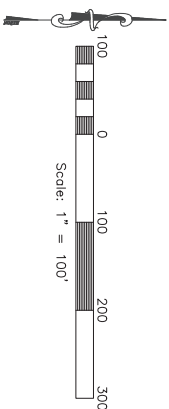
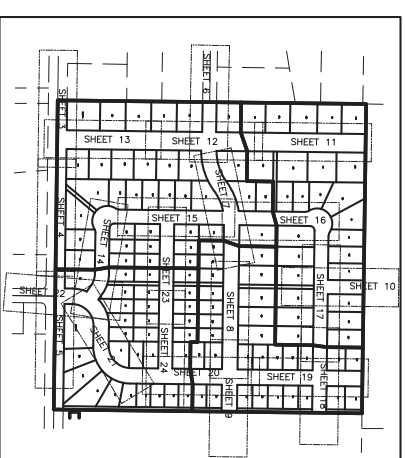
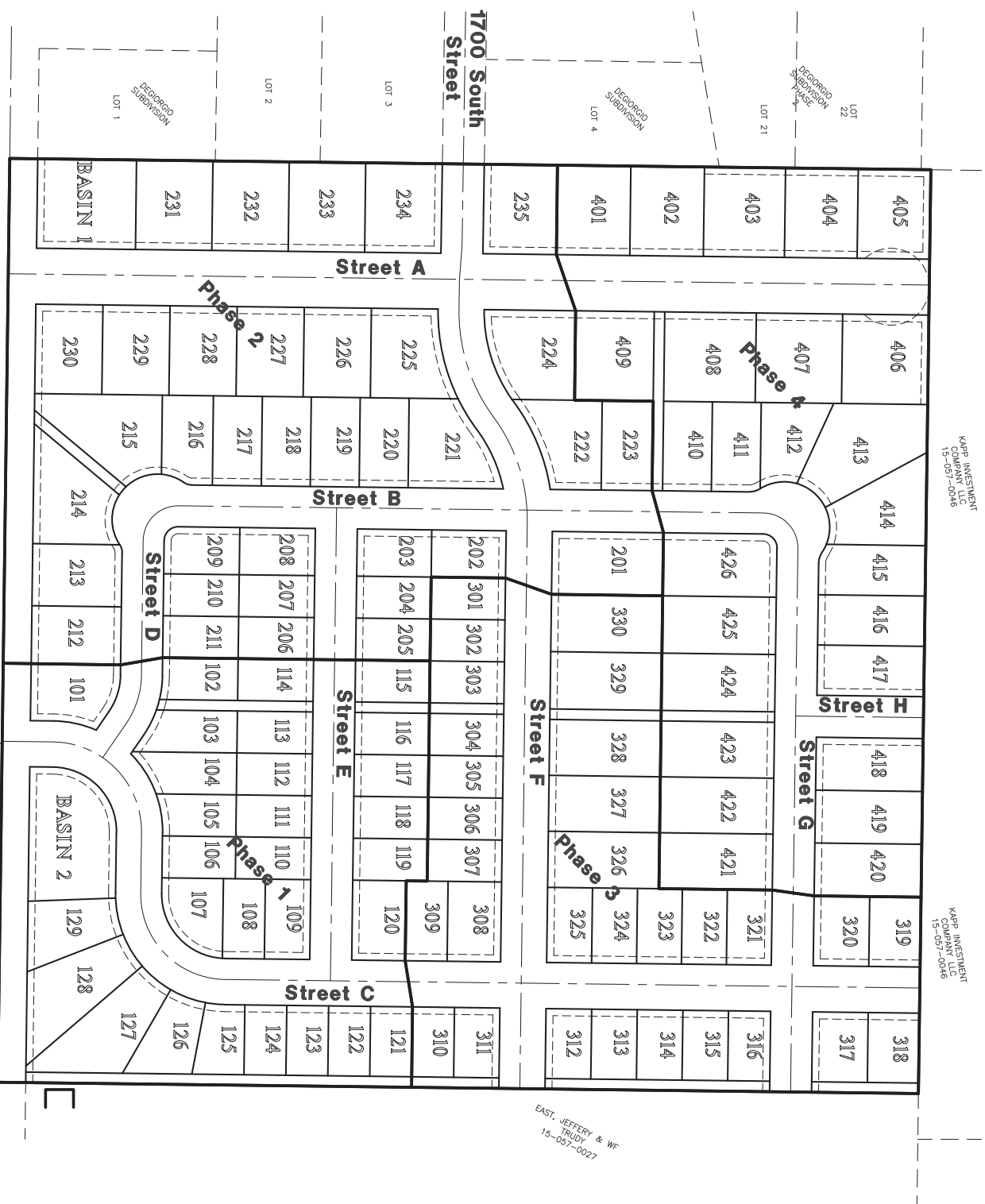


Stagecoach Estates Subdivision Master Plan Improvement Plans

WEBER COUNTY, UTAH
MARCH 2023



Vicinity Map
NOT TO SCALE



Sheet Index Key Map
NOT TO SCALE

Sheet Index

Sheet 1 - Cover/Index Sheet
Sheet 2 - Notes/Legend/Street Cross-Section
Sheet 3 - 1800 South Street - 0+00.00 - 4+50.00
Sheet 4 - 1800 South Street - 4+50.00 - 9+30.00
Sheet 5 - 1800 South Street - 9+30.00 - 14+10.00
Sheet 6 - 1700 South Street - 0+00.00 - 4+50.00
Sheet 7 - 1700 South Street - 4+50.00 - 9+30.00
Sheet 8 - 1700 South Street - 9+30.00 - 13+50.00
Sheet 9 - 1700 South Street - 13+50.00 - 16+00.00
Sheet 10 - Street H - 0+00.00 - 2+00.00
Sheet 11 - Street A - 0+00.00 - 4+50.00
Sheet 12 - Street A - 4+50.00 - 9+30.00
Sheet 13 - Street A - 9+30.00 - 13+25.00
Sheet 14 - Street B, D, & G - 0+00.00 - 4+32.00
Sheet 15 - Street B, D, & G - 4+32.00 - 9+50.00
Sheet 16 - Street B, D, & G - 9+50.00 - 13+92.00
Sheet 17 - Street B, D, & G - 13+92.00 - 18+72.00
Sheet 18 - Street B, D, & G - 18+72.00 - 21+00.00
Sheet 19 - Street C - 0+00.00 - 4+50.00
Sheet 20 - Street C - 4+50.00 - 9+30.00
Sheet 21 - Street C - 9+30.00 - 14+10.00
Sheet 22 - Street C - 14+10.00 - 16+00.00
Sheet 23 - Street E - -0+18.00 - 4+32.00
Sheet 24 - Street E - 4+32.00 - 7+00.00
Sheet 25 - Grading & Drainage Plan
Sheet 26 - Grading & Drainage Plan (Continued)
Sheet 27 - Basin Details
Sheet 28 - Utility Plan
Sheet 29 - Utility Plan (Continued)
Sheet 30 - Civil Details
Sheet 31 - Storm Water Pollution Prevention Plan Exhibit
Sheet 32 - Storm Water Pollution Prevention Plan Details

Engineer's Notice To Contractors:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY AND ALL UTILITIES KNOWN AND NOT SHOWN ON THESE PLANS. THE CONTRACTOR'S RESEARCH, AND OTHERS NOT ON RECORD OR NOT SHOWN ON THESE PLANS.



Surveyor:
Jason Felt
Reeve & Associates, Inc.
5160 South 1500 West
Riverton, Utah, 84405
PH:(801) 621-3100

Developer Contact:
Pat Burns
Lync Construction
1407 North Mountain Road
North Ogden, Utah 84404
PH: (801) 710-2234

Notice:
THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE. IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.

Project Contact:
Jeremy Dropper
Reeve & Associates, Inc.
5160 South 1500 West
Riverton, Utah 84405
PH:(801) 621-3100

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERTON, UTAH 84405
TEL: (801) 621-3100 www.reeve.co
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	
DATE	DESCRIPTION

Stagecoach Estates Subdivision
WEBER COUNTY, UTAH
Cover/Index Sheet



Project Info:
Engineer: JEFFREY A. DRAEFER, P.E.
Drafter: C. KINGSTLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
PHASE: 14
Number: 0238-14
1 Total Sheets

General Notes:

1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, ASSOCIATION (UPMA), AND THE DESIGN ENGINEER. THE OWNER LISTED ABOVE IS AWARED BY SIGNATURE. IF A CONSTRUCTION PROJECT IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
2. CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO, EXISTING AND PROPOSED, SHALL BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.
3. TRAFFIC CONTROL, STRIPING & SIGNAGE TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. OWNER: OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
5. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
6. AT ALL LOCATIONS WHERE EXISTING PARALLEL ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT OF ADA ACCESSIBILITY GUIDELINES.
7. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
8. PRIOR STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS FROM APPLICABLE AGENCIES HAVE BEEN OBTAINED. NO CONSTRUCTION OR ABANDONMENT SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
9. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY. WORK WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
10. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY.
11. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND THE LOCATION OF ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND THE LOCATION OF ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
12. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS REGARDING NECESSARY PLAN OR GOUD CHANGES.
13. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE RECOMMENDATIONS SET FORTH IN THESE PLANS SHALL BE OBTAINED FROM THE DESIGN ENGINEER OR INSPECTING AUTHORITY.
14. CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY AND THROUGHOUT THE PERIOD OF THE CONTRACT. BE LICENSED IN THE STATE OF UTAH.
16. WHERE THE PROJECT IS LOCATED AND SHALL BE BONDED FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTAINED IN THE PLANS AND SPECIFICATIONS, CONTRACTOR SHALL BE SKILLED AND REGULARLY TRAINED TO DO THE TYPE OF WORK CONTAINED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY TRAINED TO DO THE TYPE OF WORK CONTAINED IN THE PLANS AND SPECIFICATIONS.
17. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATION OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND THE DEPTH OF THE EXISTING CONDITIONS OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND THE LOCATION OF ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
18. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
20. CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BEACH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR NEGLIGENCE.
21. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE NEGLIGENCE OF THE CONTRACTOR ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SILENT NEGLIGENCE OF THE OWNER OR THE ENGINEER.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTIONS SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
23. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS TO BE REPLACED OR REPAIRED. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
24. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO THE ORIGINAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
25. CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, FIELD NOTES, AND ALL OTHER INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
26. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE PROJECT SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
28. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVED MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
29. CONTRACTOR SHALL PROVIDE ALL STOPPING, BRACING, STORING OR OTHER PRECAUTIONS NECESSARY TO PROTECT WORKMEN FOR CONSTRUCTION SHALL CONFORM WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR OCCUPATION AND TRAFFICKS.
30. ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.

Utility Notes:

1. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-PRINTED, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREIN WITHOUT THEIR CONSENT.

Notice to Contractor:

THE CONTRACTOR IS SPECIFICALLY ADVISED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE INFORMATION PROVIDED BY THE OWNER. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

THE CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.

- NOTE: 1. CAMOUT EXISTING ASPHALT INSIDE FROM OUTER EDGE FOR TACK SEAL OF NEW ASPHALT
2. CONTRACTOR TO VERIFY 2% MIN. AND 5% MAX SLOPE FROM EDGE OF ASPHALT TO UP OF GUTTER

Survey Control Notes:

THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING CONSTRUCTION STAKING. THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND METHODS SHALL BE SUBJECT TO INSPECTION BY THE COUNTY ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DESIGN ENGINEER AND THE DESIGN ENGINEER'S FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAY. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A NOTICE OF INTENT WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES SHALL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR MAINTENANCE IS REQUIRED. EROSION CONTROL MEASURES SHALL BE DOCUMENTED AND CHECKS OF THE MEASURES KEPT ON SITE.

SEMI-ANNUAL MAINTENANCE SHOULD BE REQUIRED AFTER EQUAL RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPRESSION REACHES APPROXIMATELY ONE-TWO THE HEIGHT OF BARRIER.

SEMI-ANNUAL MAINTENANCE SHOULD BE REQUIRED AFTER EQUAL RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPRESSION REACHES APPROXIMATELY ONE-TWO THE HEIGHT OF BARRIER.

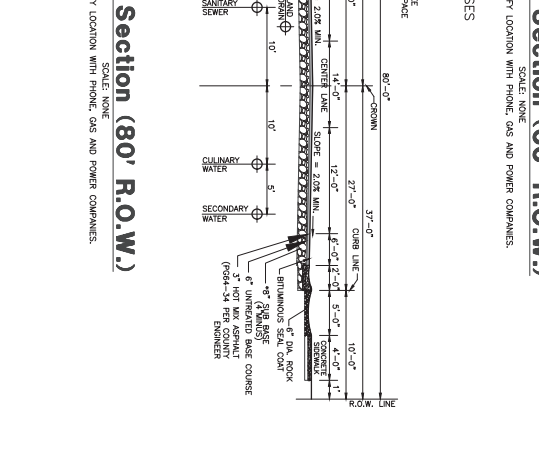
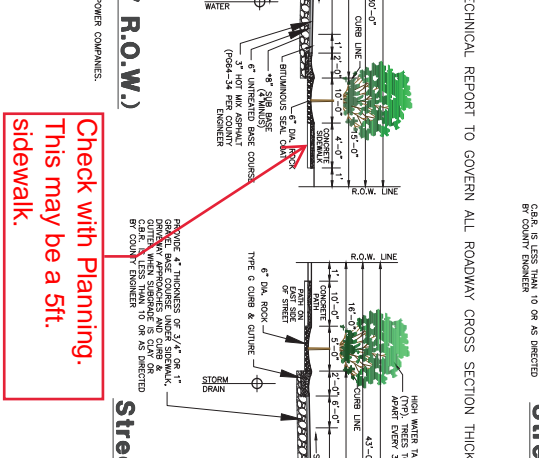
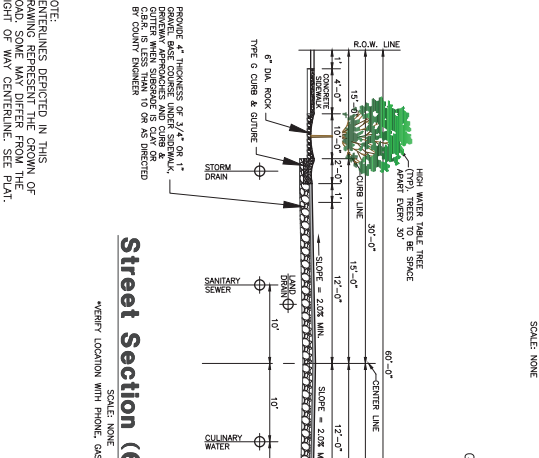
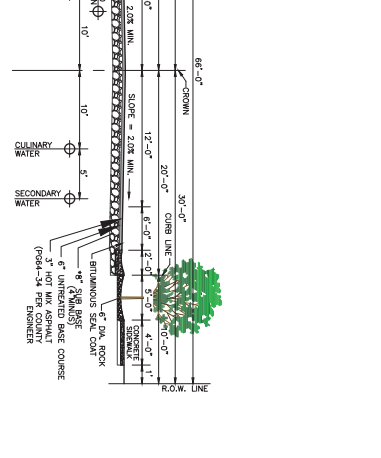
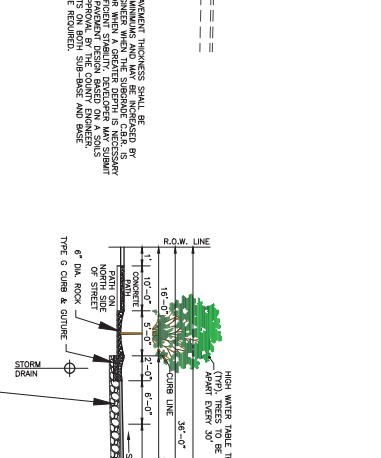
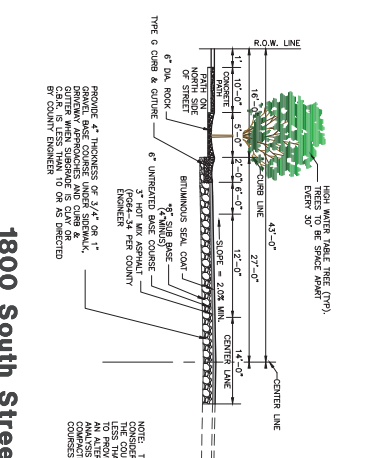
SEMI-ANNUAL MAINTENANCE SHOULD BE REQUIRED AFTER EQUAL RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPRESSION REACHES APPROXIMATELY ONE-TWO THE HEIGHT OF BARRIER.

ANY EXPOSED SOLE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS SHALL BE PROTECTED BY A 1/2" THICKNESS OF 3/4" OR 1" GRANULAR FILL OR OTHER APPROVED MATERIALS.

- a) SPRAYING DISTURBED AREAS WITH A HATCHER VIA HYDROSEED
- b) INSTALLING STRIP FERRUCULOUS MULCH
- c) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Legend

SW	PROPOSED SECONDARY WATER LATERAL	■	RIGHT-OF-WAY
LD	PROPOSED LAND DRAIN LATERAL	■	STORM DRAIN
W	PROPOSED WATER LATERAL	■	SANITARY SEWER
SS	PROPOSED SWIRE LATERAL	■	TOP BACK OF CURB
W/B	PROPOSED CULINARY WATER LINE	■	TOP OF ASPHALT
W/B	PROPOSED CULINARY WATER LINE	■	TOP OF CONCRETE
W/B	PROPOSED CULINARY WATER LINE	■	TOP OF FINISHED FLOOR
W/B	PROPOSED SECONDARY WATER LINE	■	TOP OF WALL
W/B	PROPOSED SECONDARY WATER LINE	■	TOP OF SIDEWALK
W/B	PROPOSED SANITARY SEWER LINE	■	UNDERGROUND POWER
W/B	PROPOSED SANITARY SEWER LINE	■	CULINARY WATER
W/B	PROPOSED SANITARY SEWER LINE	■	WATER METER
W/B	PROPOSED SANITARY SEWER LINE	■	EXISTING ASPHALT PAVEMENT
W/B	PROPOSED SANITARY SEWER LINE	■	PROPOSED ASPHALT PAVEMENT
W/B	PROPOSED SANITARY SEWER LINE	■	PROPOSED CONCRETE
W/B	PROPOSED SANITARY SEWER LINE	■	PROPOSED GRAVEL
W/B	PROPOSED SANITARY SEWER LINE	■	EXISTING CONTOUR GRADE
W/B	PROPOSED SANITARY SEWER LINE	■	PROPOSED CONTOUR GRADE



Project Info:

Begin Date: MARCH 2023

Name: STAGECOACH ESTIMATES

Subdivision: STAGECOACH ESTIMATES

Phase: SUBDIVISION

Number: 0239-14

32 Total Sheets

Stagecoach Estates Subdivision

WEBER COUNTY, UTAH

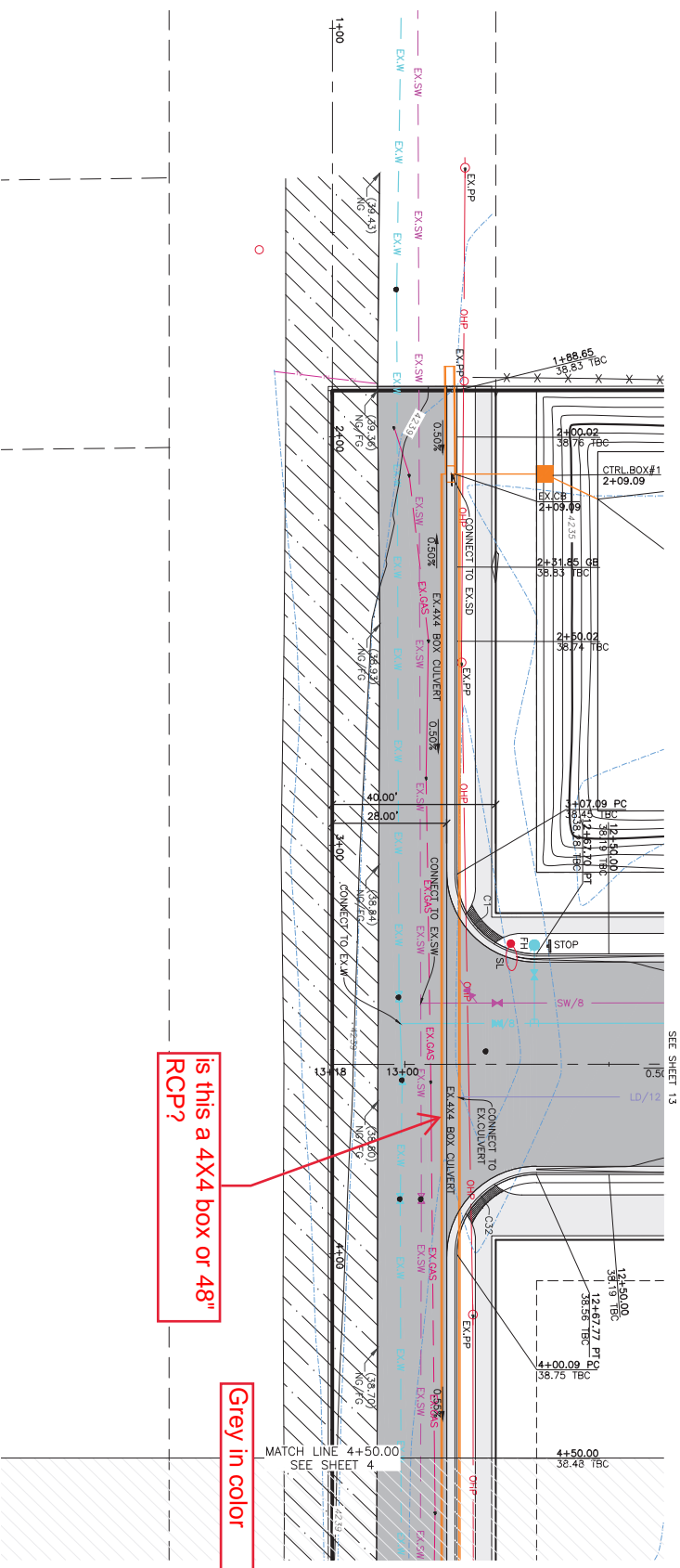
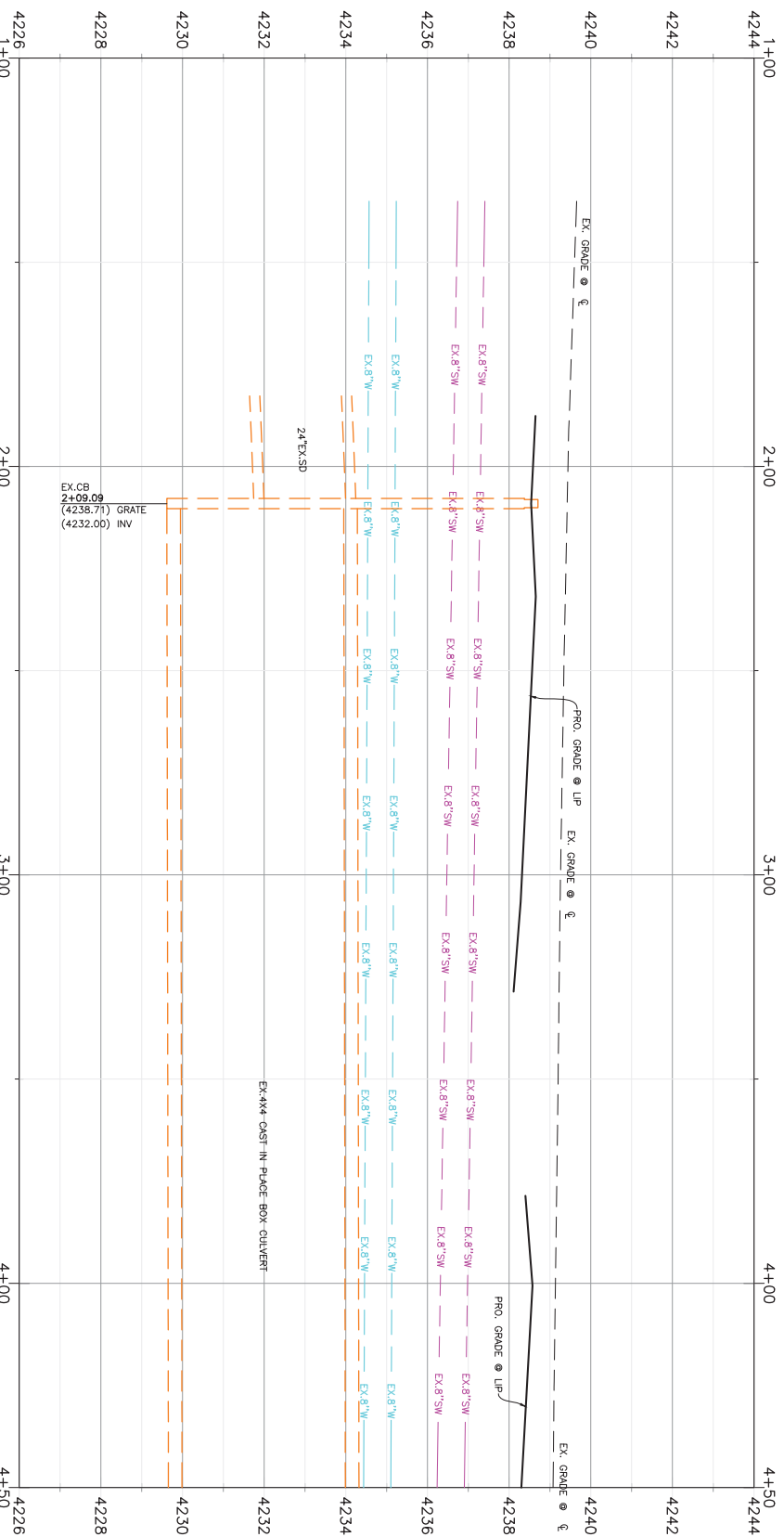
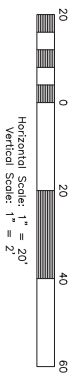
Notes/Legend/ Street Cross-Section

Reeve & Associates, Inc.

5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeveco.com

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LEADSCAPE ARCHITECTS

1800 South Street 0+00.00 - 4+50.00

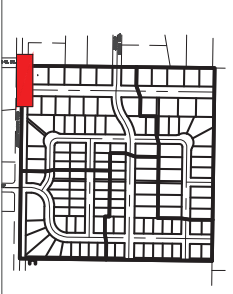


is this a 4X4 box or 48\"/>

Grey in color

TBC Curve Data						
#	Delta	Radius	Length	Tangent	Chord	Ch Length
C1	9702°24'	19.50'	30.64'	19.51'	N45°43'37"E	27.59'
C32	89°57'36"	19.50'	30.62'	19.49'	S44°16'23"E	27.57'

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
 - 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.
- QUINARY WATER**
NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL
- SANITARY SERVICE**
S5/4 - 4" PVC SDR-35 SERVICE LATERAL
S5/8 - 8" PVC SDR-35 SERVICE LINE
- STORM DRAIN**
SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN
- SECONDARY WATER**
SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SECONDARY SERVICE LATERAL PER CITY STANDARDS



Construction Notes:

Key Map
NOT TO SCALE

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



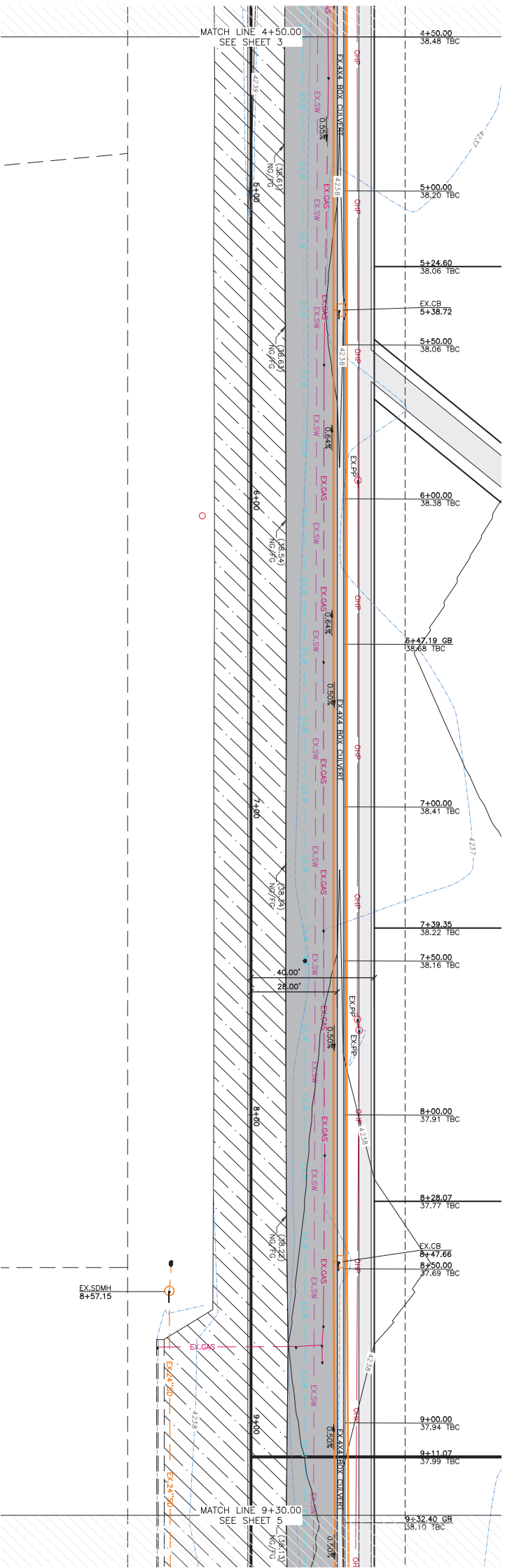
Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION PHASE 1
Number: 6298-14



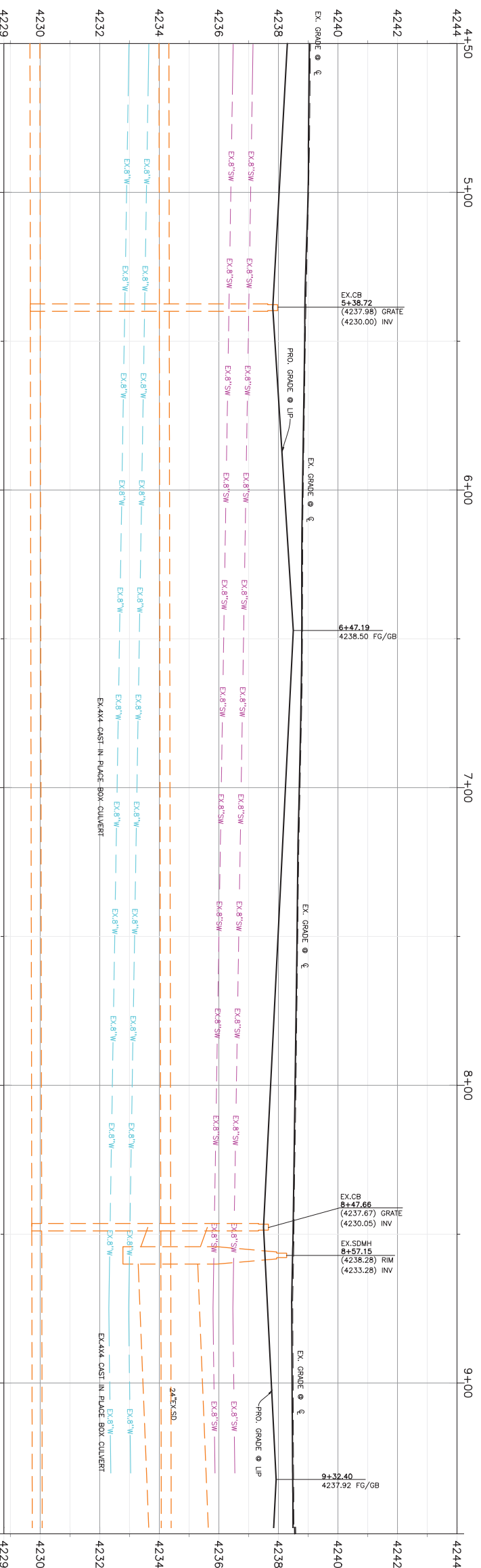
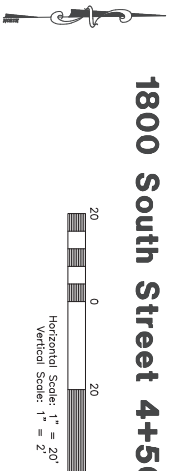
Stagecoach Estates Subdivision
WEBER COUNTY, UTAH
1800 South Street 0+00.00 - 4+50.00

REVISIONS	
DATE	DESCRIPTION

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

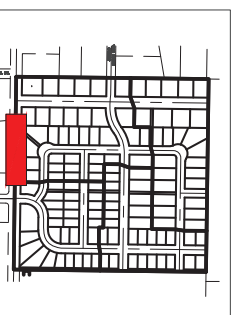


1800 South Street 4+50.00 - 9+30.00



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR. WITHOUT THEIR WRITTEN PERMISSION, THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Key Map



Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
 W/8 - 8" DIP W/POLY WRAP WATER LINE
 W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SERVICE

SS/4 - 4" PVC SDR-35 SERVICE LATERAL
 SS/8 - 8" PVC SDR-35 SERVICE LINE

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
 SD/15 - 15" RCP CLASS III STORM DRAIN
 SD/18 - 18" RCP CLASS III STORM DRAIN
 SD/24 - 24" RCP CLASS III STORM DRAIN
 SD/30 - 30" RCP CLASS III STORM DRAIN
 SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
 SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

Stagecoach Estates Subdivision

WEBER COUNTY, UTAH

1800 South Street 4+50.00 - 9+30.00

REVISIONS	
DATE	DESCRIPTION



Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeve.co
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

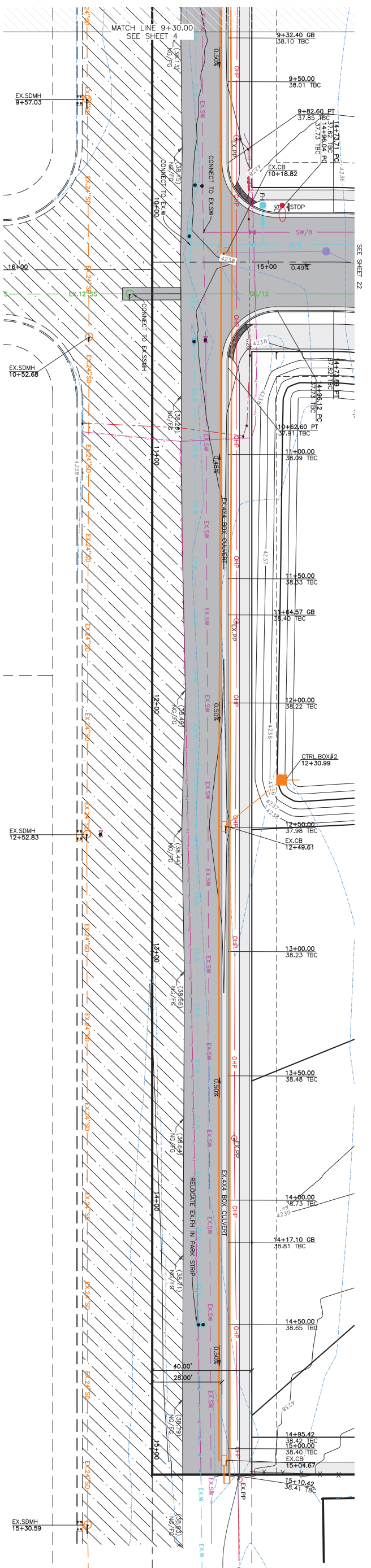


Project Info.

Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: MARCH 2023
 Name: STAGECOACH ESTATES
 SUBDIVISION
 PHASE 1
 Number: 6298-14

32 Total Sheets
4





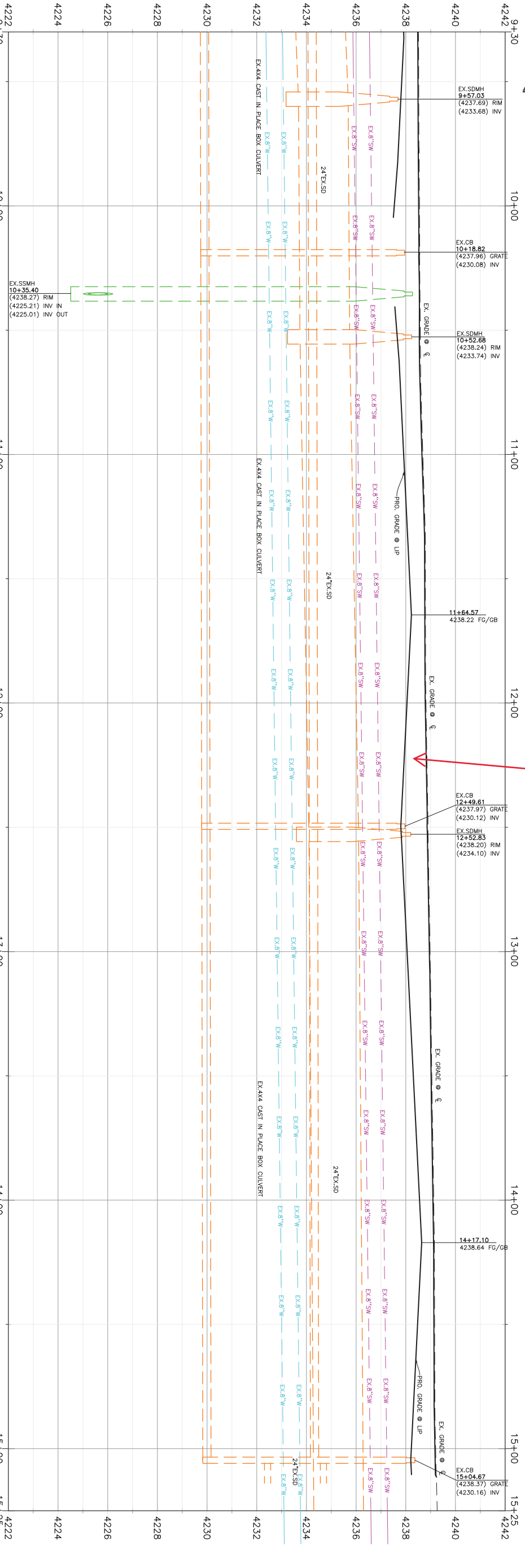
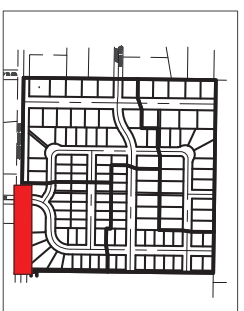
SEE SHEET 22

1800 South Street 9+30.00 - 14+10.00

Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 2'

This area has a high ground water table and the current roadway has 12" of concrete under it because of it being so soft. Is this a good idea to lower it?

TBC Curve Data						
#	Delta	Radius	Length	Tangent	Chord	Ch Length
C20	89°56'31"	20.00'	31.40'	19.98'	54°4'16.55"E	4237.29'
C21	90°03'29"	20.00'	31.44'	20.02'	N45°43'05"E	28.30'



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR. WITHOUT THEIR WRITTEN PERMISSION, THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: MARCH 2023
 Name: STAGECOACH ESTATES SUBDIVISION
 PHASE 1
 Number: 6298-14

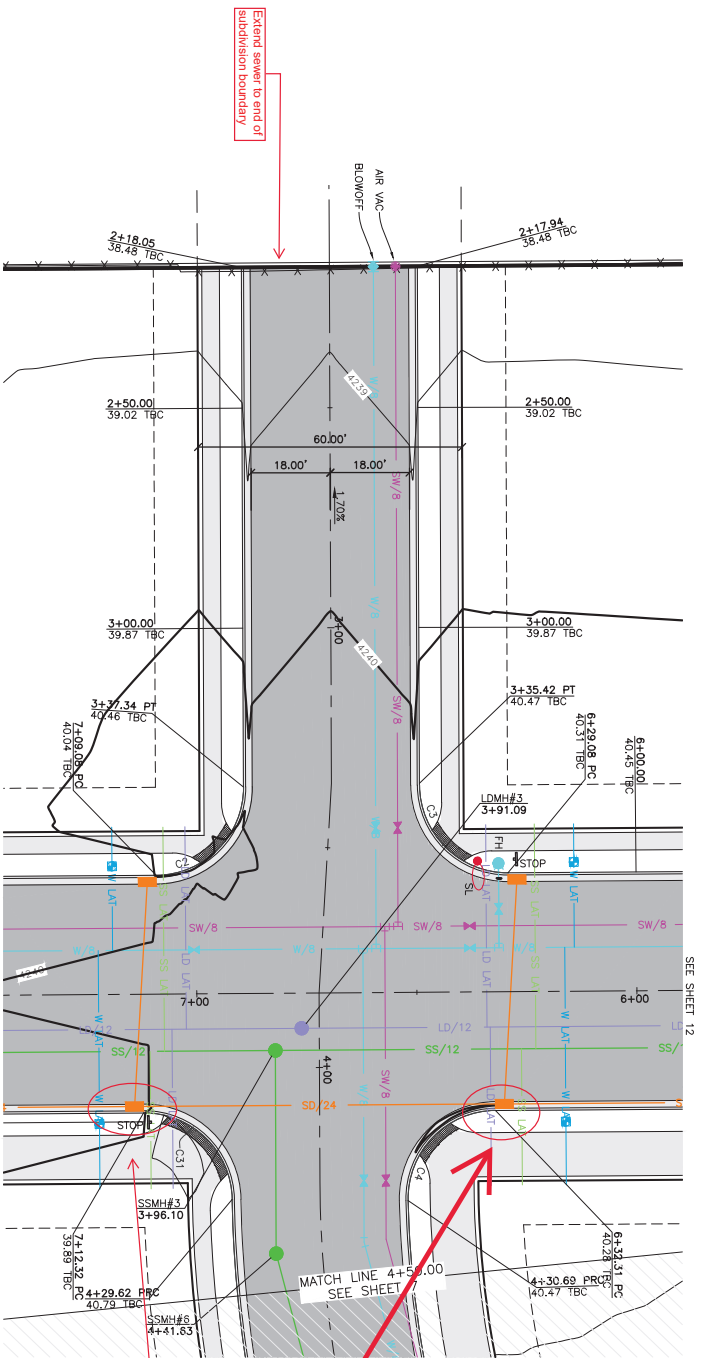


Stagecoach Estates Subdivision
 WEBER COUNTY, UTAH
1800 South Street 9+30.00 - 14+10.00

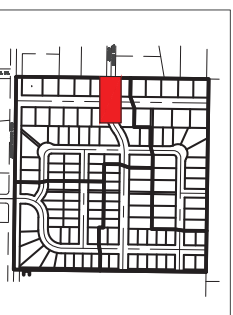
REVISIONS

DATE	DESCRIPTION

Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeve.co
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



TBC Curve Data						
#	Delta	Radius	Length	Tangent	Chord	Ch Length
C2	89°50'20"	20.00'	31.36'	19.94'	N44°12'45"W	28.24'
C3	90°09'40"	20.00'	31.47'	20.06'	N45°47'15"E	28.32'
C4	90°53'13"	20.00'	31.73'	20.31'	S44°44'11"E	28.50'
C31	89°21'19"	20.00'	31.19'	19.78'	S45°23'05"W	28.12'



Key Map
NOT TO SCALE

Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
 W/8 - 8" DIP W/POLY WRAP WATER LINE
 W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER

SS/4 - 4" PVC SDR-35 SERVICE LATERAL
 SS/8 - 8" PVC SDR-35 SERVICE LATERAL

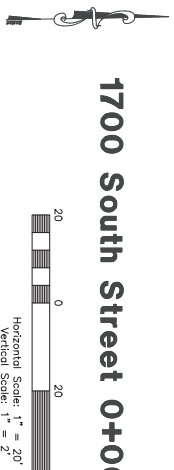
STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
 SD/15 - 15" RCP CLASS III STORM DRAIN
 SD/18 - 18" RCP CLASS III STORM DRAIN
 SD/24 - 24" RCP CLASS III STORM DRAIN
 SD/30 - 30" RCP CLASS III STORM DRAIN
 SD/36 - 36" RCP CLASS III STORM DRAIN

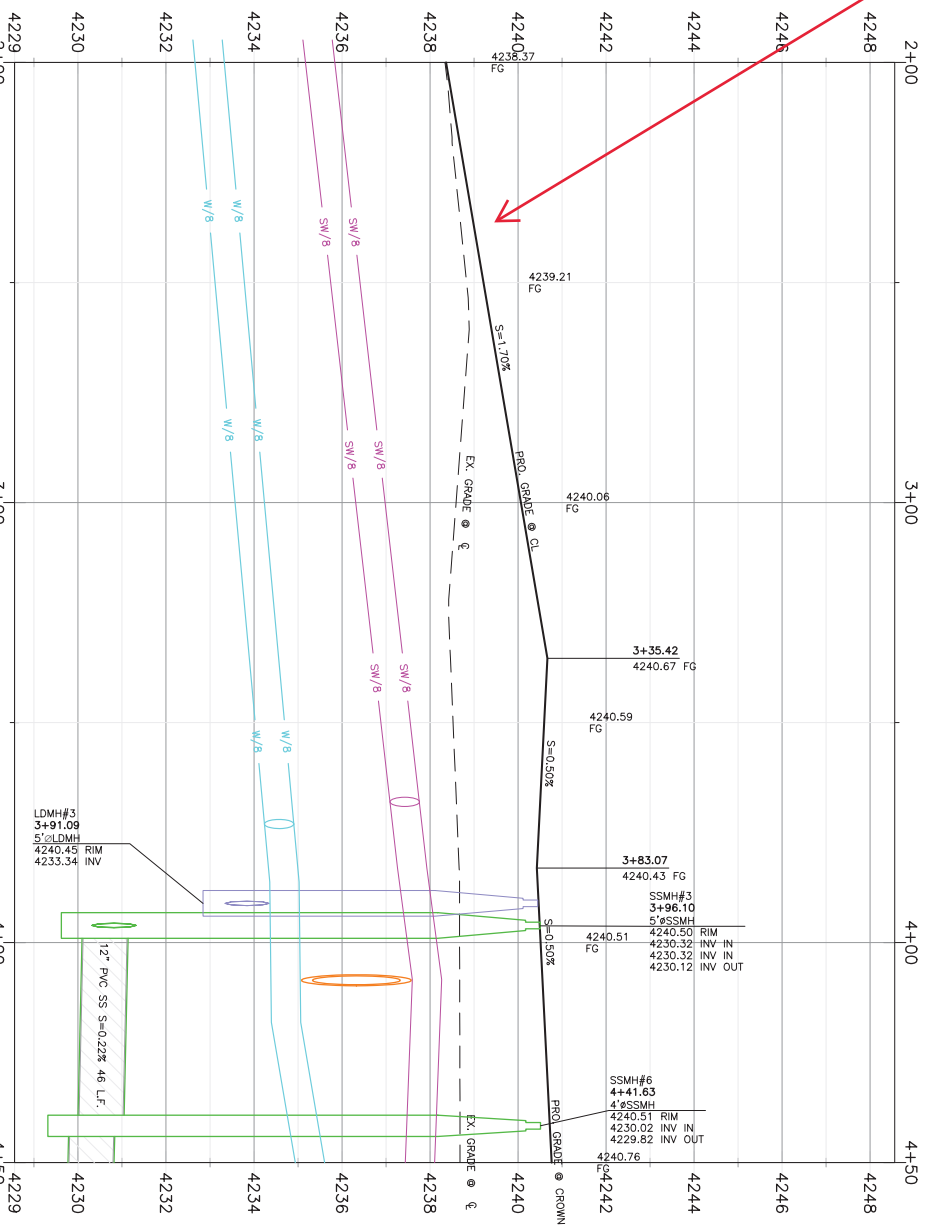
SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
 SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

1700 South Street 0+00.00 - 4+50.00



Where will this water drain to?
 Show the existing road profile for a distance to the west



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREIN WITHOUT THEIR CONSENT.



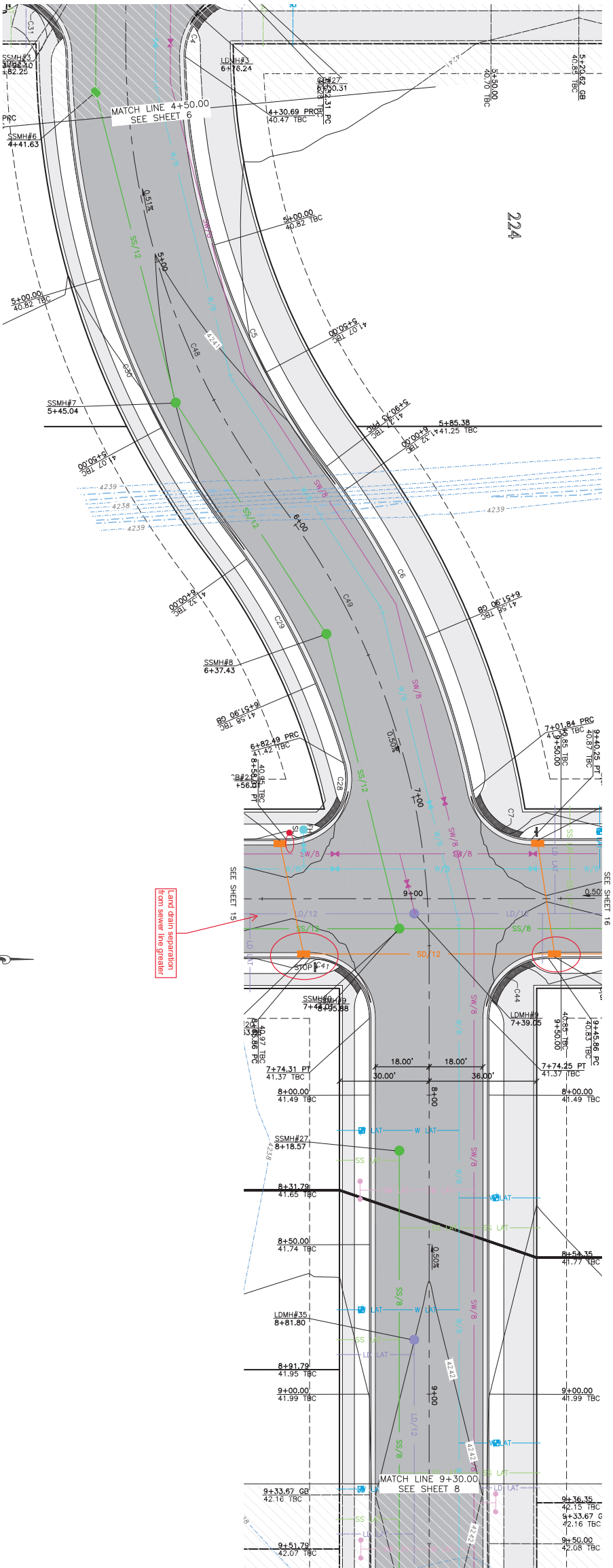
Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: MARCH 2023
 Name: STAGECOACH ESTATES SUBDIVISION
 PHASE 1
 Number: 6298-14



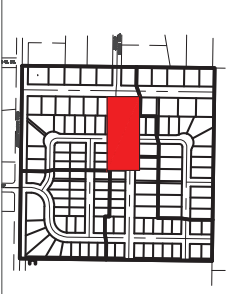
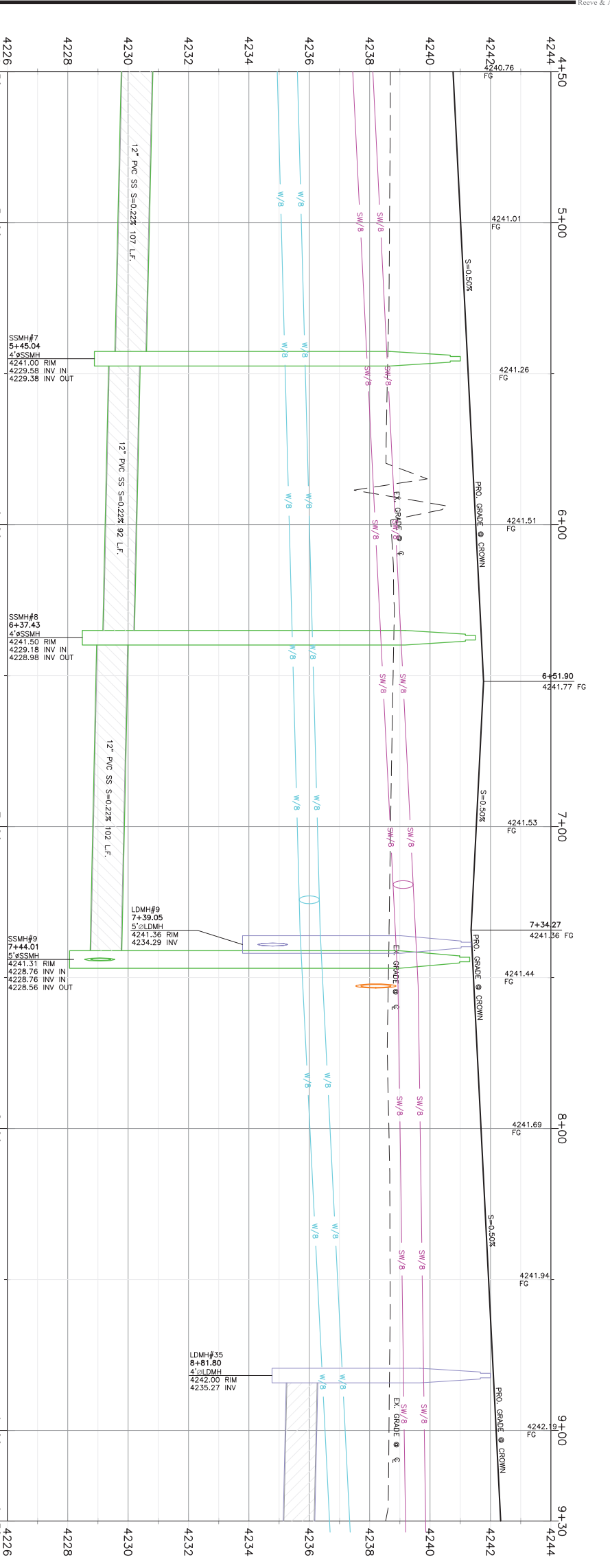
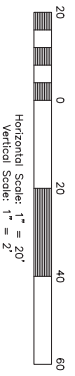
Stagecoach Estates Subdivision
 WEBER COUNTY, UTAH
1700 South Street 0+00.00 - 4+50.00

REVISIONS	
DATE	DESCRIPTION

Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeve.co
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



1700 South Street 4+50.00 - 9+30.00



Key Map
NOT TO SCALE

Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER
NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SEWER SERVICE
SD/12 - 12" PVC SDR-35 SERVICE LATERAL
SD/8 - 8" PVC SDR-35 SERVICE LATERAL
SD/4 - 4" PVC SDR-35 SERVICE LATERAL

STORM DRAIN
SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER
SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C5	36°14'30"	233.00'	147.38'	76.25'	N71°41'57"E	144.94'
C6	25°46'25"	267.00'	120.11'	61.09'	S66°27'54"W	119.10'
C7	78°38'42"	20.00'	27.45'	16.38'	N40°01'46"E	25.35'
C28	105°50'30"	20.00'	36.95'	26.46'	N52°12'50"W	31.91'
C29	21°17'13"	227.00'	84.34'	42.66'	S64°13'18"W	83.85'
C30	36°29'02"	273.00'	173.84'	89.98'	N71°49'13"E	170.92'
C41	90°02'24"	20.00'	31.43'	20.01'	S45°43'37"W	28.29'
C44	89°57'36"	20.00'	31.40'	19.99'	S44°16'23"E	28.27'

Centerline Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C48	37°17'17"	253.00'	164.65'	85.36'	N27°13'20"E	161.76'
C49	37°10'08"	247.00'	160.23'	83.05'	N27°09'45"E	157.44'



Stagecoach Estates Subdivision
WEBER COUNTY, UTAH

1700 South Street 4+50.00 - 9+30.00

REVISIONS	
DATE	DESCRIPTION

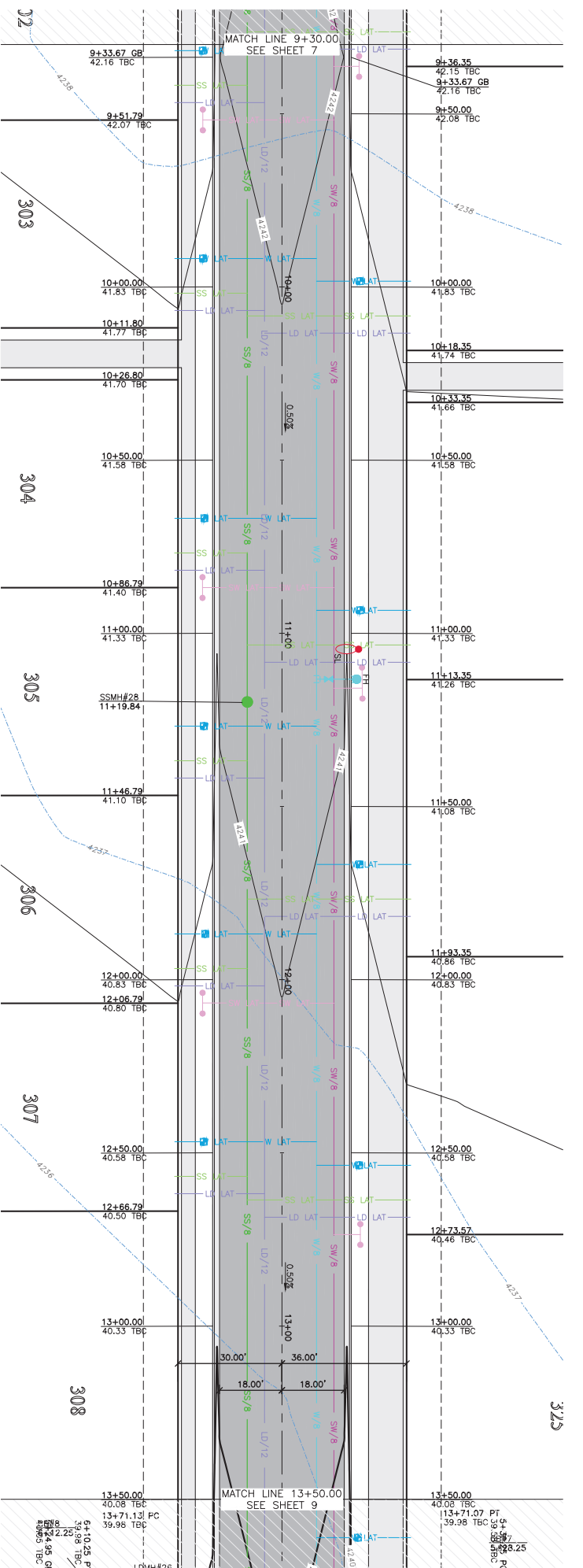
Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeveco.com

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

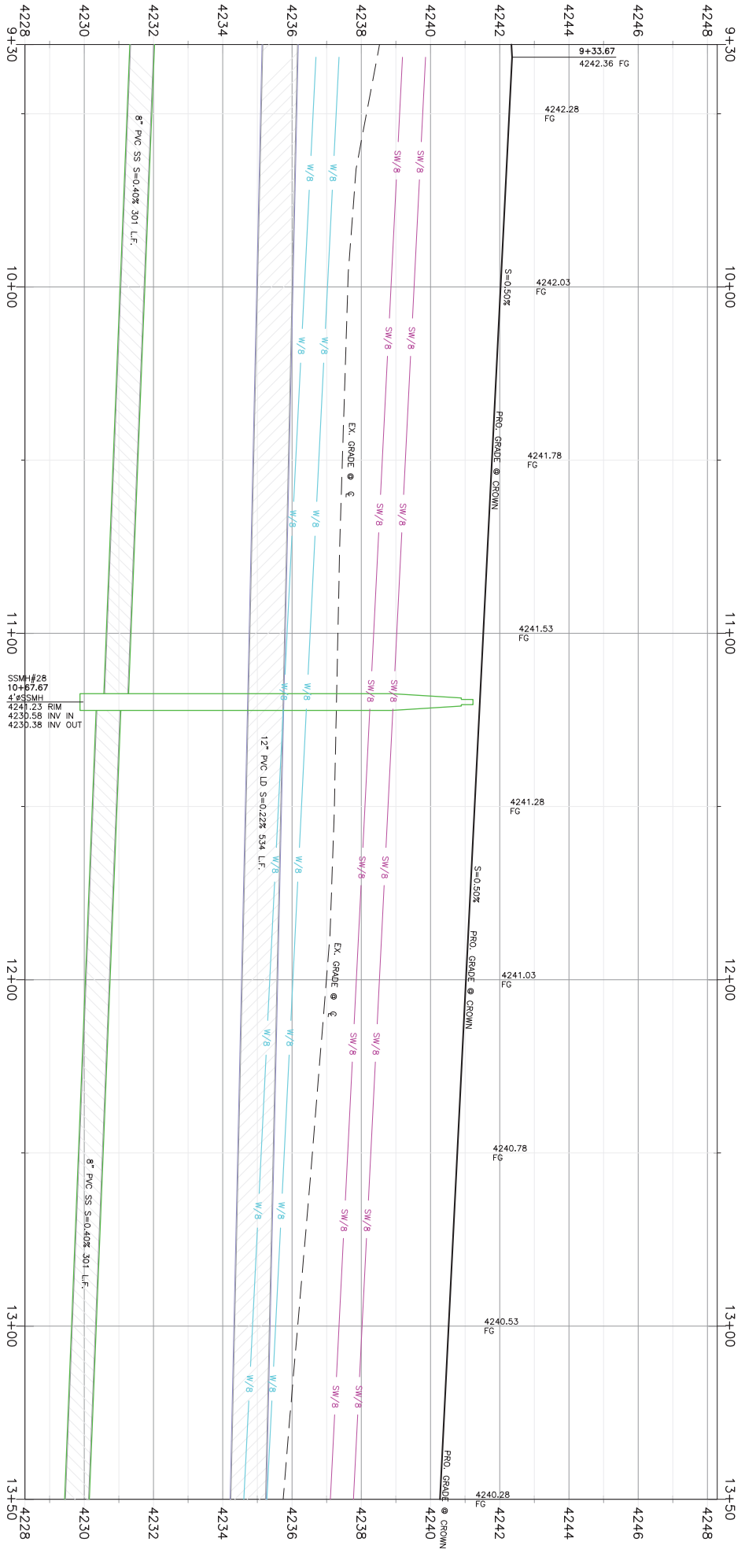
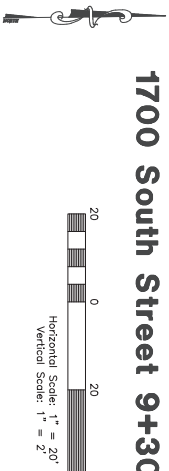
Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
Phase: 1
Number: 6298-14

32 Total Sheets
7

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR. WITHOUT THEIR WRITTEN PERMISSION, THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



1700 South Street 9+30.00 - 13+50.00



Key Map
NOT TO SCALE

Construction Notes

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINRY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER

SS/4 - 4" PVC SDR-35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SERVICE LINE

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

Stagecoach Estates Subdivision
WEBER COUNTY, UTAH
1700 South Street 9+30.00 - 13+50.00

REVISIONS	
DATE	DESCRIPTION

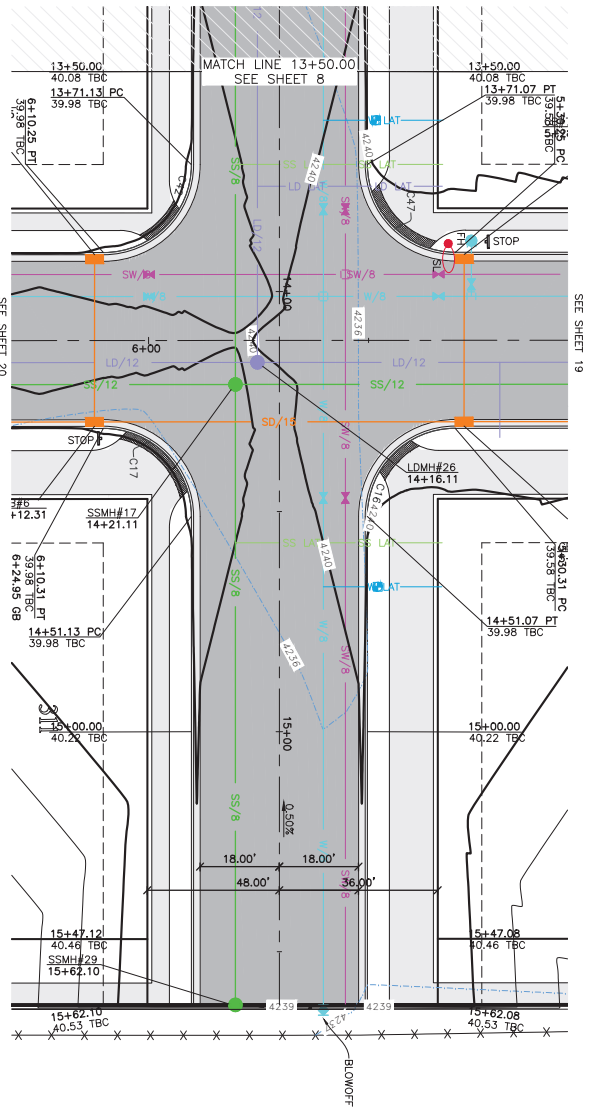
Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

Project Info.
Engineer: JEREMY A. DRAPPER, P.E.
Drafter: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
PHASE 1
Number: 6298-14

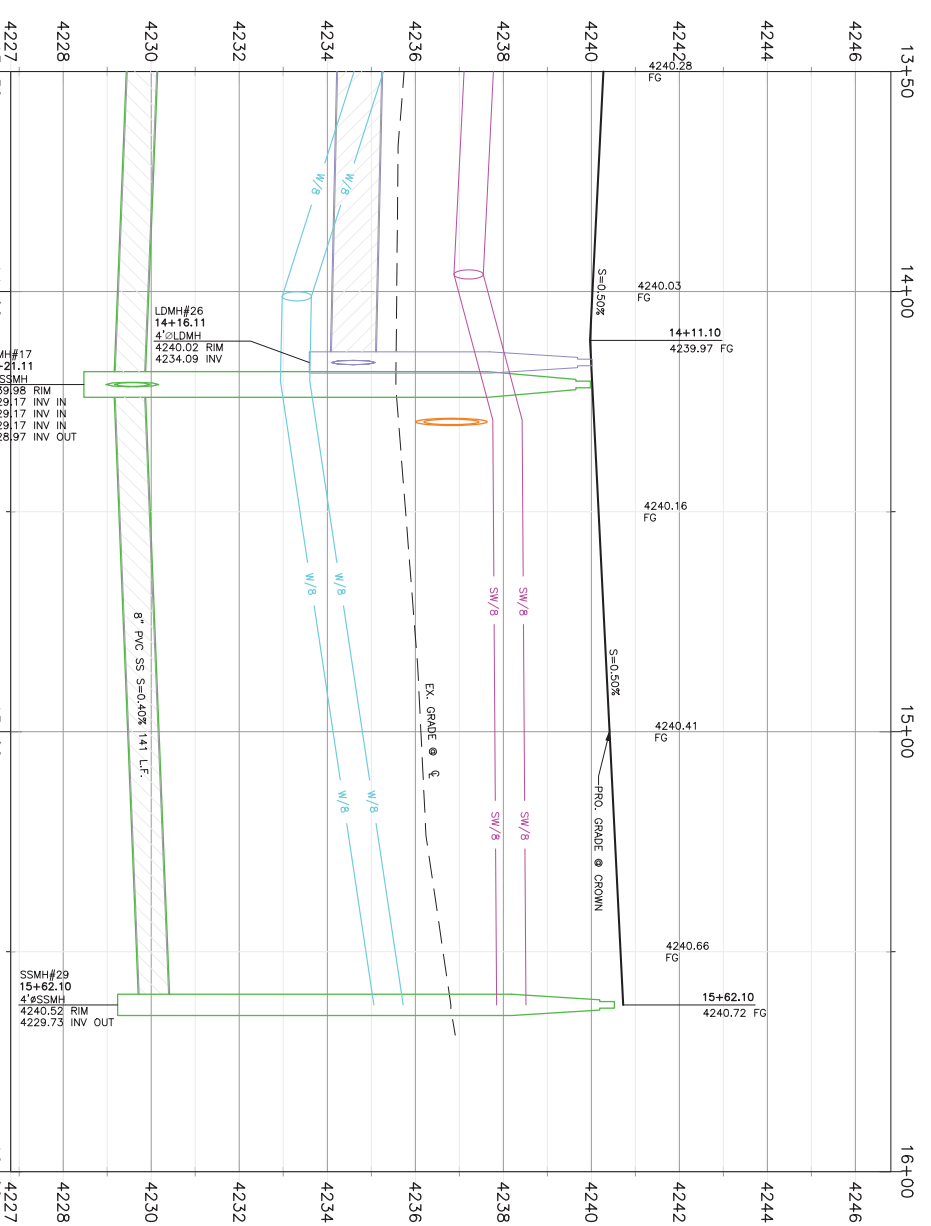
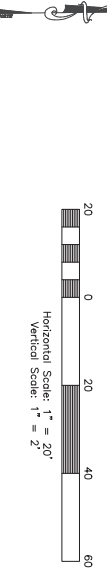
811 Know what's below. Call before you dig.

32 Total Sheets

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREIN WITHOUT THEIR CONSENT.



