## COUNTY ENGINEER'S APPROVAL

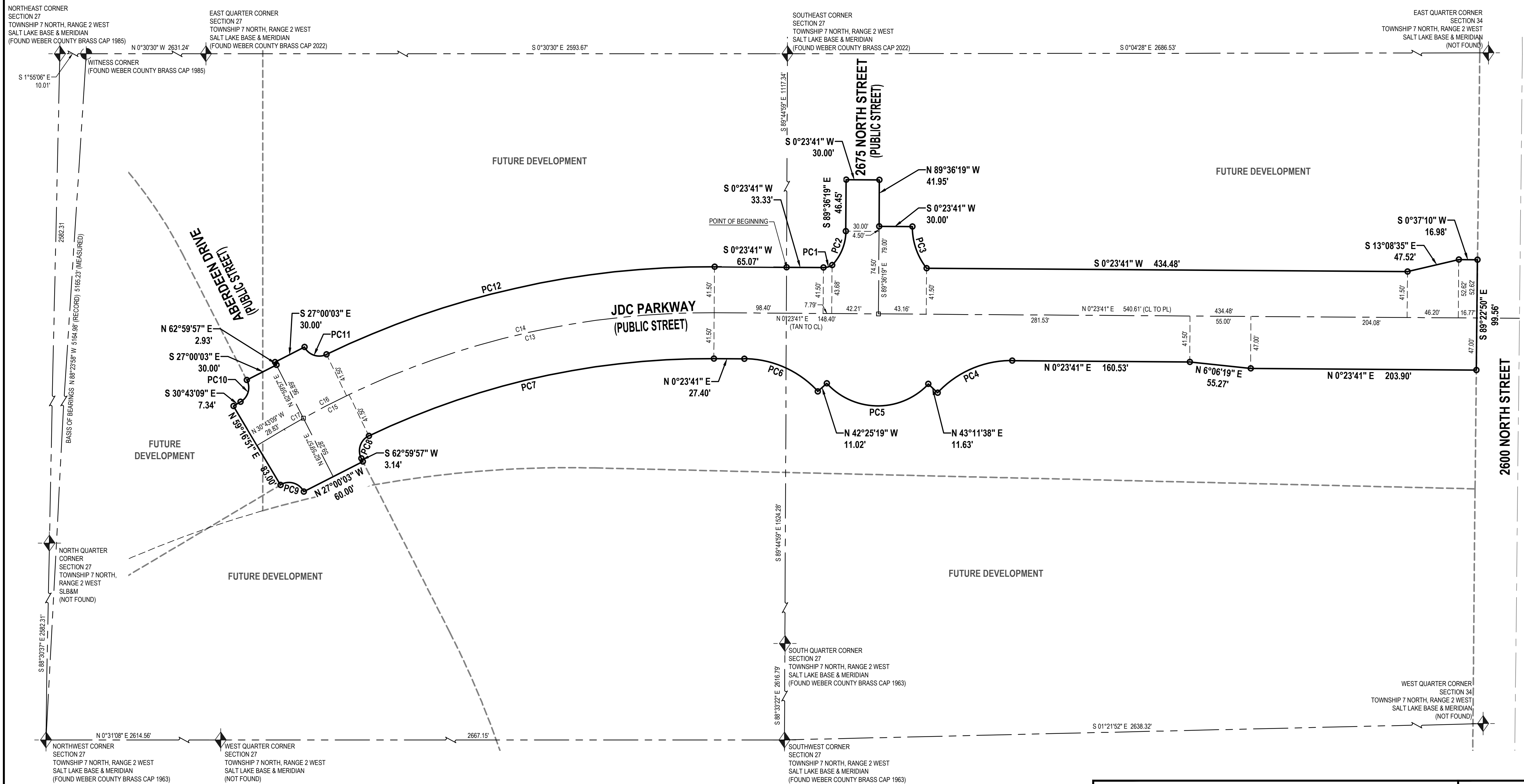
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE WEBER COUNTY ENGINEER.

## COUNTY COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE COUNTY COMMISSIONER'S APPROVAL.

## SHEET 1 OF 1

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION \_\_\_\_\_  
WEBER COUNTY ENGINEER \_\_\_\_\_  
CHAIRMAN, WEBER COUNTY PLANNING COMMISSION \_\_\_\_\_



**DEVELOPER**  
NILSON HOMES  
5617 SOUTH 1475 EAST  
SOUTH OGDEN, UTAH 84403  
801-392-8100

**ENSIGN**  
LAYTON  
919 North 400 West  
Layton UT 84041  
Phone: 801.547.1100  
Phone: 435.843.3590  
Fax: 801.593.6315  
CEDAR CITY  
Phone: 435.863.1453  
RICHFIELD  
Phone: 435.896.2983  
WWW.ENSIGNENG.COM

**BOARD OF HEALTH APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE BOARD OF HEALTH.

**COUNTY ATTORNEY'S APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE WEBER COUNTY ATTORNEY.

**PLANNING COMMISSION APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE COUNTY PLANNING COMMISSION APPROVAL.

**COUNTY ENGINEER'S APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE WEBER COUNTY ENGINEER.

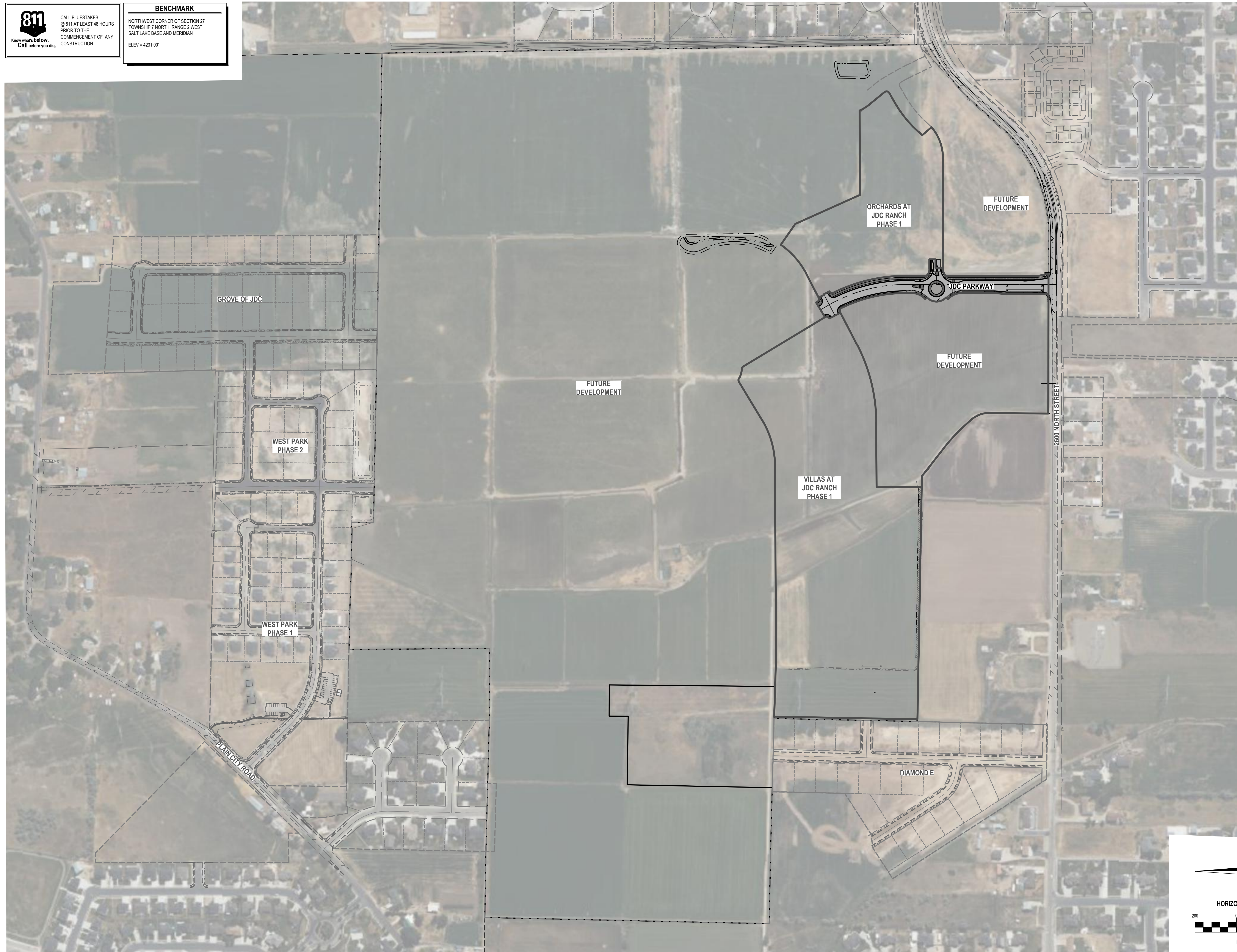
**COUNTY COMMISSION APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE COUNTY COMMISSIONER'S APPROVAL.

**HORIZONTAL GRAPHIC SCALE**  
0 25 50 100  
(IN FEET)  
HORZ: 1 inch = 50 ft.



**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARK**  
 NORTHWEST CORNER OF SECTION 27  
 TOWNSHIP 7 NORTH, RANGE 2 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4231.00'



**ENSIGN**  
 THE STANDARD IN ENGINEERING

**LAYTON**  
 919 North 400 West  
 Layton, UT 84041  
 Phone: 801.547.1100

**SANDY**  
 Phone: 801.255.0529

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FOR:  
 NILSON HOVES  
 1740 COMBE RD, SUITE 2  
 SOUTH OGDEN, UT 84403

CONTACT:  
 STEVE ANDERSON  
 PHONE: 801.392.8100

**JDC PARKWAY**

**2800 WEST 2600 NORTH STREET**

**WEBER COUNTY, UTAH**

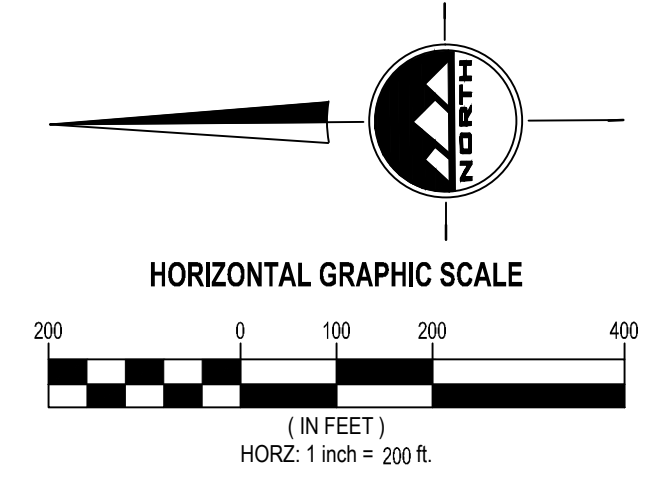


NO.	DATE	REVISION
		FOR REVIEW

**OVERALL DEVELOPMENT  
 SITE PLAN**

PROJECT NUMBER: 9872  
 PRINT DATE: 2023-12-08  
 PROJECT MANAGER: CP  
 DESIGNED BY: TS

**C-002**



**811**  
Know what's below.  
Call before you dig.

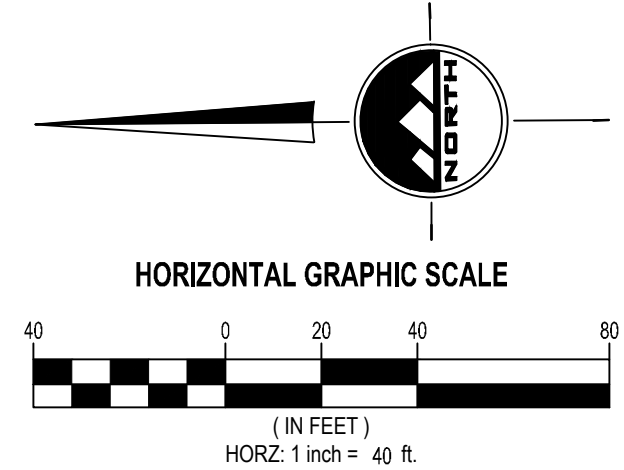
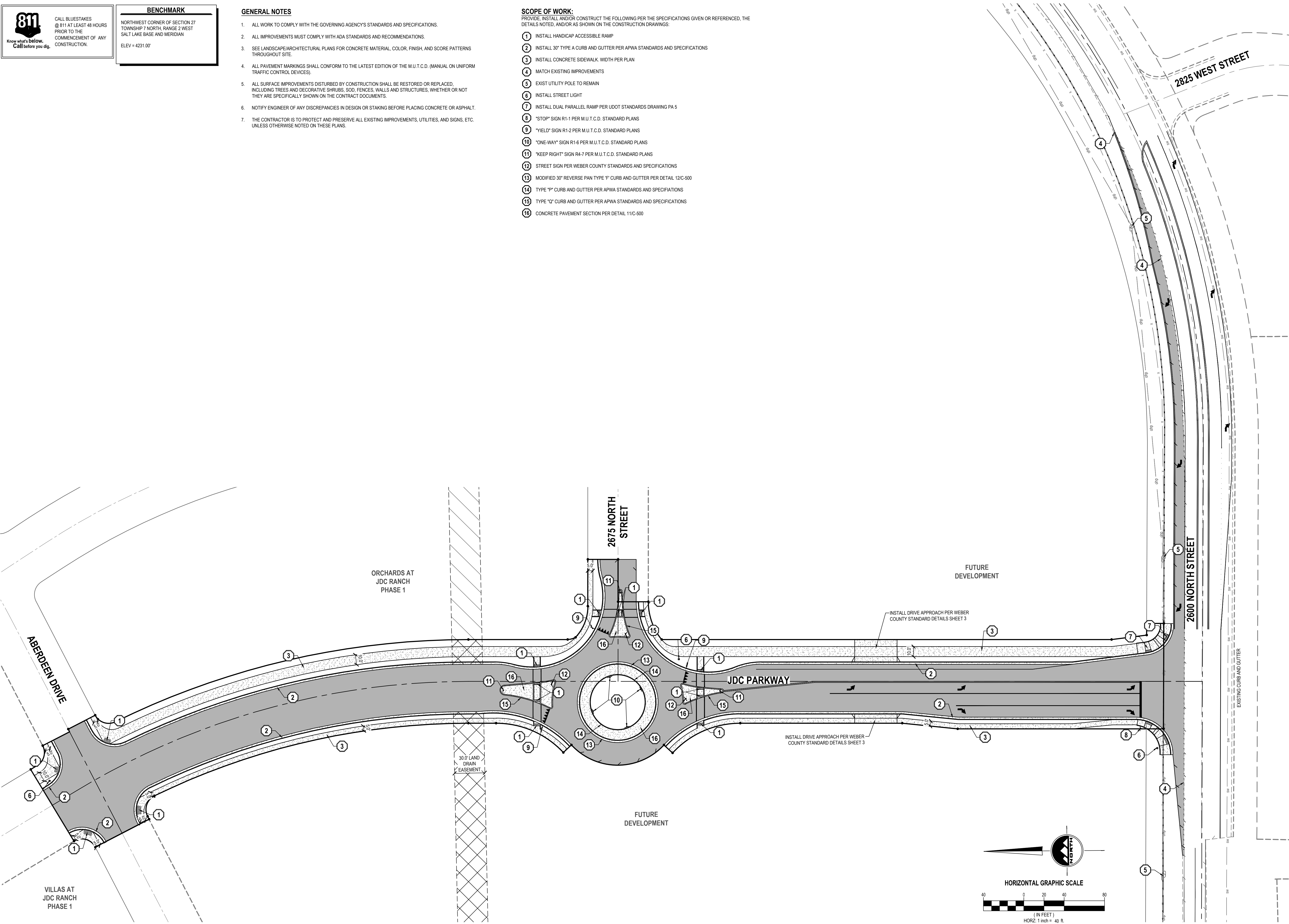
CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

**BENCHMARK**

NORTHWEST CORNER OF SECTION 27  
TOWNSHIP 7 NORTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4231.00'

- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
  3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
  4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
  5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOO, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
  6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
  7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. INSTALL HANDICAP ACCESSIBLE RAMP
  2. INSTALL 30" TYPE A CURB AND GUTTER PER APWA STANDARDS AND SPECIFICATIONS
  3. INSTALL CONCRETE SIDEWALK, WIDTH PER PLAN
  4. MATCH EXISTING IMPROVEMENTS
  5. EXIST UTILITY POLE TO REMAIN
  6. INSTALL STREET LIGHT
  7. INSTALL DUAL PARALLEL RAMP PER UDOT STANDARDS DRAWING PA 5
  8. "STOP" SIGN R1-1 PER M.U.T.C.D. STANDARD PLANS
  9. "YIELD" SIGN R1-2 PER M.U.T.C.D. STANDARD PLANS
  10. "ONE-WAY" SIGN R1-6 PER M.U.T.C.D. STANDARD PLANS
  11. "KEEP RIGHT" SIGN R4-7 PER M.U.T.C.D. STANDARD PLANS
  12. STREET SIGN PER WEBER COUNTY STANDARDS AND SPECIFICATIONS
  13. MODIFIED 30" REVERSE PAN TYPE 'F' CURB AND GUTTER PER DETAIL 12/C-500
  14. TYPE 'P' CURB AND GUTTER PER APWA STANDARDS AND SPECIFICATIONS
  15. TYPE 'Q' CURB AND GUTTER PER APWA STANDARDS AND SPECIFICATIONS
  16. CONCRETE PAVEMENT SECTION PER DETAIL 11/C-500



**ENSIGN**  
THE STANDARD IN ENGINEERING

**LAYTON**  
919 North 400 West  
Layton, UT 84041  
Phone: 801.547.1100

**SANDY**  
Phone: 801.255.0529

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

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FOR:  
NILSON HOVES  
1740 COMBE RD, SUITE 2  
SOUTH OGDEN, UT 84403

