

OGDEN VALLEY TOWNSHIP PLANNING COMMISSION

PLANNING MEETING AGENDA

March 24, 2015

5:00 p.m.

Pledge of Allegiance

Roll Call:

1. Minutes: Approval of the February 24, 2015 Meeting Minutes
2. Consent Agenda:
 - 2.1. DR 2013-07 Consideration and action on an a two year time extension for the temporary gravel excavation and rock crushing operation at Powder Mountain Ski Resort in the Destination and Recreation Resort-1 (DRR-1) Zone (Russ Watts, Representative for Summit Mountain Holding Group, LLC)
 - 2.2. DR 2014-12 Consideration and action on a request for Design Review approval of a Community Church to be located at 9228 East 100 North in the Agricultural Valley-3 (AV-3) Zone (Karl Lundin, Agent for Ogden Valley Community Church)
 - 2.3. CUP 2015-06 Consideration and action for a Conditional Use Permit to install an 82 foot monopine cell tower located at Snow Basin above Becker Lift and a new 12 foot by 26 foot pre-fabricated equipment shelter located at approximately 3925 Snowbasin Road in the Destination and Recreation Resort-1 (DRR-1) Zone (Pete Simmons, Agent for Verizon)
 - 2.4. DR 2014-08 Consideration and action on a request for design review approval of a shed and pergola for Maverik Country Stores in Eden located at 2500 North Hwy 162 in the Commercial Valley-2 (CV-2) Zone (Brad Morgan, Agent for On-Site Development; Neil Mantela, Maverik Country Stores)
 - 2.5. CUP 2015-01 Consideration and action on a request for design review approval of a barn and storage building that is more than twice the size of the home located at 3047 E 5750 N, in the Agricultural Valley-3 (AV-3) Zone (Shannon Sandberg, Applicant)
3. Administrative Items:
 - a. Old Business
 1. CUP 2014-29 Consideration and action on a Conditional Use Permit for a condominium project (Pine Canyon Lodge) in the CVR-1 Zone including lockout rooms and an average building height of 46 feet located at 3567 Nordic Valley Way in Eden, (Skyline Mountain Base, LLC, Applicant)
 2. Discussion Amenities and phasing of Edgewater Beach Resort PRUD
4. Public Comment for Items not on the Agenda
5. Remarks from Planning Commissioners
6. Planning Director Report
7. Remarks from Legal Counsel

The regular meeting will be held in the Weber County Commission Chambers, in the Weber Center, 1st Floor, 2380 Washington Blvd., Ogden, Utah. Work Session will be held in the Commission Chambers Breakout Room. A pre-meeting will be held in the Commission Chambers Breakout Room beginning at 4:30 p.m.

No decisions are made in this meeting



In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8791

Minutes of the Ogden Valley Planning Commission Regular meeting February 24, 2015, in the Weber County Commission Chambers, commencing at 5:00 p.m.

Present: Pen Hollist, Chair; Ann Miller; John Howell; Greg Graves; Will Haymond; Laura Warburton

Absent/Excused: Kevin Parson

Staff Present: Sean Wilkinson, Planning Director; Scott Mendoza, Principal Planner, Jim Gentry, Principal Planner; Charlie Ewert, Principal Planner; Ronda Kippen, Planner; Jared Andersen, Weber County Engineer; Christopher Crockett, Legal Counsel; Kary Serrano, Secretary; Sherri Sillitoe, Secretary

Pledge of Allegiance

Roll Call:

1. **Minutes: Approval of the November 25, 2014, January 06, 2015, January 27, 2015, and February 03, 2015 Meeting Minutes**

Chair Warburton approved the meeting minutes as written.

Chair Warburton asked if any member had ex parte communications to declare. No ex parte communications were declared.

2. **Consent Agenda:**

- 2.1. **CUP 2014-32: Consideration and action on a Conditional Use Permit request for a contracted (Utah Department of Alcoholic Beverage Control or DABC) Type 1 Package Agency doing business as Outpost Spirits located at 3900 North Wolf Creek Drive in the Commercial Valley-2 (CV-2) Zone (Paul Strange representing SMHG Management, LLC, Applicant)**
- 2.2. **DR 2014-13: Consideration and action on a request for a Design Review approval of a Master Signage Plan for the North Fork Table & Tavern and Arbor Lodge building at Wolf Creek Resort located at 3900 North Wolf Creek in the Commercial Valley-2 (CV-2) Zone (Paul Strange representing SMHG Management, LLC, Applicant)**
- 2.3. **UVS102914: Consideration and action on a request for final approval of the Sandhill Crane Cluster Subdivision, consisting of seven lots located at 2500 N 5700 E in the Agricultural Valley-3 (AV-3) Zone (Blake Wahlen representing JW Valley Properties, LLC, Applicant)**
- 2.4. **CUP 2015-05: Consideration and action on a Conditional Use Permit for two buildings existing at Wolf Creek Resort for retail and rental equipment and office and real estate services located at 3900 N Wolf Creek Drive in the Commercial Valley-2 (CV-2) Zone and Commercial Valley Resort Recreation-1 (CVR-1) Zone (John Lewis representing Wolf Creek Utah LLC, Applicant)**

Kirk Langford, who resides in Eden, expressed his concerns with the water issues and the sheet water flows with the Sandhill Crane Cluster Subdivision. Director Wilkinson said that the County Engineer is having a discussion after the consent agenda and it will be the first item to be discussed. It was on the agenda last time and it was tabled from that meeting. Chair Warburton added that they will not be addressing that; the County Engineer has looked at it, they have had it redesigned, and that is why it is on the consent agenda. When Jared Andersen, County Engineer does his presentation; if it does not satisfy his concerns, then he can proceed from there.

MOTION: Commissioner Hollist moved to approve the consent agenda items as written in the agenda and in the packet. Commissioner Howell seconded.

VOTE: A vote was taken with Commissioner's Hollist, Miller, Howell, Graves, Haymond, and Chair Warburton voting aye. Motion passed unanimously. (6-0)

Director Wilkinson suggested having the County Engineer's discussion item regarding the drainage in Ogden Valley is the next item. To clarify; this is not specific to a particular subdivision, and that is why the item was on the consent agenda. The County Engineer is here to have that discussion about some of the drainage issues, based on some previous comments made by Mr. Langford in the Planning Commission meeting.

Jared Andersen, Weber County Engineer, said he that he appreciated Mr. Langford’s issues that were brought up. He was hired January 23, 2012, and the following week he notice that sheet flow is a big issue in the valley. This is one small subdivision that can be affected by sheet flooding but they need to address the area as a whole. He has Mr. Langford’s email and has talked to some of the other engineers and what they need to do to address that issue. By law they are not required to address sheet flooding, but they are required to address it by those who would be affected the most would be the farmers. They do have the ability and try and address what they can do with the sheet flooding when it happens. There are a lot of different ideas that he has, but it is a long process to address everything they need to address up there. He would love to meet with Mr. Langford and others and have a discussion on these issues.

Commissioner Miller said that she needed more explanation. Mr. Andersen replied for example; let’s say that he has a small ten lot subdivision that goes on a bench in the upper valley, they not only have to address the water that they are creating from the park scape that was not there naturally, but they also have to address the water that is coming down through the subdivision. When they address the water they are creating, they do not combine that with the water that comes through the subdivision. Everything that comes through should go around, bypass, or through that subdivision, but they need to address the extra water that they are going to be contributing to that system. There appears that there are a lot of things that are contributing to a lot of water issues happening in the Eden Acres Subdivision that Mr. Langford is primarily concerned with. He wished they had easements over all of our county drainages that existed in the unincorporated county but they do not. That’s another impediment because there are some drainages that they would like clean but they can’t legally get in there to clean them unless they have permission from the property owners. A lot of times there are ditches that run along the bottom of those hillsides. When people go and pipe those major ditches, it still works for the irrigation group that use those ditches, but now that water coming over the top of the pipe creating new water that hadn’t been seen there in the past.

Commissioner Miller asked what steps you are taking to alleviate those issues. Mr. Andersen replied in looking at this; let’s pull the subdivision off, take the homes and the streets out, and see what’s going on with the water. If they take percentages, the homes and the roads, contribute a small percentage of storm water to what’s existing out there. It’s not the actual subdivision that is creating this large amount of water that is creating issues and problems. They are concerned about the structures and flooding as a whole. So now that they have put them in the land, they now have to figure out what are they need to do to get that water so it’s not going to be a safety hazard for those homes. There have been a lot of different scenarios up there, a lot of contributing factors, and they can focus on some. Whether it’s irrigation ditches, canals, water sheds, ice blockages, and there are a lot of different scenarios, depending on which issue they look at that are contributing factors. It also depends on what the county has done or not done in the past to address those issues. So the very first steps he will take is to get with Mr. Langford and have a discussion with him and come up with a good solution to address those items.

Commissioner Miller inquired as previously stated there was lack of easement; can something still be done? Mr. Andersen replied that there are locations where there are no easements for drainages that they have. They have other areas with easements that have not been cleaned, and it’s a matter of time, money, and priority. They currently do not have a storm water utility fee in the county, and most of the principalities inside of the county do have a fee. They are trying to get something implemented so they can have the ability to clean ditches on a regular basis and so they can have better responses to residents.

3. Administrative Items

a. New Business:

1. CUP 2015-03: Consideration and action for a Conditional Use Permit for an Agri-Tourism operation identified as the Dancing Moose Farms, Huntsville Art Ecology Center located at 13485 E Hwy 39 in the Forest-5 (F-5) Zone (Daniel Daily, Applicant)

Ronda Kippen said the proposal is for an Agri-Tourism operation which is conditionally permitted in the F-5 Zone. The proposal is an attempt to promote, preserve, and revitalize a piece of property the Mr. Daily purchased in 1999. Due to extensive grazing on the property it’s become where the ground has been robbed of nutrients and the applicant has been working with the NRCS to revamp that property. He has been able to create a managed intensive grazing is to bring this back to a farmable piece of property where they would be able to get crops out of it. As part of the conditional use process for Agri-Tourism, they will be looking at the general site, design layout, production of anticipated uses, hours of operation, the Agri-Tourism uses and activities, and the development agreement if necessary. The general site layout will have an entrance sign that is allowed in the FV-5 Zone. The site will consist of some improvements that are on the site; a

well, a septic, and a barn. The future improvements will include a farm stand location at Highway 39, a chicken coop, high tunnel greenhouse, a dining Yurt, and three 16 foot diameter Yurts to be used for classes and other activities. There will be an RV Pad on the site for the owner to be used for the season. There will be temporary restrooms until he is able to construct bathrooms onsite. A dumpster will be located close to the entrance for egress and ingress for the pickup. The site already has a large parking improvement, and staff has been working with the Engineers. They are not recommending a hard surface parking due to the agriculture element, and the need for additional onsite retention when they create a hard surface.

Ronda Kippen said that one of the elements that they want to make sure of is that they don't offset the non-agricultural activities with the agricultural activities, and they want to make sure that there is at least 50% of the site activities are agriculture; upon their review they have found that standard has been met. The applicant is anticipating building more facilities on the site. The applicant anticipates working Sunday through Sunday, from 8 a.m. to 8 p.m., and any other even that is not allowed that is Agri-tourism, the applicant will need to go through a special event process which is also permitted in the zone. Prior to the construction of any non-agricultural facilities, the applicant will have to record a farm stay, and a commercial development agreement that Weber County will provide. After doing a thorough review, staff's recommends approval of this application based on the conditions and findings in the staff report.

Commissioner Howell asked if anybody was living at the site to take care of the animals that they might have there. Mrs. Kippen replied they will have workers onsite, but the applicant could answer that question. The RV Pad will be onsite so the applicant can stay temporarily on the site during the summer months.

Commissioner Hollist asked if the current agricultural uses to this property are beef cattle and forage crops. Mrs. Kippen replied from her understanding it's been grazed but she didn't know with what type of animal. They want to go in and revamp that use and make it a viable piece of property.

Chair Warburton asked in the staff packet on Page 4 of 6, first paragraph, where it states 3 to 5 intern woofers? As to the special events; where he is not being able to use multi-farmer open market, why not a harvest market because it is useable. Mrs. Kippen replied that she was not sure about woofers. There is a different between the two; the harvest market is only for the things that he produces, and he can have the stand on Highway 39, and sell the things that he produced on his farm. A farmer's market, he invites people to come to his site, to sell their produce; that is not allowed because it is designated as a small farm that is less than 20 acres. He is allowed to have a special event and the farmer's market falls under special event.

Chair Warburton said when they developed this ordinance; it was supposed to be geared to whatever was happening on that farm already. In a case like this, there was nothing happening except overgrazing. How do they account for that as far as ordinance which is law? Mrs. Kippen read the purpose and intent of Agri-tourism and said from that information they are going to promote farming and that is done by taking that ground and farming it.

Dan Daily, applicant, who resides in Salt Lake City, clarified that Woofers means a worldwide organization of organic farmers, and it's people who will take a summer and work on an organic farm, who usually camp on the site. The elevation on this property is 5,400 feet. The Agri-tourism ordinance will allow him to grow local food, create a beautiful farm, and an educational center. In going through the ordinance, he felt that he has met most of the requirements of the ordinance and the challenge of showing Weber County that the ordinance does works and hopefully have more Agri-Tourism to protect the properties and waterways.

Commissioner Hollist asked Mr. Mendoza the name of that farm they visited that grew garlic and purple potatoes. Director Wilkinson replied that was Sandhill Farms. Commissioner Hollist said that their elevation was between 43 and 4,700 feet. He had brought varieties of agricultural products from that Andes that would grow and do well at his property. So at 5,400 feet, the applicant needs to carefully look at what he is going to crop there, and maybe horses and Lamas. Mr. Daily replied that they tried horses for awhile and they were not adding nutrients to the soil. They are looking at doing cattle, basically what they call mob grazing. This is where you keep cattle in a one acre parcel, and they are going to bring in a chicken tractor behind them, which will spread around the manure, and then they will re-seed with perennial grasses. Working with the NCRS for about a year and a half, putting together this range plan, they will be able to come up with some good things to help build the soil. During the fall they purchased garlic from Pete Rasmussen's farm and they planted those varieties. They planted 28 Willow trees in the fall and will plant more trees as part of this

range plan to help with the canyon winds. They are looking at local farmers to be their mentor's to see what works and what doesn't. Then they have Josh Jones, who has a permaculture certificate, and used the 17 acres as one of the permaculture projects, and they have an analysis of the field to make things grow.

Chair Warburton said that she was not going to open this up for a public hearing but she would open this up for public comment and there is a difference.

Kent Bennion, who resides in Huntsville, said that he knew there was a structure there that's been red tagged. The applicant has done stuff without permits and he can't see anything good come out of this. Until he gets into compliance with county codes, he didn't see how that could happen, and this is a problem there. On the special events there has to be some control, and they don't have anyone living there full time. If an animal gets out, he will be calling the sheriff. With him not following the codes, this should be tabled. Chair Warburton said that they are aware of the compliance issue and are working on that.

Bryant Wilson, who resides east of this property, and is part of owners group called Cougar Cabin Association, said the problem is that this is in close proximity to properties that are used for recreational summer homes and cabins, where family have purchased these for peace and quiet. The other problem is cattle going through those fences which they repaired for several years. The applicant talks about overgrazing that he has, and it's not because the ground is bad, it's because of him putting too many animals on it and not having the water. He would have to drill a well, and the water that comes from the field on the other side, is owned by other people. His property borders the river but it's a drop off where he doesn't really have access to the river because it is just a steep access. It doesn't show on the map but 17 acres is not big enough for all what he wants to do.

Drew Mitchell, associated with the Cougar Cabin Association, said in your packet on page 97, there is a picture of the property boundary. On the east side of that, there is an access road which is the only access that the owners of the Cougar Cabin have to their cabins. If these property lines are outlined correctly, that falls within Mr. Daily's property, is that correct? The cabin owners that are accessed by that road, need to have assurances that road is going to be open. He concurs with what was said about the livestock and the applicant's track record for not doing the right things. Chair Warburton replied that she will follow-up with staff on that access, and inquired if he went through the complaint process of the county and often times the county is complaint driven, so it's important to make those complaints.

Christy Wilson, member of the Cougar Cabin Association, said she echoes a lot of the concerns that has been stated. It concerns her that the agricultural ordinance is being used to promote a commercial business. Where Mr. Daily has not had a chart record for being in compliance, what recourse is there going to be, that it's not just a commercial business? She worries about people coming to their property, where it borders to their property, and there not being any regulation where this is primarily agriculture and not commercial use.

Wilson Blakely, member of the Cougar Cabin Association, agrees with everything that has been said. The elevation up there is between 5,300 to 5,600 feet, so fruits will not grow there. Where is he going to get all this water for farming, as there is not water there for him to access? Commissioner Hollist asked when you say no water, does that mean water right, paper water, or does that mean wet water? Mr. Blakely replied to his knowledge there is no paper water that he could get. They were told they could not drill wells anymore. Commissioner Howell how long ago was it that they were told not to drill. Mr. Blakely replied about ten years. Director Wilkinson said that in their packets they have information from Weber Basin, as far as the well drillers log, and that information has been addressed, there is three acre feet for the property, so that information has been provided.

Jeff Blakely, who resides in Cache County in Logan, said they have been cabin owners for 60 years, and they been told by other property owners who have applied for permits for wells, and were told there were no more well permits being issued. Will they have any input on where he builds?

Guinea Cole said he was very concerned that there will be a trailer up there all summer, and that it might become a trailer park, and have people working there and bringing their trailer to that property. This would not be very attractive for tourists or anything. They are not far from there and they will hear all the noise from activities there. He is concerned that there will be evening and late night action going on there and he is very concerned to what this will do to the beautiful valley.

Shellie Williams, representing a family cabin directly below his property, said that she concurs with all the reasons previously stated. He is proposing to keep the conservation and the actual resources with the beauty of the land. What about 92 parking stalls that he wants to put in there, and it's written in there that all he has to do is apply for a special permit that he could set up for wedding events, family reunions, farmer's market. As for structures that he plans to install 35 feet they would take away a lot of the beauty that is there. This will negatively impact the privacy of the owners of the cabins and summer homes. There is a road right through the side of his property that goes down to several cabins and what happens if someone comes to the river and falls off the huge cement ledge, are the cabin owners going to be sued?

Toni Lamph, with RG Williams LLC, said that when this ordinance was set in place, were the neighbors notified?

Chair Warburton said the reason they don't have a hearing today is because there is nothing in this application that is so detrimental that would keep this from being able to be approved. This is an approved application and an approved ordinance. They developed these ordinances through legislative process, and where people are noticed; there were public meetings, and there were a lot of public hearings. A public hearing is where input from the public comes in together and they create ordinances that become law. Once they become law, the property owner has the right to build and do on his property what the ordinance allows. The ordinance actually calls for them to be shut down by a certain time; there won't be anything past ten o'clock. There are other things in place to protect you, and if he does not abide by the law, in that case you complain to the Sheriff, and you complain to the county. They protect rights for all property owners and that is what they are doing today. As a conditional use, they have to look mitigate any possible detrimental effects and that is what they are going to do within the code, within the law.

Dan Daily said the issue with water, they have a well that has been approved and an approved septic system put in. They spent almost two years meeting with Weber County in an open quorum to express their desire to do this project. This was a public setting where people had problems with the Ag-Tourism ordinance, they could have spoken at that time. In terms of the fencing, they are working with the NCRS USDA to set up some systems to control the cattle through electric fencing. They will have water troughs for them so they won't be seeking the river water, and they will be getting water through a solar pumping station. Their well is an eight inch well where they will be sending water directly where the cows will be and also where the chicken coops will be. The property line is located on the east side of his property, but in term of the property line, Josh Jones had pulled up some different variables so there is a question as to the property lines. So they will get that surveyed to get those defined. Chair Warburton said there is nothing in the ordinance that you have to be a friendly neighbor, but she would suggest that he reach out to his neighbors.

Commissioner Howell asked about the road, what is on the other side of this road, is this private property or between two properties. Mr. Daily responded that it runs between two properties.

Commissioner Hollist asked about the red tagged structure on his property. Mr. Daily replied the building was built as an agriculture building, they pulled a permit to have it built, and it's on file with Weber County. This was red tagged at one point because someone had complained that they were living in that structure. They actually reside in Salt Lake and they have gone there to camp and have slept in the agriculture building. They have tables in there, a wood stove, and solar panels on it. They have pulled a mechanical and electrical permit through Weber County.

Commissioner Hollist asked legal counsel, the applicant has a building that is permitted for agricultural use as a shed, and they have been residing there, is that legal? Director Wilkinson replied that no one should be living in the agricultural building; it is not approved for human habitation. It is for agriculture and agricultural use only, and that should cease if that is still happening. If that still continues, they will bring this back, and the Planning Commission will be able to take action. As far as the permits, the red tag was because the electrical permit for the solar panels had not been taken out, and that has now been remedied.

Commissioner Hollist asked Mr. Daily how many acre feet he owns, and that means paper water, the right to how many acre feet of water for that 17 acre property. Mr. Daily replied that it's three acre feet. Commissioner Hollist said that Mr. Daily transferred two of those and bought an acre foot. There are 300,026 for a year. There are 900,078 gallons an acre foot and you are going to run an agricultural operation to include cattle, crops, human beings, and a green house on less than a million gallons of water a year. Mr. Daily replied that sounded reasonable to him.

Commissioner Hollist said as for the well; this is wet water, and this is 150 feet deep, it is pump tested at ten gallons per minute for an hour, and it drew down the water table 70 feet. He believes that there is wet water and a paper water problem, and he does not think the ground can support what Mr. Daily wants to do with the water this is available to him.

Ronda Kippen said on the compliance issues, she has talked with Mike Bosch, the building inspector that put the red tag on the building; and Iris Hennon, the code enforcement officer. The concern was that they were living in this structure. To make it a habitable area, they have to have a kitchen which contains a sink, a hot plate or a microwave, a bedroom, and a bathroom. They have a wood stove, and the sink in the structure has been converted to a dry sink. There is not a bathroom in the barn, and if they are staying there, it is not allowed. When people are using an agricultural exemption; they do miss steps that are necessary for us to approve, i.e., electric, plumbing, HVAC, and things like that. To her understanding, this was taken care of. When she did the title search on this, that it was the lot of record back in 1962, and there was no notice of nonconformance recorded against the property, nor was there anything in Miradi that would have tipped her that there were additional concerns. If this has not been 100% taken care of, the conditions of approval are that they meet the building division requirements. As far as fencing, that falls under the applicant's responsibility to make sure that his animals are kept onsite so it's not a danger to adjacent property owners.

Ronda Kippen said that the elevations mentioned are between 5,200 to 5,600 feet above sea level, and basically farming comes down to the talent of the owner and how they will be able to utilize their property to grow what they intend to grow. As for water, that is not part of their review, and they don't have a say if they have enough water or not. Currently, he has been approved by the Health Department and they are the experts. If the applicant needs more water, then he has an opportunity to apply for another exchange to take care of what he needs. Staff will be doing an annual review, and if they find that this is not a viable agricultural operation, they will address this. As he has been working with the NRCS, they stated that he would have to do some mitigation factors, let the property lay shallow for a couple of years, before it will be able to have a productive crop. These are areas that he needs to work through, to be able to get this up and running, and if it's not, then they pull it back, and if there are continued complaints, they are going to look harder for annual renewal of business licenses. The proposal has one RV pad onsite, and any modifications to the site plan will trigger another design review, and she does not anticipate that this is going to be an RV Camp. The RV Pad can be utilized as for temporary stay, which means less than 180 days annually.

Commissioner Graves asked about the woofers and where they would be, and it indicated that people would work for a season and typically make camp on the land. Is seasonal campers allowed there, or is there some kind of accommodations for that? Director Wilkinson replied whatever is in the code will govern. He will have to meet the code in providing accommodations for those people. Mrs. Kippen said the code does allow for a temporary restroom, but she was not aware of the ability to have opened camping.

Commissioner Hollist asked how many equivalent livestock units have the applicant had on this property historically. Mr. Daily replied historically it's been the 6 to 8 horses from the Red Rock Ranch. Commissioner Hollist asked if his property adjoins the Red Rock Ranch. Mr. Daily replied no; there are two roads, one on the east and the other on the west, and until recently where the fences were was his property line.

MOTION: Commissioner Hollist moved that they table this application for an Agri-Tourism permit because he is not convinced that an agricultural basis for this permit has been established. Commissioner Howell seconded.

DISCUSSION: Commissioner Graves asked to explain the reasoning. Commissioner Hollist replied when he answered the question, how many equivalent livestock have been on there, it's not his livestock. It's someone else's livestock that has been overgrazing this land. So he didn't think that Mr. Daily or the person whom he acquired the property, have been agriculturally involved with this piece of property. He would like to see some demonstration that this is an agricultural use that has been established. His understanding when Mr. Mendoza wrote the ordinance and they reviewed it, was that all of these uses to which the property was to be used, was related to or directly grows out of an agricultural use. There has been nothing that he has seen here, that there has been an agricultural use established for this property. Chair Warburton asked Scott Mendoza, who developed this Agri-Tourism Ordinance, to clarify the question. Commissioner Hollist replied that the Agri-tourism permit that they are asked to award this is based on an agriculture use of the land first. Mr. Mendoza replied that the standard has to be in green belt, which means that it must be producing something, consistent with the Utah Farm Land Assessment Act. The property has to be in greenbelt, which obviously

means that it meets that standard, or within one season or one year it has to be able to demonstrate that it is producing, that it can meet that standard.

Chair Warburton said the full purpose behind this ordinance was to give people that had big tracts of land reason not to sell to developers, and give them a chance to make money and keep the land viable and at the same time keep it open. Scott Mendoza said that they need to remember that the big part of their discussion had to do with this becoming an open space preservation tool. This code may inspire to change a sage brush rock field into something that becomes productive. That is why they put in the standards that it had to be active and producing for a certain period of time before it become an Agri-tourism operation. Commissioner Graves said anytime there is a range plan where there is grazing, even if it's overgrazing, that is still an agricultural use. Commissioner Hollist asked if that implied that it doesn't matter whether it's his animals or neighbors animals that are taking the agricultural product. Mr. Mendoza replied that he could own a property and lease that property to someone that has animals, and as long as it's productive and that it meets the Agri-tourism ordinance.

VOTE: A vote was taken with Commissioner's Hollist, Miller, Howell, Graves, Haymond, and Chair Warburton voting nay. Motion failed unanimously. (6-0)

MOTION: Commissioner Miller moved that they approve CUP 2015-03 for an Agri-Tourism operation identified as the Dancing Moose Farms, Huntsville Art Ecology Center subject to all agency requirements and recommendations with the conditions found on page 5 of 6 of the Planning Staff report 1 through 7. Commission Graves seconded.

VOTE: A vote was taken with Commissioner's Hollist, Miller, Howell, Graves, Haymond, and Chair Warburton voting aye. Motion passed unanimously. (6-0)

Chair Warburton indicated that Nordic Valley is not on the agenda, and if there is anyone here for discussion, it is not on for tonight.

2. CUP 2015-04: Consideration and action for a Conditional Use Permit for an auto repair and service shop, including the required design review for a new commercial building in Eden located at 4930-4938 E 2550 N in the Commercial Valley-2 (CV-2) Zone (Justin Pack representing Dog and Bone, LLC, Applicant)

Ronda Kippen said this is basically a redo, with a different site that is zoned CV-2, that does not have a development agreement tied to this piece of property, so they are doing a design review without any other pre-agreements that have come through due to legislative action. The applicant is in the process of purchasing two lots within the Valley Junction Subdivision. Our code allows them to do a building parcel designation, which allows them to record something against the title to combine the two parcels, so the building can go across both pieces of property. The CV-2 Zone does not have a minimum lot area and lot width, yard setbacks utilizing complete street and can have zero front yard, and the rear yard can be zero also. They can build this out to all sides of the property; the maximum lot coverage is 60%, and the project is well within those confines. As before, the applicant is proposing a complete street design and the colors are slightly different than before, they are going with a rider's parchment which is more of an off-white color. What the applicant is trying to do is recreate the historic view of the Blacksmith Shop, prior to them stripping the color off of the brick, and that is what the applicant desires for the new location.

Ronda Kippen said that the applicant is doing the entire building instead of phasing as was previously discussed in the other location, so two of the units will be utilized by an auto repair and parts shop. The rest will fill in after the building has been built, or before he might have lessee's come forward before that. During each one of those lessees's coming forward, they would then evaluate adequate parking and signage, but for now they are looking at the architectural rendering, site layout, landscaping, and different elements that are tied with the review. They are doing the complete street design. The applicant brought forward the recommendations from that last time, which is putting the trees within the grate along the sidewalk, to breakup that mass expanse of the building along the street corridor. They are also looking at the ability to maintain traffic safety and congestion, so they have all of the loading located along the rear of the building, so that it won't be tying up traffic along the street. They do have the outdoor advertising for the auto repair shop. The applicant has been able to come forward to adequately address all of the landscaping requirements on this site, including the required setbacks of 12 feet, as well as the landscaping with the buffers between those areas.

Ronda Kippen said that the applicant is asking for flexibility with the way the building will look. As they are building this, they want the ability to put in overhead doors in all of the units, or do as it is shown in every other unit. This decision will have to be made very early in the construction, based on any possible tenants that are coming forward, so they know how to build that, but they need that flexibility. They will make sure that culinary water connections have been made, and once it's been closed the applicant will secure the water, and get the final approval from the Health Department.

Commissioner Howell asked about vacating the other permit that they gave. Mrs. Kippen replied upon approval of this, they will request that the applicant submit in writing a request to vacate the other location in Liberty.

Commissioner Warburton asked if they are approving two designs or one design, as previously stated the applicant wanted flexibility on the design. Mrs. Kippen replied they are approving the design of the building based on what they have submitted. The applicant has brought some architectural renderings, to give a feel of what it would look like with overhead doors on every single unit. On page 4 of 7, she underlined the findings of approval, as part of the final decision to allow either overhead doors on every unit or every other unit.

Justin Pack, applicant, who resides in Eden, said he had nothing to add except that it's the exact same building, they picked it up and put it on a new lot to accommodate Liberty and them wanting a park. Commissioner Graves wanted some trees out front so they have added that to the parcel.

Commissioner Howell stated that his area where you are going, will be right next to a dentist office, east of a restaurant, west of another restaurant, and west of a rehab center. This kind of business is a noisy business, and you plan to take this into a neighborhood that has quiet businesses. He asked the applicant if he had looked at other locations possibly near the car wash, some place more secluded. Mr. Pack replied that they have looked elsewhere; this place is what fits them and their price range. In the past it may have been a noisy business, there is a lot of new equipment, two stage compressors with low decibel ratings, and all the pneumatic tools have lower decibel ratings. All the work on these vehicles will be done on the inside, and they have four other units attached to this building, that are not taken or leased at this time. If there is a noise problem, they will be the first to fix it for their other units.

Commissioner Haymond asked to see the renderings of all the garages. His concern is that they have the school bus garage down the street, and this reminds him of parking for school buses. Is this something that your potential tenants would be interested in phases? Mr. Pack replied they hoped that they would maximize that; these are going to be overhead glass doors made to look like they're old. They are going to be double-paned, well insulated, and if this were shut 99% of the time, it is almost like a wall there. They are just opening up the building to as many tenants as they possibly could. They were approached for something like this with overhead doors that are attractive, with the historical correctness; this is not like the white steel overhead doors like on the school buses.

Commissioner Graves said the complete street will have a pretty good impact on the front of this, whether you have all these doors or every other, and he didn't have an issue with this.

Chair Warburton asked staff once they approve one conditional use in this complex, that does not apply to all the other units? Mrs. Kippen replied no, it doesn't.

Chair Warburton asked to get a business permit, the building will have already been made, so how does that work? Mrs. Kippen replied that when a business license application is requested, they would see if it was permitted or if it was conditionally permitted; if not they would advise the applicant to go through the conditional use process. As part of the motion, they could tie it to the lease space that is part of Exhibit B2, Sheet A1 of the floor plan; it identifies the lease space for the automotive repair shop as 4,887 sq. ft., and it is A1 under the plans.

Chair Warburton asked how much space are they actually approving? Mr. Pack replied they are approving the business Sterling Automotive. Let's say things went well and six months the next section which is another 2,300 sq. ft., would they have to come in for a new conditional use permit, where it has already been approved, or could he just expand? With the new businesses coming, obviously new conditional use permits, but if you tied it to the square footage, he would rather not have that tied to that. Director Wilkinson said that it depends on what they say here tonight, if they make a condition that the owner of the first unit uses the second unit for the same use and there has not been any detrimental effects or complaints, that could be an approval with anticipation. Or they could say what they are approving tonight is what it is, and if he comes in for that use, then he is on the consent agenda when it comes back in.

Chair Warburton said so he could use the whole building for whatever he wants to use it for, if he wants to use all for automotive, then he could do that, but what happens if he rents out the other units to other people. Director Wilkinson replied that those uses depending if they are permitted or conditional will go through the process.

Commissioner Hollist said the picture that they are looking at shows six segments of this building, if he recalled Sterling Auto will be using two. Mr. Pack replied yes.

Bill Christiansen, who resides in Eden, he represents seven of the quiet businesses. He asked if the automotive repair business includes a body shop. The other problem would be the noise and smell, and they have a deck on the west side of the restaurant where people sit in the summer and enjoy the quiet. Have they done a decibel reading on the air tools? Now it's changed on the right of the property owner. He had a question for the attorney and he has addressed this several times; all the uses up there used to be permitted or not permitted, and then it changed to conditional. You have addressed all the conditional uses as right of the property owner, and he wondered if that was true. He thought that they were conditional uses because you could deny them. Chair Warburton replied that by code he could have a body shop, but right now the applicant says no. As for the air tools, he has indicated that the decibels were low. Do you remember the helicopter, she fought to get that denied, basically according to the state law, and it is basically a permitted use. They have the right to go in and address any detrimental effects to mitigate them the best that they can. If the detrimental effects cannot be reasonably mitigated, yes they can deny. Legally and this was addressed by the Ombudsman, it's a very sticky legal issue. They understand their obligation to do their best to make it allowable, and if you have something that they could impose. Chris Crockett, Legal Counsel said that the State Code Section 17a506, which requires that a conditional use shall be approved if reasonable conditions are proposed, or can be imposed to mitigate the reasonable anticipated detrimental effects of the proposed use, in accordance with the applicable standards. If they meet the requirements of law, they could require that it shall be approved.

Bill Christiansen said another concern was the smell. Mr. Crockett replied that is something that the commission can consider, but it gets more specific, once they look into the County Code.

Steve Waldrip, who resides in Eden, said a letter was provided to the commission prior as part of record. He wanted to go on record to thank Justin Pack and the ownership group from Liberty Park. Mr. Pack took a significant amount of initiative, a significant amount of personal risk, to allow for the friends of the park, to find the time, the means, and money to secure a purchase option, which has been executed. The park has a purchase option on the other parcels, and there are a lot of people in that part of the valley that are very happy about that development. He likes the plan, the location, the glass doors, and this is a nice design; he is in favor of it being approved. They have raised over a half of million dollars towards the expansion of Liberty Park to date.

Thomas Parmley, who resides in Eden, said that he will be the proprietor of Sterling Automotive Solutions. The smell is a new thing to him, and his establishment will follow within the guidelines of all EPA regulations about storing, disposal, and transporting any type of hazardous waste. He will not be burning oil on the back of his shop or that nature. As to the noise issue, they can operate with the front door closed, and the back doors open. A quick Google search the first thing on the EPA Website that talks about the noise dissipation, through ambient air. There is a law called inverse square law that states that decibel rating dissipates at a rate of 6 DB per 50 feet. The outdoor patio in the east of Eden, which is the concern of the noise, is approximately 275 feet away. A library or a quiet office clocks in at 40 DB. A crowded restaurant clocks in about 85 DB. His air compressor clocks in at 90 DB and any air tools that he would use intermittently all clock in about 90 and 105 DB. In the event that he were to operate all of his compressors, all of his air tools, out front of his property, outside at 90 DB, by the time they dissipated to the outdoor patio area, it would have been reduced to 30 decibels. This type of establishment with some 3,000 residents in the valley; probably 4,500 vehicles, even if he gets one tenth of those vehicles at his establishment, and if they brought their vehicle in for an oil change, they would have an hour to kill, and they would be transporting themselves and their pocket book to the surrounding establishments.

MOTION: Commissioner Howell moved to deny CUP 2015-04 Dog & Bone LLC Auto Repair & Service requested to locate at 4930-4938 E 2550 N, on the finding of facts for denial that this would have a potential detrimental effect to the neighborhood, it is not in harmony or compatible with the adjacent developments, i.e., a senior rehabilitation facility, two restaurants with several retail businesses, and a dentist office. This type of auto repair business can cause excessive noise with mechanical equipment, offensive emissions, pollutants, odors, and smoke that cannot be mitigated. He is not opposed to the business, just the location of it.

Chair Warburton indicated that the motion failed for lack of a second.

MOTION: Commissioner Haymond moved to approve CUP 2015-04, consideration and action on a conditional use permit for an auto repair and service including the design review for a new commercial building in Eden Utah, with the ability to incorporate the option to have overhead doors in each unit or in every other unit, subject to all review agency requirements and based on the findings and conditions of approval as listed below which is 1 through 6, on page 4 of 7. Commissioner Hollist seconded.

DISCUSSION: Commissioner Graves said that it may be close to other businesses but it fits in, it's in the right kind of zone, it's been upgraded from what they would normally expect to see for an automotive repair place. He has the upmost confidence that Justin Pack will do this right. Commissioner Hollist said that he voted against this in the prior location as well.

VOTE: Commissioner's Miller, Warburton, Hollist, Graves, and Haymond voted aye and Commissioner Howell voted nay. Motion Passed. (5-1)

4. Legislative Items: Public Hearings

a. New Business:

1. ZTA 2014-05: Consideration and recommendation on a proposal to amend the Weber County Land Use Code to provide for the nonconforming designation of lots made smaller by right-of-way expansions, and to provide administrative clarifications related to those sections.

Charles Ewert said he met with this Planning Commission at a work session to talk about non-conforming lots; lots made non-conforming due to right-of-way expansion. They also talked about the next agenda item which is accessory buildings as they relate to main buildings and accessory uses. He verified with every Planning Commissioner that you have the addendum to the staff report that includes an edited revised version of Exhibit B and C, and provided better clarification than what was proposed in the original staff report. This is the subject proposal, this is what is newly being proposed in the ordinance, and everything else that is coming before you is clarification on how they already interpret their codes. This section creates the ability for the county to consider lots that are reduced below the minimum lot size requirements; because of right-of-way expansion to consider them as legal non-conforming lots. He called other jurisdictions Salt Lake County, Davis County, and others to find out what they were doing and they didn't have an answer. Salt Lake County said that if they took some right of way, and that dropped them below the requirement, they would make them get a variance, and he didn't like that. This is a legislative issue.

Commissioner Hollist asked if they run into problems with conforming and non-conforming lots, and the county acts to make it either non-conforming or more non-conforming, it will be considered a legal non-conforming lot. Mr. Ewert replied and as part of Exhibit B Notice of Effect; is just an example, it has not been imbedded through all the appropriate offices, but as they find properties that they know are affected by right-of-way expansions, they will record a blanket notice of effect, so anyone who is negatively affected, and has caused the property to be non-conforming because of the right-of-way expansion, this will be on their title loan and they will know what ordinance to go to.

Commissioner Hollist said the bottom line is that this is a policy shift; they are protecting those owners of lots that are going to be affected by the right-of-way change. Mr. Ewert replied that is the intention. Non-conforming is that the lot is legally established as a non-conforming, and they have established other rules to regulate non-conforming uses in Weber County. The key term here, is they are trying to avoid labeling any of these lots illegally created or illegally modified. Chair Warburton said that the consequences if they left it the way it was, if they had all of sudden a non-conforming lot, it was not compliant, and they wanted to do something with their lot, they wouldn't be able to.

Commissioner Hollist said they are protecting the residents of the county by this ordinance.

Open for public hearing

Steve Clarke, who resides in Eden, said this is a great way to make a law.

Dave Kneels, 3257 E 5300 N, said he wondered about this ordinance; if they take a piece of somebody's property, but they make it legal, now a person goes to sell the property that is labeled as non-conforming, would that be an involuntarily taking of that person's property. Mr. Ewert replied a non-conforming is essentially grandfathering. When a law changes, something shifts, when a right-of-way is acquired, it could affect neighboring properties in a certain way, i.e., a 1998 down zone created an incredible amount of non-conforming lots. All those lots could be bought and sold at will, so long as they are legally created and non-conforming. There are special rules for each of those lots. If the structures were built in accordance with a different setback standard, they may not be able to build on that side of the house.

Chair Warburton asked so even though they are making them legal, even though it's non-conforming, they still have to abide by setbacks. Mr. Ewert replied that there are still specific rules and under the non-conforming chapter, there are rules governing how non-conforming lots are treated differently than conforming lots.

Commissioner Howell said when you talk about setbacks, if they chop the front of the house, they can't have the required setback, but it's been declared legal, this would not apply. Mr. Ewert replied if the front right-of-way eats into their setback, and their structure is technically non-conforming to that setback, the structure is not illegal. It was legally established in the first place, so this is Law of Entitlements, and the landowner who created that building in the first place when it did comply with the law, is entitled to continue that use forever and always. The question about non-conformity is what happens when changes come to play.

Commissioner Miller said under the one year vacancy or abandonment, whenever the non-conforming use has been discontinued for a period of one year, how does that apply? Mr. Ewert replied technically if they stop using this house as a house, for a period of one year, they have technically abandoned the use. If they abandoned the use, they cannot reestablish that use.

Closed for public hearing

MOTION: Commissioner Howell moved to recommend approval to the County Commission of ZTA 2014-05. Commissioner Graves seconded

VOTE: A vote was taken with Commissioner's Hollist, Miller, Howell, Graves, Haymond, and Chair Warburton voting aye. Motion Carried (6-0)

2. ZTA 2014-06: Consideration and recommendation on a proposal to amend the Weber County Land Use Code to provide clarification in the regulations and permissions of main buildings and accessory buildings, and main uses and accessory uses.

Charles Ewert said in reference to this ordinance proposal and the last proposal, these all fall within ongoing administrative edits as far as the work plan in updating our ordinances. This is a proposal to clarify the treatment of accessory buildings, in the context of main buildings and main and accessory uses. The issue that they have is that the definition section says that they don't get to have an accessory building on a property unless you have a main building established on that property. In most of our zones, they say an accessory use, which is accessory and incidental to a building is permitted. There is a conflict there and they just needed to fix that conflict. In the work session they did discuss conflicted uses and how that may relate; however, they wanted to move forward as staff, and petition the Planning Commission for a recommendation to the County Commission to fix this issue and if there were ongoing discussions about conflicting issues, they would hit that with the use table. This clarifies what we are already doing where there is conflicting things in the code. Before the ordinance stated accessory building, structures and uses, customarily tied to a permitted use, and that's where they had the conflict talking about accessory building and permitted uses. Especially when it comes to open air uses, they see this with agricultural uses, golf course, recreation, gravel pits, and those sorts of things.

Charles Ewert said that the way that our code is currently written, it almost seems like if they could put a guard shack on an open air use like a gravel pit, they have to call that a main building, which this doesn't technically change that, it will still be called the main building, but it helps them understand what the difference is between a main building and accessory building. That is important because main buildings are governed in setbacks differently than accessory buildings. They went in and said accessory buildings incidental to the use of the main building which isn't a change. But

the second line the main building designed for use to accommodate the main use, to which the premise is devoted, and they are calling that guard shack a main building, even though that main building does completely doesn't house the main use. For reference on why the word accommodate means something, if they go back to Page 8 of 38 in the staff report, and is also 2 of 16, of that Exhibit, they find that accessory building currently means, "a subordinate structure detached from and located on the same lot as the main structure, the use which is incidental and accessory to that of the main structure, a main building is required prior to an accessory building." That last line is where the problem is. "A main building is a principal building and/or structure or one of the main or principal buildings and/or structures housing the main or principal use on the lot." It almost gives the idea that it has to completely enclose whatever the use of the property is in order to be considered a main building, and open air uses are not inside the building. That's where the word "accommodates" comes in, because they wanted to make sure that they were clear, that they might have a main building that doesn't completely house the main use. With this amendment, it can be conceived that a main building, established as a use on a property, might also be an accessory use. In the CVR-1, the M-3, and the open space zone; accessory buildings are only allowed by conditional use permit, even if it's accessory to an already permitted use in the CVR-1 Zone. This should be administrative approval, rather than making them go through the full CUP process to get approval. They changed that in the CVR-1, the M-3, and Open Space Zone to say, they don't have to get a CUP, they just have to go through staff approval, so the review will still be the same, the reviewing entity will be different.

Commissioner Hollist staff report 2 of 38, or 2 of 4 policy analysis, that first paragraph, it states they need to evaluate which of the two conflicting positions should prevail. Mr. Ewert replied that he is actually referring to the discrepancy between the definition of accessory and main buildings, and the permission for accessory building listed in each of the zones. Those are the two different things, there's a conflict, one of the two should prevail, and their recommendation is to allow for the modification that they are making which is explicitly putting into the codes that accessory buildings and main buildings incidental used to accommodate main uses.

Open to public hearing

Steve Clarke asked if was possible to have an accessory building established on a property before a main building exists. Chair Warburton replied yes, if they recommend to change this ordinance as proposed. Mr. Ewert replied technically no, you can't have an accessory building without the main building, and that is the problem. You can install a building on a piece of property that looks, acts, and feels like an accessory building, but for the purposes of establishing what the setbacks are, even establishing design standards, they are going to call it a main building.

Closed for public hearing

MOTION: Commissioner Hollist moved to recommend approval to the County Commission ZTA 2014-06 changes to the Weber County Code as noted within the staff report. Commissioner Miller seconded.