1700 South Street 13+50.00 - 16+00.00



Key Map
NOT TO SCALE

Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAININGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
 W/8 - 8" DIP W/POLY WRAP WATER LINE
 W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER

SS/4 - 4" PVC SDR-35 SERVICE LATERAL
 SS/8 - 8" PVC SDR-35 SERVICE LINE

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
 SD/15 - 15" RCP CLASS III STORM DRAIN
 SD/18 - 18" RCP CLASS III STORM DRAIN
 SD/24 - 24" RCP CLASS III STORM DRAIN
 SD/30 - 30" RCP CLASS III STORM DRAIN
 SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
 SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C16	89°57'36"	20.00'	31.40'	19.99'	S44°16'23"E	28.27'
C17	90°02'24"	20.00'	31.43'	20.01'	S45°43'37"W	28.29'
C42	89°57'36"	20.00'	31.40'	19.99'	N44°16'23"W	28.27'
C47	90°02'24"	20.00'	31.43'	20.01'	N45°43'37"E	28.29'

Stagecoach Estates Subdivision

WEBER COUNTY, UTAH

1700 South Street 13+50.00 - 16+00.00

REVISIONS	
DATE	DESCRIPTION

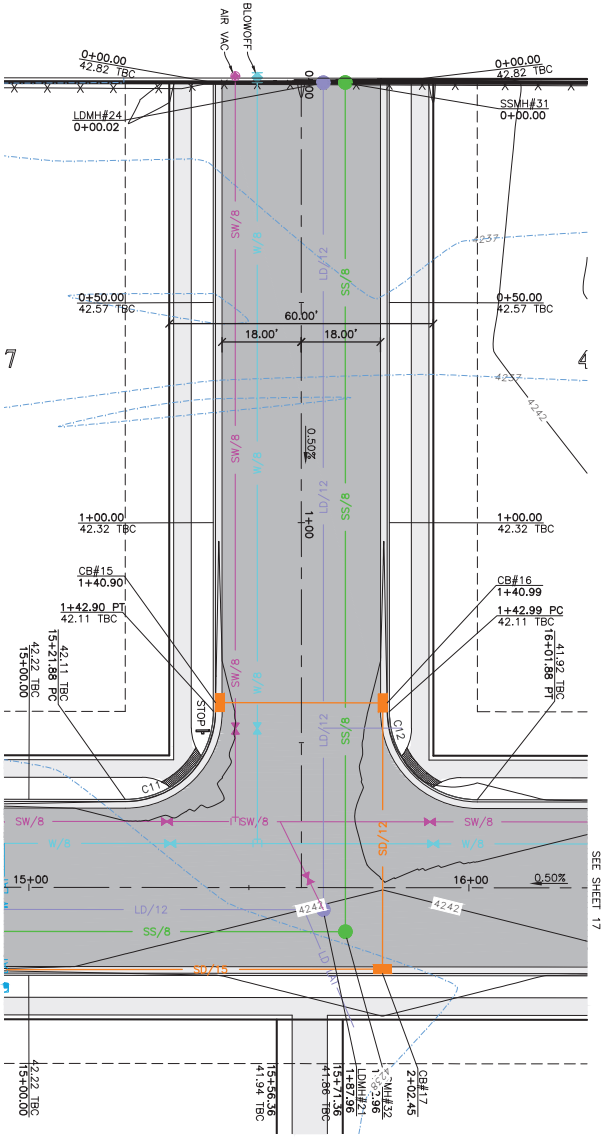


Project Info.

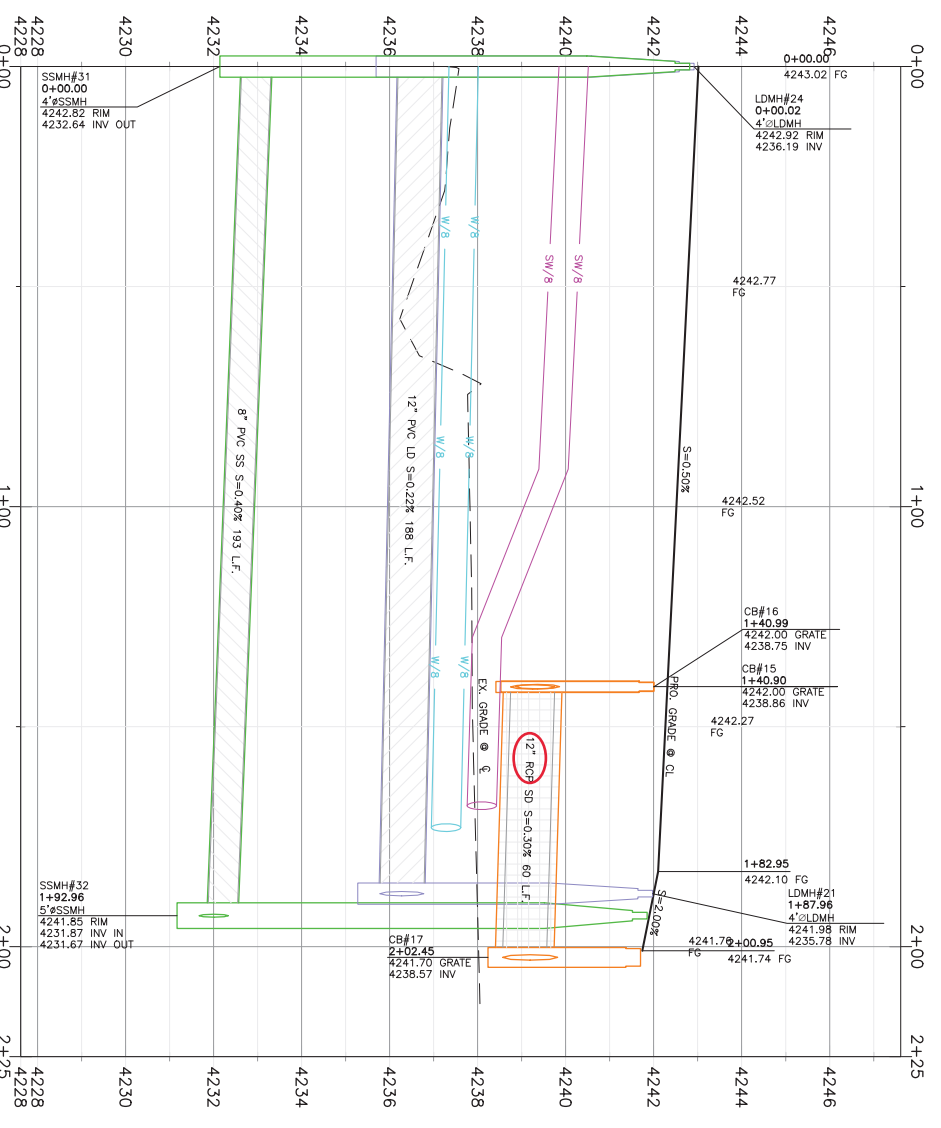
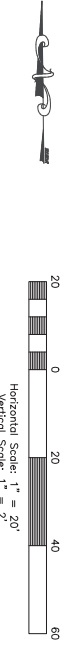
Engineer: JEREMY A. DRAPPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: MARCH 2023
 Name: STAGECOACH ESTATES SUBDIVISION
 PHASE 1
 Number: 6298-14



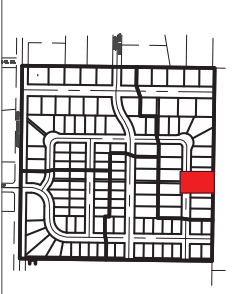
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



Street H 0+00.00 - 2+00.00



TBC Curve Data					
#	Delta	Radius	Length	Tangent	Chord
C11	90°34'1"	20.00'	31.44'	20.02'	N45°44'33"E
C12	98°56'19"	20.00'	31.39'	19.98'	S44°15'27"E
					28.27'



Key Map
NOT TO SCALE

Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER

SS/4 - 4" PVC SDR-35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SEWER LINE

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SECONDARY SERVICE LATERAL PER CITY STANDARDS

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



REVISIONS	
DATE	DESCRIPTION

Stagecoach Estates Subdivision
WEBER COUNTY, UTAH

Street H 0+00.00 - 2+00.00



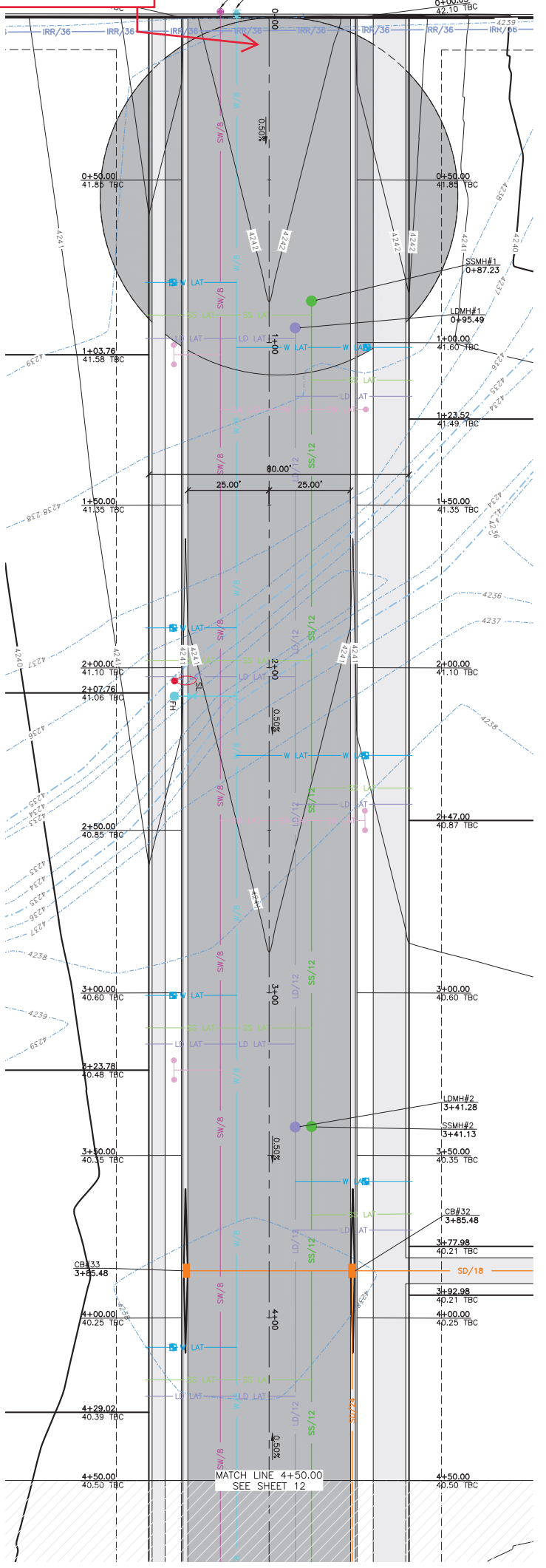
Project Info.
Engineer: JEREMY A. DRAPPER, P.E.
Drafter: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES
SUBDIVISION
PHASE 1
Number: 6298-14

811 Know what's Below. Call before you dig.

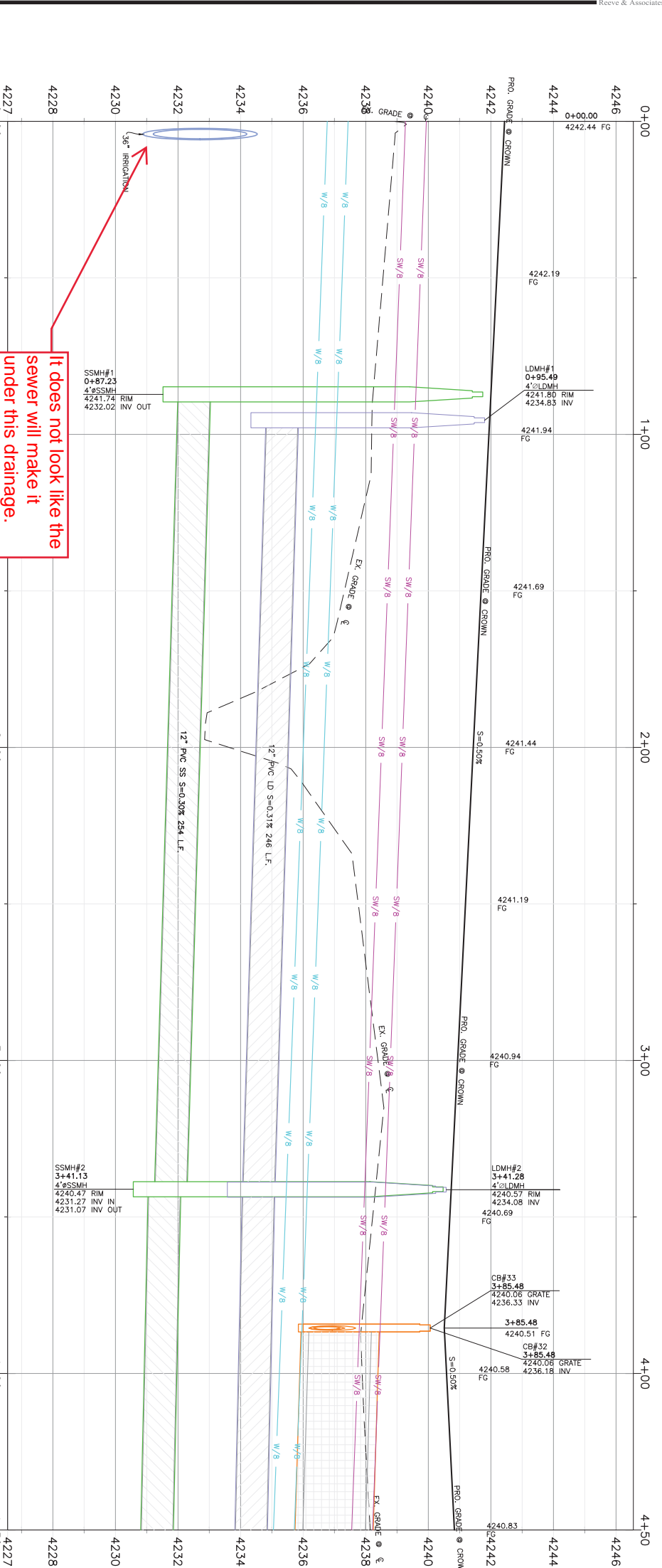
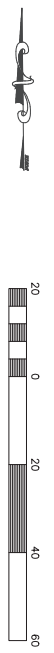
32 Total Sheets
10

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Will this be installed as a permanent turnaround? Please show a cross section showing how it will work with the sidewalk and C&G

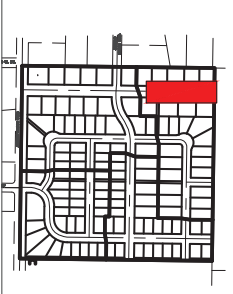


Street A 0+00.00 - 4+50.00



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC. AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

It does not look like the sewer will make it under this drainage. The sewer needs to extend to the north.



Key Map
NOT TO SCALE

Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUILINARY WATER
NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER
SS/4 - 4" PVC SDR-35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SERVICE LATERAL

STORM DRAIN
SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER
SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

Stagecoach Estates Subdivision
WEBER COUNTY, UTAH

Street A 0+00.00 - 4+50.00

REVISIONS	
DATE	DESCRIPTION

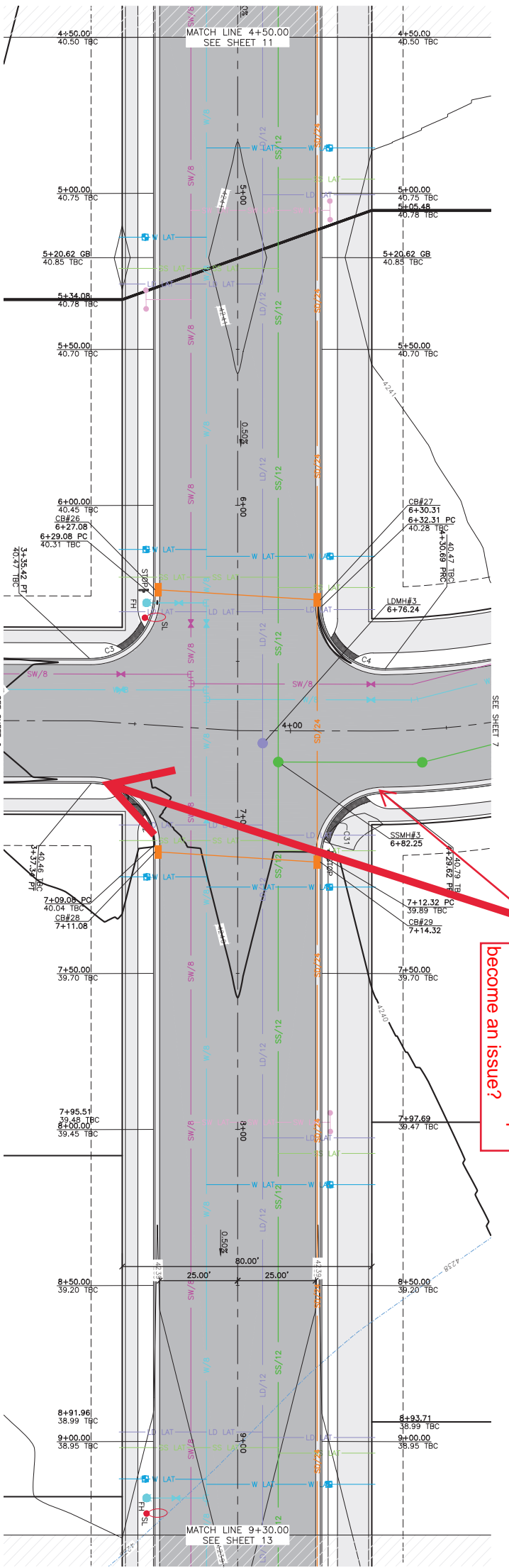
Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
Phase: 1
Number: 6298-14

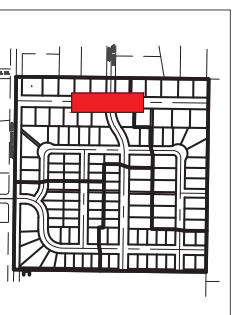
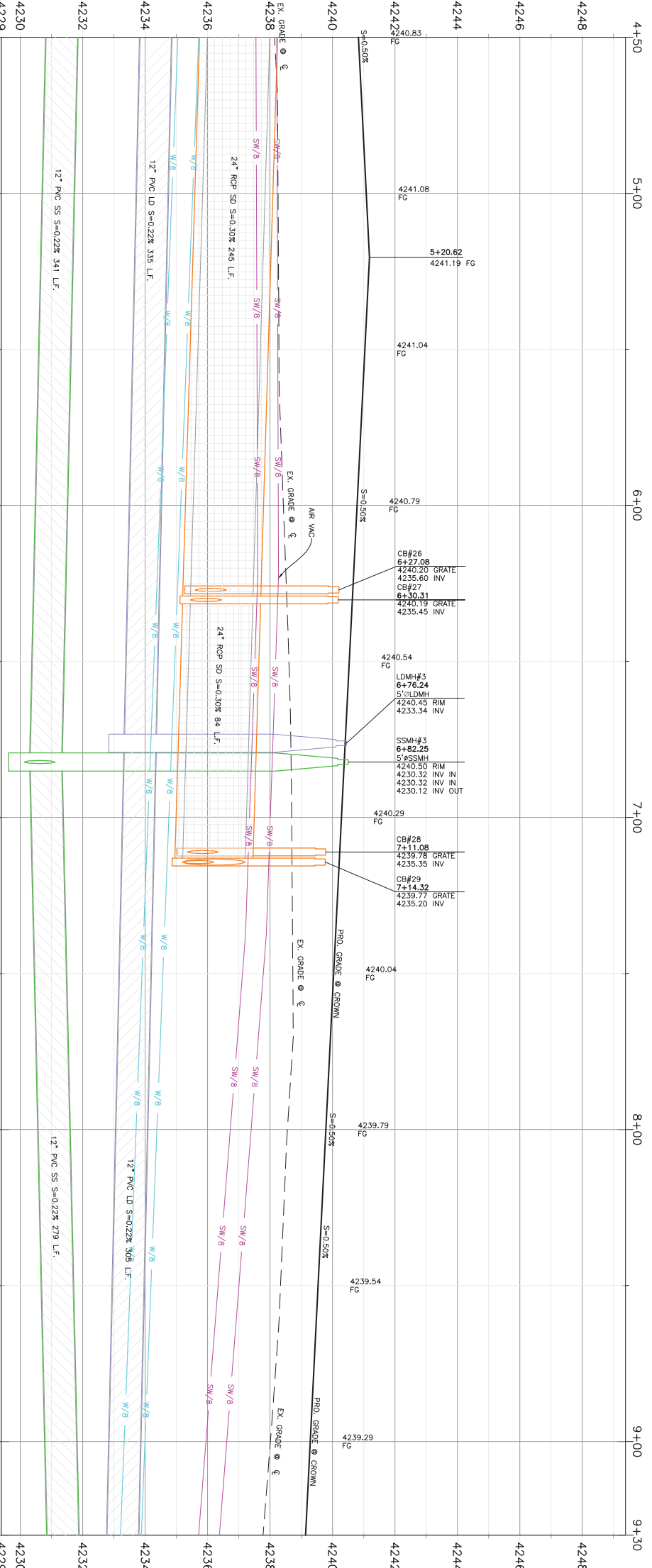
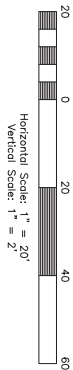
811 Know what's Below. Call before you dig.

32 Total Sheets
11



Will the water sheeting across the ADA Ramps become an issue?

Street A 4+50.00 - 9+30.00



Key Map

NOT TO SCALE

Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINRY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
 W/8 - 8" DIP W/POLY WRAP WATER LINE
 W - 1" TYPE K COPPER SERVICE LATERAL

SEWER

SS/4 - 4" PVC SDR-35 SERVICE LATERAL
 SS/8 - 8" PVC SDR-35 SERVICE LINE

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
 SD/15 - 15" RCP CLASS III STORM DRAIN
 SD/18 - 18" RCP CLASS III STORM DRAIN
 SD/24 - 24" RCP CLASS III STORM DRAIN
 SD/30 - 30" RCP CLASS III STORM DRAIN
 SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
 SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C2	89°50'20"	20.00'	31.36'	19.94'	N4°12'45"W	28.24'
C3	90°09'40"	20.00'	31.47'	20.06'	N45°47'15"E	28.33'
C4	90°53'13"	20.00'	31.73'	20.31'	S44°44'11"E	28.50'
C31	89°21'19"	20.00'	31.19'	19.78'	S45°23'05"W	28.12'

Stagecoach Estates Subdivision

WEBER COUNTY, UTAH

Street A 4+50.00 - 9+30.00

REVISIONS

DATE	DESCRIPTION



Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

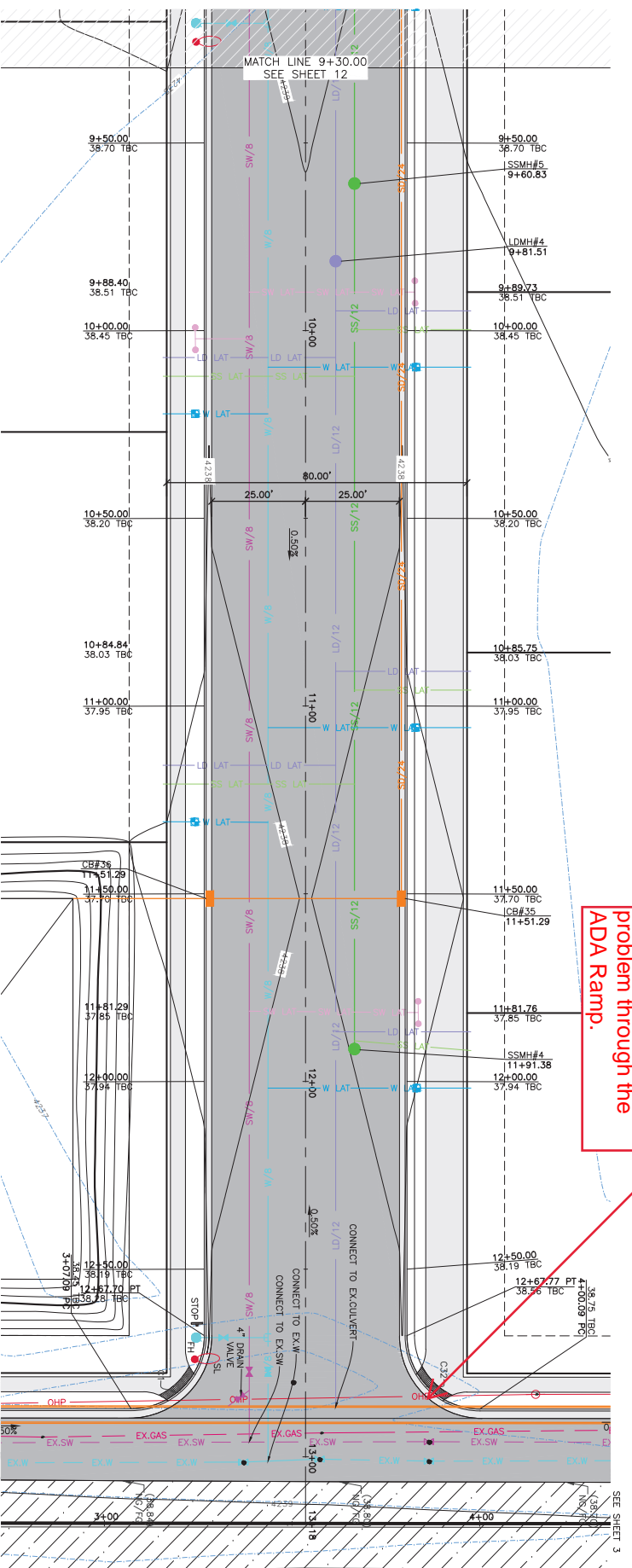


Project Info.

Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: MARCH 2023
 Name: STAGECOACH ESTATES SUBDIVISION
 Phase: 1
 Number: 6298-14

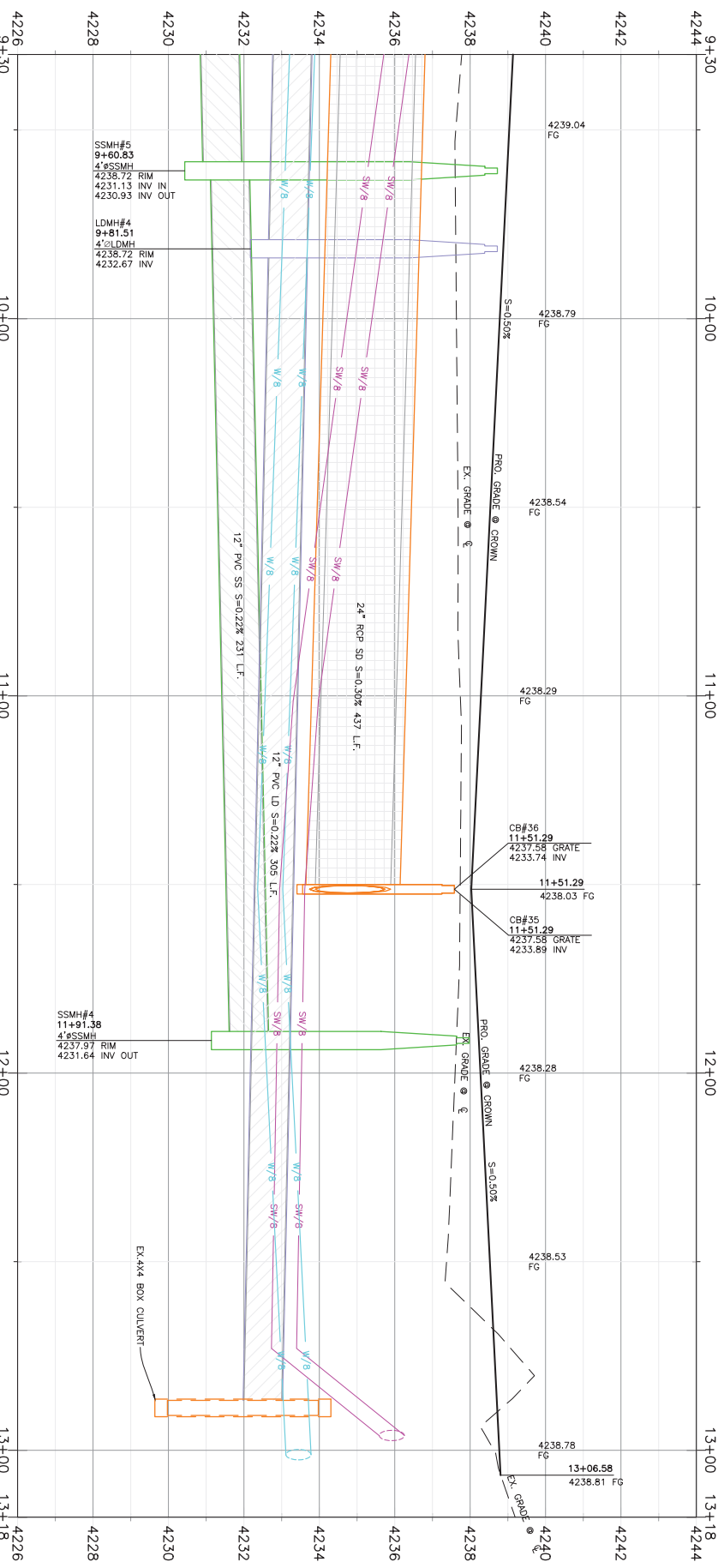
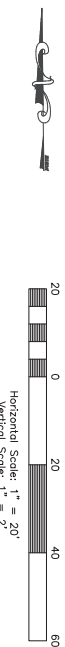


THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREIN WITHOUT THEIR CONSENT.



Will the water be a problem through the ADA Ramp.

Street A 9+30.00 - 13+17.74



Key Map
NOT TO SCALE

Construction Notes

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER

SS/4 - 4" PVC SDR-35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SERVICE LATERAL

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C1	90°02'24"	19.50'	30.64'	19.51'	N45°43'37"E	27.59'
C32	89°57'36"	19.50'	30.62'	19.49'	S44°16'23"E	27.57'

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREIN WITHOUT THEIR CONSENT.



Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: MARCH 2023
 Name: STAGECOACH ESTATES SUBDIVISION
 PHASE 1
 Number: 6298-14

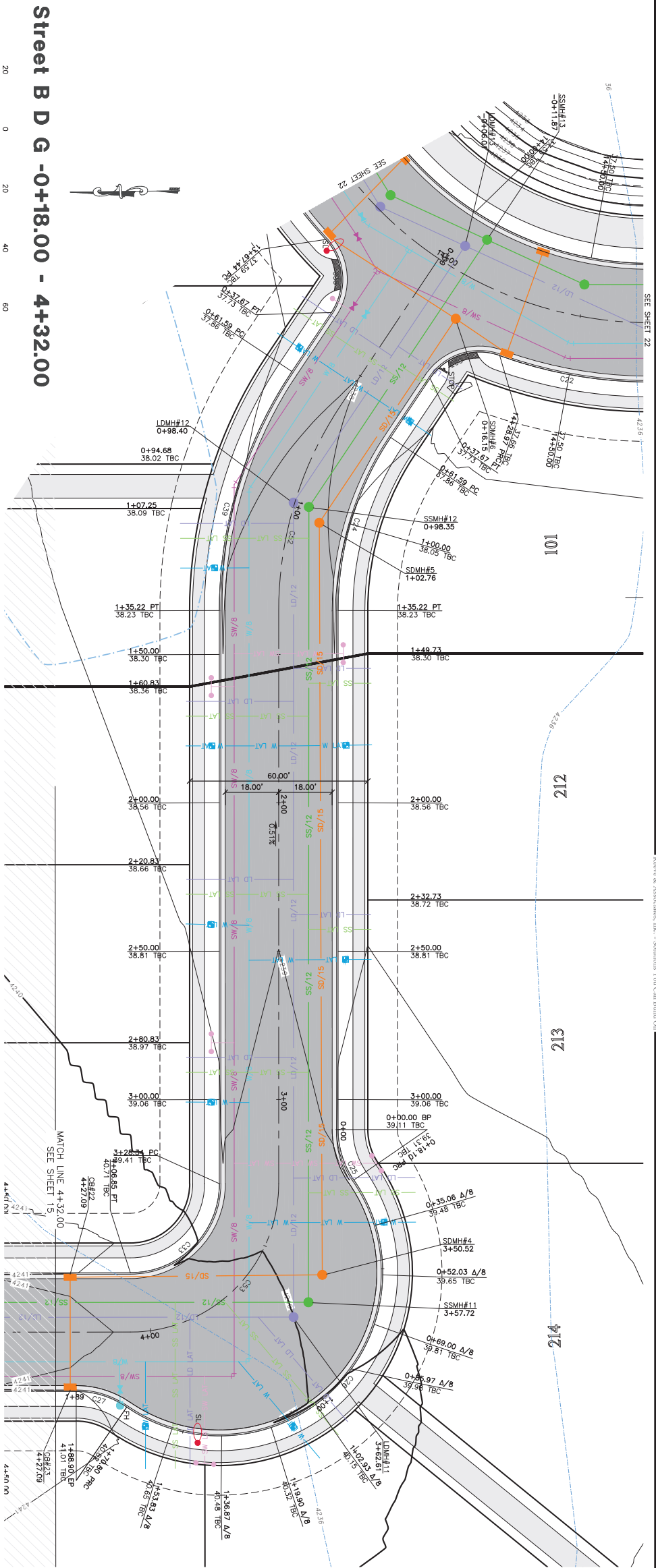


Stagecoach Estates Subdivision
 WEBER COUNTY, UTAH
Street A 9+30.00 - 13+17.74

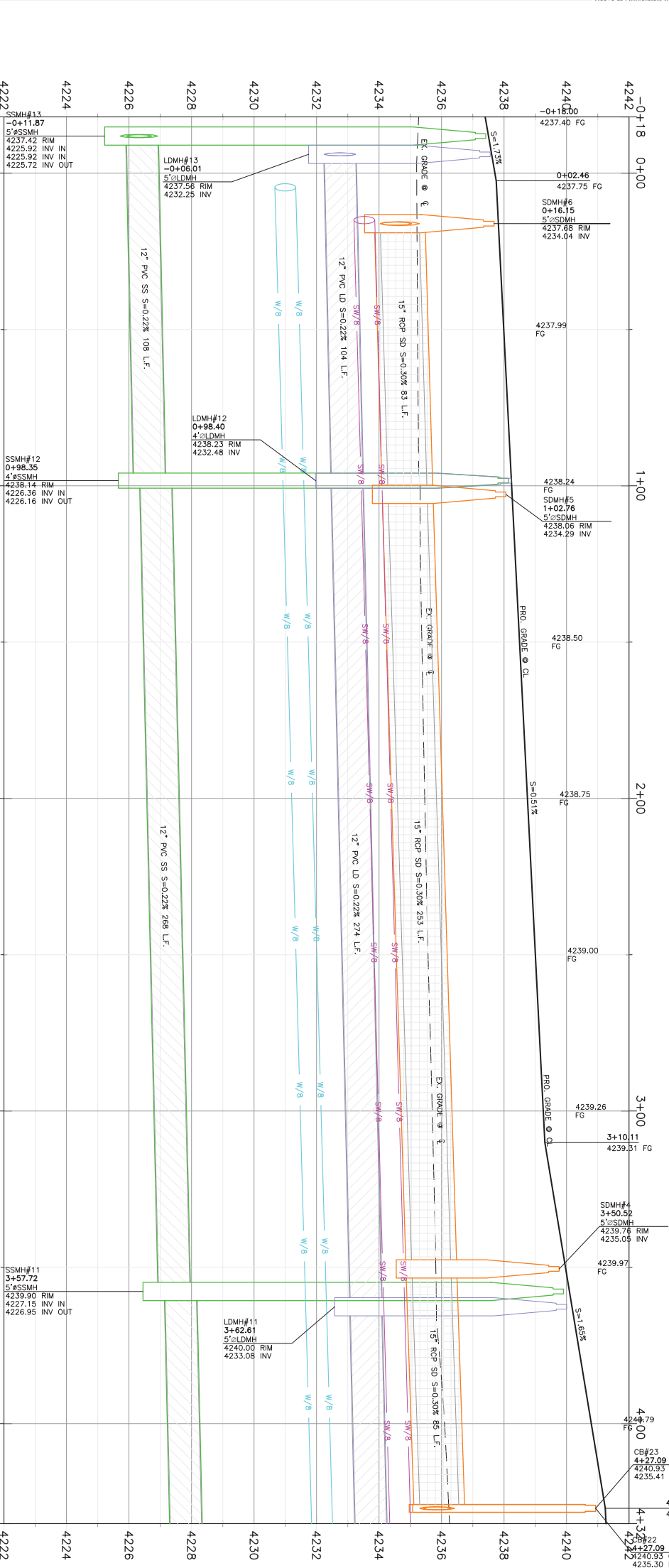
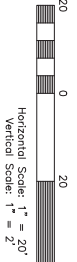
REVISIONS

DATE	DESCRIPTION

Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeve.co
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



Street B D G -0+18.00 - 4+32.00



Construction Notes

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER
NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER
SS/4 - 4" PVC SDR-35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SERVICE LATERAL

STORM DRAIN
SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER
SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C19	90°03'29"	108.00'	169.76'	108.11'	54°43'05"W	152.81'
C22	20°01'58"	148.00'	51.75'	26.14'	S10°42'19"W	51.48'
C23	76°13'33"	20.00'	26.61'	15.69'	N17°33'28"W	24.69'
C24	33°44'56"	105.00'	61.85'	31.85'	N72°22'43"W	60.96'
C25	34°33'37"	30.00'	18.10'	9.33'	S73°28'01"W	17.82'
C26	159°04'50"	55.00'	152.71'	297.92'	S44°16'23"E	108.17'
C27	34°33'37"	30.00'	18.10'	9.33'	N17°59'14"E	17.82'
C28	76°48'37"	19.87'	26.64'	15.75'	N86°22'59"E	24.69'
C38	33°44'56"	145.00'	85.41'	43.98'	N72°22'43"W	84.18'

Centerline Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C52	33°44'56"	125.00'	73.63'	37.92'	N72°22'43"W	72.57'
C53	89°57'36"	50.00'	78.50'	49.97'	N44°16'23"W	70.69'

Project Info

Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: MARCH 2023
 Name: STAGECOACH ESTATES SUBDIVISION
 PHASE 1
 Number: 6298-14



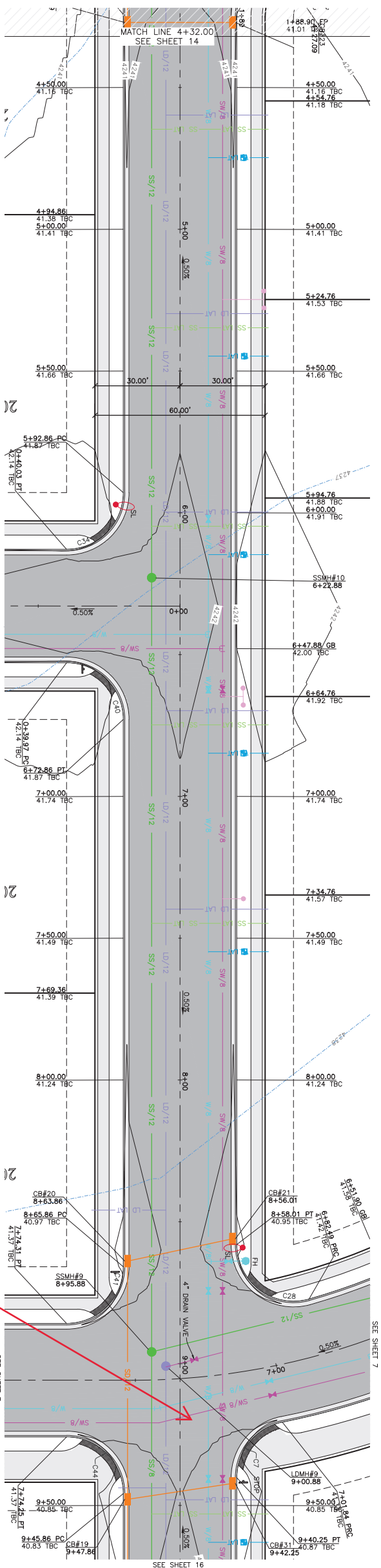
Stagecoach Estates Subdivision
 WEBER COUNTY, UTAH
Street B D G -0+18.00 - 4+32.00

REVISIONS	
DATE	DESCRIPTION

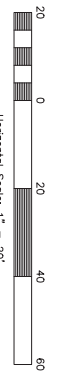
Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeve.co
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR. WITHOUT THEIR WRITTEN PERMISSION, THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.





