

DON SHAW SUBDIVISION NO. 1

A PART OF THE SW 1/4 OF SEC. 6, & THE NW 1/4 OF SEC. 7, T7N, R1E, SLB&M, U.S. SURVEY
WEBER COUNTY, UTAH
AUGUST 1987

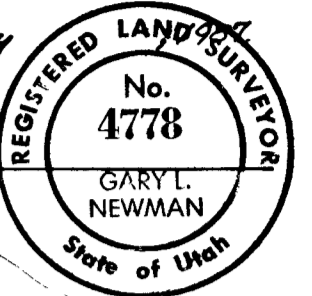
SURVEYOR'S CERTIFICATE

I, Gary L. Newman, a registered land surveyor in the State of Utah, do hereby certify that this plat of Don Shaw Subdivision No. 1 in Weber County, Utah has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office, and of a survey made on the ground.

Signed this 31st day of July

4778
License No.

Gary L. Newman
Signature



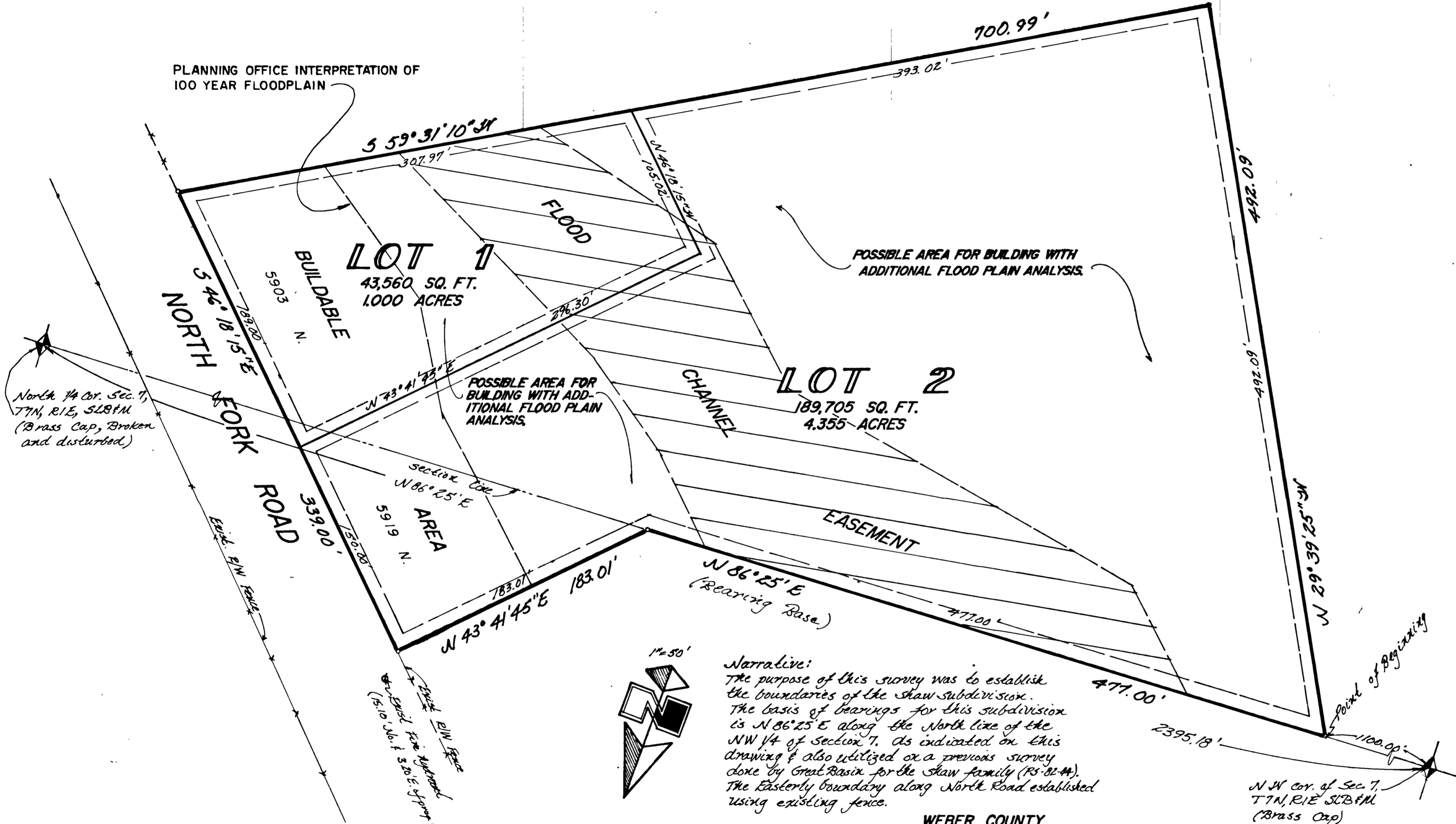
OWNER'S DEDICATION

We, the undersigned owners of the heretofore described tract of land, do hereby set apart and subdivide the same into lots and streets (Private Streets, Private Rights of Way) as shown on the plat and name said tract Don Shaw Subdivision No. 1 and do hereby dedicate, grant and convey to Weber County, Utah all those parts or portions of said tract of land designated as streets (parts) the same to be used as public thoroughfares (streets) forever, and also grant and dedicate a perpetual right and easement over, upon and under the lands designated on the plat as public utility, storm water detention ponds and drainage easements, the same to be used for the installation, maintenance and operation of public utility service lines, storm drainage facilities or for the perpetual preservation of water drainage channels in their natural state whichever is applicable as may be authorized by Weber County, Utah, with no buildings or structures being erected within such easements.

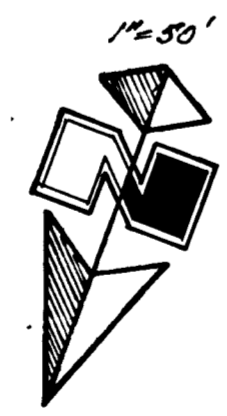
Signed this 5th day of August, 1987.

Don Carlos Shaw
Don Carlos Shaw

Margo Marriott Shaw
Margo Marriott Shaw



North 1/4 Cor. Sec. 7, T7N, R1E, SLB&M (Brass Cap, Broken and disturbed)



Narrative:
The purpose of this survey was to establish the boundaries of the Shaw subdivision. The basis of bearings for this subdivision is N 86° 25' E along the North line of the NW 1/4 of Section 7, as indicated on this drawing & also utilized on a previous survey done by Great Basin for the Shaw family (RS-92-14). The Easterly boundary along North Road established using existing fence.

WEBER COUNTY ATTORNEY

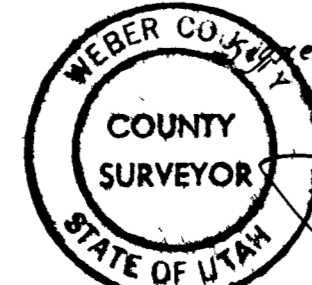
I have examined this Subdivision plat and in my opinion it conforms with the County Ordinance applicable thereto and now in force and effect.
Signed this _____ day of _____, 1987.

Signature

WEBER COUNTY ENGINEER

I hereby certify that I have investigated the lines of survey of the foregoing plat and legal description of the land embraced therein, and find them to be correct and to agree with the lines and monuments on record in this office. I also approve the required improvement standards and drawings for this subdivision and the amount of financial guarantee for these improvements.

Signed this 11 day of SEPT, 1987.
[Signature]
Signature



NOTE: 7' Utility and Drainage Easements each side of Property Line as indicated by dashed lines, unless otherwise shown.
PREPARED BY:
GREAT BASIN ENGINEERING, INC.
CONSULTING ENGINEERS & SURVEYORS
OGDEN & SALT LAKE CITY, UTAH

WEBER COUNTY PLANNING COMMISSION APPROVAL

This is to certify that this subdivision plat was duly approved by the Weber County Planning Commission on the 10 day of Sept., 1987.

[Signature]
for Chairman, Weber County Planning Commission

WEBER COUNTY COMMISSION ACCEPTANCE

This is to certify that this subdivision plat, the dedication and the financial guarantee of public improvements thereon are hereby accepted by the Commissioners of Weber County, Utah this _____ day of _____, 1987.

Chairman, Weber County Commission

ACKNOWLEDGEMENT

State of Utah
County of Weber
On the 5th day of August, 1987, personally appeared before me the undersigned Notary Public, the signers of the above Owners Dedication, & in number, who duly acknowledged to me they signed it freely and voluntarily and for the purposes therein mentioned.

9-17-88
Commission Expires

[Signature]
Notary Public

State of Utah
County of Weber
On the _____ day of _____, 1987, personally appeared before me, _____ who being by me duly sworn did say that they are _____ and that said instrument was signed in behalf of said Corporation by a resolution of its Board of Directors, and acknowledged to me that said Corporation executed the same.

Commission Expires

Notary Public

BOUNDARY DESCRIPTION

A part of the Southwest 1/4 of Sec. 6 and the Northwest 1/4 of Sec. 7, T7N, R1E, SLB&M, U.S. Survey: Beginning at a point 1100.00 N 86° 25' E along the section line from the Brass Cap monument existing at the Northwest corner of said section 7; thence N 43° 41' 45" E 183.01 feet to the Westerly line of North Fork Road; thence S 46° 18' 15" E 339.00 feet along said road; thence S 59° 31' 10" W 700.99 feet; thence N 29° 39' 25" W 492.09 feet to the point of beginning.
Contains 5.355 Acres

WEBER COUNTY RECORDER
ENTRY NO 1024620 FEE PAID \$21.00 FILED FOR RECORD AND RECORDED SEPTEMBER 11, 1987, AT 11:42 AM IN BOOK 29 OF OFFICIAL RECORDS, PAGE 71 RECORDED FOR DON CARLOS SHAW

DOUG CROFTS
WEBER COUNTY RECORDER
BY *Margaret R. Cottle*
DEPUTY