VOTE: A vote was taken with Commissioner's Hollist, Miller, Howell, Graves, Haymond, and Chair Warburton voting aye. Motion Carried. (6-0)

5. **Public Comment for Items not on the Agenda:** No public comments
6. **Remarks from Planning Commissioners:** Chair Warburton said that she would like to have the timer running when they have public comments.
7. **Report of the Planning Director:** Director Wilkinson said last week in the staff meeting, they had a discussion about whether or not this Planning Commission would like model motions in their staff reports. In the staff report that they just looked at there was a model motion that was laid out on how you could potentially make a motion. Is that something helpful that they would like to see in future staff reports? What they don't want to do is make it seem like that they are telling them what to do or inferring that they should do something by the sample motion, Chair Warburton replied that if we have training the model motion would be more appropriate in a training packet. It was agreed by the other Planning Commissioner to have it in the training packet. Director Wilkinson said that they are planning to have a training coming up and it will be in the next couple of work sessions, and they will be addressing some of the issues. This Thursday and Friday they will be having Envisioning Workshops. Thursday night is the open house at Snowcrest, and Friday they will be doing some mobile workshops around the valley. He asked if they planned on putting that on the website. Mr. Ewert replied no they haven't, and they are not planning on doing that because they want to have the freedom of moving it

from place to place. If this Planning Commission has any suggestions where they could have these workshops, they would appreciate their suggestions. Director Wilkinson said that Chris Crockett will be transferring to the Western Weber Township and that Ogden Valley will be getting a new attorney.

- 8. **Remarks from Legal Counsel:** No Legal Counsel remarks.
- 9. **Adjournment:** The meeting was adjourned at 8:05 p.m.

Respectfully Submitted,

Kary Serrano, Secretary;
Weber County Planning Commission



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on an administrative application (Design Review 2013-07) for a two year time extension for the temporary gravel excavation and rock crushing operation at Powder Mountain Ski Resort.

Agenda Date: Tuesday, March 24, 2015

Applicant: Russ Watts, Representative for Summit Mountain Holding Group, LLC

File Number: DR 2013-07

Property Information

Approximate Address: Powder Mountain Ski Resort

Project Area: N/A

Zoning: Ogden Valley Destination and Recreation Resort Zone

Existing Land Use: Ski Resort

Proposed Land Use: Temporary gravel excavation and rock crushing operation

Parcel ID: 23-012-0141

Township, Range, Section: T7N, R2E, Section 6

Adjacent Land Use

North: Ski Resort	South: Ski Resort
East: Ski Resort	West: Ski Resort

Staff Information

Report Presenter: Jim Gentry
jgentry@co.weber.ut.us
801-399-8767

Report Reviewer: SW

Applicable Ordinances

- Weber County Land Use Code Title 104 (Zones) Chapter 29 Ogden Valley Destination and Recreation Resort Zone (DRR-1 Zone)
- Weber County Land Use Code Title 108 (Standards) Chapter 1 (Design Review)

Type of Decision

Administrative Decisions: When the Planning Commission is acting as a land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are design reviews, flag lots, and subdivisions. Administrative applications must be approved by the Planning Commission if the application demonstrates compliance with the approval criteria.

Background

The applicant is requesting a two year time extension (until fall of 2017) on the gravel excavation and rock crushing operation on a temporary basis at Powder Mountain Ski Resort. The purpose of the excavation and crushing operation is to provide material for use in road construction within the Summit at Powder Mountain Development. Rock crushing will be allowed only for material harvested on-site. No off-site material may be brought in for crushing, and no on-site material may be crushed and then exported to other locations.

The applicant has removed approximately 47,380 cubic yards from the site and is looking too removed approximately 100,000 additional cubic yards from this site. There have been no complaints during the last two years operation. This project is located in the DRR-1 Zone where development of single-family dwellings is permitted, and uses customarily incidental to permitted uses are permitted. Staff has determined that a temporary gravel excavation and rock crushing operation is a use which is customarily incidental to the construction of infrastructure in a subdivision for single-family dwellings, and is, therefore, a permitted use in the DRR-1 Zone.

The gravel excavation and rock crushing operation is located approximately 1900 feet south of and uphill from the Timberline Lodge, in an area formerly used as a gravel excavation site. The nearest dwelling units are the Powder Ridge Condominiums located approximately 1,900 feet from the southern-most portion of the site. Noise mitigation is tied to the distance from the Powder Ridge Condominiums. Water trucks will be on site to mitigate potential problems with dust. There is limited vegetation at the operation site, but the vegetation that is disturbed will be re-vegetated with native grasses. The Weber County Engineering Division is requiring the Storm Water Pollution Prevention Plan (SWPPP) to be updated along with the Storm Water Activity Permit. Utah Division of Oil, Gas, and Mining reviewed the site during the initial application and did not have any concerns.

Road construction is expected to take at least two additional building seasons (through Fall 2017). However, the operation will not operate during the winter months and all of the equipment will be removed in the fall and replaced in the spring. The operation will run during daylight hours up to seven days per week as necessary.

Summary of Planning Commission Considerations

- Are the proposed noise and dust mitigation measures adequate?
- Should the operation be approved through the fall of 2017?
- Are there other potential impacts that have not been addressed?

Conformance to the General Plan

The proposed use is customarily incidental to the construction of the Summit at Powder Mountain development, and is, therefore, a permitted use that meets the requirements of the FV-3 Zone and conforms to the Ogden Valley General Plan.

Conditions of Approval

- Requirements of the Weber County Engineering Division.
- Requirements of the Weber-Morgan Health Department.
- Crushing will be allowed only for on-site material to be used in Phase 1 of The Summit at Powder Mountain Development (CUP 2013-03, 154 Unit PRUD). No off-site material may be brought in for crushing and no on-site material may be crushed and then exported to other locations.
- The site plan, hours of operation, and mitigation controls must be followed as approved by the Planning Commission.

Staff Recommendation

Staff recommends approval of the two year time extension of the temporary gravel excavation and rock crushing operation through the fall of 2017 based on the following information:

- The operation is an accessory use that is customarily incidental to the construction of a subdivision and is permitted in the FV-3 Zone.
- The operation will significantly eliminate the number of truck trips used to haul material to this site, thus improving safety and decreasing road damage in the Ogden Valley.
- The applicant has proposed ways to mitigate potential negative impacts.

Exhibits

- A. Letter requesting the time extension
- B. Site Plan

Summit Mountain Holdings Group LLC
883 North Yacht Club Drive
Eden, Utah 84310
Attn: Russ Watts
5200 South Highland Drive
Salt Lake City, Utah 84117
272-7111
russ@wattsenterprises.com

March 3, 2015

Weber County Planning Commission
C / O Jim Gentry
2380 Washing Boulevard, #240
Ogden, Utah 84401-1473
(801) 399-8767
jgentry@co.weber.ut.us

Dear Weber Planning Commission,

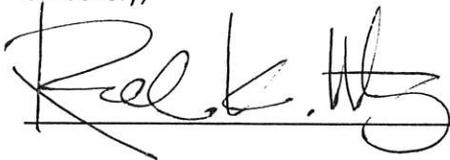
We respectfully request an extension to the conditional use permit granted on August 1, 2013 for the temporary gravel excavation and rock crushing operation at Powder Mountain.

The operation these last two seasons has gone very well and provided the benefits that were anticipated. This includes a drastic reduction in commercial travel on the roads, increased safety, cost savings and an improved ski slope. There are adequate materials left in this area for additional materials that will be badly needed for the completion of the new County Road and well as phase 1. Although the ski slope is better, it still needs some improvement.

All the conditions from the original approval will be part of this time extension. We would like to process approximately 100,000 tons of materials this season. However we are asking for an extension of two seasons due the possibility that we are only able to place 50,000 tons of materials, which has been the average materials processed these last two seasons.

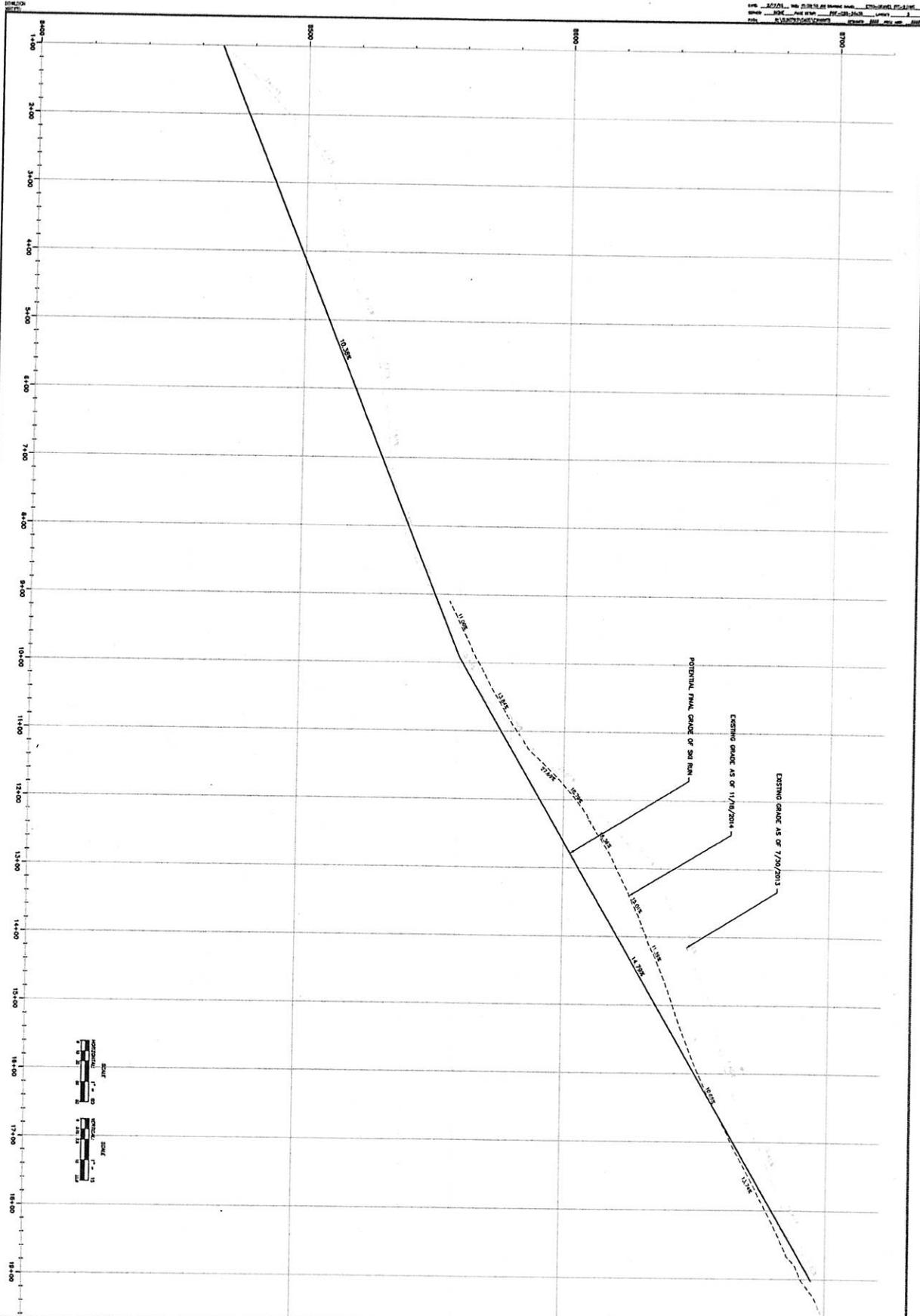
Thank you for your consideration.

Sincerely,

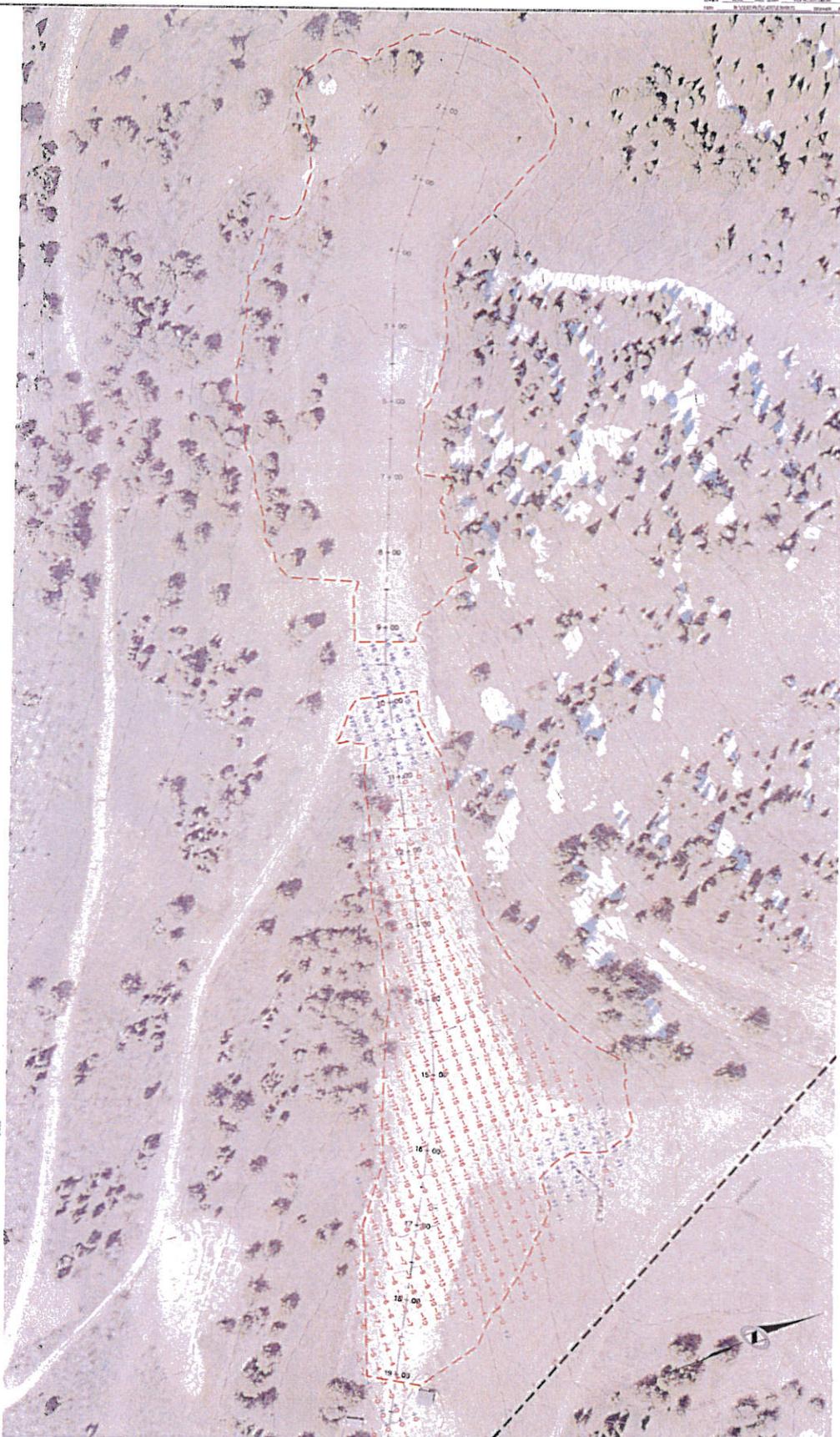


Dated 3/4/15

Russ Watts



<p>DATE: 2/12/2015 TIME: 10:58:15 AM USER: J... PROJECT: DRIFTER SKI RUN QUARRY SHEET: 3</p>	<p>NIVIS NOLTE VERTICAL FIVE</p> <p>800 SOUTH STATE STREET, SUITE 200 BURLINGTON, VT 05401 TEL: 802.249.1100 FAX: 802.249.1101 WWW.NIVIS.COM</p>	<p>DRIFTER SKI RUN QUARRY POTENTIAL FINAL GRADE OF SKI RUN</p> <p>PREPARED FOR: WATTS</p> <p>DATE SUBMITTED: 2/12/2015</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REV.</th> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table> <p><small>The engineer warrants these plans will be constructed in accordance with the specifications and standards of the State of Vermont. All changes to the plans must be in writing and must be approved by the engineer of these plans.</small></p>	NO.	REV.	DATE	REVISIONS																
NO.	REV.	DATE	REVISIONS																				



LEGEND

- SOLID LINE: AREA 1 PERMIT
- DOTTED LINE: AREA 2 PERMIT
- STAR: POINT
- CIRCLE: ELEVATION

PROJECT: DRIFTER SKI RUN QUARRY
 SHEET: 1 OF 1
 DATE: 2/12/15
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1" = 100'

NIVIS
 NOLTE VERTICALIVE
 200 SOUTH STATE STREET, SUITE 200
 HUNTSVILLE, TN 37403
 931.244.1010 TEL. 931.244.1009 FAX
 HUNTSVILLE, TN 37403
 WWW.NIVIS.COM

DRIFTER SKI RUN QUARRY
 TOTAL EXCAVATION DURING 2013/2014

PREPARED FOR: WATTS
 DATE SUBMITTED: 2/12/2015

NO.	REV.	DATE	DESCRIPTION

The information contained herein is for informational purposes only and does not constitute a contract. The user assumes all responsibility for the use of this information. No liability shall be assumed by the provider of this information.



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request for Design Review approval of a Community Church to be located at 9228 East 100 North in Huntsville.

Agenda Date: Tuesday, March 24, 2015

Applicant: Karl Lundin, Agent for Ogden Valley Community Church

File Number: DR 2014-12

Property Information

Approximate Address: 9228 East 100 North Huntsville

Project Area: 3.02

Zoning: Agricultural Valley (AV-3)

Existing Land Use: Vacant

Proposed Land Use: Church

Parcel ID: 21-022-0005

Township, Range, Section: T6N R2E Section 16 NE 1/4

Adjacent Land Use

North: Agricultural	South: Agricultural/Residential
East: Agricultural/Residential	West: Agricultural/Residential

Staff Information

Report Presenter: Jim Gentry
jgentry@co.weber.ut.us
801-399-8765

Report Reviewer: SW

Applicable Ordinances

- Weber County Land Use Code Title 104 (Zones) Chapter 6 (Agricultural Valley-3 Zone)
- Weber County Land Use Code Title 108 Standards Chapter 2 (Ogden Valley Architectural, Landscape, and Screening Standards)
- Weber County Land Use Code Title 108 Standards Chapter 8 (Parking and Loading space, Vehicle Traffic, and Access Regulations)
- Weber County Land Use Code Title 108 Standards Chapter 16 (Ogden Valley Lighting)
- Weber County Land Use Code Title 110 Signs Chapter 2 (Ogden Valley Signs)

Type of Decision

Administrative Decisions: When the Planning Commission is acting as a land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are design reviews, flag lots, and subdivisions. Administrative applications must be approved by the Planning Commission if the application demonstrates compliance with the approval criteria.

Background

The applicant is requesting approval of a site plan for a community church at 9228 East 100 North in Huntsville. The property is 3.02 acres in size and is located in the Agricultural (AV-3) Zone, which lists "church, synagogue or similar building used for regular religious worship" as a permitted use. The church will occupy approximately 1.5 acres. The new building will be 6,000 square feet in size. The proposal is to expand the parking area in the future as the membership of the church grows. The current design is to accommodate a membership of 100. The church is currently located in Huntsville Town and will be moved to this location.

- **Architecture and Design:** Sec. 108-2-4. – “Minimum standards; architectural: Exposed fronts and street sides of buildings. Exposed fronts and street sides of buildings shall be constructed of non-reflective materials and shall be textured concrete, brick, stone and/or natural wood/wood-like materials. Concrete masonry units or block CMUs shall not be considered acceptable materials unless it is specially colored and textured. Vinyl and/or aluminum siding shall not be acceptable.” The front of the building will be lap siding with a wood grain and will not be vinyl or aluminum. The siding will be painted to match the rest of the building. The proposal is to have exposed timbers above the doors with a natural stone veneer around the door and the bottom fourth of the building. The metal roof will be a copper brown color.
- **Parking/Access:** A church requires one space per five fixed seats. The applicant is providing 20 parking stalls which will serve a congregation of 100 members. The parking area will have to be hard surface such as asphalt or concrete.
- **Setbacks:** The proposed arrangement of buildings on this site does meet the minimum setbacks for the AV-3 zone.
- **Landscaping:** The landscape plan shows 6 evergreens planted across the front property line. The space between the road and the parking area will be left in natural grass. There will be 3 maple trees and shrubs planted around the building with a grass turf area to the east of the building. The building’s mechanical equipment has not been shown with the proposal so there is not a way of ensuring that it is screened adequately from the street view, though screening is required. There will not be a dumpster on site, just a garbage can for trash removal.
- **Lighting:** The site plan shows no lighting on this site. Any lighting must comply with the Weber County Land Use Code Title 108 Standards Chapter 16 (Ogden Valley Lighting). The lighting plan will be reviewed if future lighting is proposed.
- **Signs:** No signs are being proposed at this time. Any signs must comply with the Weber County Land Use Code Title 110 Signs Chapter 2 (Ogden Valley Signs).
- **Water and Wastewater:** Septic feasibility has been issued for this property. A set of full size septic plans needs to be submitted to the Health Department for review and approval prior to issuance of a building permit. Culinary water will be provided by a well. The well has been approved if a 100 foot well protection easement is provided. The applicant has two shares of secondary water in the Huntsville Irrigation Company.

Engineering Comments:

- The applicant will need to get the access approved by UDOT. If UDOT requires a culvert under the access then it will need to be installed.
- The 100 ft. well protection zone must be shown on the plan.
- A grading and drainage plan needs to be submitted for review.
- The site will need to have detention or retention. Calculations must be submitted to the Engineering Division.
- There will need to be a Storm Water Maintenance Agreement with the development.
- A Storm Water Pollution Prevention Plan (SWPPP) is now required to be submitted for all new development where construction is required. The State now requires that a Utah Pollutant Discharge Elimination Systems (UPDES) permit be acquired for all new development. A copy of the permit needs to be submitted to the county before final approval. Permits can now be obtained online thru the Utah State Dept. of Environmental Quality at the following web site: <https://secure.utah.gov/swp/client>.
- A Storm Water Activity Permit will need to be obtained through the Engineering Division before construction begins.

Summary of Planning Commission Considerations

Is the project layout and building design consistent with applicable Weber County Ordinances?

Conformance to the General Plan

This site plan conforms to the General Plan by meeting the outline of permitted land uses of the zone in which it is located.

Conditions of Approval

- Requirements of the Weber County Engineering Division.
- Requirements of the Weber County Building Inspection Division.

- Requirements of the Weber Fire District.
- Requirements of the Weber County Health Department.
- Staff will inspect the site to ensure compliance with approvals prior to the issuance of occupancy permits.

Staff Recommendation

Staff recommends approval of the site plan for the Community Church subject to staff and other agency requirements.

Exhibits

- A. Applicant's Narrative describing the Community Church
- B. Location Map
- C. Renderings of the proposed buildings
- D. Site and landscaping plan

Weber County Design Review Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use) DR2014-12
----------------------------	-------------------	-----------------------------	---------------------------------------

Property Owner Contact Information

Name of Property Owner(s) OSDEN VALLEY COMMUNITY		Mailing Address of Property Owner(s) PO BOX 291	
Phone 801 970 6841	Fax CHURCH	HUNTSVILLE UT 84317	
Email Address wilson@REinfo.org OVCCMASQUIFY@GMAIL.COM		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	

Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s) KARL LUNDIN		Mailing Address of Authorized Person 2485 GRANT AVE #212	
Phone 801 395 1560	Fax 801 395 1561	OSDEN, UT 84401	
Email Address KLUNDIN70@YAHOO.COM		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	

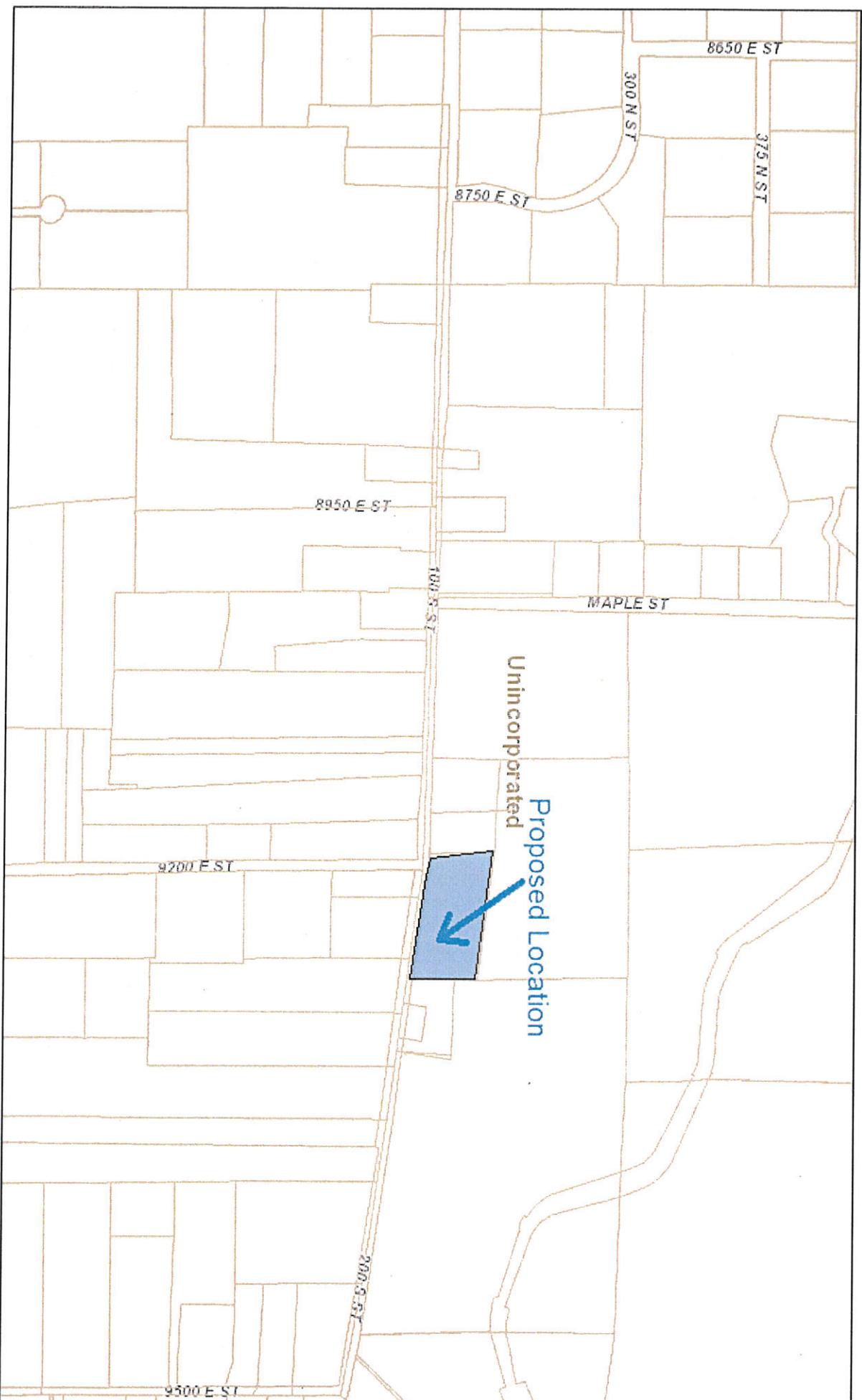
Property Information

Project Name OSDEN VALLEY COMMUNITY		Current Zoning	
Approximate Address 100 N 9228 E HUNTSVILLE, UT 84317		Land Serial Number(s) 21-022-0005	
Proposed Use CHURCH			

Project Narrative

PROJECT WILL BE THE NEW LOCATION OF THE OSDEN VALLEY COMMUNITY CHURCH CURRENTLY LOCATED IN CITY OF HUNTSVILLE. PROJECT BEING SUBMITTED WILL BE PHASE #1 BASED ON MEMBERS. BUILDING WILL BE AS IS THROUGH THE PHASES BUT AS MEMBERSHIP GROWS ADDITIONAL PARKING MAY BE ADDED. PHASES ARE BASED ON OCCUPANCY AND HAVE NO SET START OR COMPLETION DATES.

Location Map



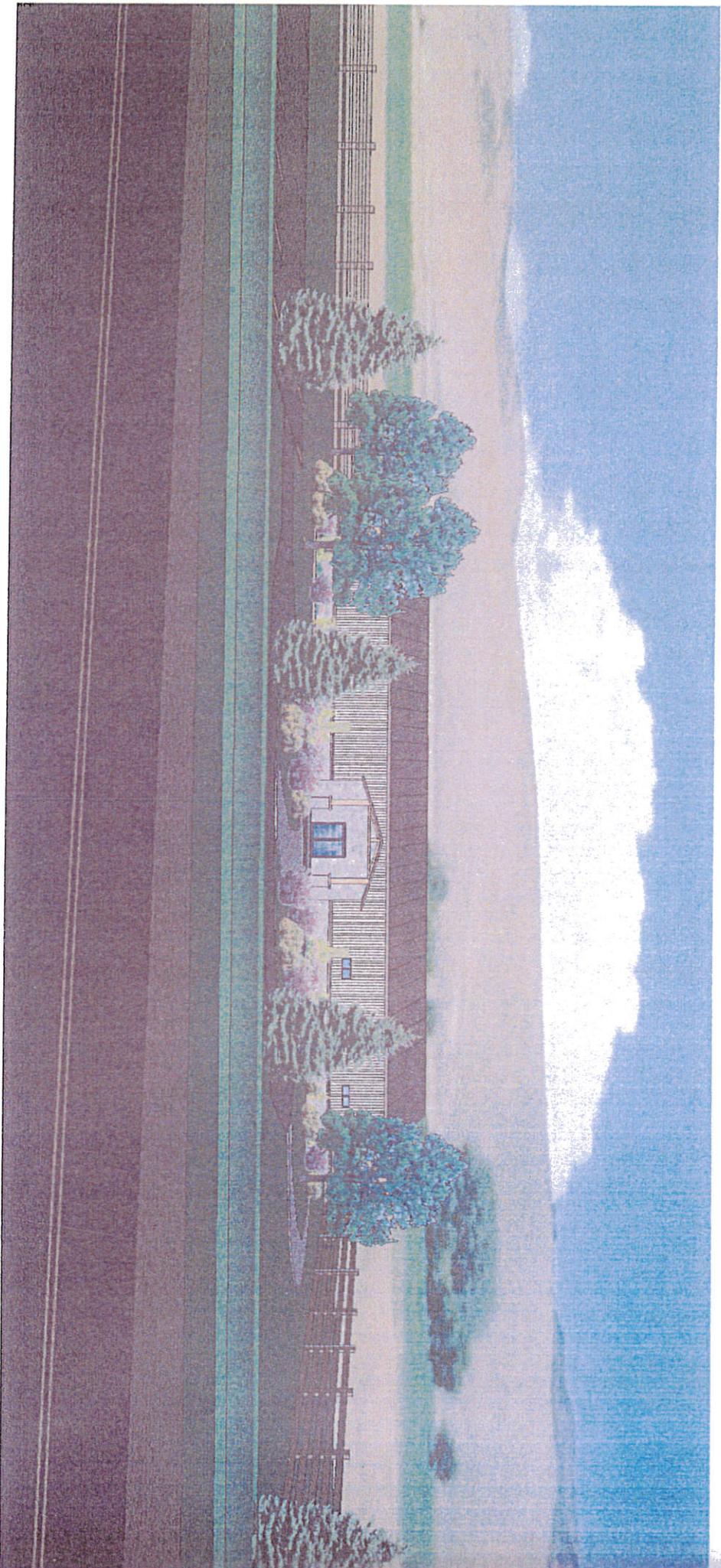
March 12, 2015

Parcels

Street Labels

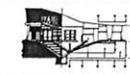
City Labels





GENERAL CONTRACTOR

LUNDIN HOMES, LLC



2000 West 1000 North, Suite 200 • Provo, UT 84601
 801.733.1000 • www.lundinhomes.com

DESIGN

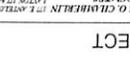
LUNDIN DESIGN GROUP



2000 West 1000 North, Suite 200 • Provo, UT 84601
 801.733.1000 • www.lundindesign.com

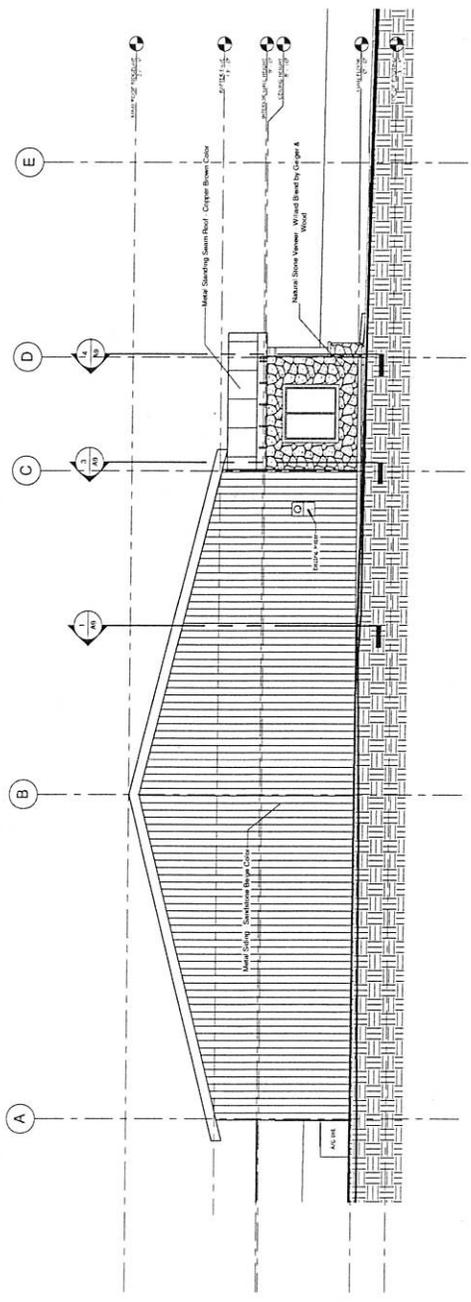
ARCHITECT

LAMES O. CHAMBERLAIN & ASSOCIATES

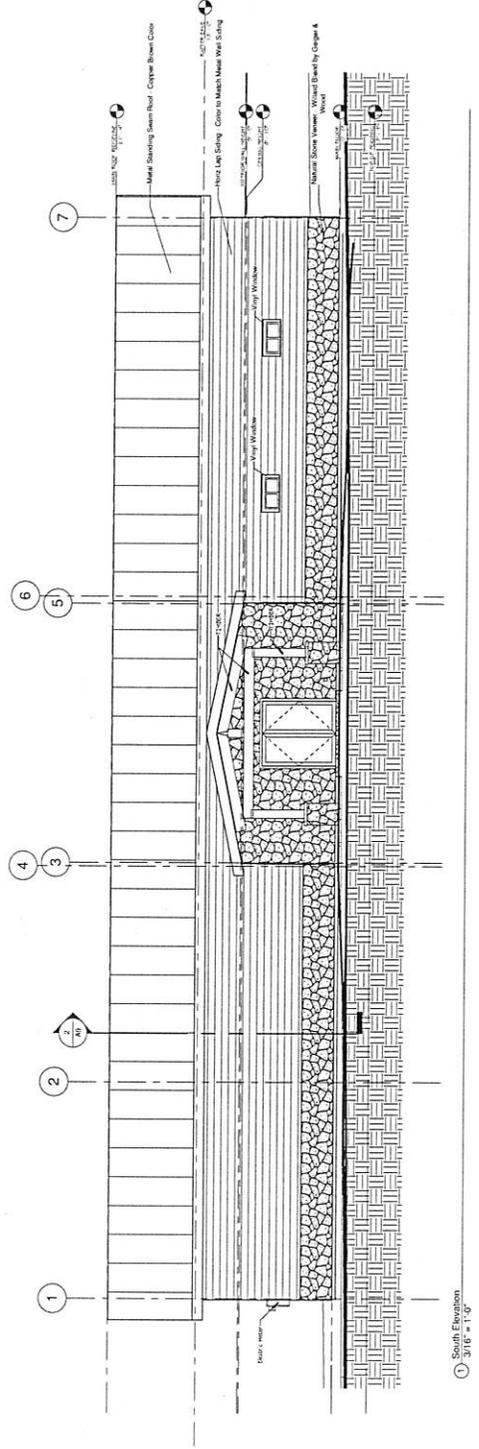


1000 West 1000 North, Suite 200 • Provo, UT 84601
 801.733.1000 • www.lameso.com

Elevations	
Huntsville, UT	
The Ogden Valley Community Church	
Project Number	2014.006
Date	03/12/2015
Drawn By	Nail Lundin
Checked By	CHRISTOPHER
A6	
Scale	3/16" = 1'-0"



② West Elevation
 3/16" = 1'-0"



① South Elevation
 3/16" = 1'-0"

Ogden Valley Community Church Landscape Plan

Evergreen Tree



Maple Trees, minimum 2" trunk

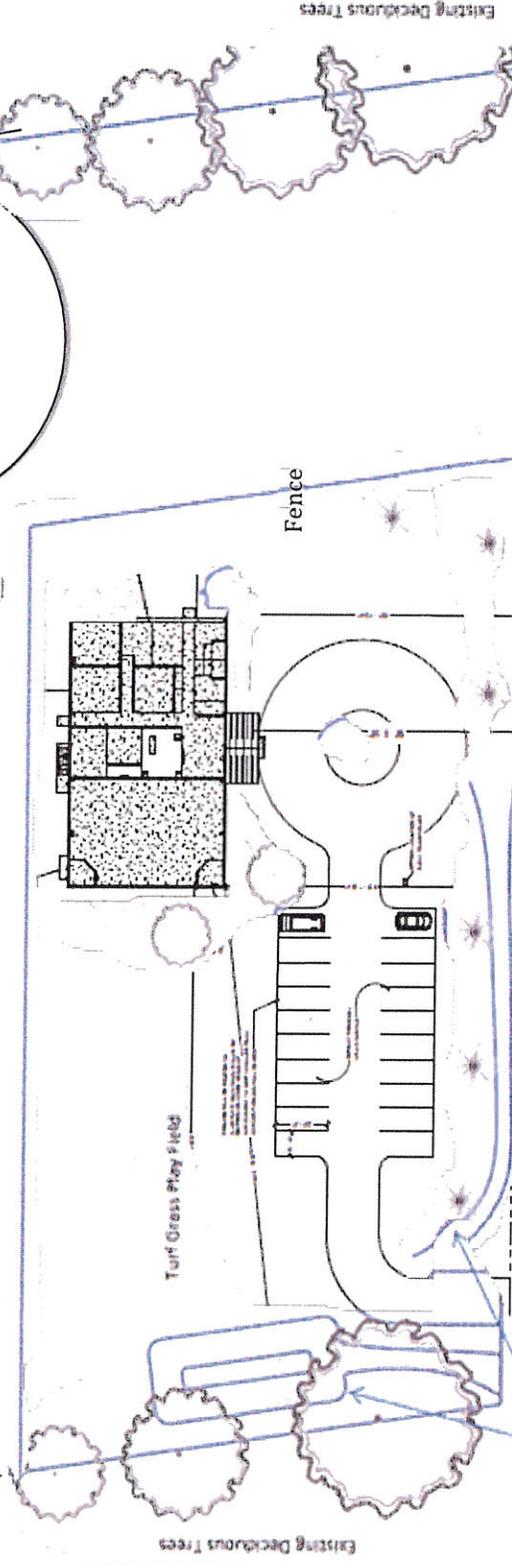
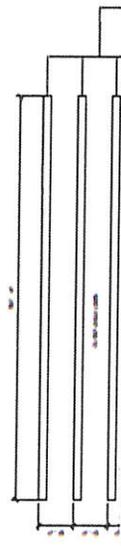
Shrub, 5 gallon size

4" = 10'

- Evergreen Trees: Picea Pungens Bacheri (29 ft separation)
- Deciduous Trees: Acer Platanoides
- Shrubs: Spiraea Japonica Magic Carpet, Golden Elf Monhub and Potentilla Fruticosa Abbotswood

Areas north and east of building to be fenced and used as horse pasture

Well Protection Zone



- All areas where shrubbery is shown will have much ground cover and decorative river rock borders when not otherwise separated by a walkway or driveway.
- Walkways will be poured concrete or concrete pavers.
- Irrigation for shrubs and trees will be via above-ground drip lines connected to secondary water pump.
- Irrigation for turf grass will be via impact-rotary sprinklers fed by above-ground hoses connected to secondary water pump.
- Area between the road and the parking lot/driveway to be seeded with natural grass.

Retention basin and grass swales as required by Drainage Plan

0-1/2" = 3'

Total Lot Area (approx. excluding road)	138384	sq ft
Non-developed area (horse pasture)	70379	sq ft
Developed area	68117	sq ft
Pavement Area	11219	sq ft
Building Area	6250	sq ft
Landscape Area	5068	sq ft
Turf Grass Area	25115	sq ft
% Total Lot Landscaped	36.6	%
% Developed Area Landscaped	74.4	%
% Landscaped Area Turf Grass	49.0	%



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a conditional use permit to install an 82 foot monopine cell tower at Snow Basin above Becker Lift and a new 12 foot by 26 foot pre-fabricated equipment shelter.

Agenda Date: Tuesday, March 24, 2015

Applicant: Pete Simmons, agent for Verizon

File Number: CUP 2015-06

Property Information

Approximate Address: 3925 Snowbasin Road, Huntsville, UT

Project Area: 1000+ Acres

Zoning: Destination and Recreational Resort - 1 Zone (DRR-1)

Existing Land Use: Ski Resort and existing Public Utility Substation

Proposed Land Use: A new 82 foot monopine cell tower, with a new 12 foot by 26 foot pre-fabricated equipment shelter.

Parcel ID: 23-004-0003

Township, Range, Section: T5N, R1E, Section 5

Adjacent Land Use

North:	Forest	South:	Forest
East:	Forest	West:	Forest

Staff Information

Report Presenter: Jim Gentry
jgentry@co.weber.ut.us
801-399-8766

Report Reviewer: SW

Applicable Ordinances

- Weber County Land Use Code Title 104 Chapter 29 (DRR-1 Zone)
- Weber County Land Use Code Title Chapter 4 (Conditional Uses)
- Weber County Land Use Code Title Chapter 2 (Architectural, Landscape, and Screening Standards)
- Weber County Land Use Code Title Chapter 7 (Supplemental Regulations: Sale or Lease of Required Space)
- Weber County Land Use Code Title Chapter 7 (Supplemental Regulations: Towers)
- Weber County Land Use Code Title Chapter 10 (Public Buildings and Public Utility Substations and Structures)

Background

The applicant is requesting approval of a conditional use permit to install an 82 foot monopine cell tower at Snow Basin above Becker Lift and a new 12 foot by 26 foot pre-fabricated equipment shelter. Snowbasin Ski Resort is located at approximately 3925 Snowbasin Road. The DRR-1 Zone allows a "public utility substation" as a conditional use. At Snow Basin's Day Lodge there are currently many antenna panels attached to the side of the lodge and one small pole up the hillside and in the trees.

An 82 foot monopine cell tower has been proposed with the branches not to exceed 87 feet. This monopine will have features added to resemble a pine tree. Atop the tower, the array will have eight foot tall panels at four per sector (total of 12) which will also be covered to resemble a tree. The new cell tower will be co-locatable. The site will also have a 12 foot by 26 foot pre-fabricated equipment shelter with a rock facade.

A fence will surround the 22 foot by 48 foot leased area and the monopole for security. The applicant is still working with Snow Basin on the fencing details, but the propose fence is to be six feet tall with three strands of barbed wire at the top for security purposes.

The new facility is located outside the 75 foot stream corridor setback for Bear Hollow Stream.

Summary of Planning Commission Considerations

- Does the proposed use meet the requirements of applicable County Ordinances?
- Are there any potentially detrimental effects that need to be mitigated by imposing conditions of approval, and if so, what are the appropriate conditions?

In order for a conditional use permit to be approved it must meet the requirements listed under "Criteria for Issuance of Conditional Use Permit." The Planning Commission needs to determine if the proposed transmission site meets these requirements.

22C-4. Criteria for Issuance of Conditional Use Permit

Conditional uses shall be approved on a case-by-case basis. The Planning Commission shall not authorize a Conditional Use Permit unless evidence is presented to establish:

1. Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise.
2. That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.

After reviewing this conditional use request staff has determined that the criteria listed above have been met in the following ways:

1. The cellular site will have minimal negative impacts from noise, dust, vibration, etc. There are no lights associated with this site. To reduce the visual impact the tower is proposed as a monopine which should blend well with other pine trees nearby on the hillside behind the tower.
2. The DRR-1 Zone allows a "public utility substation" as a conditional use and the site meets all architectural style, setback and height regulations. The conditions established by the applicable review agencies must be complied with in order for this conditional use permit to be granted.

Conformance to the General Plan

As a conditional use, this operation is allowed in the DRR-1 Zone. With the establishment of appropriate conditions as determined by the Planning Commission, this operation will not negatively impact any of the goals and policies of the General Plan.

Conditions of Approval

- Requirements of the Weber County Planning Division.
- Requirements of the Weber County Engineering Division.
- Requirements of the Weber County Building Inspection Division.
- Final Fencing details.
- The applicant needs to show that the structure is outside the stream corridor.

Staff Recommendation

Staff recommends approval of this conditional use application subject to the applicant meeting the conditions of approval in this staff report and any other conditions required by the Planning Commission. This recommendation is based on the following findings:

- The proposed use is allowed in the DRR-1 Zone and meets the appropriate site development standards.
- The criteria for issuance of a conditional use permit have been met because mitigation of potential detrimental effects can be accomplished.
- The facility is outside of the stream corridor setback.