Street B D G 4+32.00 - 9+50.00



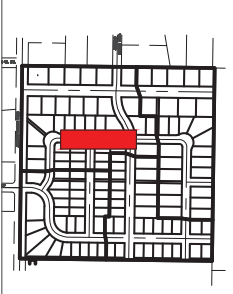
#	Delta	Radius	Length	Tangent	Chord	Ch Length
C7	78.38 42°	20.00'	27.45'	16.38'	N40°01'46"E	25.35'
C28	105.50 30°	20.00'	36.95'	26.46'	N52°12'50"W	31.91'
C34	90°02'24"	20.00'	31.43'	20.01'	S45°43'37"W	28.29'
C40	89°57'36"	20.00'	31.40'	19.99'	S44°16'23"E	28.27'
C41	90°02'24"	20.00'	31.43'	20.01'	S45°43'37"W	28.29'
C44	89°57'36"	20.00'	31.40'	19.99'	S44°16'23"E	28.27'

TBC Curve Data

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE SERVICE LATERAL PER CITY STANDARDS

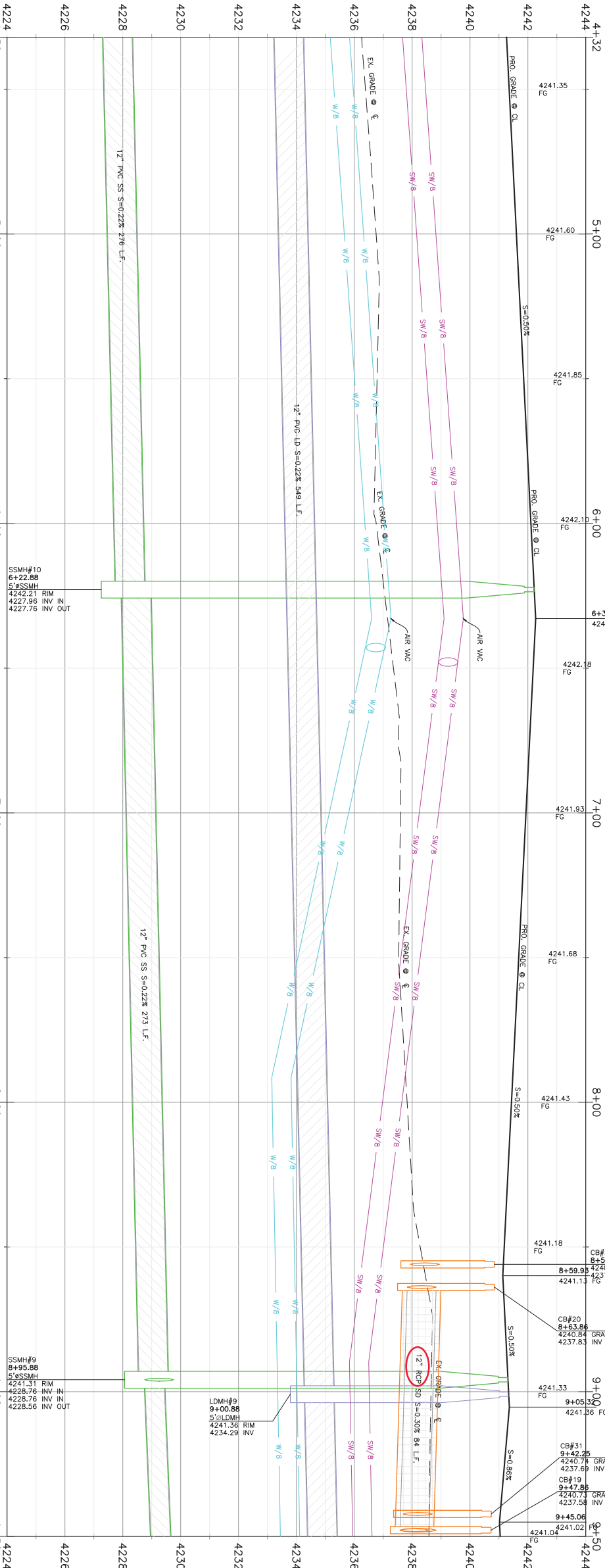
Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.



Key Map

NOT TO SCALE



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



Stagecoach Estates Subdivision
WEBER COUNTY, UTAH

Street B D G 4+32.00 - 9+50.00

REVISIONS	
DATE	DESCRIPTION

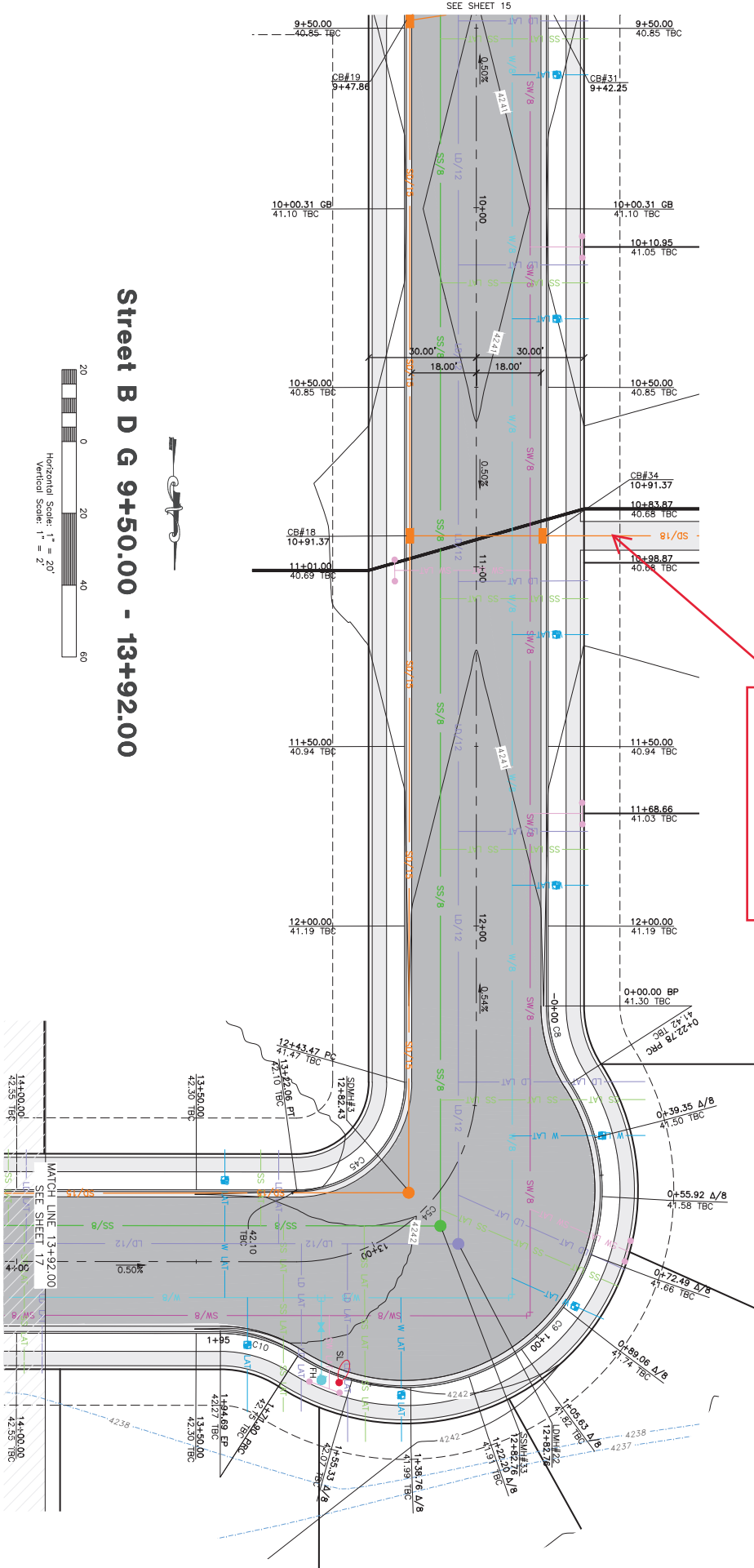
Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



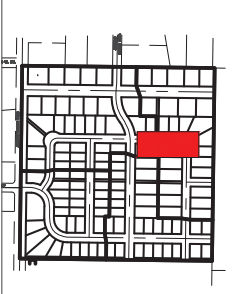
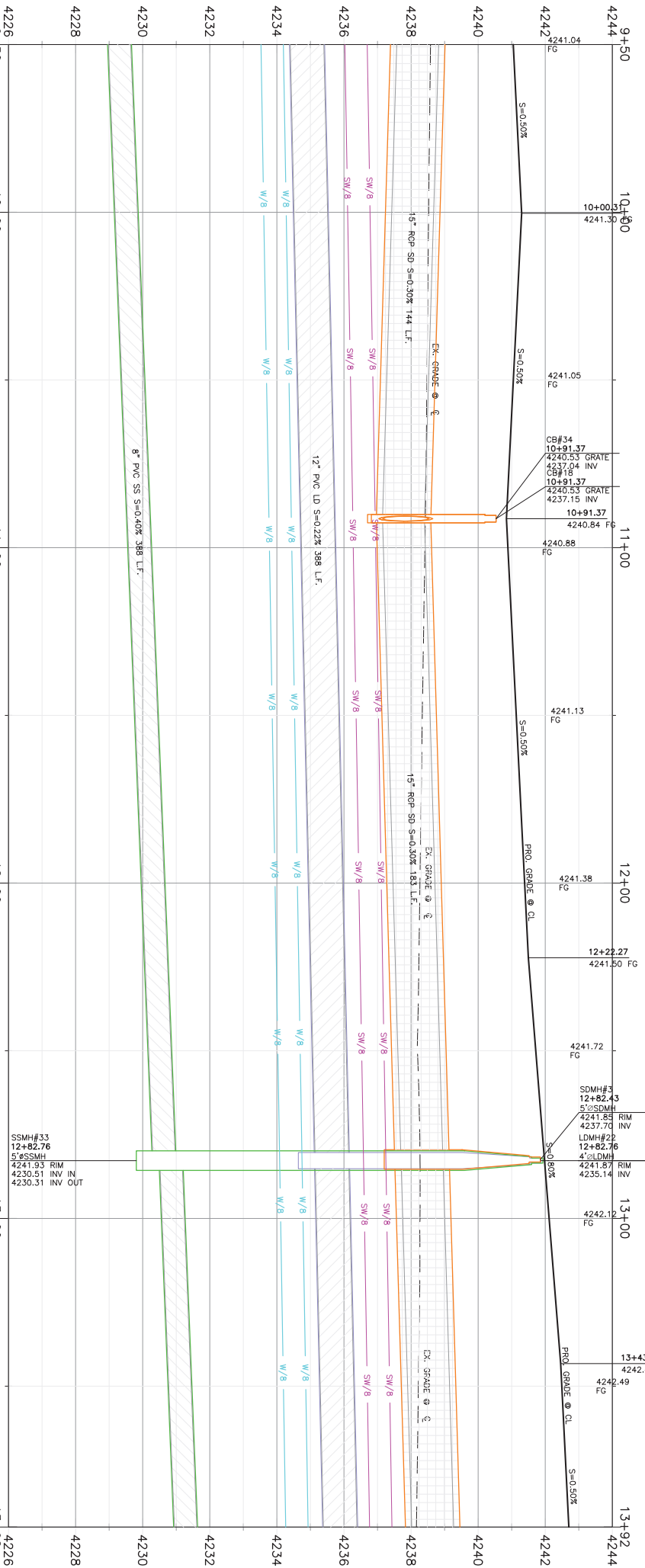
Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
Phase: 1
Number: 6298-14

20ft. Easement Min.



Street B D G 9+50.00 - 13+92.00

Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 20'



Key Map

NOT TO SCALE

Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SEWAGE

SS/4 - 4" PVC SDR-35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SERVICE LATERAL

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C8	32.38 1/3"	40.00'	22.78'	11.71'	N15°36'41"W	22.48'
C9	155°20'24"	55.00'	149.12'	251.62'	S45°44'24"W	107.46'
C10	32.38 1/3"	40.00'	22.78'	11.71'	S72°54'30"E	22.48'
C45	90°03'58"	30.00'	47.16'	30.03'	S45°44'24"W	42.45'

Centerline Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C54	90°03'58"	50.00'	78.60'	50.06'	N45°44'24"E	70.75'



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR. WITHOUT THEIR WRITTEN PERMISSION, THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREIN WITHOUT THEIR CONSENT.

Stagecoach Estates Subdivision
WEBER COUNTY, UTAH
Street B D G 9+50.00 - 13+92.00

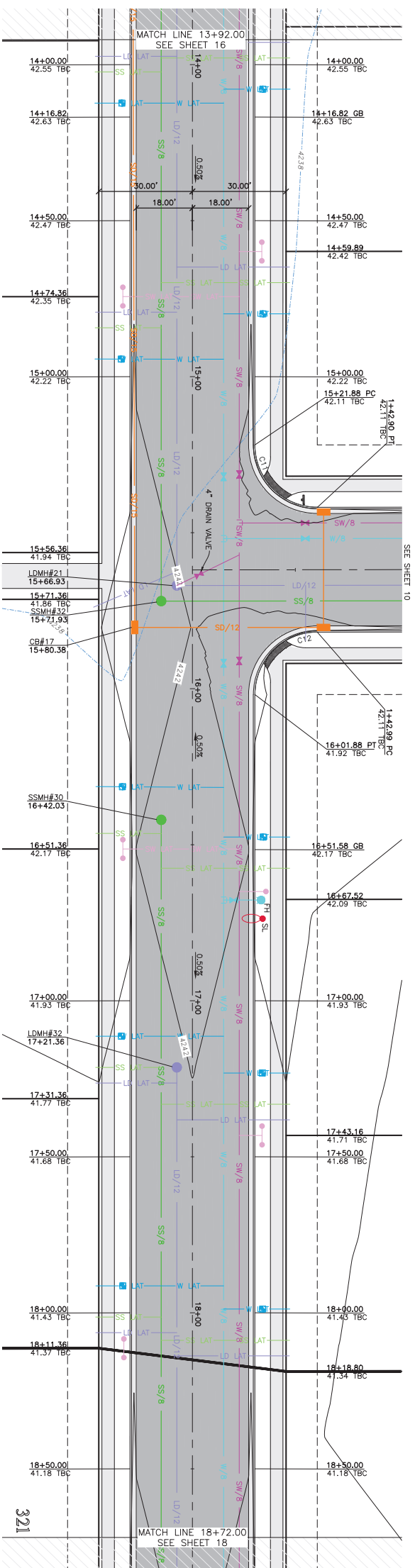
REVISIONS	DATE	DESCRIPTION

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REGISTERED PROFESSIONAL ENGINEER
5398480
JEREMY A. DRAPER
STATE OF UTAH

Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
Phase: 1
Number: 6298-14

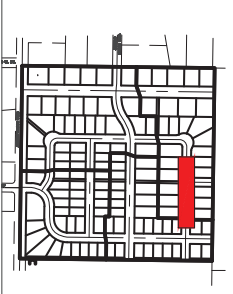
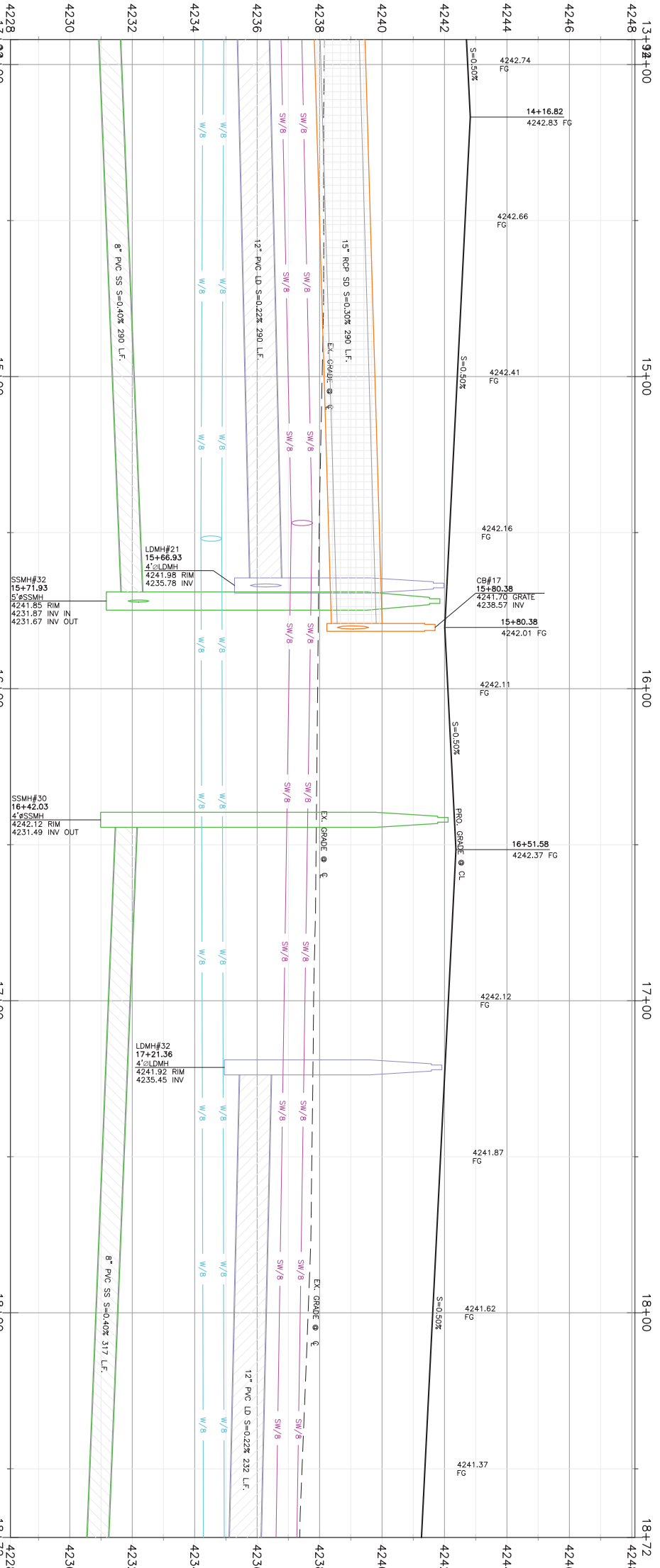
32 Total Sheets
16



Street B D G 13+92.00 - 18+72.00

Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 2'

TBC Curve Data						
#	Delta	Radius	Length	Tangent	Chord	Ch Length
C11	90°03'41"	20.00'	31.44'	20.02'	N65°44'33"E	28.30'
C12	89°56'19"	20.00'	31.39'	19.98'	S44°15'27"E	28.27'



Key Map
NOT TO SCALE

Construction Notes

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER

SS/4 - 4" PVC SDR-35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SERVICE LATERAL

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SECONDARY SERVICE LATERAL PER CITY STANDARDS

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



REVISIONS	
DATE	DESCRIPTION

Stagecoach Estates Subdivision
WEBER COUNTY, UTAH

Street B D G 13+92.00 - 18+72.00



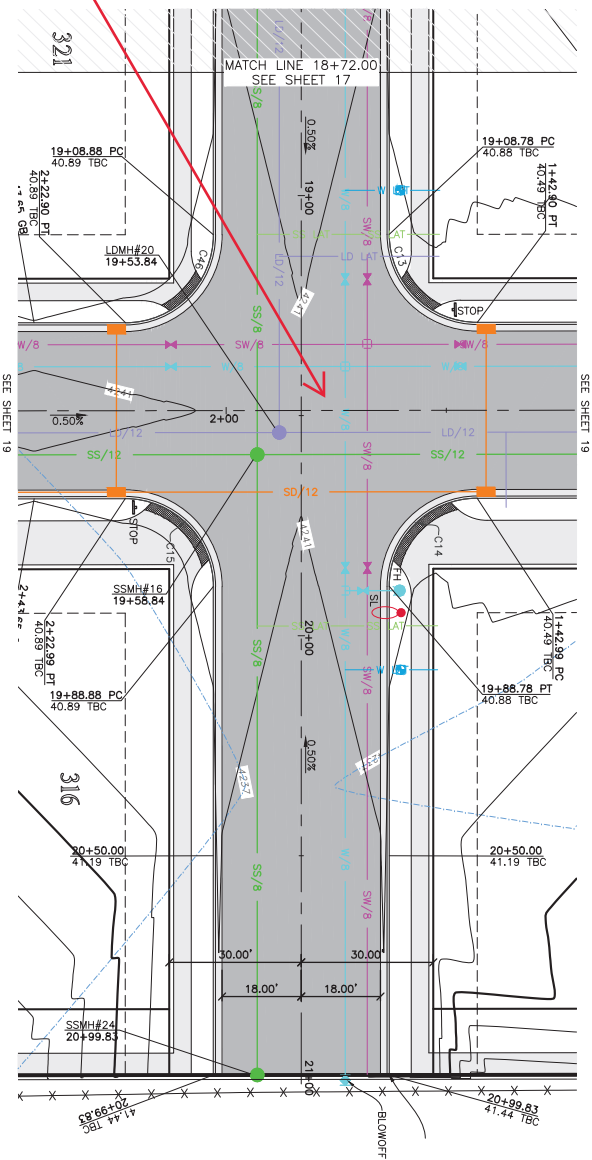
Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
Phase: 1
Number: 6298-14

17
Total Sheets

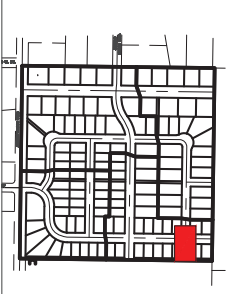
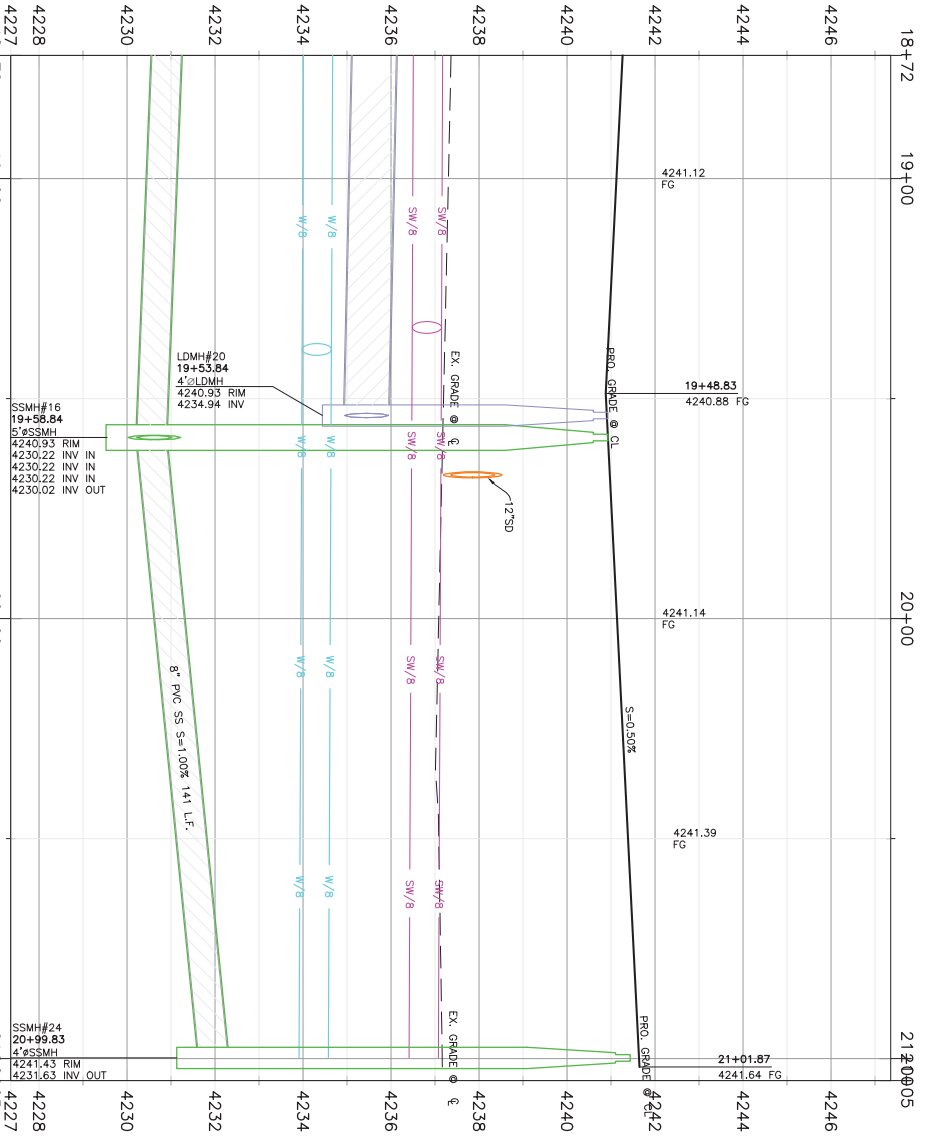
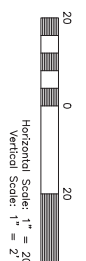


THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Same comment on ADA ramps in all intersections



Street B D G 18+72.00 - 20+99.83



Key Map
NOT TO SCALE

Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER

SD/12 - 12" PVC SDR-35 SERVICE LATERAL
SD/15 - 15" PVC SDR-35 SERVICE LATERAL
SD/18 - 18" PVC SDR-35 SERVICE LATERAL

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C13	90°03'58"	20.00'	31.44'	20.02'	N45°44'24"E	28.30'
C14	89°56'02"	20.00'	31.39'	19.98'	S44°15'36"E	28.27'
C15	90°03'58"	20.00'	31.44'	20.02'	S45°44'24"W	28.30'
C46	89°56'02"	20.00'	31.39'	19.98'	N44°15'36"W	28.27'

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



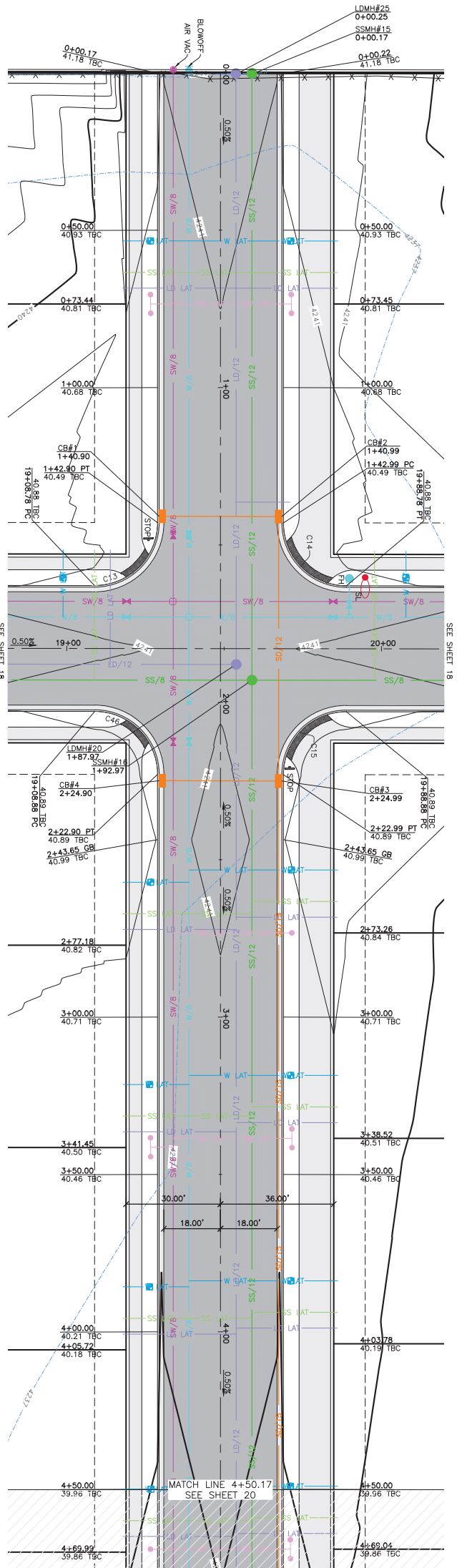
Project Info.

Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES
SUBDIVISION
PHASE 1
Number: 6298-14

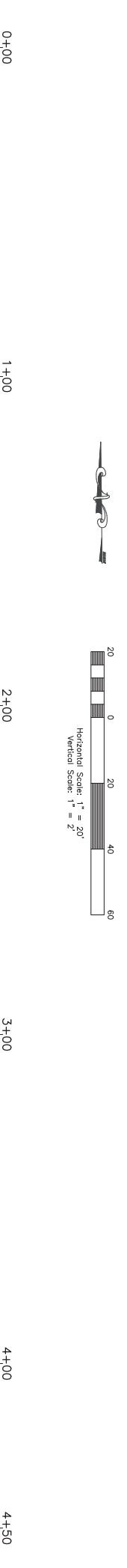
Stagecoach Estates Subdivision
WEBER COUNTY, UTAH
Street B D G 18+72.00 - 20+99.83

REVISIONS	
DATE	DESCRIPTION

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



Street C 0+00.00 - 4+50.00



TBC Curve Data						
#	Delta	Radius	Length	Tangent	Chord	Ch Length
C13	90°03'58"	20.00'	31.44'	20.02'	N45°44'24"E	28.30'
C14	89°56'02"	20.00'	31.39'	19.98'	S44°15'36"E	28.27'
C15	90°03'58"	20.00'	31.44'	20.02'	S45°44'24"W	28.30'
C46	89°56'02"	20.00'	31.39'	19.98'	N44°15'36"W	28.27'



Construction Notes

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUILINARY WATER
 NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
 W/8 - 8" DIP W/POLY WRAP WATER LINE
 W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER
 S5/4 - 4" PVC SDR-35 SERVICE LATERAL
 S5/8 - 8" PVC SDR-35 SERVICE LATERAL

STORM DRAIN
 SD/12 - 12" RCP CLASS III STORM DRAIN
 SD/15 - 15" RCP CLASS III STORM DRAIN
 SD/18 - 18" RCP CLASS III STORM DRAIN
 SD/24 - 24" RCP CLASS III STORM DRAIN
 SD/30 - 30" RCP CLASS III STORM DRAIN
 SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER
 SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE SERVICE LATERAL PER CITY STANDARDS

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREIN WITHOUT THEIR CONSENT.