CONTACT:  
STEVE ANDERSON  
PHONE: 801.392.8100

**JDC PARKWAY**  
2800 WEST 2600 NORTH STREET  
WEBER COUNTY, UTAH



NO. DATE REVISION FOR REVIEW

**SITE PLAN**

PROJECT NUMBER 9872 PRINT DATE 2023-12-08  
PROJECT MANAGER CP DESIGNED BY TS

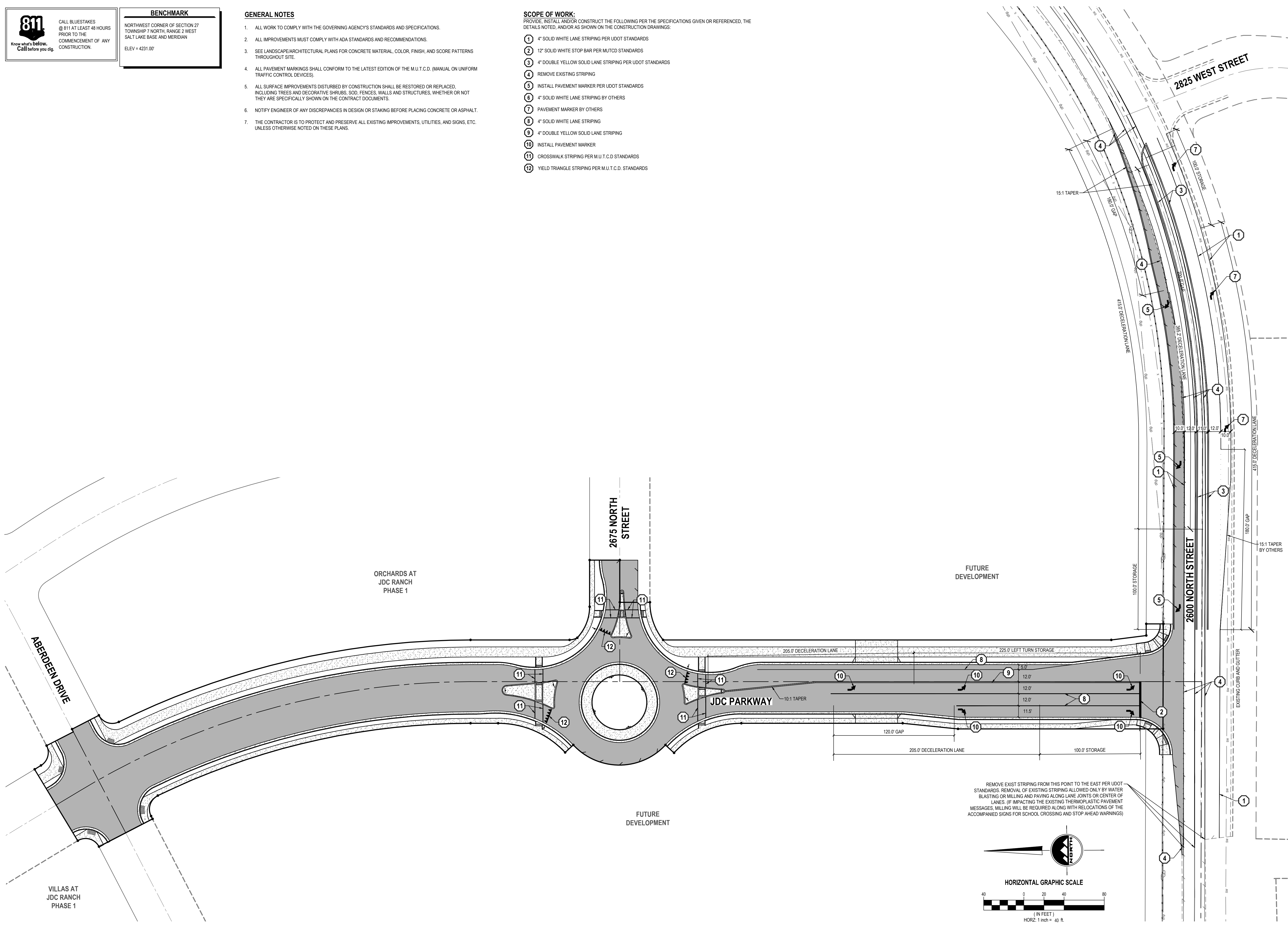
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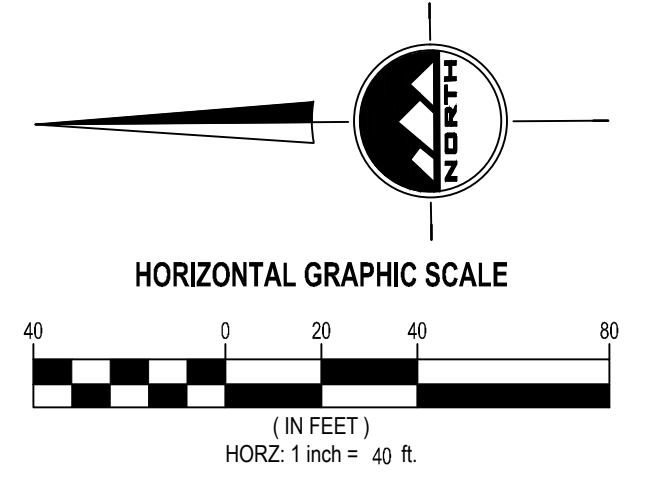
**BENCHMARK**  
 NORTHWEST CORNER OF SECTION 27  
 TOWNSHIP 7 NORTH, RANGE 2 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4231.00'

- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
  3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
  4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
  5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOO, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
  6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
  7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:**  
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 4" SOLID WHITE LANE STRIPING PER UDOT STANDARDS
  - 2 12" SOLID WHITE STOP BAR PER MUTCD STANDARDS
  - 3 4" DOUBLE YELLOW SOLID LANE STRIPING PER UDOT STANDARDS
  - 4 REMOVE EXISTING STRIPING
  - 5 INSTALL PAVEMENT MARKER PER UDOT STANDARDS
  - 6 4" SOLID WHITE LANE STRIPING BY OTHERS
  - 7 PAVEMENT MARKER BY OTHERS
  - 8 4" SOLID WHITE LANE STRIPING
  - 9 4" DOUBLE YELLOW SOLID LANE STRIPING
  - 10 INSTALL PAVEMENT MARKER
  - 11 CROSSWALK STRIPING PER M.U.T.C.D. STANDARDS
  - 12 YIELD TRIANGLE STRIPING PER M.U.T.C.D. STANDARDS



REMOVE EXIST STRIPING FROM THIS POINT TO THE EAST PER UDOT STANDARDS. REMOVAL OF EXISTING STRIPING ALLOWED ONLY BY WATER BLASTING OR MILLING AND PAVING ALONG LANE JOINTS OR CENTER OF LANES. (IF IMPACTING THE EXISTING THERMOPLASTIC PAVEMENT MESSAGES, MILLING WILL BE REQUIRED ALONG WITH RELOCATIONS OF THE ACCOMPANIED SIGNS FOR SCHOOL CROSSING AND STOP AHEAD WARNINGS)



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**LAYTON**  
 919 North 400 West  
 Layton, UT 84041  
 Phone: 801.547.1100

**SANDY**  
 Phone: 801.255.0529

**TOOELE**  
 Phone: 435.843.3590

**CEDAR CITY**  
 Phone: 435.865.1453

**RICHFIELD**  
 Phone: 435.896.2983

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FOR:  
 NILSON HOMES  
 1740 COMBE RD. SUITE 2  
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CONTACT:  
 STEVE ANDERSON  
 PHONE: 801.392.8100

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 2800 WEST 2600 NORTH STREET  
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NO.	DATE	REVISION FOR REVIEW

**STRIPING PLAN**

PROJECT NUMBER: 9872  
 PRINT DATE: 2023-12-08  
 PROJECT MANAGER: CP  
 DESIGNED BY: TS

**C-101**

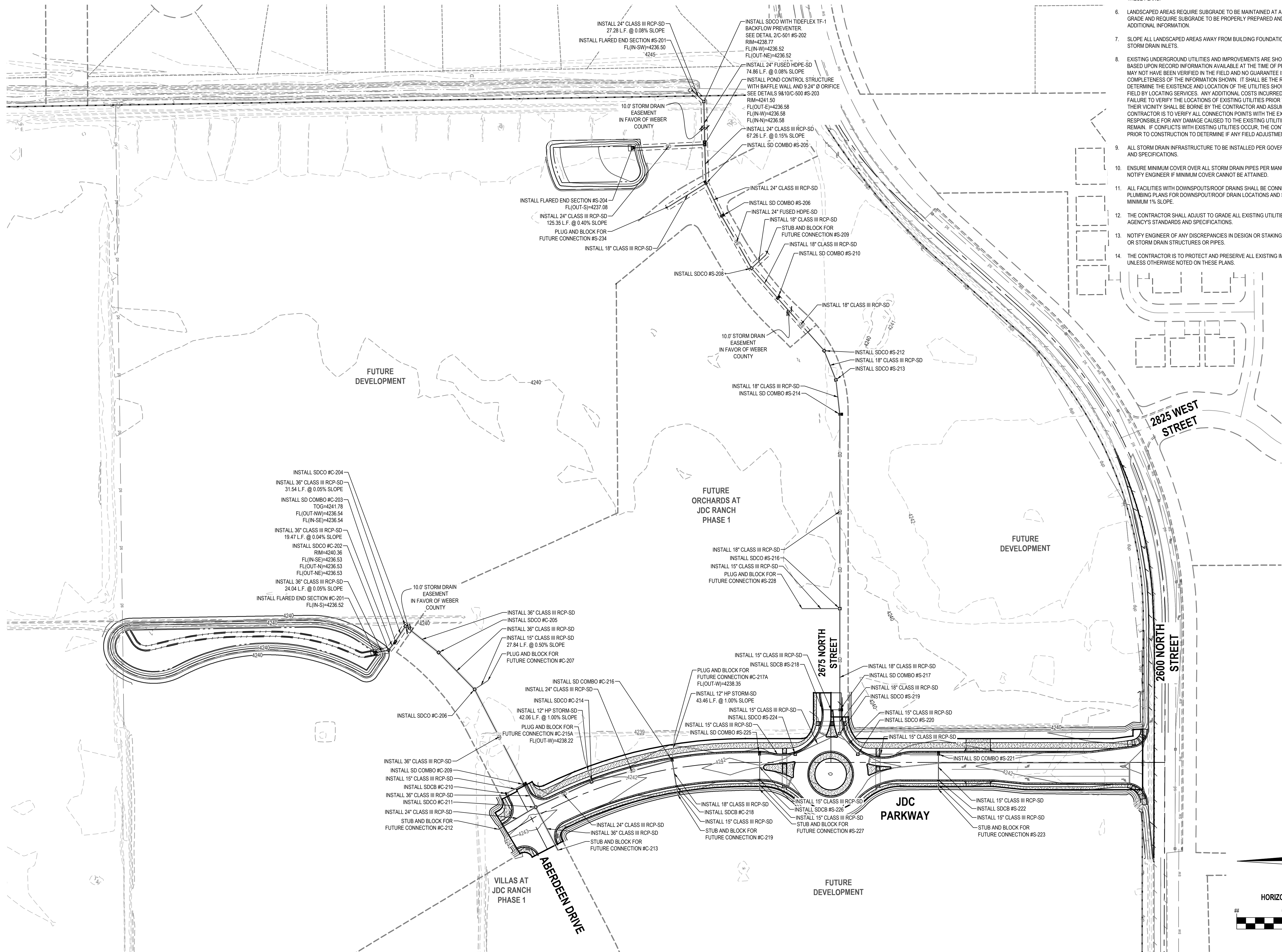
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**BENCHMARK**

NORTHWEST CORNER OF SECTION 27  
TOWNSHIP 7 NORTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4231.00'

- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
  3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
  4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
  5. ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XX.XX REPRESENTS AN ELEVATION OF 48XX.XX ON THESE PLANS.
  6. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  7. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
  8. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
  9. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
  10. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
  11. ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
  12. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  13. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
  14. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



**ENSIGN**  
THE STANDARD IN ENGINEERING

**LAYTON**  
919 North 400 West  
Layton, UT 84041  
Phone: 801.547.1100

**SANDY**  
Phone: 801.255.0529

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Phone: 435.843.3590

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FOR:  
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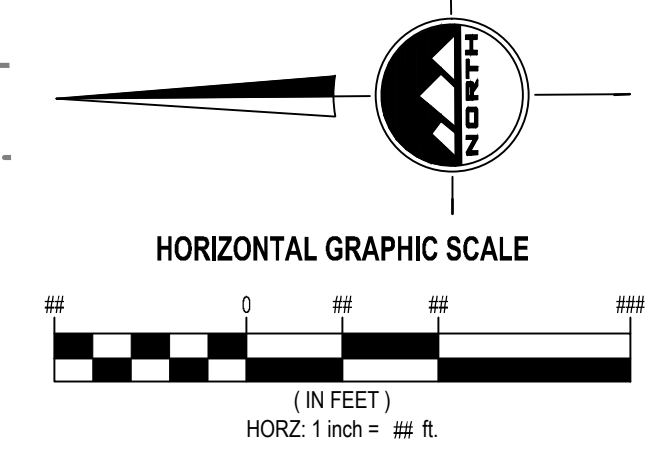


NO.	DATE	REVISION
		FOR REVIEW

**OVERALL GRADING AND DRAINAGE PLAN**

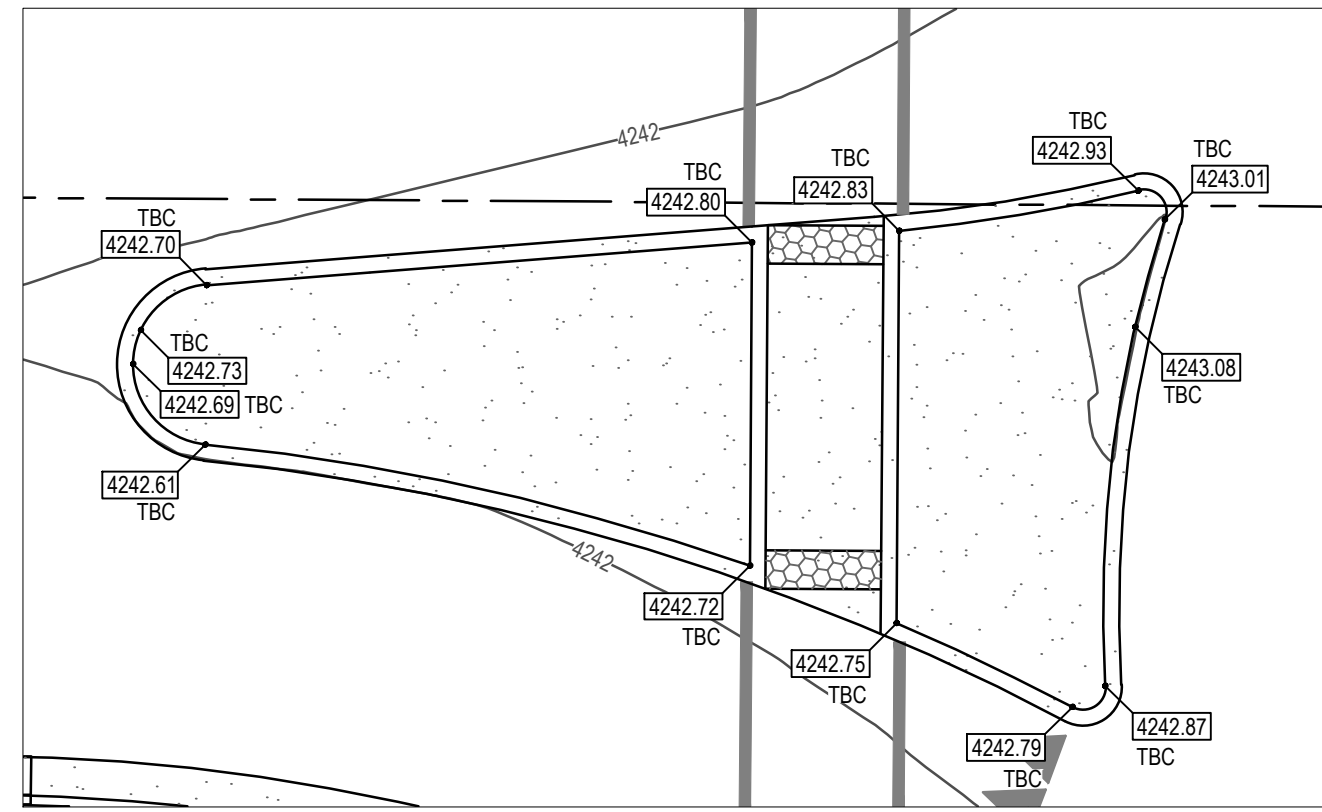
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PRINT DATE: 2023-12-08  
PROJECT MANAGER: CP  
DESIGNED BY: TS

**C-200**

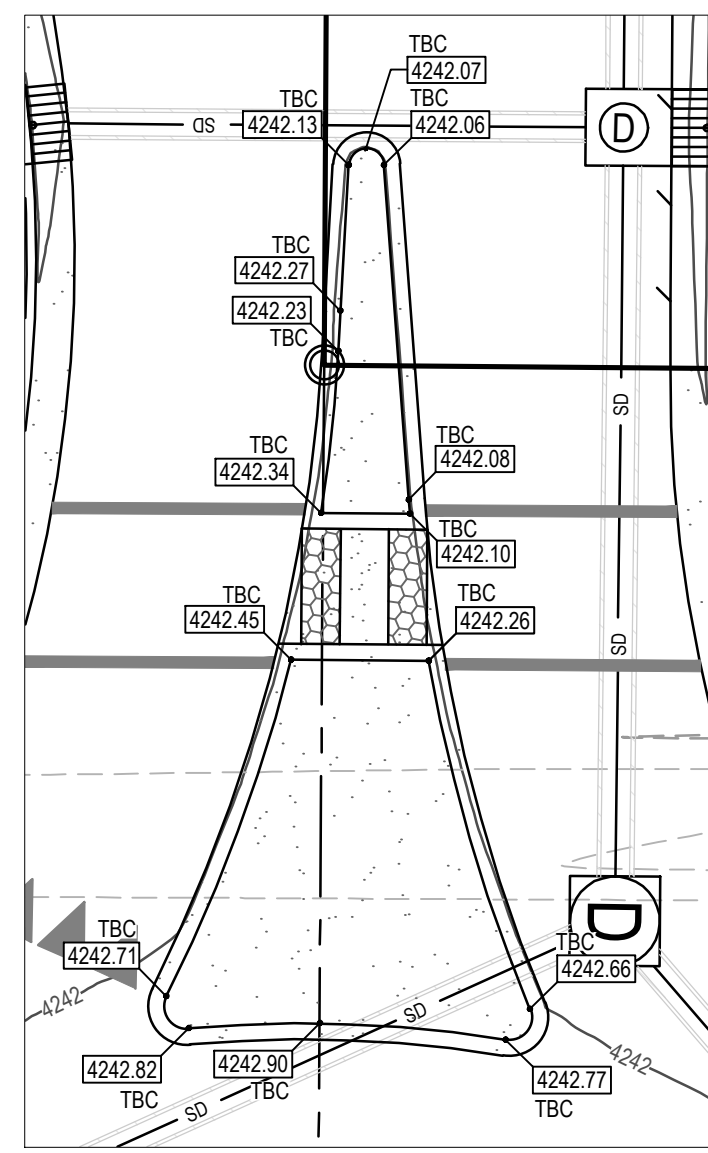


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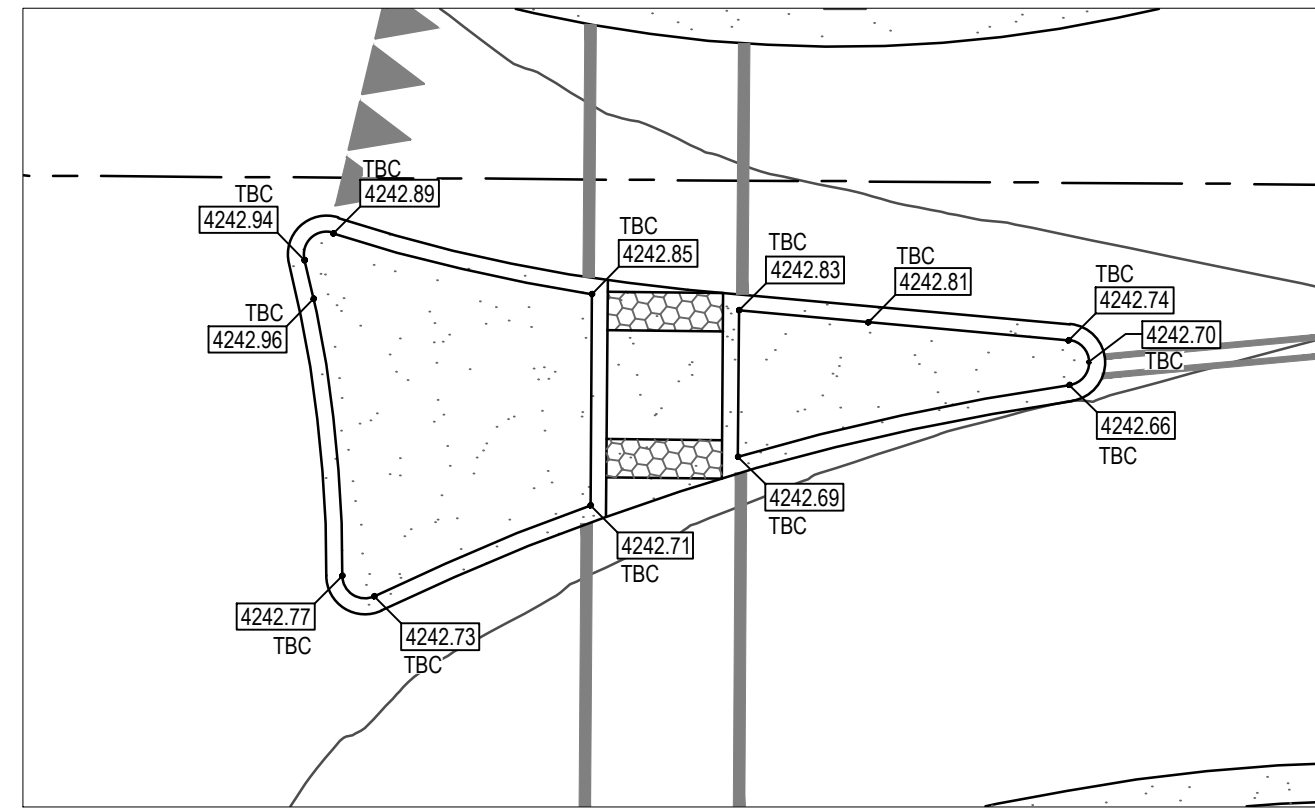
**BENCHMARK**  
NORTHWEST CORNER OF SECTION 27  
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SALT LAKE BASE AND MERIDIAN  
ELEV = 4231.00'