Exhibits

- A. Applicant's application B. Site Plan

Weber County Conditional Use Permit Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
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Property Owner Contact Information

Name of Property Owner(s) Snowbasin Resort Company		Mailing Address of Property Owner(s) 3529 East Snowbasin Road Huntsville, UT 84317	
Phone (801) 620-1018	Fax	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address (required) jloomis@snowbasin.com			

Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s) Pete Simmons		Mailing Address of Authorized Person 5710 South Green Street Salt Lake City, UT 84123	
Phone (801) 518-7098	Fax (801) 262-0428	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address pete.simmons@taec.net			

Property Information

Project Name Sal Becker	Total Acreage	Current Zoning DRR-1
Approximate Address No Physical Address (Sec 5, T5N, R1E)	Land Serial Number(s) 23-004-0003	

Proposed Use
Communication Facility

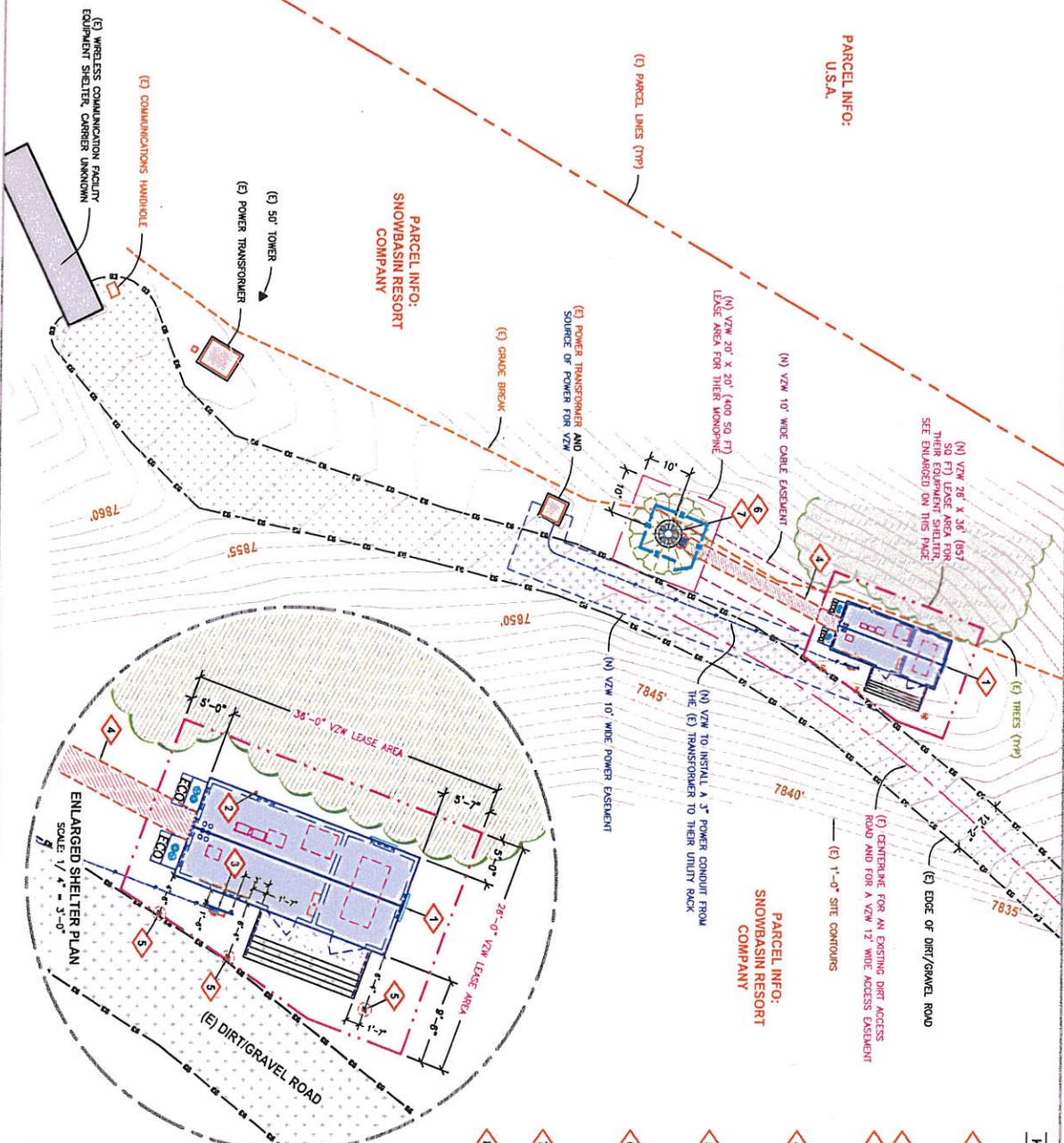
Project Narrative
Verizon Wireless is proposing the installation of a communication facility above the Becker Lift at Snowbasin Resort. The communication facility will consist of a 12' x 26' pre-fab equipment shelter and a 82' monopine. There are two (2) existing wood poles that are being used by other carriers along the ridgeline. Snowbasin Resort has approached VZW to help improve the communication services to the resort. Snowbasin Resort has requested a new stealth monopine be installed just north of the existing communication facility.

Basis for Issuance of Conditional Use Permit

Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise. The proposed stealth communication facility will not have a detrimental effect on the surrounding area. By installing a stealth monopine amongst the existing vegetation and trees will help it to blend into vegetated ridgeline. This is an unmanned facility that will not have any odor, vibration, light, dust, smoke, or noise associated with the facility.

That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use. Currently, Weber County does not have any set standards for telecommunication towers

ENLARGED SITE PLAN



PARCEL INFO:
U.S.A.

PARCEL INFO:
SNOWBASIN RESORT
COMPANY

PARCEL INFO:
SNOWBASIN RESORT
COMPANY

KEYED NOTES

- 1 VZW BREKBERG 11'-6" X 25'-5 1/2" PRE-CAST EQUIPMENT SHELTER WITH (2) HVAC UNITS AND (2) LOW PROFILE VENTILATION HOODS AS PROVIDED BY THE SHELTER MANUFACTURER. THE SHELTER STOPS WILL BE 5'-6" WIDE WITH A 3" LANDING AT THE TOP AND STEEL STEPS (8" DEEP AND 10" TREAD) ALONG WITH A 3'-6" TALL HANDRAIL. SEE SHED DRAWING FOR SHELTER LAYOUT AND S100/S101 FOR FOUNDATION DETAILS.
- 2 VZW TO INSTALL THEIR GPS ANTENNA TO THE WEST WALL OF THE EQUIPMENT SHELTER. SEE CD00/1, CD00/2, AND EX00.
- 3 VZW UTILITY RACK, SEE CD02/1.
- 4 VZW TO INSTALL A 24" WIDE BY 36" DEEP PRECAST TRENCH SYSTEM (TRENCH BR2436-120 IS 36" WIDE BY 48" DEEP AND COMES IN 10' LONG SECTIONS) IN ORDER TO GET THEIR UTILITY RACK AND EQUIPMENT SHELTER TOGETHER. THE CONTRACTOR WILL NEED TO INSTALL (3) 6" SCHEDULE 40 PVC CONDUITS WITH THE TRENCHING SYSTEM CONDUITS ARE TO HAVE A 24" MINIMUM RADIUS. CONDUITS WITH CABLE INSIDE ARE TO BE SLOTTED AFTER CABLE INSTALLATION AT BOTH ENDS, AND EMPTY CONDUITS ARE TO HAVE REMOVABLE CAPS INSTALLED AT BOTH ENDS.
- 5 VZW TO INSTALL (2) 6" X 8" BY 5' TALL CONCRETE FILLED STEEL BEAMWAYS TO PROTECT THE EQUIPMENT SHELTER. TO BE PAINTED SAFETY YELLOW.
- 6 VZW 82' TALL MONOPOLE WITH UNDERGROUND FOUNDATION. SEE TOWER MANUFACTURER SHOP DRAWINGS FOR DESIGN AND SPECIFICATIONS. THE TOWER IS MANUFACTURED WITH A TEXTURED FINISH TO RESIST ALGAE AND THE TOP OF THE TOWER IS TO BE FINISHED WITH A 3" LANDING. VZW MANUFACTURER VZW TO PROVIDE AND EXCEED 8" TO CONSTRUCT A 30" WIDE DOORHOUSE ON THE NORTH SIDE OF THE MONOPOLE TO PROTECT THE CABLE COMING FROM THE PRECAST TRENCH AND TRANSDUCING INTO THE MONOPOLE.
- 7 VZW 8' TALL ANTENNAS (4) PER SECTION (12 TOTAL) AT A 76' CENTERLINE WITH (2) BRHS AND (2) BRACE CAPS. BRHS TO BE MOUNTED TO THE ANTENNA MOUNTS. REFER TO VZW RF CONFIGURATION SHEET.
- 8 VZW TO INSTALL 5' TALL CHIMNEY RISING WITHOUT BARBED WIRE AROUND THE BASE OF THE MONOPOLE. THE FINCHING WILL BE A 10' X 12'-6" AREA AROUND AND THE TOWER WITH A 4" WIDE LANY GATE IN THE EAST FENCELINE.

SCALE: 1/4" = 6'-0"



SHEET TITLE
ENLARGED SITE PLAN

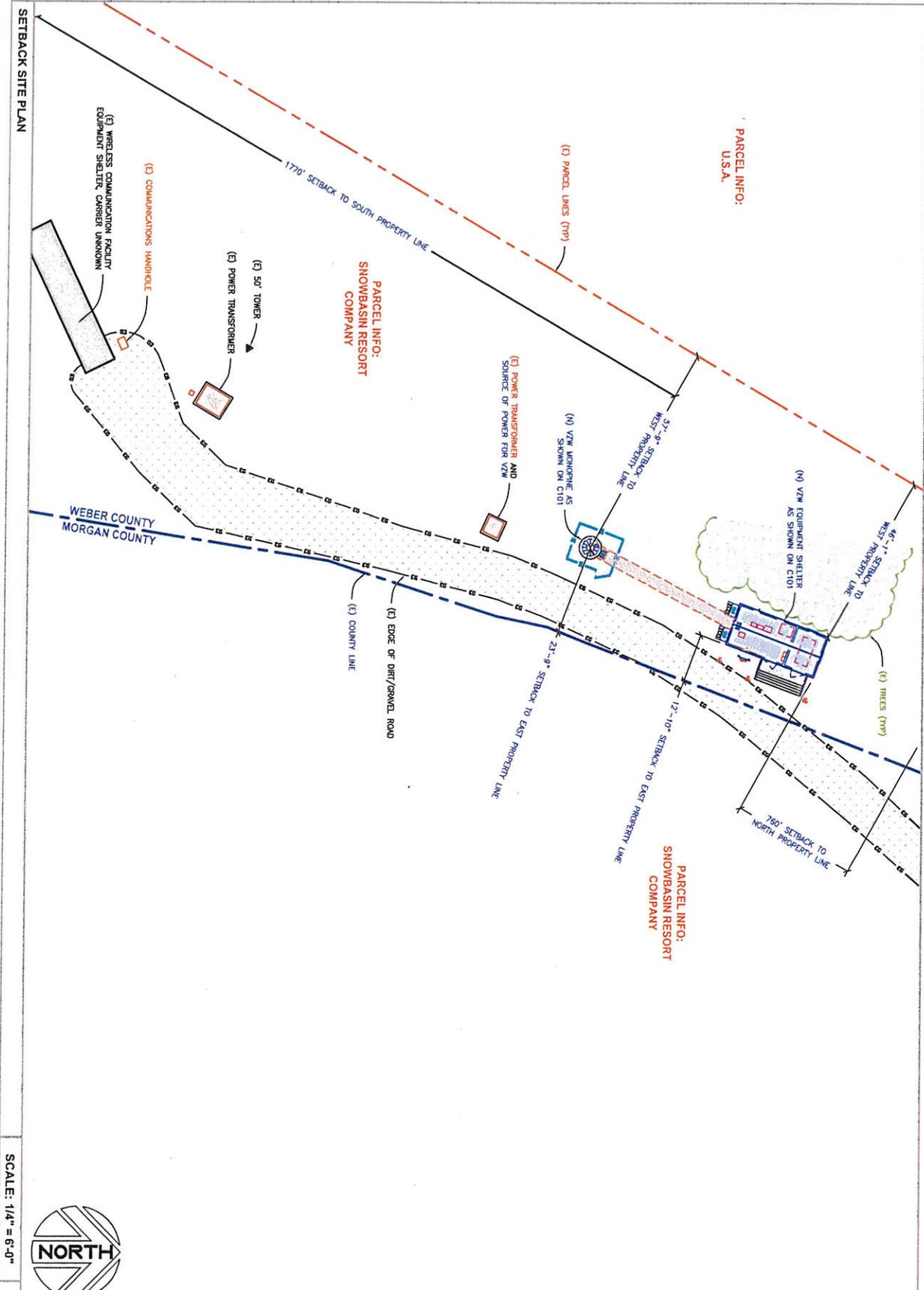
SHEET NUMBER
C101

SAL -- BECKER
SE SEC 3, T3N, R1E
BECKER LIFT @ SNOWBASIN
HUNTSVILLE, UTAH 84317
-- RAYLAND SITE --

NO.	DATE	DESCRIPTION
1	02/27/2013	REVISIONS PER PS
2	02/23/2013	REVISIONS PER PS
3	11/06/2014	JOHN DAVENPORT

DRAWN BY: JAY C
CHECKED BY: PATE S

TAEC
Technology Associates Engineering Corporation Inc.
TECHNOLOGY ASSOCIATES
UTAH MARKET OFFICE
6710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84123
CORPORATE OFFICE
3115 SOUTH MADISON, UMC, SUITE #110
OREM, UTAH 84057



SCALE: 1/4" = 6'-0"



SETBACK

SHEET NUMBER
SETBACK SITE PLAN

SAL - BECKER
SE SEC 5, T5N, R1E
BECKER LIFT @ SNOWBASIN
HUNTSVILLE, UTAH 84317
-- RAWLAND SITE --

REV	DATE	DESCRIPTION
1	02.23.2019	REVISED PER PS
0	11.04.2014	ZONING DRAWINGS

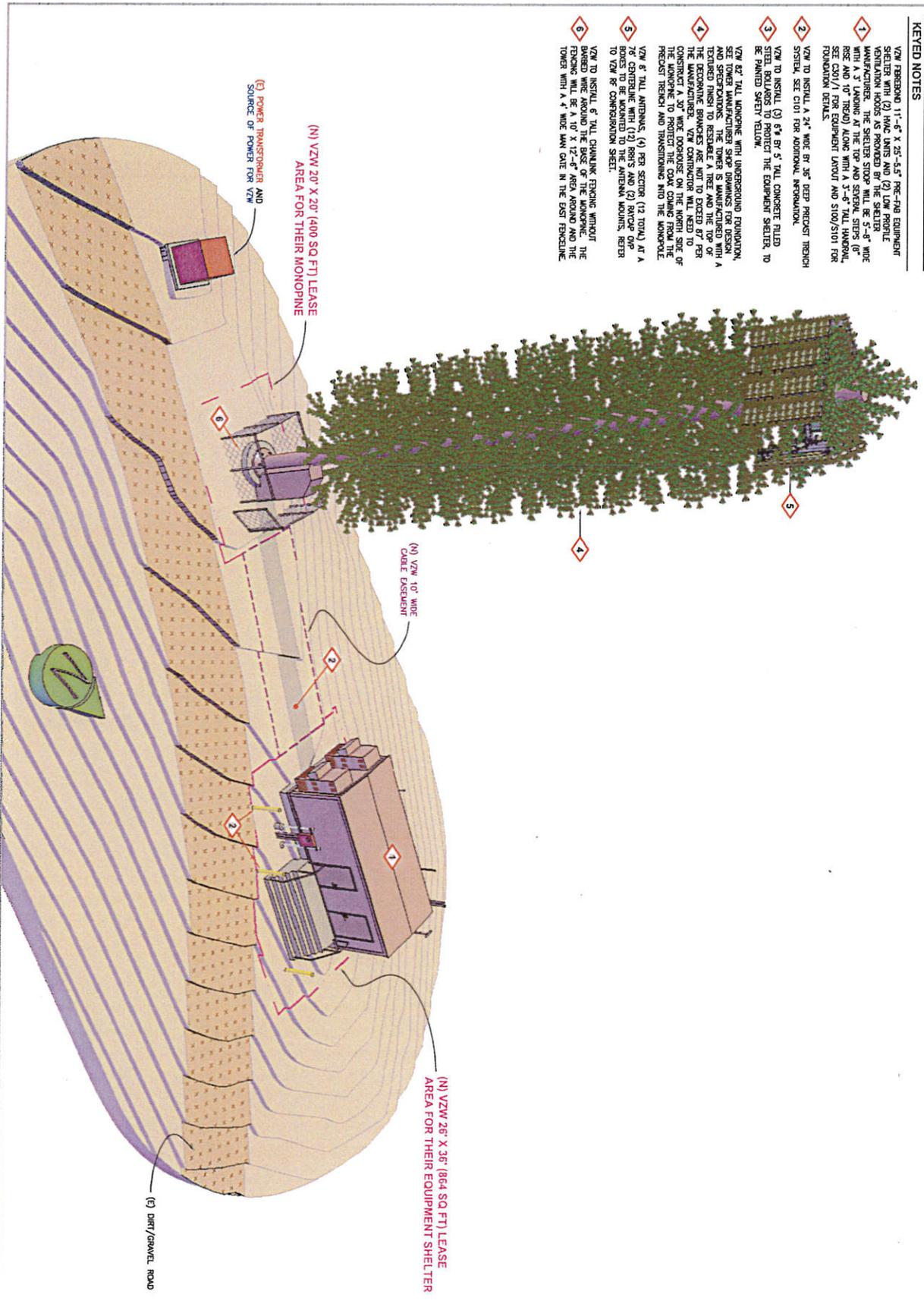
DESIGN BY:	DATE:
JAY C	
CHECKED BY:	DATE:
PETE S	

TAEC
Technology Associates Engineering Corporation Inc.
TECHNOLOGY ASSOCIATES
UTAH MARKET OFFICE
5710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84123
CORPORATE OFFICE:
3115 SOUTH WILSON PARK, SUITE #110
OREM, UTAH 84057

VERIZON WIRELESS
5710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84123

KEYED NOTES

- 1 VZW PERFORM 11'-6" X 25'-6" PRE-CAB EQUIPMENT SHELTER WITH (2) HANG LAMP AND (2) LOW PROFILE VENTILATION HOODS AS PROVIDED BY THE SHELTER MANUFACTURER. THE SHELTER STOOD WILL BE 5'-6" WIDE WITH A 3" LANDING AT THE TOP AND SEVERAL STEPS (8" RISE AND 10" TREAD) ALONG WITH A 3'-6" TALL HANDRAIL. SEE EXC/1 FOR EQUIPMENT LAYOUT AND S100/S101 FOR FINISHING DETAILS.
- 2 VZW TO INSTALL A 24" WIDE BY 36" DEEP PRECAST TRENCH SYSTEM. SEE C101 FOR ADDITIONAL INFORMATION.
- 3 VZW TO INSTALL (3) 6" X 8" BY 5' TALL CONCRETE FLAT SLAB STEEL BEAMS TO PROTECT THE EQUIPMENT SHELTER. TO BE PAINTED SHELVE YELLOW.
- 4 VZW 6" TALL MONOPINE WITH UNDERGROUND FOUNDATION, VZW TO PROVIDE THE FOUNDATION AND SPECIFICATIONS. THE TOWER IS MANUFACTURED WITH A TEXTURED FINISH TO RESOUBLE A TREE AND THE TOP OF THE RECOGNITIVE BRACKETS ARE NOT TO EXCEED 87" PER THE MANUFACTURER. VZW CONTRACTOR WILL NEED TO PROVIDE A 12" WIDE BY 12" DEEP TRENCH TO PROTECT THE CABLE FROM THE PRECAST TRENCH AND TRANSFORMING INTO THE MONOPINE.
- 5 VZW 8' TALL ANTENNAS, (4) PER SECTOR (12 TOTAL) AT A 120' SPACING. THE ANTENNAS AND (2) MONOPINE BOOMS TO BE MOUNTED TO THE ANTENNA MASTING. REFER TO VZW RF CONSTRUCTION SHEET.
- 6 VZW TO INSTALL 6" TALL CHANGING FENCING WITHOUT UNDERGROUND FOUNDATION. THE FENCING SHALL BE 10' X 12'-6" HIGH AROUND THE TOWER WITH A 4" WIDE MHW CAKE IN THE EAST FENCING LINE.



verizon
wireless
VERIZON WIRELESS
1000 SOUTH MOUNTAIN ROAD
WEST JORDAN, UTAH 84086

TABC
Technology Associates Engineering Corporation Inc.
UTAH MARKET OFFICE
3115 SOUTH MOUNTAIN ROAD
SALT LAKE CITY, UTAH 84120
CORPORATE OFFICE
3115 SOUTH MOUNTAIN ROAD, SUITE #110
OAKDALE, CALIFORNIA 92070

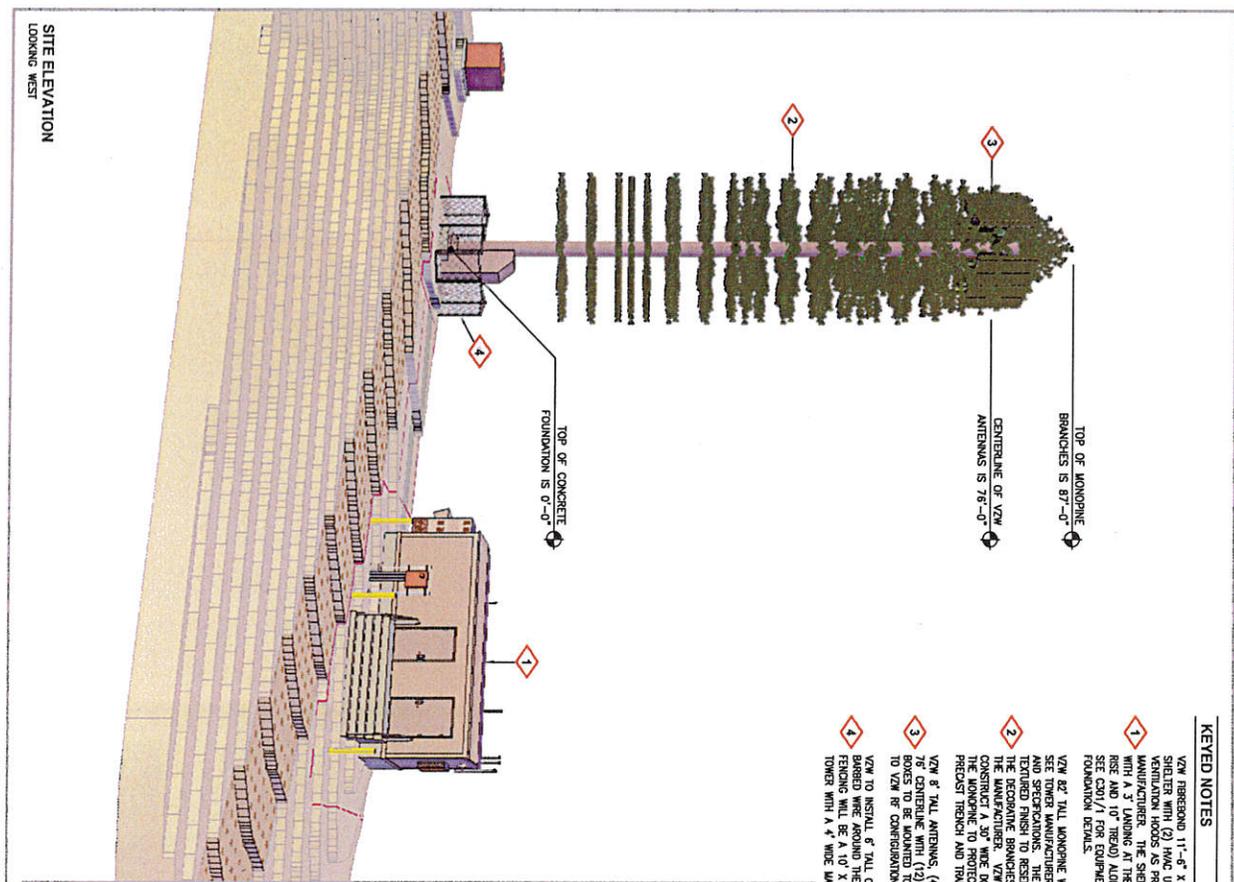
DRAWN BY: JAV C
CHECKED BY: PETE S

REV	DATE	DESCRIPTION
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2	02/23/2015	ISSUANCE PER PER
0	11/04/2014	ISSUANCE PER PER

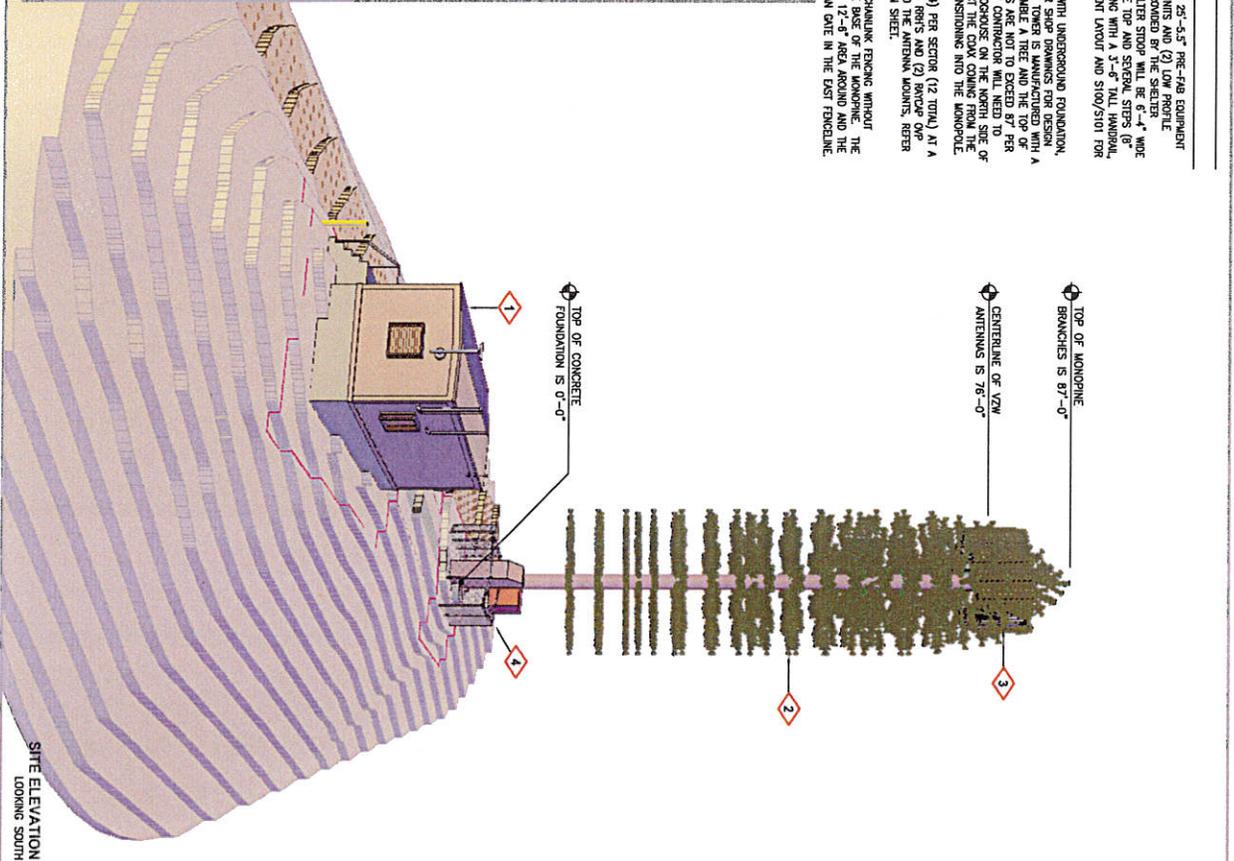
SAL - BECKER
SE SEC 5, T5N, R1E
BECKER LIFT @ SNOWBASIN
HUNTSVILLE, UTAH 84317
--- RAYLAND SITE ---

SHEET TITLE
NORTHWESTERLY
SITE ELEVATION

SHEET NUMBER
C200



SITE ELEVATION
LOOKING WEST



SITE ELEVATION
LOOKING SOUTH

KEYED NOTES

- 1 VZW FIREBOARD 11'-6" X 25'-5.5" PRE-748 EQUIPMENT SHELTER WITH (2) HVAC UNITS AND (2) LOW PROFILE VENTILATION HOODS AS PROVIDED BY THE SHELTER MANUFACTURER. THE SHELTER STOPS WILL BE 6'-4" WIDE WITH 2" RADIUS CORNERS. STOPS SHALL BE 2" HIGH AND 1/2" THICK. USE 2" X 4" LUMBER. SEE C201/1 FOR EQUIPMENT LAYOUT AND SUD/SUD1 FOR FOUNDATION DETAILS.
- 2 VZW 8' TALL MONOPILE WITH UNDERGROUND FOUNDATION. SEE THE VZW CONSTRUCTION SHEET FOR SPECIFICATIONS AND SPECIFICATIONS. THE TOWER IS MANUFACTURED WITH A TEXTURED FINISH TO RESEMBLE A TREE AND THE TOP OF THE MANUFACTURED VZW CONNECTION WILL NEED TO BE FINISHED TO MATCH THE MANUFACTURED VZW CONNECTION. PRECAST TRENCH AND TRANSDUCING INTO THE MONOPILE.
- 3 VZW 8' TALL ANTENNAS (4) PER SECTOR (12 TOTAL) AT A HEIGHT OF 12'-0" FROM THE TOP OF THE MONOPILE. THE ANTENNAS WILL BE 12'-0" HIGH FROM THE TOP OF THE MONOPILE. THE ANTENNAS WILL BE 12'-0" HIGH FROM THE TOP OF THE MONOPILE. THE ANTENNAS WILL BE 12'-0" HIGH FROM THE TOP OF THE MONOPILE.
- 4 VZW TO INSTALL 6" TALL CHAINLINK FENCING WITHOUT SLOTTED END CAPS. THE FENCING WILL BE 12'-0" HIGH FROM THE TOP OF THE MONOPILE. THE FENCING WILL BE 12'-0" HIGH FROM THE TOP OF THE MONOPILE. THE FENCING WILL BE 12'-0" HIGH FROM THE TOP OF THE MONOPILE.

TOP OF MONOPILE
BRANCHES IS 87'-0"

CENTERLINE OF VZW
ANTENNAS IS 76'-0"

TOP OF CONCRETE
FOUNDATION IS 0'-0"

VERIZON WIRELESS
3000 SPECTRUM ROAD
WEST JORDAN, UTAH 84086

TAEC
Technology Associates Engineering Corporation Inc.
TECHNOLOGY ASSOCIATES
UTAH MARKET OFFICE
5710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84123
CORPORATE OFFICE
3115 SOUTH WILSON DRIVE, SUITE #110
OREM, UTAH 84057

NO.	DATE	DESCRIPTION
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2	02/23/2015	REVISIONS PER PS
0	11/06/2014	ZONING DRAWINGS

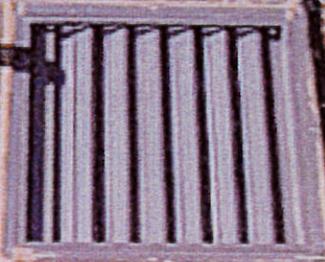
DRAWN BY: JAY C
CHECKED BY: PETER S

SAL - BECKER
SE SFC 5, TBN, R1E
BECKER LIFT @ SNOWBASIN
HUNTSVILLE, UTAH 84317
-- RAWLAND SITE --

SHEET TITLE
SOUTH AND WEST
SITE ELEVATIONS

SHEET NUMBER
C201

Holiday





Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request for design review approval of a shed and pergola for Maverik Country Stores in Eden.

Agenda Date: Tuesday, March 24, 2015

Applicant: Brad Morgan, agent On-Site Development; Neil Mantela, Maverik Country Stores

File Number: DR 2014-08

Property Information

Approximate Address: 2500 North Hwy 162, Eden

Project Area: 1.33 acres

Zoning: Commercial Valley CV-2

Existing Land Use: Gas Station

Proposed Land Use: Gas Station

Parcel ID: 22-046-0083

Township, Range, Section: T7N, R1E, Sec 34

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766

Report Reviewer: JG

Applicable Ordinances

- Weber County Land Use Code Title 104 (Zones) Chapter 21 Commercial Valley (CV-2)
- Weber County Land Use Code Title 108 (Standards) Chapter 1 Design Review
- Weber County Land Use Code Title 108 (Standards) Chapter 2 Ogden Valley Architectural, Landscaping and Screening Design Standards
- Weber County Land Use Code Title 108 (Standards) Chapter 8 Parking and Loading Space, Vehicle Traffic and Access Regulations
- Weber County Land Use Code Title 108 (Standards) Chapter 9 Motor Vehicle Access
- Weber County Land Use Code Title 108 (Standards) Chapter 16 Ogden Valley Lighting
- Weber County Land Use Code Title 108 (Standards) Chapter 12 Non Complying Structures
- Weber County Land Use Code Title 110 (Signs) Chapter 2 Ogden Valley Signs

Type of Decision

Administrative Decisions: When the Planning Commission is acting as a land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are design reviews, flag lots, and subdivisions. Administrative applications must be approved by the Planning Commission if the application demonstrates compliance with the approval criteria.

Background

The applicant is requesting approval of upgrades to an existing gas station (Maverik Country Stores). The request is for a replacement of an outdoor storage shed, and a new pergola over a resting area with a picnic table.

The 14 foot by 14 foot Tuff Shed and pergola will match the recently repainted store with cream, tan, and brown colors, and will be made of metal and plastic materials which simulate wood. The shed will be located to the south side of the store on an existing concrete pad. The pergola and picnic area is on the north side of the store in a landscaped area. Parking spaces are adjacent; however parking guards are in place for protection.

The 1.33 acre property at 2500 North Hwy 162 in Eden is in the Commercial Valley (CV-2) Zone. Two separate parcels had existed on this site, with the store on one parcel and most of the tanks and pump canopy on the other. One requirement for approval was to combine these two parcels. A Special Warranty Deed (E#2717792) recorded January 14, 2015 combined the two properties.

As this is an existing site with significant infrastructure such as gas tanks, pumps, canopy, convenience store, signs, and accesses already in place, those items were not reviewed as part of this request.

Summary of Planning Commission Considerations

- Are the project layout and setbacks consistent with applicable requirements of the Weber County Land Use Code?
- Would this project impair the orderly and harmonious development of the neighborhood or impair investment in and occupation of the commercial node?

Conformance to the General Plan

This site plan conforms to the General Plan by meeting the outlined permitted land uses of the zone in which it is located, and all of the applicable requirements of the Weber County Land Use Code.

Conditions of Approval

- Requirements of the Weber County Engineering Division
- Requirements of the Weber Fire District
- Requirements of the Weber County Building Inspection Division

Staff Recommendation

Staff recommends approval of the site plan upgrades for Maverik Country Stores at 2500 North Hwy 162 subject to staff and other review agency requirements. This recommendation is based on the project complying with applicable County Codes. The Planning Commission may base the approval on the following findings:

- The proposed use is allowed in the CV-2 Zone
- All development standards for the requested shed and pergola have been met.

Exhibits

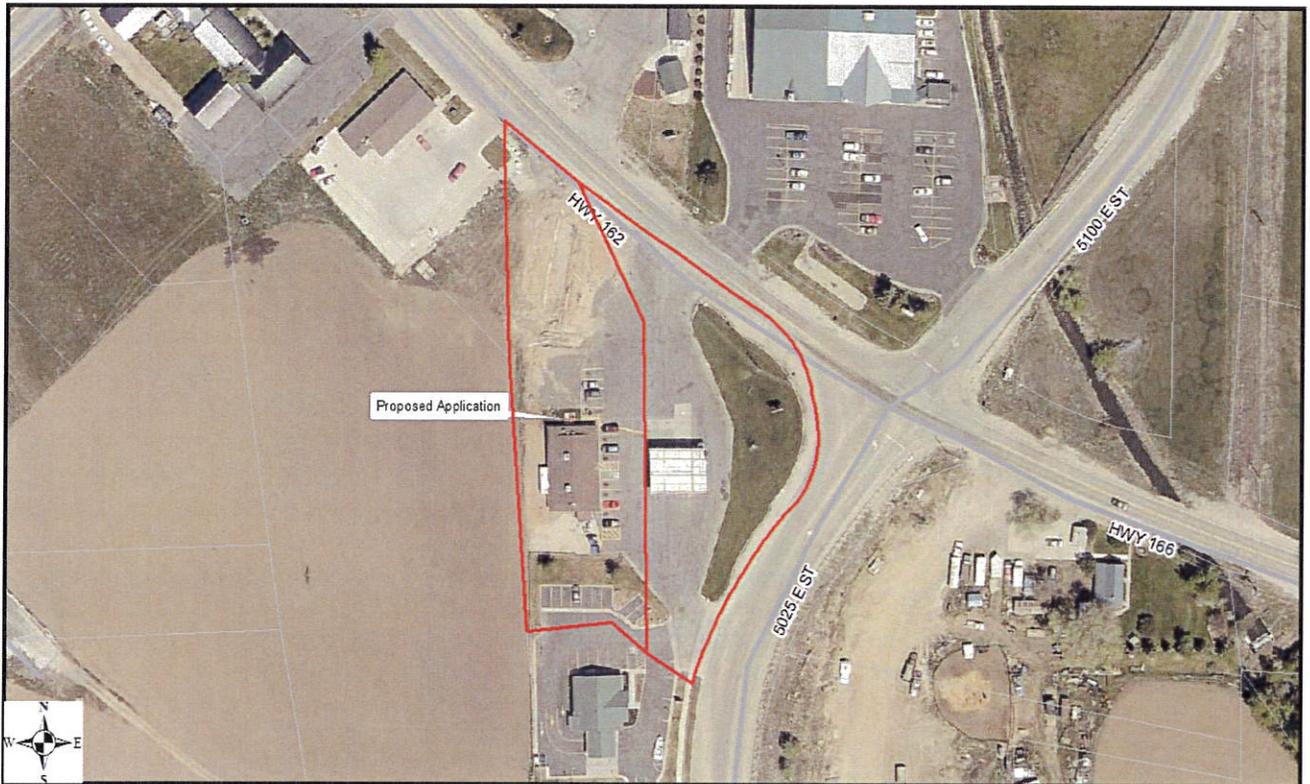
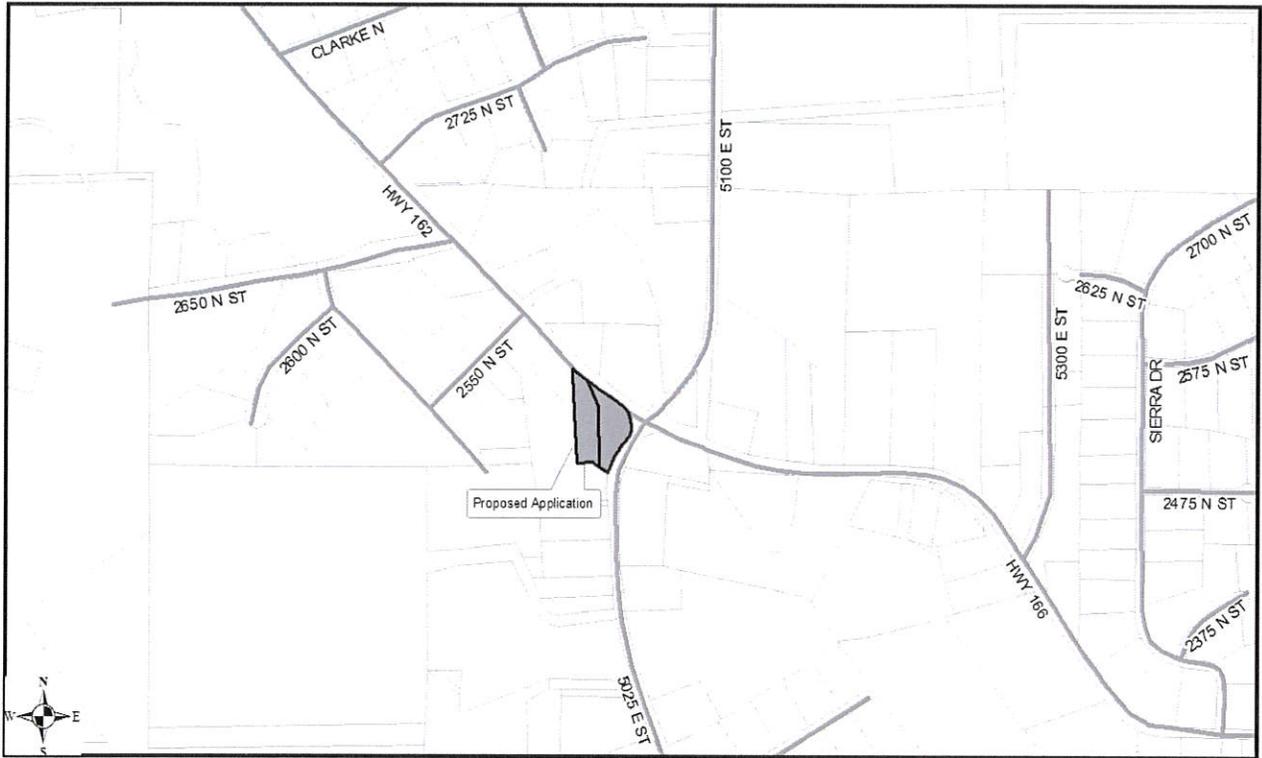
- A. Site Plans
- B. Building Plans

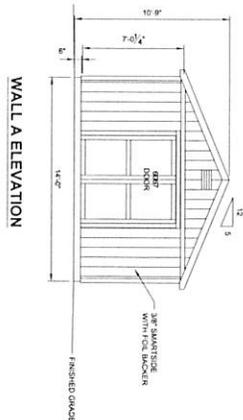
Map 1

Adjacent Land Use

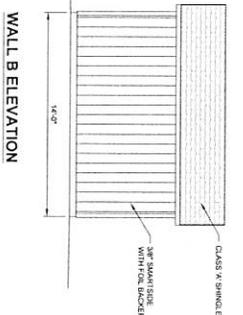
North: Commercial
East: Agricultural

South: Commercial
West: Agricultural

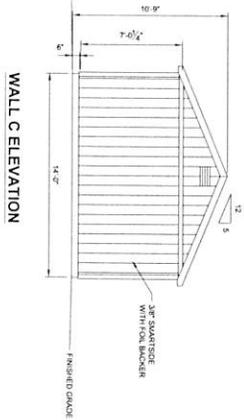




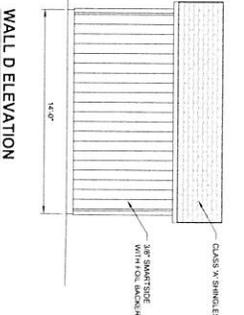
WALL A ELEVATION



WALL B ELEVATION



WALL C ELEVATION



WALL D ELEVATION

- 1. DESIGN REQUIREMENTS
- 2. OCCUPANCY REQUIREMENTS - GROUP U
- 3. PRECEDENCE OVER THE V.O.
- 4. BUILDING CODE
- 5. WIDTH - 14'-0"
- 6. SIDE WALL HEIGHT - 7'-6" H¹
- 7. BUILDING LOADS
- 8. ROOF LIVE LOAD - 20 PSF
- 9. ROOF DEAD LOAD - 10 PSF
- 10. 3 SECOND GUST V₁₀ - 110 MPH
- 11. WIND EXPOSURE - B
- 12. WIND PROTECTION - CATEGORY D1
- 13. E. SITE CLASS - D
- 14. F. ROOF PITCH - 5/12
- 15. ROOFING SCHEDULE
- 16. BACKING - STAGGER JOIST PER PERMANENT CONDITION 1
- 17. SHEATHING MATERIAL SHALL BE PER BUILDING SCHEDULE
- 18. C. LIFT FRAME DIMENSIONAL SHIMMERS CLASS A (UNFOI)
- 19. D. TYPE D VERTICAL JOIST JOIST FLASHING REQUIRED AT ALL SIDES
- 20. F. SHEATHING SHALL BE PER BUILDING SCHEDULE
- 21. H. SILE SEPARATE THRESH SHIELDS FOR THRESH FRAMING AND MATERIALS
- 22. I. THESE CONNECTIONS SHALL BE MADE PER PLANETS
- 23. J. ADAPTIVE RESPONSIBLE FOR ALL PLANT INSPECTIONS
- 24. K. THESE MANUFACTURER - UPR SHED, INC.
- 25. WOOD FRAMING
- 26. THE FOLLOWING DESIGN VALUES: F_v = 675 PSF, F_t = 400 PSF, F_v = 75 PSF
- 27. B. STUDS SHALL BE SPACED @ 16" OC
- 28. C. FASTENING METHOD SHALL BE PER BUILDING SCHEDULE
- 29. D. FINISH ELEVATION WALL SHEATHING TO FINISHING PER PLANETS
- 30. E. FINISH SHALL BE PER BUILDING SCHEDULE
- 31. F. SHEATHING MATERIAL SHALL BE AS SPECIFIED IN SHEAR WALL SCHEDULE
- 32. SOIL
- 33. A. MAX. REQUIRED SOIL TYPE SHALL BE CLEAN SAND OR SILTY CLAY OR BEARING CAPACITY SHALL BE 1500 PSF AT 12" DEEP. VALUES
- 34. B. IN THE EVENT OF THE DISCOVERY OF EXPANSIVE SOILS, FOUNDATION
- 35. C. WALL EXTENSION SHALL BE PER BUILDING SCHEDULE
- 36. D. IN THE EVENT OF FOUNDATION UNDESIRABLE NATURAL SOIL, THE
- 37. E. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 38. F. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 39. G. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 40. H. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 41. I. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 42. J. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 43. K. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 44. L. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 45. M. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 46. N. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 47. O. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 48. P. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 49. Q. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 50. R. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 51. S. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 52. T. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 53. U. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 54. V. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 55. W. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 56. X. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 57. Y. FOUNDATION SHALL BE PER BUILDING SCHEDULE
- 58. Z. FOUNDATION SHALL BE PER BUILDING SCHEDULE

STRUCTURAL DRAWINGS BY:
TUFF SHED
IN HOUSE DRAFTING
DEPARTMENT
1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-TUFF

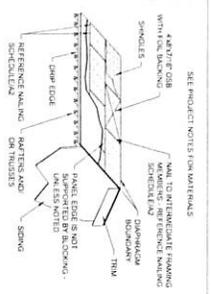
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Customer: BRAD MORGAN
ONSITE DEVELOPMENT
Description: ACCESSORY BUILDING
14' X 14' = 196 SQ. FT.
Site Address: 5100 EAST 2500 NORTH
EDEN, UT 84310

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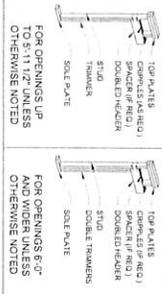
TUFF SHED
Storage Buildings & Garages
TUFF SHED, INC.
8001 SOUTH 100 WEST
SALT LAKE CITY, UT 84117
801-224-8800
CONTRACTOR LICENSE #2017973601
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Drawn by: PK
Date: 5/21/15
Checked by:
Date:
Revised:
Title:
PROJECT NOTES
ELEVATIONS
Scale: 1/4" = 1'-0"
Sheet: 1 of 3

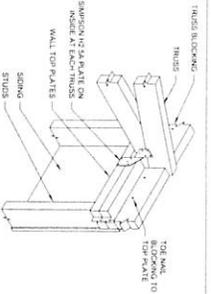
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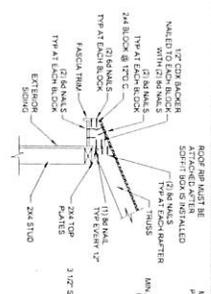
7) ROOFING SHEATHING MAILING DETAIL



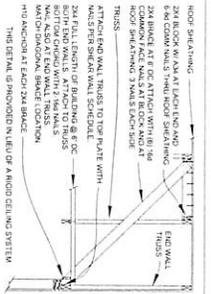
4) HEADER DETAIL



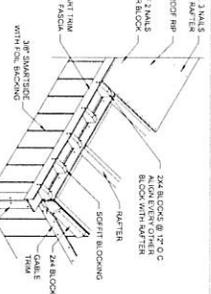
7) H2.5A RANCH TRUSS ATTACHMENT DETAIL WITH BOTTOM CHORD



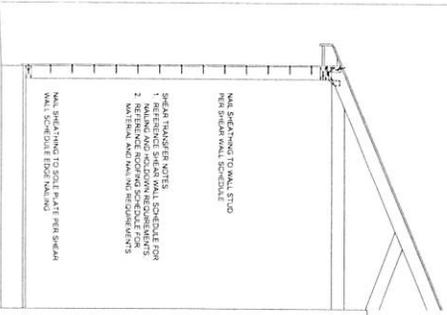
5) PREMIER PRO RANCH SHED OVERHANG DETAIL



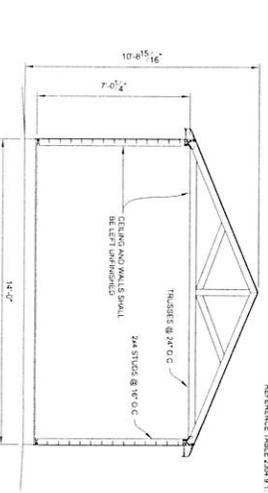
8) END WALL BRACE and TRUSS BOTTOM CHORD BRACE



9) END WALL ASSEMBLY DETAIL



1) SHEAR TRANSFER DETAIL



2) BUILDING SECTION

ATTACH TOP END OF TRUSS WITH PINS
ACCORDING TO TRUSS REFERENCED SCHEDULE



3) STEEL BASE ASSEMBLY

1. STEEL SHEET FOUNDATION.
2. 7" x 4" x 1/4" GALV. STEEL THICKNESS 2x4 ZINC COATED SHEET PILING OR ALUMINUM STUDS 1/2" THICK.
3. 2x4 STUDS ON TOP OF 2x4 BLOCKING AND BRIDGE FLOOR BEAMING.
4. 2x4 STUDS ON TOP OF 2x4 BLOCKING AND BRIDGE FLOOR BEAMING.
5. 2x4 STUDS ON TOP OF 2x4 BLOCKING AND BRIDGE FLOOR BEAMING.
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7. 2x4 STUDS ON TOP OF 2x4 BLOCKING AND BRIDGE FLOOR BEAMING.
8. 2x4 STUDS ON TOP OF 2x4 BLOCKING AND BRIDGE FLOOR BEAMING.

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 TITLE: _____

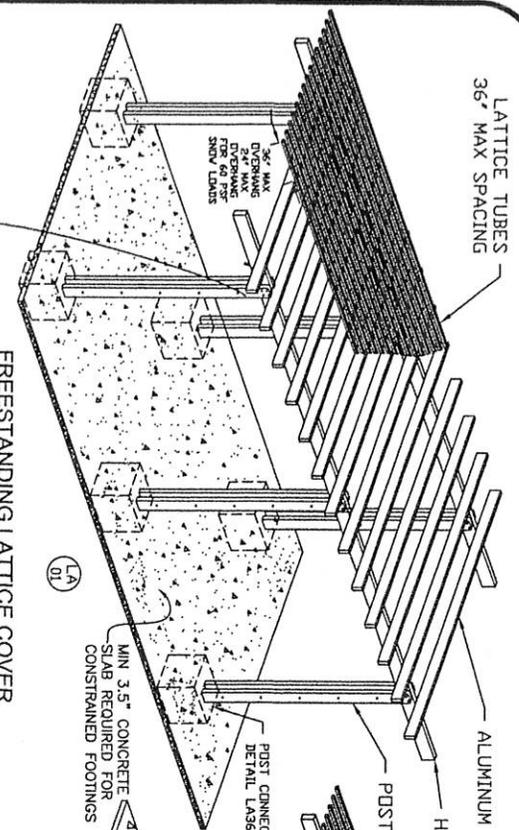
TUFF SHED
 Storage Buildings & Garages
 TUFF SHED, INC.
 5100 EAST 2500 NORTH
 EDEN, UT 84310
 (801) 224-3400
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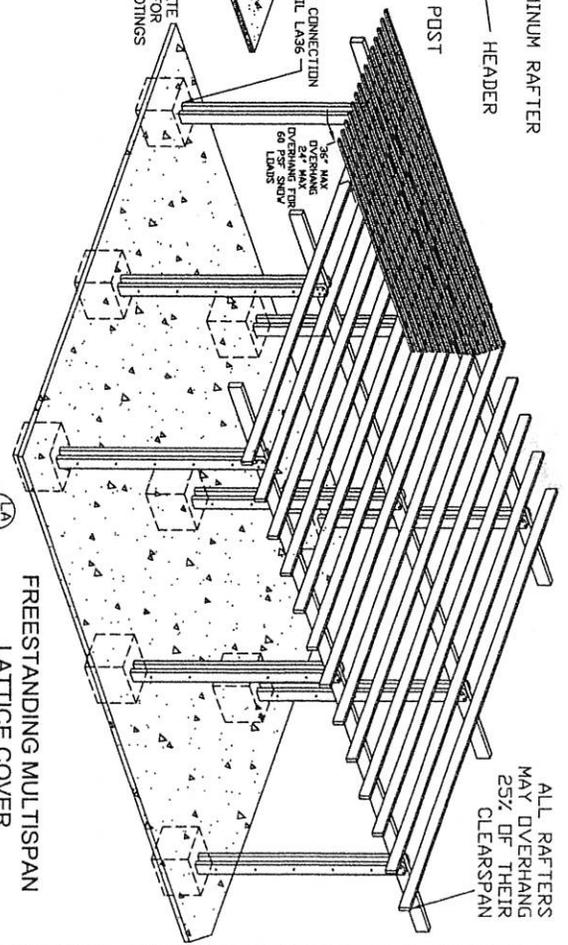
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STRUCTURAL DRAWINGS BY:
 TUFF SHED
 IN HOUSE DRAFTING
 DEPARTMENT
 1777 S. HARRISON STREET
 DENVER, CO, COLORADO 80210
 (303) 753-7100

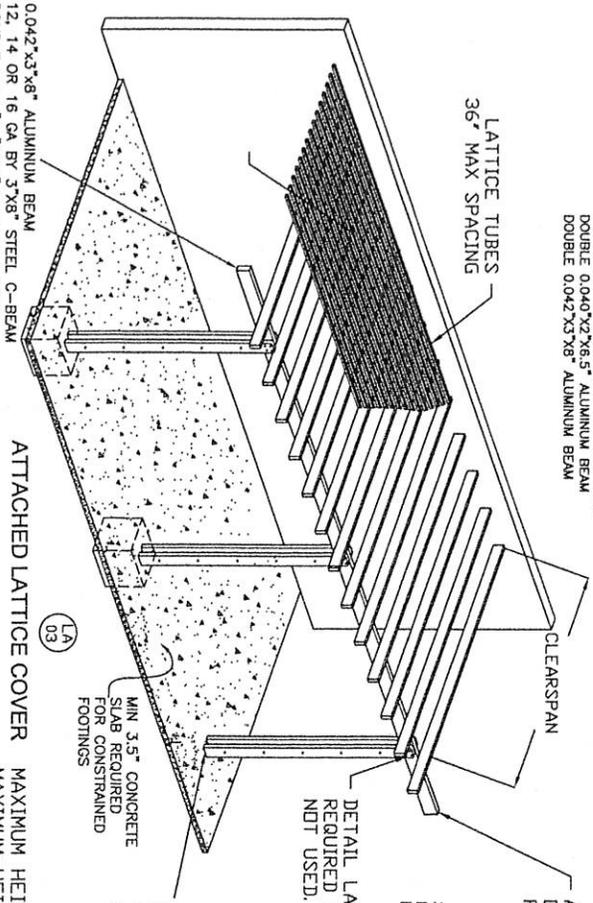
PRELIMINARY



LA 01
FREESTANDING LATTICE COVER



LA 02
FREESTANDING MULTISPAN LATTICE COVER



LA 03
ATTACHED LATTICE COVER

0.042"x3"x8" ALUMINUM BEAM
12, 14 OR 16 GA. BY 3"x8" STEEL C-BEAM
DOUBLE 0.040"x2"x6.5" ALUMINUM BEAM
DOUBLE 0.042"x3"x8" ALUMINUM BEAM

MAXIMUM HEIGHT FOR PATIO COVERS IS 12',
MAXIMUM HEIGHT FOR COMMERCIAL COVERS
AND CARPORTS IS 15',

ICC ESR-1963 (2012 IBC) 2/24/2014

Page 3 of 106

ALL HEADERS MAY OVERHANG 25% OF POST SPACING
SINGLE SPAN ATTACHED PATIO COVER DOES NOT REQUIRE FOOTINGS
DETAIL LA24, LA25 OR LA26 REQUIRED IF DETAIL LA36 IS NOT USED.

ALL LATTICE STRUCTURES W/ SURFACE MOUNTED POSTS MUST CHECK TABLES L1 AND L2 ON SHEET M5

MIN 3.5" CONCRETE SLAB REQUIRED FOR CONSTRAINED FOOTINGS

LA 02
COMPONENT DETAILS

- LATTICE: LA21
- RAFTERS: LA04, LA05, LA21(X3 ONLY)
- HEADERS: LA04, LA05, LA06, LA25, LA26
- POSTS: LA15, LA17, LA19, LA20, LA22
- CONNECTION DETAILS: LATTICE/RAFTER LA27
- RAFTER/HEADER LA27, LA38, LA39
- HEADER/POST LA24, LA25, LA26, LA28
- POST/SLAB LA35
- POST/FOOTING LA34, LA36
- RAFTER/WALL LA30, LA31, LA32, LA33
- HEADER/WALL LA40
- NONSTRUCTURAL LA37, LA41

Revisions



METALS BUILDING PRODUCTS
5005 VETERANS MEMORIAL HWY
HOLBROOK, NY 11741
(631) 563-4000



FEB 24 2014

Carl Putnam, P. E.
3441 IVYLINK PLACE
LYNCHBURG, VA 24503
CARL.PUTNAM@CDCASTMET

Drawn By	CHP
Checked By	CHP
Date	
Filename	LA10.DWG
Scale	Page #



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request for design review approval of a barn and storage building that is more than twice the size of the home.

Agenda Date: Tuesday, March 24, 2015

Applicant: Shannon Sandberg

File Number: DR 2015-01

Property Information

Approximate Address: 3047 E 5750 North, Liberty

Project Area: 3.01 acres

Zoning: Agricultural Valley AV-3

Existing Land Use: Residential

Proposed Land Use: Residential

Parcel ID: 22-181-0001

Township, Range, Section: T7N, R1E, Sec 07

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766

Report Reviewer: JG

Applicable Ordinances

- Weber County Land Use Code Title 104 (Zones) Chapter 6 Agricultural Valley (AV-3)
- Weber County Land Use Code Title 108 (Standards) Chapter 7 Supplementary and Qualifying Regulations
- Weber County Land Use Code Title 108 (Standards) Chapter 1 Design Review

Type of Decision

Administrative Decisions: When the Planning Commission is acting as a land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are design reviews, flag lots, and subdivisions. Administrative applications must be approved by the Planning Commission if the application demonstrates compliance with the approval criteria.

Background

The applicant is requesting approval of a barn and storage building that is approximately 8,000 square feet at 3047 E 5750 North in Liberty. The property is Lot 1 of Rainbow View Triacres Subdivision with an area of 3.01 acres and is in the Agricultural Valley (AV-3) Zone. Lot 1 is a corner lot on 5750 North and 3100 East (Hwy 162). The home's main access is from the highway while the proposed access for the building is from 5750 North.

"The purpose and intent of design review by the planning commission is to secure the general purposes of this chapter and the master plan and to ensure that the general design, layout and appearance of buildings and structures and the development of property shall in no case be such as would impair the orderly and harmonious development of the neighborhood or impair investment in and occupation of the neighborhood".

There is a single family dwelling with a 3,090 square foot footprint on the property as well as some other smaller sheds and garages. The proposed building is an 8,000 square foot (80 foot by 100 foot) metal building from Roper Buildings. The building will be used for personal storage as well as for four horse stalls and the storage of agricultural vehicles and equipment. The rectangular building will be 25 feet from rear lot line, 40 feet from the side lot line facing 5750 North, and 160 feet from the home and the adjacent home. The four horse stall areas in the building are on the far south side and will be more than 100 feet from the lot line on 5750 North. The height of the building is to be 24.5 feet tall. As there is a slight grade to the lot the owner has equally leveled the area for the building with a one foot cut on the north end and one foot of fill on the south end. This meets the requirement of 25 feet for accessory buildings.

Section 108-7-16, Large accessory buildings (1,000 square feet or larger), part (c) states " Accessory buildings that exceed the dwelling in area by more than double as measured by the footprint of the dwelling shall require approval by the planning commission as a design review". The tax records indicate (exhibit D) that the dwelling is only 3,090 square feet in area; therefore Planning Commission approval is required.

Summary of Planning Commission Considerations

- Are the project layout and setbacks consistent with applicable requirements of the Weber County Land Use Code?
- Would this project impair the orderly and harmonious development of the neighborhood or impair investment in and occupation of the neighborhood?

Conformance to the General Plan

This site plan conforms to the General Plan by meeting the outlined permitted land uses of the zone in which it is located, and all of the applicable requirements of the Weber County Land Use Code.

Conditions of Approval

- Requirements of the Weber County Engineering Division
- Requirements of the Weber Fire District
- Requirements of the Weber County Building Inspection Division

Staff Recommendation

Staff recommends approval of the site plan for a large accessory building at 3047 E 5750 North subject to staff and other review agency requirements. This recommendation is based on the project complying with applicable County Ordinances. The Planning Commission may base the approval on the following findings:

- The proposed use is allowed in the AV-3 Zone
- All development standards for large accessory buildings and structure for the keeping of animals have been met.

Exhibits

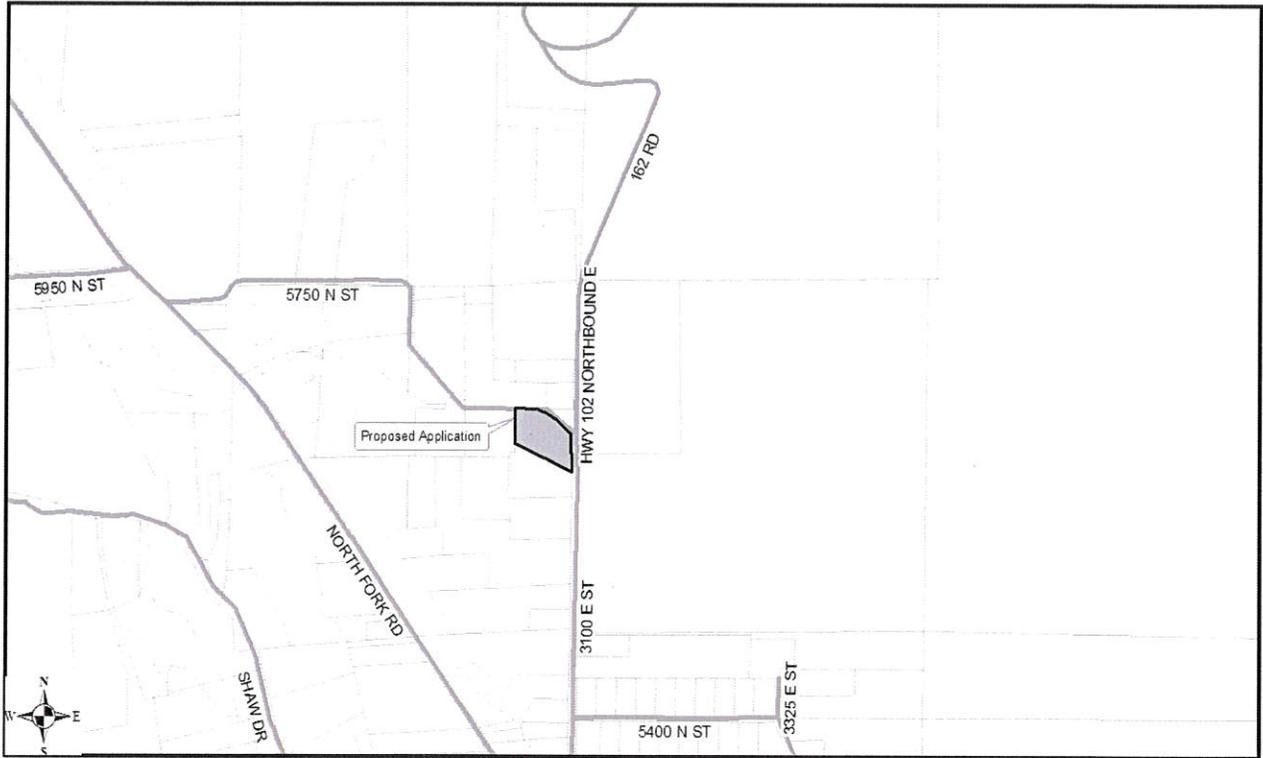
- A. Design Review Application with narrative
- B. Site Plans
- C. Building Plans
- D. Assessors footprint of the home

Map 1

Adjacent Land Use

North: Residential
East: Agricultural

South: Residential
West: Residential



Weber County Design Review Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
----------------------------	-------------------	-----------------------------	--------------------------

Property Owner Contact Information

Name of Property Owner(s) Shannon Sandberg		Mailing Address of Property Owner(s) 3017 EAST 5750 North Liberty, UT 84310	
Phone 801-589-3010	Fax		
Email Address eaiutah@xmission.com		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	

Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s) Dan Scarbrough		Mailing Address of Authorized Person 3196 Midland Dr. Ogden, UT 84401	
Phone 801-540-5586	Fax 801-315-0090		
Email Address dan@roperbuildings.com		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	

Property Information

Project Name Sandberg	Current Zoning
Approximate Address 3017 EAST 5750 North Liberty, UT 84310	Land Serial Number(s)
Proposed Use Storage ^{Some} ag agricultural (horses)	

Project Narrative

Most of the building will be used for equipment/trailer storage. A portion of the building will be used for open horse ~~storage~~ ^{shelter} (part of the lean on the west side of the structure)

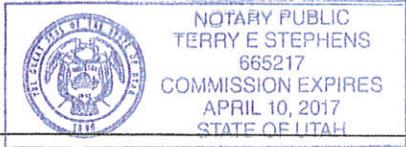
Property Owner Affidavit

I (We), Shannon Sandberg, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

[Signature]
(Property Owner)

(Property Owner)

Subscribed and sworn to me this 12 day of February, 20 15.



[Signature]
(Notary)

Authorized Representative Affidavit

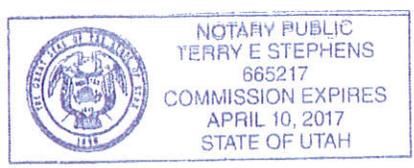
I (We), Shannon Sandberg, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), Dan Scarborough Paper Builders, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

[Signature]
(Property Owner)

(Property Owner)

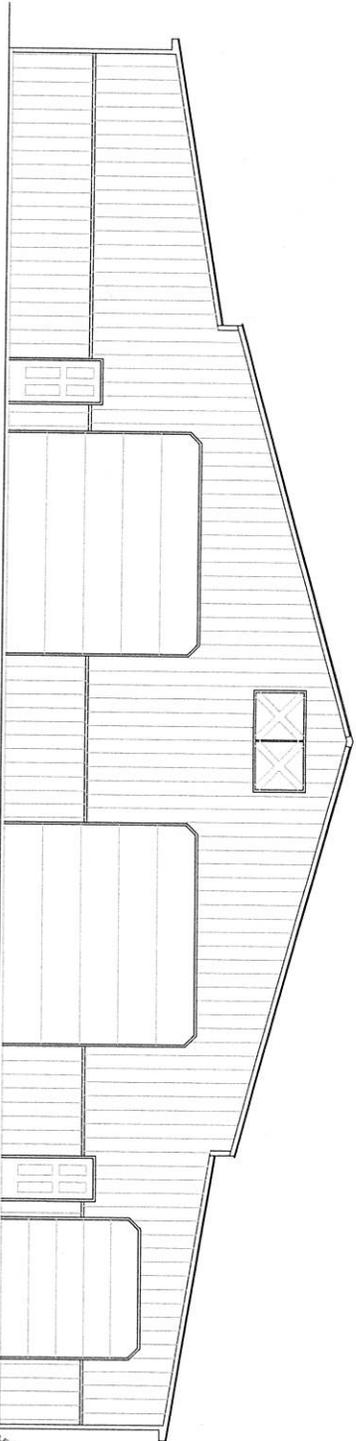
Dated this 12 day of February, 20 15, personally appeared before me Shannon Sandberg, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.

[Signature]
(Notary)



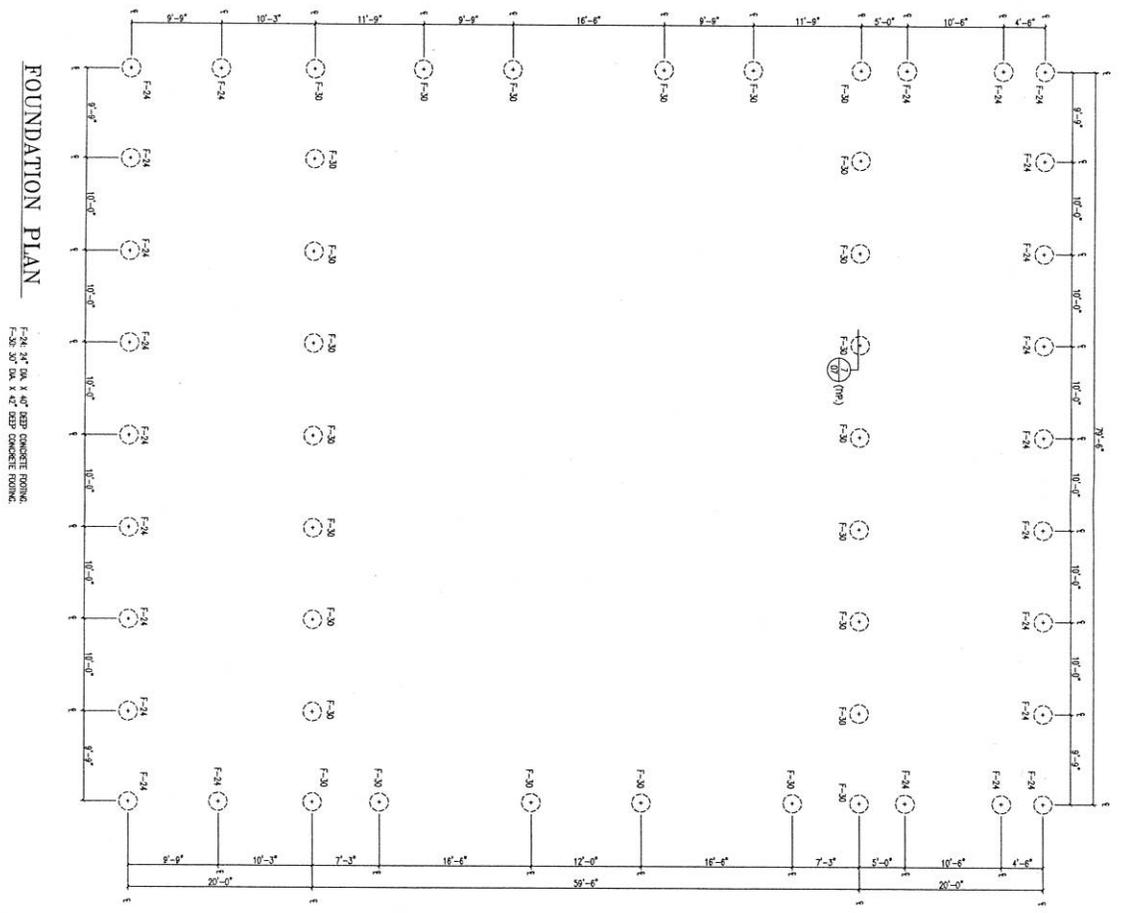
ROPER BUILDINGS

SANDBERG BUILDING



12/26/14

<p>PROJECT INFORMATION: SANDBERG BUILDING 3047 EAST 5750 NORTH LIBERTY, UTAH</p>	<p>BUILDING INFORMATION: SQUARE FOOTAGE 8000 DIMENSIONS: 100x80</p>	<p>DRAWING INDEX:</p> <ul style="list-style-type: none"> 00 COVER SHEET 01 FOUNDATION PLAN 02 FLOOR PLAN 03 GRT PLAN 03B ELEVATIONS 04 ROOF PLAN 05 PANEL LAYOUT 06 DETAILS 07 	<p>GENERAL CONTRACTOR: ROPER BUILDINGS CONTACT: DAN SCARBROUGH PHONE: 801-540-5586</p> <p>CONSULTING STRUCTURAL ENGINEER: PRICE ENGINEERING 990 WEST 7900 SOUTH WILLARD, UTAH (801) 771-0542 CONTACT: KYLE PRICE</p>	<p>DRAFTER: LAKMAN DESIGNS SOUTH WEBER, UTAH (801) 205-0382 (801) 479-1661 FAX CONTACT: TIM LAKMAN</p> <p>THESE PLANS ARE ISSUED TO: ROPER BUILDINGS FOR THE CONSTRUCTION OF ONE BUILDING LISTED IN THE PROJECT INFORMATION AREA OF THIS PAGE</p>
<p>DRAWING/REVISION DATE: 12/15/14</p>				

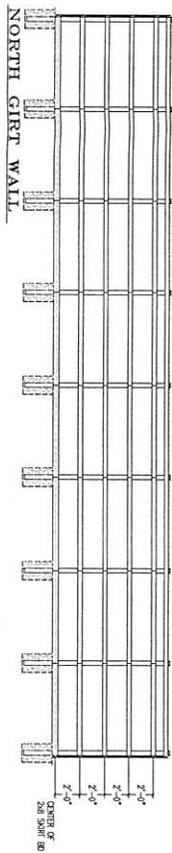
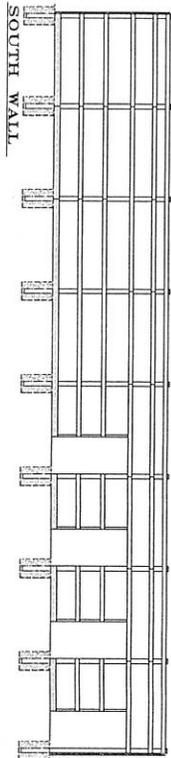
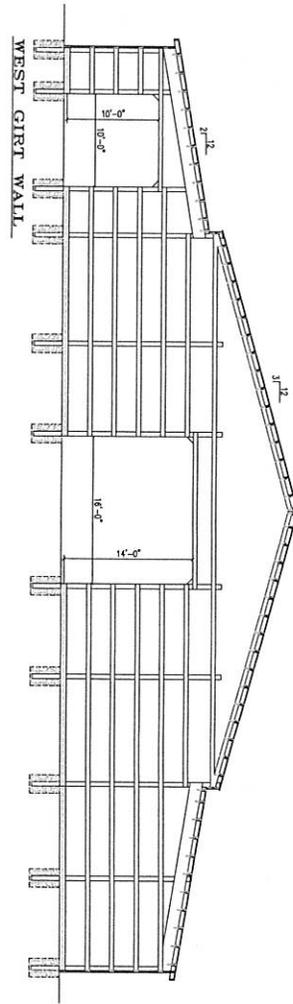
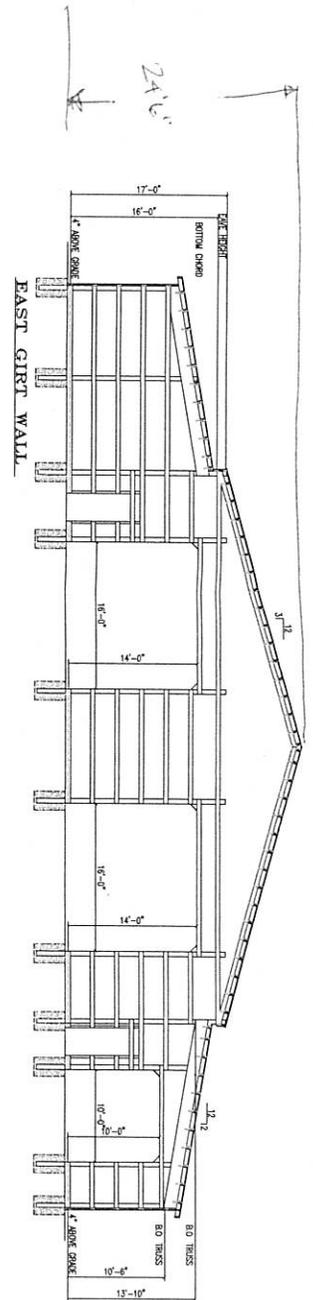


FOUNDATION PLAN

F-24: 24" DIA. X 4' HEBB CONCRETE PILING
 F-30: 30" DIA. X 4' HEBB CONCRETE PILING



<p>DATE: 12-15-14 SCALE: 1/8"=1'-0" JOB: SANDBERG SHEET: 01</p>	<p>SANDBERG BUILDING 3047 EAST 5750 NORTH LIBERTY, UTAH</p>	<p>ROPER BUILDINGS DAN SCARBROUGH (801) 540-5586</p>



03A

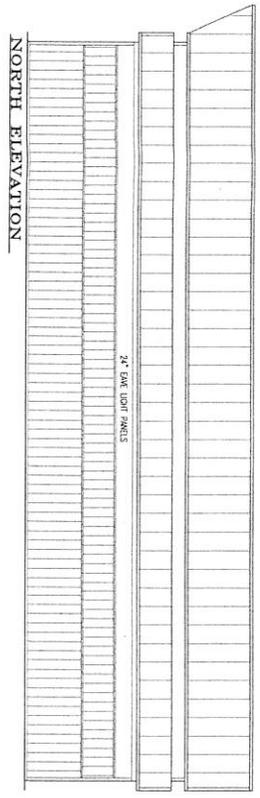
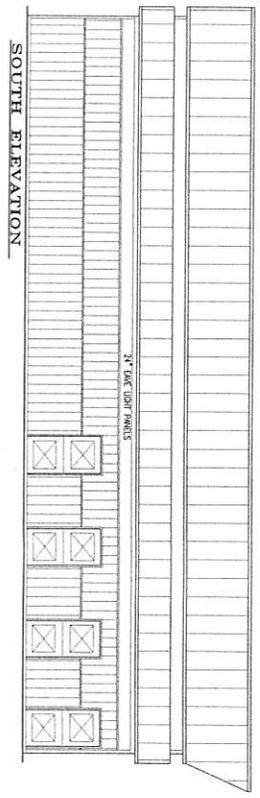
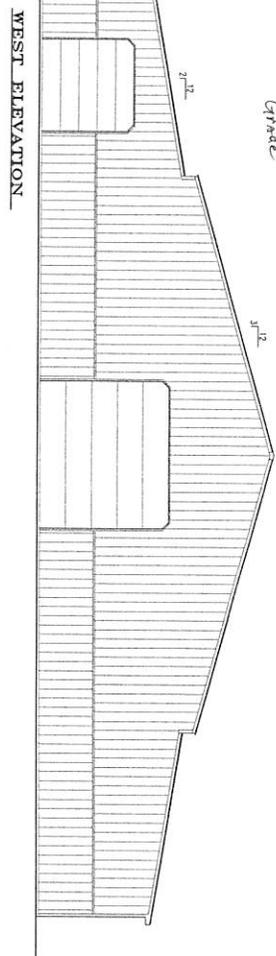
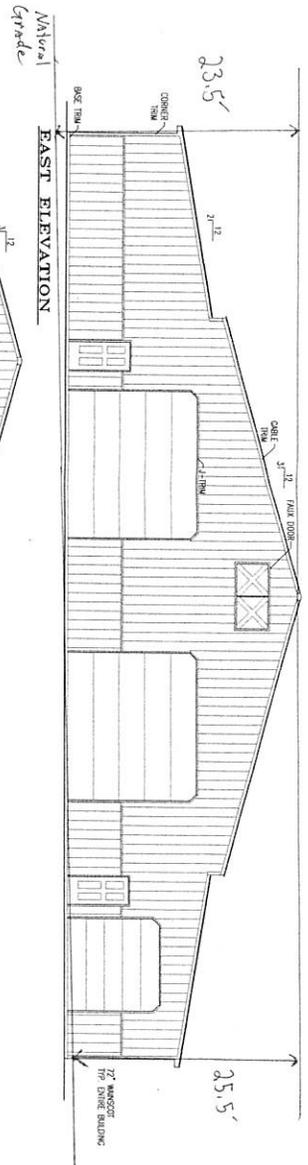
DATE: 12-15-14
 SCALE: 1/8"=1'-0"
 JOB: SANDBERG
 SHEET: SANDBERG

SANDBERG BUILDING

3047 EAST 5750 NORTH
 LIBERTY, UTAH

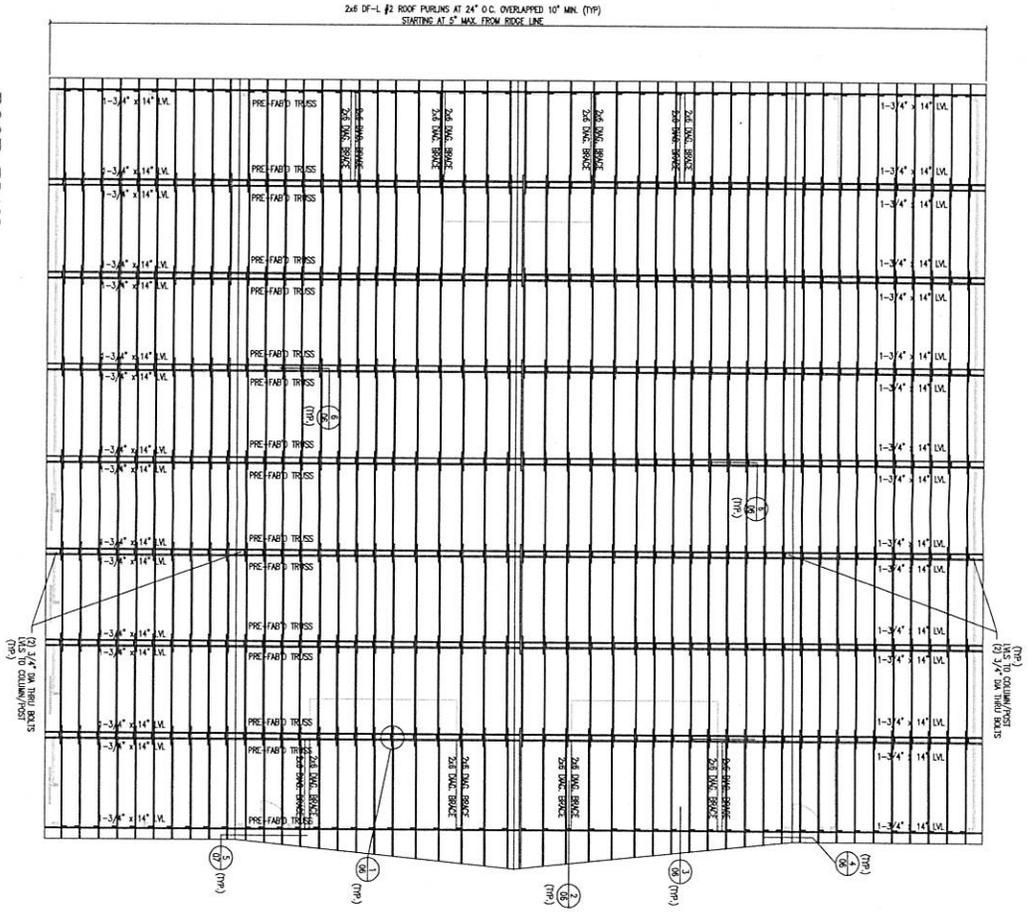
ROPER BUILDINGS

DAN SCARBROUGH
 (801) 540-5586



<p>DATE: 12-15-14 SCALE: 1/8"=1'-0" JOB: SANDBERG SHEET: 03B</p>	<p>SANDBERG BUILDING 3047 EAST 5750 NORTH LIBERTY, UTAH</p>	<p>ROPER BUILDINGS DAN SCARBROUGH (801) 540-5586</p>
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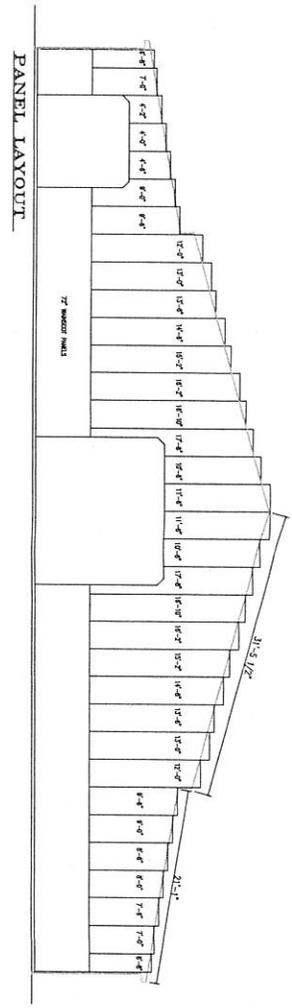
ROOF PLAN



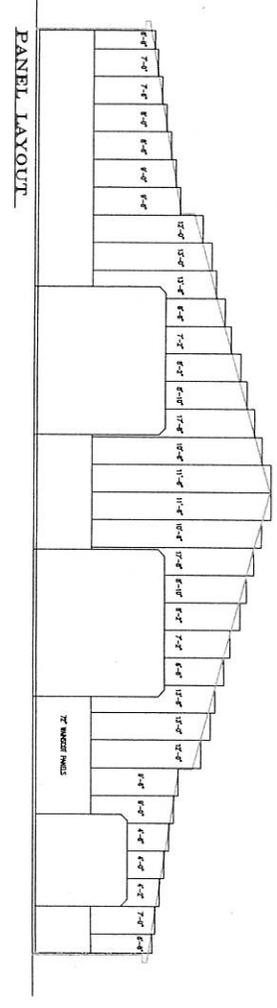
ROOF FRAMING NOTES:
 1. 1" W/8" X 8" END BEAM
 2. 1" X 6" GABLE FRONT ONLY



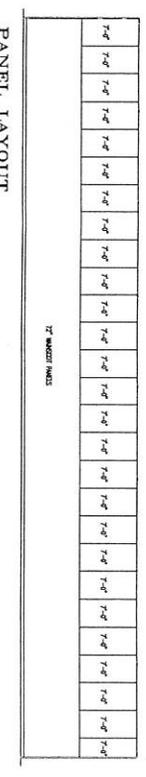
SHEET: 04	DATE: 12-15-14 SCALE: 1/8"=1'-0" JOB: SANDBERG SHEET: SANDBERG	SANDBERG BUILDING 3047 EAST 5750 NORTH LIBERTY, UTAH	ROPER BUILDINGS DAN SCARBROUGH (801) 540-5586
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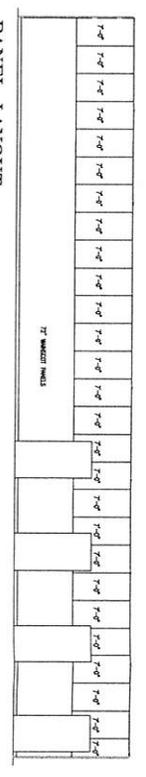
PANEL LAYOUT



PANEL LAYOUT



PANEL LAYOUT



PANEL LAYOUT

<p>ROPER BUILDINGS DAN SCARBROUGH (801) 540-5586</p>	<p>SANDBERG BUILDING 3047 EAST 5750 NORTH LIBERTY, UTAH</p>
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DATE: 12-15-14
SCALE: 7/8"=1'-0"
JOB: SANDBERG
SHEET: 05

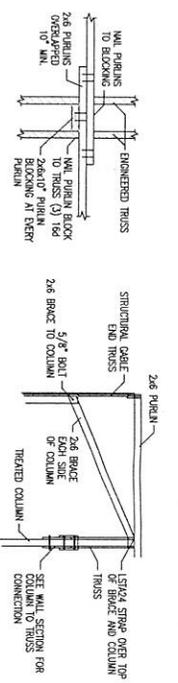
ENGINEERING NOTES:
DESIGN CRITERIA

GENERAL:	1. PLEASE REFER TO THE STRUCTURAL CALCULATIONS FOR ALL SPECIFICATIONS AND TO THE GENERAL NOTES FOR ALL DETAILS. TYPICAL DETAILS AS SPECIFIED ON PLANS AND ON THE STRUCTURAL DETAILS PLAN SHEET SHALL APPLY.
2. DESIGN CRITERIA:	DESIGN ACCORDING TO THE 2012 IBC, RISK CATEGORY 1. FOR SPECIFICATIONS NOT SHOWN REFER TO THE 2012 IBC. SEISMIC CRITERIA: DESIGN SPECTRAL RESPONSE SRS: 74% SDC: B (SEE CLASSIFIED ASSUMED) WIND LOAD: DESIGN SPEED: 120 MPH 1 SEC. GUST EXPOSURE C: 10.07 P _w =36 PSF, P _w -66 PSF S _w =10.07 PSF (SEE CLASSIFIED ASSUMED) SNOW LOAD: L ₀ =8 cfs (1.1) C _e =1.0 C _w =1.0 C _d =1.0 ROOF: 3 PSF WALS: 3 PSF

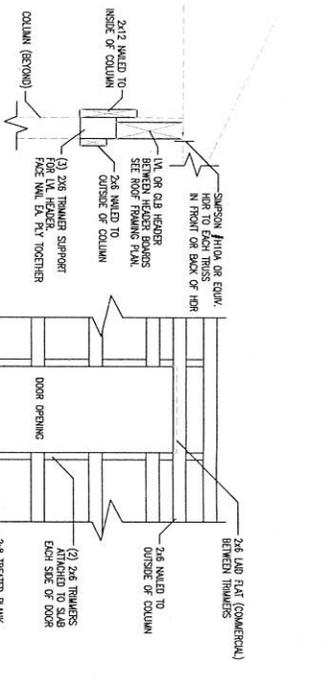
CONC. FOUNDATION PIERS	24" TO 30" DIAMETER X 3'-4" TO 3'-6" DEEP SEE FOOTING PLAN NO PER REINFORCEMENT.
------------------------	--

SOILS AND EXCAVATION NOTES	LIMITED SOIL CLASSIFICATION, NO SOILS REPORT PROVIDED. STABLE SOIL CHARACTERISTICS ASSUMED. ALLOWABLE BEARING PRESSURE: 1500 PSF (ASSUMED) GEOLOGICAL WARNINGS FOUND ON OR AROUND THE SITE INCLUDING EXPANSIVE CLAYS, OR SOILS FOUND AT THE SITE WHILE EXCAVATION OCCURS WHICH DIFFER FROM THOSE ASSUMED SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, DESIGNER OR RECORDS. IS NOT RESPONSIBLE FOR PRESENTING THE GEOLOGICAL DESIGNER OF RECORD OR UNUSABLE SOIL QUALITY.
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CONCRETE AND REINFORCEMENT NOTES	CONCRETE MIN. 28 DAY STRENGTH (f' _c) W/ NORMAL 140 PCF DENSITY: 1. FOOTINGS: 3000 PSI 2. SLABS ON GRADE: 3500 PSI REQUIRED (4000 PSI RECOMMENDED) ALL SLABS PROVIDE A MIN. THICKNESS OF 4" W/ 4" DEEP MIN. COVERED GRAVEL BASE. PROVIDE NO REINFORCEMENT FOR SLABS THICKER THAN 10" APART IN ANY DIRECTION.
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1 TYPICAL PURLIN CONNECTION
06 N.T.S.

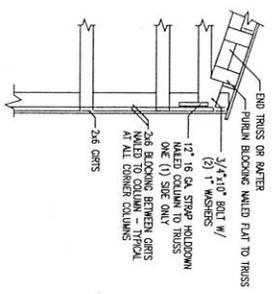


2 COLUMN TO TRUSS BRACE
06 N.T.S.

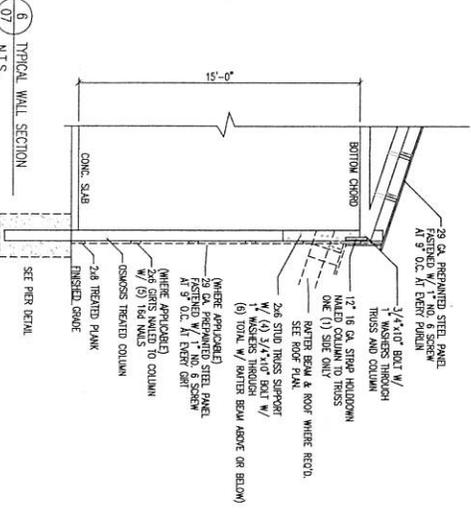
3 O.H. DOOR HEADER
06 N.T.S.



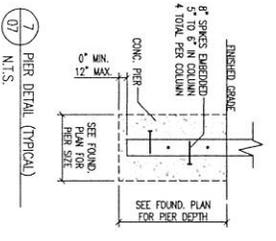
4 MAIN DOOR OPENING
06 N.T.S.



5 CORNER BLOCKING DETAIL
07 N.T.S.

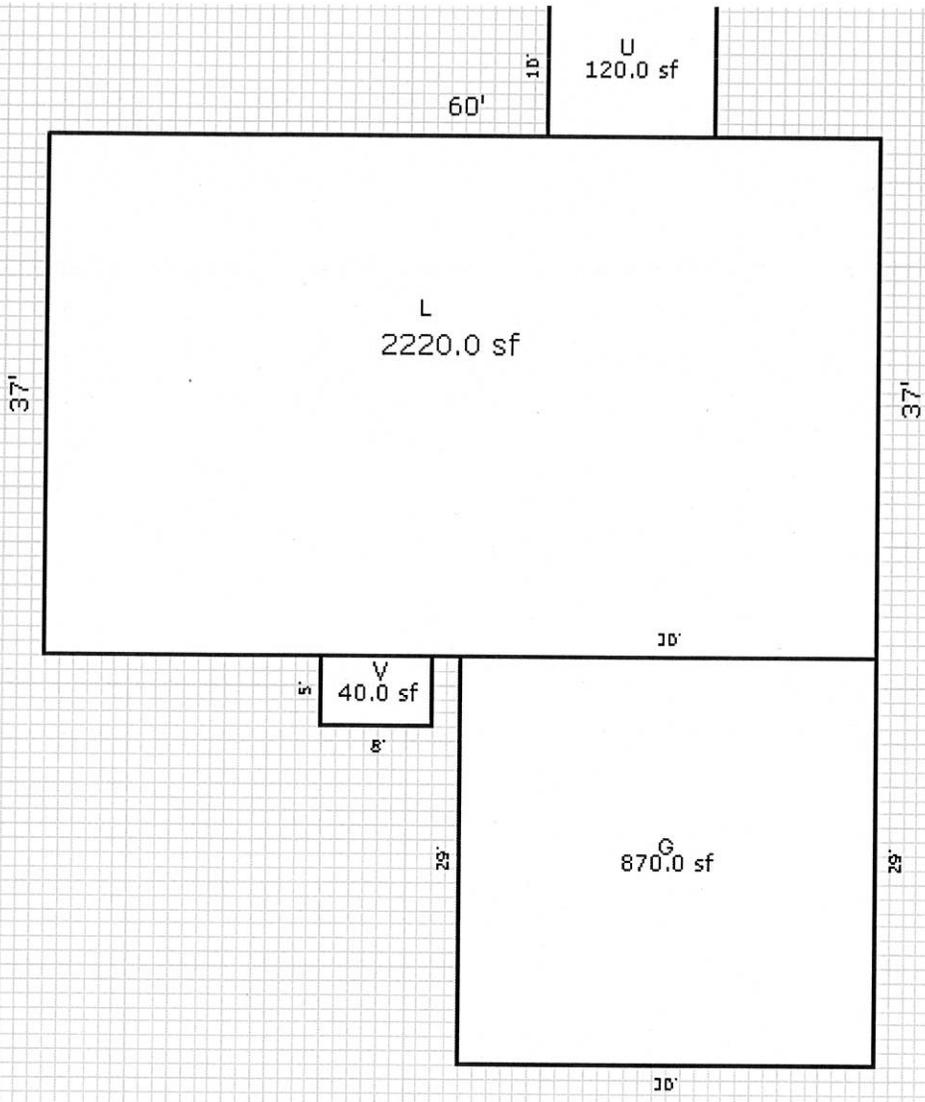


6 TYPICAL WALL SECTION
07 N.T.S.



7 PIER DETAIL (TYPICAL)
07 N.T.S.







Weber County Planning Division

To: Ogden Valley Planning Commission
From: Ben Hatfield
801-399-8766
Date: March 24, 2015
Subject: Amenities and phasing of Edgewater Beach Resort PRUD

As you may be aware progress in construction has been going very well on the Edgewater Beach site this fall and winter. Staff has worked with the applicant on minor alterations with the designs and colors of the dwelling units. Building permits have been issued for 3 of the residential buildings in phase 1. Plans have already been submitted for review of phase 2, and look to be complete with what was to be expected based on the phasing plan.

Some questions have arisen regarding how much of the phase 1 improvements and amenities are required to be installed and complete prior to proceeding with phase 2. The applicant is requesting clarification from the Planning Commission of what the intent was in the recommendation for approval.

There were many items being proposed in phase 1. Some of which is under construction. Those items being:

- Two commercial buildings with six individual units (C1-C6)-(not started),
- A storage barn divided into seven spaces (S1-S7)-(not started),
- A 4 unit condominium (units 101-104)-(Completed with old project),
- A pool and pool house (Plans approved but delayed due to weather),
- Common areas with private streets, parking stalls, trails, and landscaping, (Streets under construction only),
- 2 tri-plexes, a du-plex, and one single family dwelling (only 6 units with permits issued).

Two large additional improvements were required outside of phase 1 with the sewer lift station and storm water retention facilities for the project.

As there were many amenities and items placed early in the project, the applicant is requesting that those items be left to be constructed as demand for the commercial space is needed. Staff agrees that some flexibility in the completion of the items is needed. However staff is concerned with the following issues:

- This project is in the CVR-1 Zone and was approved that way due to plans for the area to be a resort which would utilize the many amenities in the Ogden Valley with its convenient access to local ski areas and Pineview Reservoir. The CRV-1 Zone has additional design requirements that 10% of the project be commercial space and uses in scale with the amenities of the resort. By shifting the commercial buildings to later phases such as phases 3 or 4 further put off the ability to scale commercial uses with additional dwelling units. Will this just become another multi-family development or will this match the intent of the CVR-1 Zone?
- In reviewing the 4 phase plan, many costly amenities have been proposed with each phase. With these additional items, will each phase be able to develop in a cost efficient and timely manner? The phasing plan was laid out so that there could be a balance of amenities with each phase. The standard of practice is to require essential and costly items in earlier phases so that later phases will be more profitable and likely completed.
- Phase 2 will have additional requirements for widening Highway 39 which are outside of the project. To allow for the additional units in phase 2, UDOT has required that turn lanes be put in at the entrance. This additional cost should be considered in phase 2. However, phase 2 will have 20 dwelling units while phase 1 had 9 units. During phase 2 more units can be sold to offset the cost of amenities and improvements. Staff suggests that all improvements including the construction of both commercial buildings be complete at the end of phase 2.



Weber County Planning Division

Attached to this memo is the request that was emailed to staff from the applicant and two response emails from staff regarding the request. The four staff reports approving the CUP and phase 1 with the according minutes have also been supplied for reference. All reports stated that the amenities and improvements were to be completed phase by phase, particularly phase 1. The approved phasing plan and the landscaping plan for phase 1 were also attached for reference of the items included in the phase.

Ben Hatfield

Planner
Weber County
Planning Division
801-399-8766
bhatfield@co.weber.ut.us
2380 Washington Blvd., Ste. 240
Ogden, Utah 84401-1473

Attachments:

Recent email correspondence with applicant (3 emails)

Staff Reports and minutes of:

OVPC 3-27-2012 CUP approval

WCC 4-10-2012 CUP approval

OVPC 9-25-2012 phase 1 final approval

WCC 9-9-2015 phase 1 final approval w/ escrow for roads and landscaping of \$576,872.84

Phasing plan (4 phases)

Phase 1 Landscaping plan

Hatfield, Ben

From: Wayne Reaves [wayne@jfcapital.com]
Sent: Wednesday, March 11, 2015 11:08 AM
To: Hatfield, Ben
Cc: Wilkinson, Sean; Chad Bessinger
Subject: Edgewater - PC Meeting Request

Ben,

We appreciate you taking the time to meet with us yesterday about the Edgewater project. It was helpful to have our obligations for phase 1 explained and what would be required to start phase 2. As we explained in our meeting, the requirement to complete the commercial build out in phase 1 at this point will create a hardship that we fear will jeopardize the progress of the project. Our ultimate goal is to create commercial property that is sustainable and will contribute to the welfare of the community. We would appreciate the opportunity to meet with the Planning Commission March 24th to discuss this issue and hopefully come to a resolution that will benefit us all. Please let us know if this will be possible.

Thanks,

L. WAYNE REAVES, LAND DEVELOPMENT MANAGER



JF CAPITAL™

T 801.335.8500 | C 435.327.0227

Jfcapital.com

1148 W. Legacy Crossing Blvd Ste 400

Centerville, Utah 84014

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Hatfield, Ben

From: Hatfield, Ben
Sent: Wednesday, March 11, 2015 11:39 AM
To: 'Wayne Reaves'
Cc: Wilkinson, Sean
Subject: RE: Edgewater - PC Meeting Request

Wayne,

Thank you for the request. Is there any information that you would like to provide to the Planning Commission to consider? Such as progress on improvements and amenities in phase 1, and any plan at which point in the phasing those must receive final occupancy.

Doug Rich has asked me to send over the minutes and information that you needed. I will have that sometime this afternoon. A key there was the staff report present with this project stated that those major improvements were to be done with phase 1. I have periodically reminded those representing the project of this obligation.

In looking at the phasing plan, each phase had significant improvements and amenities that were proposed. It makes it difficult to determine when those in phase 1 go in. Since phase 2 will have the two pavilions, lawn and volleyball area, horses and bocce ball areas, 21 storage units, three road segments, and all of the UDOT improvements. Phase 2 does have twice as many residences, but still significant improvements.

I don't see them wanting to recommend the phase 1 improvements slide beyond phase 2. Particularly when the CVR-1 Zone is a commercial zone tailored for a resort. Thus far this project has slowly lost its resort aspects. The Planning Commission has been working with other projects in this zone and have had particular interest in the commercial areas being utilized by the resort.

Has this project become just a multifamily housing area or is it still a resort where guest will want to come to stay or buy into? Edgewater Beach Resort PRUD has not been approved as just a regular subdivision development, and shouldn't be viewed that way.

These are all questions that may come from the public or Planning Commission and it would be good to be prepared for them. I do think that the Planning Commission will want to know ahead of the meeting what your plan or request is for. As I said in the meeting I will crunched with time to get that information to them and would need it well before the end of the week to get on the March 24th meeting. Please let me know if you have any questions and we can talk through them. I would like to see you succeed with this project and can do what I can to help you.

BEN HATFIELD

PLANNER
WEBER COUNTY
PLANNING DIVISION
801-399-8766
BHatfield@co.weber.ut.us
2380 WASHINGTON BLVD., STE. 240
OGDEN, UTAH 84401-1473

From: Wayne Reaves [<mailto:wayne@jfcapital.com>]
Sent: Wednesday, March 11, 2015 11:08 AM
To: Hatfield, Ben

Hatfield, Ben

From: Hatfield, Ben
Sent: Wednesday, March 11, 2015 1:04 PM
To: 'Doug Rich'
Cc: Wilkinson, Sean; 'Wayne Reaves'
Subject: Edgewater Beach phase 1 amenities and improvements
Attachments: CoComm report CUP 2012-02 Edgewater Beach PRUD.pdf; CUP 2012-02 Edgewater Beach PRUD.pdf; min_04102012.pdf; min_09092014.pdf; Ogden_Valley_March_27,_2012.pdf; Ogden_Valley_September_25,_2012.pdf; OVPC phase 1 Edgewater Beach Condo_PRUD.pdf; Staff Report CoComm.pdf

Doug,

I've dug around the files and have found several times in the staff reports where we referred to the items that were included with phase 1. Although they were always shown in detail in the plans for the PRUD, I have attached the base four staff report that were for phase 1. (CUP w/ PC & CC, and Sub w/ PC & CC) I highlighted in those reports were it called out what went with phase 1. It may be helpful for the new owners to review these reports to better understand what the Commissions have seen and were expecting.

As you may recall we talked about the need for a water and sewer service letter. I going through the files again I read the letters that came in for phase 1. They were specific on what was available and had requirements that needed to be accomplished for phase 2. Since we are now at that point, it is needed to work with the provider to ensure service for phase 2.

If you have any questions for me please let me know.

BEN HATFIELD

**PLANNER
WEBER COUNTY
PLANNING DIVISION
801-399-8766
BHATFIELD@CO.WEBER.UT.US
2380 WASHINGTON BLVD., STE. 240
OGDEN, UTAH 84401-1473**



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request to amend the Edgewater Beach Resort PRUD (CUP 2003-12) site plan with CUP 2012-02.
Agenda Date: Tuesday, March 27, 2012
Applicant: Celtic Bank
File Number: CUP 2012-2

Property Information

Approximate Address: 6350 East Highway 39
Project Area: 13.08 Acres
Zoning: Commercial Valley Resort Recreation Zone (CVR-1)
Existing Land Use: PRUD Development
Proposed Land Use: PRUD Development
Parcel ID: 20-013-0020 and 20-134-0005
Township, Range, Section: T6N, R1E, Section 13

Adjacent Land Use

North: Pineview Reservoir	South: Residential
East: Residential	West: Agriculture

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766
Report Reviewer: SW

Applicable Ordinances

- Weber County Zoning Ordinance Chapter 9C (CVR-1 Zone)
- Weber County Zoning Ordinance Chapter 22C (Conditional Uses)
- Weber County Zoning Ordinance Chapter 18C (Ogden Valley Architectural, Landscape, and Screening Standards)
- Weber County Zoning Ordinance Chapter 22D (Planned Residential Unit Development)
- Weber County Zoning Ordinance Chapter 24 (Parking)
- Weber County Zoning Ordinance Chapter 32B (Ogden Valley Signs)
- Weber County Zoning Ordinance Chapter 39 (Ogden Valley Lighting)
- Weber County Zoning Ordinance Chapter 43 (Ogden Valley Sensitive Lands)

Background

The Edgewater Beach Resort PRUD was approved as a conditional use in 2003 (CUP 2003-12). Since that time, the Planning Commission and County Commission have approved major and minor amendments to the original approval. The applicant is now requesting another major amendment to the existing approval. The Weber County Zoning Ordinance (Chapter 22D) states, "Once the overall development plan showing details of buildings, structures and uses has been approved by the County Commission, after recommendations of the Planning Commission, no changes or alterations to said development plan or uses shall be made without first obtaining the approval of the Planning Commission and County Commission."

The Edgewater Beach Resort PRUD is located in the CVR-1 zone which allows for a mix of selected commercial uses with a variety of housing types. At the entry of this project will be 5,300 square feet of commercial space in two buildings. A proposal of uses and expected parking has been shown in exhibit D-6. Four storage barns will also be constructed for the storage of personal items of owners within the property. A four stall garage will be built for the existing 4-plex building. The multi-family dwelling units consist of three triplex buildings and eight duplex buildings. There are also 28 single family units. The larger multi unit buildings have been located toward the center of the project with the single units around the periphery. Building designs, layouts, and profiles have been provided with the site plans in exhibit C.

The architecture, material and colors comply with the requirements of chapter 18C, and include mountain rustic styles with elements of timber and stone in green and brown earth tones.

Many amenities have been planned for this development including a pool and pool house, open/common space with a sand volleyball court, areas for bocce ball and horseshoes, a smaller picnic pavilion, and a large reunion pavilion. At the rear of the property, with views of Pineview Reservoir, will be a lakeside fire pit and gathering area. Please refer to the applicant's narrative in exhibit B for more information.

Minimum setbacks requirements for the CVR-1 are 30 feet in the front, which has been met, and 20 feet in the rear and on the sides. However, as part of a PRUD some flexibility to these standards can be allowed if the proposed plan is found to have a superior design compared to a conventional layout of lots. The setback encroachments are on three units on the west side boundary, eight units on the north/ rear boundary, and two 2 units on the east boundary. There is a 100 foot minimum setback requirement from the high water mark (4900 FASL) of Pineview Reservoir, which runs roughly along the rear boundary line of the property. All structures must meet this requirement.

Summary of Planning Commission Considerations

Besides the typical questions about potential detrimental effects which are considered with conditional uses, when considering a proposed Planned Residential Unit Development, the Planning Commission shall consider the following:

1. The architectural design of buildings and their relationship on the site and development beyond the boundaries of the proposal.
2. Which streets shall be public and which shall be private; the entrances and exits to the development and the provisions for internal and external traffic circulation and off-street parking?
3. The landscaping and screening as related to the several uses within the development and as a means of its integration into its surroundings.
4. The size, location, design, and nature of signs if any, and the intensity and direction of area of flood lighting.
5. The residential density of the proposed development and its distribution as compared with the residential density of the surrounding lands, either existing or as indicated on the Zoning Map or Master Plan proposals of Weber County as being a desirable future residential density.
6. The demonstrated ability of the proponents of the Planned Residential Unit Development to financially carry out the proposed project under total or phase development proposals within the time limit established.

The Planning Commission should consider these questions while comparing this plan to the previously approved plan.

Please refer to exhibit E in reviewing other uses on surrounding properties. The proposed property is bounded on two sides by Pineview Reservoir and public roads 6300 East and Hwy 39 on the other two sides. There are other uses and properties beyond the roadways that should be considered. The roads in the development will be private, with the primary access on to Hwy 39 and two other accesses on 6300 East. A review from UDOT and the county engineer's office has not been completed yet and may require improvements to Hwy 39. Exhibit D-6 is the applicant's review of proposed uses and reasoning for the number and location of off-street parking.

A landscaping plan has been proposed in exhibit C, although no outdoor lighting and signage has been proposed. The Planning Commission may find that it would be necessary considering the commercial uses and multi-family dwellings being proposed. Please refer to exhibit D for other reviews by planning staff and the applicant's responses.

There is a large difference in density between this property, zoned CVR-1, and those surrounding it zoned FV-3 and S-1. The density proposed is much less than what could be proposed in this zone. The density ratio proposed uses only about 7.11 acres while the property is about 13.08 acres. There are 4 phases being proposed. Phase one includes all of the commercial buildings, the pool and pool house, and the 4-plex, two 3-plexes, a duplex and a single unit, along with the entry and highway improvements.

In addition to the six question listed previously, the Planning Commission should address the following questions.

- Is the phasing plan appropriate?
- Is this new PRUD design better than the previously approved design?
- Are there any potential negative or detrimental effects that have not been considered and need to be addressed as a conditional use?
- Does the Planning Commission have other questions that have not been addressed?

Conformance to the General Plan

The existing site plan was approved in conformance with the Ogden Valley General Plan in 2003. These amendments reduce the overall density numbers for Ogden Valley and reduce the height and mass of the buildings located closest to the reservoir.

Conditions of Approval

- Requirements of the Weber County Zoning Ordinance
- Requirements of the Weber County Engineering Division
- Requirements of the Weber County Health Department
- Requirements of the Weber Fire District

Staff Recommendation

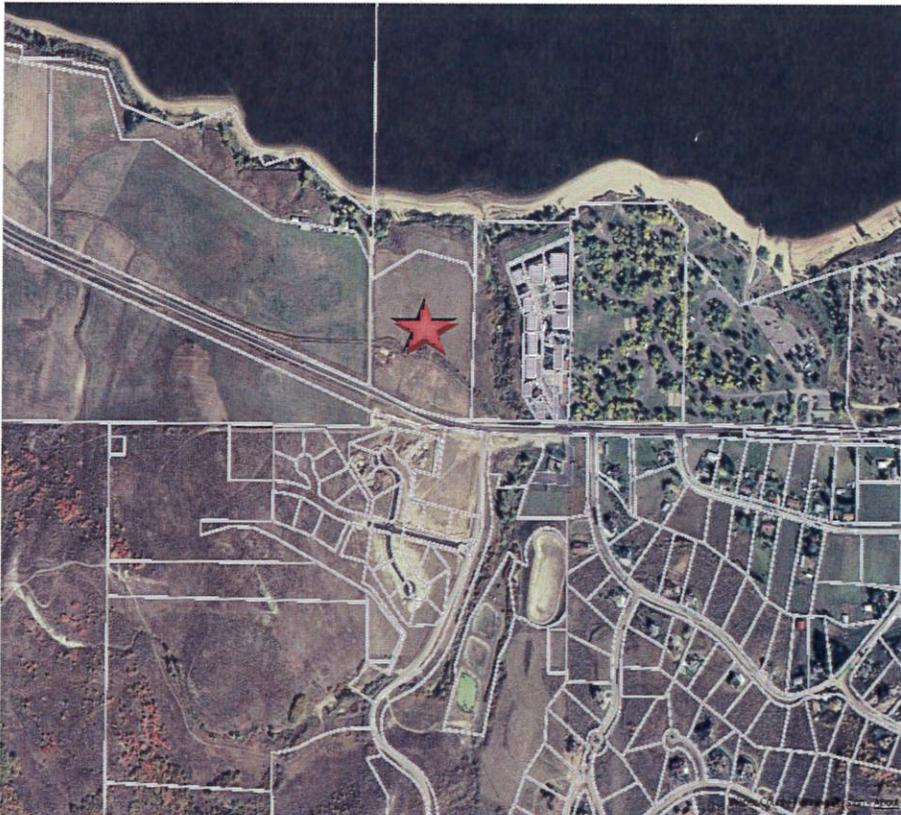
Staff recommends approval of this conditional use application subject to the applicant meeting the conditions of approval in this staff report and any other conditions required by the Planning Commission. This recommendation is based on the following findings:

- The proposed use is allowed in the CVR-1 Zone and meets the appropriate site development standards.
- The criteria for issuance of a conditional use permit have been met and the mitigation of potential detrimental effects has been accomplished.
- The proposed PRUD plan is found to have a superior design compared to the existing site plan or a conventional layout of lots.

Exhibits

- A. Existing site plan
- B. Applicant's project narrative
- C. New amended site plans and renderings of multi-family, commercial, and amenity buildings
- D. Project review's by planning staff and the applicant's responses
- E. Area map of uses and zones

Map 1



Minutes of the Ogden Valley Township Planning Commission meeting held March 27, 2012, in the Weber County Commission Chambers, commencing at 5:00 p.m.

Present: Kevin Parson, Chair; Pen Hollist, Greg Graves, John Howell, Laura Warburton, Dennis Montgomery, Ann Miller

Absent/Excused:

Staff Present: Rob Scott, Director; Jim Gentry, Planner; Ben Hatfield, Planner; Chris Allred, Legal Counsel; Sherri Sillitoe, Secretary

Pledge of Allegiance

Roll Call

1. Minutes:

1.1. Approval of the February 7, 2012 and March 6, 2012 work session minutes and the February 28, 2012 regular meeting minutes.

Commissioner Montgomery indicated that his address is 7800 E 1120 N; Commissioner Howell indicated that he wasn't at the 3/6/12 meeting but read the minutes and noticed that the it is Snowberry Inn and not Strawberry Inn as listed.

Chair Parson declared the minutes of the 2/7/12, 2/28/12, and 3/6/12 meeting minutes as amended.

2. Petitions, Applications, and Public Hearings:

New Business:

2.1. CUP 2012-2 Consideration and action on a request to amend the Edgewater Beach Resort PRUD (CUP 2003-12) site plan with CUP 2012-02

Ben Hatfield presented a staff report and indicated that the proposed amendment is a major change to what was approved in the past. With this proposal, the applicant is looking to have a select mix of housing and multiple uses. There will be commercial space at the entrance in two buildings. There will be the existing 4-plex, 3 tri-plexes, some duplexes and 28 single-family units as well as other amenities.

The applicant should address the following questions:

- Is the phasing plan appropriate?
- Is this new PRUD design better than the previously approved design?
- Are there any potential negative or detrimental effects that have not been considered and need to be addressed as a conditional use?
- Does the Planning Commission have other questions that have not been addressed?

As part of the PRUD, this plan will also go to the County Commission for approval.

Staff recommends approval of this conditional use application subject to the applicant meeting the conditions of approval in this staff report and any other conditions required by the Planning Commission. This recommendation is based on the following findings:

- The proposed use is allowed in the CVR-1 Zone and meets the appropriate site development standards.
- The criteria for issuance of a conditional use permit have been met and the mitigation of potential detrimental effects has been accomplished.
- The proposed PRUD plan is found to have a superior design compared to the existing site plan or a conventional layout of lots.

Commissioner Warburton said she has spent the last couple of months trying to understand special and private sewer districts and wonders if the project will tie into Mountain Sewer? Ben Hatfield indicated that yes, it would tie into Mountain Sewer.

The storage units would run parallel to the highway. Ben Hatfield indicated that the rear of the storage units would be visible from the highway.

Commissioner Hollist clarified if from the eastern edge to the subdivision where the topography slopes down into the Forest Service drainage that no building would be allowed there. Mr. Hatfield replied yes.

Commissioner Hollist said concerning the north boundary is that area very steep between the northern boundary and the lake? Ben Hatfield said there is a bluff along the lakeshore.

Commissioner Howell said looking at the map at C-5, the boundary line and the pathway, how much space is required between the property line and any development on the east side of the development? Ben Hatfield said with a PRUD if found to be a superior design, the setbacks are lowered. Commissioner Hollist said that was the basis of his question because even though the setbacks on Unit 1 and Unit 20 encroach on that property line, there is open space that would not be developed and it is a drainage area so it will not appear to encroach on any development or other property line.

Eric Langvardt, Landscape Planner & Architect, Ray Bertoldi Architect & Elise Howell applicant's representative. The project is a revised PRUD and a significant reduction (111 units) in density with single-family townhomes, duplexes, three-plexes and roughly 5,300 sq. ft. (a neighborhood commercial node) for a few neighborhood commercial uses. They are proposing storage barns where the locations are placed sensitively to tuck them into the hillside with hopefully flat roofs. They are taking opportunity of the grade. The front porches will be emphasized and the garages deemphasized. Every one of the units fronts an open space amenity. They met with Ted Black of the Fire District who gave final approval to their proposal.

They were able to provide a transition from the Ski Lake project. As they move to the outside, the open space will move in and out throughout the project. They are proposing ballard lights and they anticipate having some soft architectural lighting for parking.

Commissioner Montgomery asked if the gravel road was a dedicated county road, and Ben Hatfield indicated that a portion of that was dedicated in phase 1. The road has been on a map since the early 1980's.

Commissioner Graves asked why there are two access points on the west road. Eric Langvardt said Ted Black asked that the access roads be extended rather than just for emergency access. Commissioner Graves said it places the lots on that access surrounded on all sides by road. Mr. Langvardt said the reality is that that it is a smaller gravel road and could almost be considered an alley. The units actually block the garages from view. Commissioner Montgomery said he could see where Ted Black is coming from. Eric Langvardt indicated that they could possibly do a hammerhead there but the reality of the plan is that the development fronts green.

Commissioner Graves said if they maintain the first access point like it is what prevents the people down below from using it. Mr. Langvardt indicated that they would be crash gates.

Commissioner Howell asked if there was any space between the garage door and the road for someone to park. Eric Langvardt indicated no, it was done intentionally so as not to block the driveways. They have provided extra parking in the rear as well as tucked into space here and there. Commissioner Howell said he is concerned that parking would be a problem. Mr. Langvardt said they do not ever believe they will reach 100% occupancy, as many would be used as second vacation homes. Some of the extra spaces will be sold to the owners for RV parking, etc.

Commissioner Graves indicated that he does not see the previous 100 ft. setback for the commercial. Eric Langvardt indicated that they believe their commercial (it will be 45 ft. off the pavement). They have exceeded the 100 ft. setback with the storage units.

Commissioner Graves said that the description shows for a 4-car garage on the existing 4-plex. All new buildings will be shorter than the exiting building. All garages will be low key with doors interior to the project.

Commissioner Graves said there has been talk about the requirement of dealing with the canal. Eric Langvardt explained that their engineer's plan is to pipe it back and come across as shown in the utility plan. They are not sure if the turn lane would be required by UDOT. To clarify for Commissioner Miller, Mr. Langvardt said they are not planning a connection off the beach as per the Forest Service. They have talked to Meg at Weber Pathways about having a 10 ft. hard surface trail as part of the Pineview Loop.

Ray Bertoldi, Bertoldi Architects, said from a site plan aspect they reduced density and they looked at every building the same way in sense of its overall mass. They took a hard look at the rooflines, and the shadows of the buildings, and they would like to incorporate some flat roofs. The highest building would be 23 ft. Many of the pitched roofs drain down into the spaces and the varied rooflines allow them to control water. They would not have any drip lines where people walk and makes for a safer environment. He agrees that the storage units will be the nicest storage units around. Mr. Bertoldi said they would integrate different types of siding in the project and will use earth colors. They will have asphalt shingles as well as metal roofing.

Ray Bertoldi indicated that the hard surface water drains to the detention area. On the east commercial building, they have integrated a gable style roof over part of the building and then a lower portion a flatter roof on the front store side that would be protected. They would utilize the grade of the property on the buildings.

Chair Parson said he is concerned where the water travels down from Hwy 39 to the natural drainage. John Reeve said there is an existing ditch there.

Commissioner Hollist asked about basements. Mr. Bertoldi said the units would not all have basements but they will all be subterranean.

Commissioner Warburton thanked Mr. Bertoldi and Mr. Langvardt for their enjoyable presentation.

Steve Clarke said he told Mr. Bertoldi before the meeting that this is a more comfortable plan than those they have seen before.

MOTION: Commissioner Warburton move to approve of CUP 2012-02 a request to amend the Edgewater Beach Resort PRUD (CUP 2003-12) site plan with CUP 2012-02 conditioned upon all staff and other agency recommendations. Commissioner Montgomery seconded the motion.

Commissioner Warburton said the plan is keeps to the general plan and that she believes this is a good project for the valley. Commissioner Howell indicated his concerns regarding parking. Commissioner Graves asked if everyone is comfortable with the setback from the highway. Commissioner Miller said the argument of the commercial needing to be closer to the highway in order to be valuable made good sense.

Commissioner Graves asked if everyone was comfortable with the canal. He is comfortable.

Commissioner Hollist said he would like to see the canal piped the entire distance for the safety of the children. Mr. Langvardt indicated that it would be a good idea.

John Reeve indicated that he has spoken with Greg Graves and they are of the same mind regarding the canal. Commissioner Graves indicated that he is president of the canal company that pipes that ditch. The agreement to pipe that ditch has always be part of any plan for this property.

Commissioner Graves said he would like to see a little more landscaping on the west side. It does a good job at buffering the buildings, but he believes that they need a little more buffering from the property to the west.

VOTE: A vote was taken and Chair Parson said the motion carried with all members present voting aye (Vote 7-0).



Staff Report to the Weber County Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and / or action on a public hearing to a request to amend the Edgewater Beach Resort PRUD (CUP 2003-12) site plan with CUP 2012-02.

Agenda Date: Tuesday, April 10, 2012

Applicant: Celtic Bank

File Number: CUP 2012-2

Property Information

Approximate Address: 6350 East Highway 39

Project Area: 13.08 Acres

Zoning: Commercial Valley Resort Recreation Zone (CVR-1)

Existing Land Use: PRUD Development

Proposed Land Use: PRUD Development

Parcel ID: 20-013-0020 and 20-134-0005

Township, Range, Section: T6N, R1E, Section 13

Adjacent Land Use

North: Pineview Reservoir	South: Residential
East: Residential	West: Agriculture

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766

Report Reviewer: SW

Applicable Ordinances

- Weber County Zoning Ordinance Chapter 9C (CVR-1 Zone)
- Weber County Zoning Ordinance Chapter 22C (Conditional Uses)
- Weber County Zoning Ordinance Chapter 18C (Ogden Valley Architectural, Landscape, and Screening Standards)
- Weber County Zoning Ordinance Chapter 22D (Planned Residential Unit Development)
- Weber County Zoning Ordinance Chapter 24 (Parking)
- Weber County Zoning Ordinance Chapter 32B (Ogden Valley Signs)
- Weber County Zoning Ordinance Chapter 39 (Ogden Valley Lighting)
- Weber County Zoning Ordinance Chapter 43 (Ogden Valley Sensitive Lands)

Background

The Edgewater Beach Resort PRUD was approved as a conditional use in 2003 (CUP 2003-12). Since that time, the Planning Commission and County Commission have approved major and minor amendments to the original approval. The applicant is now requesting another major amendment to the existing approval. The Ogden Valley Planning Commission recommended approval of this development on March 27, 2012. A draft copy of the motion and findings is attached as exhibit F.

The Edgewater Beach Resort PRUD is located in the CVR-1 zone which allows for a mix of selected commercial uses with a variety of housing types. At the entry of this project will be 5,300 square feet of commercial space in two buildings. A proposal of uses and expected parking has been shown in exhibit D-6. Four storage barns will also be constructed for the storage of personal items of owners within the property. A four stall garage will be built for the existing 4-plex building. The multi-family dwelling units consist of three triplex buildings and eight duplex buildings. There are also 28 single family units. The larger multi unit buildings have been located toward the center of the project with the single units around the periphery. Building designs, layouts, and profiles have been provided with the site plans in exhibit C.

The architecture, material and colors comply with the requirements of chapter 18C, and include mountain rustic styles with elements of timber and stone in green and brown earth tones.

Many amenities have been planned for this development including a pool and pool house, open/common space with a sand volleyball court, areas for bocce ball and horseshoes, a smaller picnic pavilion, and a large reunion pavilion. At the rear of the property, with views of Pineview Reservoir, will be a lakeside fire pit and gathering area. Please refer to the applicant's narrative in exhibit B for more information.

Minimum setback requirements for the CVR-1 are 30 feet in the front, which have been met, and 20 feet in the rear and on the sides. However, as part of a PRUD some flexibility to these standards can be allowed if the proposed plan is found to have a superior design compared to a conventional layout of lots. The setback encroachments are on three units on the west side boundary, eight units on the north/ rear boundary, and two 2 units on the east boundary. There is a 100 foot minimum setback requirement from the high water mark (4900 FASL) of Pineview Reservoir, which runs roughly along the rear boundary line of the property. All structures must meet this requirement.

Summary of County Commission Considerations

Besides the typical questions about potential detrimental effects which are considered with conditional uses, when considering a proposed Planned Residential Unit Development The County Commission could also consider the following questions, as the Planning Commission did, while comparing this plan (exhibit C) to the previously approved plan (exhibit A):

1. The architectural design of buildings and their relationship on the site and development beyond the boundaries of the proposal.
2. Which streets shall be public and which shall be private; the entrances and exits to the development and the provisions for internal and external traffic circulation and off-street parking?
3. The landscaping and screening as related to the several uses within the development and as a means of its integration into its surroundings.
4. The size, location, design, and nature of signs if any, and the intensity and direction of area of flood lighting.
5. The residential density of the proposed development and its distribution as compared with the residential density of the surrounding lands, either existing or as indicated on the Zoning Map or Master Plan proposals of Weber County as being a desirable future residential density.
6. The demonstrated ability of the proponents of the Planned Residential Unit Development to financially carry out the proposed project under total or phase development proposals within the time limit established.

Please refer to exhibit E in reviewing other uses on surrounding properties. The proposed property is bounded on two sides by Pineview Reservoir and public roads 6300 East and Hwy 39 on the other two sides, so there is little impact to the uses on properties adjacent to the development. However, there are other uses and properties beyond the roadways that should be considered. The roads in the development will be private, with the primary access on to Hwy 39 and two other accesses on 6300 East. A review from UDOT and the county engineer's office has not been completed yet and may require improvements to Hwy 39. Exhibit D-6 is the applicant's review of proposed uses and reasoning for the number and location of off-street parking.

A landscaping plan has been proposed in exhibit C, although no outdoor lighting or signage has been proposed. The County Commission may find that it would be necessary to have outdoor lighting, considering the commercial uses and multi-family dwellings being proposed. Please refer to exhibit D for other reviews by planning staff and the applicant's responses.

There is a large difference between the density allowed on this property, zoned CVR-1, and those allowed on surrounding property zoned FV-3 and S-1. However, the density being proposed is much less than the density that could be proposed in this zone. The area calculation for the density proposed uses only about 7.11 acres, while the property is about 13.08 acres. Therefore about six acres of open area will be preserved in common area with this proposal.

There are 4 phases being proposed. Phase one includes all of the commercial buildings, the pool and pool house, and the 4-plex, two 3-plexes, a duplex and a single unit, along with the entry and highway improvements. Most of the major improvements will need to be installed with approval of phase 1.

In addition to the six question listed previously, the County Commission should address the following questions.

- Is the phasing plan appropriate?

- Is this new PRUD design better than the previously approved design?
- Are there any potential negative or detrimental effects that have not been considered and need to be addressed as a conditional use?
- Does the County Commission have other questions that have not been addressed?

Conformance to the General Plan

The existing site plan was approved in conformance with the Ogden Valley General Plan in 2003. These amendments reduce the overall density numbers for Ogden Valley and reduce the height and mass of the buildings located closest to the reservoir.

Conditions of Approval

- Requirements of the Weber County Zoning Ordinance
- Requirements of the Weber County Engineering Division
- Requirements of the Weber County Health Department
- Requirements of the Weber Fire District

Staff Recommendation

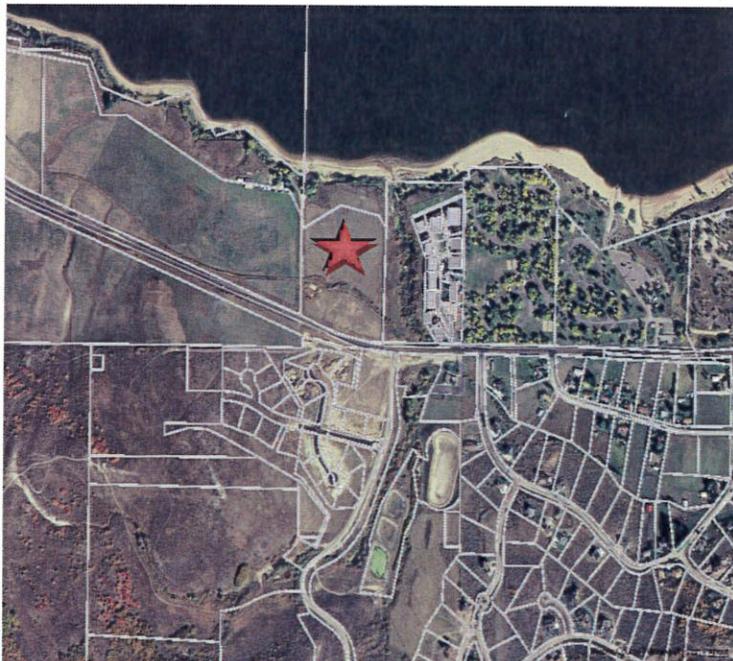
Staff recommends approval of this conditional use application subject to the applicant meeting the conditions of approval in this staff report and any other conditions required by the County Commission. This recommendation is based on the following findings:

- The proposed use is allowed in the CVR-1 Zone and meets the appropriate site development standards.
- The criteria for issuance of a conditional use permit have been met and the mitigation of potential detrimental effects has been accomplished.
- The proposed PRUD plan is found to have a superior design compared to the existing site plan or a conventional layout of lots.

Exhibits

- Existing site plan
- Applicant's project narrative
- New amended site plans and renderings of multi-family, commercial, and amenity buildings
- Project review's by planning staff and the applicant's responses
- Area map of uses and zones
- March 27, 2012 Ogden Valley Planning Commission meeting motion and findings

Map 1



**MINUTES
OF THE BOARD OF COMMISSIONERS OF WEBER COUNTY**

**Tuesday, April 10, 2012 - 10:00 a.m.
2380 Washington Blvd., Ogden, Utah**

In accordance with the requirements of Utah Code Annotated Section 52-4-7(1)(d), the County Clerk records in the minutes the names of all citizens who appear and speak at a County Commission meeting and the substance "in brief" of their comments. Such statements may include opinion or purported facts. The County does not verify the accuracy or truth of any statement but includes it as part of the record pursuant to State law.

COMMISSIONERS PRESENT: Craig L. Dearden, Chair, Kerry W. Gibson and Jan M. Zogmaister.

OTHERS PRESENT: Ricky D. Hatch, County Clerk/Auditor; David C. Wilson, Deputy County Attorney; Fátima Fernelius, of the Clerk/Auditor's Office, took minutes.

A. WELCOME - Chair Dearden

B. PLEDGE OF ALLEGIANCE - David Wilson

C. THOUGHT OF THE DAY - Commissioner Gibson

D. CONSENT ITEMS:

1. Purchase Orders for \$137,472.04
2. Warrants #284375-#284531 for \$823,751.88
3. Minutes for the meeting held on April 4 3, 2012
4. Surplus Office Equipment from the USU Extension Services
5. New business license
6. Surplus Paramedic supplies from the Human Resources Department

Commissioner Gibson moved to approve the consents items, approving the minutes for April 3, 2012; Commissioner Zogmaister seconded, all voting aye.

E. ACTION ITEMS:

1. **CONSIDERATION ON 3 APPEALS FROM THE OGDEN VALLEY PLANNING COMMISSION'S (OVPC) DECISION REGARDING CUP 2012-01 FOR A HELIPORT IN AN F-40 ZONE EAST OF GREEN HILL COUNTRY ESTATES AND APPROXIMATELY 2/3 OF A MILE FROM THE MAPLE STREET CUL-DE-SAC**

Sean Wilkinson, of the County Planning Division, stated that on 2/28/2012 the OVPC approved a conditional use permit for a heliport in the Ogden Valley subject to two conditions:

- 1) That the letter from the DWR be submitted to the Planning commission for their review, and
- 2) That the noise levels be tested within the 6-month approval period with the requirement that the applicant (Timothy Charlwood) return in six months for another Planning Commission review whether these two conditions were met. There were three appeals filed to that Planning Commission decision—one by the applicant and two by Green Hill Country Estates homeowners. The heliport complies with the regulations specified in the F-40 Zone including parcel area, elevation, setbacks, landing surface and FAA regulations.

The staff report included background of two pertinent Planning Commission meetings. On 1/3/2012, the County Commission adopted several amendments to the Zoning Ordinance regarding heliports in the Ogden Valley and on that same day the applicant submitted a conditional use application for a heliport in the F-40 Zone to be located east of Green Hill Country Estates (Green Hill), approximately 2/3 of a mile from the end of the Maple Street cul de sac/nearest residence. The applicant is proposing to operate the heliport on a seasonal (ski/snow) basis as a pickup/drop-off site for heli-skiing operations. The site will be used for a maximum of 3 days/week, during daylight hours only, with no more than 10 operations—take off and landing combined—per day due to FAA regulations. The proposed heliport has no permanent structures/facilities and no signage or lighting is proposed. The landing area is on an existing rock surface, which is free from trees and other obstructions. There will be no onsite refueling and there may be a portable latrine.

6. APPROVAL OF THE WEBER COUNTY 2012 ELECTIONS POLLING LOCATIONS

Jennifer Morrell, County Elections Director, presented the list of designated polling locations. The county is divided into 159 precincts with 63 maximum polling locations, 5 of which are vote centers and which she listed.

Commissioner Zogmaister moved to approve the Weber County 2012 Elections Polling locations; Commissioner Gibson seconded, all voting aye.

F. PUBLIC HEARING

1. Commissioner Zogmaister moved to adjourn the public hearing and reconvene the public hearing; Commissioner Gibson seconded, all voting aye.

2. PUBLIC HEARING ON A REQUEST TO AMEND THE **EDGEWATER BEACH RESORT P.R.U.D. (CUP 2003-12)** SITE PLAN WITH **CUP 2012-02**

Ben Hatfield, of the County Planning Division, showed area maps. He stated that the existing site plan was approved in 2003 and the applicant is making major changes to it. This P.R.U.D. is located in the CVR-1 Zone on the south side of Pineview Reservoir. The project will have a selected mix of uses with a variety of housing types and a couple of commercial buildings. The Ogden Valley Planning Commission recommended approval on 3/27/12 and staff recommends approval.

Chair Dearden invited public comments and Ray Bertoldi, project architect, showed a presentation stating that the project's density has been reduced from 165 to 111. At the entry of the project will be 5,300 square feet of commercial space designed as neighborhood shops in two buildings. There are storage barns tucked in the hillside to provide residents with out-of-site storage for boats, RVs, etc. The clubhouse and pool will be installed in phase 1. There are no buildings over 23 feet tall and they are trying to reduce the impact of density on air space. Commissioner Zogmaister asked to whom the gravel road belongs on the west side and Mr. Bertoldi responded that it is a county road.

3. Commissioner Zogmaister moved to adjourn the public hearing and reconvene the public meeting; Commissioner Gibson seconded, all voting aye.

4. ACTION ON PUBLIC HEARING.

5. **F.2.- PUBLIC HEARING TO AMEND EDGEWATER BEACH RESORT P.R.U.D SITE PLAN, CUP 2012-02**

Commissioner Gibson moved to amend the Edgewater Beach Resort P.R.U.D.; Commissioner Zogmaister seconded, all voting aye.

G. ASSIGN PLEDGE OF ALLEGIANCE & THOUGHT OF THE DAY FOR TUESDAY, APRIL 17, 2012, 10 A.M.

H. PUBLIC COMMENTS: None



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request for final approval of a condominium plat for Edgewater Beach Resort Phase 1 Amended PRUD and a request to vacate the condominium plat for Edgewater Beach Resort Phase 1.

Agenda Date: Tuesday, September 25, 2012

Applicant: Celtic Bank

File Number: UVE090512 and SUBVAC 2012-01

Property Information

Approximate Address: 6350 East Highway 39

Project Area: 3.81 Acres

Zoning: Commercial Valley Resort Recreation Zone (CVR-1)

Existing Land Use: PRUD Development

Proposed Land Use: PRUD Development

Parcel ID: 20-013-0020 and 20-134-0005

Township, Range, Section: T6N, R1E, Section 13

Adjacent Land Use

North: Pineview Reservoir	South: Residential
East: Residential	West: Agriculture

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766

Report Reviewer: SW

Applicable Ordinances

- Weber County Zoning Ordinance Chapter 9C (CVR-1 Zone)
- Weber County Subdivision Ordinance

Background

The applicant is requesting final approval of a condominium plat for Edgewater Beach Resort Phase 1 Amended PRUD. On March 27, 2012 the Ogden Valley Planning Commission made a recommendation to the Weber County Commission for approval of a conditional use permit for the Edgewater Beach Resort PRUD. On April 10, 2012 the Weber County Commission granted approval of the PRUD and site development plan (CUP 2012-02). **The applicant has submitted all plans required for plat approval of Phase 1. These Phase 1 plans are consistent with the approved site development plan.**

Phase 1 consists of two commercial buildings (C1&C2), a storage barn divided into seven spaces (S1-S7), a 4 unit condominium (units 101-104), four space garage (G1-G4), building pads for dwelling units (Pads 1-7), a pool area and pool house, and common areas with private streets, parking stalls, trails, and landscaping. Please refer to the submitted plats in exhibit E and the proposed landscaping in exhibit F. With the changes that will be made with this plat many improvements and infrastructure locations will be altered, as shown in exhibit G. The applicant will be required to install or escrow for all improvements prior to recording Phase 1. As per the expiration requirements of the subdivision ordinance, Phase 1 is required to record within one year of approval. A one year time extension may be granted if requested.

As with all subdivisions there are requirements for water and wastewater. In exhibits A and B are the requirements of the culinary water provider. Exhibits C and D are the requirements of the sewer company. The applicant will need to further work with these service companies to satisfy their requirements prior to any service being provided.

In conjunction with the request for approval of the amended plat, the applicant is requesting to vacate the condominium plat for Edgewater Beach Resort Phase 1. An ordinance to vacate the plat will be prepared and recorded with the amended plat.

Summary of Planning Commission Considerations

- Does the subdivision meet the requirements of applicable Weber County ordinances?

Conformance to the General Plan

The existing site plan was approved in conformance with the Ogden Valley General Plan in 2012. The proposed subdivision meets the requirements of applicable Weber County ordinances and conforms to the General Plan.

Conditions of Approval

- Requirements of the Weber County Planning Division
- Requirements of the Weber County Engineering Division
- Requirements of the Weber County Surveying Department
- Requirements of the Weber County Health Department
- Requirements of the Weber Fire District

Staff Recommendation

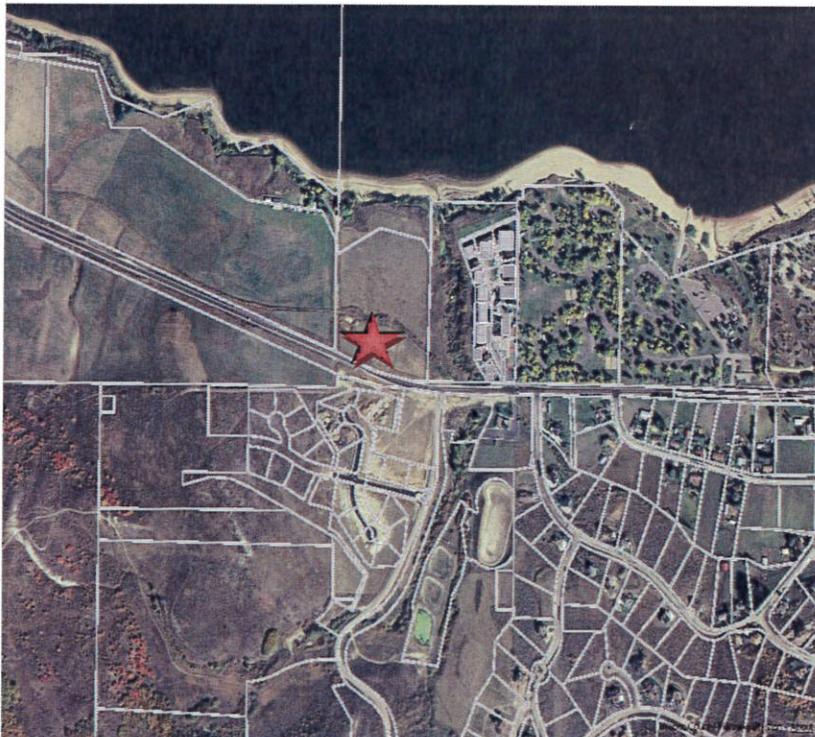
Staff recommends approval of this subdivision application subject to the applicant meeting the conditions of approval in this staff report and any other conditions required by the Planning Commission. This recommendation is based on the following findings:

- The proposed use is allowed in the CVR-1 Zone and meets the appropriate site development standards.
- The criteria for issuance of a conditional use permit have been met previously and the mitigation of potential detrimental effects has been accomplished.

Exhibits

- A. Water Company's Letter
- B. Water Engineer's Letter
- C. Sewer Company's Letter
- D. Sewer Engineer's Letter
- E. Proposed Plats
- F. Landscaping Plans
- G. Improvement Plans

Map 1



Minutes of the Ogden Valley Township Planning Commission meeting held September 25, 2012 in the Weber County Commission Chambers, commencing at 5:00 p.m.

Present: Kevin Parson, Chair, Pen Hollist, Greg Graves, Ann Miller, Pen Hollist, John Howell, Laura Warburton
Excused: Dennis Montgomery

Staff Present: Rob Scott, Director; Sean Wilkinson, Planner, Ben Hatfield, Planner, Scott Mendoza, Planner, Sherri Sillitoe, Secretary

Pledge of Allegiance

Roll Call

1. Minutes:

1.1. Approval of the August 28, 2012 minutes

Commissioner Howell stated that on Page 4, the following sentence should be amended: "The Church down the street 37 ft. (angled parking).

Chair Parson declared the minutes of the August 28, 2012 meeting approved as amended.

2. Consent Agenda:

2.1. DR 2012-11 Consideration and action on Design Review #2012-11 regarding a request to install a gate at the entrance of Falcon Crest Subdivision, 8900 E 1800 S (Falcon Crest HOA, Applicant, Brian DeHart, Agent)

2.2. UVE090512 and SUBVAC 2012-01 Consideration and action on a request for final approval of a condominium plat For Edgewater Beach Resort Phase 1 Amended PRUD and a request to vacate the Condominium plat for Edgewater Beach Resort Phase 1, 6350 East Highway 39 (Celtic Bank Applicant)

MOTION: Commissioner Hollist moved to approve Consent Agenda Items 2.1 and 2.2 as written. Commissioner Graves seconded the motion. A vote was taken and the motion carried (7-0).

3. Old Business:

3.1. CUP 2011-06 Consideration and action on a conditional use permit application for a public utility substation (cellular site) located approximately at 95 Ogden Canyon Road (David Hardman, Ogden Weber Chamber of Commerce, Owner, Nefi Garcia, Agent for TAIC)

Ben Hatfield presented a staff report and indicated that the applicant is requesting approval of a conditional use permit for a public utility substation (cellular site). The FR-1 Zone allows a "public utility substation" as a conditional use. This site is located on an 11.37 acre property owned by the Ogden Weber Chamber of Commerce. The Ogden Valley Planning Commission reviewed a similar plan on this property on February 28, 2012. Due to concerns about the historic remains of a kiln on the site, a new location has been proposed. The environmental engineering firm has reviewed the site and submitted a letter.

The revised site consists of a 50 foot by 23 foot leased area which will be surrounded by an 8 foot tall cedar fence. One 26 foot by 12 foot by 10.5 foot tall equipment shelter will house the mechanical equipment for the site and will be connected to a 50 foot tall monopole cellular tower. The pole diameter and specifications have not been submitted. Affixed to the pole will be an array of 4 antenna panels (8 foot) at a height of 45 feet. There are no lights associated with this cellular site. Access to the site will be adjacent to the parking lot drive.



Staff Report to the Weber County Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request for final approval of a condominium plat for Edgewater Beach Resort Phase 1 - 1st Amendment PRUD, and the acceptance of a financial guarantee of \$576,872.84 for subdivision improvements.

Agenda Date: Tuesday, September 09, 2014

Applicant: Reese Howell, CEO of Celtic Bank

File Number: UVE090512 and SUBVAC 2012-01

Property Information

Approximate Address: 6350 East Highway 39

Project Area: 3.81 Acres

Zoning: Commercial Valley Resort Recreation Zone (CVR-1)

Existing Land Use: PRUD Development

Proposed Land Use: PRUD Development

Parcel ID: 20-013-0020 and 20-134-0005

Township, Range, Section: T6N, R1E, Section 13

Adjacent Land Use

North: Pineview Reservoir	South: Residential
East: Residential	West: Agriculture

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766

Report Reviewer: SW

Applicable Ordinances

- Weber County Land Use Code Title 106 (Subdivisions)
- Weber County Land Use Code Title 104 Chapter 11 (CVR-1 Zone)
- Weber County Land Use Code Title 104 Chapter 5 (PRUD)

Background

The applicant is requesting final approval of a condominium plat for Edgewater Beach Resort Phase 1 – 1st Amendment PRUD. The Weber County Commission granted approval of the PRUD and site development plan (CUP 2012-02) on April 10, 2012.

Phase 1 consists of

- two commercial buildings with six individual units (C1-C6),
- a storage barn divided into seven spaces (S1-S7),
- a 4 unit condominium (units 101-104),
- a four space garage (G1-G4),
- building pads for dwelling units (Pads 1-9),
- a pool area and pool house,
- common areas with private streets, parking stalls, trails, and landscaping.

With the recording of the amended plat for phase 1, the existing condominium plat for Edgewater Beach Resort Phase 1 will be vacated. In conjunction with the recording of this phase, the recording of the vacation of the adjacent portion of 6300 East will occur. This vacation ordinance has been held off until now so that there would be less confusion when plating this area. The Weber County Commission approved the vacation of 6300 East on May 21, 2013.

Planning Commission Recommendations

On September 25, 2012 the Ogden Valley Planning Commission recommended final approval of this application. In September of 2013 a one year time extension was granted per the owner's request.

Conformance to the General Plan

The existing site plan was approved in conformance with the Ogden Valley General Plan in 2012. The proposed subdivision meets the requirements of applicable Weber County Land Use Codes and conforms to the General Plan.

Staff Recommendation

Staff recommends approval of this subdivision application and acceptance for the financial guarantee of \$576,872.84 for uncompleted subdivision improvements.

Exhibits

- A. Proposed dedication plats
- B. Subdivision Improvement Agreement and Escrow Agreement Including cost estimate of \$576,872.84.

Map 1



**MINUTES
OF THE BOARD OF COMMISSIONERS OF WEBER COUNTY**

Tuesday, September 9, 2014 - 10:00 a.m.

Commission Chambers, 2380 Washington Blvd., Ogden, Utah

In accordance with the requirements of Utah Code Annotated Section 52-4-7(1)(d), the County Clerk records in the minutes the names of all citizens who appear and speak at a County Commission meeting and the substance "in brief" of their comments. Such statements may include opinion or purported facts. The County does not verify the accuracy or truth of any statement but includes it as part of the record pursuant to State law.

COMMISSIONERS PRESENT: Kerry W. Gibson, Chair, Jan M. Zogmaister, and Matthew G Bell.

OTHERS PRESENT: Ricky D. Hatch, County Clerk/Auditor; David C. Wilson, Deputy County Attorney; and Fátima Fernelius, of the County Clerk/Auditor's Office, who took minutes.

- A. WELCOME – Chair Gibson
- B. PLEDGE OF ALLEGIANCE – Matisse Hatch
- C. THOUGHT OF THE DAY – Chair Gibson

D. PRESENTATIONS:

1. SEAL OF SERVICE AWARD PRESENTED TO DEPUTY RAYMOND C. DAY

County Sheriff Terry Thompson commented on Deputy Day's ever happy disposition, and he spoke of his great character, commitment, passion and love of the job in serving the public. Sheriff Thompson receives compliments about Deputy Day on a regular basis and said that he is a great example of the fine employees in the county. The commissioners presented Deputy Day with \$100, a Seal of Service Pin and a plaque. Commissioner Zogmaister stated that Deputy Day always has a smile and a great attitude and that he is very diligent in his work. Commissioner Bell offered an experience he had (when he was new with the Sheriff's Office) with Deputy Day that spoke to the Deputy's commitment and tenacity to protect the public.

2. PROCLAMATION DECLARING SEPTEMBER 2014 AS CHILDHOOD CANCER AWARENESS MONTH IN WEBER COUNTY

Chair Gibson read the proclamation, which reports that cancer is the leading cause of death among children between infancy and age 15 in the U.S. according to the American Cancer Fund and Kids Cancer Connection. We need to continue to do all we can to help in spreading awareness, prevention and finding a cure for this terrible disease.

CONSENT ITEMS:

- 1. Purchase orders for \$223,571.71
- 2. Warrants #313204 - #313352 for \$390,916.02
- 3. Minutes for the meetings held on August 26 and September 2, 2014
- 4. Amend UDOT Cooperative Agreement Project No. S-0108(30)11, Midland Drive – Contract C2014-188
- 5. Amend UDOT Cooperative Agreement Project No. F-0037(12)10 & S-0108(30)11, 4000 South – Contract C2014-189

Commissioner Bell moved to approve the consent items; Commissioner Zogmaister seconded, all voting aye.

E. ACTION ITEMS:

- 1. **FINAL APPROVAL OF THE CHALETS AT SKI LAKE PHASE 7 (14 LOTS) INCLUDING A FINANCIAL GUARANTEE FOR SUBDIVISION IMPROVEMENTS IN THE AMOUNT OF \$358,877.57**

Jim Gentry, of the County Planning Division, stated that the Planning Commission unanimously recommended approval of this item. He addressed Commissioner Zogmaister's question stating that there is one more phase after this one.

Commissioner Zogmaister moved to grant final approval of the Chalets at Ski Lake Phase 7 (14 lots) including the \$358,877.57 financial guarantee; Commissioner Bell seconded, all voting aye.

2. FINAL APPROVAL OF A CONDOMINIUM PLAT FOR EDGEWATER BEACH RESORT PHASE 1 – 1ST AMENDMENT PRUD, AND ACCEPTANCE OF A FINANCIAL GUARANTEE OF \$576,872.84 FOR SUBDIVISION IMPROVEMENTS

A representative of the contractor was present and he was invited to comment if he wished, but he did not. Ben Hatfield, of the County Planning Division, stated that this is a multi-year project (ongoing since about 2002) and contains multi-uses. In 2012 the P.R.U.D. project was redesigned and went before the County and Planning Commissions for approvals. In 2013 the vacation of 6300 East was approved and with the recording of this Phase I the vacation will occur. Planning staff and the Planning Commission recommend approval of this item.

Commissioner Bell moved to grant final approval of the condominium plat for Edgewater Beach Resort Phase 1 – 1st Amendment PRUD and the \$576,872.84 financial guarantee; Commissioner Zogmaister seconded, all voting aye.

3. INTERLOCAL AGREEMENT WITH NORTH OGDEN CITY DESIGNATING THE CITY AS THE LAND USE APPROVAL AUTHORITY FOR PROPERTY LOCATED IN UNINCORPORATED WEBER COUNTY AT 150 EAST LOMOND VIEW DRIVE – CONTRACT C2014-190

Sean Wilkinson, County Planning Division Director, stated that this is the third similar agreement this year with the city, which has been annexing small pieces of existing islands. There is a home currently under construction on the subject property. The city will be collecting related fees, conducting inspections, etc. Rick Scadden, property owner, stated that the city is requiring annexation in order for him to obtain services for the property.

Commissioner Zogmaister moved to approve Contract C2014-190, Interlocal Agreement with North Ogden City designating the city as the land use approval authority for property located in unincorporated Weber County at 150 East Lomond View Drive; Commissioner Bell seconded, all voting aye.

G. ASSIGN PLEDGE OF ALLEGIANCE & THOUGHT OF THE DAY FOR TUES., SEPTEMBER 16, 2014, 10 A.M.

H. PUBLIC COMMENTS: None

I. CLOSED EXECUTIVE SESSION TO DISCUSS STRATEGY RELATING IMMINENT OR PENDING LITIGATION

Commissioner Zogmaister moved to convene a closed executive session to discuss strategy relating imminent or pending litigation; Commissioner Bell seconded.

Roll Call Vote:

Commissioner Bell..... aye
Commissioner Zogmaister aye
Chair Gibson aye

There was no action on the closed executive session.

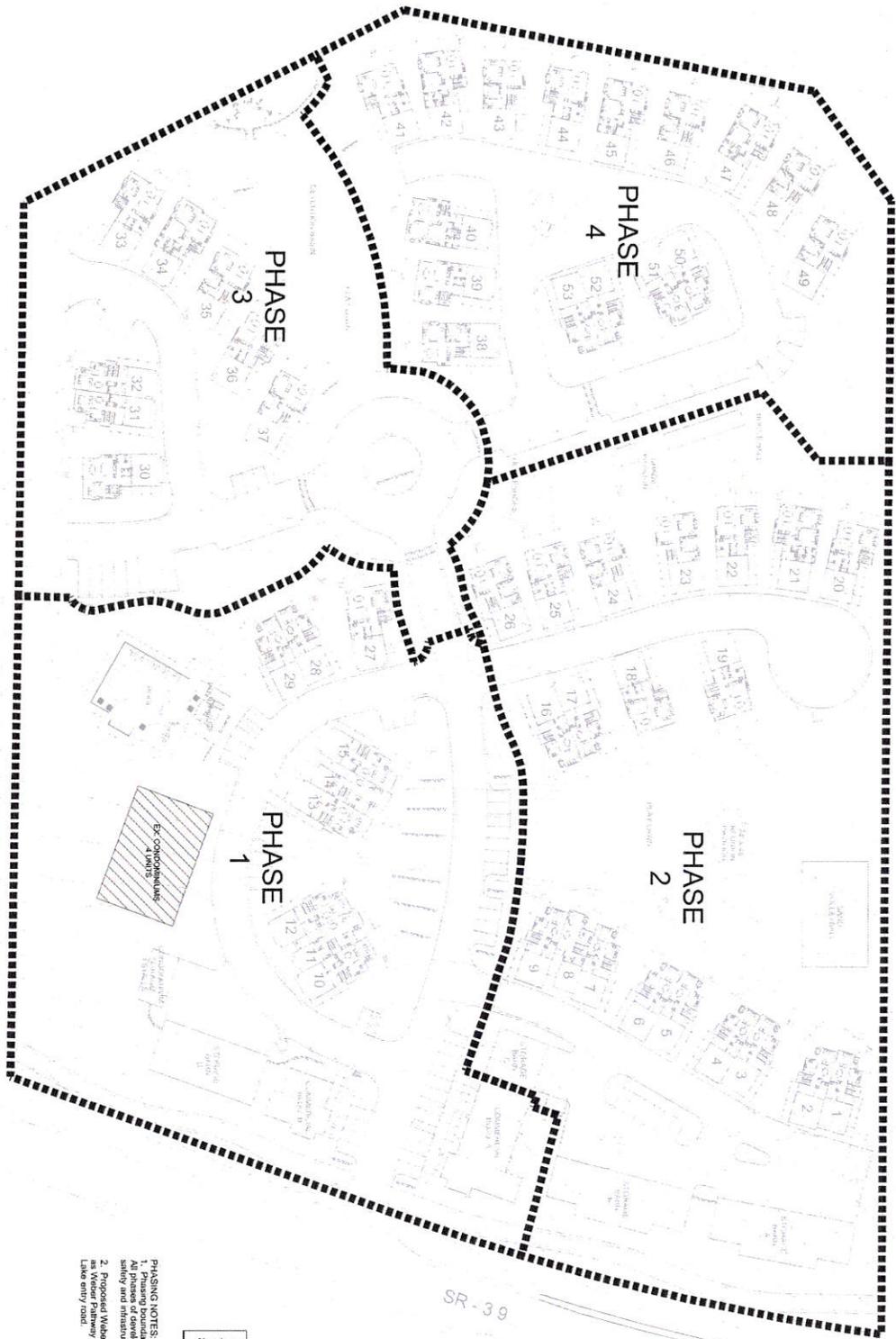
J. ADJOURN

Commissioner Bell moved to adjourn at 10:47 a.m.; Commissioner Zogmaister seconded, all voting aye.

Attest:

Kerry W. Gibson, Chair
Weber County Commission

Ricky D. Hatch, CPA
Weber County Clerk/Auditor



PHASING NOTES:
 1. Phasing boundaries are approximate and may be adjusted per market conditions. As phasing of development will be constructed to provide minimum standards for the safety and infrastructure requirements.
 2. Proposed Weber Pathways trail within the project boundary may be constructed as Weber Pathway funds are available to complete the trail connection to the SR116 entry gate.

NOTES:
 1. IF LAND OBTAIN REQUIRED BY GEOTECH
 2. ALL STRUCTURES REQUIRE FIRE SPROINKLER SYSTEM TO BE INSTALLED.

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SHEET
S1.2

PHASING PLAN
 PROJECT # 111
 DATE: 10/20/12
 TITLE

LANGVARDT
 ARCHITECTS
 1010 UNIVERSITY AVENUE
 SUITE 100
 HUNTSVILLE, AL 35894

REV. DATE

EDGEWATER ESTATES
 HUNTSVILLE, UTAH

BERTOLDI ARCHITECTS
 ARCHITECTURE • PLANNING • INTERIORS
 2726 HARRISON BLVD. OGDEN, UT PH. 801.476.4330



LANDSCAPE PLAN
SHEET 1



EDGEWATER

PHASE 1

WEBER COUNTY, UTAH



DATE:	AUGUST 26, 2015
PROJECT:	000-000000
DRAWN BY:	EL
REVIEW BY:	EL
VERSION:	PHASE 1
REVISIONS:	

SHEET TITLE
OVERALL
LANDSCAPE PLAN
SHEET NUMBER
L1.0



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a conditional use permit for a condominium project (Pine Canyon Lodge) in the CVR-1 Zone, including lockout rooms and an average building height of 46 feet.

Agenda Date: Tuesday, March 24, 2015

Applicant: Skyline Mountain Base, LLC

File Number: CUP2014-29

Property Information

Approximate Address: 3567 Nordic Valley Way Eden, UT 84310

Project Area: Approximately 3.2 acres

Zoning: CVR-1/FV-3

Existing Land Use: Ski Resort and Recreation area

Proposed Land Use: Ski Resort and Recreation area

Parcel ID: 22-023-0086

Township, Range, Section: T7N, R1E, Section 29

Adjacent Land Use

North: Forest Residential and Agricultural	South: Forest Residential
East: Forest Residential and Open Space	West: Ski Resort and Private Campground

Staff Information

Report Presenter: **Ronda Kippen**
rkippen@co.weber.ut.us
801-399-8768

Report Reviewer: SW

Type of Decision

When the Planning Commission is acting as a land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are conditional use permits, design reviews, flag-lots, and subdivisions. Administrative applications must be approved by the Planning Commission if the application demonstrates compliance with the approval criteria.

Background

The request for approval of a conditional use permit for a condominium project consisting of 54 condominium units and 54 lockout rooms with an average building height of 54 feet was presented during the December 2, 2014 Ogden Valley Planning Commission meeting. After receiving public comment on the item, and followed by discussion from the Planning Commission, the request was tabled by the Ogden Valley Planning Commission with direction given to the applicant and staff for the additional needed information.

The request was brought back to the Ogden Valley Planning Commission on January 6, 2015. After receiving additional public comment on the item, and followed by discussion from the applicant and the Planning Commission, the applicant requested the item to be tabled to allow for the redesign of the condominium project in an attempt to address the concerns of the Planning Commission as well as the affected property owners.

Summary

The owners of Nordic Valley Ski Resort, located at 3567 East Nordic Valley Drive, are requesting approval of a conditional use permit for a condominium project consisting of 54 units with 54 lockout rooms. The proposed condominium project is conditionally allowed as a "Condominium rental apartment, including lockout rooms" in the Commercial Valley Resort Recreation (CVR-1) Zone per the Uniform Land Use Code of Weber County, Utah (LUC) §104-11-4. The applicant is requesting as part of the conditional use permit, an average building height of 46 feet as conditionally allowed in the CVR-1 Zone per LUC §104-11-4 and defined by the LUC §101-1-7.

The applicant received approval for the first stage of a transitional process of the ski resort in September of last year. If the Planning Commission approves the request for a condominium project and the requested building height, the applicant will begin the process for a condominium subdivision as required in the LUC §106-3.

Conditional use permits should be approved as long as any harmful impacts can be mitigated. The LUC already specifies certain standards necessary for mitigation of harmful impacts to which the proposal must adhere. To ensure that the natural environment is preserved to the greatest possible extent, the Planning Commission, subject to the reviews and recommendations of the required public agencies, must review and approve the general site and architectural design of the building, the layout of the parking areas and the landscaping.

The following analysis will address the redesigned condominium project conformance to the Ogden Valley General Plan and the LUC. The evaluation of the request will highlight the applicable changes from the initial design and the new design being forwarded for consideration and action.

Analysis

General Plan: The proposal conforms to the Ogden Valley General Plan by “preserving the Valley’s rural character” in the following ways:

- Protecting Sensitive Lands (*page 9-12 of the Ogden Valley General Plan*):
 - The proposed location of the structure is away from steep or unstable slopes.
 - The proposed location is not along a “prominent ridgeline”.
 - The proposed location is outside of the “Important Wildlife Habitat Areas”.
 - The proposal is not visible from the designated “Scenic and Entry Corridor”.
 - The proposed location meets the adopted requirements pertaining to stream corridors, wetlands and shorelines.
- Encouraging commercial development in the Ogden Valley within established commercial areas by developing commercial “nodes” within existing communities rather than commercial “strips” along major thoroughfares. The County also supports the continued development of resort-related commercial areas (*page 13 of the Ogden Valley General Plan*).
- The Ogden Valley General Plan Recreation Element identifies the development potential of the Nordic Valley Resort as well as the “need for a variety of progressive resort developments” in the Ogden Valley. The recommended policies throughout the Recreation Element are to “encourage quality resort and recreation development”, support nodal development as opposed to sprawl development in an effort to “protect as much open space as possible” and “encourage existing resorts to expand in order to generate economic benefits for Weber County as well as to pull densities from other parts of the Ogden Valley into the expanded resort. The result would be development concentrated in the expanded resorts with other areas left permanently undeveloped across Ogden Valley.” (*See pages 40-44, 61-67, 115-118, 152-160 of the Ogden Valley General Plan Recreation Element Oct 2005*).

Zoning: The intent and purpose of the CVR-1 Zone per the LUC §104-11-1 is:

“(a) The purpose of this zone is to provide locations in the Ogden Valley and at major recreation resort areas, where service facilities and goods normally required by the public in the pursuit of general recreation activities can be obtained.”

The CVR-1 Zone allows for condominium rental apartments, including lockout rooms. A condominium rental apartment has been defined in the LUC §101-1-7 as:

“Condominium rental apartment (condo-tel): The term “condominium rental apartment (condo-tel)” means a condominium residential project in which the units, when not occupied by the owner, may be placed in a management rental pool for rent as transient living quarters similar to a motel operation. Because of the transient rental characteristics, a condominium rental apartment is classified as a use category separate and distinct from a condominium dwelling unit.”

The CVR-1 Zone has specific standards identified in the LUC §104-11-6 that shall be met as part of the development process. Those standards are as follows:

- Minimum lot area: 2.5 acre site, with the following minimum area requirement for uses within that site:
 - Condominium rental apartments require, per building, 7,500 square feet of net developable area plus 2,000 square feet of net developable area for each dwelling unit in excess of two dwelling units.
 - Lockout sleeping room, 500 square feet.

- Other uses: none.
- Minimum lot width: 150 feet minimum frontage.
- Minimum yard setbacks:
 - Front: 30 feet minimum.
 - Side: 20 feet minimum, except as otherwise required by this or any other county ordinance.
 - Rear: 20 feet minimum, except as otherwise required by this or any other county ordinance.
- Building height: Conditional use permit is required if over 25 feet in height.

Lot area, lot width, and yard setbacks: The subject property will be divided as part of the platting process required for condominium projects and will consist of approximately 3.2 acres. The acreage requirement has been established by the CVR-1 Zone which requires 7,500 square feet for the first 2 units, 2,000 square feet for each additional unit and 500 square feet for each lock-out room. The proposal adheres to the required lot area, lot width and setbacks.

Building height: In order to reduce the buildings footprint the applicant initially requested an average building height of 54 feet; however, after receiving direction from the Planning Commission as well as input from the affected property owners, the applicant has redesigned the building. The redesign has allocated approximately half of the parking outside and modified the building layout to locate the majority of the height toward the rear of the building instead of along the public right of way. The redesign is an attempt to satisfy the Planning Commission's desire to soften the effect of the proposed structure (see Exhibit A). The visual impact and height of the condominium project are considerations of the Planning Commission and will require approval.

The revised request is for consideration of an average building height of 46 feet, which is allowed by a conditional use permit and defined in the LUC §101-1-7 as:

"Building, height of: The term "height of building" means the vertical distance from the average of the highest natural grade and the lowest natural grade to the highest point of the coping of a flat roof, or to the deck line of a mansard roof, or to the highest point of the ridge of a pitch or hip roof."

The applicant's requested average building height of 46 feet is based on measurements ranging from the highest natural grade line on the North Elevation (71'11") and lowest natural grade line on the South Elevation (20'7") as measured to the highest point on the roof line (see Exhibit B-1 & B-2 (A201)). In reviewing the proposal, an overall average building height measured from the highest and lowest natural grade line to the highest point on the roof line, using the combined measurements from all elevations provided, is 45'4" and has been verified by both the architect and County staff.

In comparison to the initial request by the applicant for an average building height of 54', a range from 44' at the lowest natural grade to 64' at highest point of the building as measured along Nordic Valley Way was utilized due to this area being considered the most impactful to the surrounding property owners; however based on an overall range from 12'9" at the lowest natural grade to 64' the at highest point of the building, an initial overall average was determined by staff to be 45'5"(see Exhibit B-3).

Based on these comparisons, the actual average building height has technically not been reduced; however, the applicant has adequately addressed the concerns of the Planning Commission and the public by moving the majority of the height away from the Nordic Valley Way corridor. The new proposal reflects a reduced average building height along Nordic Valley Way of approximately 10', measuring 44'6" with ranges from 38' 9" at the lowest natural grade to 50' at the highest point of the building.

The actual building height as measured from the new finished grade ranges from 34'4" at the lowest point to 78'2" at the highest point of the building (see Exhibit C-2 (A201)). The initial request reflected an actual building height as measured from the finished grade ranging from 26' at the lowest point to 71' at the highest point of the building (see Exhibit B-3).

Additional design standards: The CVR-1 Zone also requires additional design standards including a minimum of ten percent commercial uses other than the condominium rental apartments per LUC §104-11-5. The commercial amenities that have been proposed include office space, retail and restaurant located on the lower level (see Exhibit C-2 (A101)). These amenities will provide 11,778 sq. ft. of commercial use, meeting the required ten percent.

In approving the site plan, the Planning Commission will need to find that the proposed building and uses are sized in proportion to the recreational amenities for which they will provide goods and services.

Conditional Use Review: The proposed uses are conditionally allowed in the CVR-1 Zone. A review process has been outlined in LUC §108-4-3 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental

effects. As a requirement of the conditional use permit, the applicant has provided a "Will-Serve Letter" from Nordic Mountain Water Inc. (see Exhibit E) for water services and a "Will-Serve Letter" from Wolf Creek Water and Sewer Improvement District (see Exhibit F) for the waste disposal. The applicant has provided the required material to facilitate a review of the proposed project including grading, drainage, and a geotechnical report.

The Engineering Division reviewed the initial civil engineering drawings and conditionally approved the proposal. The most recent proposal is in the process of being reviewed by the Engineering Division and is anticipated to receive a conditional approval based on more detailed plans to be provided with the required subdivision process. As part of this process, the recommendations that have been identified in the Geotechnical Report will need to be identified on the subdivision plans and followed throughout the development of the site.

The Weber Fire District reviewed the initial proposal and conditionally approved the proposal. As with the Engineering Division, a new review is in process with the conditional approval based on more detailed plans to be provided with the required subdivision process.

A condition of approval has been made part of the Planning Division's recommendations to ensure that any conditions of the Engineering Division and Weber Fire District are strictly adhered to.

Design Review: The CVR-1 Zone and the proposed conditional use, mandates a design review as outlined in the LUC §108-1 to ensure that the general layout and appearance of the building shall not impair the orderly and harmonious development of the neighborhood nor impair investment in and occupation of the neighborhood. Additional design reviews may be required as the commercial uses within the development are identified to ensure that adequate parking as required by the LUC §108-8 is available and that any proposed signage conforms to the LUC §110-2. As part of this review, the Planning Commission shall consider the applicable matters based on the proposed conditional use and impose conditions to mitigate deficiencies where the plan is found deficient. The matters for consideration are as follows:

1) *Considerations relating to traffic safety and traffic congestion.* The proposal includes improvements for the widening of the existing abutting street together with sidewalk, curb and gutter and adequate drive approaches for the ingress and egress to the site and the building along Nordic Valley Way. The applicant has provided 121 parking spaces on the site plan, of which 62 parking spaces are provided as underground parking. The underground parking has been reduced to allow for the reduction in building height. Parking requirements for the future uses of the development will be evaluated as part of the required design review process for the new commercial uses. The underground parking will provide adequate parking for the 106 sleeping units in the building per LUC §108-8-4 which requires one space per two sleeping units. This determination is based on the transient nature of the condo-tel that is defined in the LUC §101-1-7 as:

"... Because of the transient rental characteristics, a condominium rental apartment is classified as a use category separate and distinct from a condominium dwelling unit."

Due to the distinct separation of the condo-tel from a condominium dwelling unit, the standards of LUC§108-8-2 do not apply here as earlier thought. The additional requirements for the commercial parking are being proposed as part of the additional 59 outdoor parking stalls located in the future storm detention area (see Exhibit C-1 & C-2 (AS101 & A101)) as permitted by LUC §108-8-7(a) which states:

"Parking space location: Parking space(s) as required by this chapter shall be on the same lot with the main building or, in the case of buildings other than dwellings, may be located no farther than 500 feet therefrom."

It appears that all the proposed parking meets the parking standards as outlined in LUC §108-8-7(c) as well as the surface lighting of the off street parking as outlined in LUC §108-2-6 & §108-16.

2) *Considerations relating to outdoor advertising.* The applicant received approval for a monument sign as allowed in LUC §110-2-5 in September of this year. As part of the review, the Planning Division took into consideration the architectural renderings including the location, color, lighting and size of the monument sign for the ski resort. The location of the monument sign has been identified on the site plan as #15 on sheet AS101 (also identified as Exhibit C-1).

3) *Considerations relating to landscaping, screening and buffering.* The applicant has been able to adequately address the minimum landscaping requirements of the Design Review as outlined in LUC §108-1-4(3) and the Ogden Valley Architectural, Landscape and Screening Design Standards as outlined in LUC §108-2-5 and §108-2-9 (see Exhibit G (L101 & L102)) as well as adequate screening of the trash dumpster and all outdoor parking.

When long expanses of building walls and other barriers are part of a proposal as they are with this application, taller trees can be required as part of the landscaping plan to create a softening effect as allowed in LUC §108-2-5(j)(4). If the Planning Commission feels additional landscaping, screening and buffering measures need to be implemented; a specific condition of approval will need to be added.

4) *Considerations relating to buildings and site layout.* The following percentages have been calculated based on the proposed final lot size of 3.2 acres. The proposed condominium project will have an area footprint of 35,213 sq. ft.; which is a reduction of 18,790 sq. ft. from the initial design of 54,003 sq. ft. This decrease is due to the reduction in the underground parking area and the removal of the outdoor pool and plaza area. The footprint will cover 24.5% of the final site; a reduction of 13.5% from the initial design coverage of 38% of the final site. The hard surface paving will cover 18.6% which is a 13.6% increase from the initial proposal of 5% hard surface paving. The landscaping will cover 56.8% which is a minor decrease from the initial proposal 57% of the final site (see Exhibit C-1 (AS101)).

The proposed building has an exterior finish consisting of predominantly natural, muted earth tone colors of hardi-plank batten board, hardi-board tongue and groove, stone veneer, timber and asphalt/metal roofing materials. The metal roof areas, aluminum windows and glass store front must be non-reflective. The proposed colors for the external surfaces are found on sheet A201 (see Exhibit B-1) and identified as follows:

1. "Driftwood" Asphalt Shingles
2. "Earthen Jug" Hardi-Plank Batten Board
3. "Dark Bronze" Standing Seam Metal Roof
4. "Cottonwood" Stone Veneer
5. "Cinnamon" Stained Timber
6. "Coconut Husk" Hardi-Board T&G Beveled
7. "Dark Bronze" Flashing

The exterior lighting will consist of one 20' parking lot light pole (277 V., 10,000 lumens) located at the underground parking entrance and multiple 42" high light bollard area lights (277 V., 1,000 lumens @ 15.5 watts) located along the improved pathways around the building (see Exhibit C-1 (AS101)). The proposed outdoor lighting must be partially or fully shielded as required in LUC §108-16 in order to comply with the Ogden Valley Lighting requirements. As part of the redesigned building, there has been a sizable reduction in windows and window size in an attempt to protect the night sky from interior light pollution. If the Planning Commission feels that additional measures need to be taken to ensure adequate protection of the night sky, a condition of approval will need to be added.

The building and site layout have been reviewed against the design criteria of the CVR-1 Zone in the LUC §104-11, the Design Review in the LUC §108-1, and the Ogden Valley Architectural, Landscape and Screening Design Standards in the LUC §108-2-4. It appears that the proposal meets the minimum requirements of the applicable areas of the Uniform Land Use Code of Weber County.

5) *Considerations relating to utility easements, drainage, and other engineering questions.* The applicant has provided civil engineered drawings (see Exhibit D) that identify the existing and proposed topography, contour lines, utilities, easements and drainage. The applicant will need to adhere to all conditions of the Engineering Division including but not limited to easements and utilities to and through the property, site improvements and storm water drainage including retention facilities by providing more detailed drawings as part of the subdivision process.

6) *Considerations relating to prior development concept plan approval associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval.* The Planning Division is unaware of prior development conceptual plans as part of any rezoning agreement that may have been approved for the subject property by Weber County; therefore, considerations pertaining to this portion of the code are not applicable at this time.

Public Notice: To ensure adequate time has been allotted to the affected property owners, a third series of notices have been mailed out to all property owners within 500 feet of the subject property on March 17, 2015 for the March 24, 2015 Ogden Valley Planning Commission meeting.

Summary of Planning Commission Considerations

LUC §108-4-4 states:

“Conditional Uses shall be approved on a case-by case basis. The planning commission shall not authorize a conditional use permit unless evidence is present to establish:

- 1. Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke or noise.*
- 2. That the proposed use will comply with the regulations and conditions specified in the Land Use Code and other applicable agency standards of use.”*

The Planning Commission will need to determine if the proposed condominium project meets the requirements of the applicable Uniform Land Use Code of Weber County. The Planning Commission may impose additional conditions in order to ensure full compliance with the required standards. In making a decision, the Planning Commission should consider the following questions:

- Are the proposed building and uses sized in proportion to the recreational amenities for which they will provide goods and services?
- Could the additional height of the condominium project be harmful to the adjacent property owners? If yes, what conditions could be put in place to mitigate detrimental effects?
- Does the submittal meet the architectural detail standards required by LUC §108-1 & §108-2? If no, then what conditions/architectural details could be added in order to comply?
- Does additional landscaping and screening need to be implemented to add a softening effect to the structure in order to fully comply with the requirements of LUC §108-1 (Design Review) and §108-2 (Ogden Valley Architectural Standards)?
- Have the “Criteria for Issuance of Conditional Use Permit” and other applicable ordinances been met?

Staff Recommendation

The Planning Division recommends approval of file# CUP 2014-29, a conditional use permit request for a 54 unit condominium with 54 lockout rooms and an average building height of 46 feet as conditionally allowed in the CVR-1 Zone for the property located at 3567 E Nordic Valley Way, Eden. This recommendation for approval is subject to all review agency requirements and with the following conditions:

1. The conditional use permit will be contingent on the approval and recordation of a condominium subdivision plat.
2. The maximum average height as measured from the natural existing grade to the highest point on the roof line shall not exceed 46’.
3. All windows, glass store fronts and metal roof areas will consist of non-reflective material.
4. Adequate shielding of all outdoor lighting will be provided in order to conform to LUC §108-16 pertaining to the Ogden Valley Lighting sky requirements.
5. Minor site plan alterations may be approved by the Planning Director but none so much that will surpass the approvals made by the Planning Commission.
6. Requirements of the Weber County Building Division.
7. Requirements and recommendations of the Weber Fire District.
8. Requirements of the Weber County Engineering Division.
9. Requirements of the Weber-Morgan Health Department.

This recommendation is based on the following findings:

1. The proposed use conforms to the goals, objectives and policies of the Ogden Valley General Plan.
2. The proposed use, if conditions are imposed, will comply with applicable County ordinances.
3. The proposed building and uses are proportionately sized to the recreational amenities for which they provide goods and services.
4. The additional building height will allow for a smaller building footprint, reducing storm runoff and overall soil disturbance.
5. The proposed use, if conditions are imposed, will not be detrimental to the public health, safety, or welfare.

Exhibits

- A. Original/revised building comparison
- B. Architectural Elevations
 - 1. A201 (Architectural Renderings)
 - 2. A201 (Exterior Building Elevations)
 - 3. Original Elevations
- C. Architectural Site Plan
 - 1. AS101 (Site Plan)
 - 2. A101 (Lower Level Floor Plan & Parking)
 - 3. A102 (Second Level Floor Plan)
 - 4. A103 (Third Level Floor Plan)
 - 5. A104 (Fourth Level Floor Plan)
 - 6. A105 (Fifth Level Floor Plan)
 - 7. A106 (Sixth Level Floor Plan)
- D. Civil Drawings
- E. Culinary Water Will-Serve Letter
- F. Sanitary Will-Serve Letter
- G. Landscape & Irrigation Plans

Map 1



Map 2

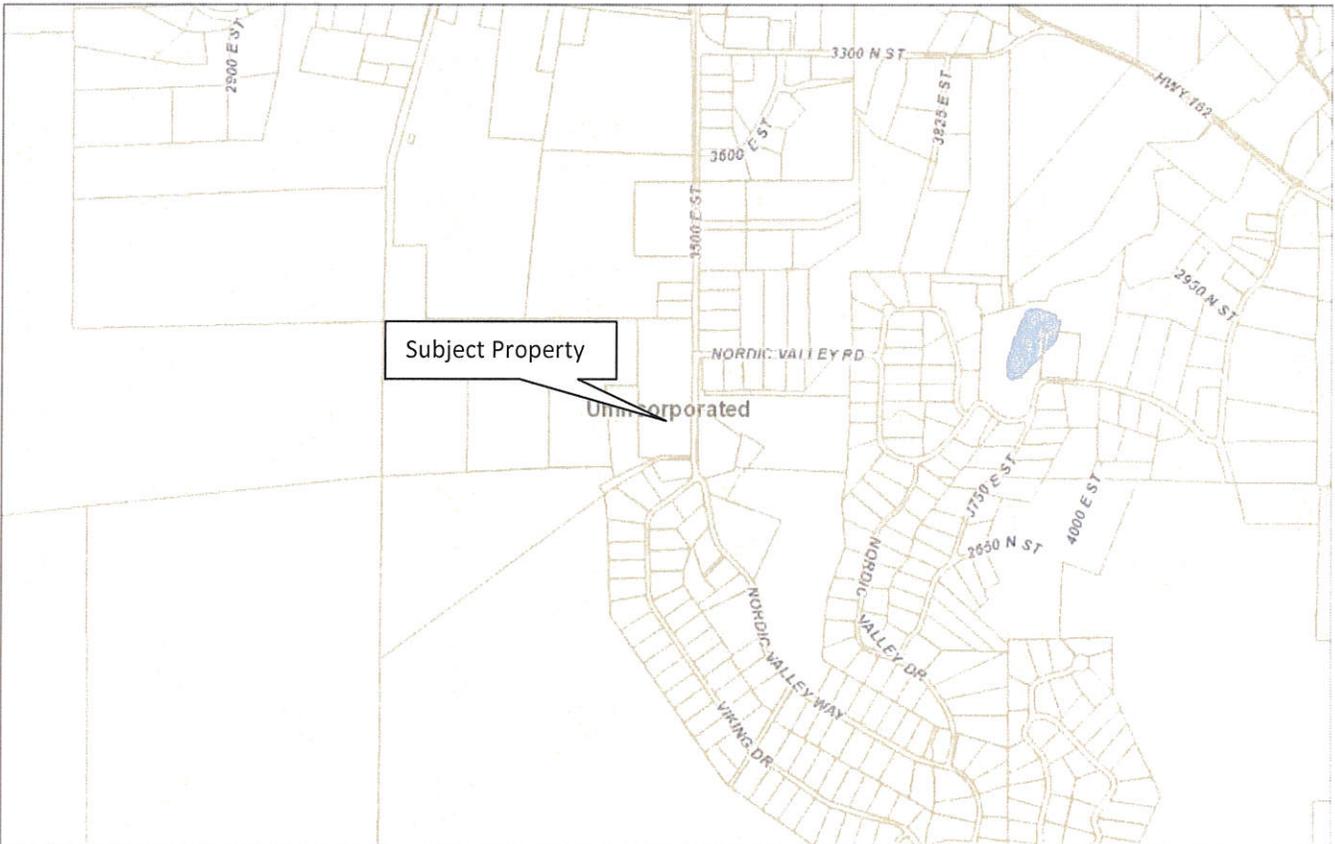
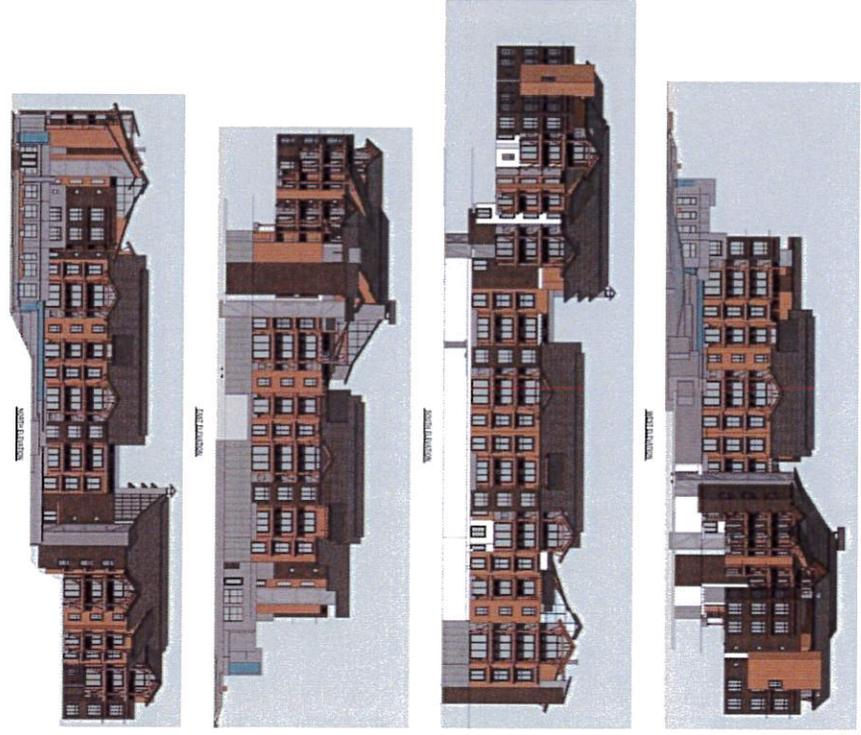


Exhibit A- Original/Revised Building Comparison

Original Proposal



Revised Proposal

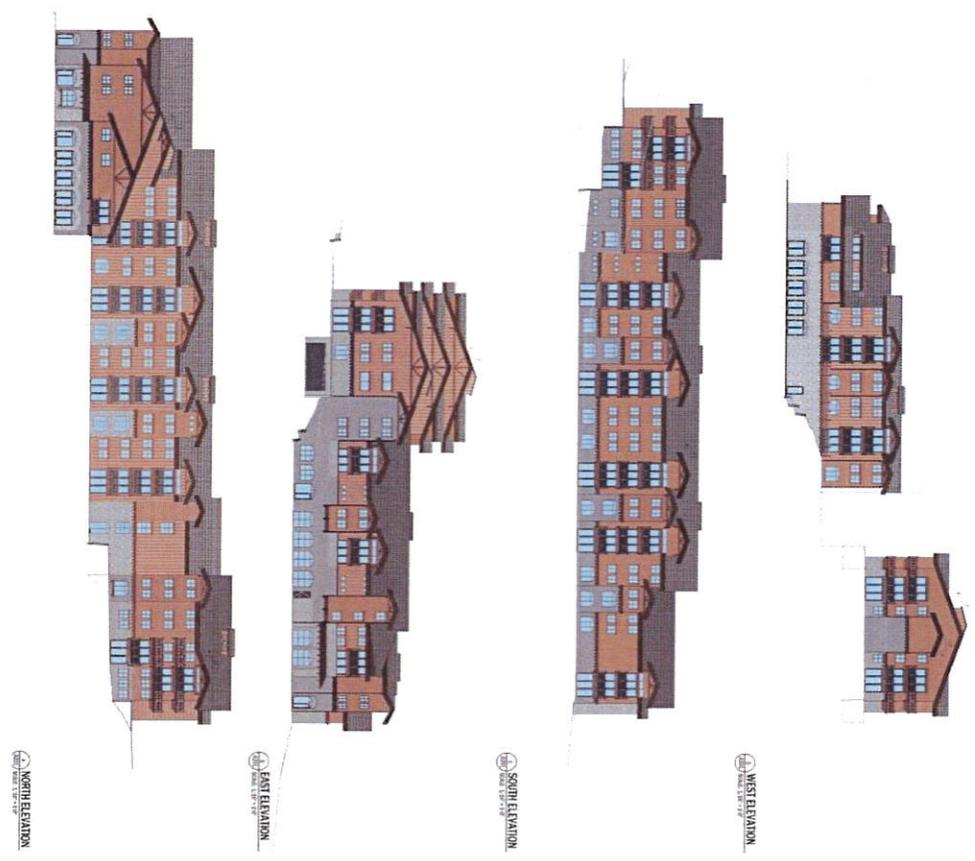
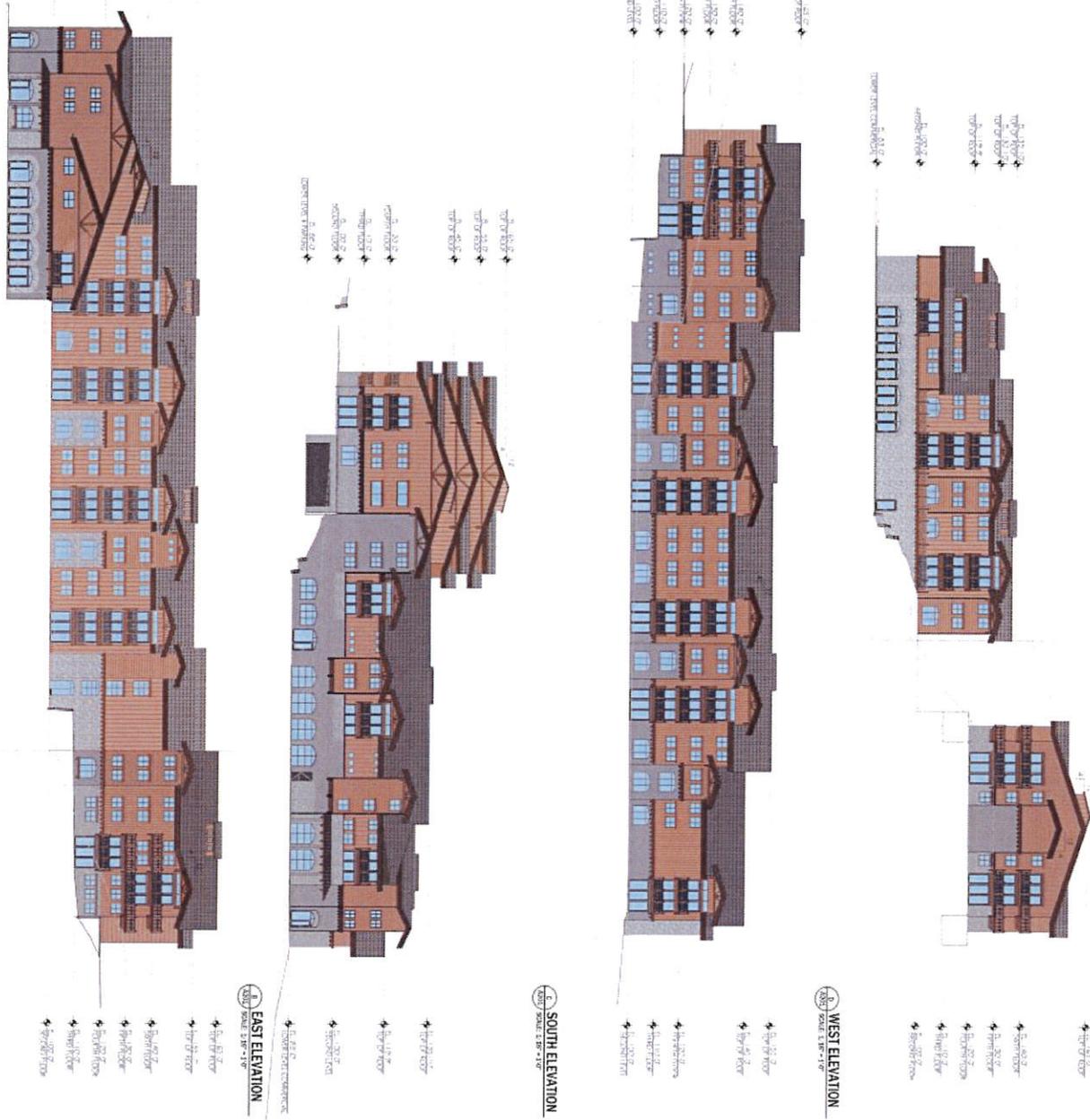


Exhibit B-1 Architectural Renderings



- ELEVATION KEYNOTES:**
1. FINISH MATERIALS
 2. WINDOW SCHEDULE
 3. DOOR SCHEDULE
 4. ALUMINUM WINDOWING
 5. ALUMINUM DOORING
 6. ALUMINUM CURTAIN WALL
 7. ALUMINUM GLAZING
 8. ALUMINUM GLAZING
 9. ALUMINUM GLAZING
 10. ALUMINUM GLAZING
 11. ALUMINUM GLAZING
 12. ALUMINUM GLAZING

AVENUE HEIGHT ABOVE FINISH GRADE	AVENUE HEIGHT ABOVE FINISH GRADE
WEST	3'-0"
SOUTH	4'-0"
EAST	4'-0"
NORTH	4'-0"
TOTAL	4'-0"

EXTERIOR FINISH MATERIALS

AVENUE	FINISH MATERIAL	FINISH MATERIAL
WEST	BRICK	BRICK
SOUTH	BRICK	BRICK
EAST	BRICK	BRICK
NORTH	BRICK	BRICK

OWNER: PINE CANYON LODGE
PROJECT: PINE VALLEY CONDOMINIUMS
LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310

DATE: 11/14

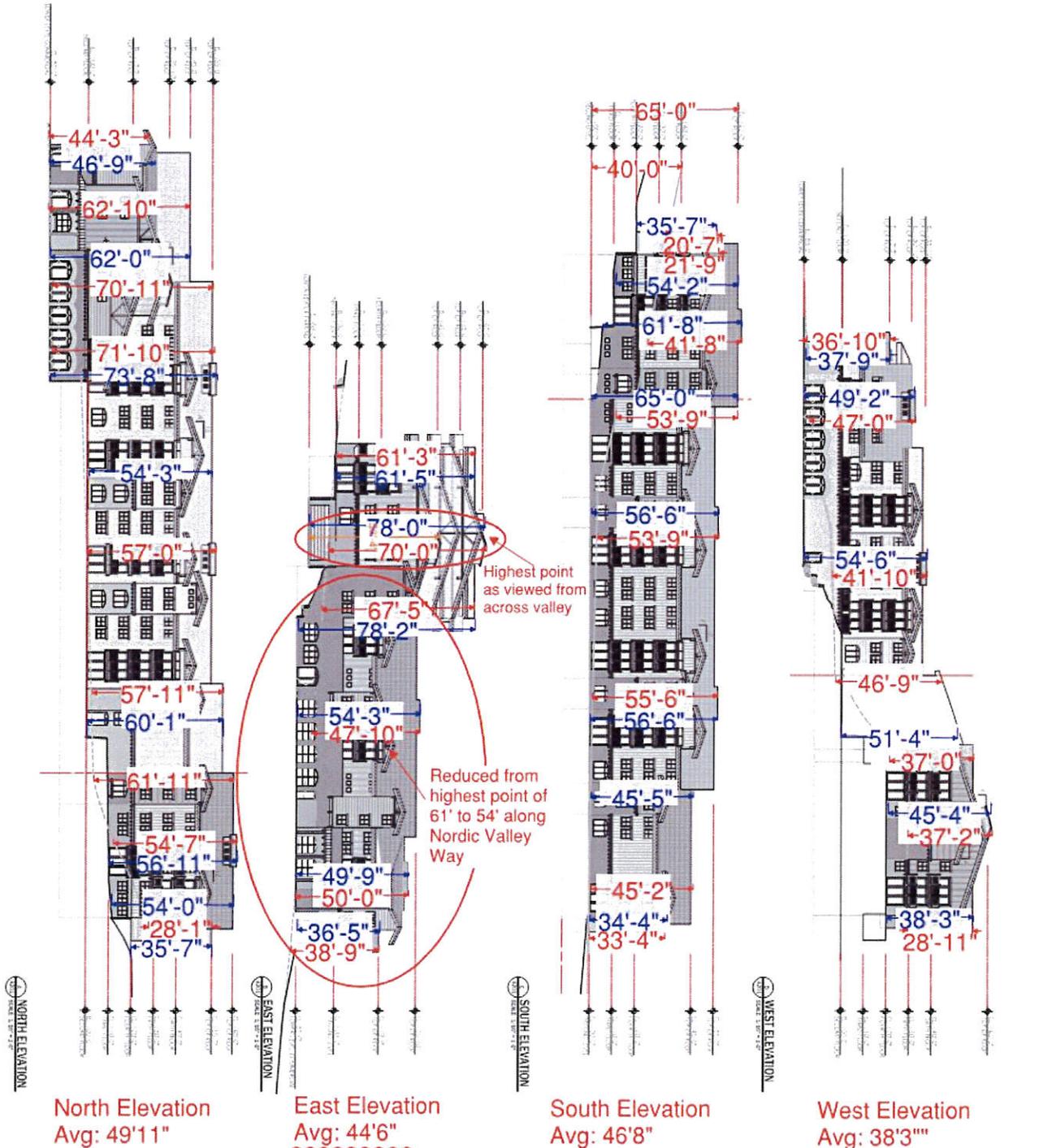
SHEET NUMBER: A201

EXTERIOR BUILDING ELEVATIONS

PROJECT NUMBER: 11/14

DATE: 11/14

Exhibit B-2 Exterior Building Elevations



North Elevation
Avg: 49'11"

East Elevation
Avg: 44'6"

South Elevation
Avg: 46'8"

West Elevation
Avg: 38'3"

NO.	DESCRIPTION	DATE	BY	CHECKED
1	PREPARED FOR PINE CANYON LODGE			
2	REVISED TO REFLECT COMMENTS			
3	REVISED TO REFLECT COMMENTS			
4	REVISED TO REFLECT COMMENTS			
5	REVISED TO REFLECT COMMENTS			
6	REVISED TO REFLECT COMMENTS			
7	REVISED TO REFLECT COMMENTS			
8	REVISED TO REFLECT COMMENTS			
9	REVISED TO REFLECT COMMENTS			
10	REVISED TO REFLECT COMMENTS			

*Existing Grade Average Height: 45'4"
*Finished Grade Average Height: 51'11"

ELEVATION NOTES

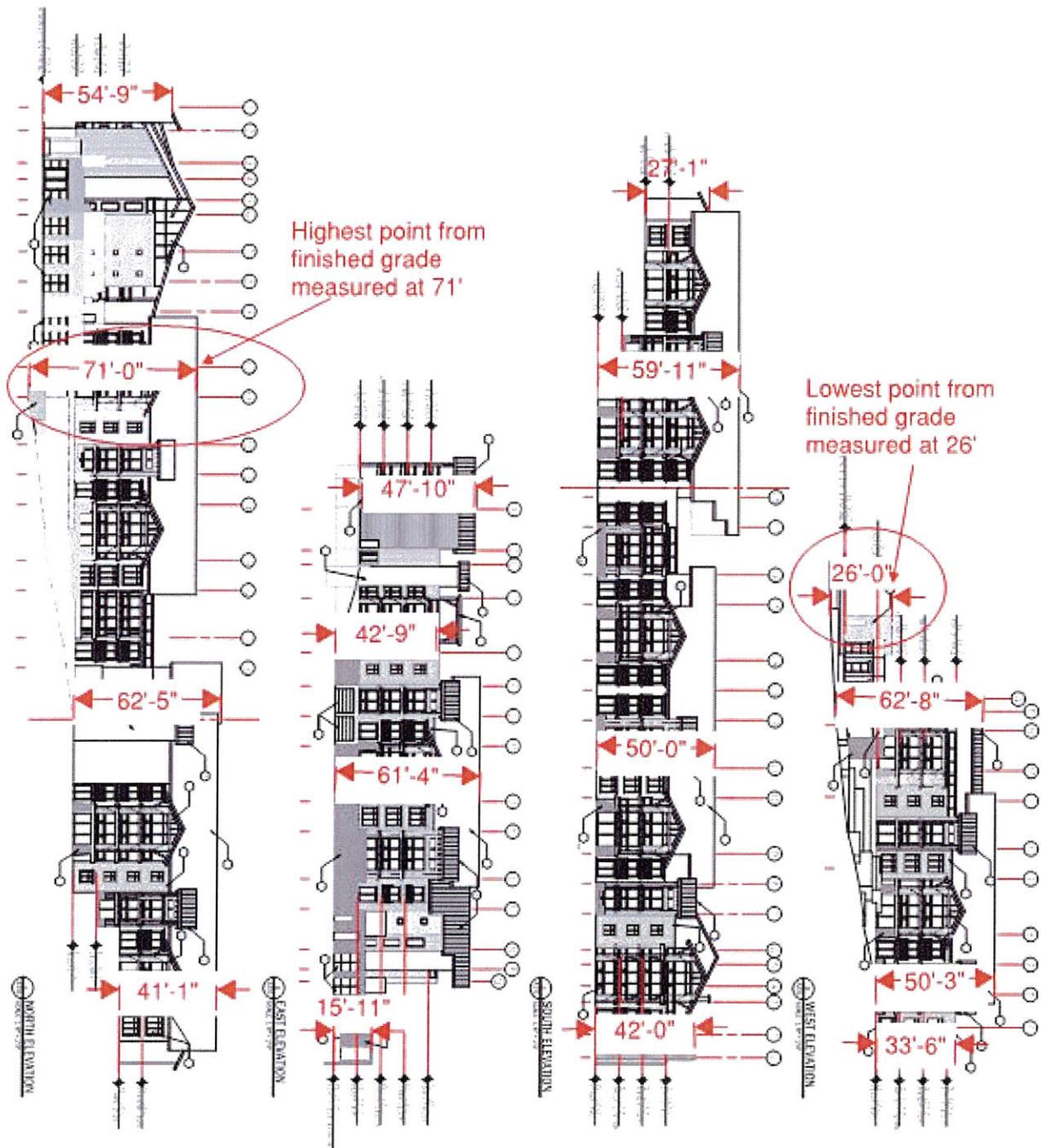
OWNER: PINE CANYON LODGE
PROJECT: PINE VALLEY CONDOMINIUMS
LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310

DATE: 8.13.18
SHEET NUMBER: A201

EXTERIOR BUILDING ELEVATIONS

QvarZahn Architects. This drawing shall not be reproduced without consent of QvarZahn Architects, nor shall it be used for any project other than the originally intended project.

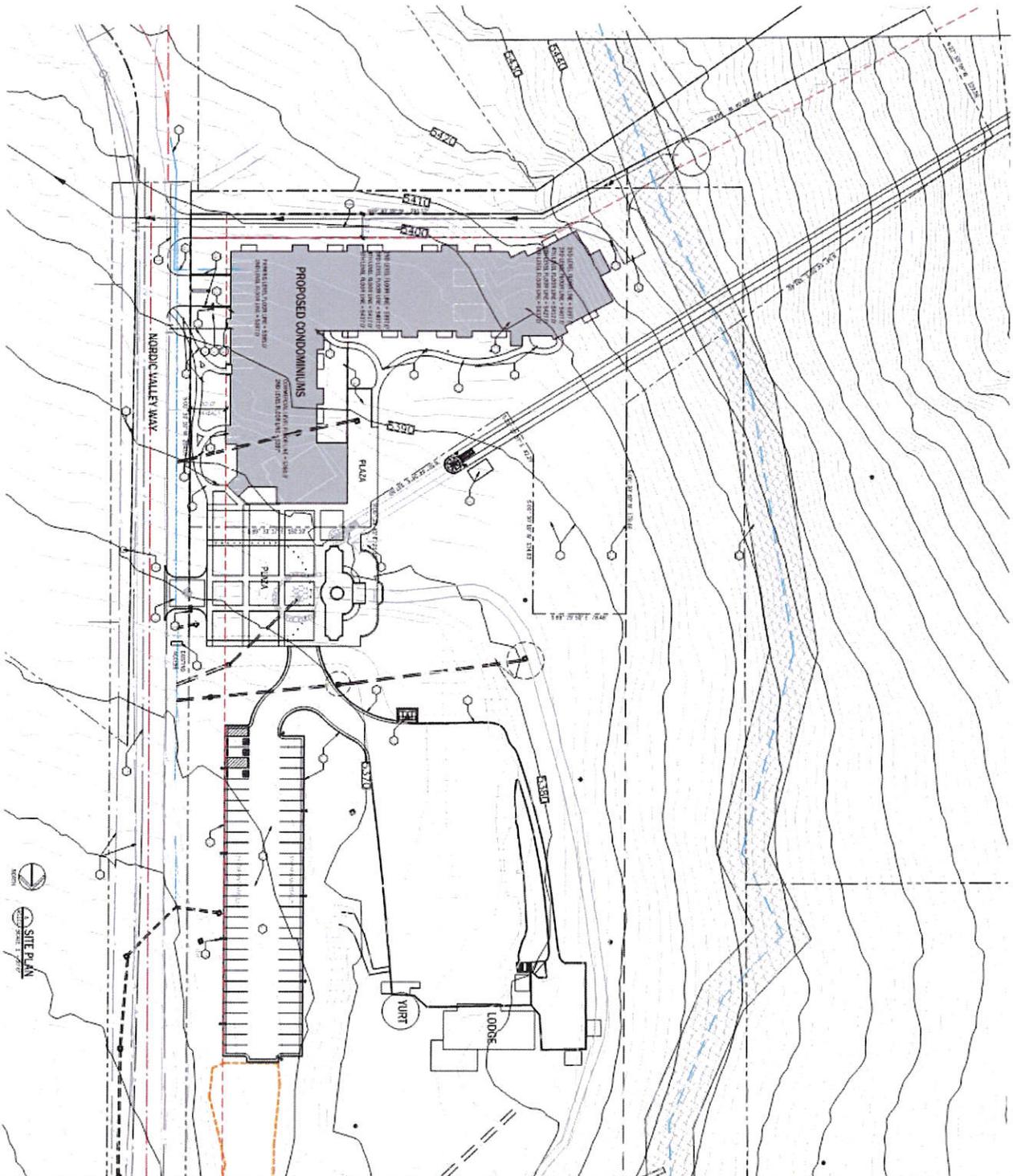
Exhibit B-3 Original Proposal Exterior Building Elevations



SCHEDULE FINISH AND DETAILS	
1. EXTERIOR WALLS	2. EXTERIOR ROOFING
3. EXTERIOR FLOORING	4. EXTERIOR CEILING
5. EXTERIOR PAINT	6. EXTERIOR GLAZING
7. EXTERIOR METALS	8. EXTERIOR LIGHTING
9. EXTERIOR SIGNAGE	10. EXTERIOR LANDSCAPING
11. EXTERIOR UTILITIES	12. EXTERIOR SECURITY
13. EXTERIOR ACCESSIBILITY	14. EXTERIOR SUSTAINABILITY
15. EXTERIOR SAFETY	16. EXTERIOR COMPLIANCE

OWNER: PINE CANYON LODGE, INC.
PROJECT: PINE CANYON CONDOMINIUM
LOCATION: 2545 NORDIC VALLEY WAY, EDEN, UTAH 84310
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Exhibit C-1 (AS101 Site Plan)



SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF EDEN ZONING ORDINANCES AND THE UTAH SUBDIVISION ACT.
2. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
3. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND EASEMENTS.
4. THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE.
5. THE DEVELOPER SHALL MAINTAIN ALL EXISTING DRIVEWAYS AND PAVEMENT.
6. THE DEVELOPER SHALL MAINTAIN ALL EXISTING FENCES AND BARRIERS.
7. THE DEVELOPER SHALL MAINTAIN ALL EXISTING SIGNAGE.
8. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND EASEMENTS.
9. THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE.
10. THE DEVELOPER SHALL MAINTAIN ALL EXISTING DRIVEWAYS AND PAVEMENT.
11. THE DEVELOPER SHALL MAINTAIN ALL EXISTING FENCES AND BARRIERS.
12. THE DEVELOPER SHALL MAINTAIN ALL EXISTING SIGNAGE.

ADDITIONAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF EDEN ZONING ORDINANCES AND THE UTAH SUBDIVISION ACT.
- THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
- THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND EASEMENTS.
- THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE.
- THE DEVELOPER SHALL MAINTAIN ALL EXISTING DRIVEWAYS AND PAVEMENT.
- THE DEVELOPER SHALL MAINTAIN ALL EXISTING FENCES AND BARRIERS.
- THE DEVELOPER SHALL MAINTAIN ALL EXISTING SIGNAGE.

OWNER: PINE CANYON LODGE
PROJECT: PINE VALLEY CONDOMINIUMS
LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310

DATE: 11/14/15

SHEET NUMBER: AS101

SITE PLAN

SCALE: 1" = 100'

DATE: 11/14/15

PROJECT: PINE VALLEY CONDOMINIUMS

OWNER: PINE CANYON LODGE

LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310

DATE: 11/14/15

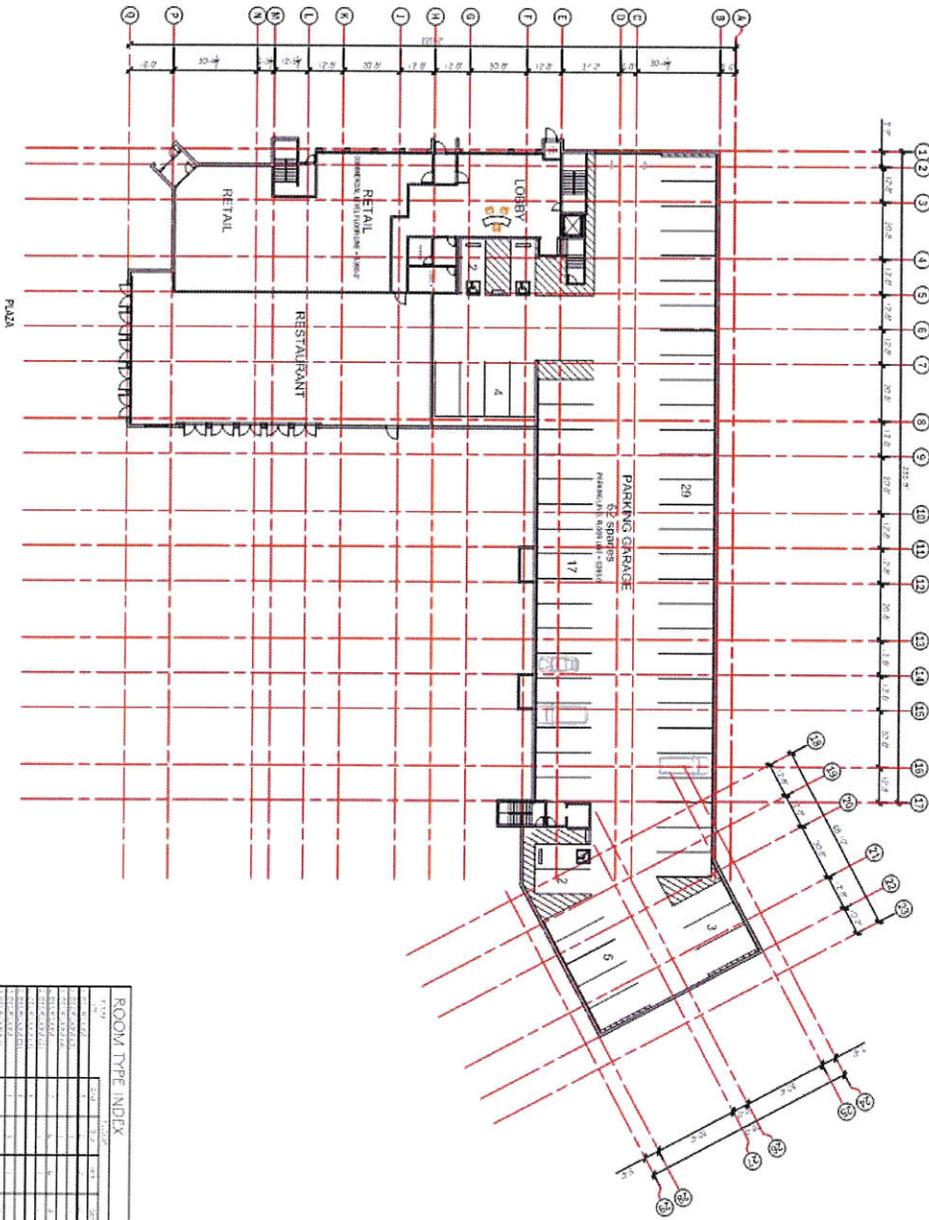
SHEET NUMBER: AS101

SITE PLAN

SCALE: 1" = 100'

DATE: 11/14/15

Exhibit C-2 (A101 Lower Level Floor Plan & Parking)



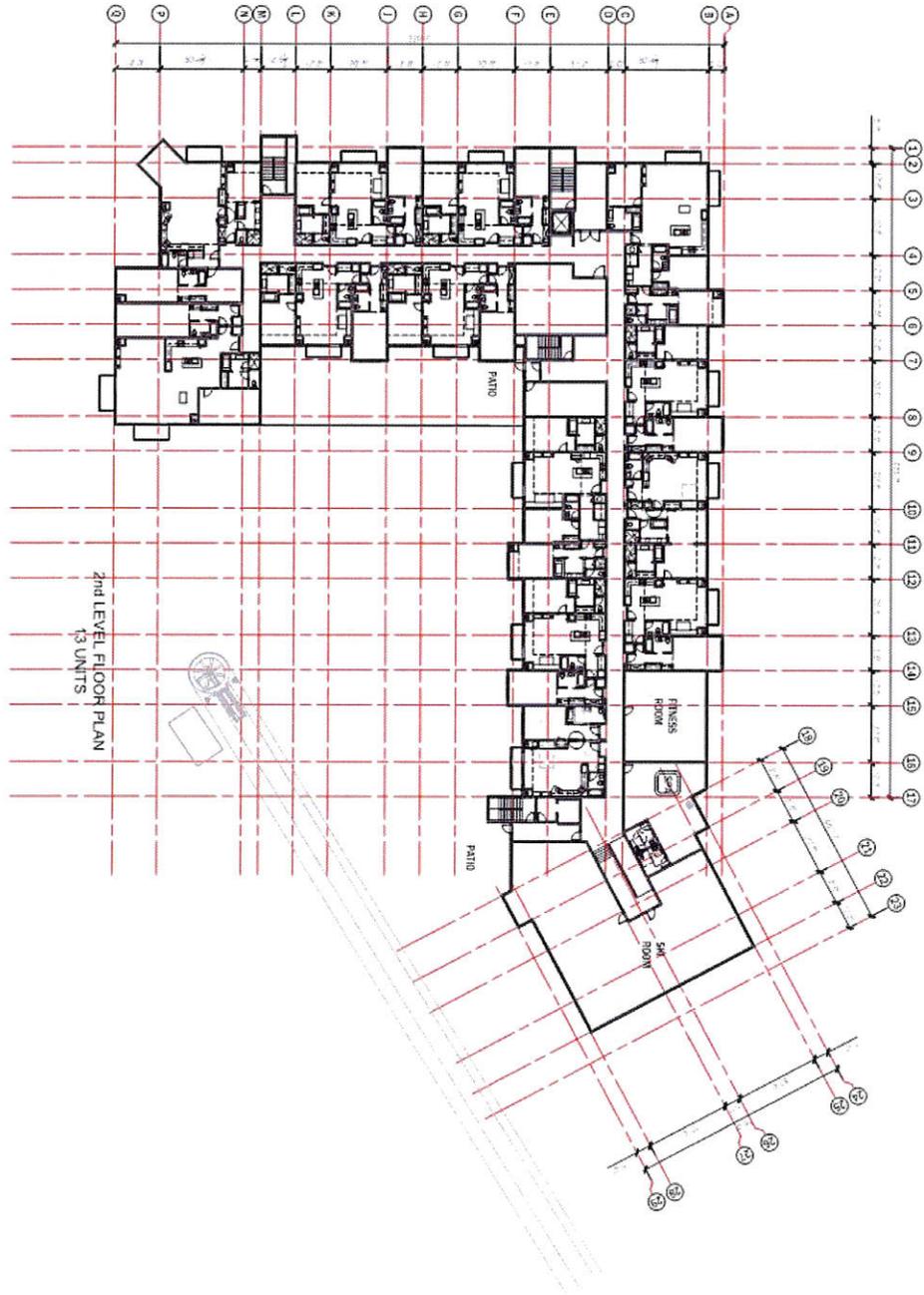
ROOM TYPE INDEX

NO.	ROOM TYPE	NO.	ROOM TYPE	NO.	ROOM TYPE
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2	OFFICE	12	STAIR	22	STAIR
3	OFFICE	13	STAIR	23	STAIR
4	OFFICE	14	STAIR	24	STAIR
5	OFFICE	15	STAIR	25	STAIR
6	OFFICE	16	STAIR	26	STAIR
7	OFFICE	17	STAIR	27	STAIR
8	OFFICE	18	STAIR	28	STAIR
9	OFFICE	19	STAIR	29	STAIR
10	OFFICE	20	STAIR	30	STAIR
11	OFFICE	21	STAIR	31	STAIR

NORTH
 MULTILEVEL FLOOR PLAN

	OWNER: PINE CANYON LODGE, INC	
	PROJECT: PINE CANYON CONDOMINIUM	
	LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310	
<small>© 2008 Architecture. The drawing shall not be reproduced without consent of architect, nor shall it be used for any project other than the originally intended project.</small>		

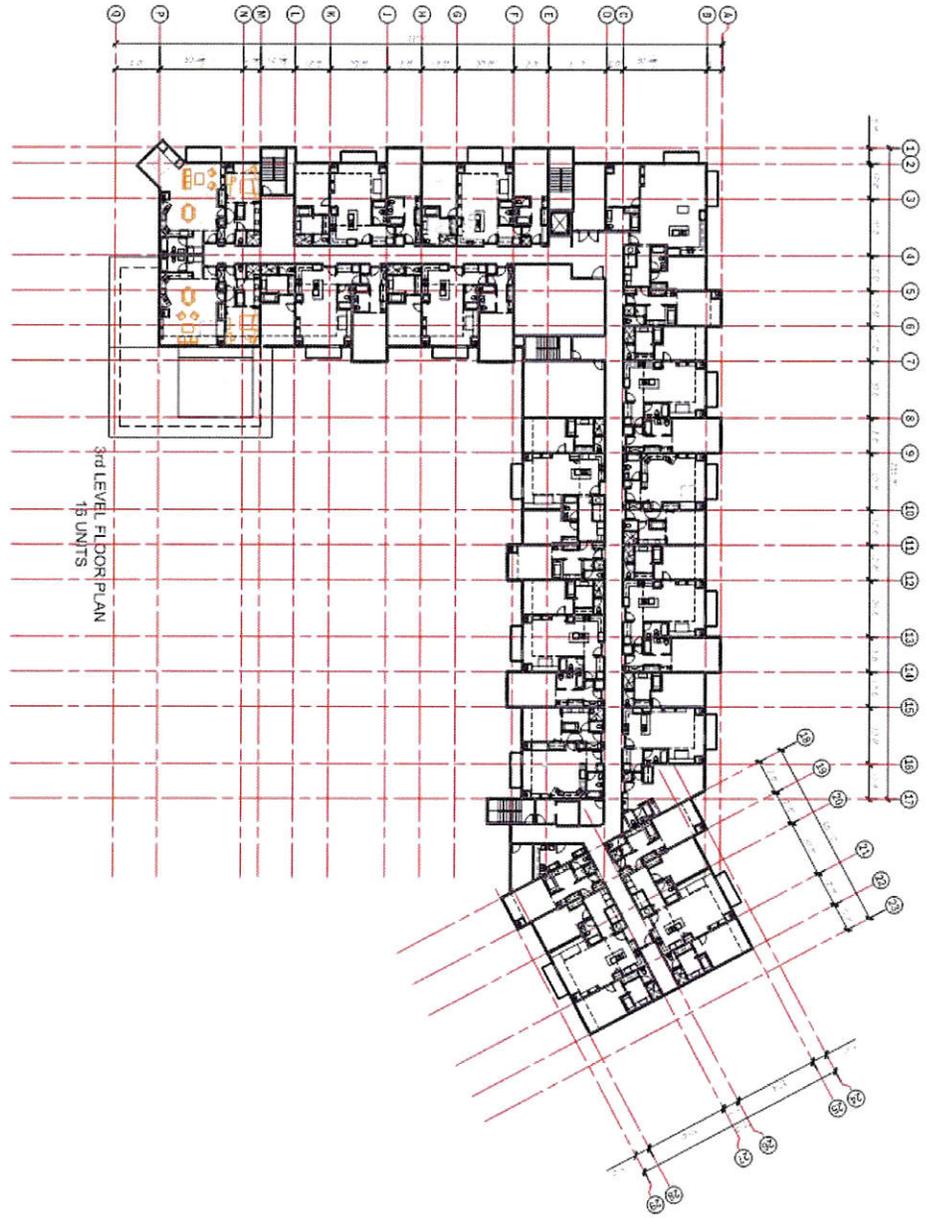
Exhibit C-3 (A102 Second Level Floor Plan)



SECOND LEVEL FLOOR PLAN

<p>SHEET NUMBER A102 DATE: 11.14.18</p>	<p>SECOND LEVEL FLOOR PLAN</p>		<p>OWNER: PINE CANYON LODGE, INC. PROJECT: PINE CANYON CONDOMINIUM LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310 <small>©VanZeele Architecture. This drawing shall not be reproduced without consent of VanZeele Architecture, nor shall it be used for any project other than the originally intended project.</small></p>	<p>DATE: 11.14.18 DRAWN BY: [Name] CHECKED BY: [Name]</p>	
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Exhibit C-4 (A103 Third Level Floor Plan)

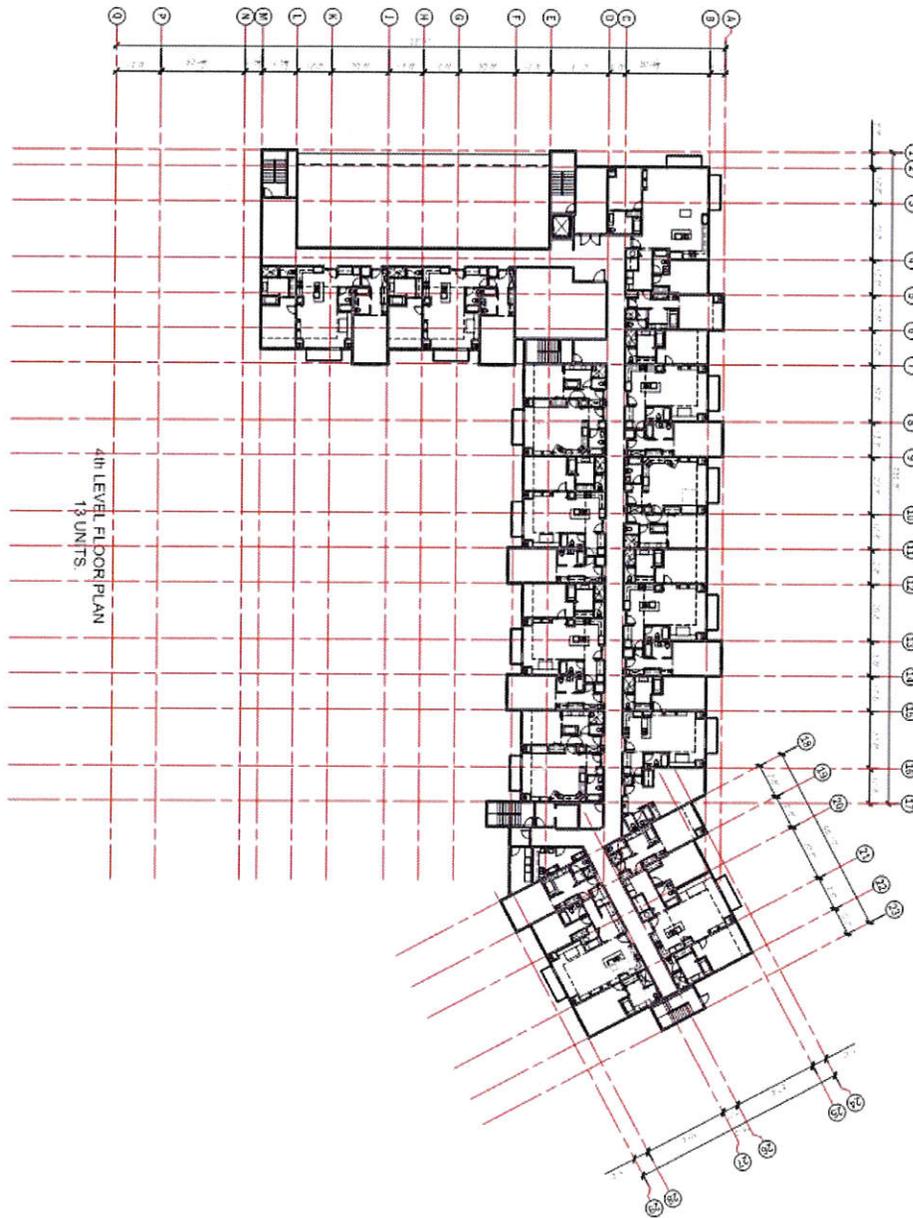


3rd LEVEL FLOOR PLAN
15 UNITS

THIRD LEVEL FLOOR PLAN

	OWNER: PINE CANYON LODGE, INC	
	PROJECT: PINE CANYON CONDOMINIUM	
	LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310	
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Exhibit C-5 (A104 Fourth Level Floor Plan)



4th LEVEL FLOOR PLAN
19 UNITS

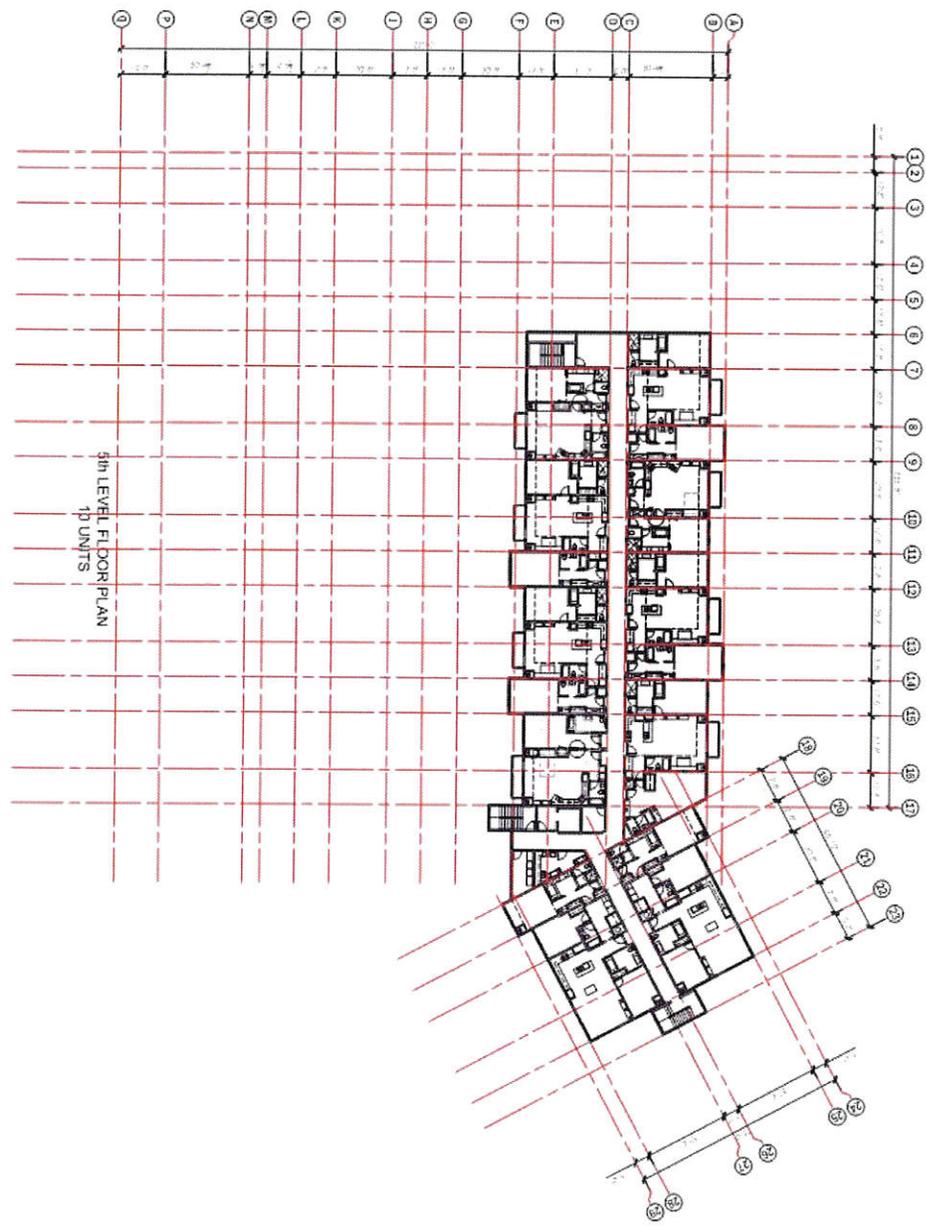


FOURTH LEVEL FLOOR PLAN
DATE: 08/14/14

	OWNER: PINE CANYON LODGE, INC		REGISTERED PROFESSIONAL ENGINEER MATTHEW J. ANDERSON License No. 10001 State of Utah
	PROJECT: PINE CANYON CONDOMINIUM		
SHEET NUMBER A104 DATE: 08/14/14	LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310	EXISTING	PROPOSED

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Exhibit C-6 (A105 Fifth Level Floor Plan)



5th LEVEL FLOOR PLAN
19 UNITS

1
5th LEVEL FLOOR PLAN

	OWNER: PINE CANYON LODGE, INC	
	PROJECT: PINE CANYON CONDOMINIUM	
	LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310	
SHEET NUMBER: A105	© 2012 Architecture. The drawings shall not be reproduced without consent of the architect, nor shall it be used for any project other than the originally intended project.	DATE: 1/15/14

Exhibit C-7 (A106 Sixth Level Floor Plan)



SIXTH LEVEL FLOOR PLAN

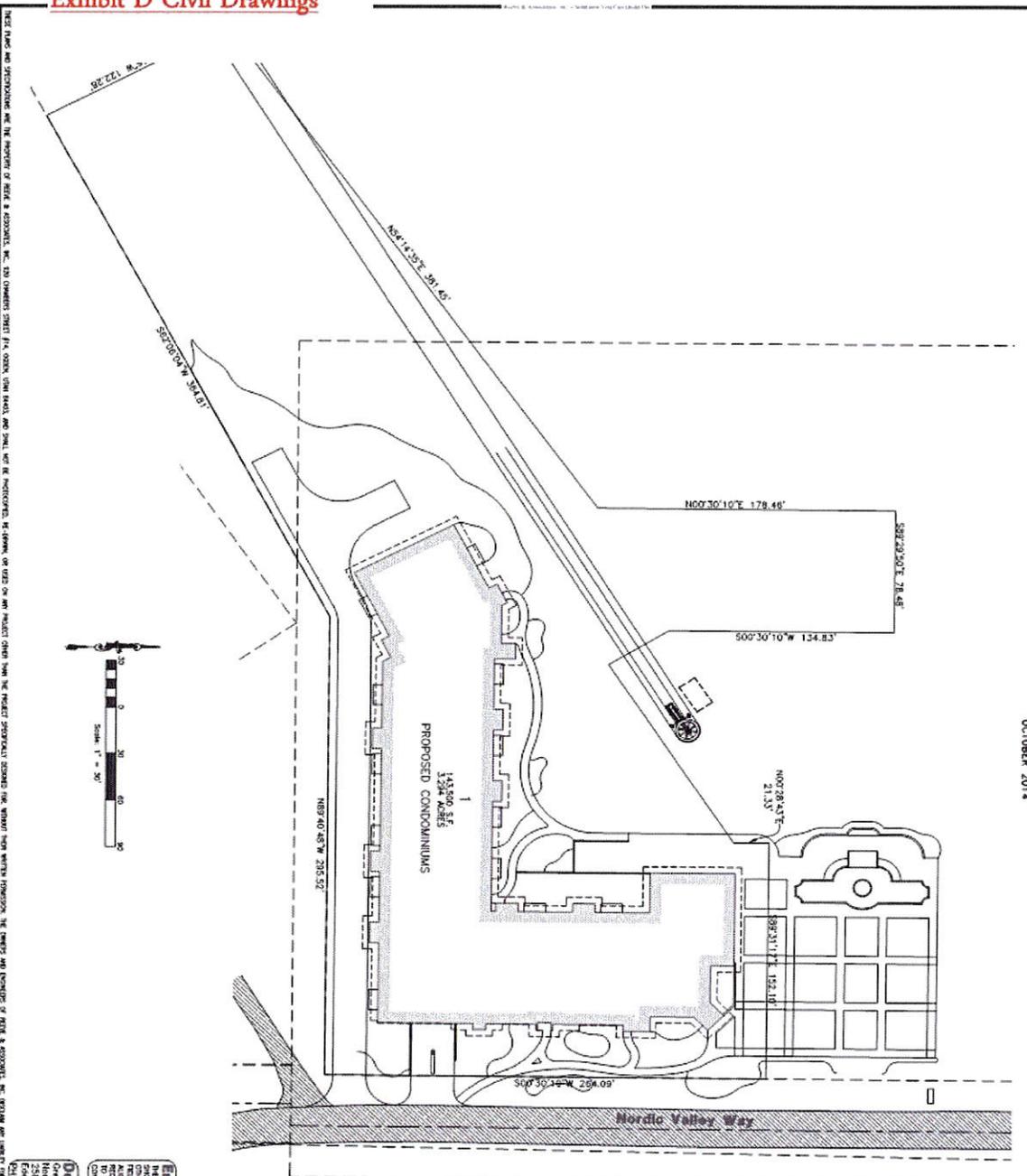
SHEET NUMBER A106	FIFTH LEVEL FLOOR PLAN		OWNER: PINE CANYON LODGE, INC.	DATE: 10/15/14
			PROJECT: PINE CANYON CONDOMINIUM	
LOCATION: 3567 NORDIC VALLEY WAY, EDEN, UTAH 84310			OVERSEAS ARCHITECTURE, INC. 1000 S. 1000 E., SUITE 100, EDEN, UTAH 84310 TEL: 435-426-1111 FAX: 435-426-1112	

Exhibit D Civil Drawings

- Project Narrative/Notes/Revisions**
- 1) 10/10/14 RA - COMPLETED DESIGN FOR CLEAR WORK.
 - 2) 10/22/14 RA - COMPLETED DESIGN FOR CONVEY, SCHEDULE.
 - 3) 11/27/14 RA - REVISED PLANS FOR ARCHITECT COMMENTS.
 - 4) 12/18/14 RA - REVISED PLANS FOR ARCHITECT COMMENTS.
 - 5) 2/24/15 RA - REVISED PLANS FOR ARCHITECT COMMENTS.
 - 6) 3/7/15 RA - REVISED PLANS FOR ARCHITECT COMMENTS.