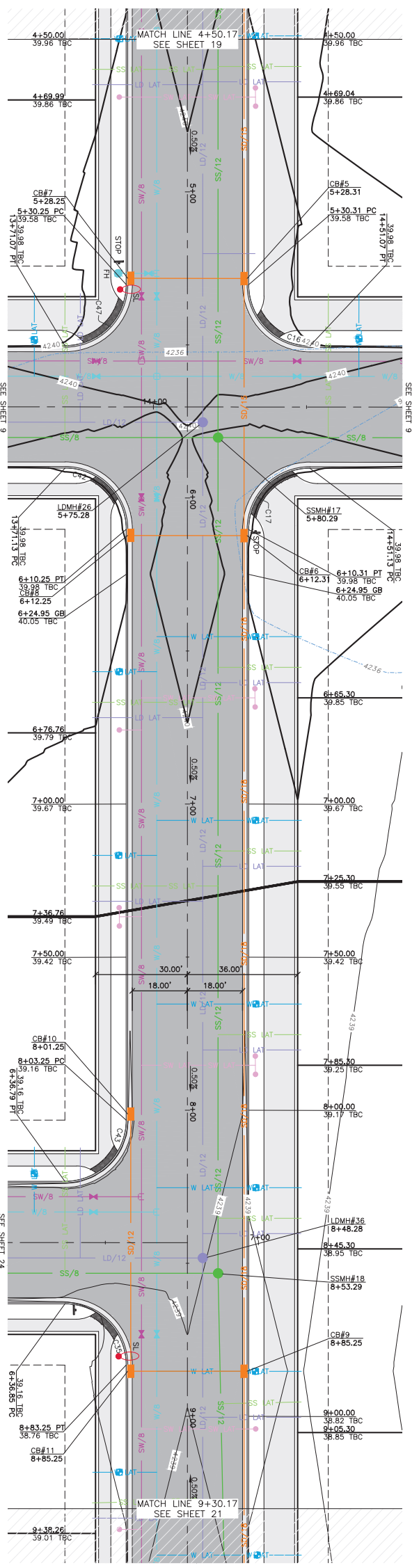
Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: MARCH 2023
 Name: STAGECOACH ESTATES SUBDIVISION
 PHASE 1
 Number: 6298-14



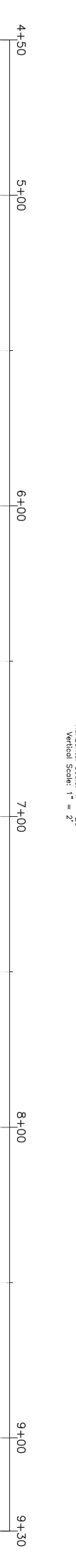
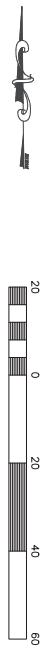
Stagecoach Estates Subdivision
 WEBER COUNTY, UTAH
Street C 0+00.00 - 4+50.00

REVISIONS	
DATE	DESCRIPTION

RA Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeve.co
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



Street C 4+50.00 - 9+30.00



TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C16	89°57'36"	20.00'	31.40'	19.99'	544'16.23'E	28.27'
C17	90°02'24"	20.00'	31.43'	20.01'	545'43.37'W	28.29'
C35	89°57'36"	20.00'	31.40'	19.99'	N44°16.23'W	28.27'
C42	89°57'36"	20.00'	31.40'	19.99'	N44°16.23'W	28.27'
C43	90°02'24"	20.00'	31.43'	20.01'	N45°43.37'E	28.29'
C47	90°02'24"	20.00'	31.43'	20.01'	N45°43.37'E	28.29'



Construction Notes:

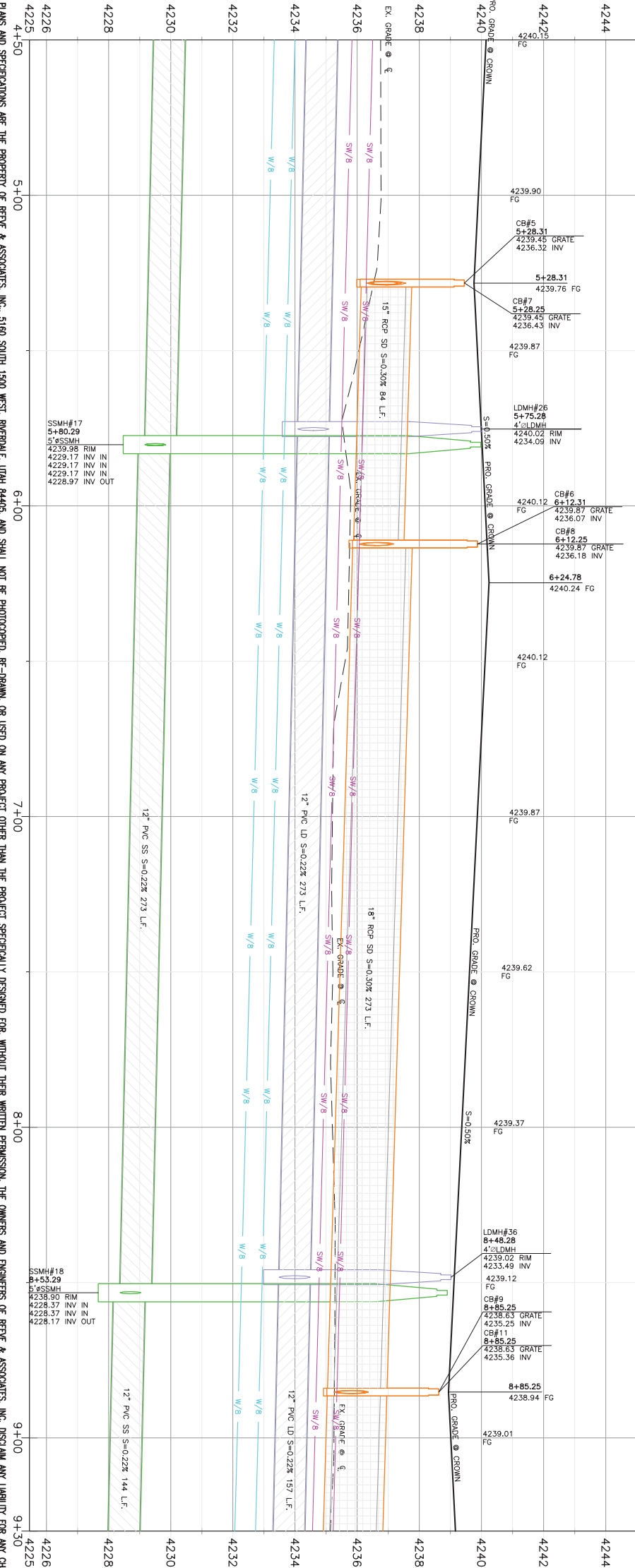
- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER
 NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
 W/8 - 8" DIP W/POLY WRAP WATER LINE
 W - 1" TYPE K COPPER SERVICE LATERAL

SAINTARY SEWER
 SS/4 - 4" PVC SPR-35 SERVICE LATERAL
 SS/8 - 8" PVC SPR-35 SERVICE LINE

STORM DRAIN
 SD/12 - 12" RCP CLASS III STORM DRAIN
 SD/15 - 15" RCP CLASS III STORM DRAIN
 SD/18 - 18" RCP CLASS III STORM DRAIN
 SD/24 - 24" RCP CLASS III STORM DRAIN
 SD/30 - 30" RCP CLASS III STORM DRAIN
 SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER
 SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
 SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS



Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: MARCH 2023
 Name: STAGECOACH ESTATES SUBDIVISION
 PHASE 1
 Number: 6298-14



Stagecoach Estates Subdivision
 WEBER COUNTY, UTAH
Street C 4+50.00 - 9+30.00

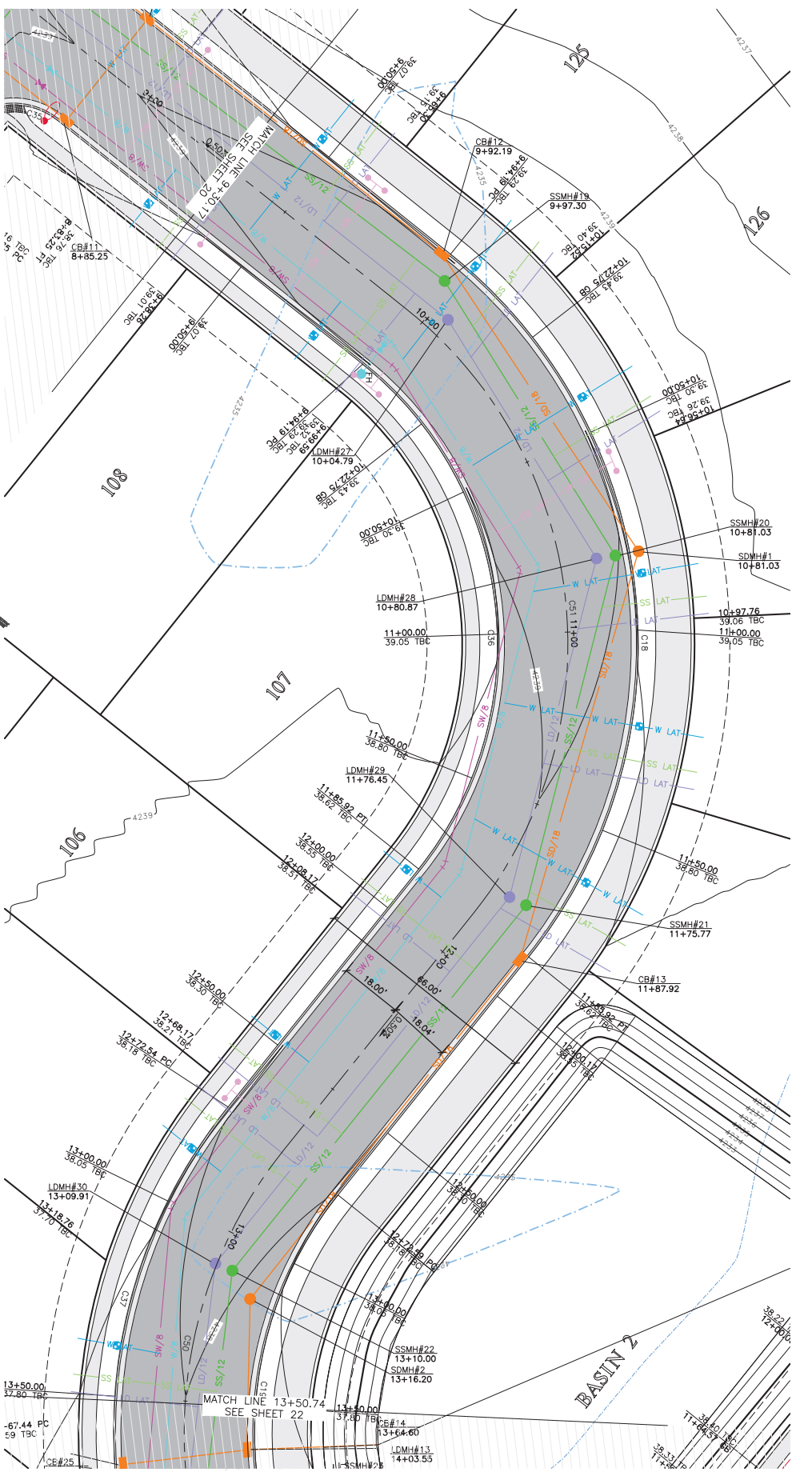
REVISIONS

DATE	DESCRIPTION

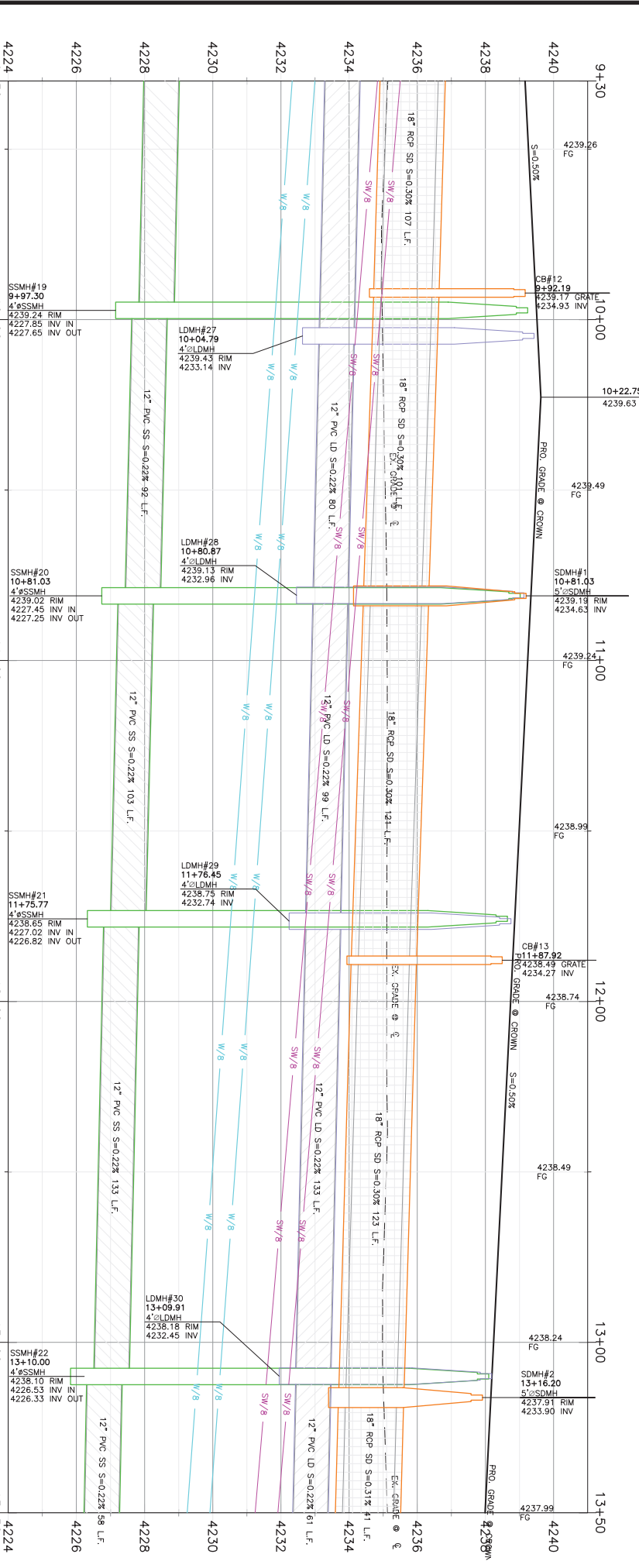
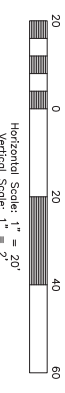
RA
Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeve.co
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Reeve & Associates, Inc. - Solutions You Can Build On



Street C 9+30.00 - 14+10.00



Key Map
NOT TO SCALE

Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER
NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER
SS/4 - 4" PVC SDR-35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SERVICE LINE

STORM DRAIN
SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER
SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C18	90°02'24"	142.00'	223.15'	142.10'	N45°43'37"E	200.89'
C19	90°03'29"	108.00'	169.76'	108.11'	S45°43'05"W	152.81'
C36	90°02'24"	102.00'	160.29'	102.07'	N45°43'37"E	144.30'
C37	43°04'38"	146.03'	109.79'	57.64'	S69°30'31"W	107.23'

Centerline Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C50	91°16'00"	128.16'	204.15'	131.03'	S46°22'54"W	183.24'
C51	90°02'24"	122.00'	191.72'	122.06'	S45°43'37"W	172.59'

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

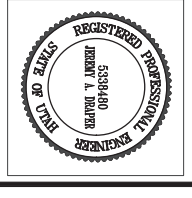


REVISIONS

DATE	DESCRIPTION

Stagecoach Estates Subdivision
WEBER COUNTY, UTAH

Street C 9+30.00 - 14+10.00

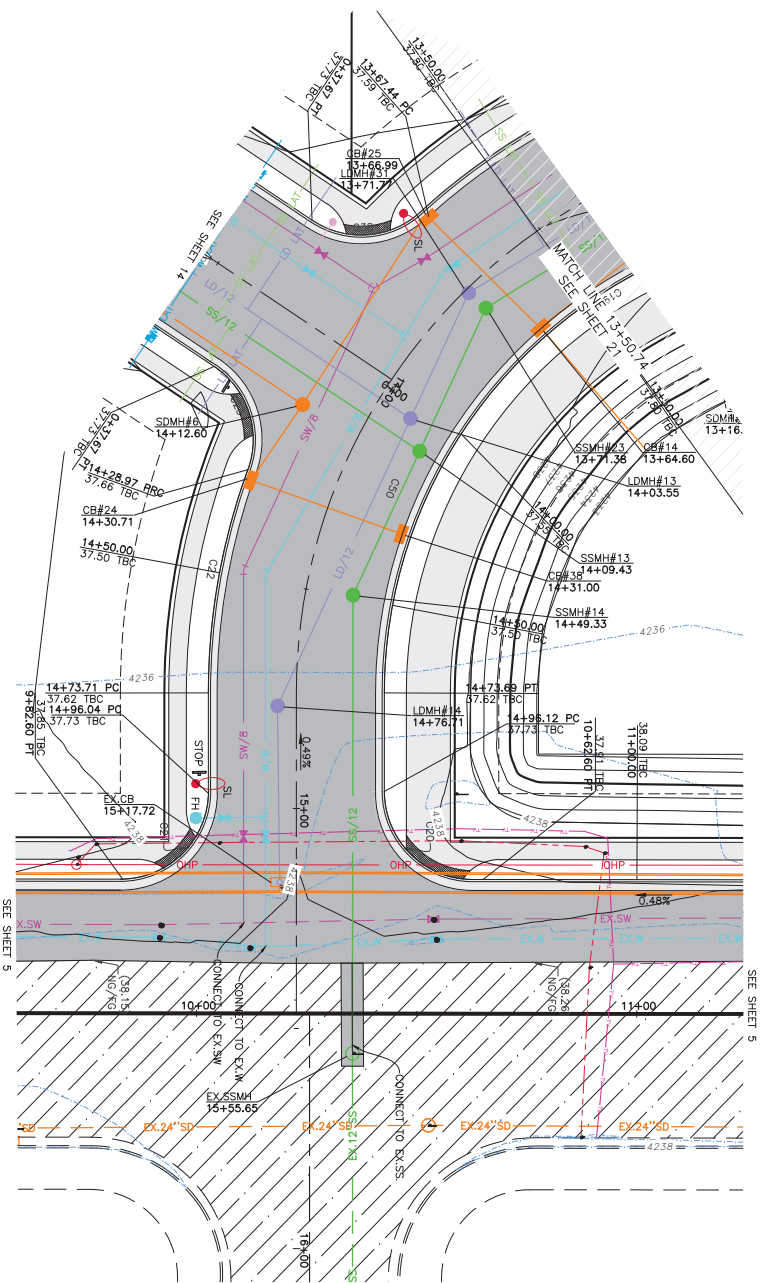


Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafted: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
Phase: 1
Number: 6298-14

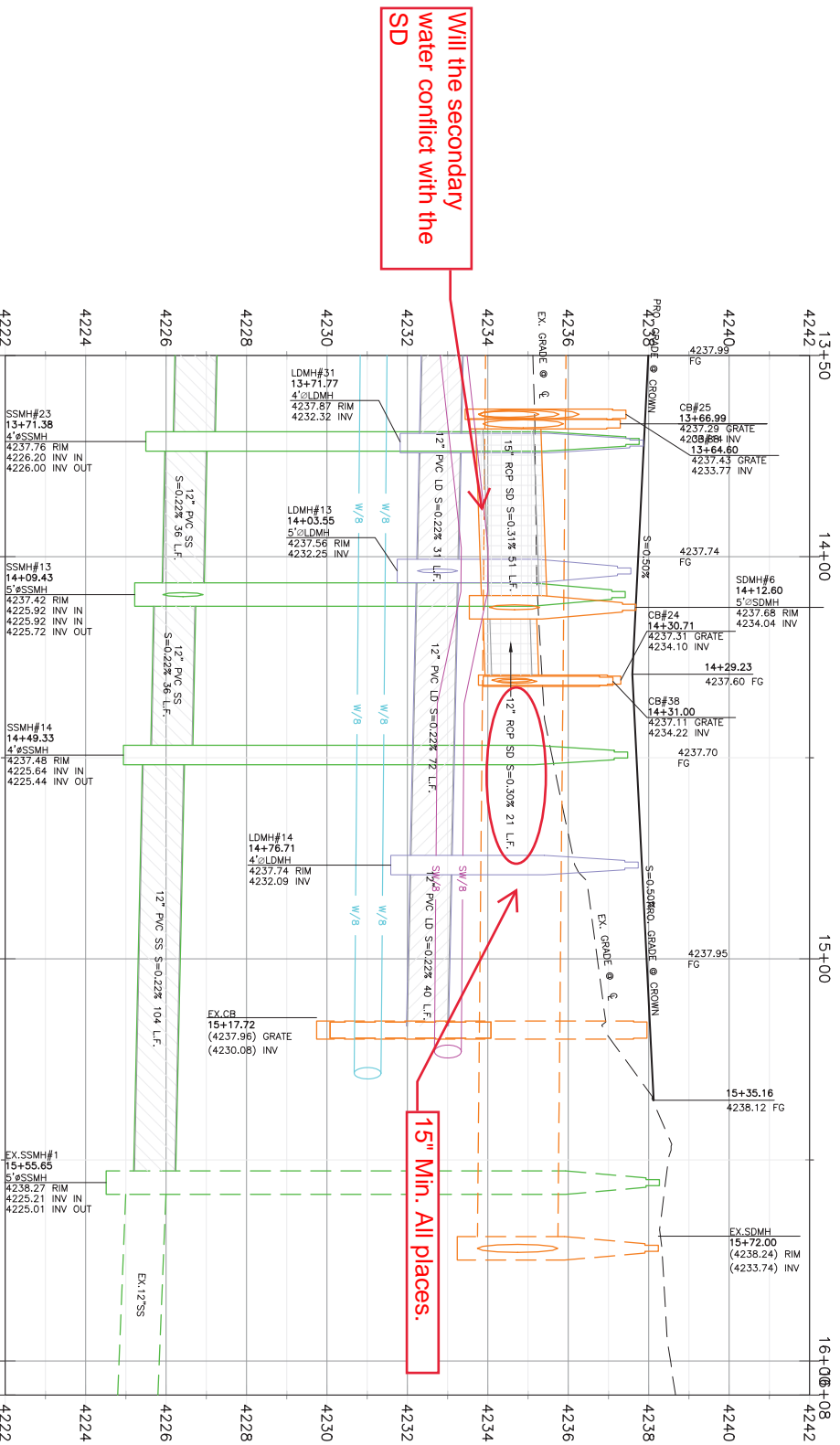
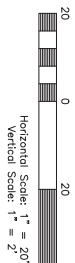
811 Know what's below. Call before you dig.

32 Total Sheets
21

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR. WITHOUT THEIR WRITTEN PERMISSION, THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



Street C 14+10.00 - 16+08.47



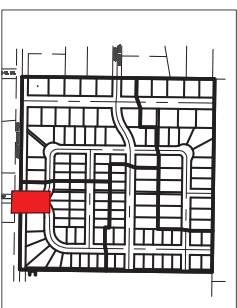
TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C19	90°03'29"	108.00'	169.76'	108.11'	S45°43'05"W	152.81'
C20	89°56'31"	20.00'	31.40'	19.98'	S44°16'55"E	4237.29'
C21	90°03'29"	20.00'	31.44'	20.02'	N45°43'05"E	28.30'
C22	20°01'58"	148.00'	51.75'	26.14'	S10°42'19"W	51.48'
C23	76°13'33"	20.00'	26.61'	15.69'	N17°23'28"W	24.69'
C38	76°48'37"	19.87'	26.64'	15.75'	N86°22'59"E	24.69'

Centerline Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C50	91°16'00"	128.16'	204.15'	131.03'	S46°22'54"W	183.24'

Key Map
NOT TO SCALE



Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUINARY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER

SS/4 - 4" PVC SDR-35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SERVICE LATERAL

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

REVISIONS

DATE	DESCRIPTION

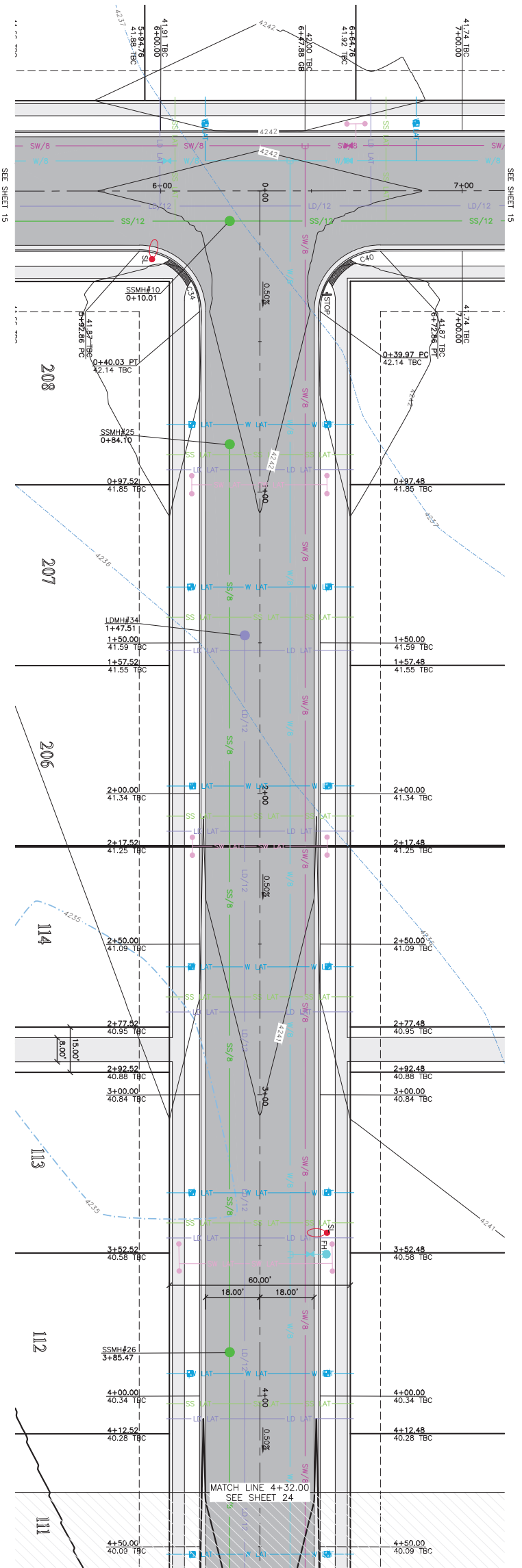
Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

Stagecoach Estates Subdivision
WEBER COUNTY, UTAH
Street C 14+10.00 - 16+08.47

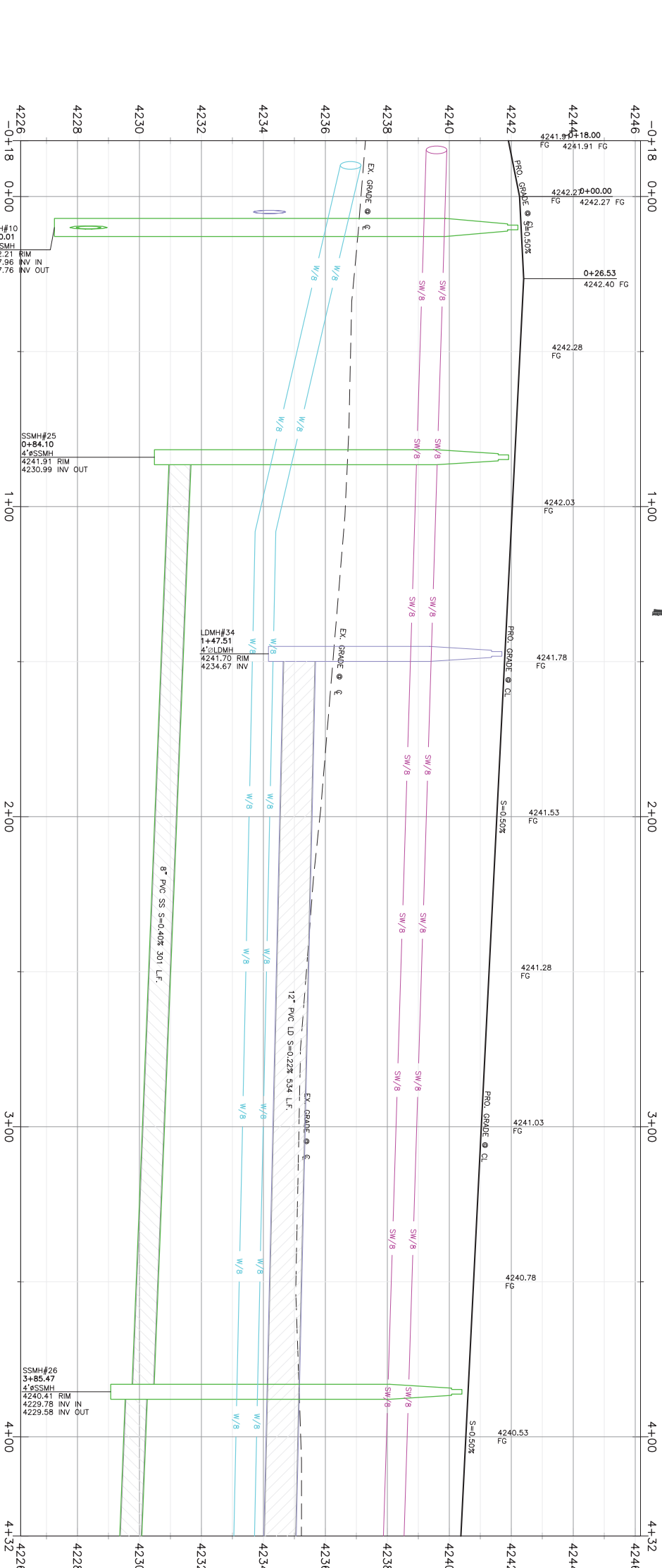
Project Info.

Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES
SUBDIVISION
PHASE 1
Number: 6298-14

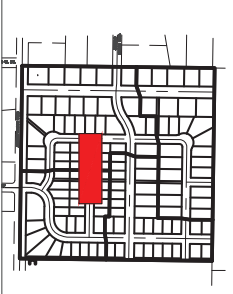
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



Street E -0+18.00 - 4+32.00



TBC Curve Data						
#	Delta	Radius	Length	Tangent	Chord	Ch Length
C34	90°02'24"	20,000'	31.43'	20.01'	545'43.37"W	28.29'
CA0	89°57'36"	20,000'	31.40'	19.99'	S44°16'23"E	28.27'



Key Map
NOT TO SCALE

Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

QUILNARY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SEWER

SS/8 - 8" PVC SDR-35 SERVICE LATERAL
SS/4 - 4" PVC SDR-35 SERVICE LINE

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE SERVICE LATERAL PER CITY STANDARDS

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



REVISIONS	
DATE	DESCRIPTION

Stagecoach Estates Subdivision
WEBER COUNTY, UTAH

Street E -0+18.00 - 4+32.00

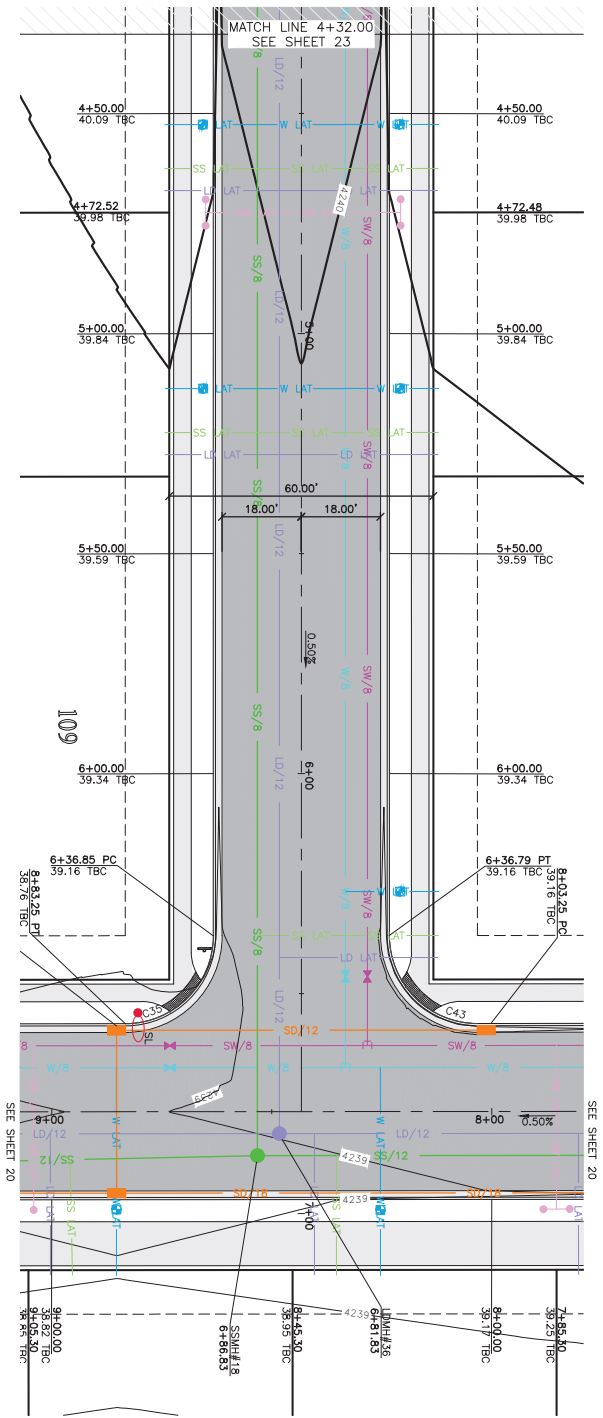


Project Info.

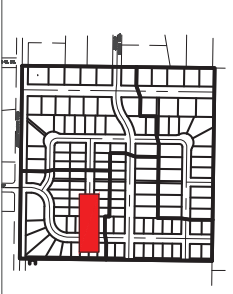
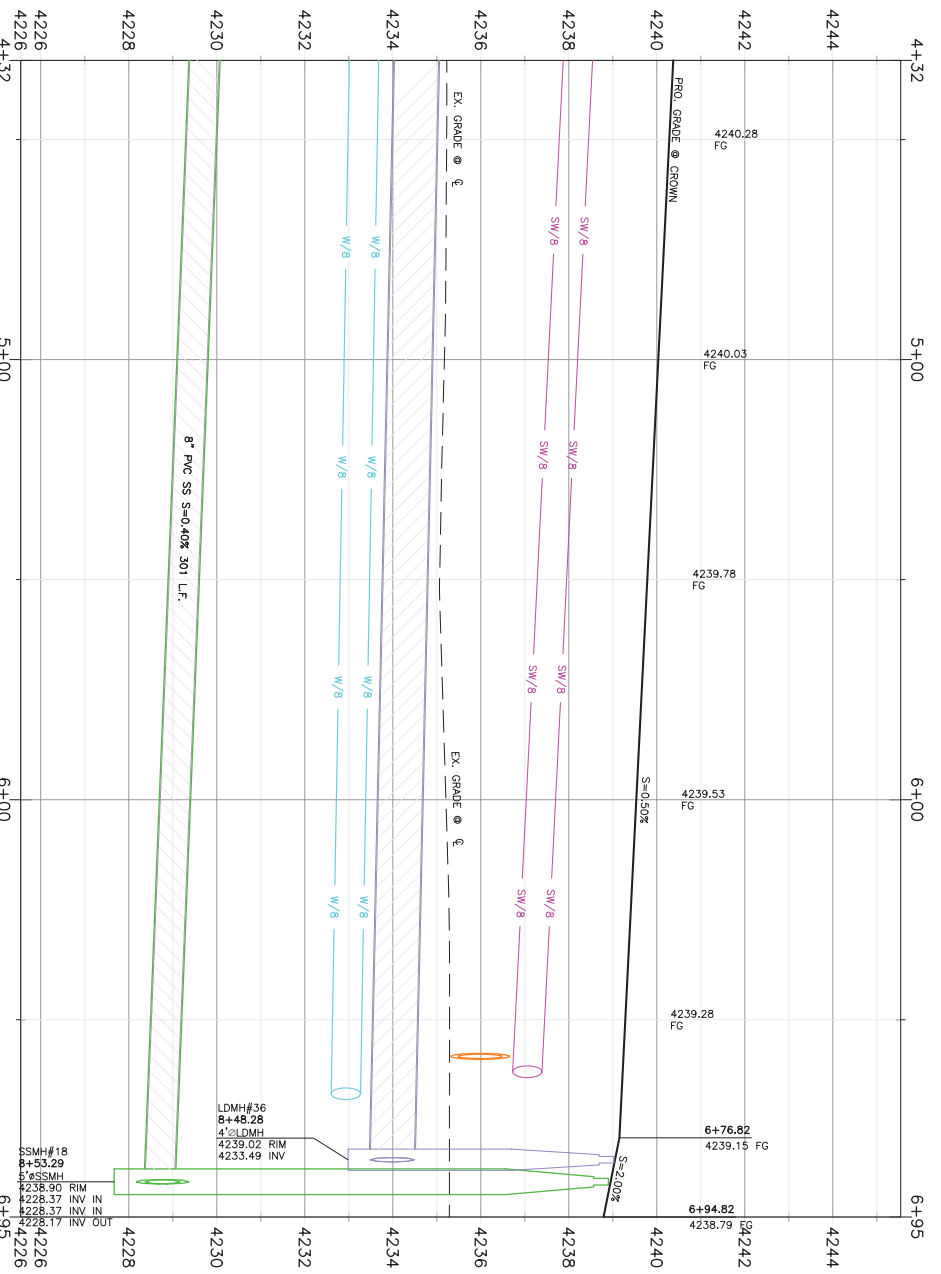
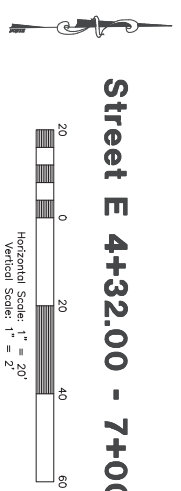
Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
Phase: 1
Number: 6298-14



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



Street E 4+32.00 - 7+00.00



Key Map

NOT TO SCALE

Construction Notes

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

UTILITY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES
 W/8 - 8" DIP W/POLY WRAP WATER LINE
 W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER

SS/4 - 4" PVC SDR-35 SERVICE LATERAL
 SS/8 - 8" PVC SDR-35 SERVICE LATERAL

STORM DRAIN

SD/12 - 12" RCP CLASS III STORM DRAIN
 SD/15 - 15" RCP CLASS III STORM DRAIN
 SD/18 - 18" RCP CLASS III STORM DRAIN
 SD/24 - 24" RCP CLASS III STORM DRAIN
 SD/30 - 30" RCP CLASS III STORM DRAIN
 SD/36 - 36" RCP CLASS III STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
 SW - SECONDARY SERVICE LATERAL PER CITY STANDARDS

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C35	89°57'36"	20.00'	31.40'	19.99'	N44°16'23"W	28.27'
C43	90°02'24"	20.00'	31.43'	20.01'	N45°43'37"E	28.29'

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREIN WITHOUT THEIR CONSENT.