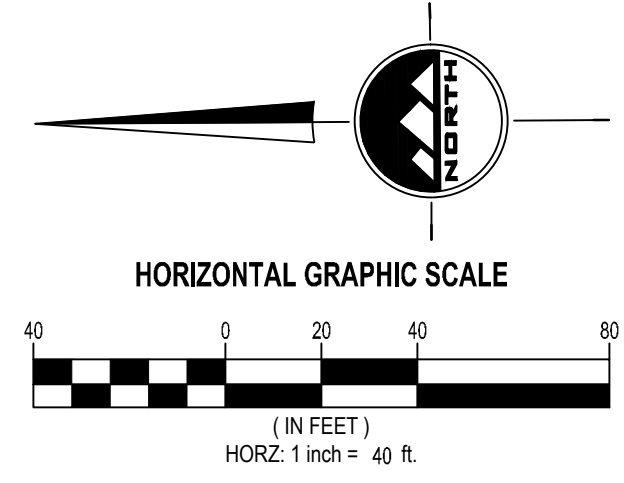
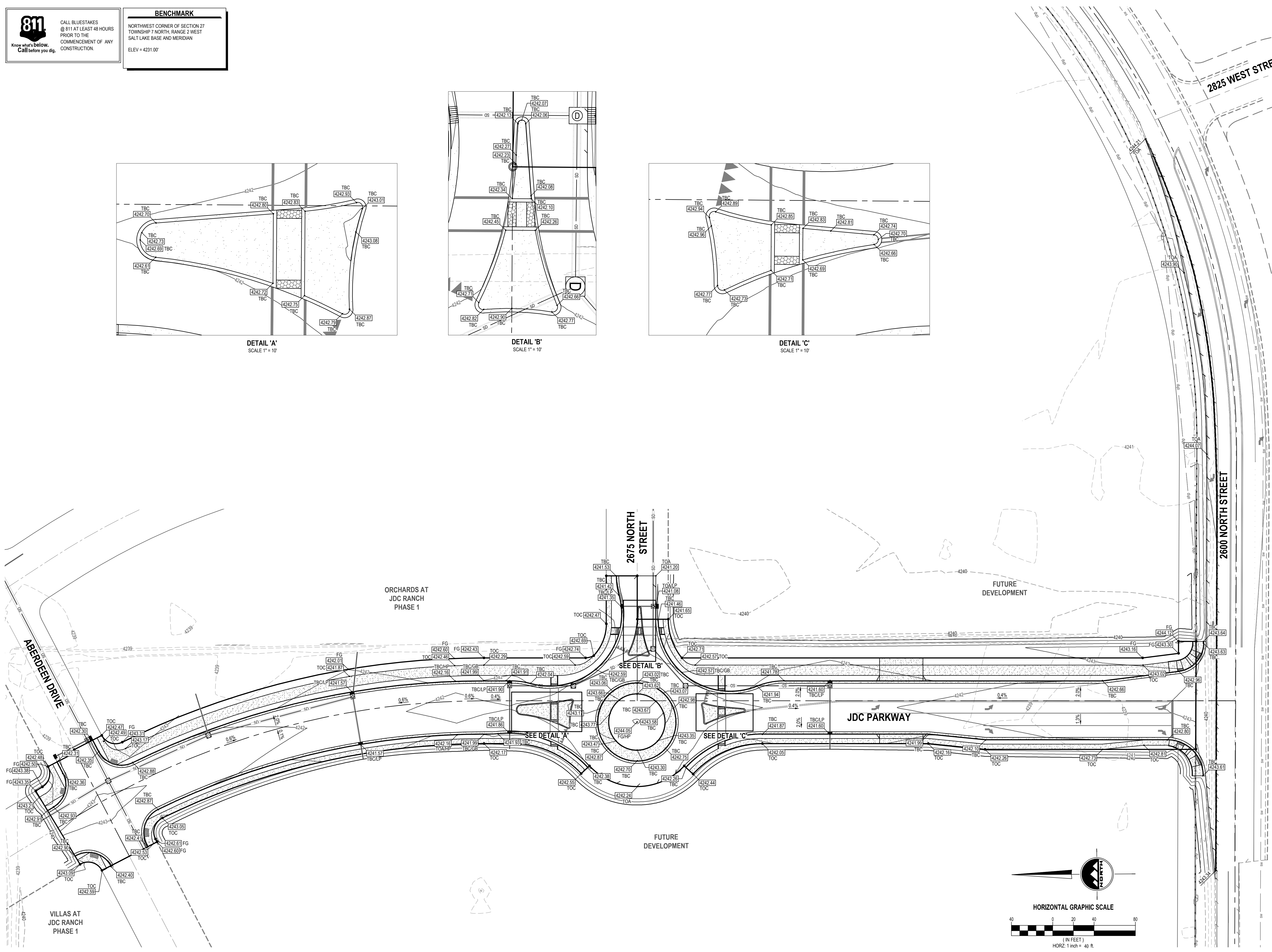
**DETAIL 'A'**  
SCALE 1" = 10'



**DETAIL 'B'**  
SCALE 1" = 10'



**DETAIL 'C'**  
SCALE 1" = 10'



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**LAYTON**  
919 North 400 West  
Layton, UT 84041  
Phone: 801.547.1100

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Phone: 435.896.2983

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FOR:  
NILSON HOVES  
1740 COMBE RD, SUITE 2  
SOUTH OGDEN, UT 84403

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PHONE: 801.392.8100

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**GRADING AND DRAINAGE PLAN**

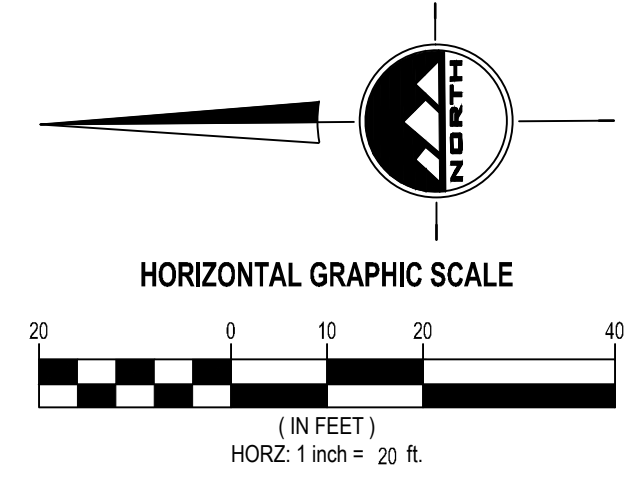
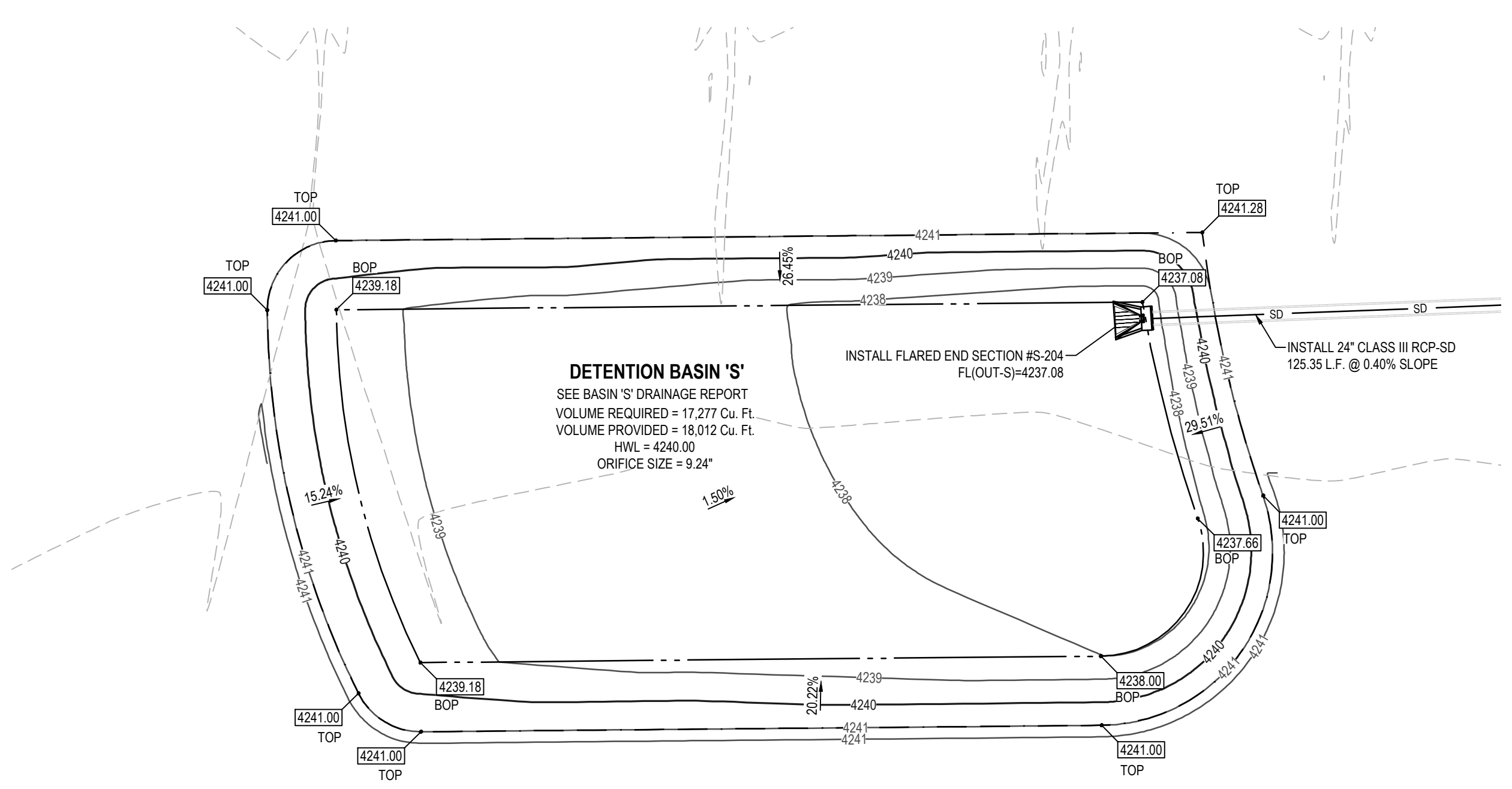
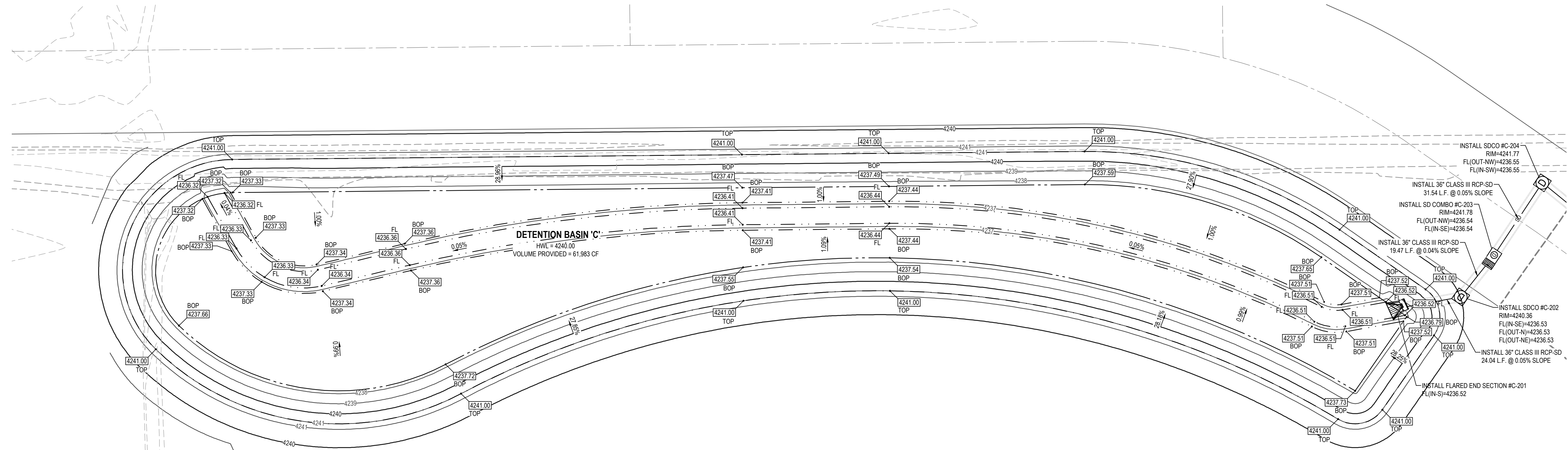
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Layton, UT 84041  
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FOR:  
NILSON HOMES  
1740 COMBE RD. SUITE 2  
SOUTH OGDEN, UT 84403

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**GRADING AND DRAINAGE PLAN**

PROJECT NUMBER: 9872  
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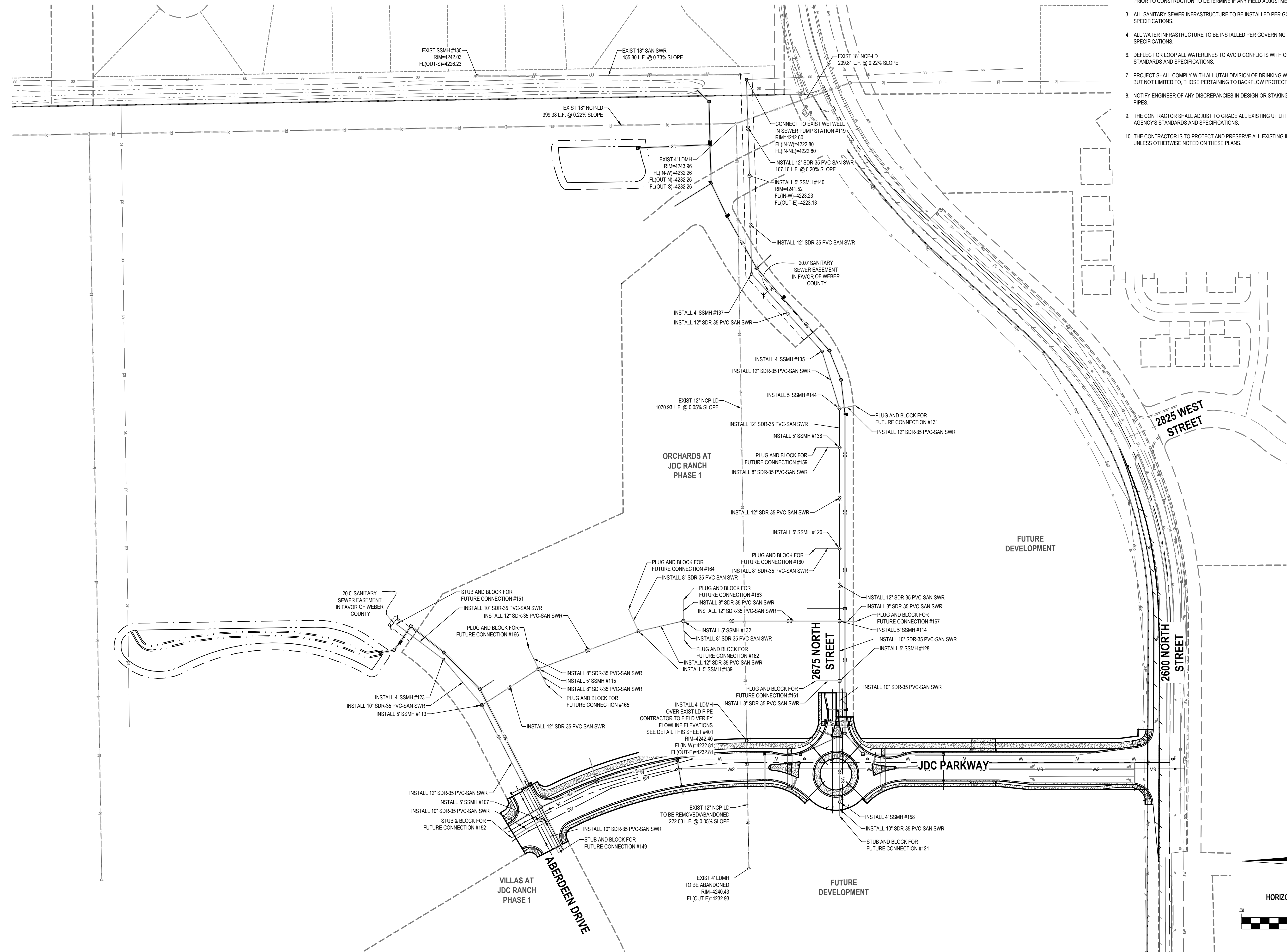
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**BENCHMARK**

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- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
  3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
  4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
  5. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  6. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
  7. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
  8. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  9. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

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**LAYTON**  
919 North 400 West  
Layton, UT 84041  
Phone: 801.547.1100

**SANDY**  
Phone: 801.255.0529

**TOOELE**  
Phone: 435.843.3590

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**WWW.ENSIGNENG.COM**

FOR:  
NILSON HOMES  
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SOUTH OGDEN, UT 84403

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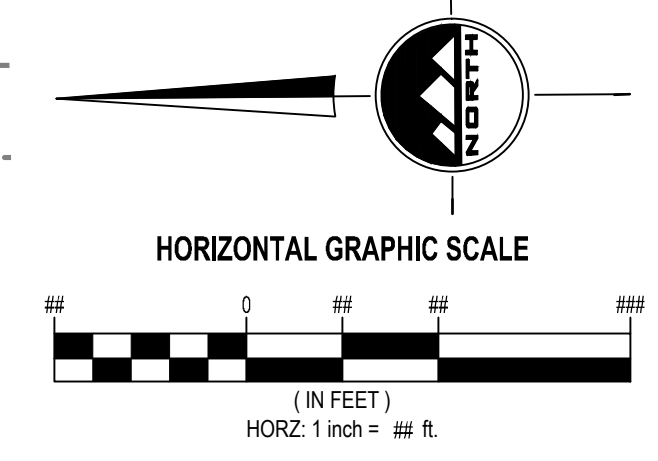


NO.	DATE	REVISION FOR REVIEW

**OVERALL UTILITY PLAN**

PROJECT NUMBER 9872	PRINT DATE 2023-12-08
PROJECT MANAGER CP	DESIGNED BY TS

**C-300**

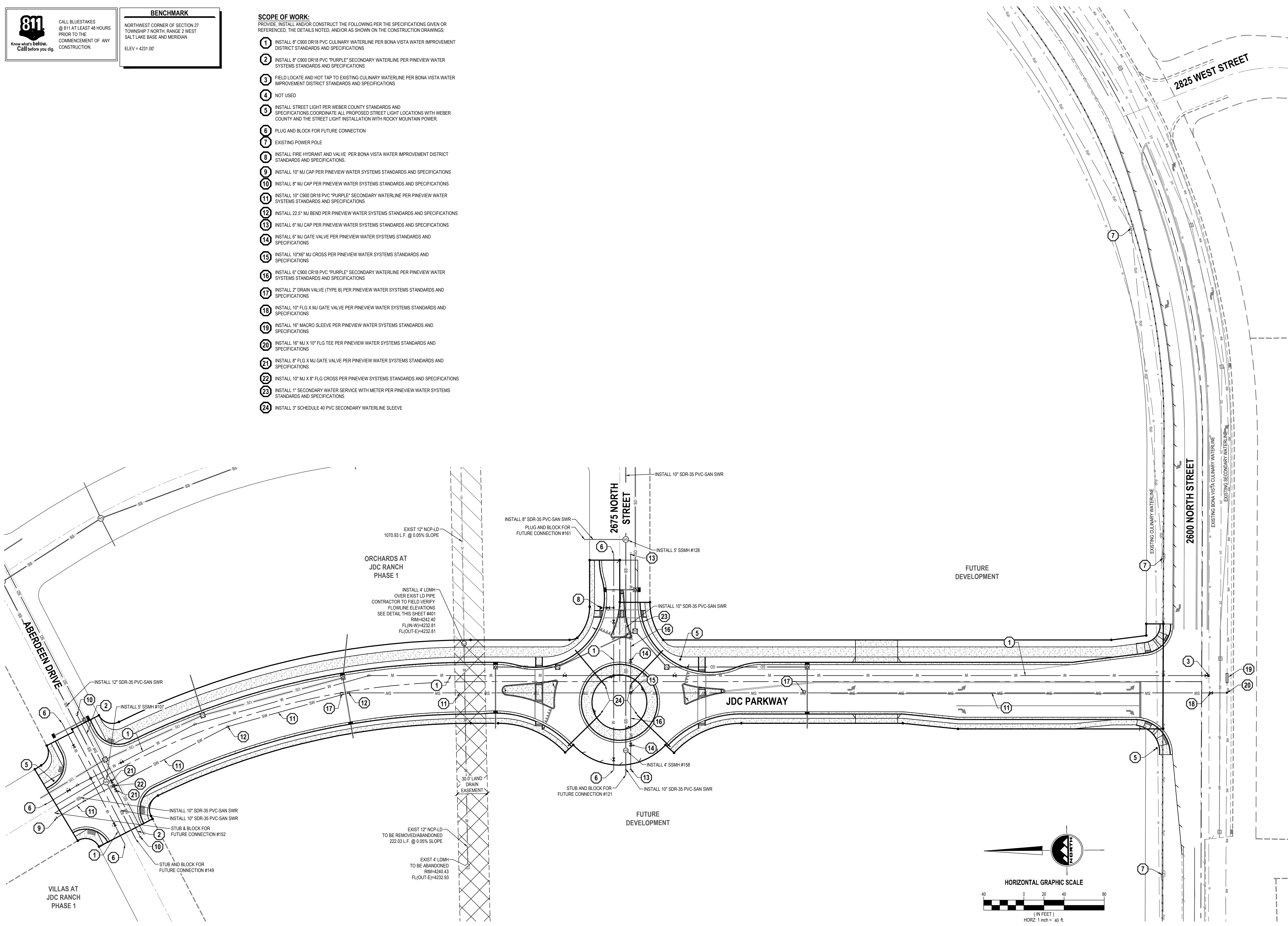




BENCHMARK	
NORTHWEST CORNER OF SECTION 27 TOWNSHIP 7 NORTH, RANGE 2 WEST SALT LAKE BASE AND MERIDIAN	ELEV = 4231.00'

**SCOPE OF WORK:**

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 INSTALL 8" C900 DR18 PVC CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS
  - 2 INSTALL 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 3 FIELD LOCATE AND HOT TAP TO EXISTING CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS
  - 4 NOT USED
  - 5 INSTALL STREET LIGHT PER WEBER COUNTY STANDARDS AND SPECIFICATIONS. COORDINATE ALL PROPOSED STREET LIGHT LOCATIONS WITH WEBER COUNTY AND THE STREET LIGHT INSTALLATION WITH ROCKY MOUNTAIN POWER.
  - 6 PLUG AND BLOCK FOR FUTURE CONNECTION
  - 7 EXISTING POWER POLE
  - 8 INSTALL FIRE HYDRANT AND VALVE PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
  - 9 INSTALL 10" MJ CAP PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 10 INSTALL 8" MJ CAP PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 11 INSTALL 10" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 12 INSTALL 22.5" MJ BEND PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 13 INSTALL 6" MJ CAP PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 14 INSTALL 6" MJ GATE VALVE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 15 INSTALL 10"x6" MJ CROSS PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 16 INSTALL 6" C900 CR18 PVC "PURPLE" SECONDARY WATERLINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 17 INSTALL 2" DRAIN VALVE (TYPE B) PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 18 INSTALL 10" FLG X MJ GATE VALVE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 19 INSTALL 16" MACRO SLEEVE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 20 INSTALL 16" MJ X 10" FLG TEE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 21 INSTALL 8" FLG X MJ GATE VALVE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 22 INSTALL 10" MJ X 8" FLG CROSS PER PINEVIEW SYSTEMS STANDARDS AND SPECIFICATIONS
  - 23 INSTALL 1" SECONDARY WATER SERVICE WITH METER PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS
  - 24 INSTALL 3" SCHEDULE 40 PVC SECONDARY WATERLINE SLEEVE



**ENSIGN**  
THE STANDARD IN ENGINEERING

**LAYTON**  
919 North 400 West  
Layton, UT 84041  
Phone: 801.547.1100

**SANDY**  
Phone: 801.255.0529

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

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FOR:  
NILSON HOMES  
1740 COMBE RD. SUITE 2  
SOUTH OGDEN UT 84403

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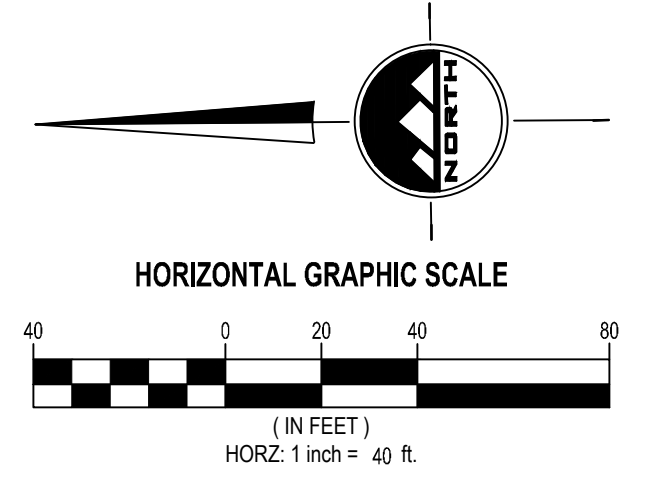


NO.	DATE	REVISION FOR REVIEW

**UTILITY PLAN**

PROJECT NUMBER 9872	PRINT DATE 2023-12-08
PROJECT MANAGER CP	DESIGNED BY TS

**C-301**



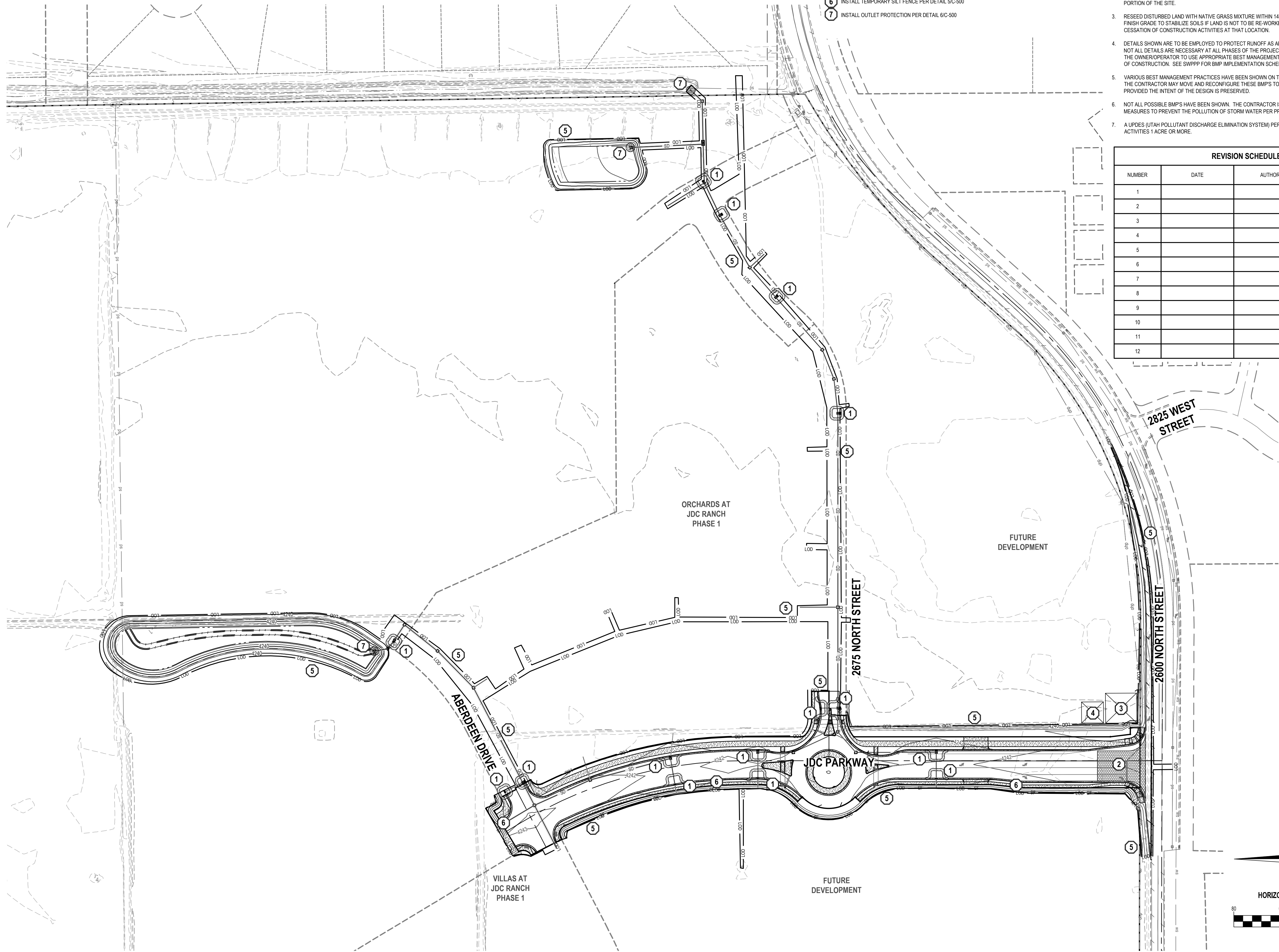


**BENCHMARK**  
 NORTHWEST CORNER OF SECTION 27  
 TOWNSHIP 7 NORTH, RANGE 2 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4231.00'

- SCOPE OF WORK:**  
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 INLET PROTECTION PER DETAIL 1/C-500.
  - 2 VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 2/C-500.
  - 3 SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
  - 4 CONCRETE CLEANOUT LINED BASIN OR DUMPSTER
  - 5 LIMITS OF DISTURBANCE
  - 6 INSTALL TEMPORARY SILT FENCE PER DETAIL 5/C-500
  - 7 INSTALL OUTLET PROTECTION PER DETAIL 6/C-500

- GENERAL NOTES**
1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
  2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
  3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
  4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
  5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
  6. NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
  7. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
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8			
9			
10			
11			
12			



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**CEDAR CITY**  
 Phone: 435.865.1453

**RICHFIELD**  
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CONTACT:  
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**JDC PARKWAY**

**2800 WEST 2600 NORTH STREET**

**WEBER COUNTY, UTAH**



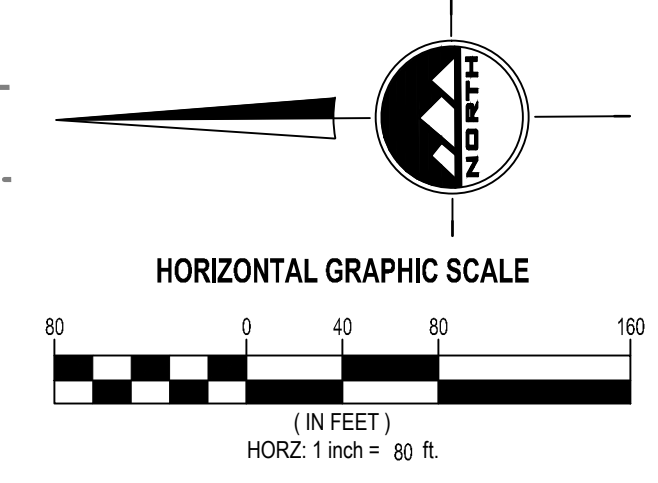
NO.	DATE	REVISION FOR REVIEW

**EROSION CONTROL PLAN**

PROJECT NUMBER: 9872  
 PROJECT MANAGER: CP

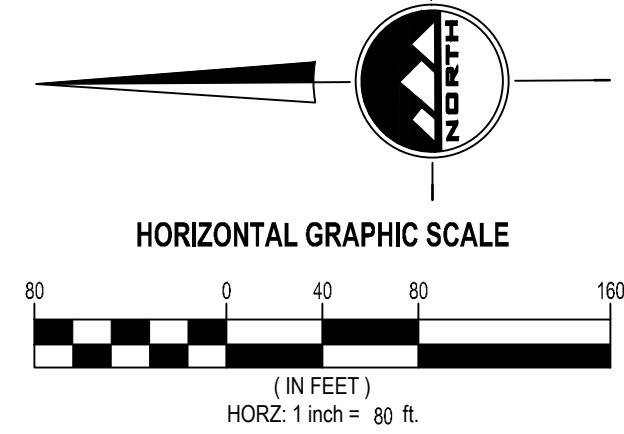
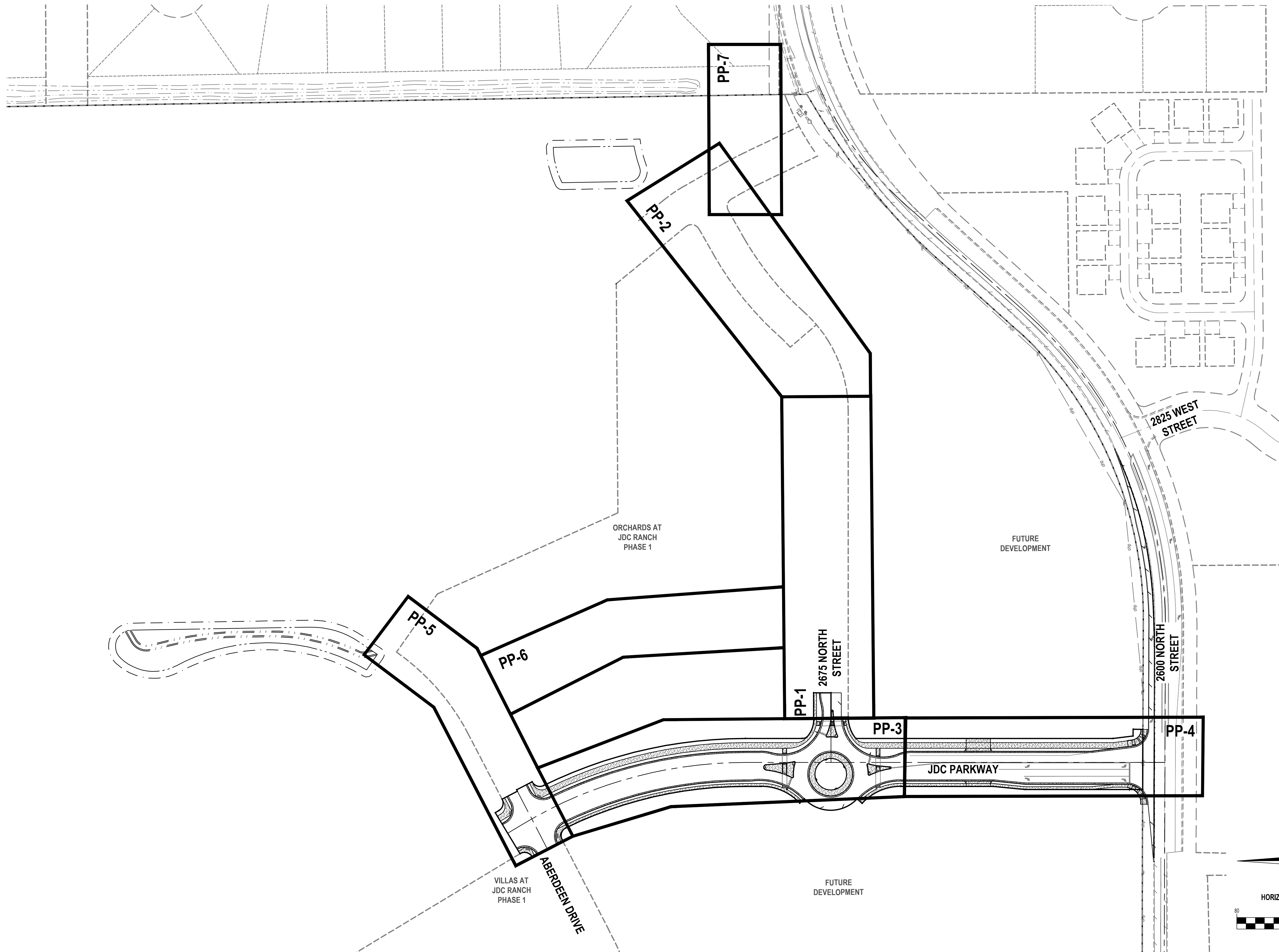
PRINT DATE: 2023-12-08  
 DESIGNED BY: TS

**C-400**



**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARK**  
 NORTHWEST CORNER OF SECTION 27  
 TOWNSHIP 7 NORTH, RANGE 2 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4231.00'



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**PLAN AND PROFILE KEY MAP**

PROJECT NUMBER 9872	PRINT DATE 2023-12-08
PROJECT MANAGER CP	DESIGNED BY TS

**PP-0**



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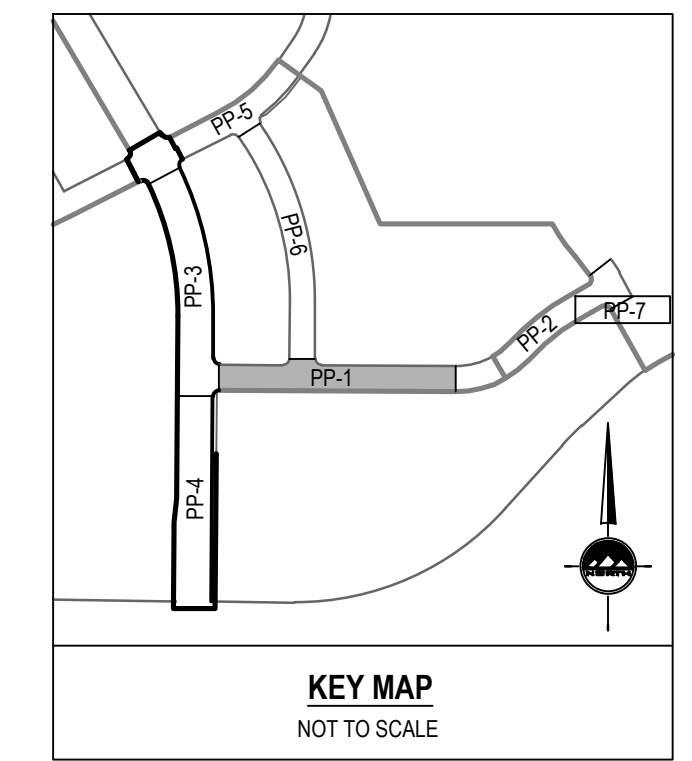
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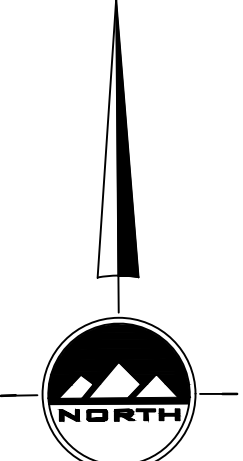
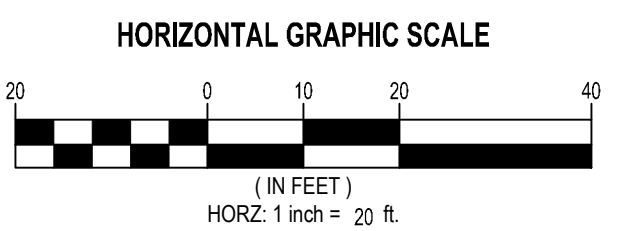
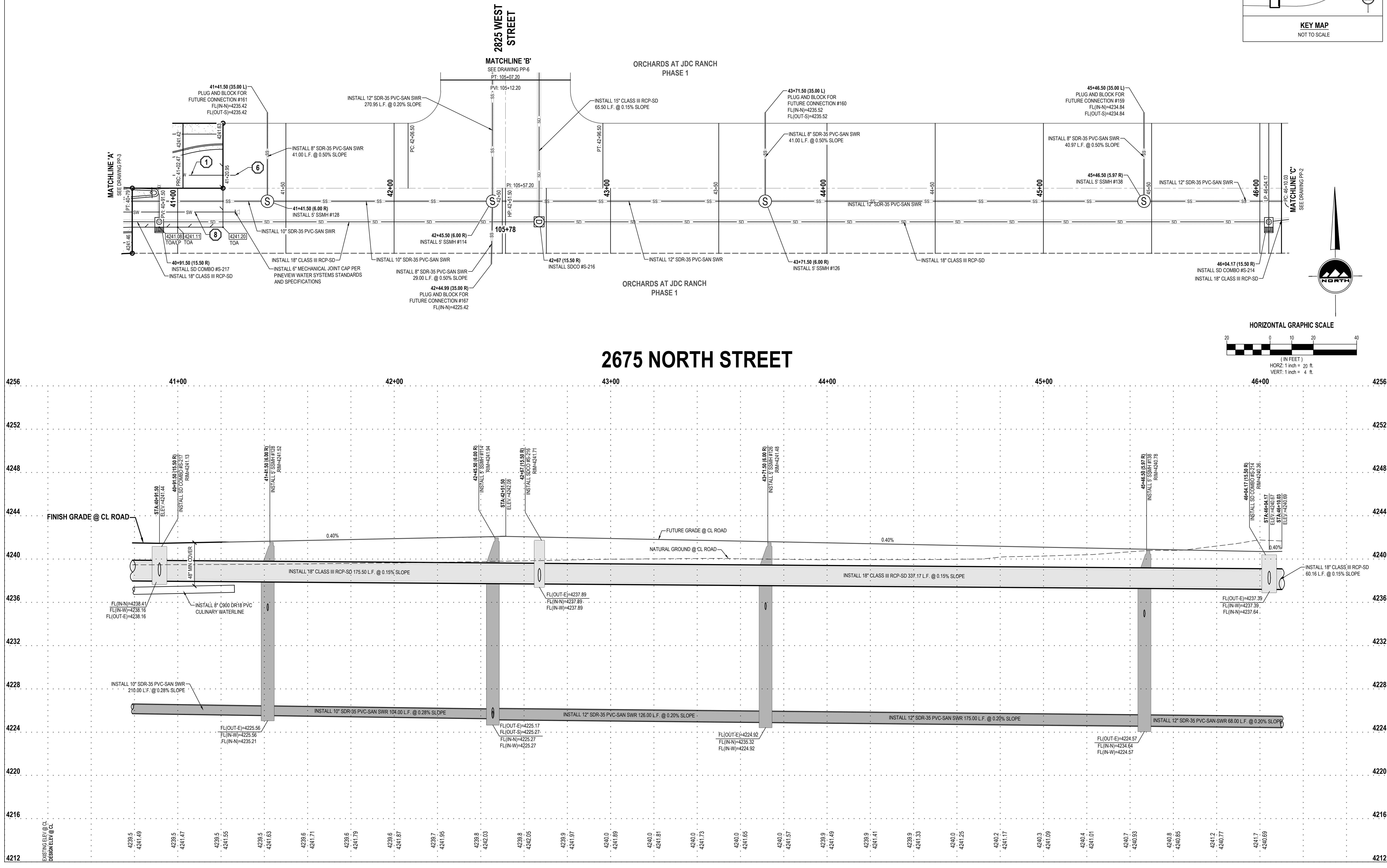


NO.	DATE	REVISION
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**OFFSITE UTILITY PLAN AND PROFILE**

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PRINT DATE: 2023-12-08  
PROJECT MANAGER: CP  
DESIGNED BY: TS

**PP-1**



**2675 NORTH STREET**

ORCHARDS AT JDC RANCH  
PHASE 1

ORCHARDS AT JDC RANCH  
PHASE 1

2825 WEST STREET

MATCHLINE 'B'  
SEE DRAWING PP-6  
PT. 105+07.20

MATCHLINE 'C'  
SEE DRAWING PP-2

MATCHLINE 'A'  
SEE DRAWING PP-3

EXISTING ELEV @ CL  
DESIGN ELEV @ CL

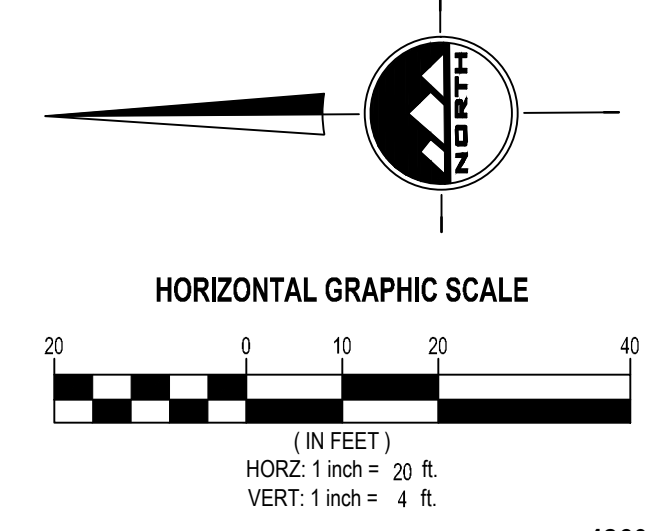
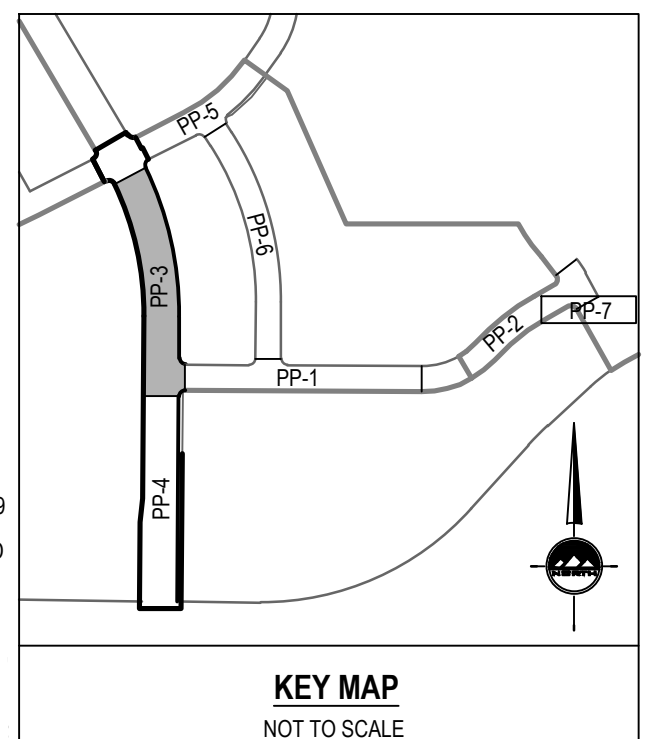
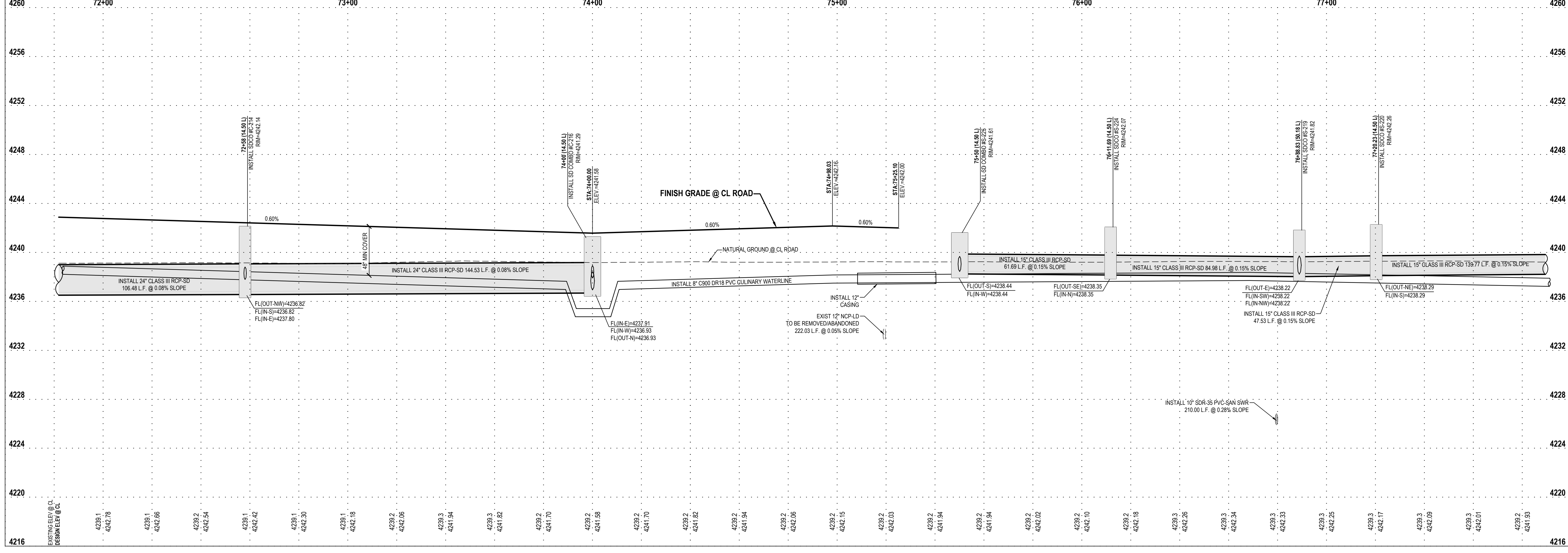
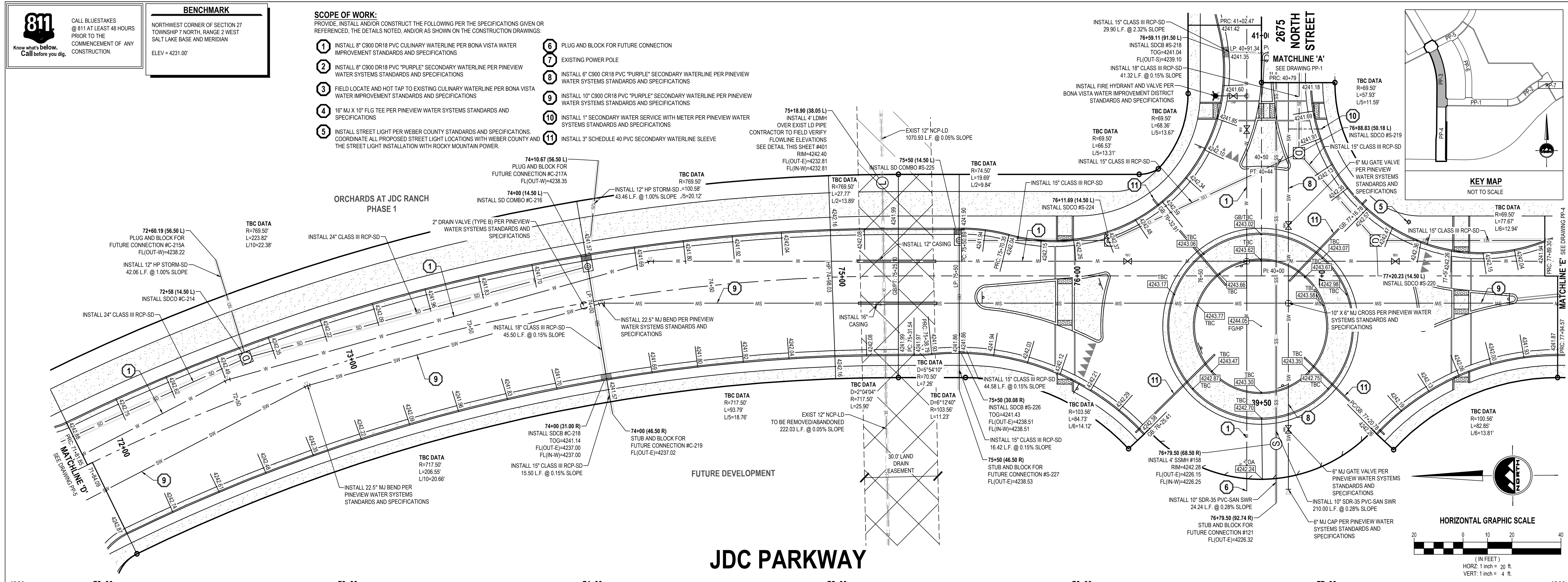
4212





**BENCHMARK**  
 NORTHWEST CORNER OF SECTION 27  
 TOWNSHIP 7 NORTH, RANGE 2 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4231.00'

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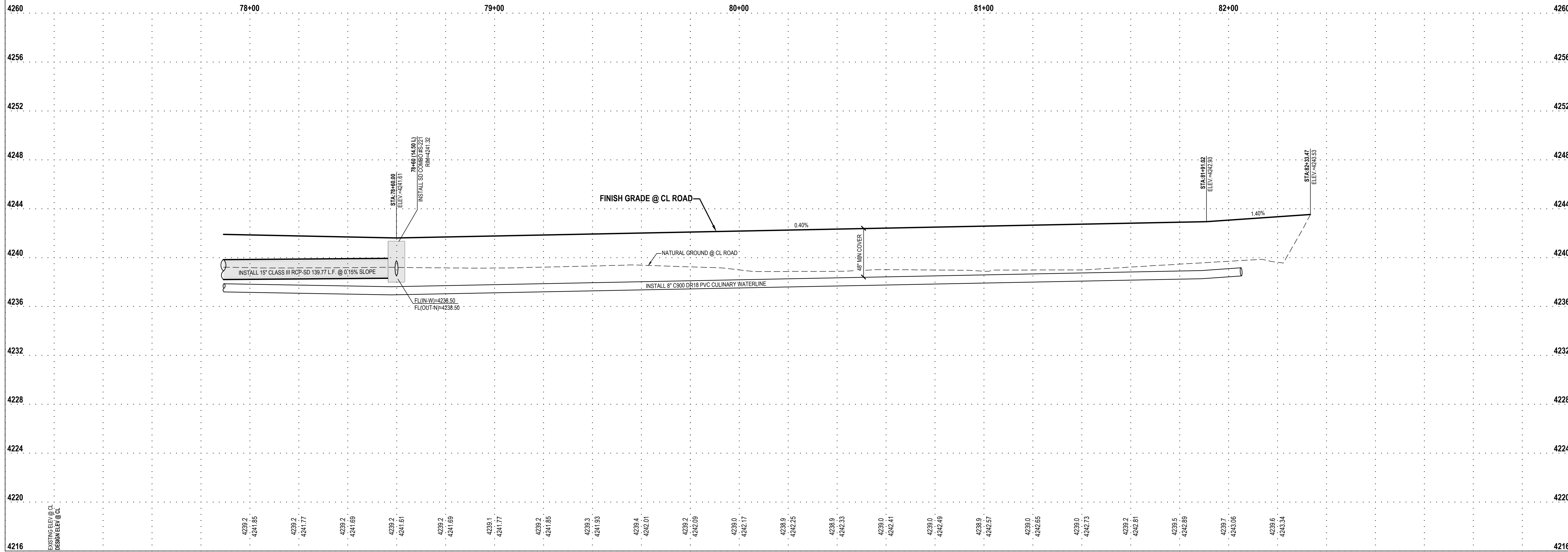
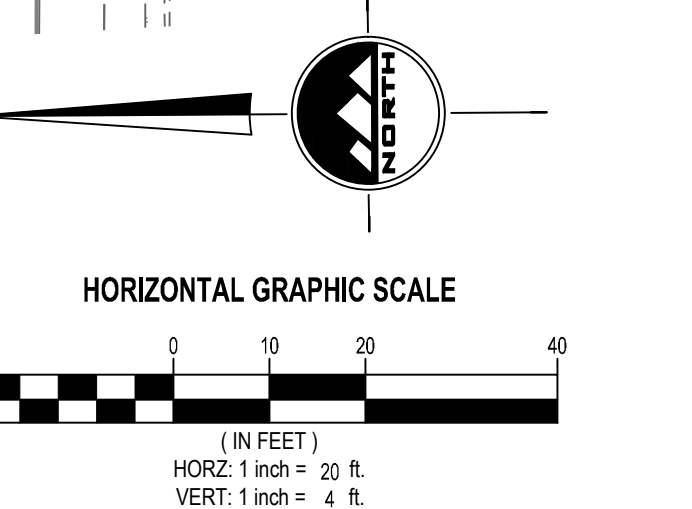
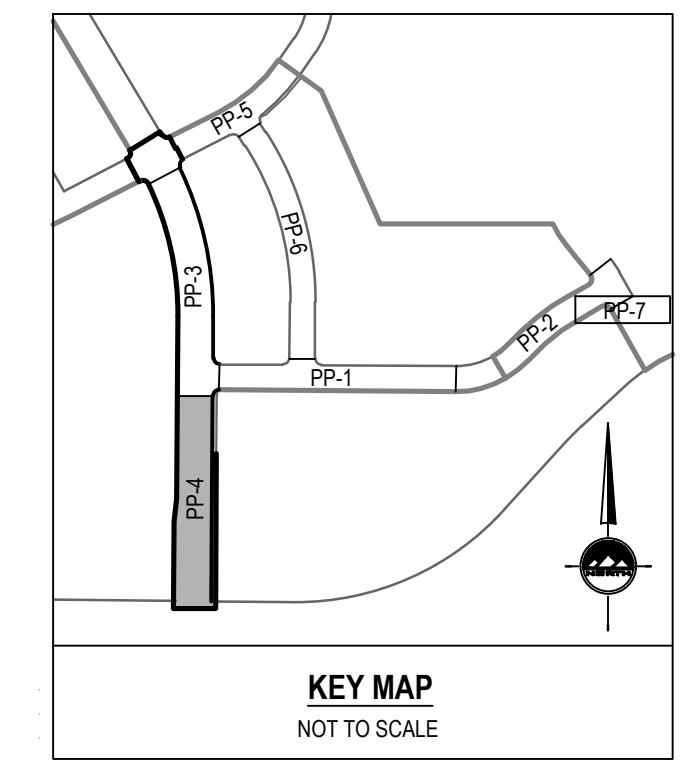
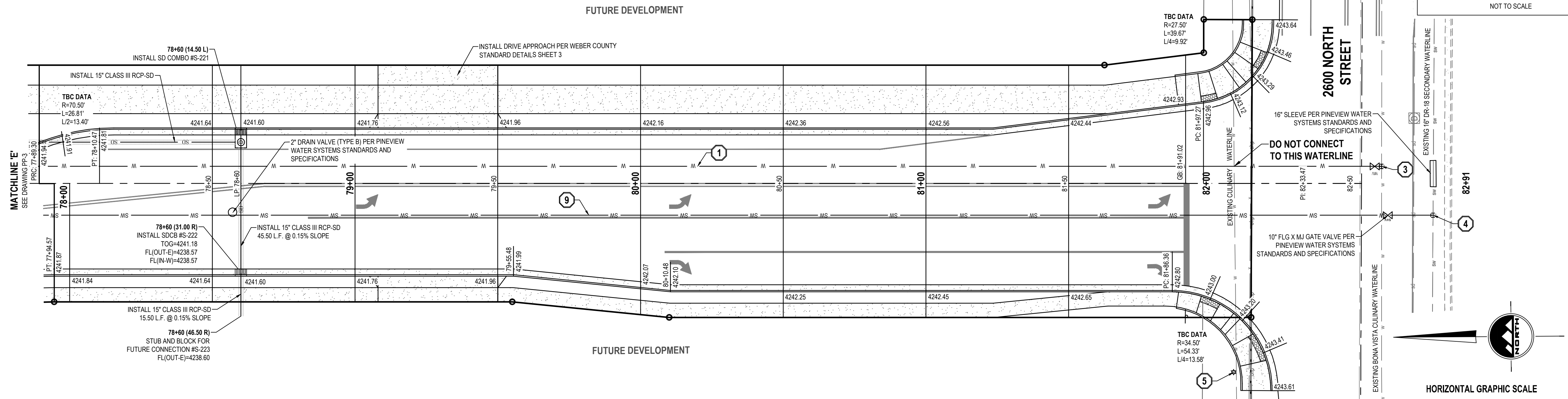
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**2800 WEST 2600 NORTH STREET**  
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**PLAN AND PROFILE**

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**PP-4**





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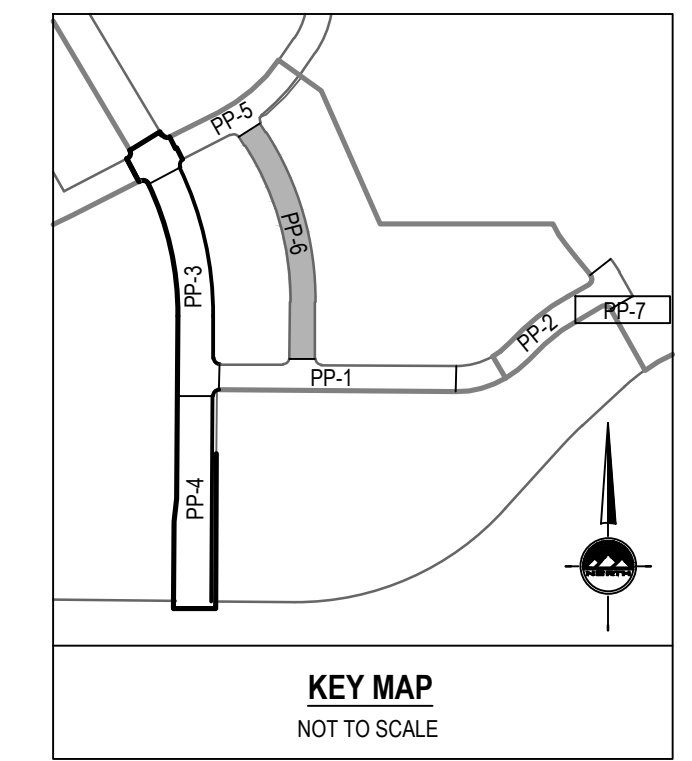
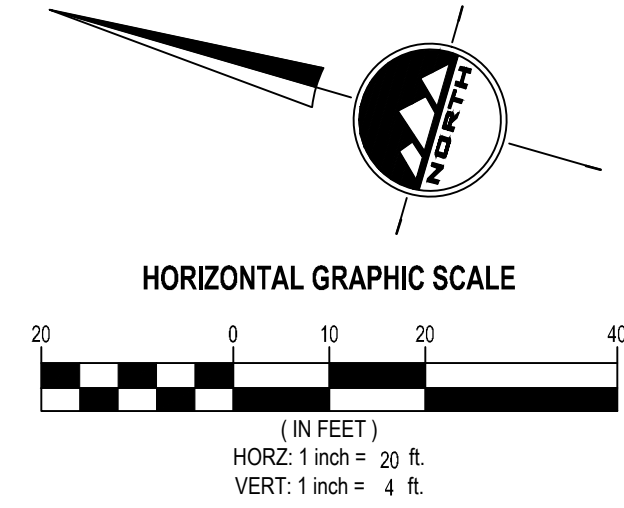
**BENCHMARK**

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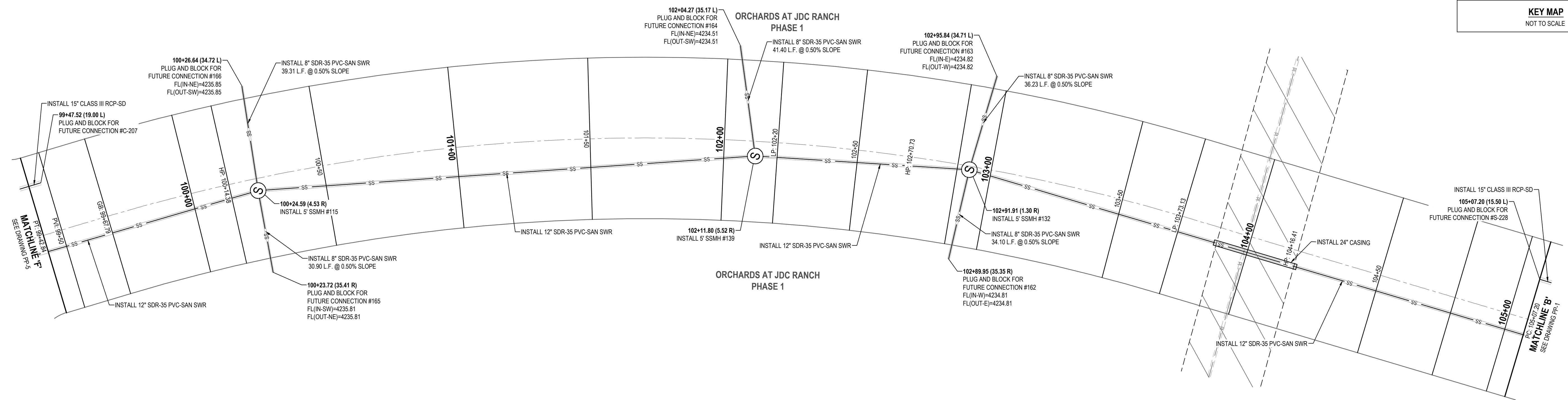
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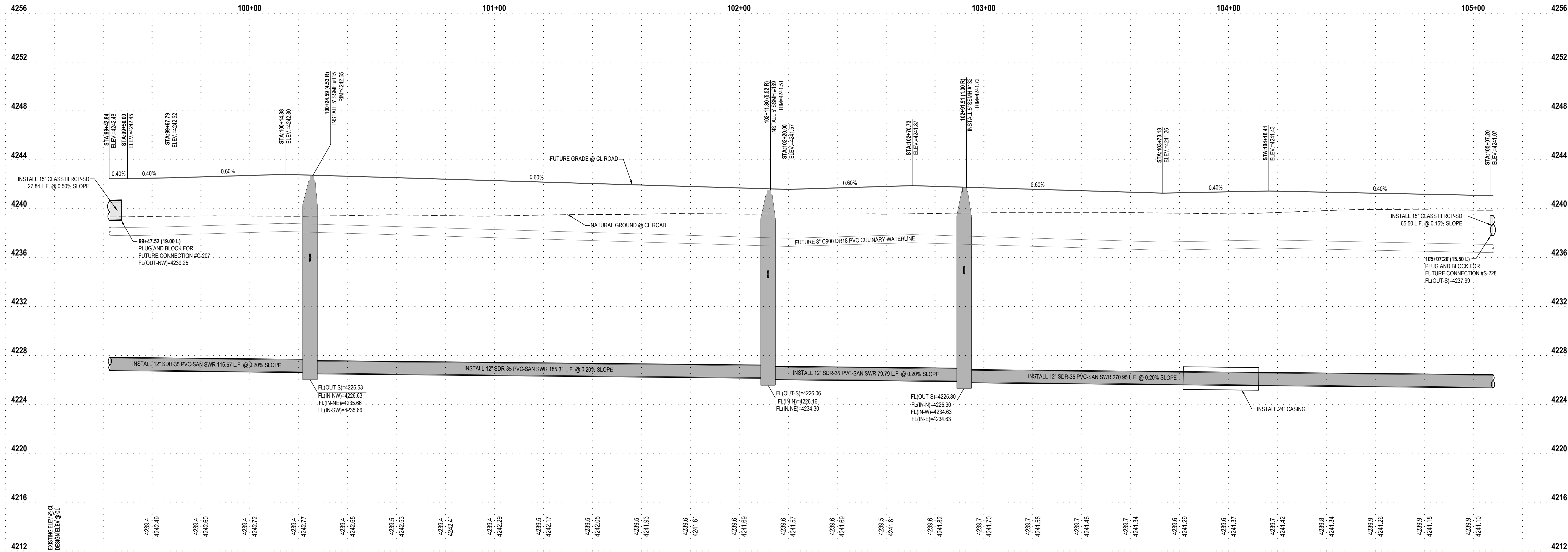
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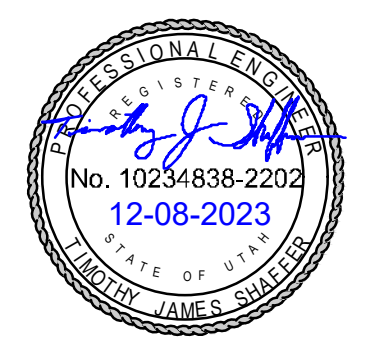
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**OFFSITE UTILITY PLAN AND PROFILE**

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PROJECT MANAGER	DESIGNED BY
CP	TS

**PP-6**

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**HORIZONTAL GRAPHIC SCALE**  
(IN FEET)  
HORZ: 1 inch = 20 ft.  
VERT: 1 inch = 4 ft.

**KEY MAP**  
NOT TO SCALE

**ENSIGN**  
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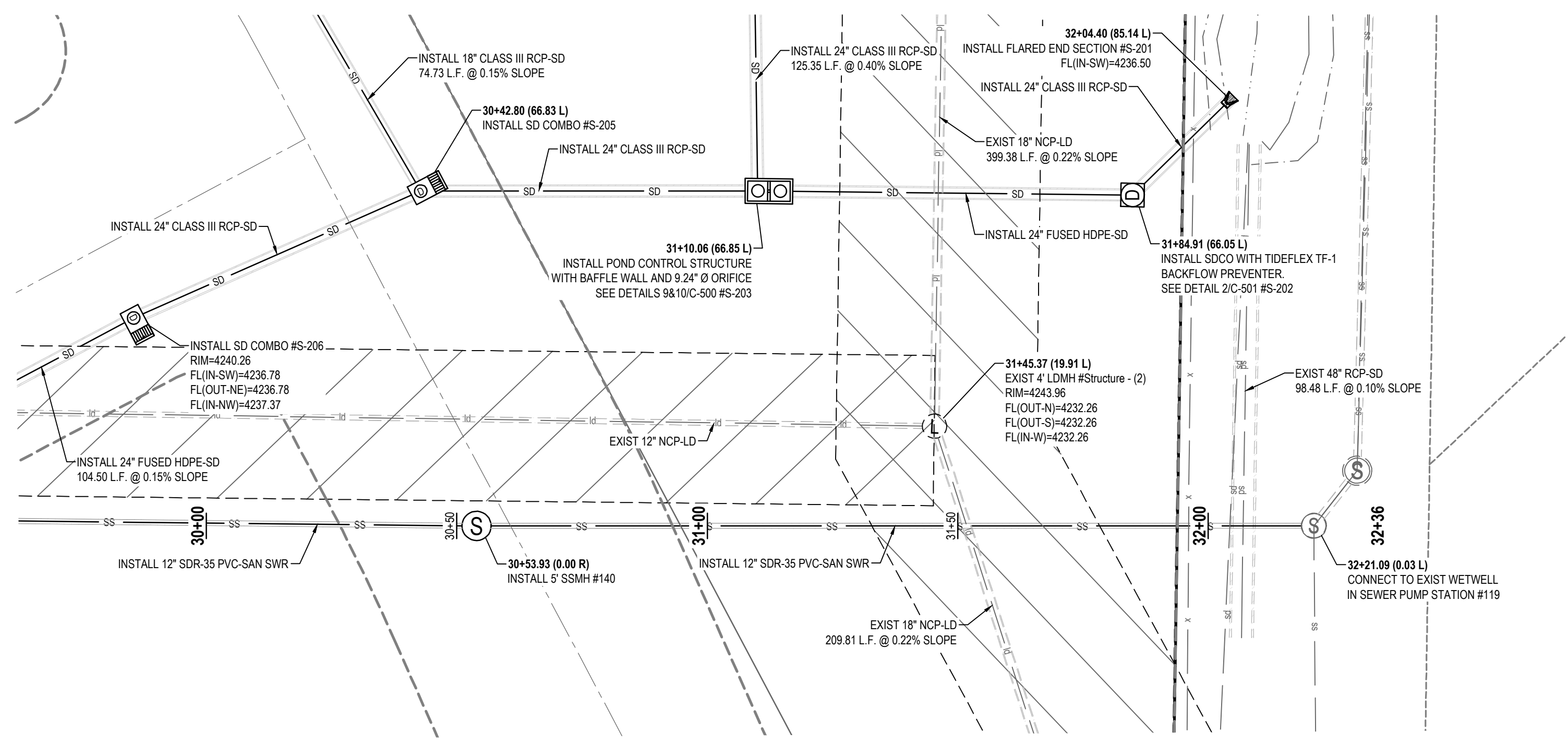
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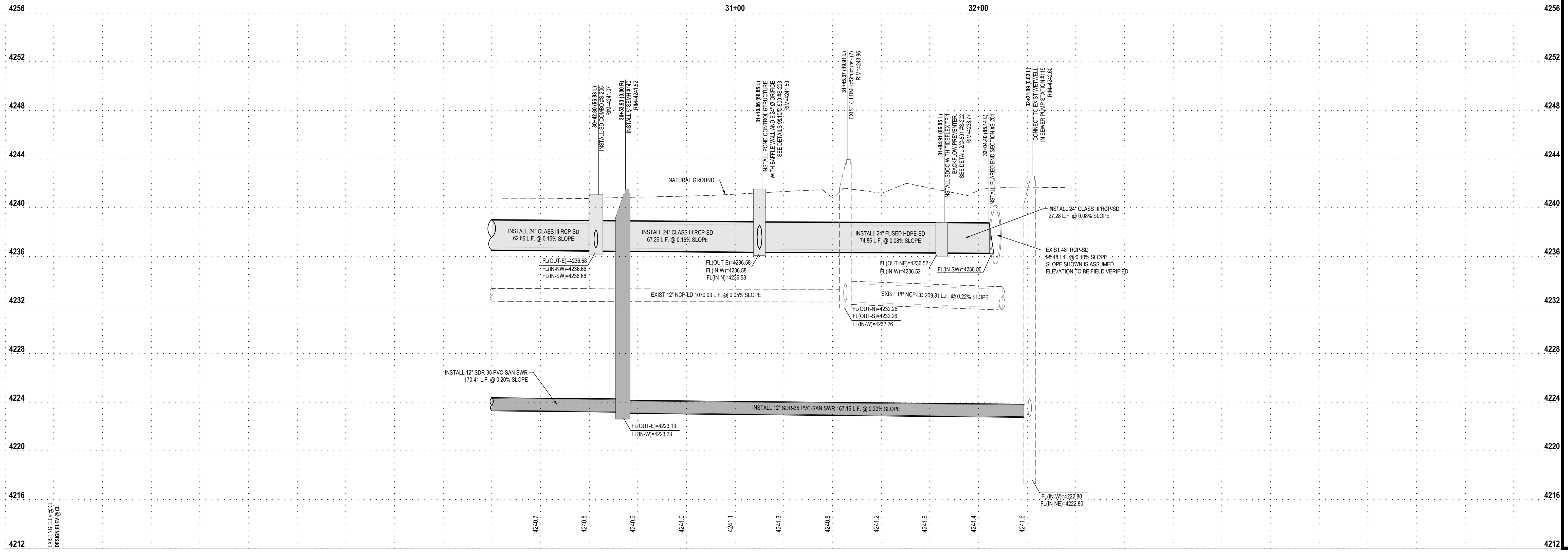
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**OFFSITE UTILITY**



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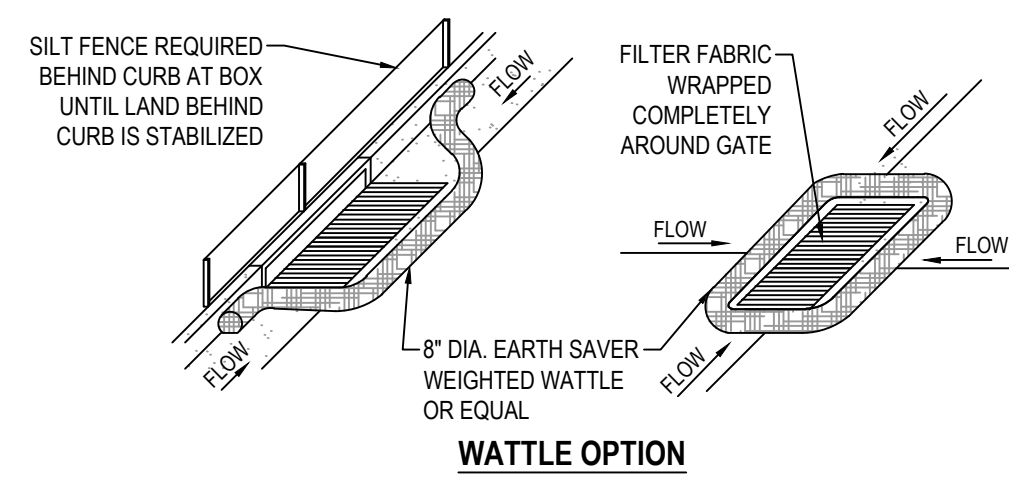
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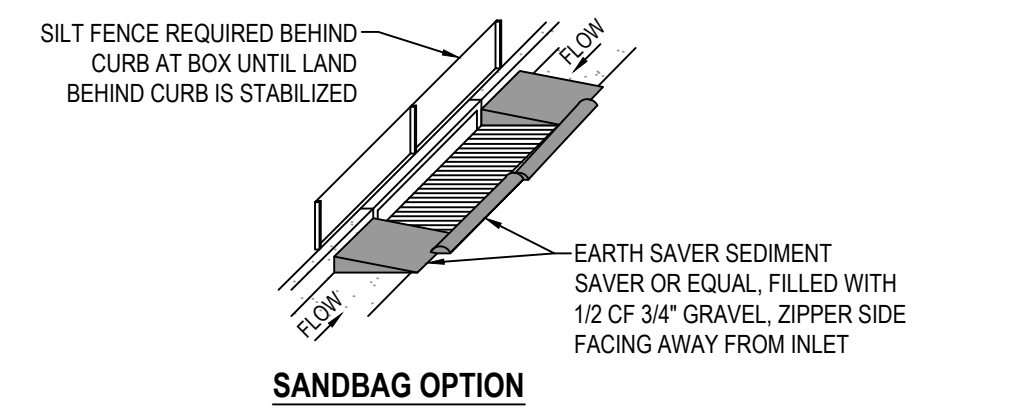
PROJECT NUMBER: 9872  
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DESIGNED BY: TS

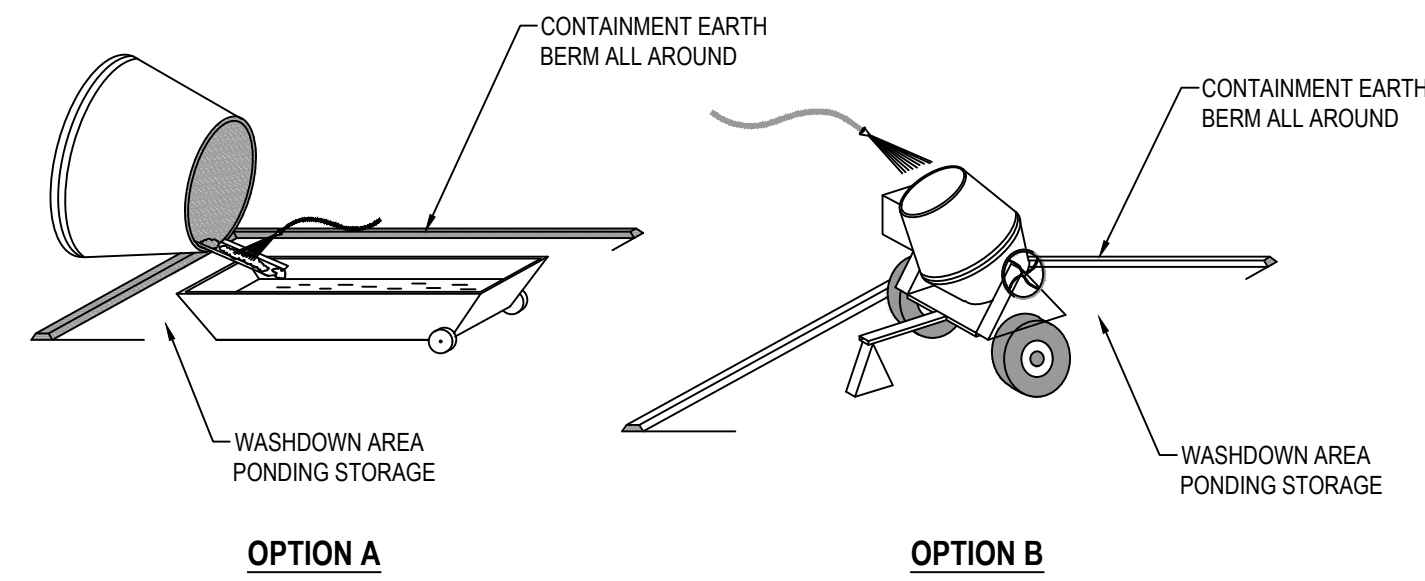


- NOTES:**
1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
  2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
  3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BIWEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
  4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
  5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
  6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED.

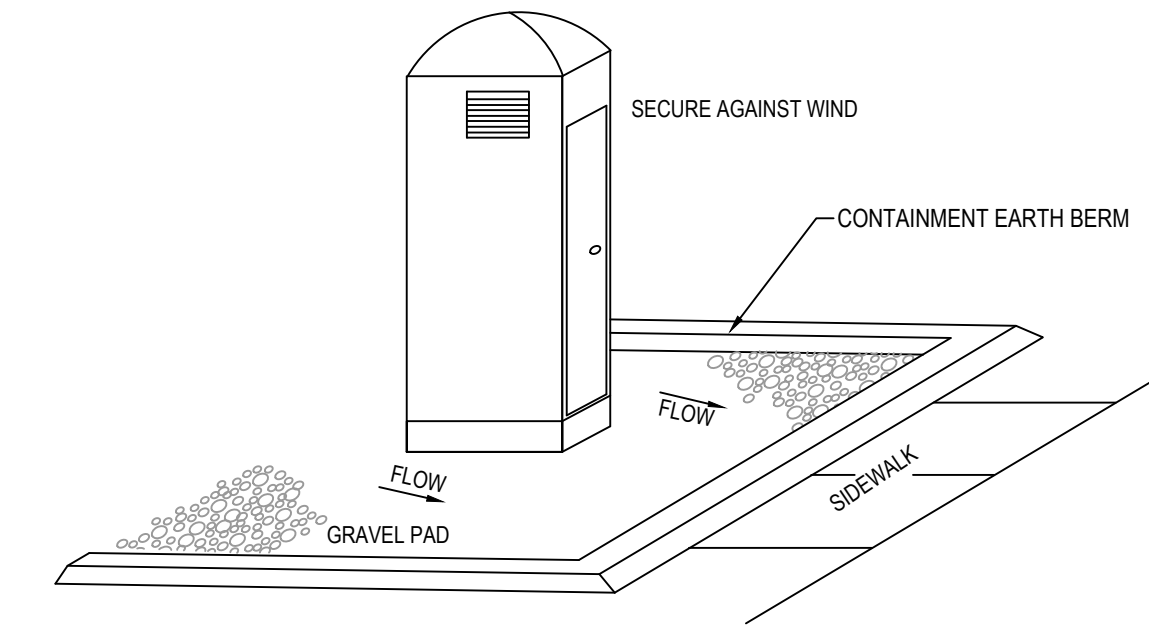


1 SAG INLET PROTECTION SCALE: NONE

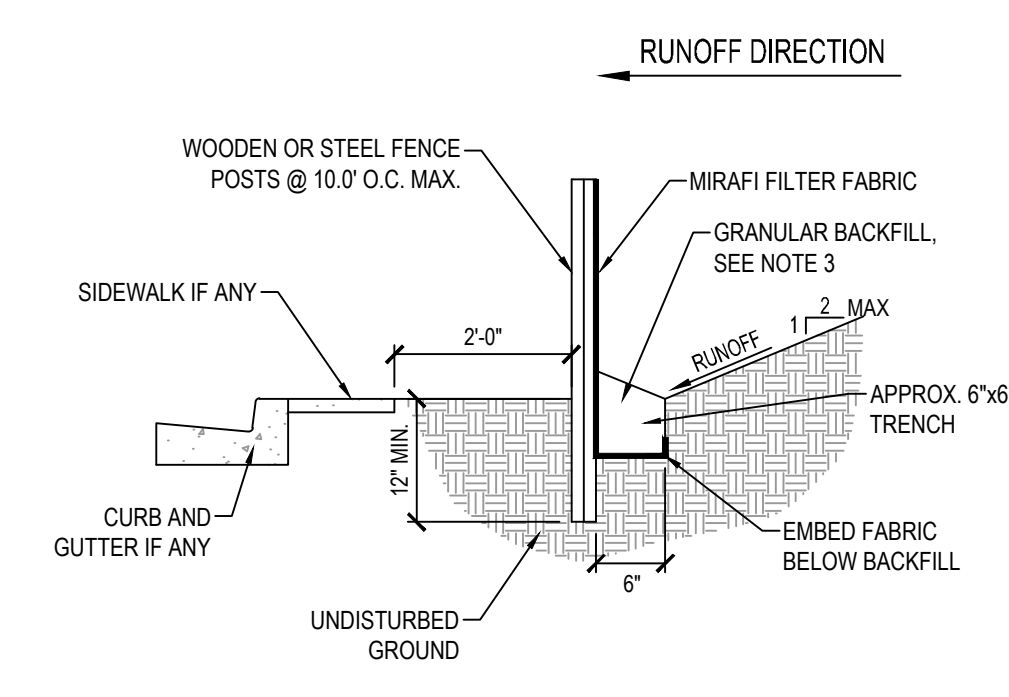
2 STABILIZED CONSTRUCTION ENTRANCE SCALE: NONE



3 CONCRETE WASTE MANAGEMENT SCALE: NONE

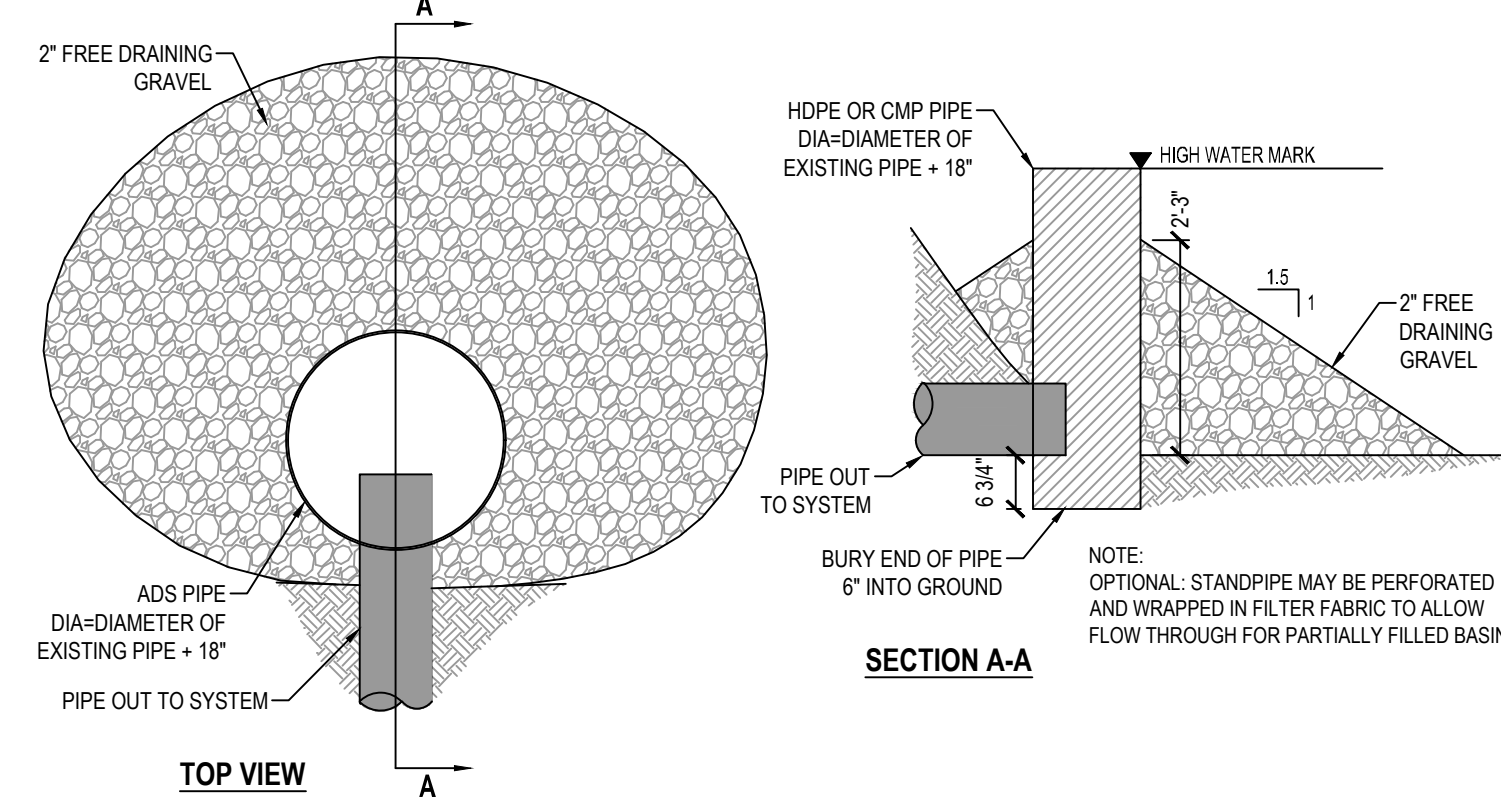


4 PORTABLE TOILET SCALE: NONE

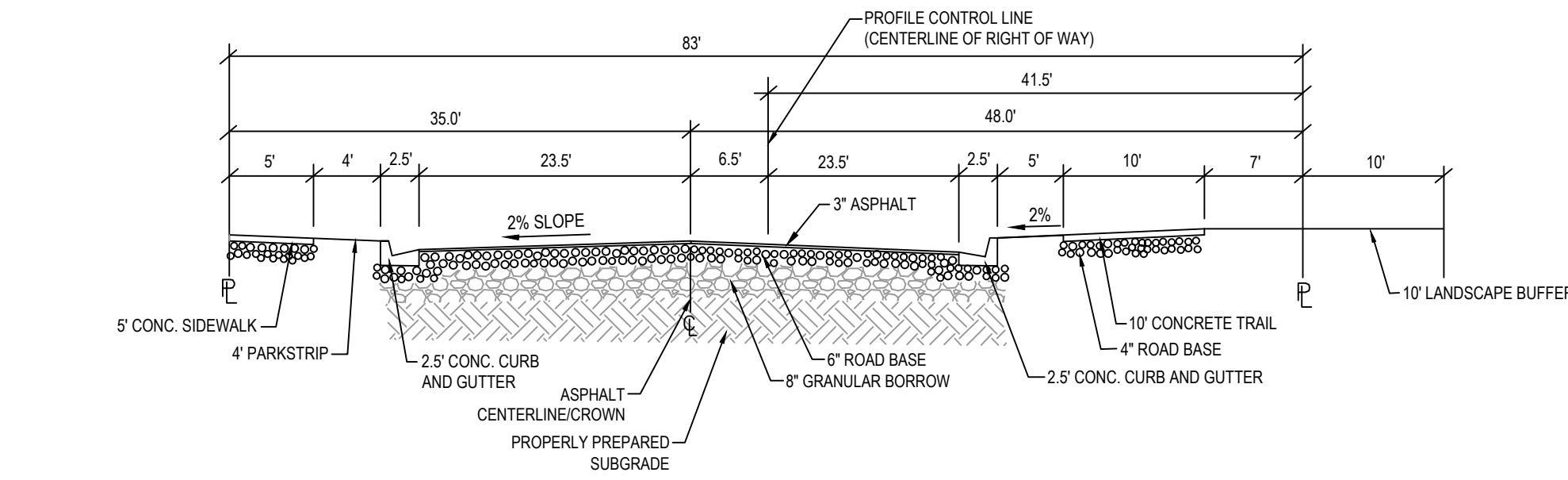


- NOTES:**
1. EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
  2. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
  3. LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
  4. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
  5. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
  6. 10' MAX. SPACING BETWEEN STAKES. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.

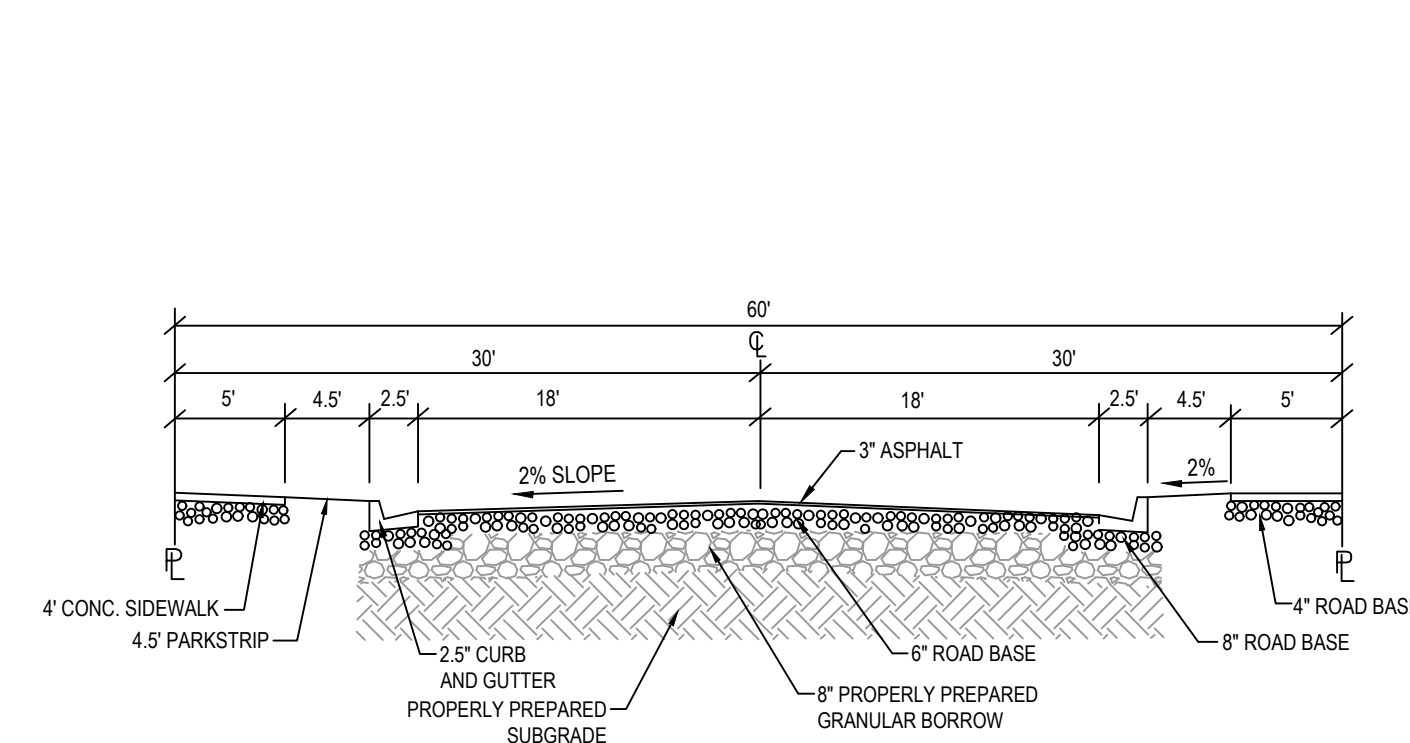
5 TEMPORARY SILT FENCE SCALE: NONE



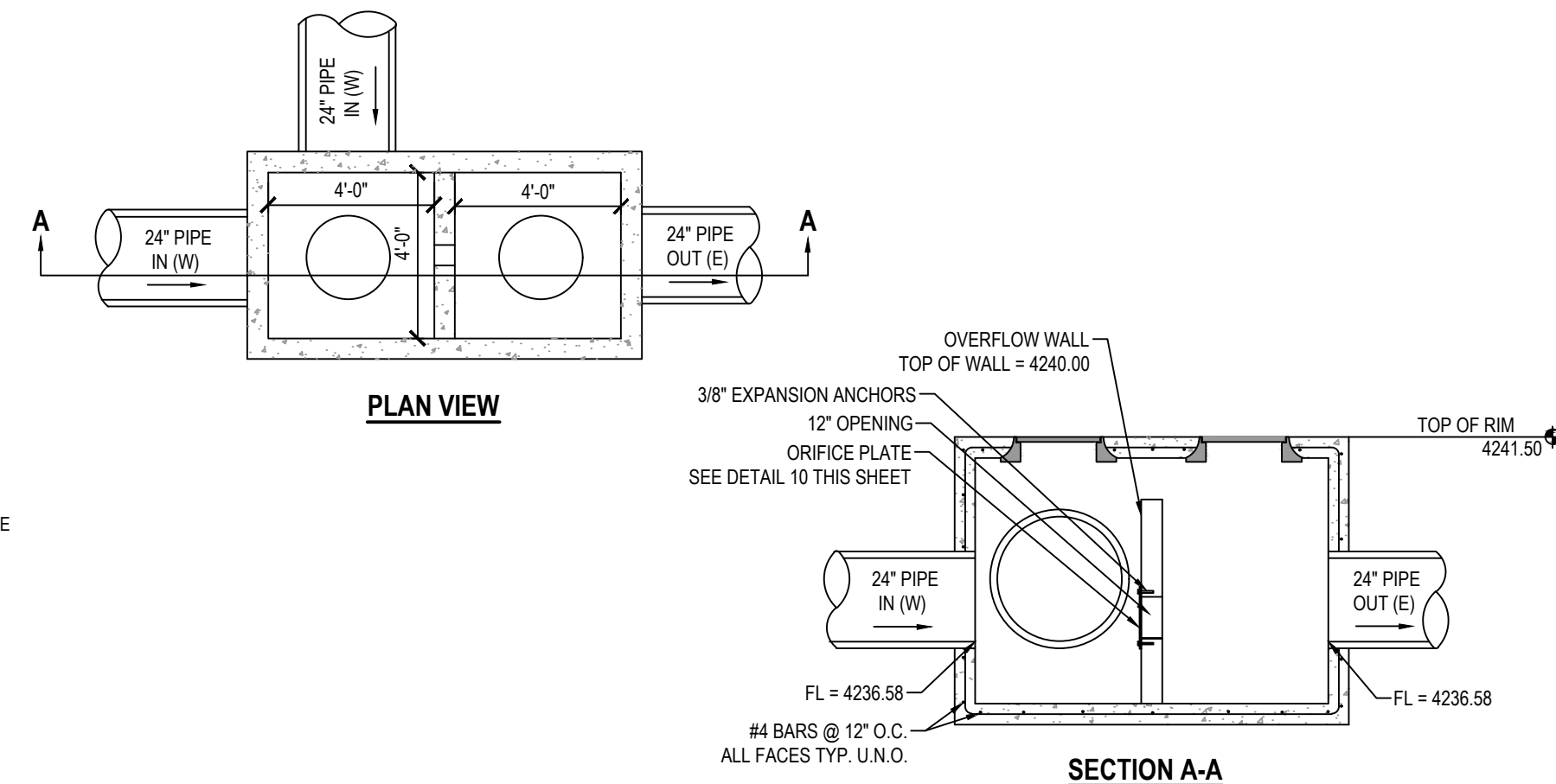
6 TEMPORARY BASIN OUTLET PROTECTION SCALE: NONE



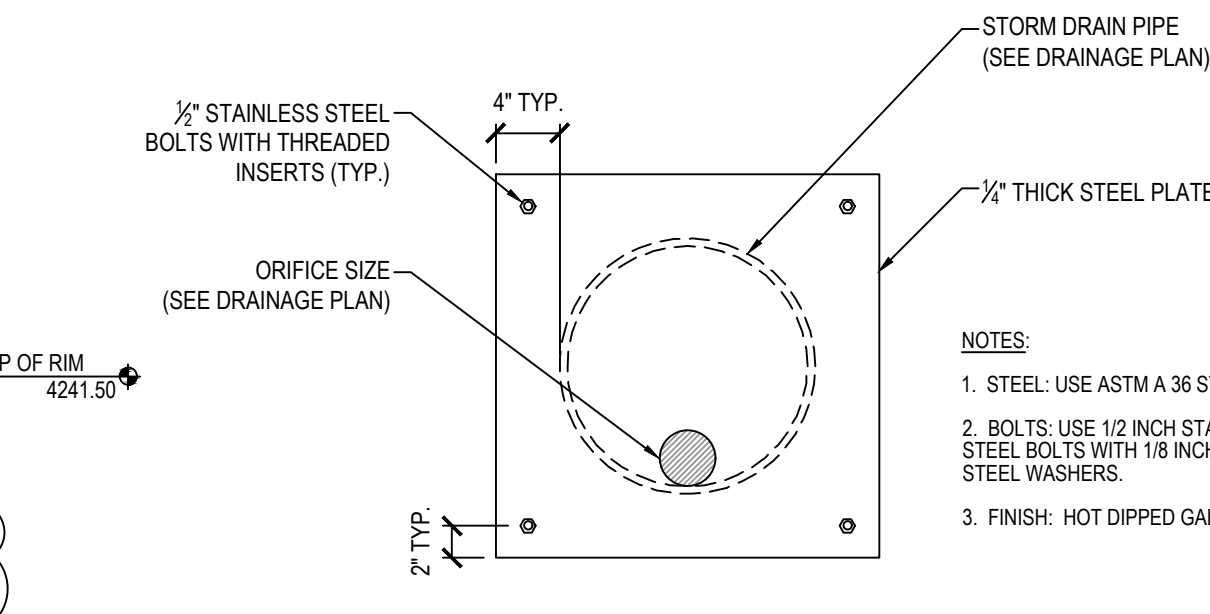
7 TYPICAL 83' STREET CROSS SECTION SCALE: NONE



8 TYPICAL 60' STREET CROSS SECTION SCALE: NONE



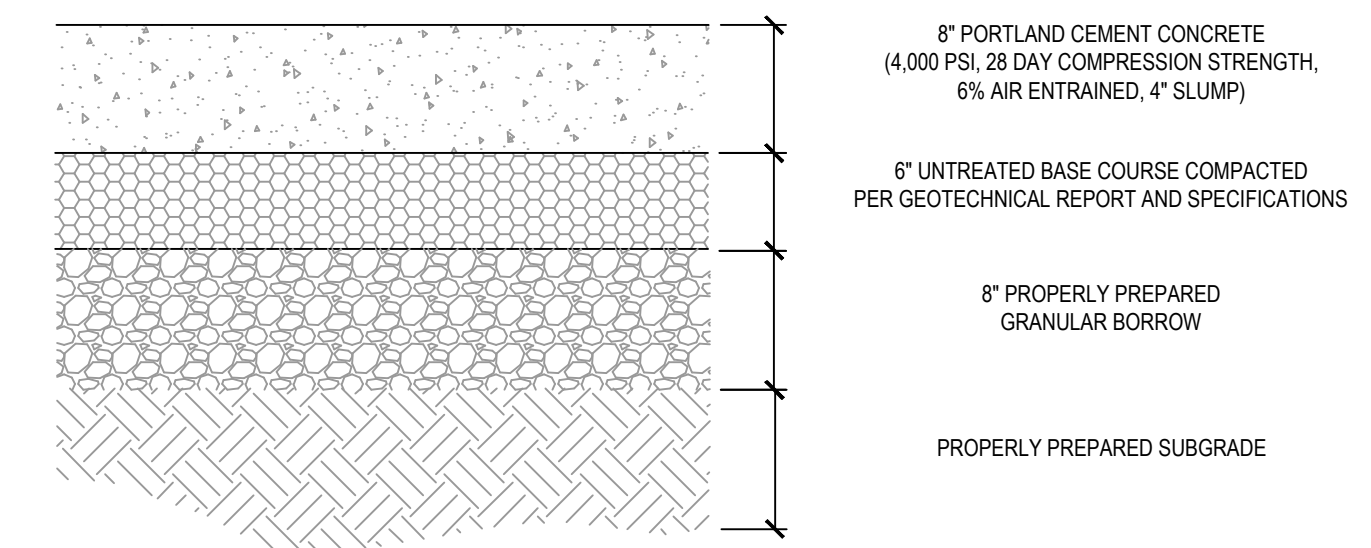
9 POND CONTROL STRUCTURE #215 SCALE: NONE



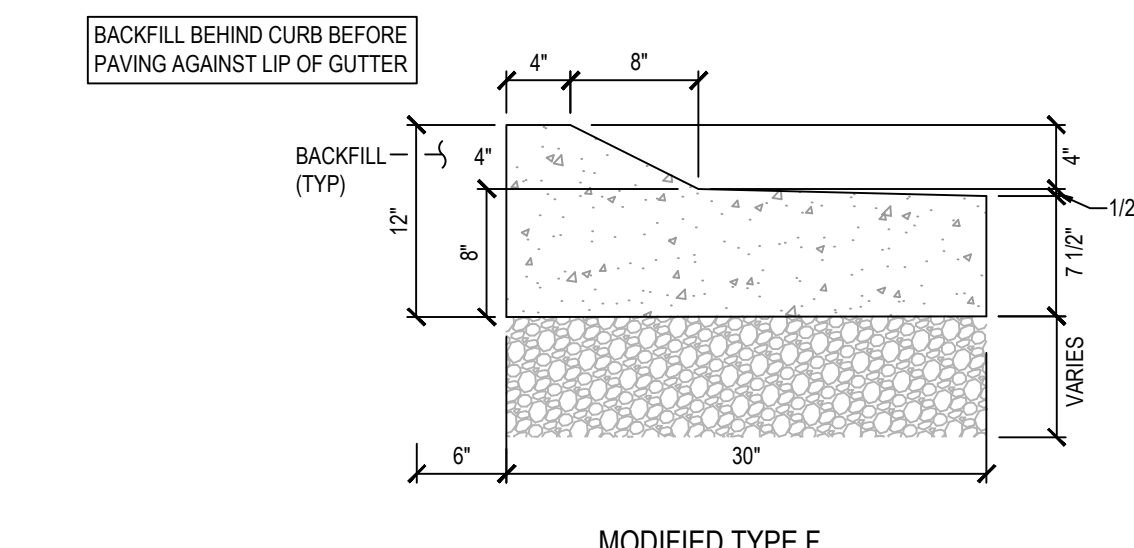
10 ORIFICE PLATE SCALE: NONE

**CONCRETE NOTES**

1. ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
2. ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
3. REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.

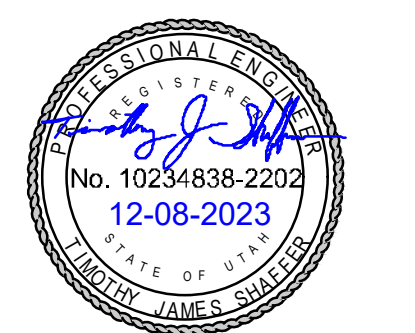


11 CONCRETE PAVEMENT SECTION SCALE: NONE



- GENERAL**
- A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
  - B. Additional requirements are specified in APWA Section 32 16 13.
- PRODUCTS**
- A. Base Course: Untreated base course, APWA section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
  - B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
  - C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
  - D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- EXECUTION**
- A. Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 25.
  - B. Concrete Placement: APWA Section 03 30 10.
    1. Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
    2. Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
    3. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
  - C. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

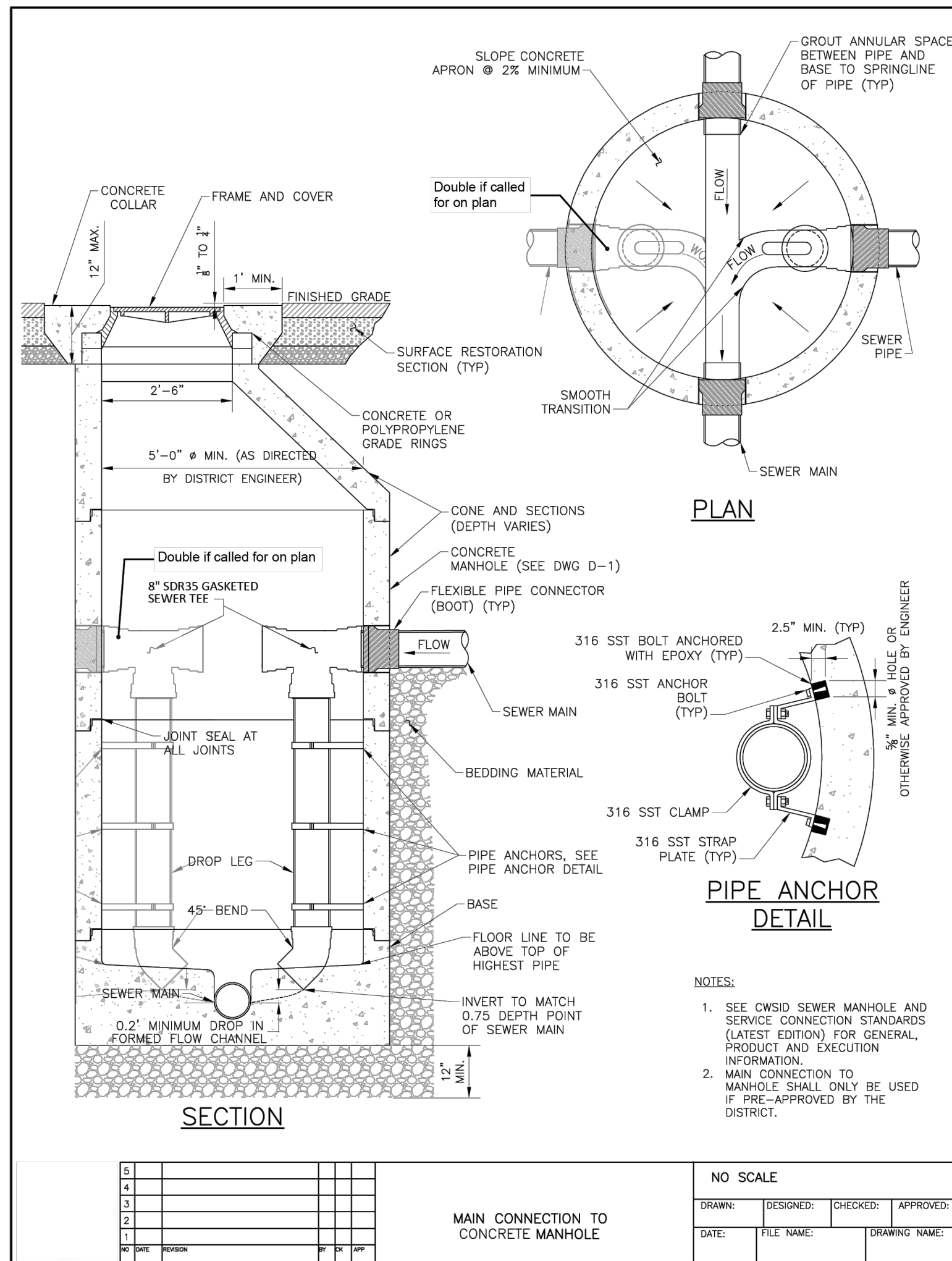
12 MODIFIED 30" REVERSE PAN TYPE 'F' CURB AND GUTTER SCALE: NONE



NO. DATE REVISION FOR REVIEW

**DETAILS**

PROJECT NUMBER 9872 PRINT DATE 2023-12-08  
PROJECT MANAGER CP DESIGNED BY TS



1 DROP MANHOLE SCALE: NONE



Technical Data

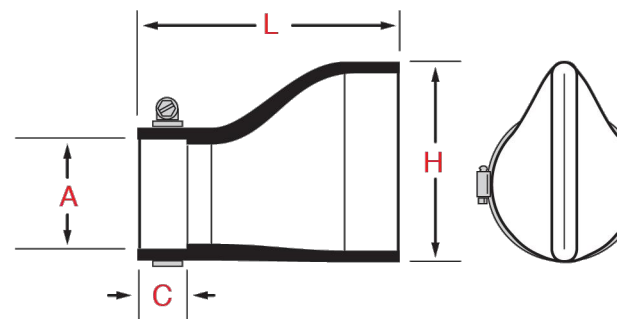
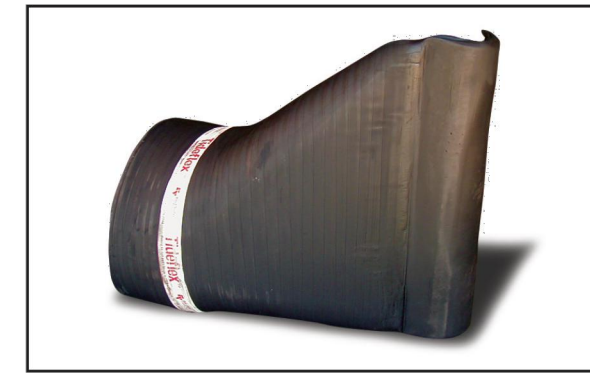
Series TF-1—Tideflex® Check Valve

Features & Benefits

- Ideal for manhole installations
- Lightweight, all-elastomer design
- Seals around entrapped solids
- Cost-effective, maintenance-free design

Materials of Construction

- Elastomers available in Pure Gum Rubber, Neoprene, Hypalon®, Chlorobutyl, Buna-N, EPDM, and Viton®



We are pleased to announce the introduction of the revolutionary TF-1 Check Valve. It functions and operates under the same simple principle of operation as the original TF-2 Tideflex®.

This design is ideal for existing manhole installations where the invert of the pipe is close to the floor of the vault. There are many check valves in interceptors, manholes, and vaults. These vaults are designed so that there would be a maximum gravity head; thus, the invert pipe is as close to the base as possible. The TF-1 allows installations in such applications.

The Tideflex® Technologies Series TF-1 Tideflex® Check Valve is designed for applications in manholes, where the bottom of the manhole is close to the invert of the pipe. The TF-1 configuration allows the valve to be properly installed without manhole modification, ensuring positive backflow prevention and a lifetime of maintenance-free performance.

Pipe O.D.	Length	Bill Height	Cuff Length
4	10	8	1 1/2
5	10	8	1 1/2
6	16	12	2
8	18	16	2
10	23	19	3
12	27	23	4
14	27	23	4
16	35	30	5
18	36	34	6
20	44	37	8
22	44	37	8
24	48	43	8
26	48	43	8
28	48	43	8
30	56	55	9
32	56	55	9
36	67	69	10
38	67	69	10
40	67	69	10
42	61	71	10
44	61	71	10
48	66	78	10
50	66	78	10
54	66	78	10
58	66	78	10
60	73	91	14
68	73	91	14
72	96	115	16

Numbers indicate maximum dimensions in inches.

Tideflex Technologies • 600 N. Bell Ave., Carnegie, PA 15106 USA • 412-279-0044 • Fax 412-279-7878 • www.tideflex.com

2 SERIES TF-1 TIDEFLEX CHECK VALVE SCALE: NONE



LAYTON  
919 North 400 West  
Layton, UT 84041  
Phone: 801.547.1100

SANDY  
Phone: 801.255.0529

TOOELE  
Phone: 435.843.3590

CEDAR CITY  
Phone: 435.865.1453

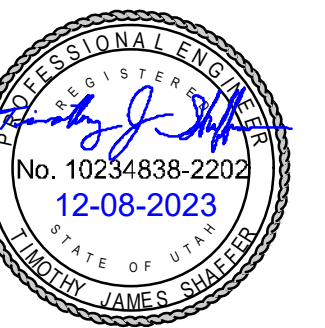
RICHFIELD  
Phone: 435.896.2983

WWW.ENSGNENG.COM

FOR:  
NILSON HOMES  
1740 COMBE RD. SUITE 2  
SOUTH OGDEN, UT 84403

CONTACT:  
STEVE ANDERSON  
PHONE: 801.392.8100

JDC PARKWAY  
2800 WEST 2600 NORTH STREET  
WEBER COUNTY, UTAH



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C-501