PINE CANYON CONDOMINIUMS

Site Plans
EDEN, WEBER COUNTY, UTAH
OCTOBER 2014



- Sheet Index**
- Sheet 1 - Cover/Index Sheet
 - Sheet 2 - Notes & Legend Sheet
 - Sheet 3 - Existing Site Plan
 - Sheet 4 - Demolition Plan
 - Sheet 5 - Proposed Site Plan
 - Sheet 6 - Grading Plan
 - Sheet 7 - Utility Plan
 - Sheet 8 - Storm Water Pollution Prevention Plan Exhibit
 - Sheet 9 - Storm Water Pollution Prevention Plan Details

Engineer's Notice To Contractors

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC. ANY CHANGES TO THESE PLANS OR SPECIFICATIONS MUST BE MADE IN WRITING AND SIGNED BY THE ENGINEER AND SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE ENGINEER AND ARCHITECT ARE NOT RESPONSIBLE FOR ANY CHANGES TO THESE PLANS OR SPECIFICATIONS MADE BY ANY OTHER PARTY.

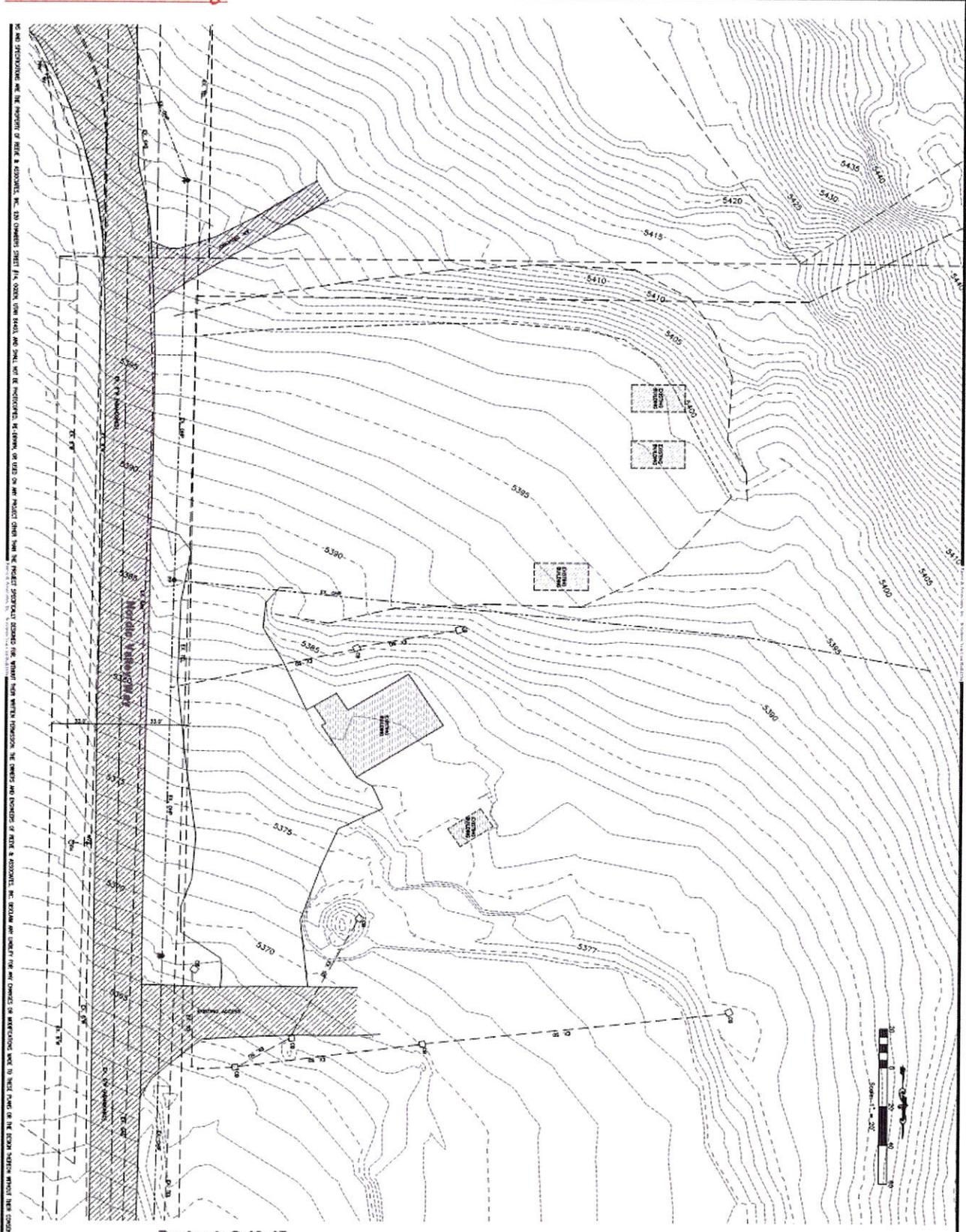
Developer/Contact:
Reeve & Associates, Inc.
2500 North Highway 162
Eden, Utah 84201
Phone: (435) 229-1104

Buy Station Location Contact:
Nordic Valley, Site Report
1-800-662-4111
Two Working Days Before You Dig

Revised: 3-10-15

	Pine Canyon Condominiums EDEN, WEBER COUNTY, UTAH		<table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>11-21-14</td> <td>RA Architect Changes</td> </tr> <tr> <td>1-20-15</td> <td>RA Architect Changes</td> </tr> <tr> <td>2-3-15</td> <td>RA Architect Changes</td> </tr> <tr> <td>2-24-15</td> <td>RA Architect Changes</td> </tr> <tr> <td>2-10-15</td> <td>RA Architect Changes</td> </tr> </tbody> </table>	DATE	DESCRIPTION	11-21-14	RA Architect Changes	1-20-15	RA Architect Changes	2-3-15	RA Architect Changes	2-24-15	RA Architect Changes	2-10-15	RA Architect Changes
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11-21-14	RA Architect Changes														
1-20-15	RA Architect Changes														
2-3-15	RA Architect Changes														
2-24-15	RA Architect Changes														
2-10-15	RA Architect Changes														
Cover/Index Sheet		<p>Reeve & Associates, Inc. ARCHITECTS & ENGINEERS 1000 WEST 1000 SOUTH, SUITE 100, EDEN, UTAH 84201 PHONE: (435) 229-1104 FAX: (435) 229-1105 WWW.REEVE-ASSOCIATES.COM</p>													
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Sheet	9														
Shells	1														

Exhibit D Civil Drawings



Revised: 3-10-15

Sheet 3 of 9
 SHEETS

Project Name
 Owner: REEVE & ASSOCIATES, INC.
 Designer: J. HANSEN
 Date: OCTOBER 8, 2014
 Scale: AS SHOWN
 Drawing No.: 1502-001

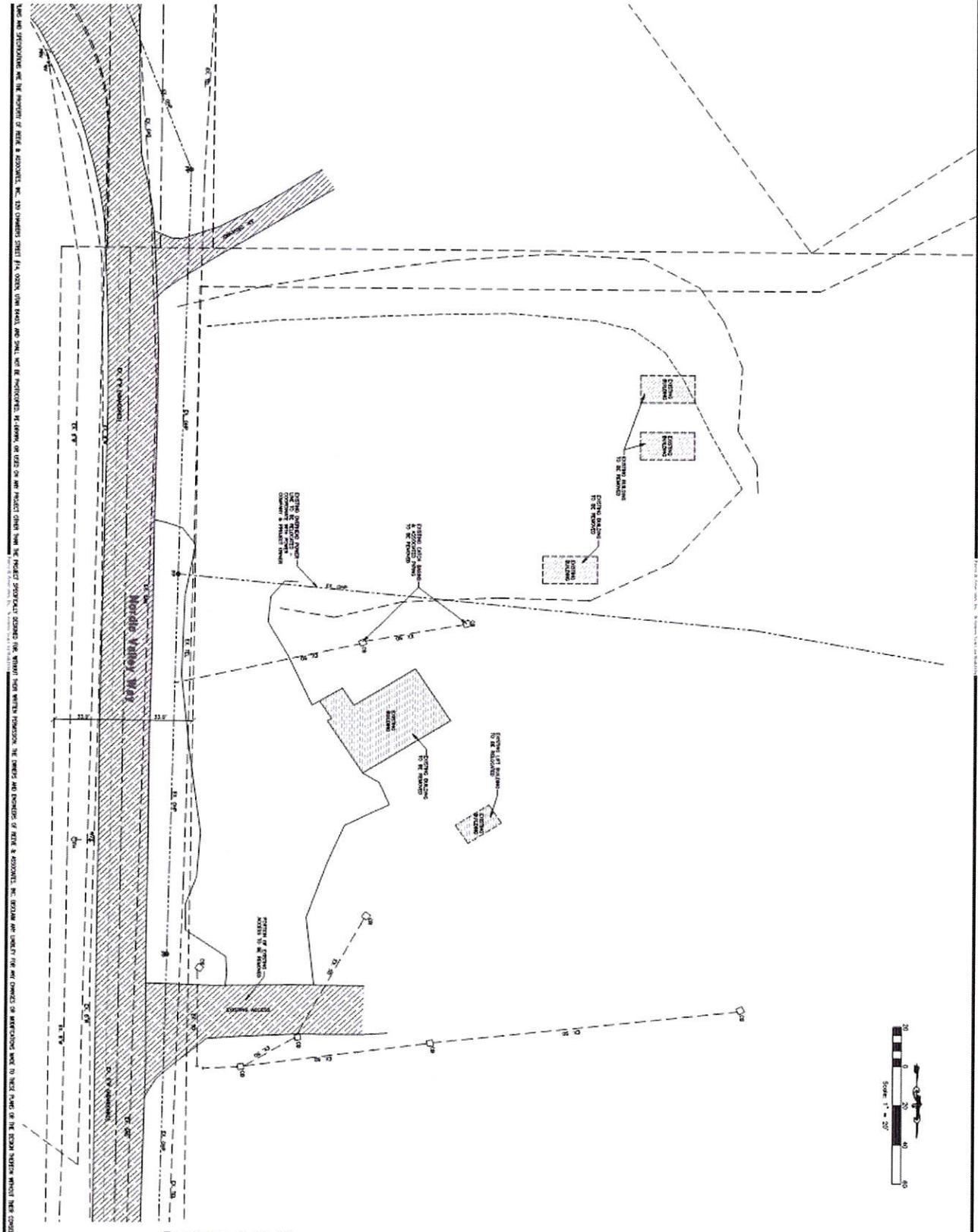


Pine Canyon Condominiums
 EDEN, WESER COUNTY, UTAH
Existing Site Plan

DATE	REVISIONS
11-17-14	1st Architect Changes
1-26-15	2nd Architect Changes
2-2-15	3rd Architect Changes
2-24-15	4th Architect Changes
3-10-15	5th Architect Changes

Reeve & Associates, Inc.
 100 SOUTH 200 WEST, SUITE 100, EDEN, UTAH 84302
 TEL: 435-521-1141 FAX: 435-521-1142
 WWW.REEVE-ASSOCIATES.COM

Exhibit D Civil Drawings



Revised: 3-10-15

Sheet	9
Shades	4
Project Name	Pine Canyon Condominiums
Client	REVEE & ASSOCIATES, INC.
Design	ARCHITECTURAL
Date	OCTOBER 14, 2014
Author	SKL/MLD
Checker	SKL/MLD

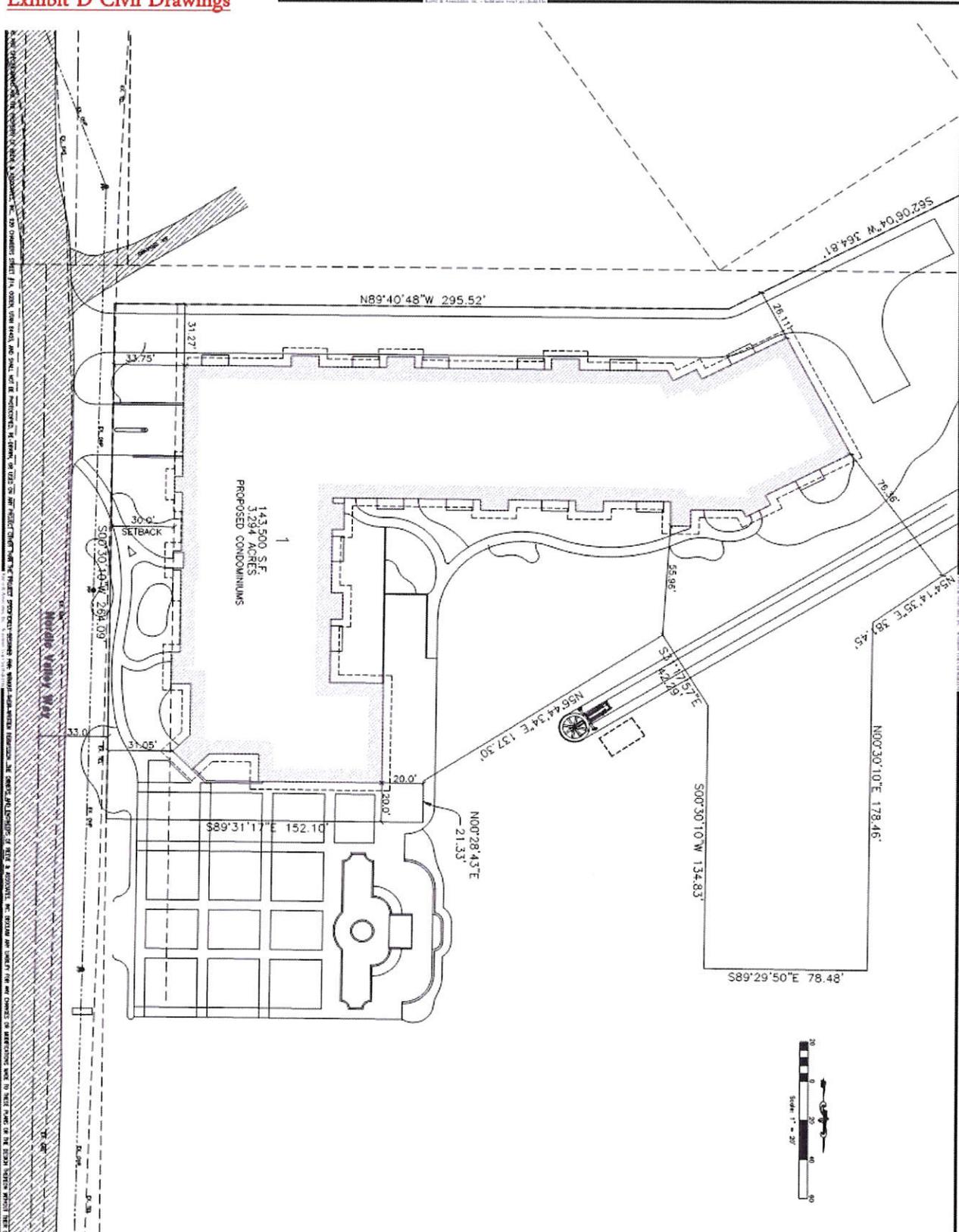


Pine Canyon Condominiums
 EDEN, WEBER COUNTY, UTAH
Demolition Plan

DATE	DESCRIPTION
11-21-14	RM Architect Changes
1-30-15	RM Architect Changes
2-3-15	RM Architect Changes
2-24-15	RM Architect Changes
3-10-15	RM Architect Changes

Reeve & Associates, Inc.
 WE DESIGN. THEY LIVE. WE'VE GOT YOU COVERED.
 ARCHITECTS • ENGINEERS • PLANNERS • INTERIORS • LANDSCAPE ARCHITECTS

Exhibit D Civil Drawings



Revised: 3-10-15

Sheet	9
Divisions	5
Project Name	Pine Canyon Condominiums
Owner	REVEE & ASSOCIATES, INC.
Architect	REVEE & ASSOCIATES, INC.
Engineer	REVEE & ASSOCIATES, INC.
Date	October 8, 2014



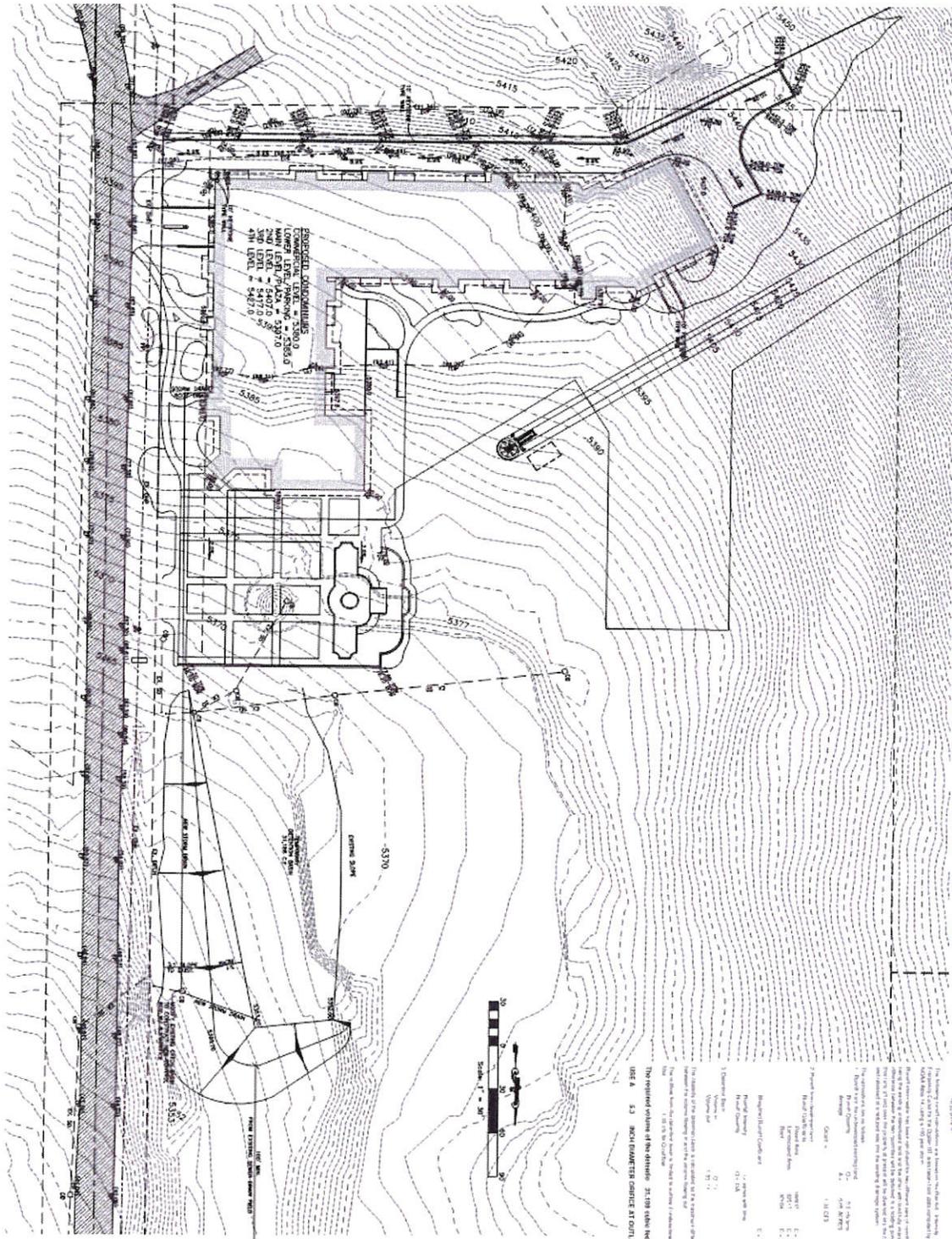
Pine Canyon Condominiums
 EDEN, NEWER COUNTY, UTAH
Proposed Site Plan

DATE	DESCRIPTION
11-14-14	Architect Changes
1-30-15	Architect Changes
2-2-15	Architect Changes
2-24-15	Architect Changes
3-10-15	Architect Changes

Reeve & Associates, Inc.
 1000 SOUTH 1000 WEST, SUITE 100, EDEN, UTAH 84301
 TEL: 435-426-1234 FAX: 435-426-1234
 WWW.REVEE-ASSOCIATES.COM



Exhibit D Civil Drawings



Storm Runoff Calculations
 Storm Runoff Coefficient = 0.45
 Rainfall Intensity = 3.0 in/hr
 Catchment Area = 1.5 acres
 Peak Runoff = 1.5 cfs

The proposed volume of the structure is 21,180 cubic feet.
 USE A 5.0 INCH DIAMETER CURB AT OUTLET

Revised: 3-10-15

Sheet	9
Drawings	9
Project Name	Pine Canyon Condominiums
Client	REVEE & ASSOCIATES, INC.
Design	ARCHITECT
Date	OCTOBER 8, 2014
Drawn	J.S. KNOX
Checked	J.S. KNOX
Approved	J.S. KNOX



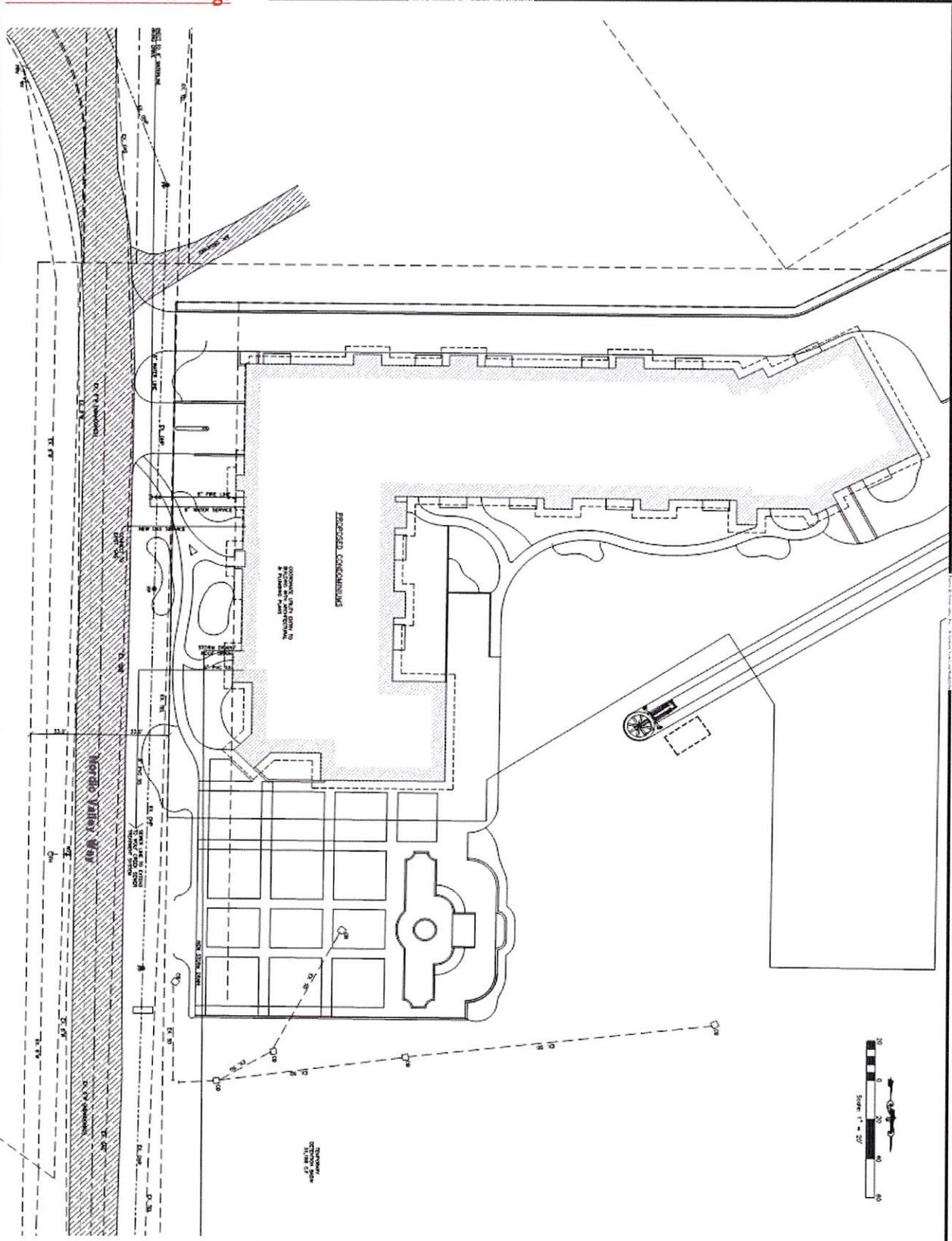
Pine Canyon Condominiums
 EDEN, WEBER COUNTY, UTAH

Grading Plan

DATE	DESCRIPTION
11-17-14	RM Architect Changes
1-30-15	RM Architect Changes
2-3-15	RM Architect Changes
2-24-15	RM Architect Changes
3-10-15	RM Architect Changes

Reeve & Associates, Inc.
 ARCHITECTS
 1000 W. 1000 S. SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1300 FAX: 303.733.1301
 WWW.REVEE-ANDASSOCIATES.COM

Exhibit D Civil Drawings



Revised: 3-10-15

Project Name
 Pine Canyon Condominiums
 Date: 10/2014
 Drawn By: J. L. [Name]
 Checked By: [Name]
 Date: 10/2014
 Scale: AS SHOWN
 Drawing No.: [Number]



Pine Canyon Condominiums
 EOOD, NEBER COUNTY, UTAH
Utility Plan

DATE	DESCRIPTION
11-21-14	PH Architect Changes
1-30-15	PH Architect Changes
2-3-15	PH Architect Changes
2-24-15	PH Architect Changes
3-10-15	PH Architect Changes

RA & Associates, Inc.
 1000 SOUTH 2000 WEST, SUITE 100, SALT LAKE CITY, UT 84143
 TEL: 313-551-7740 FAX: 313-551-7741
 WWW.RA-ASSOCIATES.COM
 ARCHITECTS • ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS

Exhibit E Culinary Water "Will-Serve Letter"

Nordic Mountain Water Inc.

Pine Canyon Lodge Inc.
54-Unit Pine Canyon Condominium Complex
Liberty, Utah 84310

Ref: Reservation Service Agreement

Nordic Mountain Water Inc. (NMWI) agrees to provide water for to the 54-unit Pine Canyon Lodge Inc. Condominium Complex under the following Terms and Conditions:

- (1) A 10% Non-refundable deposit is required on the total number of connections reserved multiplied by the current Infrastructure Fee per unit rounded up to nearest full unit. (i.e. 54-units X 10% = 5.4 rounded up to 6 units)
 - a. Reservation of Service is guaranteed for one year at the Infrastructure Fee rate in affect on the date this Reservation Service Agreement is signed by both NMWI and its representatives.
 - b. Options after one year are:
 - i. Pay outstanding balance of total Infrastructure Fees outlined in paragraph c.
 1. A monthly Stand-by fee is in affect thereafter until physical water connection is made. Currently, the standby fee is \$20/condo per month and is subject to change.
 - ii. Forfeit Reservation, deposit is non-refundable, Service Agreement is nullified.
 - iii. Renegotiate this Reservation Service Agreement at the discretion of NMWI. Previous deposits will continue to be credited to balance due while this service agreement is valid.
 - c. Details
 - i. Total Connections 54 condominiums
 - ii. Total Infrastructure Fee is \$405,000 based on 54 units X \$7,500 per unit
 - iii. Initial required non-refundable deposit is \$45,000 based on 6 units @ \$7,500 each
 - iv. Final payment of \$360,000 due 1 year from date this agreement is signed by both parties and the full deposit is paid.
 - v. Monthly charge per condominium (at completion):
 1. \$51.25 based on \$37+\$14.25 for up to 7,500 gals/month.
 2. Overages will be charged incrementally per 1000 gallons for usage exceeding 7,500 gallons – TBD.
 3. Monthly rate guaranteed for 1 year from date this agreement is signed.
 - d. Restrictions
 - i. Any Home Owners Association (HOA) organized by Pine Canyon Condominium Complex or Pine Canyon after this agreement is in place cannot include any culinary water provided by NMWI.
 - ii. No extensions to the water system developed for the Pine Canyon Condominium Complex that includes water provided by NMWI will be allowed beyond the initial 54-condominium units.
 - iii. Pine Canyon cannot resale, manage, restrict, or charge any additional fees for water provided by NMWI under any circumstance.



Exhibit E Culinary Water "Will-Serve Letter"

- iv. The 5th unit Pine Canyon Condominium Complex is considered to have one voting membership in NMWI.
- (2) Developer pays all costs including required modifications to existing NMWI infrastructure necessary to provide NMWI water to this condominium complex. In addition, the resulting water line extension design and all associated construction is subject to the following:
 - a. Must meet all State, County, and County Fire District Specifications and requirements
 - b. Must meet Water System Specifications as identified by NMWI
 - c. All waterline construction must be inspected and approved by NMWI or its identified Agent during all water system construction and/or modification.
 - d. NMWI will take possession of the modified portion of the system at the time of completion.
 - i. Developer will provide a warranty bond to cover costs of the modification during construction and for 1 year following completion of modifications or from date NMWI takes possession, whichever date is later.
- (3) NMWI uses a gravity-flow distribution system. Since an engineering study has not been completed for the proposed Pine Canyon Condominium complex, NMWI cannot guarantee adequate water pressure.
- (4) This agreement is a good faith effort by NMWI and contains terms and conditions as set forth by the NMWI board of directors, however, it may be subject to change pending review by NMWI legal counsel.

If these conditions are acceptable, please submit the appropriate deposit and sign this agreement. We also require purchase of one Membership (see item d paragraph iv) in NMWI at the current rate of \$300 at the time the Infrastructure Fees are paid. If you have any questions, please feel free to contact Bill Green at (801) 791-3976 anytime or through our NMWI office.

Sincerely,

Bill D. Green
President
Nordic Mountain Water

Agreement of *Addendum of October 9, 2014*:  Date: 10-16-14
Pine Canyon Representative: Josh Richards

Agreement of *Addendum of October 9, 2014*:  Date: 10/16/2014
Nordic Mountain Water, Inc. Representative: Bill D. Green

Addendum of October 9, 2014:

It is agreed that upon signature of *Agreement of Terms* above by both parties, this agreement is valid subject to NMWI receiving \$45,000 deposit on or before Oct. 21, 2014. If said deposit is not received by Oct. 21, 2014 this agreement shall become null and void.

Agreement of *Addendum of October 9, 2014*:  Date: 10-16-14
Pine Canyon Representative: Josh Richards

Agreement of *Addendum of October 9, 2014*:  Date: 10/16/2014
Nordic Mountain Water, Inc. Representative: Bill D. Green

Exhibit F Sanitary Waste Water "Will-Serve Letter"



Wolf Creek Water and Sewer Improvement District

P.O. Box 658
3632 N. Wolf Creek Dr.
Eden, Utah 84310
(801) 745-3435
Fax (801) 745-3454

October 7, 2014

Pine Canyon Lodge, Inc.
Attention: Jackson Stevens

Subject: Nordic Valley Area Wastewater Treatment Request

Wolf Creek Water and Sewer Improvement District (WCWSID) on 7 October, 2014 this letter is to notify Pine Canyon Lodge, Inc. that WCWSID has the waste water capacity and CAN and WILL serve 56 additional sewer connections from the Nordic Valley Area as requested.

Pine Canyon Lodge, Inc. will be responsible for all associated costs for all required engineering, impact fees, construction drawings, piping installation and all permit approval cost for delivering waste water to the WCWSID treatment plant as approved by WCWSID. Specific terms and conditions to be negotiated in a separate agreement.

Wolf Creek Water and Sewer Improvement District

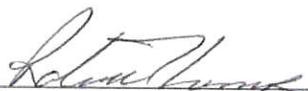
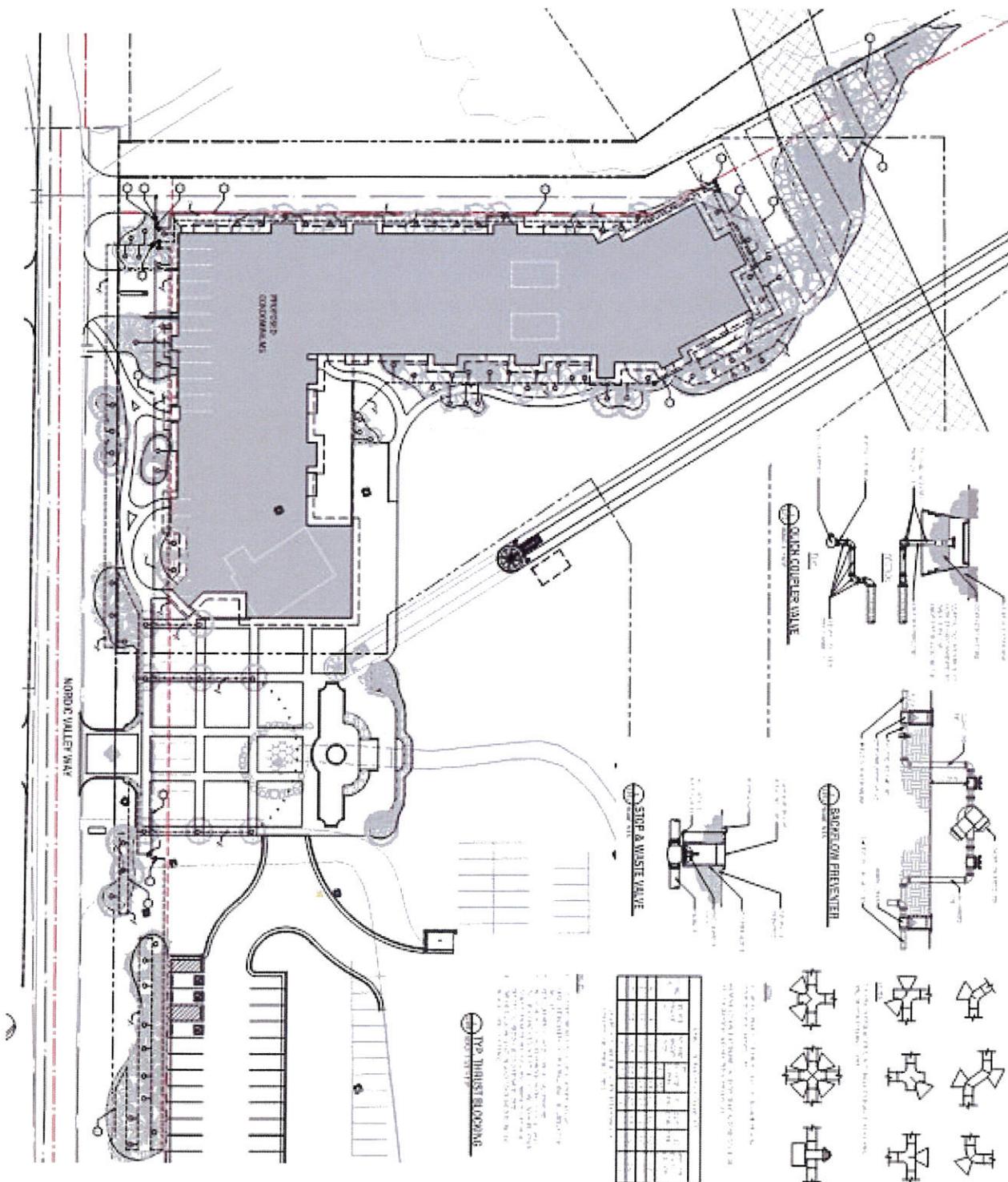
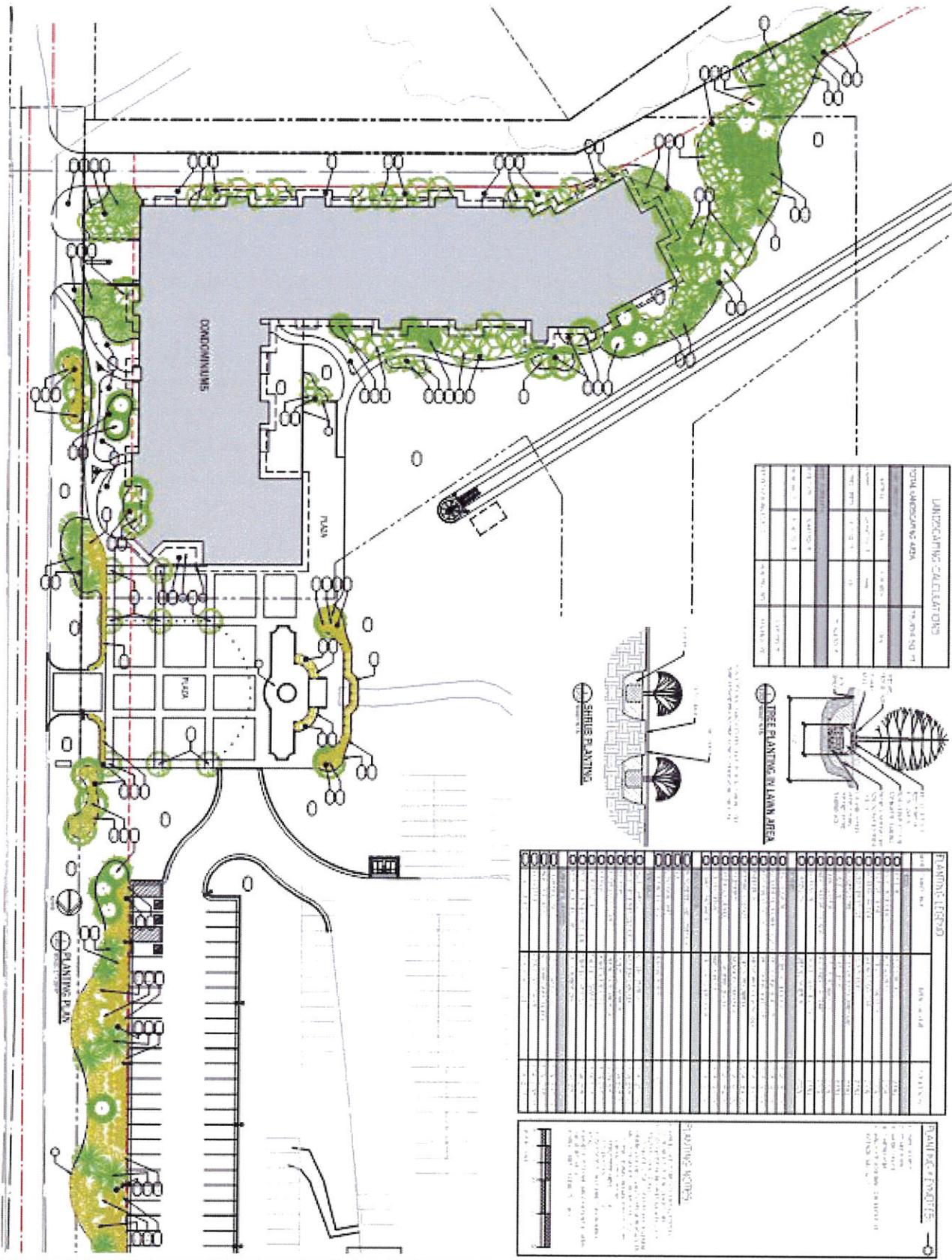

Robert Thomas, General Manager

Exhibit G Irrigation Plans (L101)



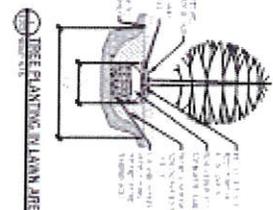
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○	1/2"	1/2" PIPING	
○	3/4"	3/4" PIPING	
○	1/4"	1/4" PIPING	
○	1/8"	1/8" PIPING	
○	1/16"	1/16" PIPING	
○	1/32"	1/32" PIPING	
○	1/64"	1/64" PIPING	
○	1/128"	1/128" PIPING	
○	1/256"	1/256" PIPING	
○	1/512"	1/512" PIPING	
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Exhibit G Landscaping Plans (L102)



LANDSCAPING CALCULATIONS

TOTAL LANDSCAPING AREA	TOTAL SQ FT
PLANTING BEDS	10,000
TREE PLANTING IN LAWN AREA	10,000
SHRUB PLANTING	10,000
TOTAL	30,000



PLANTING BEDS

PLANTING BED NO.	AREA (SQ FT)	PLANTING SPECIES
1	1000	PLANTING SPECIES
2	1000	PLANTING SPECIES
3	1000	PLANTING SPECIES
4	1000	PLANTING SPECIES
5	1000	PLANTING SPECIES
6	1000	PLANTING SPECIES
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46	1000	PLANTING SPECIES
47	1000	PLANTING SPECIES
48	1000	PLANTING SPECIES
49	1000	PLANTING SPECIES
50	1000	PLANTING SPECIES

PLANTING NOTES:

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) PRACTICE MANUAL.

2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) PRACTICE MANUAL.

3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) PRACTICE MANUAL.

4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) PRACTICE MANUAL.

5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) PRACTICE MANUAL.

OWNER: PINE CANYON LODGE, INC.
 PROJECT: PINE CANYON CONDOMINIUM
 1567 NORDIC VALLEY WAY, EDEN, UTAH 84310

LANDSCAPE ARCHITECT
 [Logo]
 [Address]
 [Phone]
 [Fax]

SCALE: 1" = 10'-0"

DATE: [Date]

PROJECT NO.: [Number]

SHEET NO.: L102