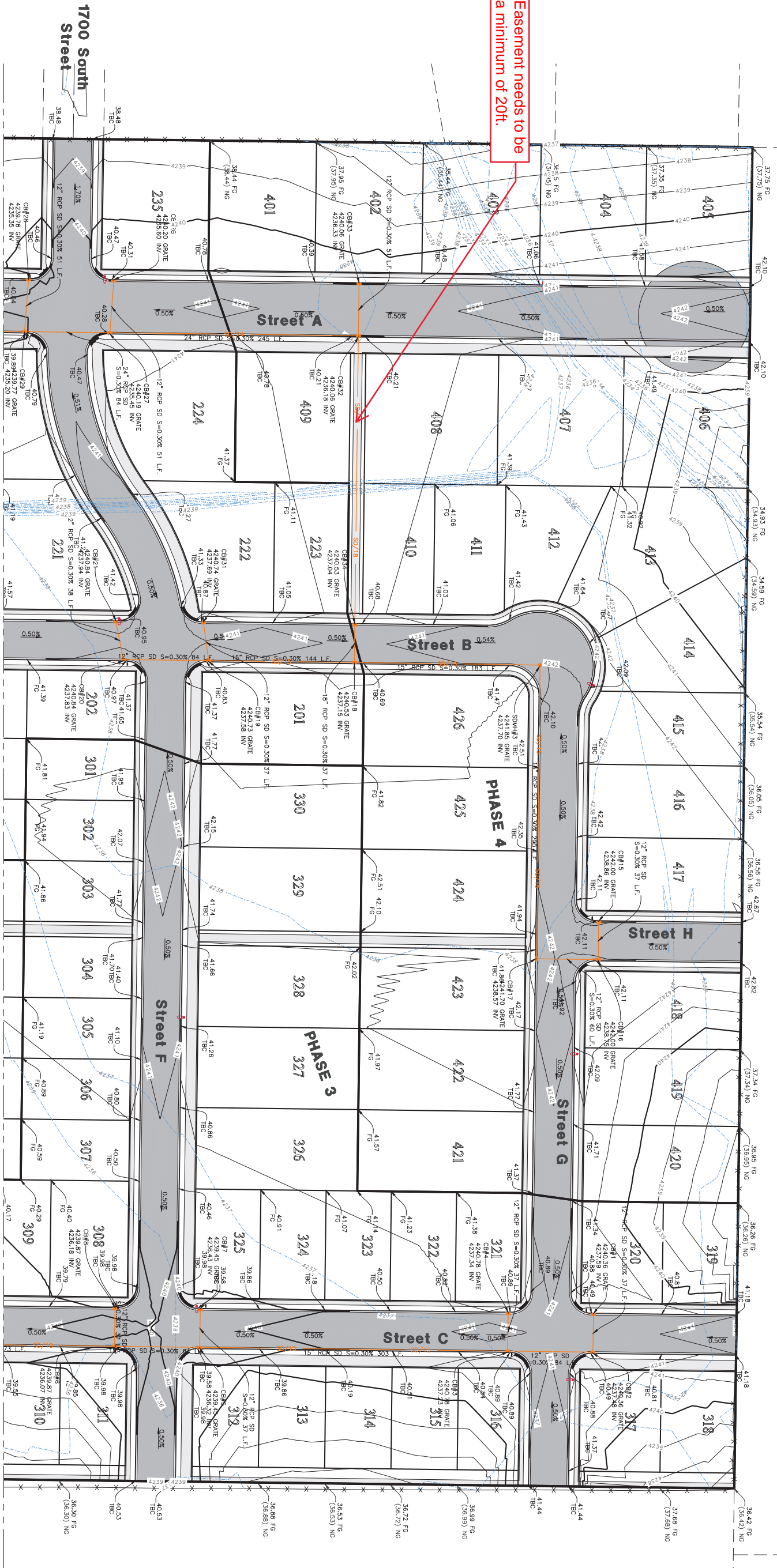
Stagecoach Estates Subdivision
 WEBER COUNTY, UTAH
Street E 4+32.00 - 7+00.00

REVISIONS	
DATE	DESCRIPTION

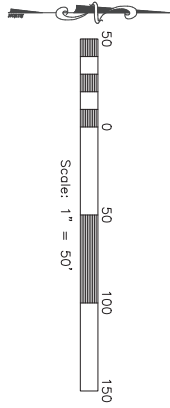
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeve.co
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: MARCH 2023
 Name: STAGECOACH ESTATES SUBDIVISION
 PHASE 1
 Number: 6298-14

32 Total Sheets
24



Match Line - See Sheet 26



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Stagecoach Estates Subdivision
WEBER COUNTY, UTAH
Grading & Drainage Plan

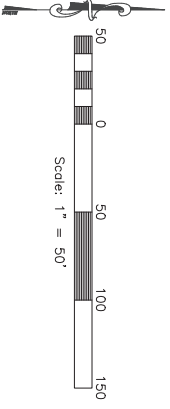
REVISIONS	
DATE	DESCRIPTION

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

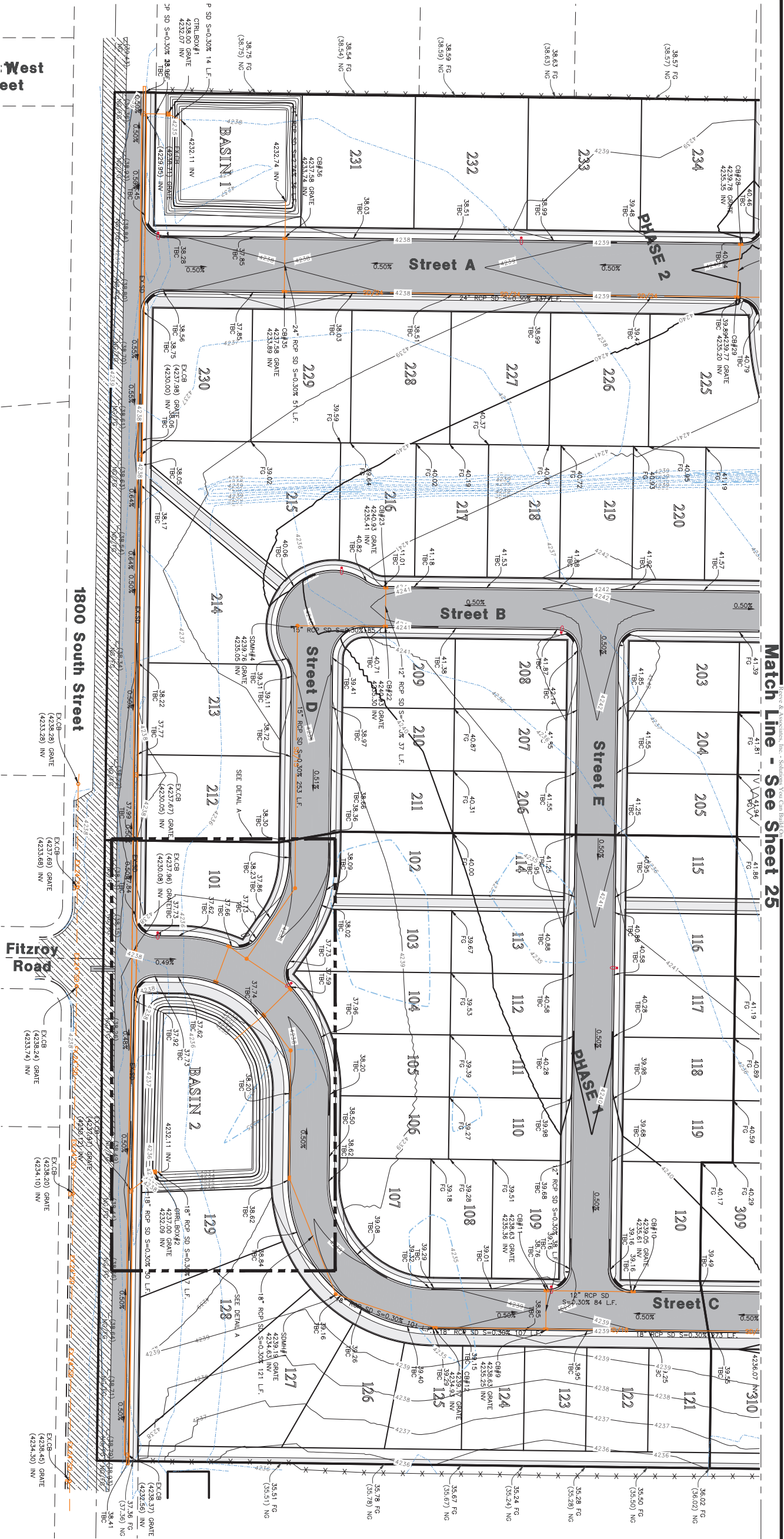
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSTLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
Phase: 4
Number: 029B-14

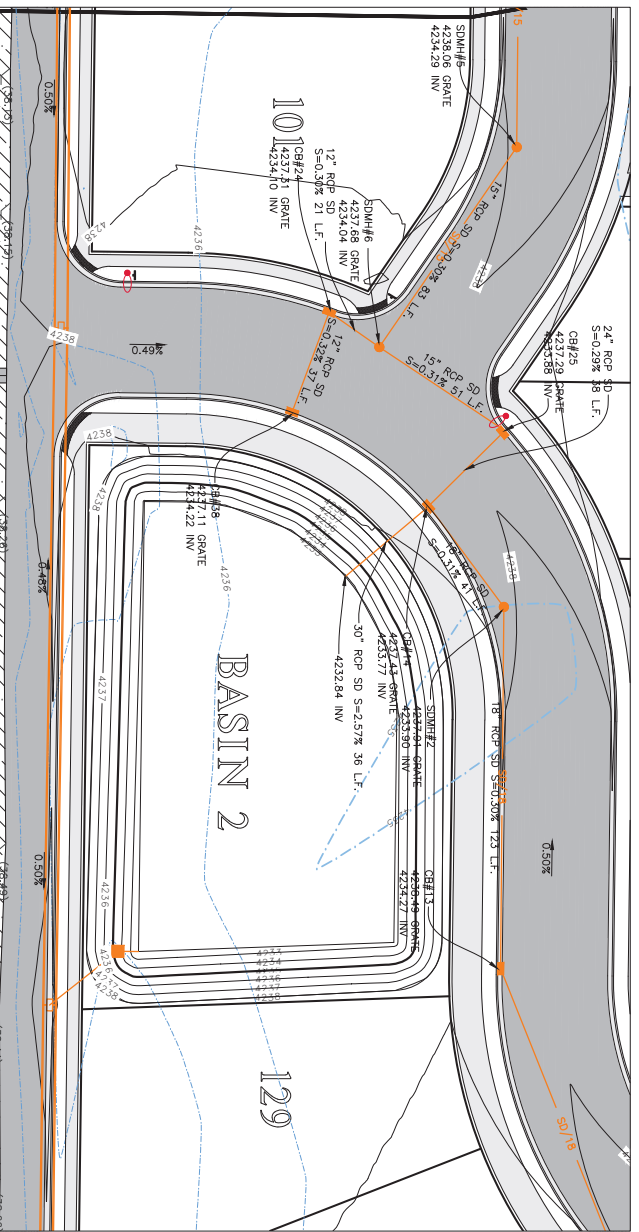


3900 West Street



Match Line - See Sheet 25

Detail A
SCALE: 1:30



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5180 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE REPRODUCED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Stagecoach Estates Subdivision

WEBER COUNTY, UTAH

Grading & Drainage Plan

REVISIONS

DATE DESCRIPTION



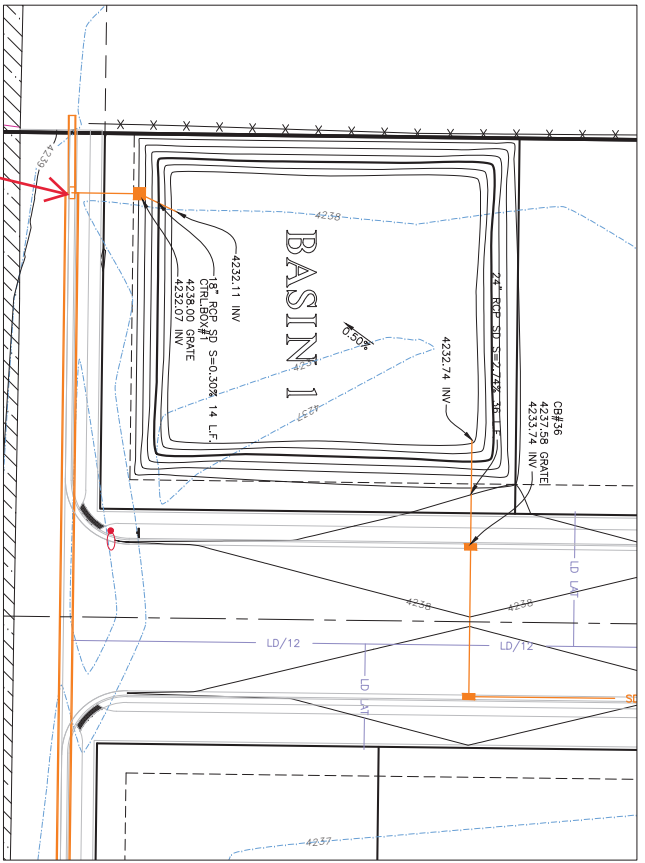
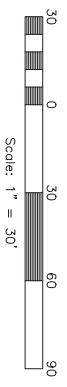
Reeve & Associates, Inc.
5180 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



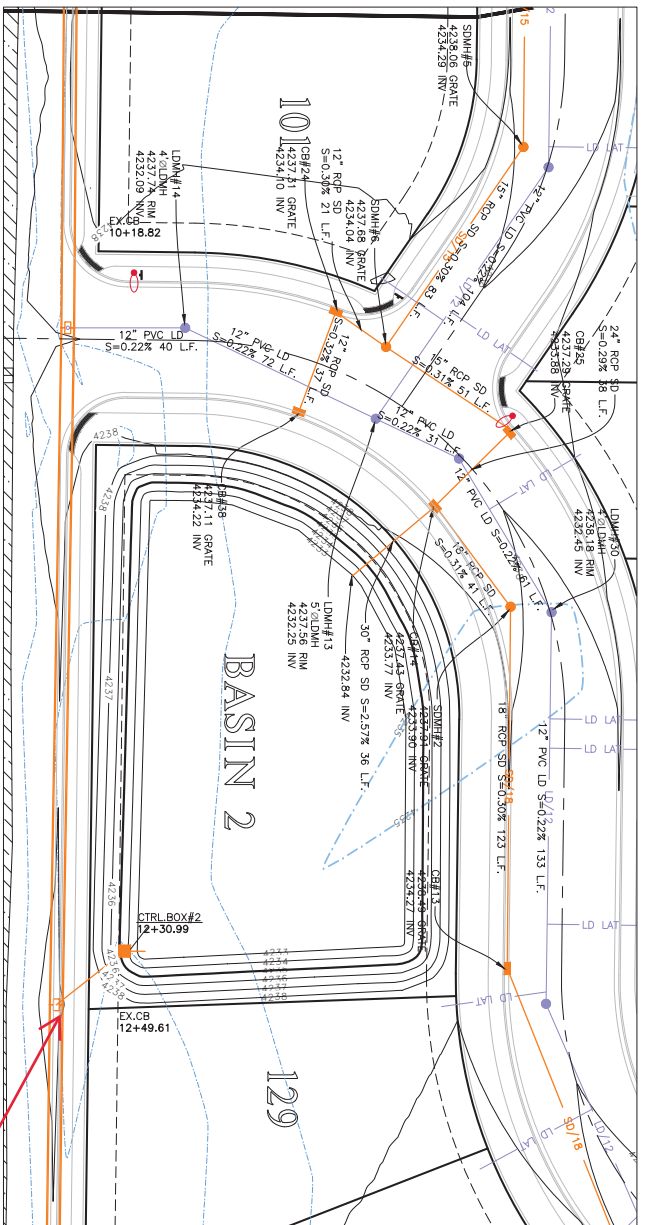
Project Info.

Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSTLEY
Name: STAGECOACH ESTATES SUBDIVISION
Begin Date: MARCH 2023
Number: 0298-14

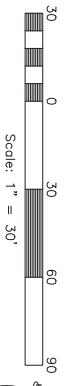


Basin 1

FL of storm drain and where this ties in at in relationship to the FL of the SD



Basin 2



What is the FL of the box and where does this tie in at?

BASIN 1 STAGE STORAGE TABLE - 49,600 C.F. REQUIRED						
ELEV	AREA (sq. ft.)	DEPTH (ft)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)		
4,232.11	0	N/A	N/A	0	BOTTOM	
4,233.00	9,611	0.88	2890	2890		
4,234.00	10,639	1.00	10120	13011		
4,235.00	11,692	1.00	11161	24172		
4,236.00	12,733	1.00	12209	36382		
4,237.00	13,806	1.00	13266	49648	HIGHWATER	
4,238.00	15,180	1.00	14488	64137	FREEBOARD	

BASIN 2 STAGE STORAGE TABLE - 46,905 C.F. REQUIRED						
ELEV	AREA (sq. ft.)	DEPTH (ft)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)		
4,232.11	0	N/A	N/A	0	BOTTOM	
4,233.00	12,524	0.88	3732	3732		
4,234.00	13,934	1.00	13223	16956		
4,235.00	15,396	1.00	14659	31615		
4,236.00	16,911	1.00	16148	47763	HIGHWATER	
4,237.00	18,477	1.00	17688	65452	FREEBOARD	



Storm Runoff Calculations
Stagecoach Estates Subdivision
02/28/14 3:29:20Z

The following runoff calculations are based on the Rational - Intensity - Duration Frequency Curve for the Weber County area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-Yr 24-Hr storm event for the east portion of the property. Storm water runoff has been calculated for a fully developed site and limited to a release rate of 1" of storage.

The calculations are as follows:

Drainage Area:

Total Area =	38.77 acres or	1,688,617 ft ²
Road	384,912	C = 0.9
Paved Area	240,000	C = 0.9
Unpaved Area	1,083,705	C = 0.2
Weighted Runoff Coefficient		C = 0.46

LID Retention:

off Percentum Retention Event (d)	0.45	in
Is the site Feasible for LID?	No	
Site Imperviousness (I)	0.37	
Runoff Coefficient	0.27	
R ₁ (Soil Group A, 0.044" 30Z, B, 0.044" 18B, CD, 0.034" 12Z)	0.8371, 122	
R ₂ (Soil Group A, 0.044" 30Z, B, 0.044" 18B, CD, 0.034" 12Z)	8895	C.L.
V _{run} = R ₁ x I x Total Site SF		

Volume of Run-off for 100-year Storm Event:

C = 0.46
I = See Below table
A = 62,073.188 ft²
Q (cfs) = 0.1 (1 cfs per acre)
time (min) = 5
Q (cfs) = 320
Q (cfs) = 60.00
Q (cfs) = 48.74
Q (cfs) = 37.72
Q (cfs) = 27.44
Q (cfs) = 17.11
Q (cfs) = 6.57
Q (cfs) = 2.16
Q (cfs) = 0.12

Office Staffing

Given:	Q = 1.99	ds	0	Difference (d)
	M = 4.53	ft	17441	
	N = 1.1	ft	26250	
	Cd = 0.02		1145	
	R = SQRT(Q/(0.7*(164.4*(V/V ^{0.5})))		32154	
			2154	
			793	
			14345	
			61888	
			47241	
			41829	
			21518	
			2727	
			86071	
			172143	

SUMMARY:
The required 100-yr storage volume is 49,600 cubic feet.
The required LID Retention volume is Not Feasible cubic feet.
Office size is 58 inches.
Note: No LID Retention to be provided due to low infiltration rate (Soil Group D) and high groundwater.



Storm Runoff Calculations
Stagecoach Estates Subdivision
02/28/14 3:29:20Z

The following runoff calculations are based on the Rational - Intensity - Duration Frequency Curve for the Weber County area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-Yr 24-Hr storm event for the east portion of the property. Storm water runoff has been calculated for a fully developed site and limited to a release rate of 1" of storage.

The calculations are as follows:

Drainage Area:

Total Area =	38.77 acres or	1,688,617 ft ²
Road	384,912	C = 0.9
Paved Area	240,000	C = 0.9
Unpaved Area	1,083,705	C = 0.2
Weighted Runoff Coefficient		C = 0.46

LID Retention:

off Percentum Retention Event (d)	0.45	in
Is the site Feasible for LID?	No	
Site Imperviousness (I)	0.37	
Runoff Coefficient	0.27	
R ₁ (Soil Group A, 0.044" 30Z, B, 0.044" 18B, CD, 0.034" 12Z)	0.8371, 122	
R ₂ (Soil Group A, 0.044" 30Z, B, 0.044" 18B, CD, 0.034" 12Z)	8974	C.L.
V _{run} = R ₁ x I x Total Site SF		

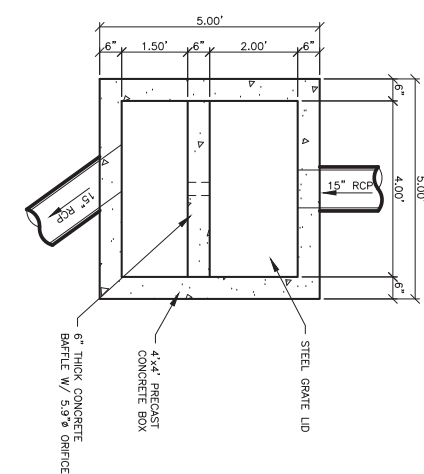
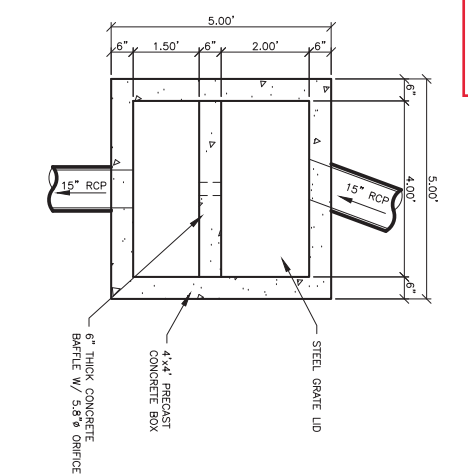
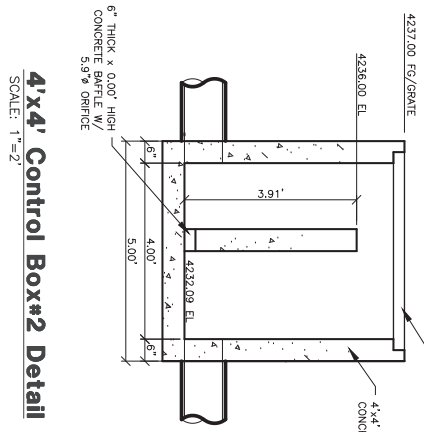
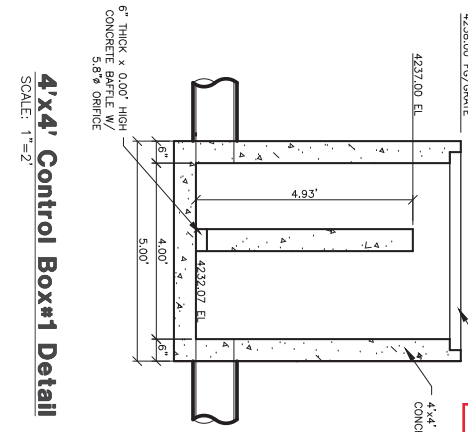
Volume of Run-off for 100-year Storm Event:

C = 0.46
I = See Below table
A = 62,073.188 ft²
Q (cfs) = 0.1 (1 cfs per acre)
time (min) = 5
Q (cfs) = 320
Q (cfs) = 60.00
Q (cfs) = 48.74
Q (cfs) = 37.72
Q (cfs) = 27.44
Q (cfs) = 17.11
Q (cfs) = 6.57
Q (cfs) = 2.16
Q (cfs) = 0.12

Office Staffing

Given:	Q = 1.98	ds	0	Difference (d)
	M = 4.53	ft	18604	
	N = 1.1	ft	24824	
	Cd = 0.02		1190	
	R = SQRT(Q/(0.7*(164.4*(V/V ^{0.5})))		32103	
			2088	
			1088	
			13869	
			53889	
			6783	
			44789	
			38307	
			20349	
			81350	
			182790	

SUMMARY:
The required 100-yr storage volume is 46,905 cubic feet.
The required LID Retention volume is Not Feasible cubic feet.
Office size is 59 inches.
Note: No LID Retention to be provided due to low infiltration rate (Soil Group D) and high groundwater.



Stagecoach Estates Subdivision
WEBER COUNTY, UTAH
Basin Details

REVISIONS	
DATE	DESCRIPTION



Project Info:
Engineer: JEREMY A. DEARER, P.E.
Drafter: C. KINGSTLEY
Begin Date: MARCH 2023
Name: STAGECOACH, ESTATES SUBDIVISION
Phase: PHASE 1-14
Number: 023B-14

All utilities extended to end of sub. boundary

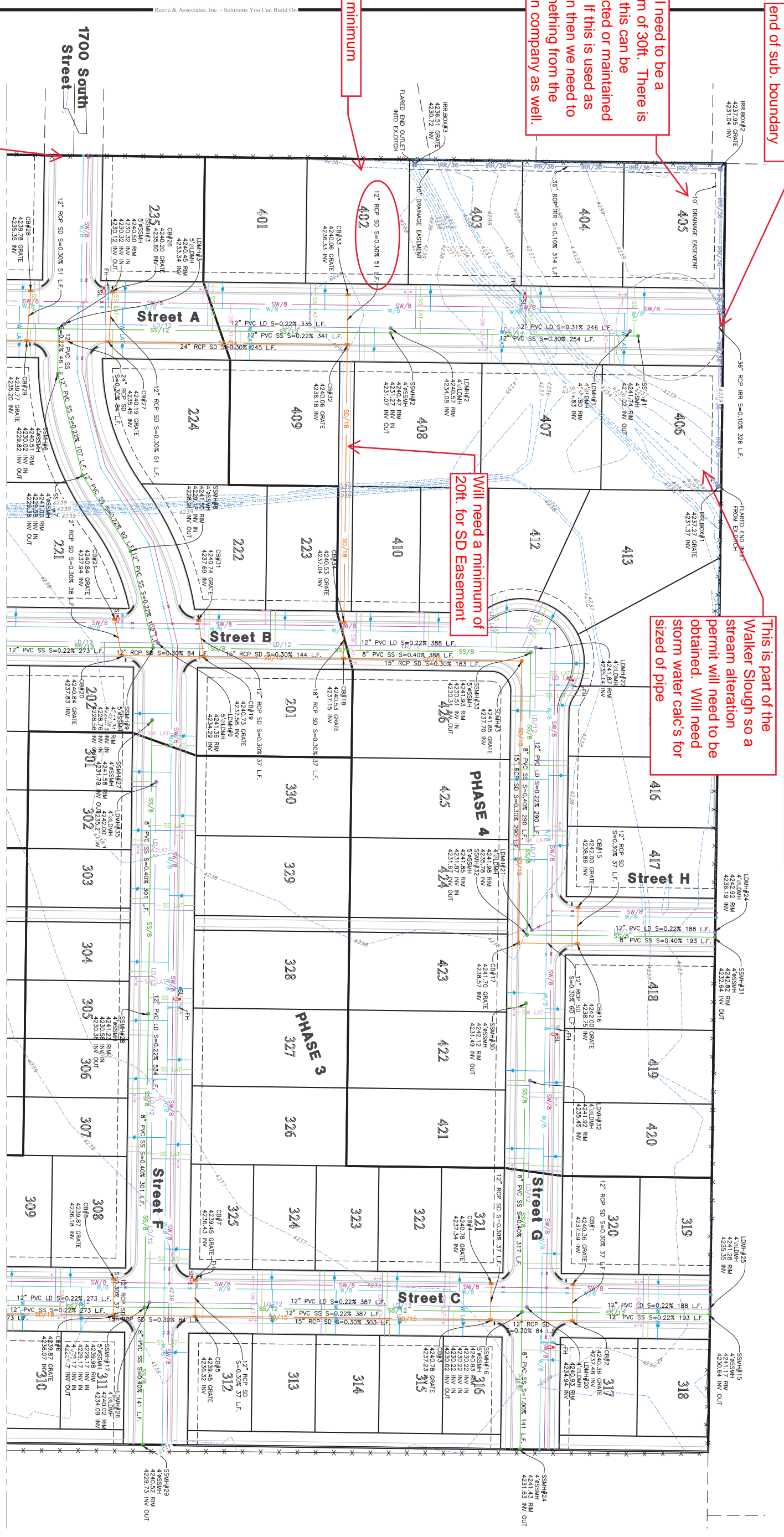
This will need to be a minimum of 30ft. There is no way this can be constructed or maintained in 10ft. If this is used as irrigation then we need to get something from the irrigation company as well.

This is part of the Walker Slough so a stream alteration permit will need to be obtained. Will need storm water calc's for sized of pipe

Will need a minimum of 20ft. for SD Easement

15" RCP minimum

Extend all utilities to end of sub. boundary

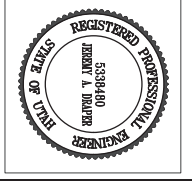


THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

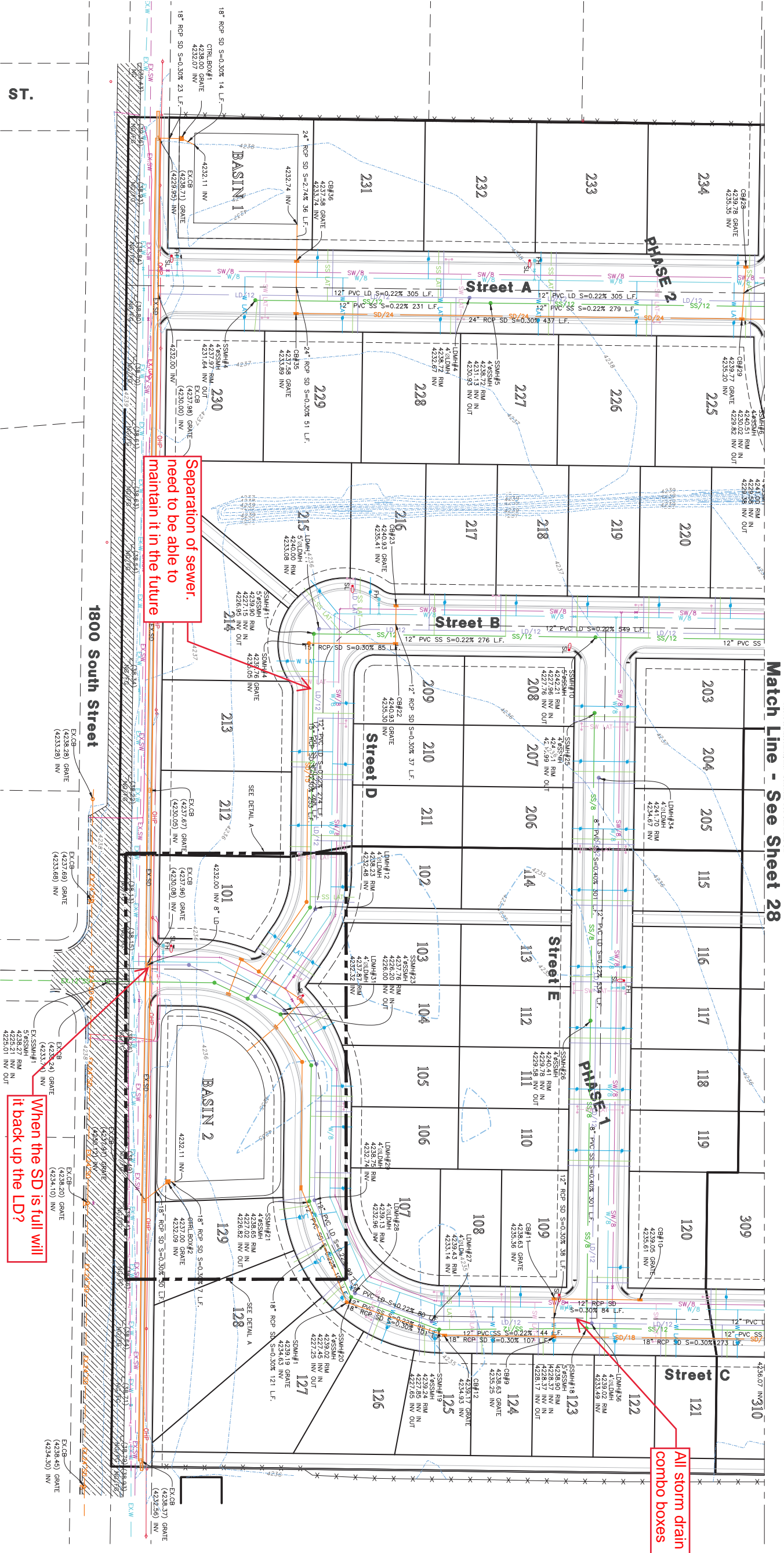
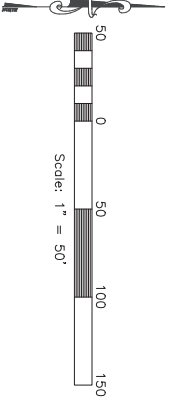
Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeveco.com
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	
DATE	DESCRIPTION

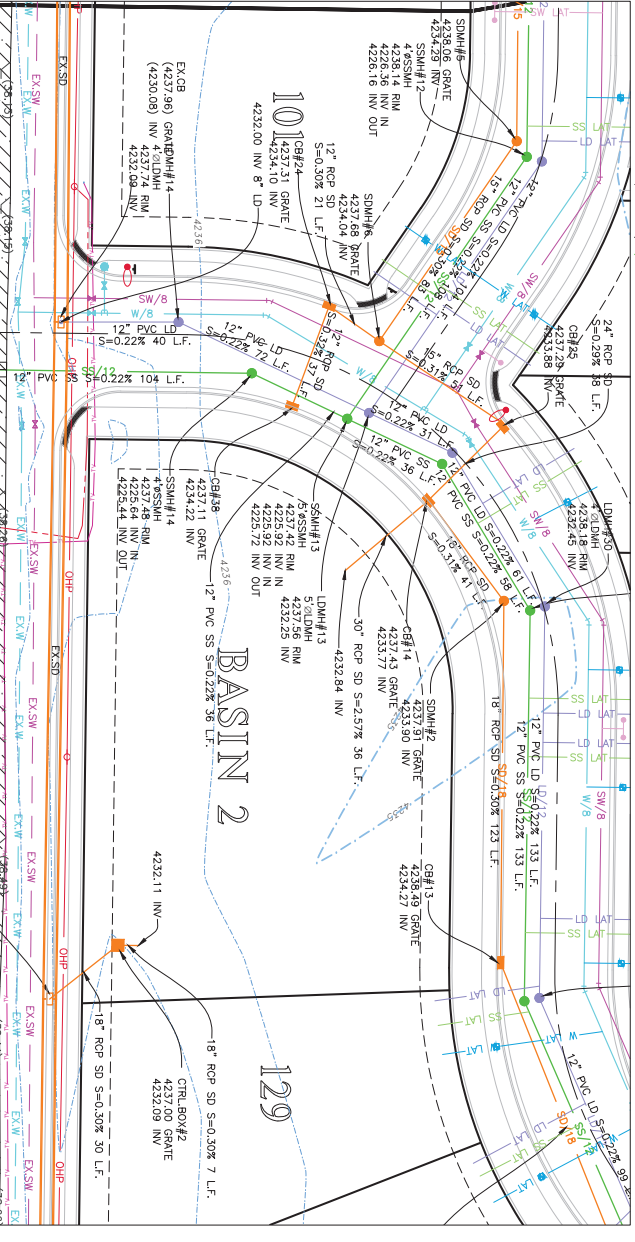
Stagecoach Estates Subdivision
 WEBER COUNTY, UTAH
Utility Plan



Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSTLEY
 Begin Date: MARCH 2023
 Name: STAGECOACH ESTATES
 SUBDIVISION
 PHASE: I
 Number: 029B-14



Detail A
SCALE: 1:30



Match Line - See Sheet 28

ST.

1800 South Street

Street A

Street B

Street D

Street E

Street C

Separation of sewer.
Need to be able to
maintain it in the future

All storm drain to have
combo boxes

When the SD is full will
it back up the LD?

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5180 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE REPRODUCED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Stagecoach Estates Subdivision

WEBER COUNTY, UTAH

Utility Plan

REVISIONS	
DATE	DESCRIPTION

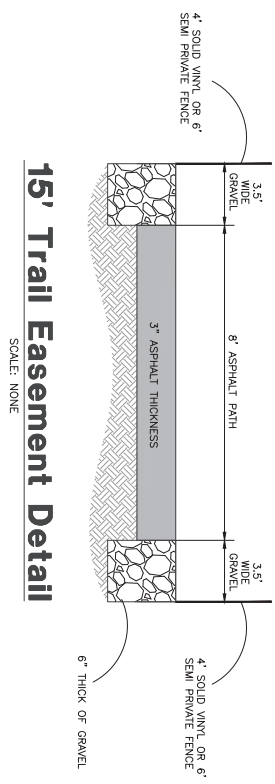
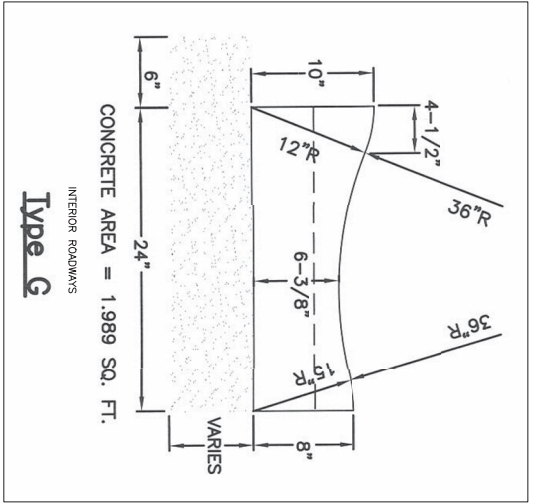
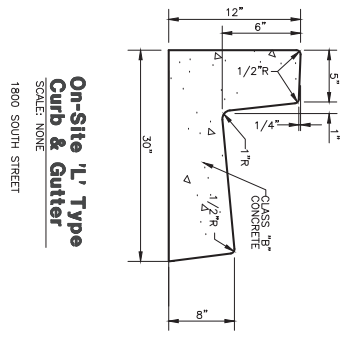
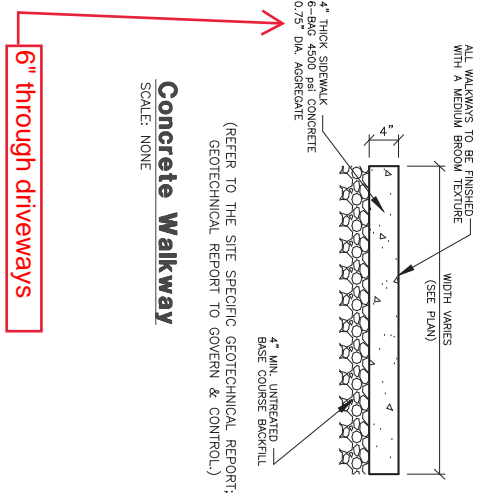
Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS



Project Info.

Engineer: JEREMY A. DRAPER, P.E.
Drafted: C. KINGSTLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
Number: 029B-14



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5180 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Reeve & Associates, Inc. - Solutions You Can Build On

Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSTLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
Phase: 4
Number: 0239-14



Stagecoach Estates Subdivision
WEBER COUNTY, UTAH

Civil Details

REVISIONS	
DATE	DESCRIPTION

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

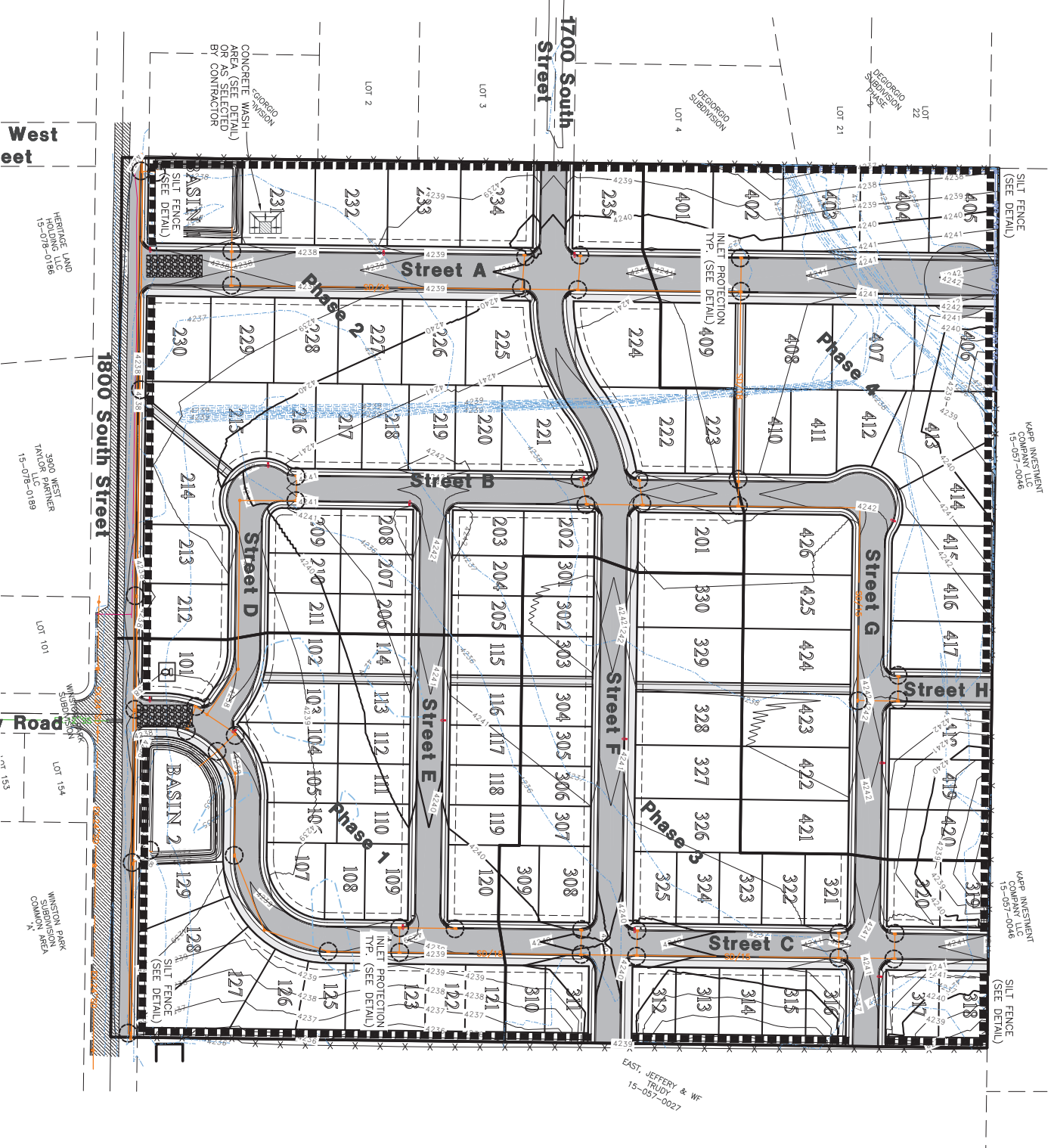
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

Stagecoach Estates Subdivision

Master Plan

Storm Water Pollution Prevention Plan Exhibit

WEBER COUNTY, UTAH
MARCH 2023



Vicinity Map
NOT TO SCALE

SWPPP Legend

	= PORTABLE TOILET
	= INLET PROTECTION TYP. (SEE DETAIL)
	= SILT FENCE (SEE DETAIL)
	= 50'x20' CONSTRUCTION ENTRANCE W/8" CLEAN GRAVEL
	= CONCRETE WASH AREA (SEE DETAIL) OR AS SELECTED BY CONTRACTOR

SWPPP NOTES:
1. ALL VEHICLES EXITING SITE TO PROCEED THROUGH CONSTRUCTION ENTRANCE TO REDUCE AMOUNTS OF SEDIMENT TRAPPED INTO ROADWAYS. FEET OF CONSTRUCTION ENTRANCE DAILY IF NECESSARY.

Construction Activity Schedule

PROJECT LOCATION:	WEBER COUNTY, UTAH
PROJECT BEGINNING DATE:	APRIL 2023
PROJECT ENDING DATE:	APRIL 2023
BMPS DEPLOYMENT DATE:	APRIL 2023
STORM WATER MANAGEMENT CONTACT / INSPECTOR:	PAT BURNS (801) 710-2234
SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER:	

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DATE	DESCRIPTION

Stagecoach Estates Subdivision

WEBER COUNTY, UTAH

Storm Water Pollution Prevention Plan Exhibit

REGISTERED PROFESSIONAL ENGINEER
5298489
JEREMY A. DEAFER, P.E.
JEREMY A. DEAFER, P.E.
C. KINGSTLEY
Begin Date: MARCH 2023

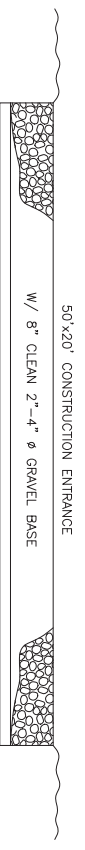
Project Info:
Name: STAGECOACH ESTATES SUBDIVISION
PHASE: 1
Number: 0289-14

32 Total Sheets
31

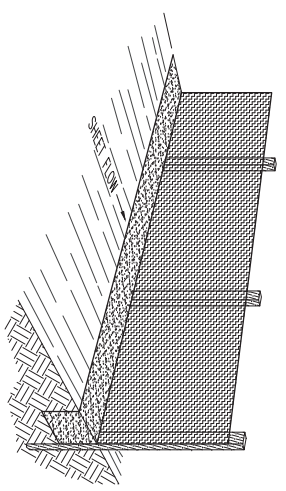
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Notes:

1. Describe all BMP's to protect storm water inlets:
 - a. All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
2. Describe BMP's to eliminate/reduce contamination of storm water from:
 - a. Equipment / building / concrete wash areas:
 - i. To be performed in designated areas only and surrounded with silt fence barriers.
 - b. Soil contaminated by soil amendments:
 - i. If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - c. Areas of contaminated soil:
 - i. If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - d. Fueling areas:
 - i. To be performed in designated areas only and surrounded with silt fence.
 - e. Vehicle maintenance areas:
 - i. To be performed in designated areas only and surrounded with silt fence.
 - f. Vehicle parking areas:
 - i. To be performed in designated areas only and surrounded with silt fence.
 - g. Equipment storage areas:
 - i. To be performed in designated areas only and surrounded with silt fence.
 - h. Materials storage areas:
 - i. To be performed in designated areas only and surrounded with silt fence.
 - i. Waste containment areas:
 - i. To be performed in designated areas only and surrounded with silt fence.
 - j. Service areas:
 - i. To be performed in designated areas only and surrounded with silt fence.
3. BMP's for wind erosion:
 - a. Stockpiles and site us needed to be watered regularly to eliminate / control wind erosion
4. Construction Vehicles and Equipment:
 - a. Maintenance
 - i. Maintain all construction equipment to prevent oil or other fluid leaks.
 - ii. Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - iii. Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - b. Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - i. Store and recycle wastes, such as grease, used oil or oil filters, antifreeze, cleaning solutions, degreasing solvents, hydraulic, and transmission fluids.
 - c. Fueling
 - i. If fueling must occur on-site, use designated areas away from drainage.
 - ii. Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - iii. Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - iv. Use drip pans for any oil or fluid changes.
 - d. Washing
 - i. Washing on site water as possible to avoid installing erosion and sediment controls for the wash area.
 - ii. If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - iii. Use phosphate-free, biodegradable soaps.
 - iv. Do not permit steam cleaning on-site.
5. Spill Prevention and Control
 - a. Minor Spills:
 - i. Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - ii. Record all steps taken to report and contain spill.
 - b. Major Spills:
 - i. Major personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
6. Post Roadway / Utility Construction
 - a. Maintain good housekeeping practices.
 - b. Erosion or cover building material storage areas.
 - c. Properly store materials such as paints and solvents.
 - d. Store materials in berms or other containment devices.
 - e. Avoid mixing excess amounts of fresh concrete or cement on-site.
 - f. Perform washout of concrete trucks offsite or in designated areas only.
 - g. Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - h. Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - i. All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary, to prevent debris from being tracked onto adjacent streets.
 - j. Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
7. Erosion Control Plan Notes
 - a. The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - b. A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when on-site personnel are not available.
 - c. Erosion control devices shall be approved for the project by the governing agency. No work may continue that have the potential of erosion without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary, erosion control should be reestablished before this work begins.
 - d. Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - e. All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - f. Erosion control devices shall be inspected and repaired as needed. Erosion control devices shall be in place at the end of each working day and shall be maintained throughout the project.
 - g. All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record or the governing agency.
 - h. The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
 - i. Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - j. Erosion control devices will be modified as needed as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
8. Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - a. Part III.D.4 of general permit UTRC000000 identifies the minimum inspection requirements.
 - b. Part III.D.4.C identifies the minimum inspection report requirements.
 - c. Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Cross Section 50' x 20' Construction Entrance



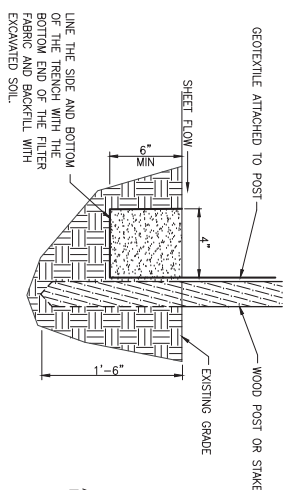
Perspective View

INSTALLATION
The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be installed in a manner to ensure a uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)	
Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

PREFABRICATED SILT FENCE ROLLS
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Unroll the silt fence, positioning the post against the downstream wall of the trench.
*Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, the ends of the rolls should be completely unwound completely around the post, then about the end posts to create a tight seal as shown in Figure 1.
*Drive posts into the ground until the required fence height and/or anchorage depth is obtained. Loose gravel at the bottom of the trench in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY:
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing



Section

should generally be less than three (3) times the height of the fence.
*If the silt fence is installed in a trench, the trench should be at least 15.2cm (6") deep. The mesh opening of 15.2cm (6")
*Fasten the mesh to the upslope side of the posts using heavy duty wire staples, tie wires or hog strings. Extend the mesh into the bottom of the trench, shall then be stapled or tied to the posts. An extra 20-50cm (8-20") of geotextile shall extend into the trench.

INSPECTION
*Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall events, and after any other event that may cause erosion. Make any repairs immediately.
*When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleanup.
REMOVAL
*Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

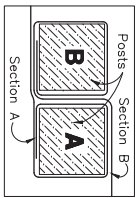
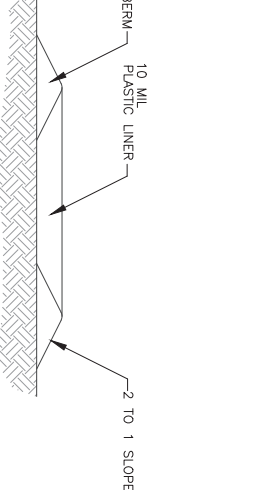
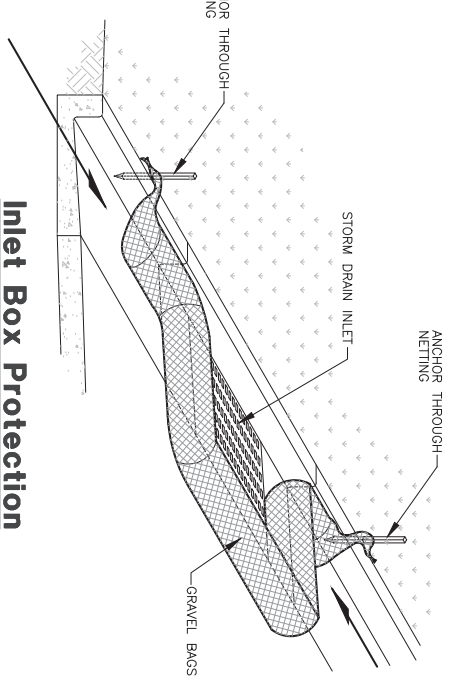


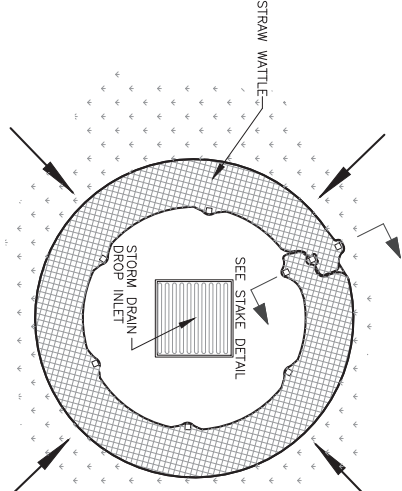
Figure 1:
Roll-to-Roll Connection



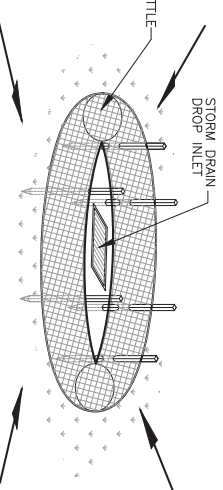
Concrete Washout Area
w/ 10 mil Plastic Liner
SCALE: NONE



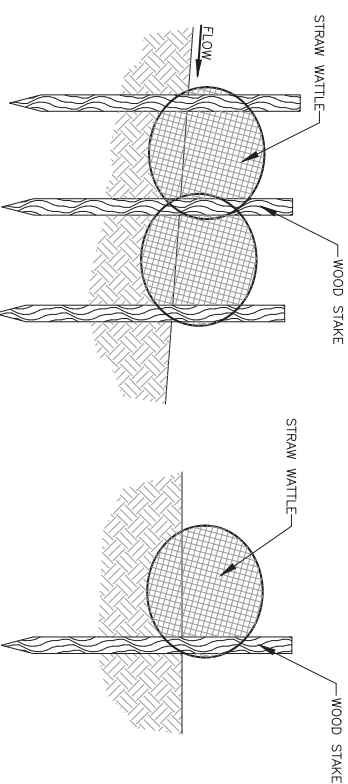
Inlet Box Protection



Plan View



Drop Inlet Protection



Stake Detail



Project Info:
Engineer: JEREMY A. DEAFER, P.E.
Drafter: C. KINGSTLEY
Begin Date: MARCH 2023
Name: STAGECOACH ESTATES SUBDIVISION
Phase: 1
Number: 029B-14

Reeve & Associates, Inc. - Solutions You Can Build On

Stagecoach Estates Subdivision
WEBER COUNTY, UTAH

Storm Water Pollution Prevention Plan Details

REVISIONS

DATE	DESCRIPTION

RA **Reeve & Associates, Inc.**
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

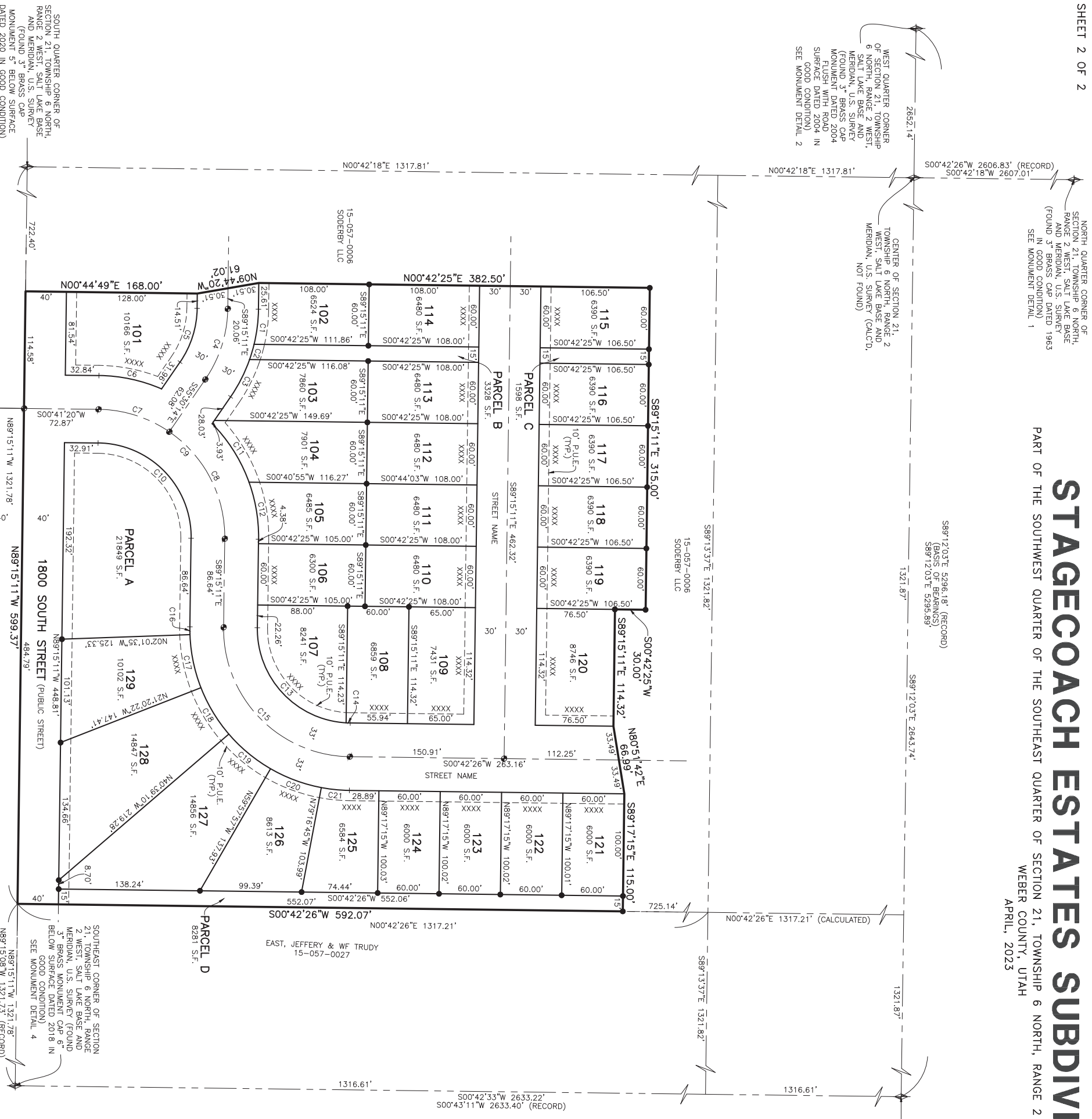
STAGECOACH ESTATES SUBDIVISION PHASE 1

PART OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH
APRIL, 2023

NORTH QUARTER CORNER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND 3" BRASS CAP DATED 1963 IN GOOD CONDITION) SEE MONUMENT DETAIL 1

WEST QUARTER CORNER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND 3" BRASS CAP DATED 2004 IN GOOD CONDITION) SEE MONUMENT DETAIL 2

CENTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (CALC'D, NOT FOUND)



EAST QUARTER CORNER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND 3" BRASS CAP MONUMENT 6" BELOW SURFACE IN GOOD CONDITION DATED 2017) SEE MONUMENT DETAIL 3

SOUTHWEST QUARTER CORNER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND 3" BRASS MONUMENT DATED 2018 IN GOOD CONDITION) SEE MONUMENT DETAIL 4

SOUTHEAST CORNER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND 3" BRASS MONUMENT DATED 2018 IN GOOD CONDITION) SEE MONUMENT DETAIL 5

MONUMENT DETAIL 1
(NOT TO SCALE)

MONUMENT DETAIL 2
(NOT TO SCALE)

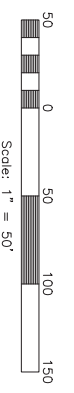
MONUMENT DETAIL 3
(NOT TO SCALE)

MONUMENT DETAIL 4
(NOT TO SCALE)

MONUMENT DETAIL 5
(NOT TO SCALE)

LEGEND

- ◆ = SECTION CORNER
- = SET 5/8" X 24" REBAR AND PLASTIC CAP STAMPED 'REEVE & ASSOCIATES'
- = STREET CENTERLINE MONUMENT
- = BOUNDARY LINE
- = LOT LINE
- = ADJOINING PROPERTY
- = EASEMENTS
- = SECTION/MONUMENT THE LINE
- = ROAD CENTERLINE



CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	155.00'	34.68'	34.61'	17.41'	S82°50.37'E	12°49.07'
C2	155.00'	15.59'	15.58'	7.80'	S73°33.10'E	5°45.48'
C3	155.00'	41.03'	39.64'	20.94'	S65°03.43'E	13°12.52'
C4	155.00'	55.96'	55.15'	28.82'	S72°22.43'E	13°44.58'
C5	158.00'	63.04'	62.63'	31.99'	N12°07.11'E	22°51.42'
C6	158.00'	73.76'	72.69'	37.99'	N17°35.33'E	33°48.25'
C7	125.00'	122.72'	117.85'	66.82'	N62°37.17'E	56°15.04'
C8	125.00'	196.48'	176.87'	125.13'	N45°43.05'E	90°03.29'
C9	92.00'	144.61'	130.17'	92.09'	N45°43.05'E	90°03.29'
C10	158.00'	88.11'	87.58'	44.61'	N57°42.27'E	12°41.55'
C11	158.00'	36.83'	36.52'	18.42'	N82°45.34'E	6°30.25'
C12	158.00'	88.12'	86.16'	44.61'	N67°42.27'E	12°41.55'
C13	92.00'	144.61'	130.17'	92.09'	N45°43.05'E	90°03.29'
C14	92.00'	4.07'	4.06'	2.03'	N01°58.23'E	2°31.54'
C15	125.00'	196.44'	176.84'	125.09'	N45°43.05'E	90°02.24'
C16	158.00'	7.65'	7.65'	3.82'	N89°21.37'E	2°46.24'
C17	158.00'	53.26'	53.01'	26.88'	N78°19.01'E	19°18.47'
C18	158.00'	53.26'	53.01'	26.88'	N39°41.26'E	19°18.47'
C19	158.00'	53.26'	53.01'	26.88'	N20°22.59'E	19°18.47'
C20	158.00'	53.26'	53.01'	26.88'	N05°42.50'E	10°00.50'
C21	158.00'	27.61'	27.58'	13.84'	N05°42.50'E	10°00.50'

Reeve & Associates, Inc.
5100 S 1200 W, RENO, UTAH 84405
TEL: (801) 863-5100 FAX: (801) 863-5888

Project Info.

Surveyor: J. FELT
Designer: N. ANDERSON
Begin Date: 3-14-2023
Name: STAGECOACH ESTATES
SUBDIVISION PHASE 1
Number: 6298-14
Revision: _____
Scale: 1"=50'

Weber County Recorder

Entry No. _____ Fee Paid _____
And Recorded, In Book _____
At _____ Of The Official Records, Page _____
Recorded For: _____
Weber County Recorder
Deputy: _____

STAGECOACH ESTATES SUBDIVISION PHASE 2

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
 WEBER COUNTY, UTAH
 APRIL, 2023

SURVEYOR'S CERTIFICATE

I, **JASON T. FELT**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTIONS 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **STAGECOACH ESTATES SUBDIVISION PHASE 2** IN **WEBER COUNTY, UTAH**, IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LOTS, INCLUDING THE REPRESENTATION OF THE HEREIN DESCRIBED LOTS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **WEBER COUNTY** RECORDER'S OFFICE AND REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **WEBER COUNTY**, CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

9239283
 UTAH LICENSE NUMBER



OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY CERTIFY AND DEDICATE TO THE STATE OF UTAH, THE SHOWN ON THIS PLAT AND MAP SAID **STAGECOACH ESTATES SUBDIVISION PHASE 2** AND DO DEDICATE TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS. THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND ALSO TO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY AND STORM DRAIN EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL SERVICE OF ANY OTHER PUBLIC UTILITIES. THE PERPETUAL EASEMENTS SHALL BE CONSIDERED AS BOUNDARIES AS REPRESENTED BY THE MONUMENTS THEREON AND SHALL BE BOUNDARIES AS BEING EXERCISED WITHIN SUCH EASEMENTS AND DO HEREBY DEDICATE PARCEL A TO THE HOME OWNERS ASSOCIATION FOR TRAIL PURPOSES TO BE OWNED AND MAINTAINED BY THE SAME.

SIGNED THIS _____ DAY OF _____, 20____.

NAME/TITLE _____
 SODERBY, LLC

ACKNOWLEDGMENT

STATE OF UTAH)
 COUNTY OF _____)
) SS. _____)
 ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED _____ (AND _____) BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ OF SAID LIMITED LIABILITY COMPANY AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____ NOTARY PUBLIC _____

BASIS OF BEARINGS

A LINE BEARING SOUTH 89°12'03" EAST BETWEEN SAID EAST QUARTER CORNER AND WEST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AND STREETS AS SHOWN. BOUNDARIES OF THE PARCELS WERE ESTABLISHED BY INFORMATION OF RECORD AND FOUND EVIDENCE OF OCCUPATION ON THE GROUND. THE OVERALL PROPERTY BOUNDARY IS AN ALIQUOT PART OF THE QUARTER SECTION, THEREFORE THE SECTION WAS SURVEYED AND SUBDIVIDED APPROPRIATELY TO ESTABLISH THE BOUNDARY ALONG THE SOUTH AND EAST BOUNDARY LINES. THE NORTH AND WEST BOUNDARY LINES ARE WITHIN THE OVERALL PARCEL AND HAVE BEEN PLACED ALONG THE BOUNDARY LINES OF THE OVERALL PARCEL. PARCELS ARE SET WITH A 5' X 20' REBAR NAIL PLUG IN THE CENTER OF EACH CORNER AND A 5' X 20' REBAR NAIL PLUG IN THE CENTER OF EACH CORNER. THE 5' X 20' REBAR NAIL PLUGS ARE SET WITH A LEAD PLUG IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.

BOUNDARY DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 21 (SAID SOUTH QUARTER CORNER BEING NORTH 89°15'11" WEST 1321.78 FEET AND NORTH 89°15'11" WEST 1321.78 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 21, SOUTHEAST CORNER BEING SOUTH 00°42'33" WEST 2633.22 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 21. BASIS OF BEARINGS FOR THIS SUBDIVISION IS SOUTH 89°12'03" EAST 5295.89 FEET BETWEEN THE WEST QUARTER CORNER AND THE EAST QUARTER CORNER OF SAID SECTION 21); THENCE NORTH 00°42'18" EAST 783.54 FEET ALONG THE SAID LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 21; THENCE SOUTH 89°17'35" EAST 221.98 FEET; THENCE NORTH 71°02'11" EAST 84.96 FEET; THENCE SOUTH 89°17'35" EAST 128.00 FEET; THENCE NORTH 00°42'29" EAST 112.30 FEET; THENCE SOUTH 89°15'11" EAST 143.60 FEET; THENCE NORTH 14°46'23" EAST 62.4449 FEET; THENCE SOUTH 89°14'50" FEET; THENCE NORTH 1°21'56" WEST 66.59 FEET; THENCE SOUTH 106°50'25" WEST 106.50 FEET; THENCE SOUTH 89°15'11" EAST 120.00 FEET; THENCE SOUTH 00°42'25" WEST 382.50 FEET; THENCE SOUTH 09°44'20" EAST 61.02 FEET; THENCE SOUTH 00°44'49" WEST 168.00 FEET TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 21; THENCE NORTH 89°15'11" WEST 722.40 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING.

CONTAINING 585,877 SQUARE FEET OR 13.450 ACRES.



VICINITY MAP
 NOT TO SCALE

LINE TABLE

LINE BEARING	DISTANCE
1 S89°15'11"E	92.12
2 S89°15'11"E	40.70
3 S89°15'11"E	60.00
4 S89°15'11"E	60.00
5 S89°15'11"E	67.50
6 S89°15'11"E	67.50

CURVE TABLE

#	RADIUS	ARC LENGTH	CHD. LENGTH	TANGENT	CHD. BEARING	DELTA
C1	217.00'	136.74'	134.49'	70.27'	N72°50'27"E	36°06'12"
C2	217.00'	4.59'	4.59'	2.29'	N4°11'01"E	1°12'40"
C3	250.00'	162.70'	159.84'	84.35'	N72°13'20"E	37°17'17"
C4	283.00'	132.74'	131.52'	67.61'	N77°24'44"E	26°52'26"
C5	283.00'	51.35'	51.28'	25.75'	N88°46'36"E	10°23'49"
C6	217.00'	145.49'	143.44'	47.62'	N85°57'17"E	24°45'17"
C7	250.00'	168.69'	163.93'	74.87'	N70°14'59"E	33°20'34"
C8	283.00'	132.06'	128.97'	68.50'	N85°50'48"E	24°45'17"
C9	283.00'	12.06'	11.88'	6.22'	S17°59'14"W	34°33'53"
C10	200.00'	12.06'	11.88'	6.22'	S17°59'14"W	34°33'53"
C11	65.00'	34.31'	33.92'	17.47'	S20°08'58"W	30°14'48"
C12	65.00'	55.43'	53.77'	29.53'	S19°24'36"E	48°51'41"
C13	65.00'	15.03'	15.00'	7.55'	S50°27'59"E	13°15'07"
C14	65.00'	75.69'	71.49'	42.80'	N89°32'50"E	66°43'15"
C15	200.00'	12.06'	11.88'	6.22'	N73°28'01"E	34°33'53"
C16	200.00'	31.40'	28.27'	19.99'	N44°16'23"W	89°57'36"

WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY REVIEWED BY THE WEBER COUNTY PLANNING COMMISSION, AND SIGNED THIS _____ DAY OF _____, 20____.

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH THE COUNTY STANDARDS AND FOR THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

WEBER COUNTY ENGINEER

WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH. DAY OF _____, 20____.

CHAIRMAN, WEBER COUNTY COMMISSION
 TITLE _____

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.

WEBER COUNTY SURVEYOR

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT. SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY ATTORNEY

DEVELOPER:

PAT BURNS
 LYNG DEVELOPMENT
 1407 N. MN. RD.
 OGDEN, UT. 84404
 (801) 710-2234



Project Info.	
Surveyor:	J. FELT
Designer:	N. ANDERSON
Begin Date:	3-1-2023
Name:	STAGECOACH ESTATES SUBDIVISION PHASE 2
Number:	6298-14
Revision:	
Scale:	1"=50'
Checked:	

WEBER-MORGAN HEALTH DEPARTMENT

I HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITIONS FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS. SIGNED THIS _____ DAY OF _____, 20____.

DIRECTOR, WEBER-MORGAN HEALTH DEPARTMENT

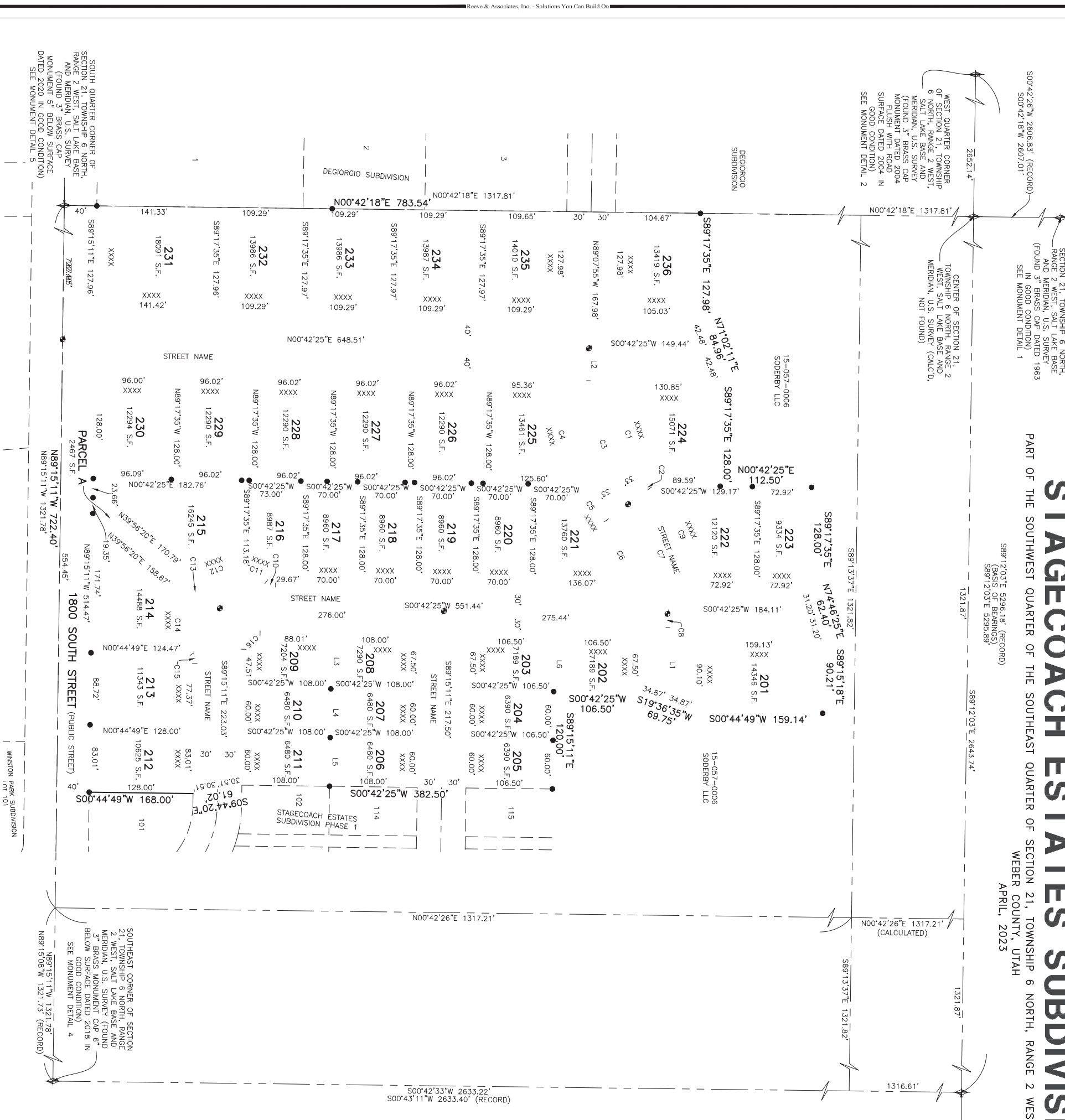
Webster County Recorder

Entry No. _____ Fee Paid _____
 And Recorded, Filed For Record _____
 At _____ in Book _____
 Of The Official Records, Page _____
 Recorded For _____

Webster County Recorder
 Deputy, _____

STAGECOACH ESTATES SUBDIVISION PHASE 2

PART OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH
APRIL, 2023



EAST QUARTER CORNER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND 3\"/>

WEST QUARTER CORNER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND 3\"/>

WEST QUARTER CORNER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND 3\"/>

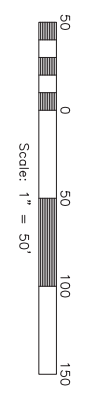
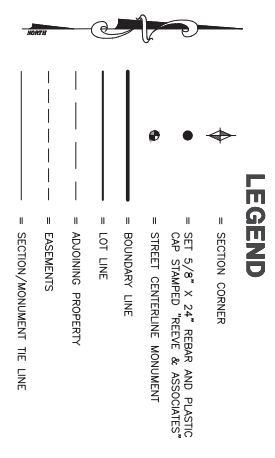
MONUMENT DETAIL 1
(NOT TO SCALE)

MONUMENT DETAIL 2
(NOT TO SCALE)

MONUMENT DETAIL 3
(NOT TO SCALE)

MONUMENT DETAIL 4
(NOT TO SCALE)

MONUMENT DETAIL 5
(NOT TO SCALE)



LINE TABLE

LINE BEARING	DISTANCE
S89°15'11\"/>	
N89°07'55\"/>	
S89°15'11\"/>	
S89°15'11\"/>	
S89°15'11\"/>	
S89°15'11\"/>	

CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	217.00'	136.74'	134.49'	70.72'	N72°50'27\"/>	
C2	217.00'	4.59'	2.29'	N54°11'01\"/>		
C3	250.00'	182.70'	159.84'	2.29'	N54°11'01\"/>	
C4	250.00'	132.74'	84.35'	N72°13'20\"/>		
C5	250.00'	131.52'	67.61'	N72°44'44\"/>		
C6	217.00'	93.75'	47.62'	N65°57'17\"/>		
C7	250.00'	143.44'	74.87'	N70°14'59\"/>		
C8	250.00'	16.69'	8.35'	N88°50'03\"/>		
C9	283.00'	136.67'	69.70'	N67°24'48\"/>		
C10	200.00'	12.06'	6.22'	S17°59'14\"/>		
C11	65.00'	34.31'	33.92'	S20°08'58\"/>		
C12	65.00'	55.43'	29.53'	S19°24'56\"/>		
C13	65.00'	15.05'	15.00'	S80°27'59\"/>		
C14	200.00'	11.88'	6.22'	N73°28'01\"/>		
C15	200.00'	31.40'	19.99'	N44°16'23\"/>		
C16	200.00'	31.40'	19.99'	N44°16'23\"/>		



Project Info
Surveyor: J. FELT
Designer: N. ANDERSON
Begin Date: 3-14-2023
Name: STAGECOACH ESTATES SUBDIVISION PHASE 2
Number: 6298-14
Revision: _____
Scale: 1\"/>

Weber County Recorder
Entry No. _____ Filed For Record
And Recorded, In Book _____
Or The Official Records, Page _____
Recorded For: _____
Weber County Recorder
Deputy: _____

STAGECOACH ESTATES SUBDIVISION PHASE 3

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
 WEBER COUNTY, UTAH
 APRIL, 2023

SURVEYOR'S CERTIFICATE

I, **JASON T. FELT**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **STAGECOACH ESTATES SUBDIVISION PHASE 3** IN **WEBER COUNTY, UTAH**, IS A TRUE AND CORRECT REPRESENTATION OF THE HEREBY DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION. BASED UPON DATA COMPILED FROM RECORDS IN THE **WEBER COUNTY** RECORDER'S OFFICE AND REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **WEBER COUNTY**, FROM SAID SURVEY MADE BY ME ON THE GROUND, I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **WEBER COUNTY**, CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

9239283
 UTAH LICENSE NUMBER



OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREBY DESCRIBED TRACT OF LAND, DO HEREBY CERTIFY AND DEDICATE TO THE STATE OF UTAH, HEREIN, THE PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY AND STORM DRAIN EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL MAINTENANCE AND OPERATION OF THE HEREBY DESCRIBED TRAIL. THE BOUNDARIES AS REPRESENTED ON THIS PLAT, INCLUDING THE BOUNDARIES OF THE STRIPS OF LANDS BEING EXERCISED WITHIN SUCH EASEMENTS AND DO HEREBY DEDICATE PARCELS A, B, C, D, AND E TO THE HOME OWNERS ASSOCIATION FOR TRAIL PURPOSES TO BE OWNED AND MAINTAINED BY THE SAME.

SIGNED THIS _____ DAY OF _____, 20____.

SODERBY, LLC

NAME/TITLE _____

ACKNOWLEDGMENT

STATE OF UTAH)
 COUNTY OF _____)
 ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND _____) BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID LIMITED LIABILITY COMPANY AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____ NOTARY PUBLIC _____

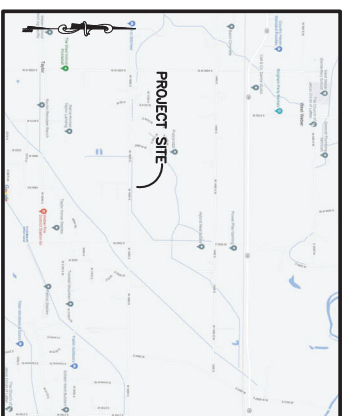
BASIS OF BEARINGS
 A LINE BEARING SOUTH 89°12'03" EAST BETWEEN SAID EAST QUARTER CORNER AND WEST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AND STREETS AS SHOWN. BOUNDARIES OF THE PARCELS WERE ESTABLISHED BY INFORMATION OF RECORD AND FOUND EVIDENCE OF OCCUPATION ON THE GROUND. THE OVERALL PROPERTY BOUNDARY IS AN ALIQUOT PART OF THE QUARTER SECTION, THEREFORE THE SECTION WAS SURVEYED AND SUBDIVIDED APPROPRIATELY TO ESTABLISH THE BOUNDARY ALONG THE SOUTH AND EAST BOUNDARY LINES. THE NORTH AND WEST BOUNDARY LINES ARE WITHIN THE OVERALL PARCEL AND HAVE BEEN PLACED ALONG THE OLD LOT LINE. ALL CORNERS WERE SET AND A 3" X 2" X 2" REBAR WAS PLACED AT EACH CORNER. REBAR WAS SET AND A 3" X 2" X 2" REBAR WAS PLACED AT EACH CORNER. LEAD PUGS IN THE TOP BACK OF CURB AT LOT CORNERS WERE SET WITH 1" LEAD PUGS IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.

BOUNDARY DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT BEING SOUTH 00°42'33" WEST 1316.61 FEET AND NORTH 89°13'37" WEST 1321.82 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 21 (BASIS OF BEARINGS FOR THIS SUBDIVISION IS SOUTH 89°12'03" EAST 5295.89 FEET BETWEEN THE WEST QUARTER CORNER AND THE EAST QUARTER CORNER OF SAID SECTION 21); THENCE SOUTH 00°42'26" WEST 251.14 FEET ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 21; THENCE SOUTH 00°42'26" WEST 251.14 FEET ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 21; THENCE ALONG SAID NORTH LINE THE FOLLOWING FOUR (4) COURSES: (1) NORTH 89°17'15" WEST 115.00 FEET; (2) SOUTH 80°51'42" WEST 66.99 FEET; (3) NORTH 89°15'11" WEST 114.32 FEET; AND (4) NORTH 00°42'25" EAST 30.00 FEET; THENCE NORTH 89°15'11" WEST 435.00 FEET ALONG THE NORTH LINE OF STAGECOACH ESTATES SUBDIVISION PHASE 1 AND PHASE 2 TO THE EAST LINE OF STAGECOACH ESTATES SUBDIVISION PHASE 2; THENCE ALONG SAID EAST LINE THE FOLLOWING THREE (3) COURSES: (1) NORTH 00°42'25" EAST 106.50 FEET; (2) NORTH 19°36'35" EAST 69.75 FEET; AND (3) NORTH 00°44'49" EAST 159.14 FEET; THENCE SOUTH 89°15'18" EAST 419.11 FEET; THENCE NORTH 00°42'26" EAST 162.24 FEET; THENCE NORTH 07°50'12" EAST 60.46 FEET; THENCE NORTH 00°42'26" EAST 152.95 FEET TO THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 21; THENCE SOUTH 89°13'37" EAST 281.00 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING.
 CONTAINING 351,865 SQUARE FEET OR 8.078 ACRES.



VICINITY MAP
 NOT TO SCALE

DEVELOPER:
 PAT BURNS
 LYNG DEVELOPMENT
 1407 N MN. RD.
 OGDEN, UT. 84404
 (801) 710-2234



Project Info.
 Surveyor: J. FELT
 Designer: N. ANDERSON
 Begin Date: 3-1-2023
 Name: STAGECOACH ESTATES
 SUBDIVISION PHASE 3
 Number: 6298-14
 Revision: _____
 Scale: 1"=50'

Webster County Recorder

Entry No. _____ Fee Paid _____
 And Recorded, Filed For _____
 At _____ In Book _____
 Of The Official Records, Page _____
 Recorded For: _____

Webster County Recorder

Deputy, _____

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT. I HEREBY CERTIFY THAT THE SOLE PERCOLATION RATES, AND SITE CONDITIONS FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DAY OF _____, 20____.

WEBER COUNTY ATTORNEY

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH. SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY SURVEYOR

WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH. DAY OF _____, 20____.

CHAIRMAN, WEBER COUNTY COMMISSION

TITLE _____

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH THE COUNTY STANDARDS AND FOR THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

WEBER COUNTY ENGINEER

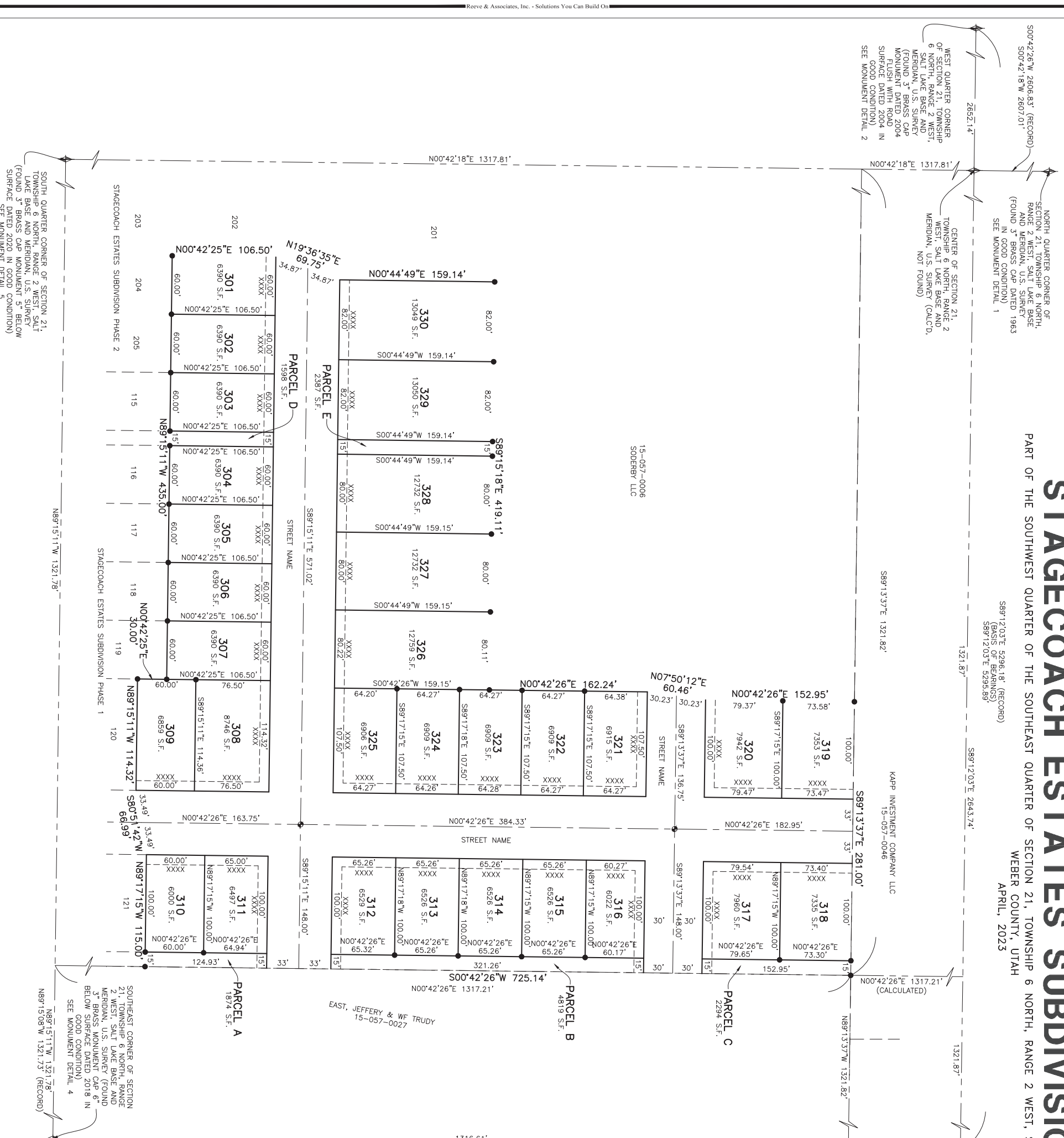
WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY REVIEWED BY THE WEBER COUNTY PLANNING COMMISSION. SIGNED THIS _____ DAY OF _____, 20____.

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

STAGECOACH ESTATES SUBDIVISION PHASE 3

PART OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH
APRIL, 2023



EAST QUARTER CORNER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND 6" BRASS CAP MONUMENT DATED 2017) IN GOOD CONDITION DATED 2017. SEE MONUMENT DETAIL 3

WEBER COUNTY SURVEY 16 CORNER 20 21 EX 1663 R2W 2004

MONUMENT DETAIL 1 (NOT TO SCALE)

MONUMENT DETAIL 2 (NOT TO SCALE)

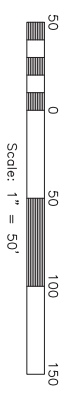
MONUMENT DETAIL 3 (NOT TO SCALE)

MONUMENT DETAIL 4 (NOT TO SCALE)

MONUMENT DETAIL 5 (NOT TO SCALE)

LEGEND

- = SECTION CORNER
- = SET 5/8" X 24" BRASS AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES"
- = STREET CENTRELINE MONUMENT
- = BOUNDARY LINE
- = LOT LINE
- = ADJOINING PROPERTY
- = EASEMENTS
- = SECTION/MONUMENT THE LINE
- = ROAD CENTRELINE



Project Info.
 Surveyor: J. FELT
 Designer: N. ANDERSON
 Begin Date: 3-14-2023
 Name: STAGECOACH ESTATES SUBDIVISION PHASE 3
 Number: 6298-14
 Revision: 1
 Scale: 1"=50'

Weber County Recorder
 Entry No. _____ Filed For Record
 And Recorded, In Book _____
 Or The Official Records, Page _____
 Recorded For: _____
 Weber County Recorder
 Deputy: _____

STAGECOACH ESTATES SUBDIVISION PHASE 4

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH
APRIL, 2023

SURVEYOR'S CERTIFICATE

I, JASON T. FELT, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT, AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF STAGECOACH ESTATES SUBDIVISION PHASE 4, WEBER COUNTY, UTAH, AND THE RELEVANT PARTS OF THE SURVEY, INCLUDING THE MONUMENTS AND THE REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE WEBER COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND, I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF WEBER COUNTY, CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20__.

9239283

UTAH LICENSE NUMBER



OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY DEDICATE AND CONVEY TO THE STATE OF UTAH, THROUGH THE COUNTY OF WEBER, AND NAME SAID STAGECOACH ESTATES SUBDIVISION PHASE 4 HEREAS DEDICATED TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS. THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND ALSO TO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY AND STORM DRAIN EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL SERVICE OF THE WATER SUPPLY SYSTEM. THE ENTIRE STATE BINDER OR STICKLICKERS REPRESENTATION AUTHORIZED BY THE HEREIN DESCRIBED HOMEOWNERS OR HOMEOWNERS BEING EXERCISED WITHIN SUCH EASEMENTS AND DO HEREBY DEDICATE PARCEL A TO THE HOME OWNERS ASSOCIATION FOR TRAIL PURPOSES TO BE OWNED AND MAINTAINED BY THE SAME.

SIGNED THIS _____ DAY OF _____, 20__.

SODERBY, LLC

NAME/TITLE _____

ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF _____) ss. _____)
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND _____) BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID LIMITED LIABILITY COMPANY AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____

NOTARY PUBLIC

BASIS OF BEARINGS

A LINE BEARING SOUTH 89°12'03" EAST BETWEEN SAID EAST QUARTER CORNER AND WEST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

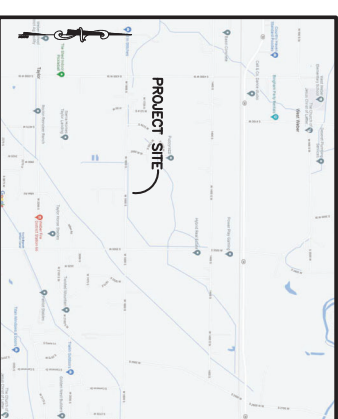
NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AND STREETS AS SHOWN. BOUNDARIES OF THE PARCELS WERE ESTABLISHED BY INFORMATION OF RECORD AND FOUND EVIDENCE OF OCCUPATION ON THE GROUND. THE OVERALL PROPERTY BOUNDARY IS AN ALIQUOT PART OF THE QUARTER SECTION, THEREFORE THE SECTION WAS SURVEYED AND SUBDIVIDED APPROPRIATELY TO ESTABLISH THE BOUNDARY ALONG THE SOUTH AND EAST BOUNDARY LINES, THE NORTH AND WEST BOUNDARY LINES ARE WITHIN THE OVERALL PARCEL AND HAVE BEEN PLACED ALONG THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY AND A "STOP X" OR REBAR WAS PLACED AT EACH CORNER. THESE SET WITH A "STOP X" LOT CORNERS WERE SET WITH "LEAD PLUG IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.

BOUNDARY DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF STAGECOACH ESTATES SUBDIVISION PHASE 3, SAID POINT BEING SOUTH 00°42'33" WEST 1316.61 FEET AND NORTH 89°13'37" WEST 1602.82 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 21 (BASIS OF BEARINGS FOR THIS SUBDIVISION IS SOUTH 89°12'03" EAST 5295.89 FEET BETWEEN THE WEST QUARTER CORNER AND THE EAST QUARTER CORNER OF SAID SECTION 21); THENCE ALONG THE NORTH LINE OF STAGECOACH ESTATES SUBDIVISION PHASE 3 THE FOLLOWING FOUR (4) COURSES: (1) SOUTH 00°42'26" WEST 152.95 FEET; (2) SOUTH 07°50'12" WEST 60.46 FEET; (3) SOUTH 00°42'26" WEST 162.24 FEET; AND (4) NORTH 60.15 FEET WEST 509.32 FEET; THENCE ALONG THE BOUNDARY LINES OF THE NORTH WEST 1/4 SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, THE FOLLOWING FIVE (5) COURSES: (1) NORTH ALONG SAID NORTH LINE THE FOLLOWING FIVE (5) COURSES: (1) NORTH 89°17'35" WEST 128.00 FEET; (2) SOUTH 00°42'25" WEST 112.50 FEET; (3) NORTH 89°17'35" WEST 127.98 FEET TO THE EAST LINE OF DEGOROIGO SUBDIVISION AND THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21; THENCE NORTH 00°42'18" EAST 534.27 FEET ALONG THE EAST LINE OF DEGOROIGO SUBDIVISION AND DEGOROIGO SUBDIVISION PHASE 2 TO THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21; THENCE SOUTH 89°13'37" EAST 1040.82 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING, CONTAINING 440,479 SQUARE FEET OR 10.112 ACRES.

VICINITY MAP
NOT TO SCALE

CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT CHD BEARING	DELTA
C1	30.00'	17.09'	16.86'	8.78°	N15.26.41W 32.38.13
C2	65.00'	54.49'	52.90'	28.96°	N07.54.58W 48.01.39
C3	65.00'	54.49'	52.90'	28.96°	N40.06.41E 48.01.39
C4	65.00'	54.49'	52.90'	28.96°	N88.08.20E 48.01.39
C5	65.00'	12.77'	12.75'	6.41°	S68.13.07E 11.15.27
C6	30.00'	17.09'	16.86'	8.78°	S72.54.30E 132.38.13
C7	20.00'	11.44'	28.30'	20.02°	N45.44.24E 190.03.98

STAGECOACH ESTATES SUBDIVISION PHASE 4

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH
APRIL, 2023

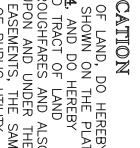
SURVEYOR'S CERTIFICATE

I, JASON T. FELT, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT, AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF STAGECOACH ESTATES SUBDIVISION PHASE 4, WEBER COUNTY, UTAH, AND THE RELEVANT PARTS OF THE SURVEY, INCLUDING THE MONUMENTS AND THE REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE WEBER COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND, I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF WEBER COUNTY, CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20__.

9239283

UTAH LICENSE NUMBER



OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY DEDICATE AND CONVEY TO THE STATE OF UTAH, THROUGH THE COUNTY OF WEBER, AND NAME SAID STAGECOACH ESTATES SUBDIVISION PHASE 4 HEREAS DEDICATED TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS. THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND ALSO TO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY AND STORM DRAIN EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL SERVICE OF THE WATER SUPPLY SYSTEM. THE ENTIRE STATE BINDER OR STICKLICKERS REPRESENTATION AUTHORIZED BY THE HEREIN DESCRIBED HOMEOWNERS OR HOMEOWNERS BEING EXERCISED WITHIN SUCH EASEMENTS AND DO HEREBY DEDICATE PARCEL A TO THE HOME OWNERS ASSOCIATION FOR TRAIL PURPOSES TO BE OWNED AND MAINTAINED BY THE SAME.

SIGNED THIS _____ DAY OF _____, 20__.

SODERBY, LLC

NAME/TITLE _____

ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF _____) ss. _____)
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND _____) BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID LIMITED LIABILITY COMPANY AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____

NOTARY PUBLIC

DEVELOPER:
PAT BURNS
LYNC DEVELOPMENT
1407 N MN. RD
OGDEN, UT. 84404
(801) 710-2234



Project Info.
Surveyor: J. FELT
Designer: N. ANDERSON
Begin Date: 3-1-2023
Name: STAGECOACH ESTATES SUBDIVISION PHASE 4
Number: 6298-14
Revision: _____
Scale: 1"=50'
Checked: _____

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT. SIGNED THIS _____ DAY OF _____, 20__.

WEBER COUNTY ATTORNEY

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH. SIGNED THIS _____ DAY OF _____, 20__.

WEBER COUNTY SURVEYOR

WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WORKS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THERON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH, _____ DAY OF _____, 20__.

CHAIRMAN, WEBER COUNTY COMMISSION

ATTTEST TITLE

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH THE COUNTY STANDARDS AND FOR THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

WEBER COUNTY ENGINEER

WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY REVIEWED BY THE WEBER COUNTY PLANNING COMMISSION, AND IT IS HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH, _____ DAY OF _____, 20__.

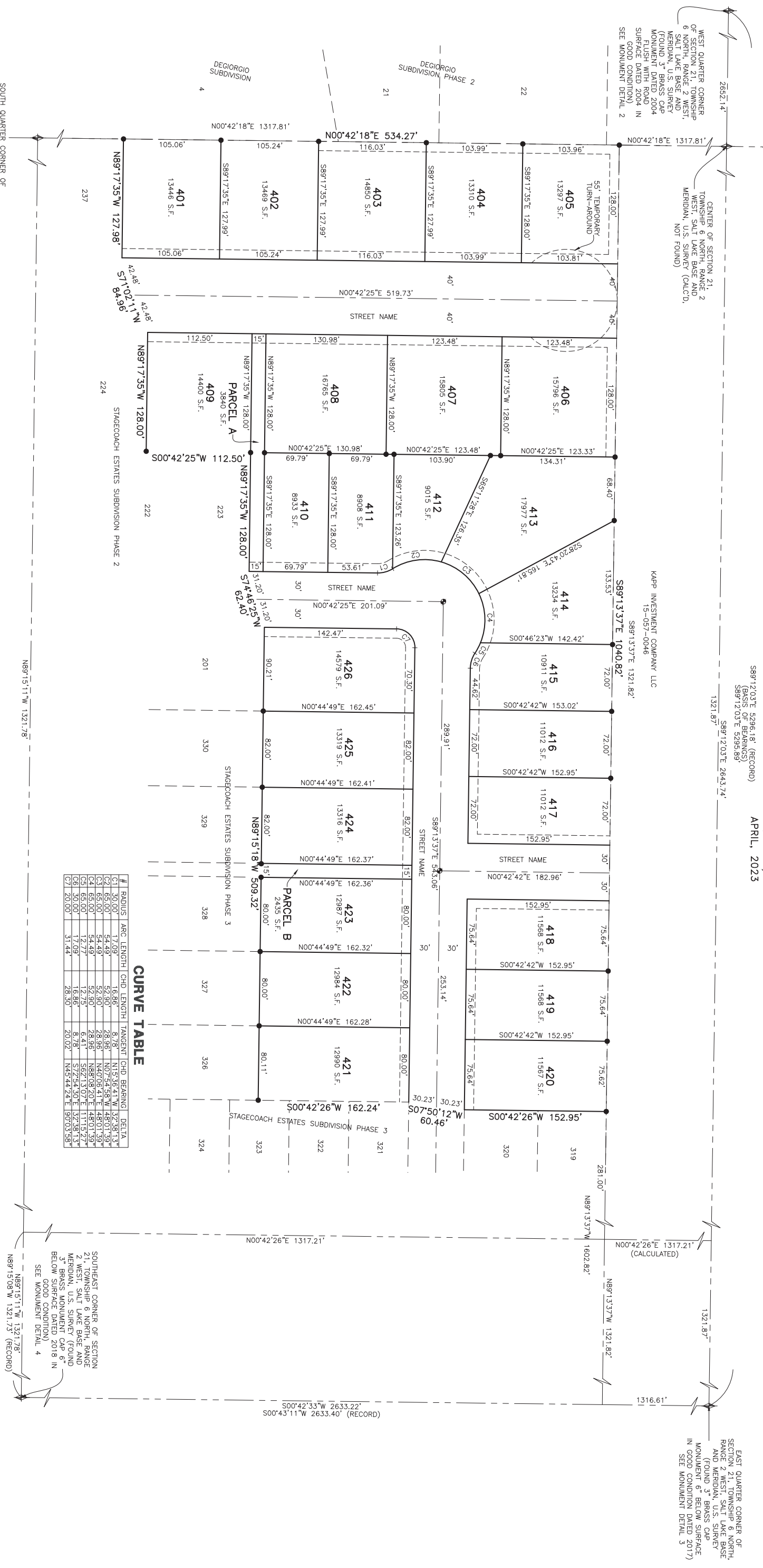
CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

Reeve & Associates, Inc. - Solutions You Can Build On

Reeve & Associates, Inc. - Solutions You Can Build On

STAGECOACH ESTATES SUBDIVISION PHASE 4

PART OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH
APRIL, 2023

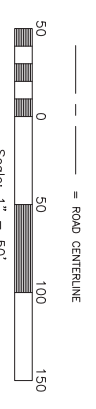


CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	30.00'	17.09'	16.86'	8.78'	N15°36'41"W	32°38'13"
C2	65.00'	34.49'	32.90'	28.96'	N07°54'58"W	48°01'39"
C3	65.00'	34.49'	32.90'	28.96'	N40°08'41"E	48°01'39"
C4	65.00'	34.49'	32.90'	28.96'	S82°13'07"E	11°15'27"
C5	65.00'	34.49'	32.90'	28.96'	S72°54'30"E	32°38'13"
C6	65.00'	34.49'	32.90'	28.96'	N45°44'24"E	90°03'58"
C7	20.00'	31.44'	28.30'	20.02'	N45°44'24"E	90°03'58"

LEGEND

- SECTION CORNER
- SET 5/8" X 24" BRASS AND PLASTIC CAP STAMPED THERE & ASSOCIATES
- STREET CENTRELINE MONUMENT
- BOUNDARY LINE
- LOT LINE
- ADJOINING PROPERTY
- EASEMENTS
- SECTION/MONUMENT THE LINE
- ROAD CENTRELINE



MONUMENT DETAIL 1 (NOT TO SCALE)

MONUMENT DETAIL 2 (NOT TO SCALE)

MONUMENT DETAIL 3 (NOT TO SCALE)

MONUMENT DETAIL 4 (NOT TO SCALE)

MONUMENT DETAIL 5 (NOT TO SCALE)

Reeve & Associates, Inc.
5100 S 1200 W, RENO, UTAH 84405
TEL: (801) 683-5100 FAX: (801) 683-5888

Project Info.

Surveyor: J. FELT
Designer: N. ANDERSON
Begin Date: 3-14-2023
Name: STAGECOACH ESTATES SUBDIVISION PHASE 4
Number: 6298-14
Revision: _____
Checked: _____
Scale: 1"=50'

Weber County Recorder
Entry No. _____ Free Paid
And Recorded, In Book _____
Or The Official Records, Page _____
Recorded For: _____
Weber County Recorder
Deputy: