

THE RIDGE TOWNHOMES

PHASE 1 - SUBDIVISION APPLICATION



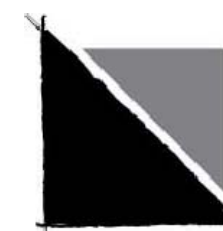
LOCATION MAP



PREPARED FOR:
LEWIS HOMES, INC
 JOHN LEWIS
 5577 EAST ELKHORN DRIVE
 EDEN, UTAH 84310
 801.430.1507



CONSULTANTS:
LANDSCAPE ARCHITECT:
LANGVARDT DESIGN GROUP
 1525 WESTMORELAND DRIVE
 SALT LAKE CITY, UTAH 84105
 801.583.1295



ARCHITECT:
BERTOLDI ARCHITECTS
 RAY BERTOLDI
 2726 HARRISON BLVD.
 OGDEN, UTAH 84403
 801.476.4330



ENGINEER:
GARDNER ENGINEERING
 TYLER NIELSEN
 5150 SOUTH, 375 EAST
 OGDEN, UTAH 84405
 801.476.0202



PROJECT MANAGEMENT:
THE HOUSEHOLDER GROUP
 ERIC HOUSEHOLDER
 2850 NORTH NORDIC VALLEY DRIVE
 EDEN, UTAH 84310
 801.389.0040

SHEET INDEX:

PLANNING	CIVIL	DESCRIPTION
C1.1		COVER SHEET
P1.0		OVERALL PHASING PLAN
S1.1		SITE PLAN
S1.2		SITE DETAILS
L1.1		LANDSCAPE PLAN
L1.2		LANDSCAPE DETAILS
	C1	PLAN AND PROFILE
	C2	OVERALL GRADING AND DRAINAGE
	C3	UTILITY PLAN
	C4	DETAILS - 1
	C5	DETAILS - 2
	C6	SWPPP

THE RIDGE TOWNHOMES
 WEBER COUNTY, UT



Phase One Plans
 WEBER COUNTY, UT

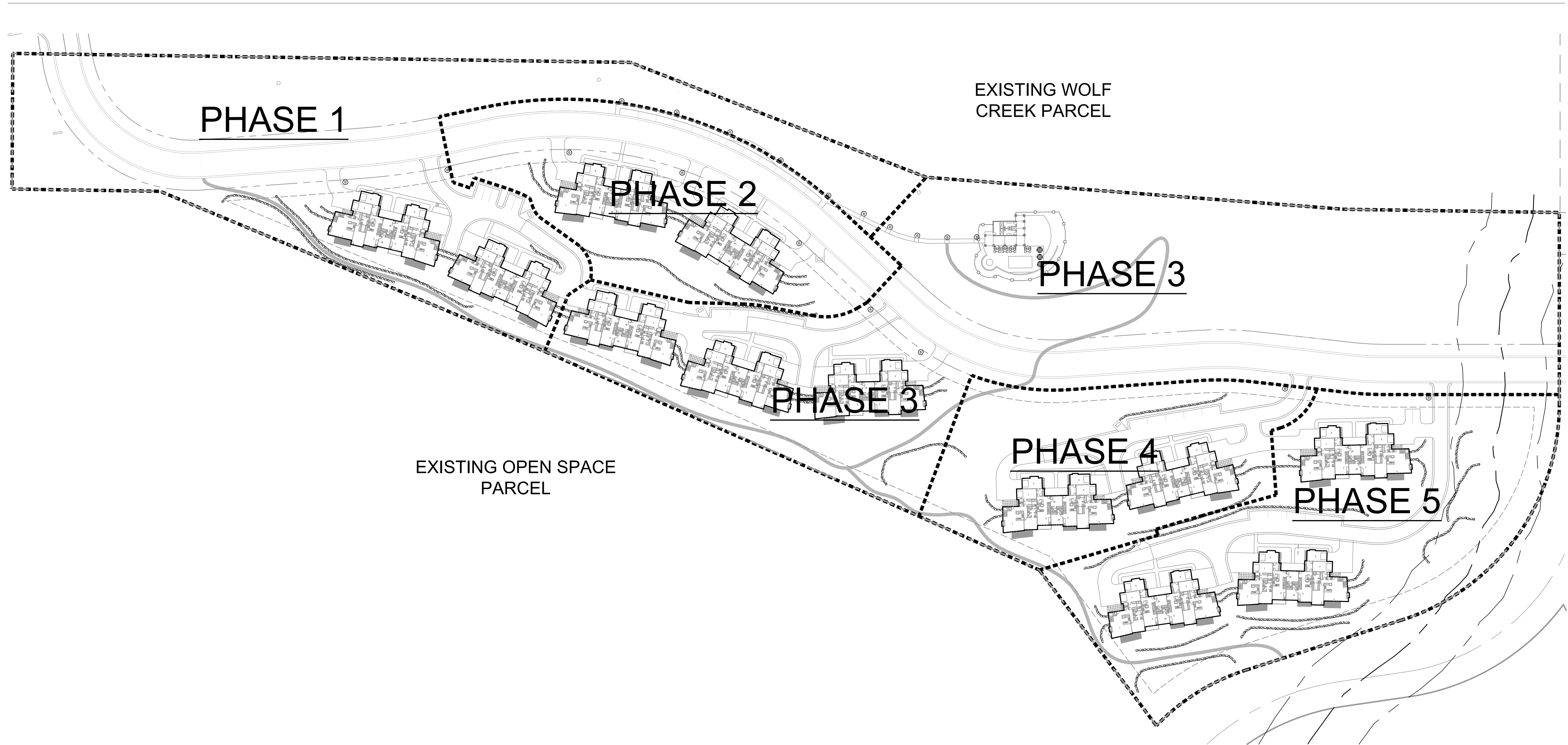


DATE:	NOVEMBER 2013
PROJECT:	
DRAWN BY:	MP
REVIEW BY:	EL
VERSION:	SUBDIVISION APP.
REVISIONS:	

SHEET TITLE:
COVER SHEET

SHEET NUMBER:

C1.1



THE RIDGE TOWNHOMES

WEBER COUNTY, UT

PHASING NOTE:

1. PHASE BOUNDARIES ARE APPROXIMATE AND MAY BE ADJUSTED PER MARKET CONDITIONS OR INFRASTRUCTURE FEASIBILITY. ALL PHASE OF DEVELOPMENT WILL BE CONSTRUCTED TO PROVIDE MINIMUM STANDARDS FOR FIRE SAFETY AND INFRASTRUCTURE REQUIREMENTS.

PHASE DATA:

- PHASE 1: 8 UNITS / 21 PARKING STALLS
- PHASE 2: 8 UNITS / 28 PARKING STALLS
- PHASE 3: 12 UNITS / 29 PARKING STALLS & POOL/SPA FACILITY
- PHASE 4: 8 UNITS / 21 PARKING STALLS
- PHASE 5: 12 UNITS / 31 PARKING STALLS

DEVELOPMENT DATA:

- PROJECT AREA: 16.03 ACRES
- PROPOSED USES: 48 TOWNHOME UNITS (12 - 4 PLEX UNITS)
500 S.F. POOL HOUSE W/ POOL, SPA AND POOL DECK
- PARKING: 130 TOTAL
 - 48 GARAGE STALL
 - 48 DRIVEWAY SPACES
 - 34 GUEST/POOL SURFACE STALLS
- OPEN SPACE: 10.11 AC. (63.10%)

Phase One Plans
WEBER COUNTY, UT

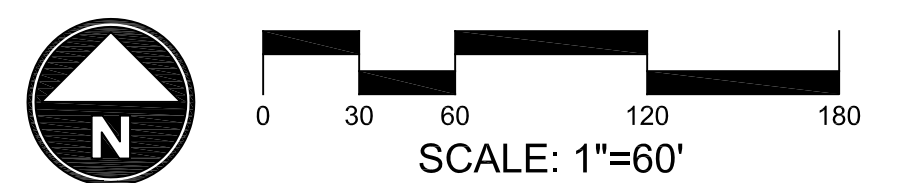


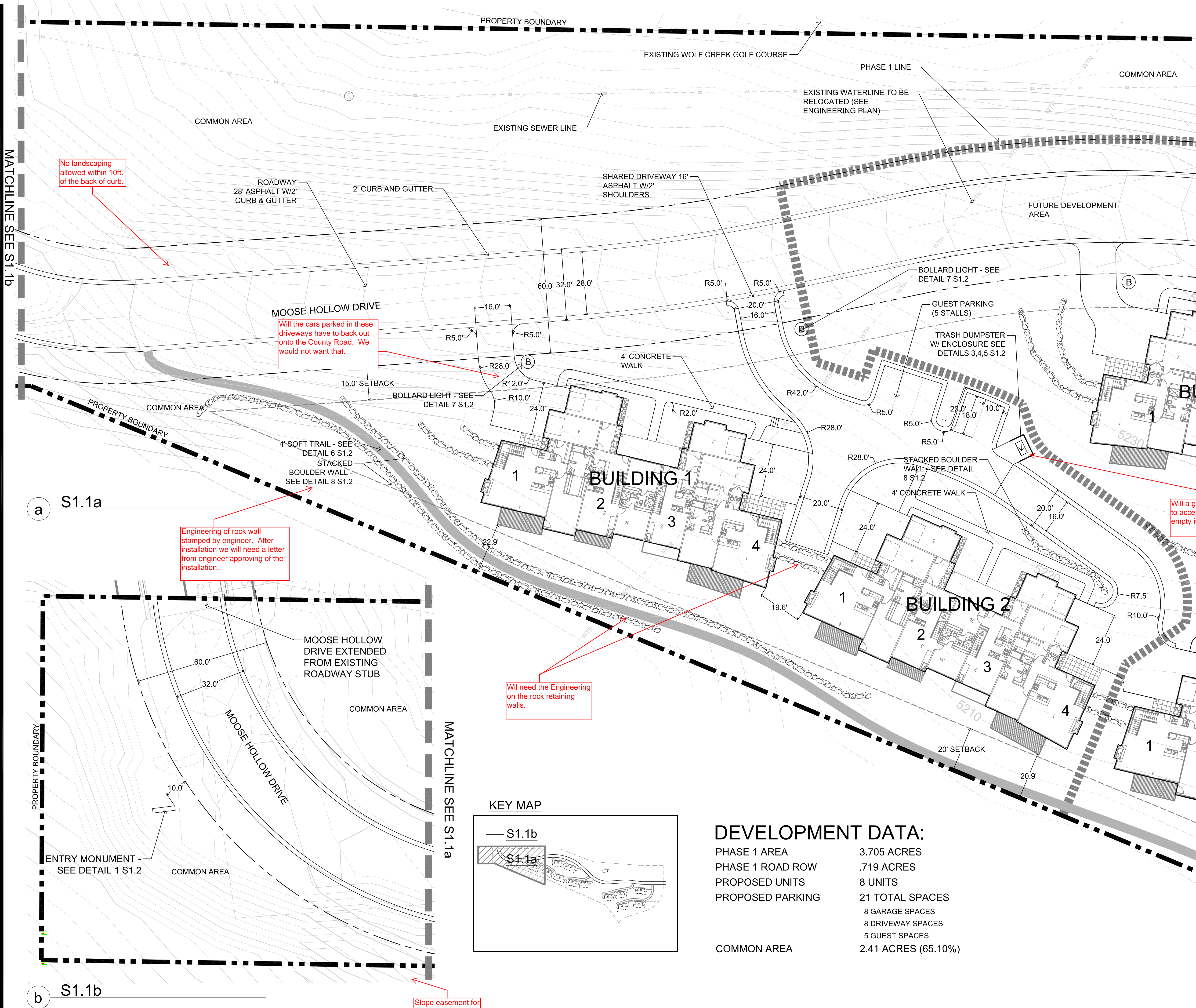
DATE:	NOVEMBER 2013
PROJECT:	.028
DRAWN BY:	MP
REVIEW BY:	EL
VERSION:	SUBDIVISION APP.
REVISIONS:	

SHEET TITLE:
OVERALL PHASING PLAN

SHEET NUMBER:

P1.0





THE RIDGE TOWNHOMES

WEBER COUNTY, UT

Phase One Plans
WEBER COUNTY, UT



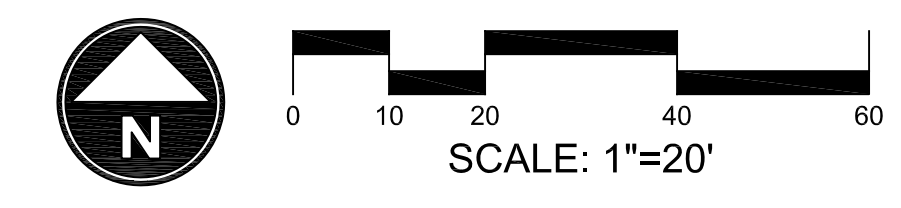
DATE:	NOVEMBER 2013
PROJECT:	.028
DRAWN BY:	MP
REVIEW BY:	EL
VERSION:	SUBDIVISION APP.
REVISIONS:	

SHEET TITLE:
SITE PLAN

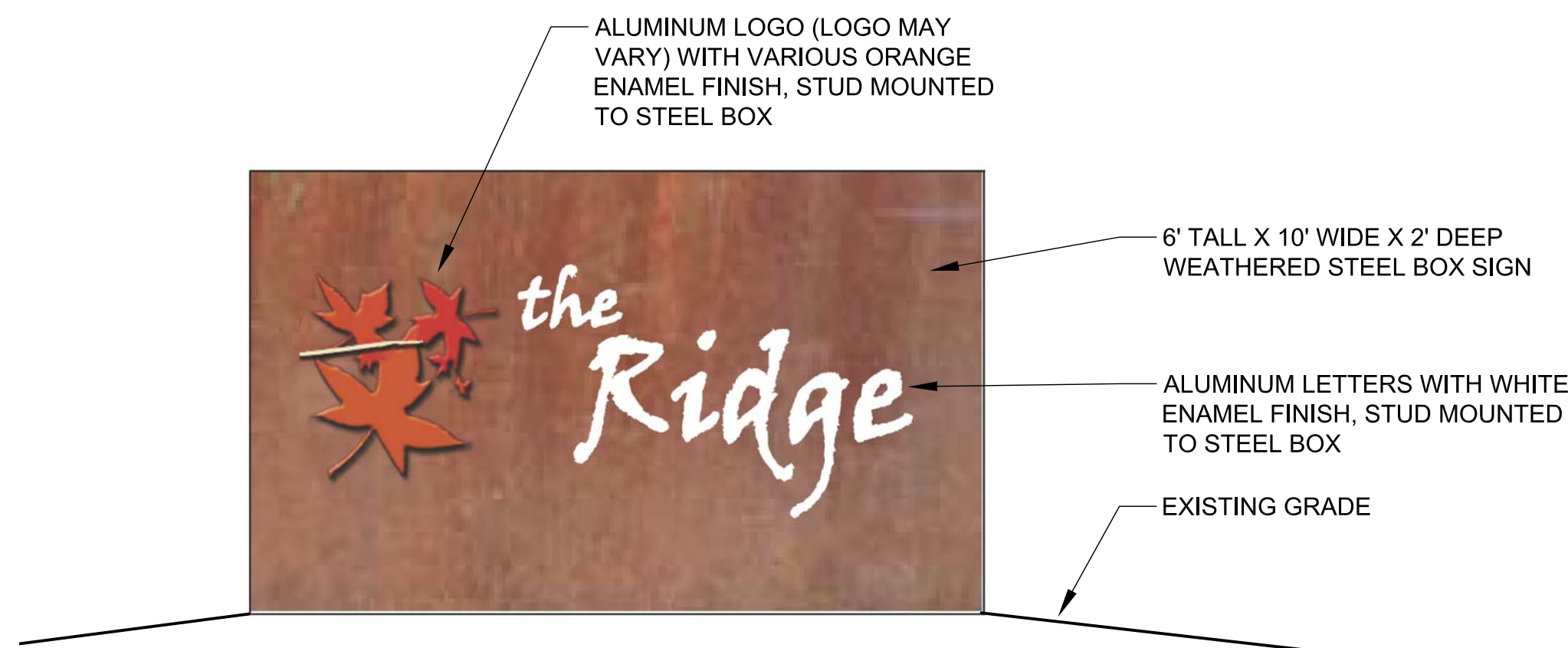
SHEET NUMBER:
S1.1

DEVELOPMENT DATA:

PHASE 1 AREA	3.705 ACRES
PHASE 1 ROAD ROW	.719 ACRES
PROPOSED UNITS	8 UNITS
PROPOSED PARKING	21 TOTAL SPACES
	8 GARAGE SPACES
	8 DRIVEWAY SPACES
	5 GUEST SPACES
COMMON AREA	2.41 ACRES (65.10%)

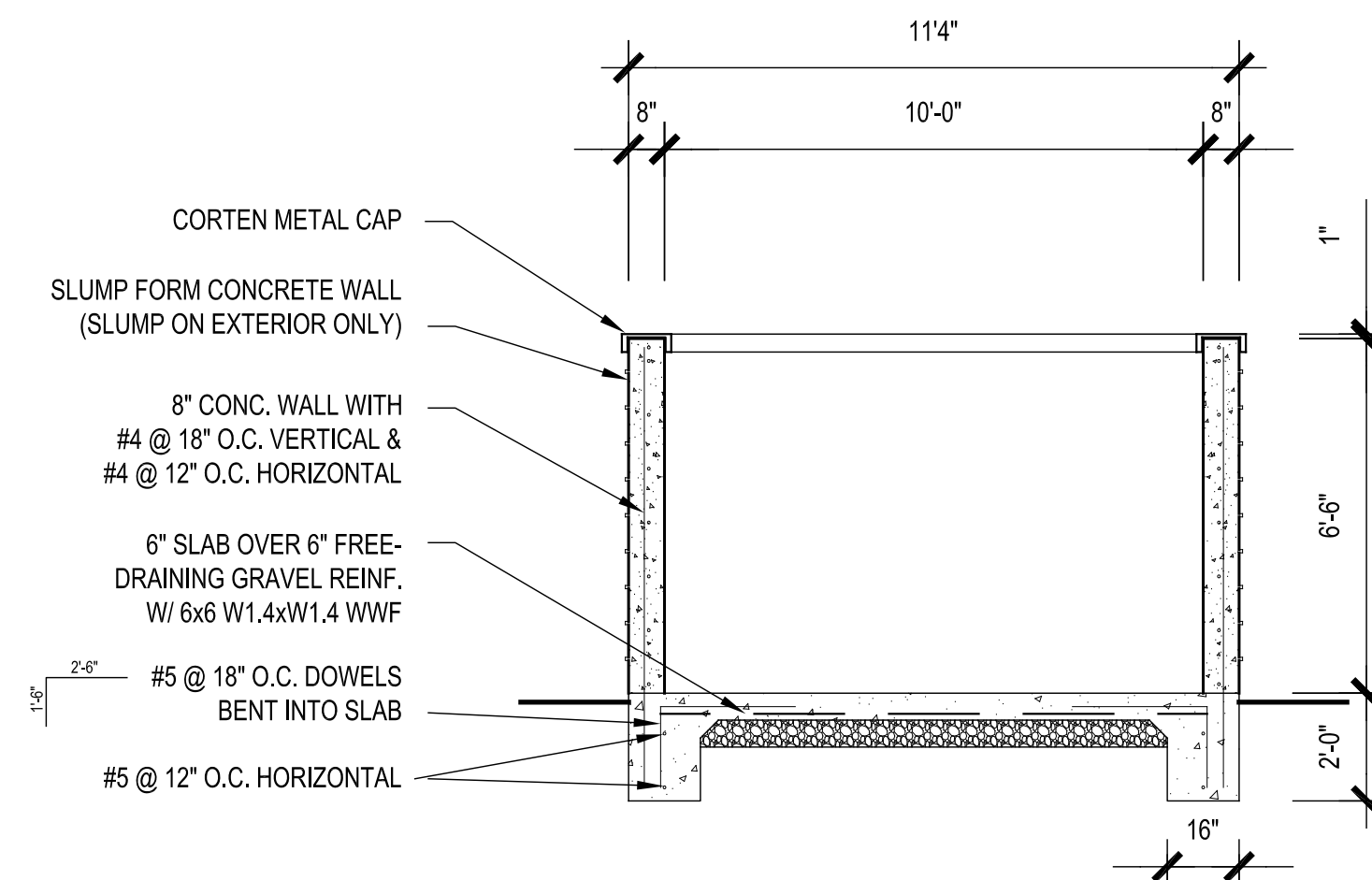


Slope easement for area outside of subdivision

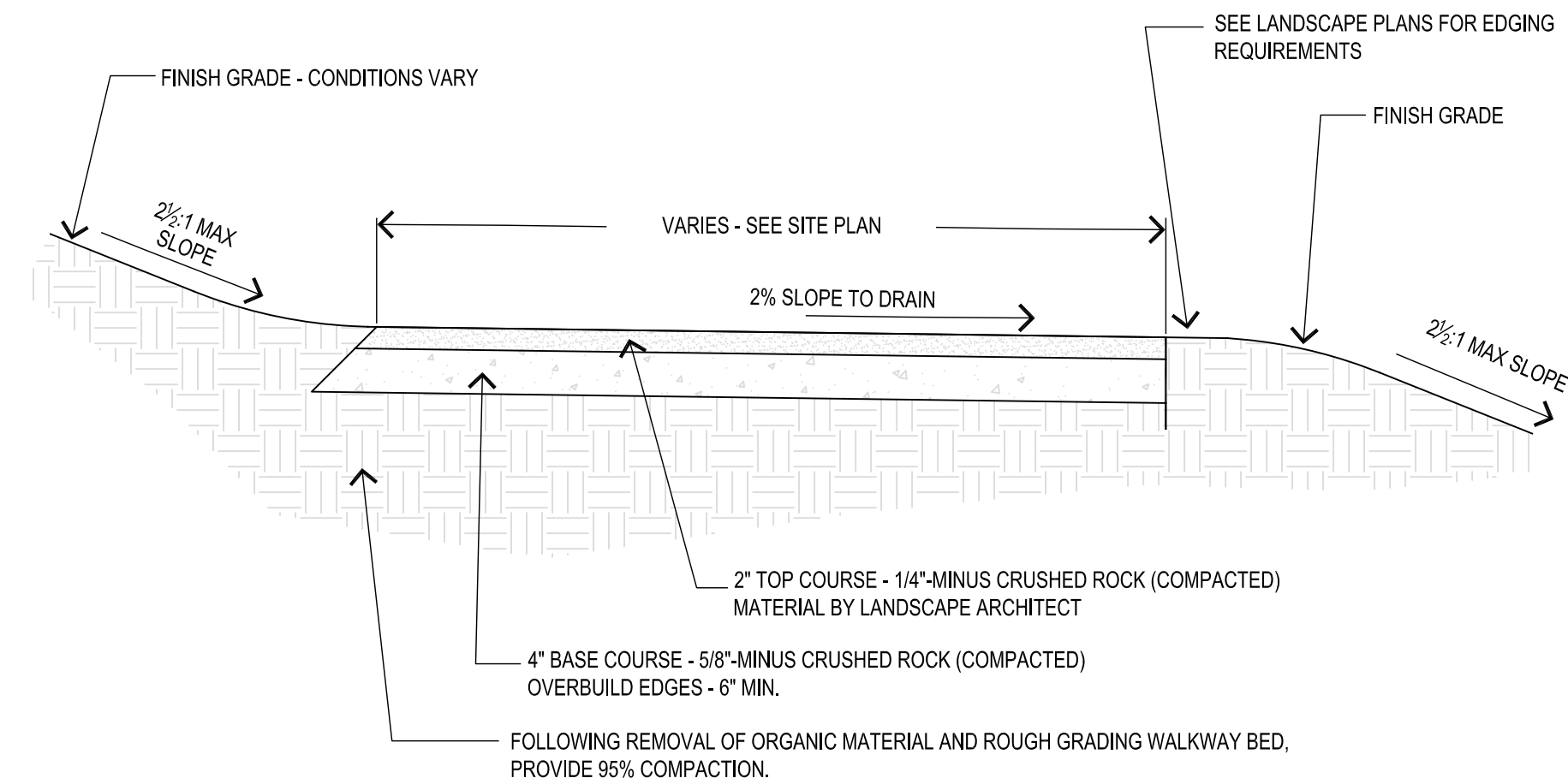


NOTE: MONUMENT SIGN SHALL BE ILLUMINATED WITH LANDSCAPE LIGHTING THAT MEETS ALL REQUIREMENTS OF CHAPTER 39 OF THE WEBER COUNTY CODE FOR OGDEN VALLEY LIGHTING

1 MONUMENT SIGN

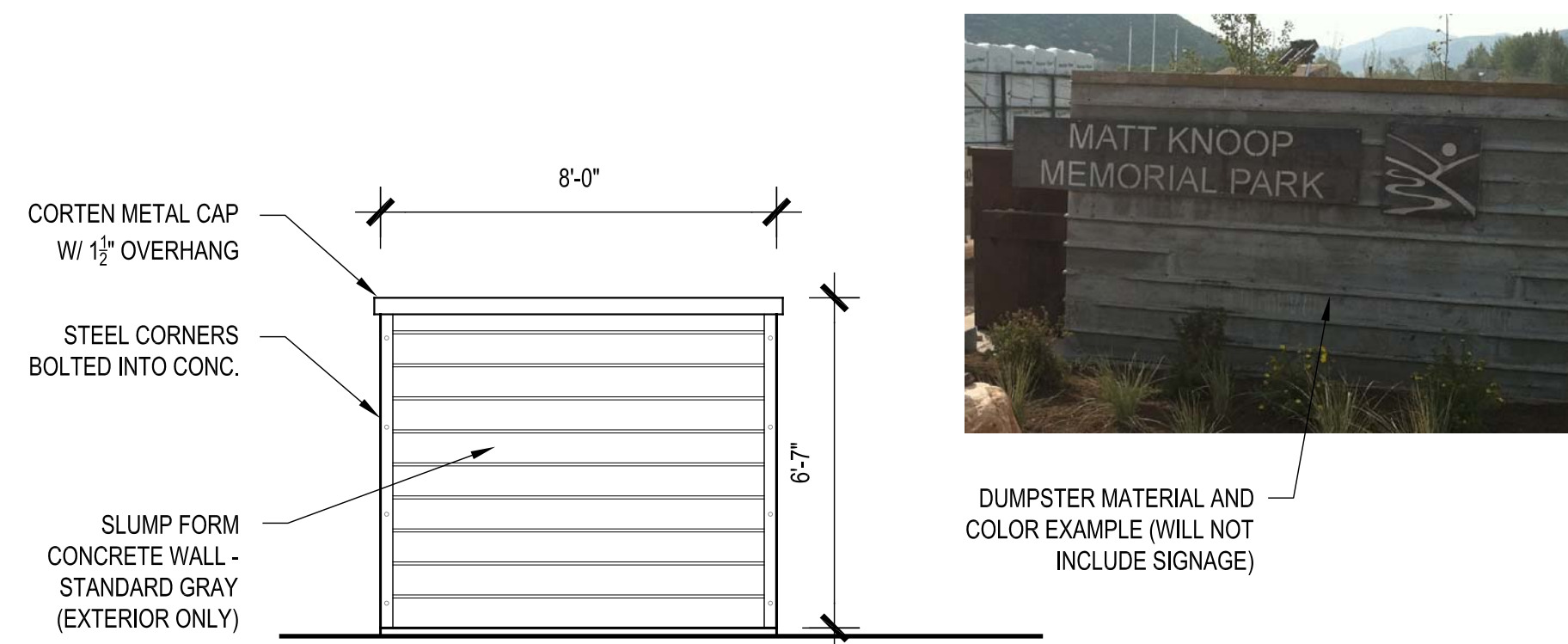


4 TRASH DUMPSTER - SECTION 1

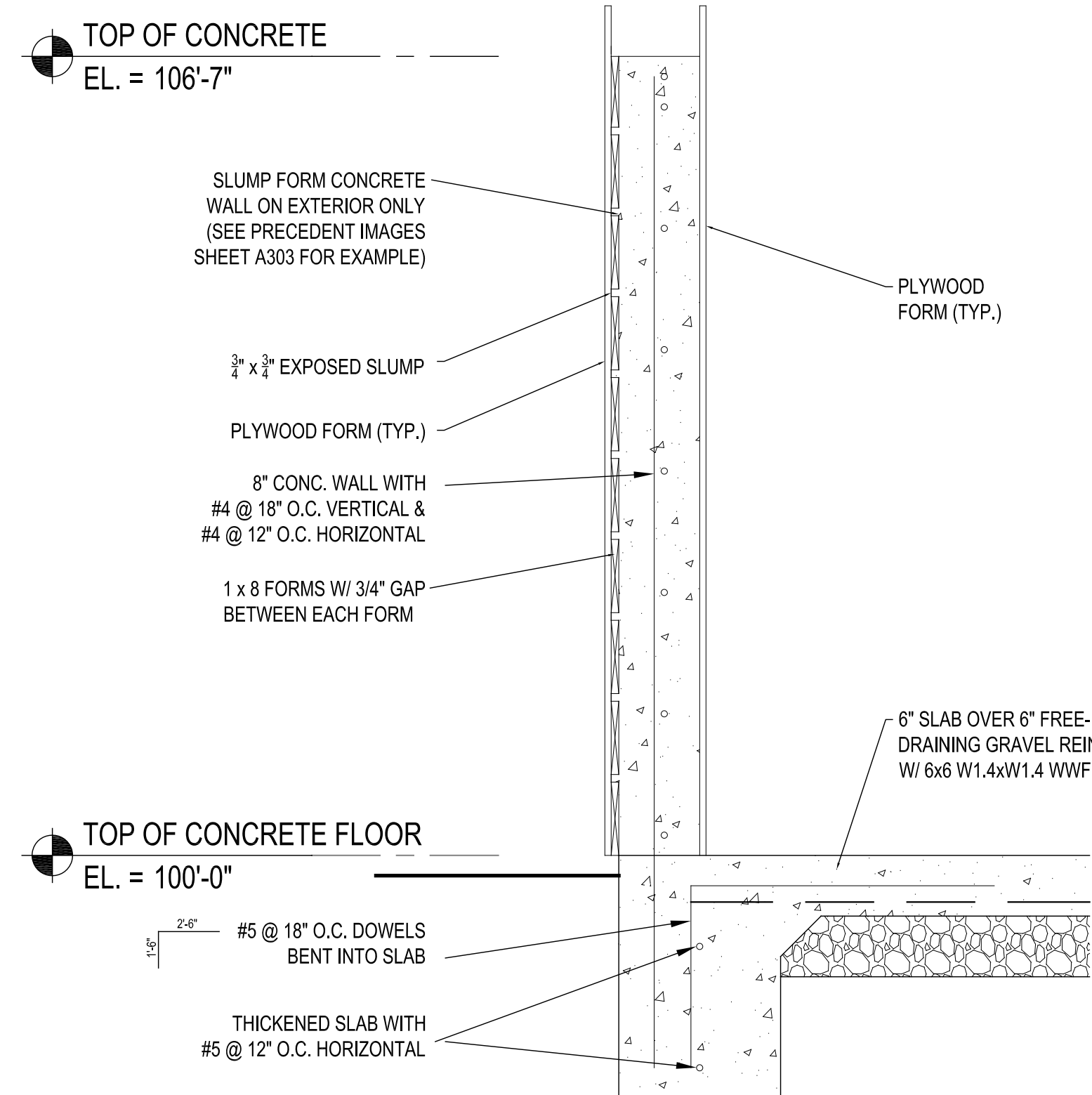


1. FINISHING GRADE OF PATH WILL BE FLUSH OR SLIGHTLY ELEVATED/CROWNED ABOVE ADJACENT SURFACES. ESTABLISH DESIGN CROSS-SLOPE IN SUBGRADE MATERIALS, SLOPE OR CROWN AS DIRECTED.
2. IMPORT CRUSHED ROCK FOLLOWING LANDSCAPE ARCHITECT'S APPROVAL OF PREPARED BED. TAPER EDGES AT A 45° ANGLE INTO THE SUBGRADE. TOP COURSE FLUSH WITH FINISH GRADE. WHERE DESIRED, PROVIDE COMPLETE MECHANICAL COMPACTION. WHERE THIS IS IMPRACTICAL OR IMPOSSIBLE, COMPACT BY HAND WITH AN APPROPRIATELY WEIGHTED IMPLEMENT.

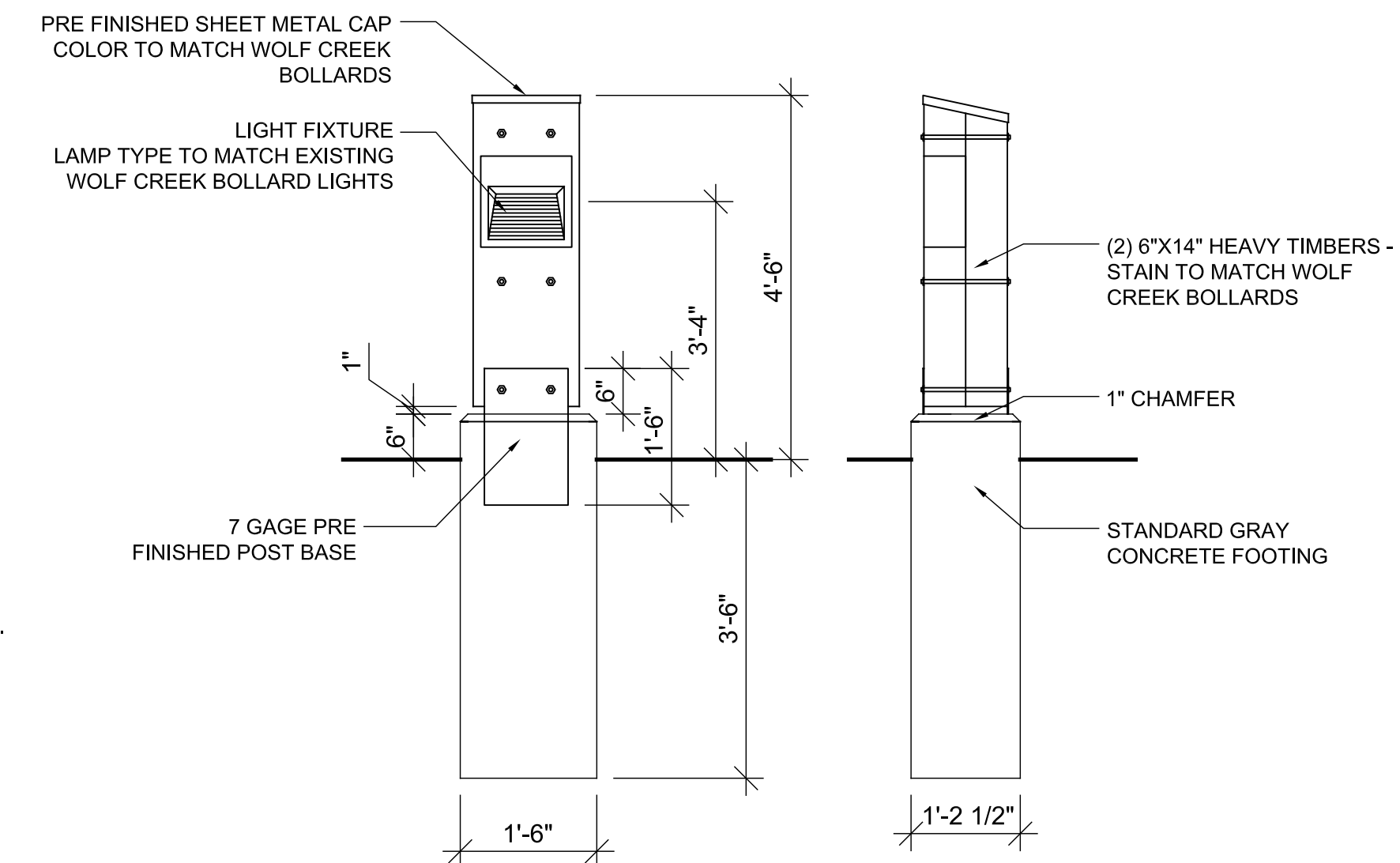
6 SOFT TRAIL/PATH



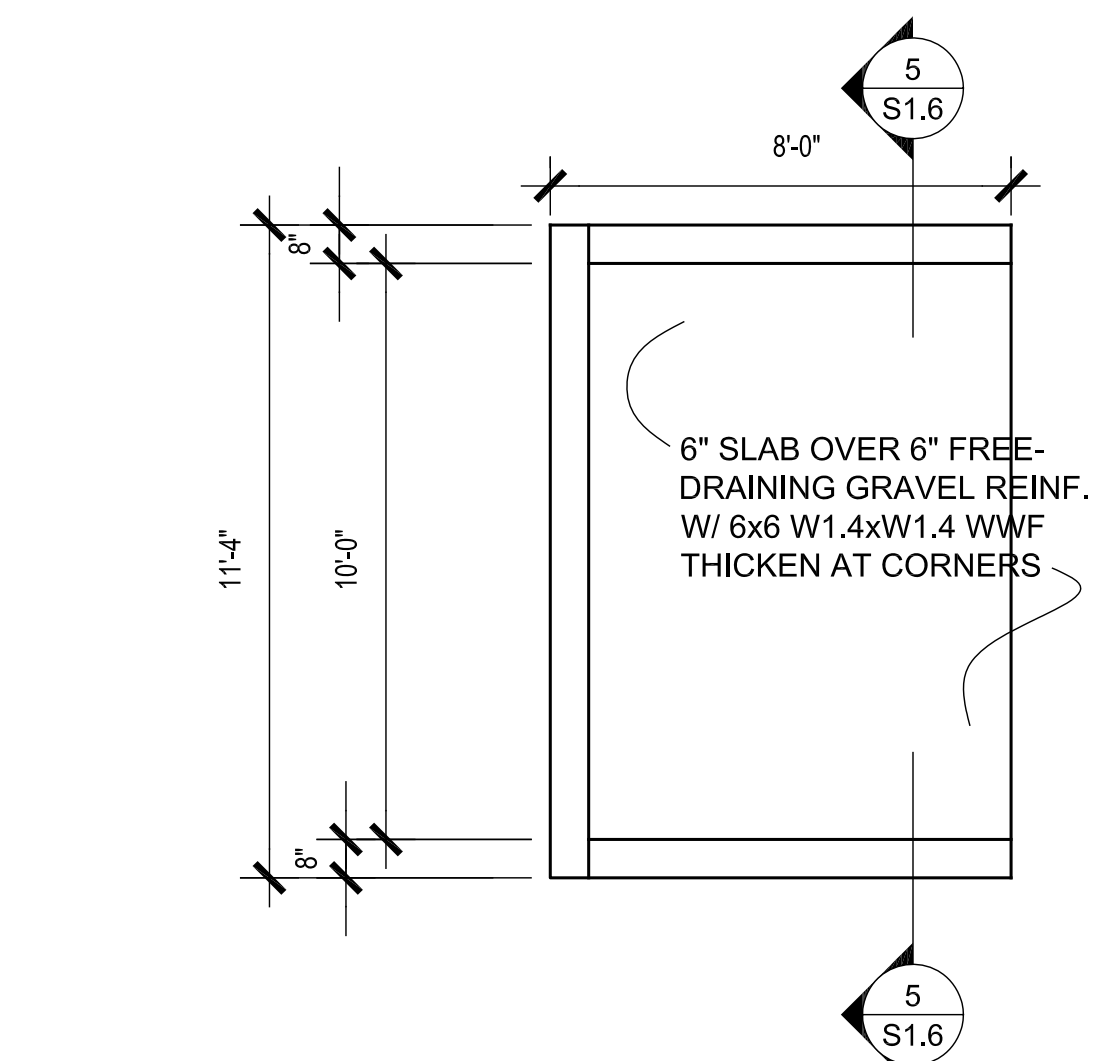
2 TRASH DUMPSTER - SIDE ELEVATION



5 TRASH DUMPSTER - SLUMP FORM FRAMING DETAIL

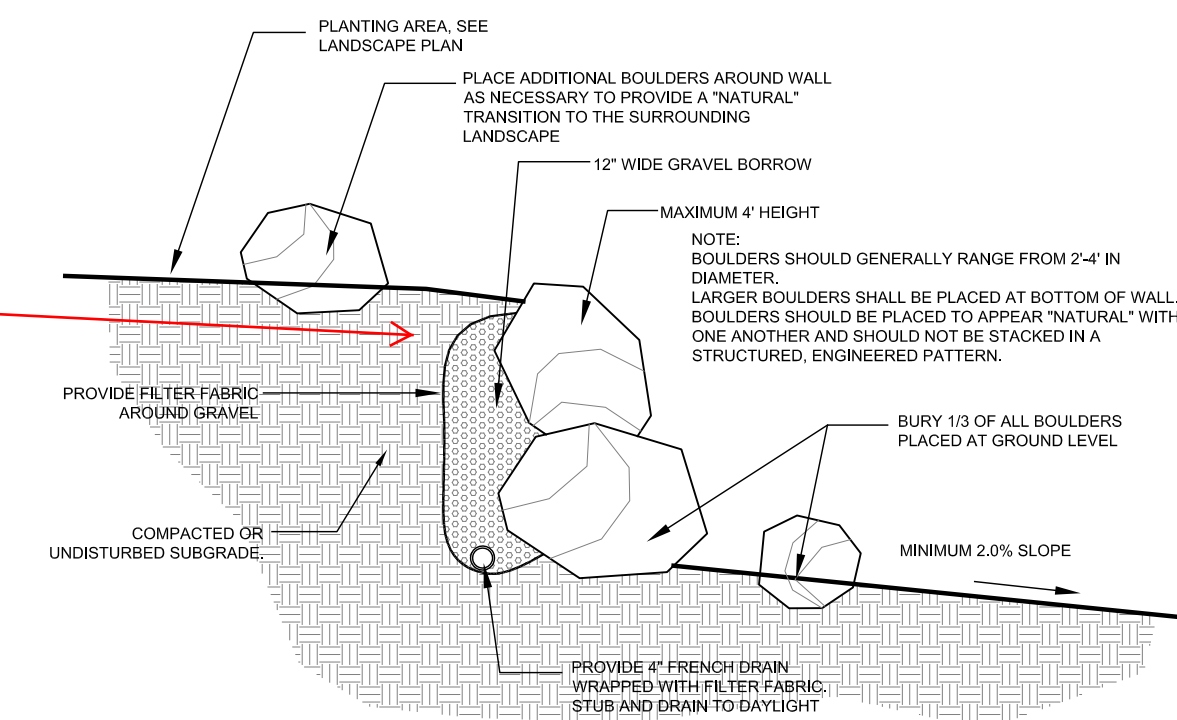


7 BOLLARD LIGHT



3 TRASH DUMPSTER - PLAN VIEW

Is there any distance requirement to an additional rock wall behind?



8 BOULDER RETAINING WALL

THE RIDGE TOWNHOMES

WEBER COUNTY, UT

Phase One Plans
WEBER COUNTY, UT

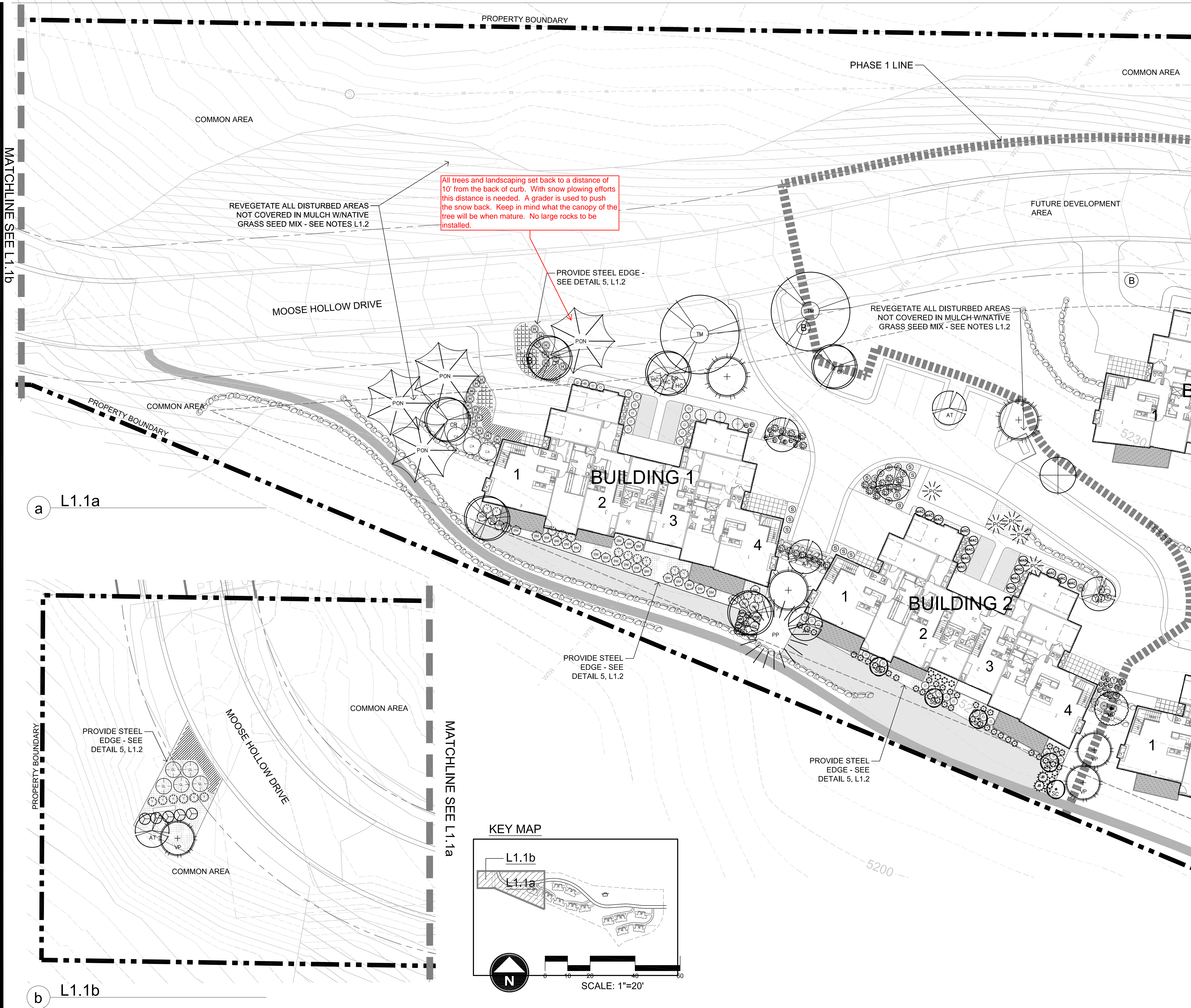


DATE:	NOVEMBER 2013
PROJECT:	.028
DRAWN BY:	MP
REVIEW BY:	EL
VERSION:	SUBDIVISION APP.
REVISIONS:	

SHEET TITLE:
SITE DETAILS

SHEET NUMBER:

S1.2



Plant Schedule

SYMBOL	BOTANICAL/COMMON NAME
EVERGREEN TREES	
	<i>Abies lasiocarpa</i> Sub-Alpine Fir
	<i>Picea abies</i> 'Cupressina' Columnar Norway Spruce
	<i>Picea pungens</i> Colorado Spruce
	<i>Pinus flexilis glauca</i> 'Vanderwolf's Pyramid' Vanderwolf Limber Pine
	<i>Pinus ponderosa</i> Ponderosa Pine
DECIDUOUS TREES	
	<i>Acer tartarian</i> 'GarAnn' Hot Wings Tartarian
	<i>Crataegus lavallei</i> 'Carriere' Carriere Hawthorn
	<i>Malus x 'Perfect Purple'</i> Perfect Purple Crabapple
	<i>Populus tremula</i> 'erecta' Swedish Columnar Swedish Columnar Aspen
	<i>Sorbus aucuparia</i> 'Cardinal Royal' Cardinal Royal Mtn. Ash
	<i>Tilia mongolica</i> 'Harvest Gold' Harvest Gold Mongolian Linden
EVERGREEN SHRUBS	
	<i>Buxus x 'Green Velvet'</i> Green Velvet Boxwood
	<i>Juniperus horizontalis</i> 'Bar Harbor' Bar Harbor Juniper
	<i>Mahonia aquifolium</i> 'compacta' Compact Oregon Grape
	<i>Pinus sylvestris</i> 'Hillside Creeper' Hillside Creeper Scotch Pine
	<i>Yucca filamentosa</i> Yucca
LARGE SHRUBS 7-9' SPREAD	
	<i>Cornus alba</i> 'Argenteo marginata' Variegated Dogwood
	<i>Rhus aromatica</i> 'Grow Low' Grow Low Sumac
MEDIUM SHRUBS 5-7' SPREAD	
	<i>Cornus sericea</i> 'Alleman's Compact' Alleman's Red Osier Dogwood
	<i>Physocarpus opulifolius</i> 'Dart's Gold' Ninebark
SMALL SHRUBS 2-5' SPREAD	
	<i>Caryopteris x clandonensis</i> 'Blue Mist' Blue Mist Spirea
PERENNIALS	
	<i>Achillea filipendulina</i> Yellow Yarrow
	<i>Echinacea purpurea</i> Purple Coneflower
	<i>Leucanthemum x compact</i> 'Snow Lady' Shasta Dwarf Daisy
	<i>Perovskia atriplicifolia</i> Common Russian Sage
	<i>Rudbeckia fulgida</i> 'Goldstrum' Black Eyed Susan
GRASSES	
	<i>Bouteloua gracilis</i> 'Blonde Ambition' Blonde Ambition Blue Gramma Grass
	<i>Panicum virgatum</i> 'Heavy Metal' Heavy Metal Switch Grass
	<i>Pennisetum alopecuroides</i> Hornet Fountain Grass
GROUNDCOVERS	
	<i>Mahonia repens</i> Creeping Oregon Grape
	Turf
MATERIALS	
	Shredded Bark Mulch As Approved by Landscape Architect

THE RIDGE TOWNHOMES
 WEBER COUNTY, UT

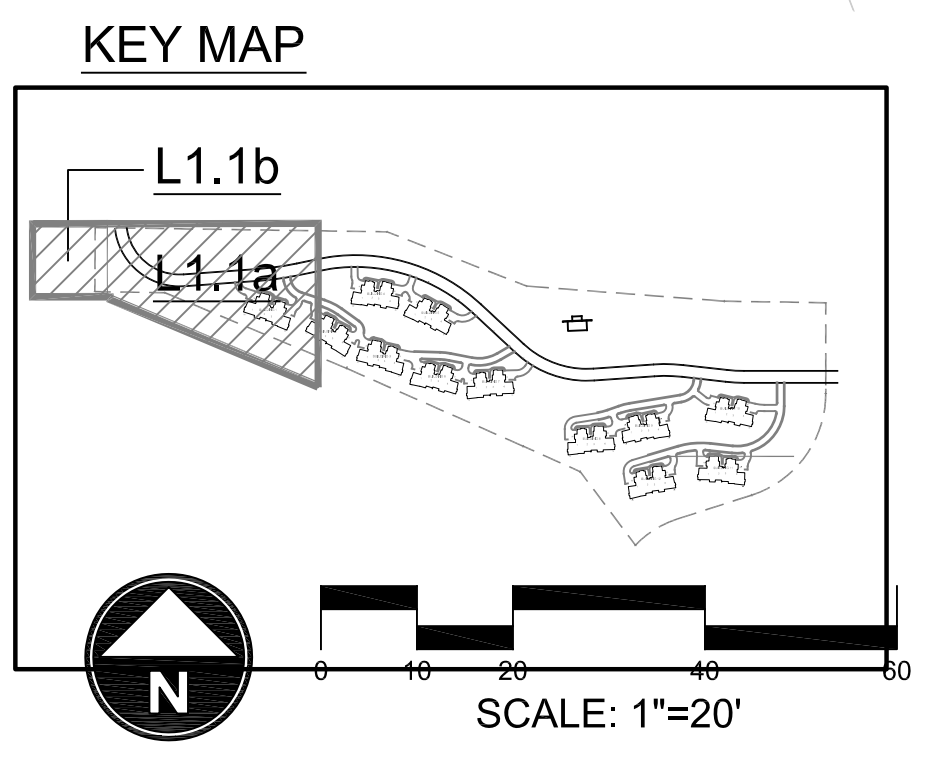
Phase
 One Plans
 WEBER COUNTY, UT



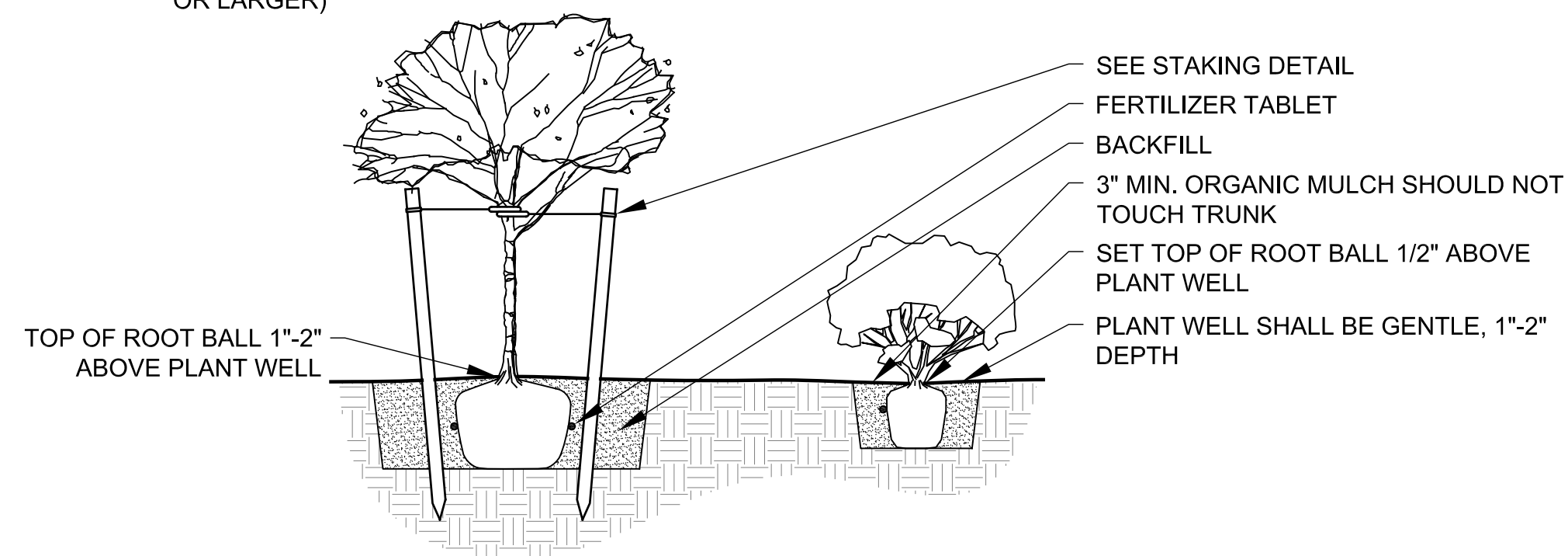
DATE:	NOVEMBER 2013
PROJECT:	.028
DRAWN BY:	MP
REVIEW BY:	EL
VERSION:	SUBDIVISION APP.
REVISIONS:	

SHEET TITLE:
LANDSCAPE PLAN

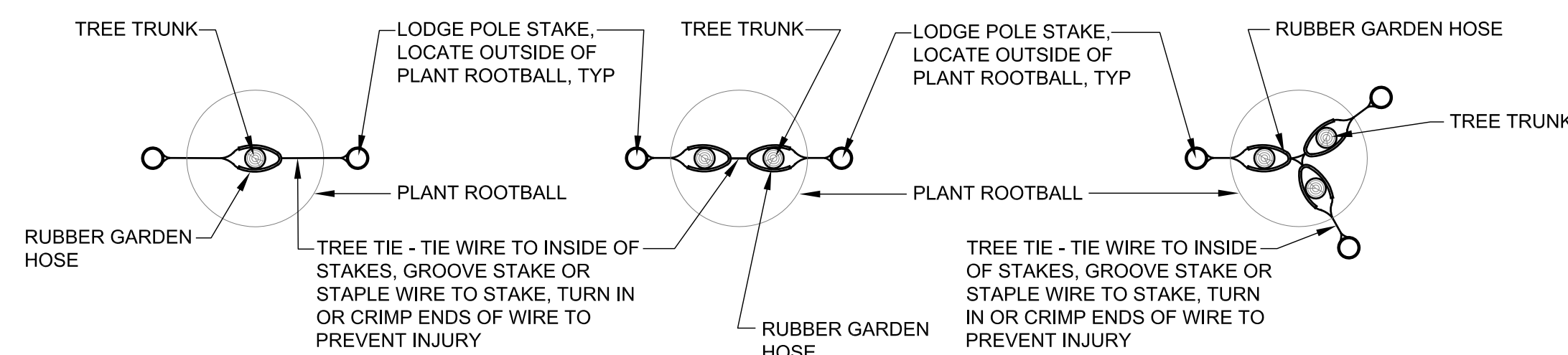
SHEET NUMBER:
L1.1



BACKFILL:
ONE PART MULCH TO THREE PARTS NATIVE SOIL.
PLANTING PIT SIZES:
1 GAL. OR 5 GAL. - 2X WIDTH OF ROOT BALL, DEPTH = ROOT BALL + 6"
15 GAL. OR LARGER - 3X WIDTH OF ROOT BALL, DEPTH = ROOT BALL + 12"
FERTILIZER TABLETS (21 GRAM AGRIFORM TABLETS)
1 PER 1 GAL., 3 PER 5 GAL., 5 PER 15 GAL., 1 PER 3" OF BOX SIZE (24" BOX OR LARGER)

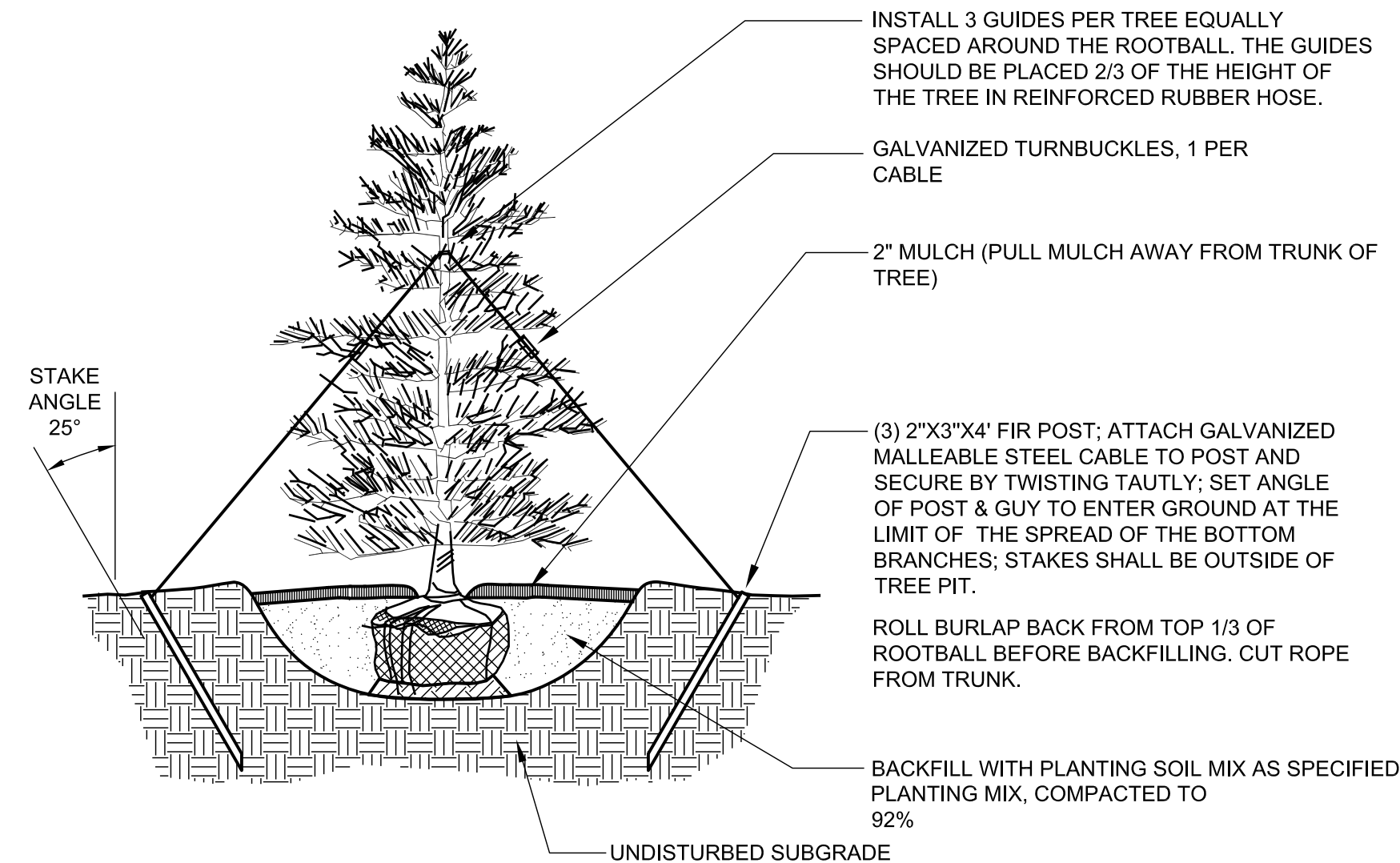


1 DECIDUOUS TREE AND SHRUB PLANTING



TREE STAKING PLAN - STANDARD TREE STAKING PLAN - MULTIPLE TREE STAKING PLAN - MULTIPLE

2 DECIDUOUS TREE STAKING

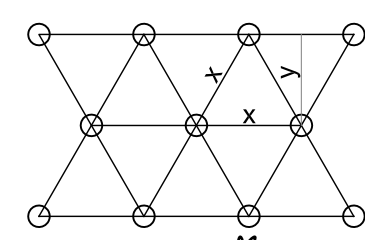


3 EVERGREEN TREE PLANTING AND STAKING

NOTE:
ALL GROUNDCOVERS TO BE PLANTED ON CENTER (SEE PLANT LEGEND) IN A TRIANGULAR PATTERN.
SPACING (X) | ROW (Y)

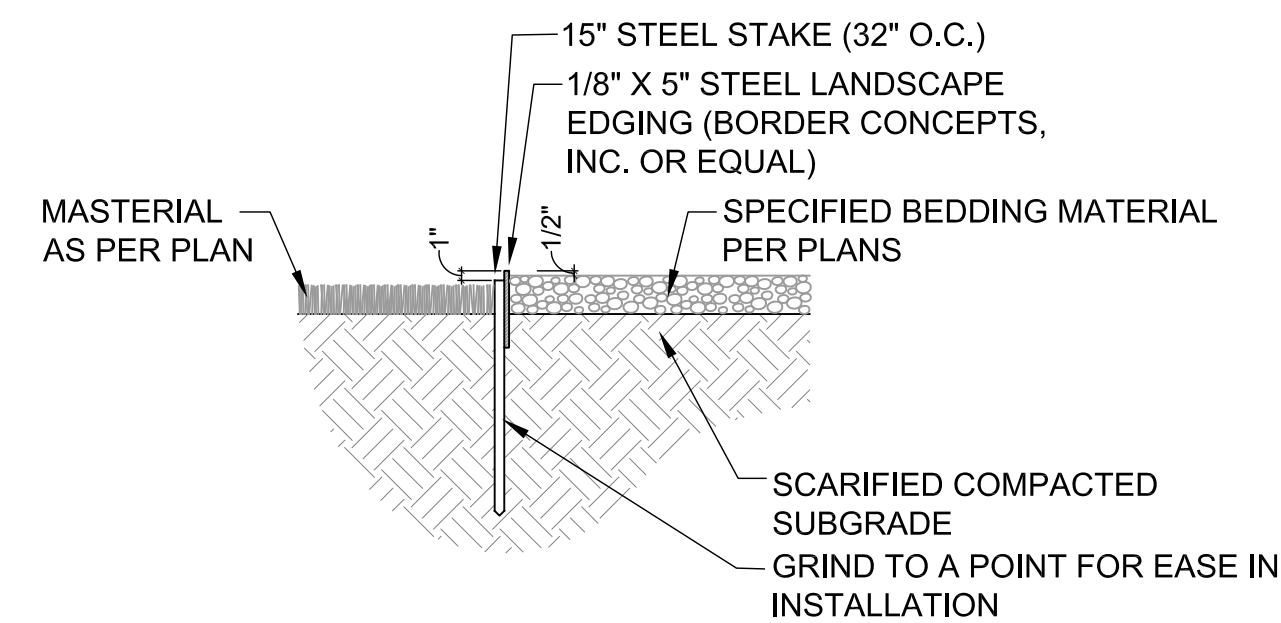
3 FT. O.C.	2.60 FT.
4 FT. O.C.	3.46 FT.

PLANT SPACING

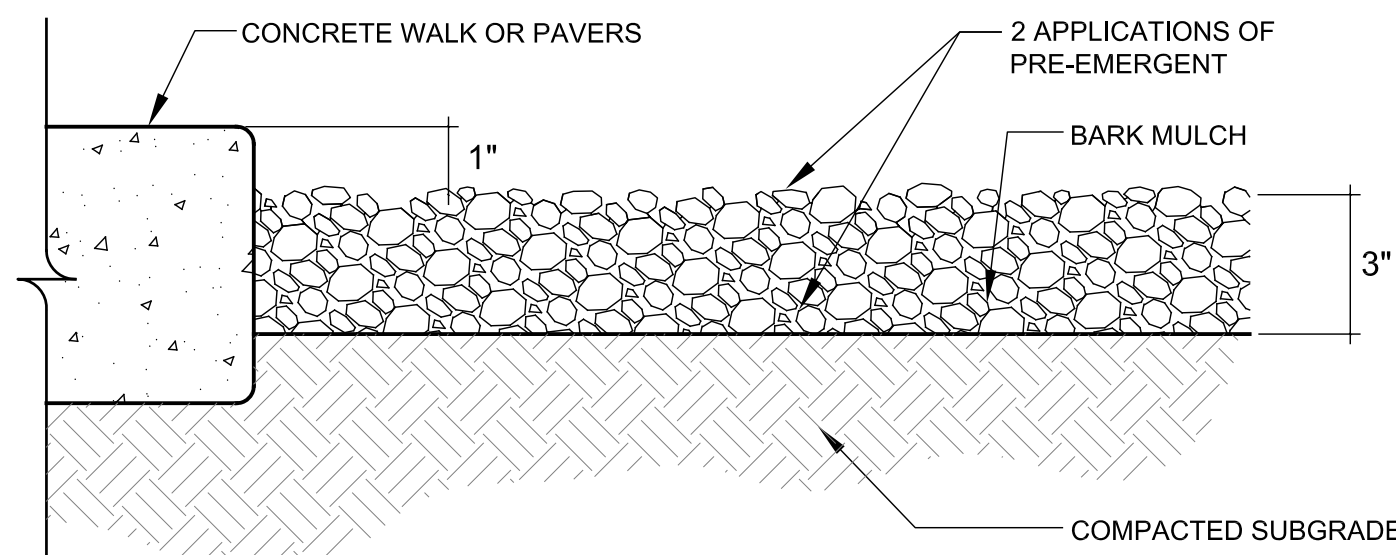


MULCH SOIL TO A DEPTH OF 2". 1" IN DIAMETER. KEEP MULCH 2" AWAY FROM PLANT BASE
PREPARE SOIL PER SPECIFICATIONS AND ROTOTILL TO A DEPTH OF 6" PRIOR TO ANY SPRINKLER WORK
BACKFILL WITH NATIVE SOIL. APPLY FERTILIZER TO SURFACE AWAY FROM TRUNK PER SPECIFICATIONS

4 GROUNDCOVER SPACING



5 STEEL LANDSCAPE EDGING



NOTES:
1. SIZE AND COLOR OF MULCH IS SHOWN ON THE SITE PLAN AND LANDSCAPE PLAN.
2. PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE BEFORE INSTALLATION OF MULCH.
3. FINAL APPLICATION OF PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE AFTER INSTALLATION OF MULCH IS RAKED SMOOTH AND UNIFORM.

6 LANDSCAPE MULCH

GENERAL LANDSCAPE NOTES

1. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING AND PROPOSED UTILITIES, AND ALL SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE PROJECT MANAGER AND ALL OTHER CONTRACTORS WORKING ON THE SITE.
2. THE FINISH GRADE OF ALL PLANTING AREAS SHALL BE SMOOTH, EVEN AND CONSISTENT, FREE OF ANY HUMPS, DEPRESSIONS OR OTHER GRADING IRREGULARITIES. THE FINISH GRADE OF ALL LANDSCAPE AREAS SHALL BE GRADED CONSISTENTLY 3/4" BELOW THE TOP OF ALL SURROUNDING WALKS, CURBS, ETC.
3. THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL PLANTS FOR APPROVAL PRIOR TO PLANTING. TREES SHALL BE LOCATED EQUIDISTANT FROM ALL SURROUNDING PLANT MATERIAL. SHRUBS AND GROUND COVERS SHALL BE TRIANGULAR AND EQUALLY SPACED.
4. THE PLANT MATERIALS LIST IS PROVIDED AS AN INDICATION OF THE SPECIFIC REQUIREMENTS OF THE PLANTS SPECIFIED, WHEREVER IN CONFLICT WITH THE PLANTING PLAN, THE PLANTING PLAN SHALL GOVERN.
5. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE PROPER COMPLETION OF ALL LANDSCAPE WORK AS SPECIFIED AND SHOWN ON THE DRAWINGS.
6. ALL PLANT MATERIALS SHALL BE APPROVED PRIOR TO PLANTING. THE OWNER/LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT ANY AND ALL PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS. THE OWNER/LANDSCAPE ARCHITECT'S DECISION WILL BE FINAL.
7. THE CONTRACTOR SHALL KEEP THE PREMISES, STORAGE AREAS AND PAVING AREAS NEAT AND ORDERLY AT ALL TIMES. REMOVE TRASH, SWEEP, CLEAN, HOSE, ETC. DAILY.
8. THE CONTRACTOR SHALL PLANT ALL PLANTS PER THE PLANTING DETAILS, STAKE/GUY AS SHOWN. TOP OF ROOT BALLS SHALL BE PLANTED FLUSH WITH FINISH GRADE.
9. THE CONTRACTOR SHALL NOT IMPEDE DRAINAGE IN ANY WAY. THE CONTRACTOR SHALL ALWAYS MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING, WALLS, ETC.
10. THE CONTRACTOR SHALL MAINTAIN ALL WORK UNTIL ALL WORK IS COMPLETE AND ACCEPTED BY THE OWNER. UPON COMPLETION OF LANDSCAPE WORK AN INSPECTION FOR ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT FOR SCHEDULING OF INSPECTION AT LEAST SEVEN (7) DAYS IN ADVANCE.
11. THE CONTRACTOR SHALL MAINTAIN AND GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. REPLACEMENT PLANTS SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS. MAINTENANCE SHALL INCLUDE MOWING, WEEDING, FERTILIZING, CLEANING, INSECTICIDES, HERBICIDES, ETC.
12. NATIVE GRASS SEEDING AREAS TO BE A MIXTURE OF:
40% BIG HORN BLUE HARD FESCUE
40% DEFIANT HARD FESCUE
20% JAMESTOWN 4 CHEWINGS FESCUE
SEEDING RATE: 35 LBS PLS/ACRE
13. ALL DISTURBED AREAS OUTSIDE MULCHED LANDSCAPE BEDS ARE TO BE SEED WITH NATIVE GRASS MIXTURE.
14. ALL LANDSCAPE BEDS TO BE MULCHED WITH A MINIMUM 3" SHREDDED BARK.

IRRIGATION NOTE:

1. ALL PLANT MATERIALS SHOWN ON THE DRAWING SHALL BE SERVICED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. ALL SHRUB BED AREAS, INCLUDING TREES SHALL BE IRRIGATED WITH A LOW PRESSURE DRIP IRRIGATION SYSTEM. ALL GRASS AREAS, EITHER NATIVE OR MANICURED SHALL BE IRRIGATED WITH A BROADCAST IRRIGATION SYSTEM.
2. THE CONTRACTOR IS TO HAVE A QUALIFIED IRRIGATION SYSTEM SPECIALIST PREPARE A DESIGN FOR AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM AND SUBMIT DRAWINGS TO THE ENGINEER FOR APPROVAL AT LEAST 30 DAYS PRIOR TO THE SYSTEM INSTALLATION.
3. UNDERGROUND IRRIGATION SYSTEM DRAWINGS SHALL BE PREPARED ON 24"X 36" SHEETS, NEATLY DRAWN AND VERY LEGIBLE. DRAWINGS ARE TO INCLUDE HEAD SPACING, TYPES OF HEADS, PIPING WITH SIZES, VALVES, FITTINGS AND ALL OTHER ITEMS REQUIRED FOR PROPER INSTALLATION OF THE SYSTEM.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL IRRIGATION SLEEVES PRIOR TO PLACEMENT OF HARD IMPROVEMENTS, COORDINATE WITH THE GENERAL CONTRACTOR.
5. THE UTILITY CONTRACTOR IS TO PROVIDE AN IRRIGATION SYSTEM CONNECTION TO EITHER THE CULINARY OR SECONDARY WATER LINE WITH A BACK FLOW PREVENTION DEVICE, AS APPLICABLE, WITHIN STATE AND LOCAL JURISDICTIONAL CODES. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO COORDINATE THIS ITEM WITH THE UTILITY CONTRACTOR. IF SECONDARY WATER IS USED, THE SYSTEM SHALL BE FILTERED WITH A CLEANABLE FILTER SYSTEM.
6. THE IRRIGATION CONTROL BOX SHALL BE LOCATED AT THE DIRECTION OF THE PROJECT MANAGER/OWNER.

Plant Schedule

QUANTITY	SYMBOL	BOTANICAL/COMMON NAME		
EVERGREEN TREES				
3	(Symbol)	Abies lasiocarpa Sub-Alpine Fir	6-8' Hgt.	50'x18'
5	(Symbol)	Picea abies 'Cupressina' Columnar Columnar Norway Spruce	6-8' Hgt.	15-20' x 8'
1	(Symbol)	Picea pungens Colorado Spruce	6-8' Hgt.	50'x30'
3	(Symbol)	Pinus flexilis glauca 'Vanderwolf's Pyramid' Vanderwolf Limber Pine	6-8' Hgt.	25'x15'
4	(Symbol)	Pinus ponderosa Ponderosa Pine	6-8' Hgt.	50'x40'
DECIDUOUS TREES				
7	(Symbol)	Acer tartarian 'GarAnn' Hot Wings Tartarian	2" CAL.	20'x15'
1	(Symbol)	Crataegus lavallei 'Carriere' Carriere Hawthorn	2" CAL.	28'x20'
2	(Symbol)	Malus x 'Perfect Purple' Perfect Purple Crabapple	2" CAL.	15'x15'
5	(Symbol)	Populus tremula 'erecta' Swedish Columnar Swedish Columnar Aspen	2" CAL.	35'x8'
6	(Symbol)	Sorbus aucuparia 'Cardinal Royal' Cardinal Royal Mtn. Ash	2" CAL.	35'x20'
2	(Symbol)	Tilia mongolica 'Harvest Gold' Harvest Gold Mongolian Linden	2" CAL.	40'x25'
EVERGREEN SHRUBS				
32	(Symbol)	Buxus x 'Green Velvet' Green Velvet Boxwood	5 Gal.	4'x4'
2	(Symbol)	Juniperus horizontalis 'Bar Harbor' Bar Harbor Juniper	5 Gal.	12'x6'
15	(Symbol)	Mahonia aquifolium 'compacta' Compact Oregon Grape	5 Gal.	3'x4'
3	(Symbol)	Pinus sylvestris 'Hillside Creeper' Hillside Creeper Scotch Pine	5 Gal.	2'x6'
19	(Symbol)	Yucca filamentosa Yucca	5 Gal.	3'x4'
LARGE SHRUBS 7-9' SPREAD				
3	(Symbol)	Cornus alba 'Argenteo marginata' Variegated Dogwood	5 Gal.	8'x8'
5	(Symbol)	Rhus aromatica 'Grow Low' Grow Low Sumac	5 Gal.	30'x7'
MEDIUM SHRUBS 5-7' SPREAD				
3	(Symbol)	Cornus sericea 'Alleman's Compact' Alleman's Red Osier Dogwood	5 Gal.	5'x5'
5	(Symbol)	Physocarpus opulifolius 'Dart's Gold' Ninebark	5 Gal.	5'x5'
SMALL SHRUBS 2-5' SPREAD				
26	(Symbol)	Caryopteris x clandonensis 'Blue Mist' Blue Mist Spirea	5 Gal.	4'x4'
PERENNIALS				
7	(Symbol)	Achillea filipendula Yellow Yarrow	1 Gal.	4'x3'
22	(Symbol)	Echinacea purpurea Purple Coneflower	1 Gal.	30" x 24"
105	(Symbol)	Leucanthemum x compact 'Snow Lady' Shasta Dwarf Daisy	1 Gal.	12" x 12"
17	(Symbol)	Perovskia atriplicifolia Common Russian Sage	1 Gal.	3.5'x3'
9	(Symbol)	Rudbeckia fulgida 'Goldstrum' Black Eyed Susan	1 Gal.	3'x2'
GRASSES				
28	(Symbol)	Bouteloua gracilis 'Blonde Ambition' Blonde Ambition Blue Gramma Grass	1 Gal.	3'x3'
25	(Symbol)	Panicum virgatum 'Heavy Metal' Heavy Metal Switch Grass	1 Gal.	5'x3'
39	(Symbol)	Pennisetum alopecuroides Hamel Fountain Grass	1 Gal.	3'x3'
GROUNDCOVERS				
4	(Symbol)	Mahonia repens Creeping Oregon Grape	1 Gal.	2'x3'
4,065 S.F.	(Symbol)	Turf		SOD
MATERIALS				
58 C.Y.	(Symbol)	Shredded Bark Mulch As Approved by Landscape Architect		3" Depth

THE RIDGE TOWNHOMES
WEBER COUNTY, UT

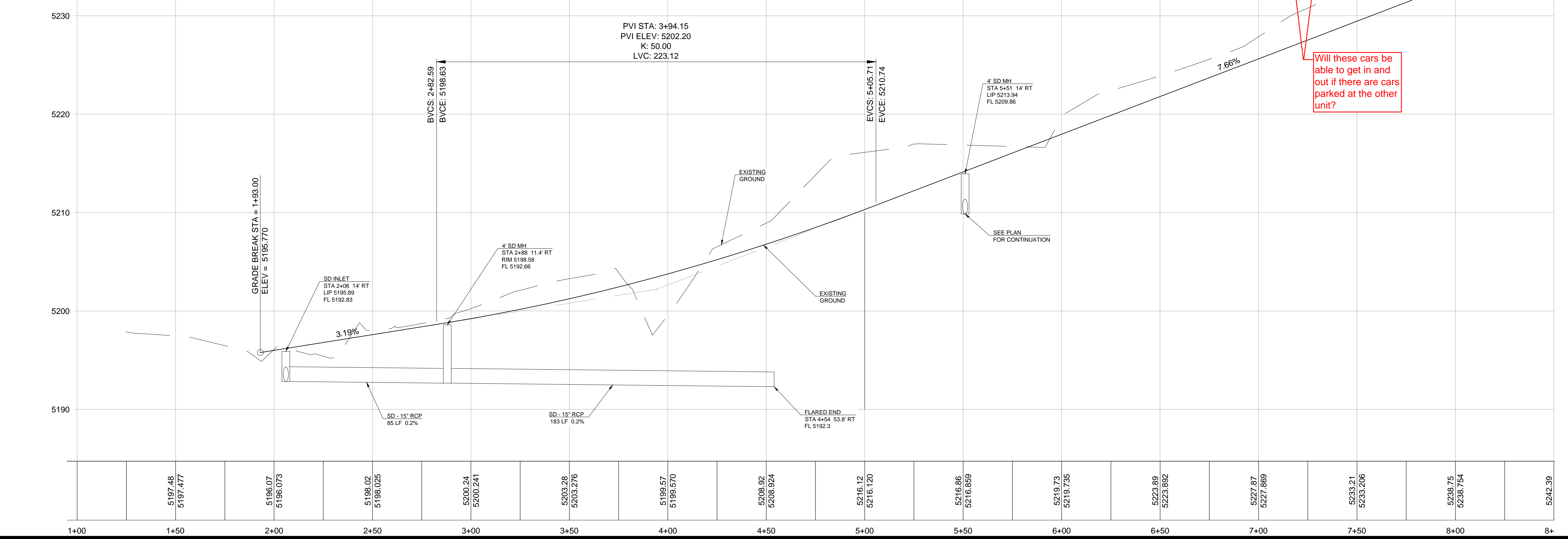
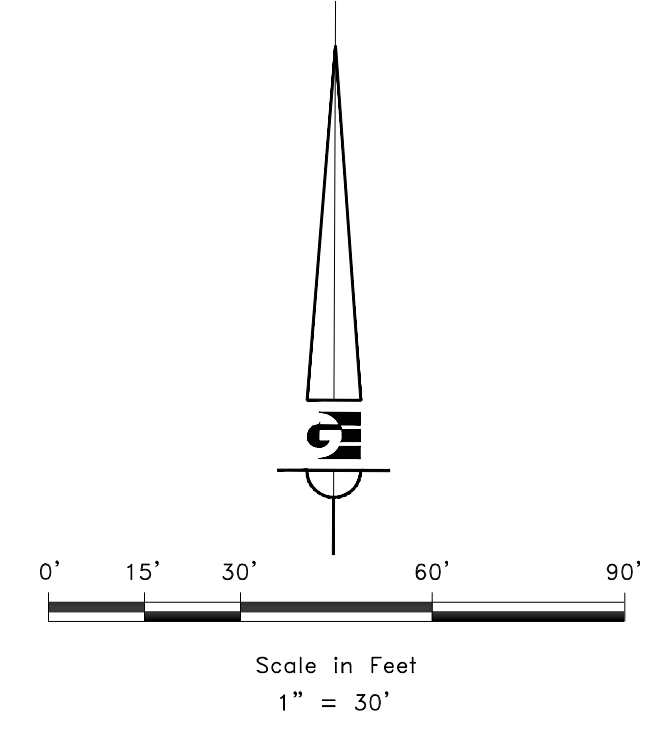
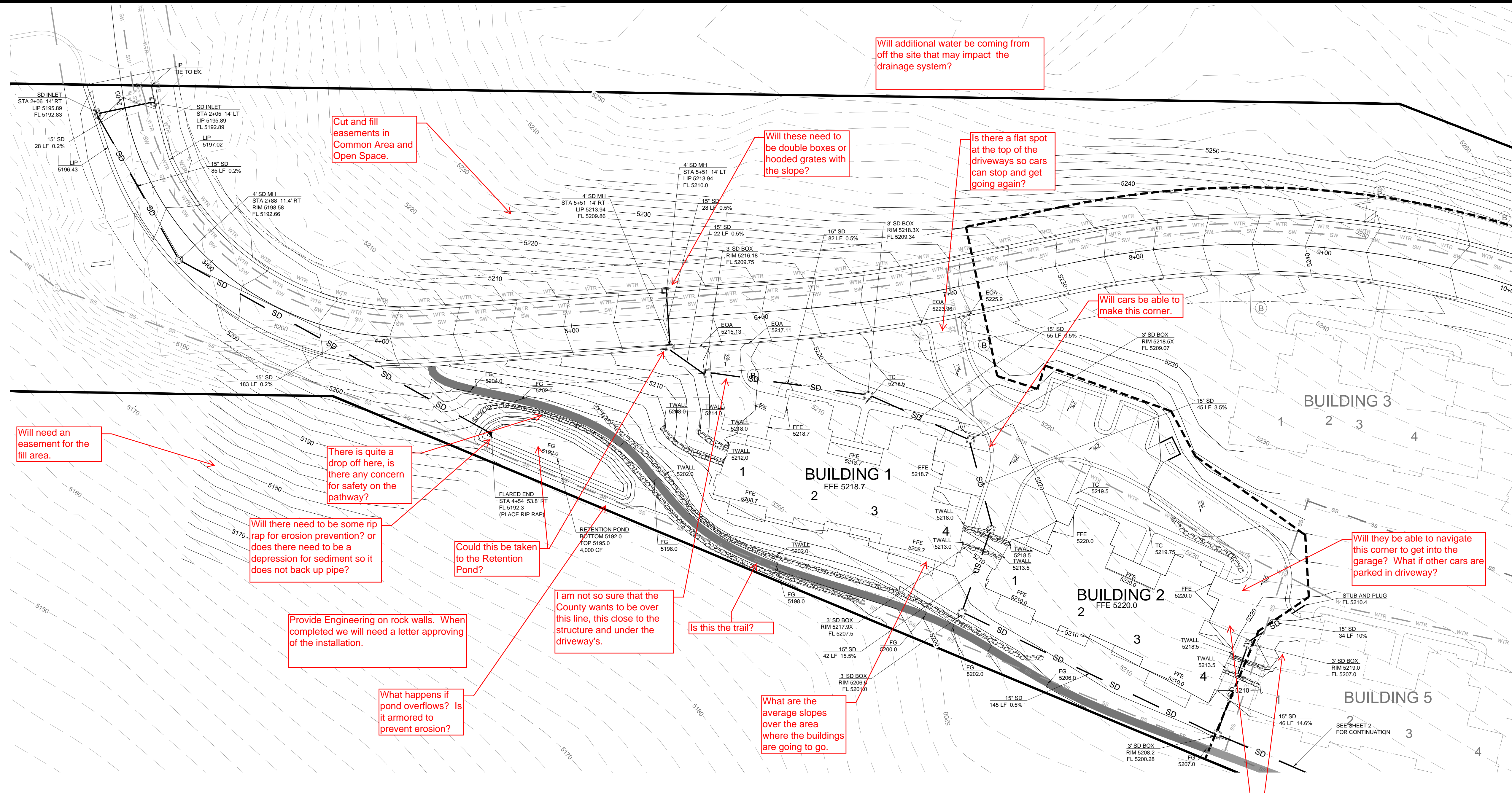
Phase
One Plans
WEBER COUNTY, UT



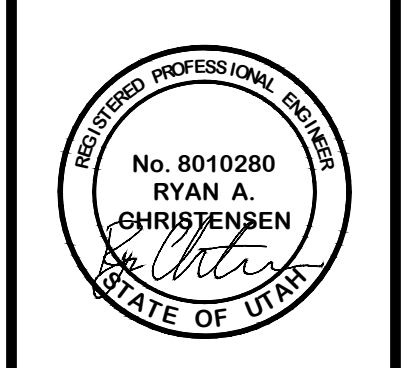
DATE: NOVEMBER 2013
PROJECT: .028
DRAWN BY: MP
REVIEW BY: EL
VERSION: SUBDIVISION APP.
REVISIONS:

SHEET TITLE:
**LANDSCAPE
DETAILS**

SHEET NUMBER:
L1.2



SCALE	1" = 30'
DATE	OCTOBER 2013
DESIGN	RC
DRAWN	DTB
CHECKED	TN
DATE	
REVISIONS	DESCRIPTION



PLAN AND PROFILE
 THE RIDGE
 LEWIS HOMES
 EDEN, WEBER COUNTY, UTAH

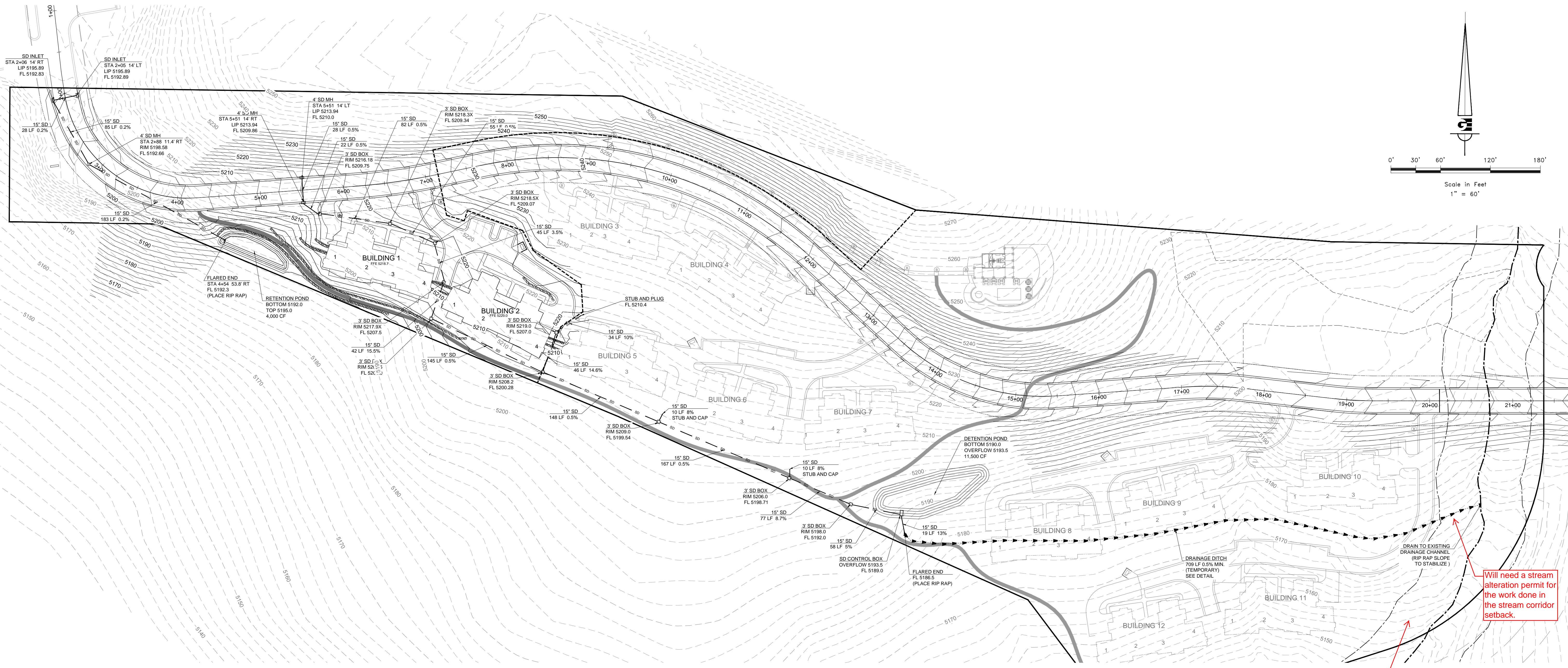
GARDNER ENGINEERING
 CIVIL-LAND PLANNING
 MUNICIPAL-LAND SURVEYING
 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0066

NOTICE:
 EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR THE UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

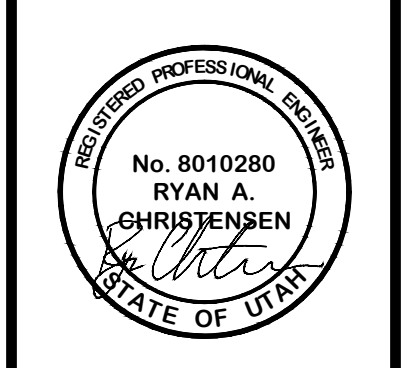
Call BLUE STAKES BEFORE YOU Dig
 1-800-662-4111
(NATIONAL SERVICE CALL)

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

SEE NOTES ON SHEET C2
 DEVELOPER:
 LEWIS HOMES
 ERIC HOUSEHOLDER
 801-389-0040



SCALE	1" = 60'
DATE	OCTOBER 2013
DESIGN	RC
DRAWN	DTB
CHECKED	TN
DWG: E:\1201\1303\DESIGN\PROJ.DWG SITE - THE RIDGE - TOWNHOMES.DWG	



OVERALL GRADING AND DRAINAGE
THE RIDGE
LEWIS HOMES
EDEN, WEBER COUNTY, UTAH

GENERAL NOTES

- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY WEBER COUNTY AND WOLF CREEK WATER AND SEWER IMPROVEMENT DISTRICT (WCWSID).
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE DESIGNATED PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT DRAWINGS ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE OWNER.
- THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTORS SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

SWPPP GENERAL NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY THE CITY AND STATE.
- ALL STRUCTURAL EROSION MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.

STORM SEWER GENERAL NOTES

- ALL STORM SEWER CONNECTIONS SHALL BE IN CONFORMANCE WITH THE WEBER COUNTY STANDARDS AND SPECIFICATIONS.
- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE OGDEN CITY STANDARDS AND SPECIFICATIONS AND PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACEMENT OF ASPHALT PAVING.
- COMPACTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED PRIOR TO FINAL ACCEPTANCE.
- ALL STORM DRAIN PIPES IN THE CITY RIGHT-OF-WAY SHALL BE RCP CL III.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS. ALL STORM SEWER LIDS SHALL BE LABELED "STORM DRAIN".
- WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

SANITARY SEWER GENERAL NOTES

- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH WCWSID STANDARDS AND SPECIFICATIONS.
- ALL GRAVITY SANITARY SEWER LINES SHALL BE SDR-35 PVC MATERIAL. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
- DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE.
- ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH THE WCWSID STANDARDS AND SPECIFICATIONS. COPIES OF ALL TEST RESULTS SHALL BE PROVIDED PRIOR TO FINAL ACCEPTANCE.
- COMPACTION TESTING OF ALL TRENCHES WITH THE PROJECT SITE MUST BE ATTAINED AND RESULTS SUBMITTED PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.
- WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

GENERAL GRADING NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE WEBER COUNTY STANDARDS AND DIRECTION FROM SOILS REPORT.
- MAXIMUM SLOPES SHALL BE 2:1 FOR CUT AND FILL UNLESS OTHERWISE NOTED.
- COMPACTION REQUIREMENTS AND TESTING SHALL BE PERFORMED TO MEET THE STANDARDS.
- NO FILL SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED PER THE SOILS REPORT.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN BY INSTALLING BMP'S PRIOR TO COMMENCEMENT OF EXCAVATION ACTIVITIES. CONTACT THE CITY INSPECTOR FOR INSPECTION.
- THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
- STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL REQUIRED INSPECTIONS.
- PRIOR TO TAKING WATER FROM A CITY FIRE HYDRANT, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH WATER UTILITY TO OBTAIN A WATER METER.

WATER GENERAL NOTES

- ALL INSTALLATION AND MATERIALS SHALL CONFORM TO WCWSID STANDARDS AND SPECIFICATIONS AND PLANS.
- TRUST BLOCKING IS REQUIRED AT ALL BENDS AND FITTINGS. THE RODS SHALL BE USED AT ALL BENDS AND FITTINGS WHERE THRUST BLOCKS DO NOT BEAR AGAINST UNDISTURBED SOIL.
- ALL WATERLINES AT SEWER CROSSINGS SHALL BE LOCATED ABOVE AND HAVE AN 1/8-INCH VERTICAL SEPARATION FROM THE SEWER PIPE. IF THIS IS NOT PROVIDED, THE WATERLINE SHALL BE INSTALLED WITH 20 L.F. OF CASING CENTERED OVER THE SEWER PIPE.
- DISINFECTION TESTS SHALL BE PERFORMED BY THE CONTRACTOR IN COORDINATION WITH THE DISTRICT.
- CHLORINATION OF COMPLETED WATER LINE. THE NEW WATER LINES SHALL BE DISINFECTED BY CHLORINATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RELATED COSTS AND FEES RELATED TO THE CHLORINATION OF THE COMPLETED WATER LINE. THIS TEST SHALL BE PERFORMED PRIOR TO CONNECTION OF THE NEW WATER LINES TO THE EXISTING WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY HWID AT LEAST 24 HOURS BEFORE THE CHLORINATION IS DESIRED.
- CONTRACTOR SHALL COORDINATE CONNECTION TO THE WATER LINE WITH THE DISTRICT.
- A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET SHALL BE MAINTAINED FROM SANITARY SEWER MAINS.
- UNLESS OTHERWISE SPECIFIED, ALL WATERLINES SHALL BE DUCTILE IRON.
- CONTRACTOR SHALL LOCATE VALVES PRIOR TO CONNECTION WITH EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION FROM THE DISTRICT.
- ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO PAVING.
- THERE SHALL BE A WATER SUPPLY TO THE DEVELOPMENT BEFORE ANY WOOD CONSTRUCTION STARTS.

What is the setback?

Will need a stream alteration permit for the work done in the stream corridor setback.

NOTICE:
 EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR THE UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.
 Call BLUE STAKES BEFORE YOU Dig
 1-800-662-4111
 (INDIANAPOLIS SERVICE USA)

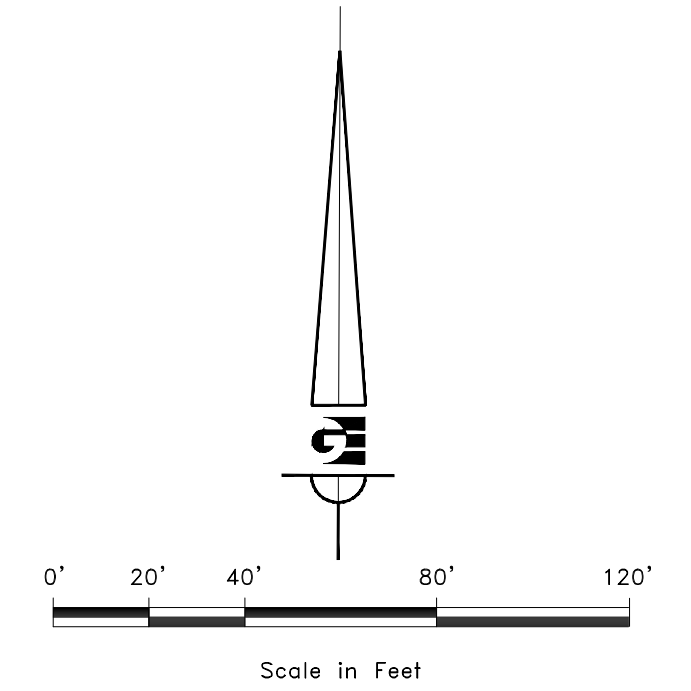
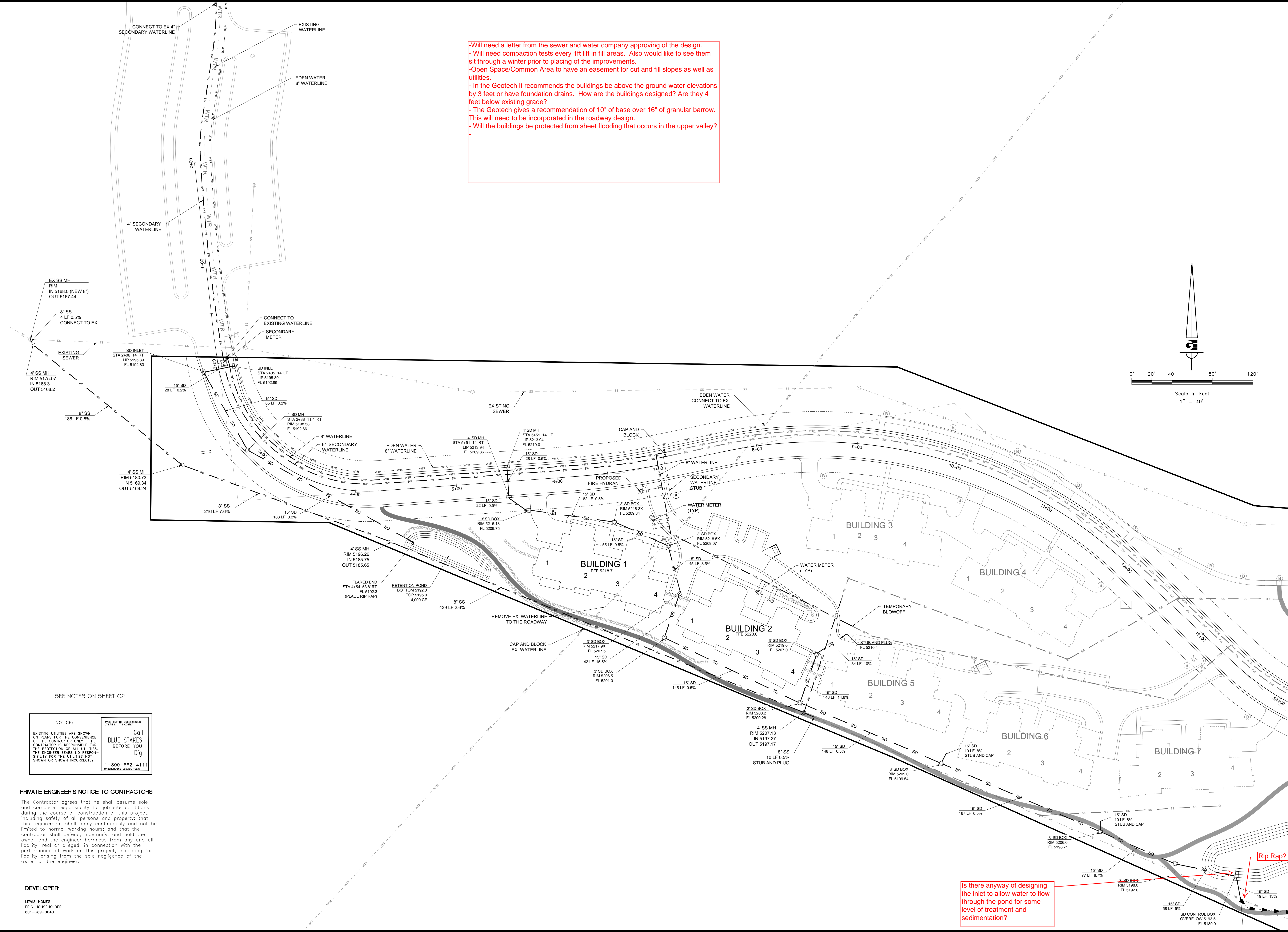
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

DEVELOPER:
 LEWIS HOMES
 ERIC HOUSEHOLDER
 801-389-0040

GARDNER ENGINEERING
 CIVIL-LAND PLANNING
 MUNICIPAL-LAND SURVEYING
 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0066

-Will need a letter from the sewer and water company approving of the design.
 - Will need compaction tests every 1ft lift in fill areas. Also would like to see them sit through a winter prior to placing of the improvements.
 -Open Space/Common Area to have an easement for cut and fill slopes as well as utilities.
 - In the Geotech it recommends the buildings be above the ground water elevations by 3 feet or have foundation drains. How are the buildings designed? Are they 4 feet below existing grade?
 - The Geotech gives a recommendation of 10" of base over 16" of granular barrow. This will need to be incorporated in the roadway design.
 - Will the buildings be protected from sheet flooding that occurs in the upper valley?



SEE NOTES ON SHEET C2

NOTICE:
 EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR THE UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Coll
 BLUE STAKES
 BEFORE YOU
 Dig

1-800-662-4111
 INFORMATION SERVICE (GIS)

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

DEVELOPER:
 LEWIS HOMES
 ERIC HOUSEHOLDER
 801-388-0040

Is there anyway of designing the inlet to allow water to flow through the pond for some level of treatment and sedimentation?

SCALE	1" = 40'
DATE	OCTOBER 2013
DESIGN	RC
DRAWN	DTB
CHECKED	TN
DWG: R:\1\2013\1303\DESIGN\PROJ.DWG SITE - THE RIDGE - TOWNHOMES.DWG	

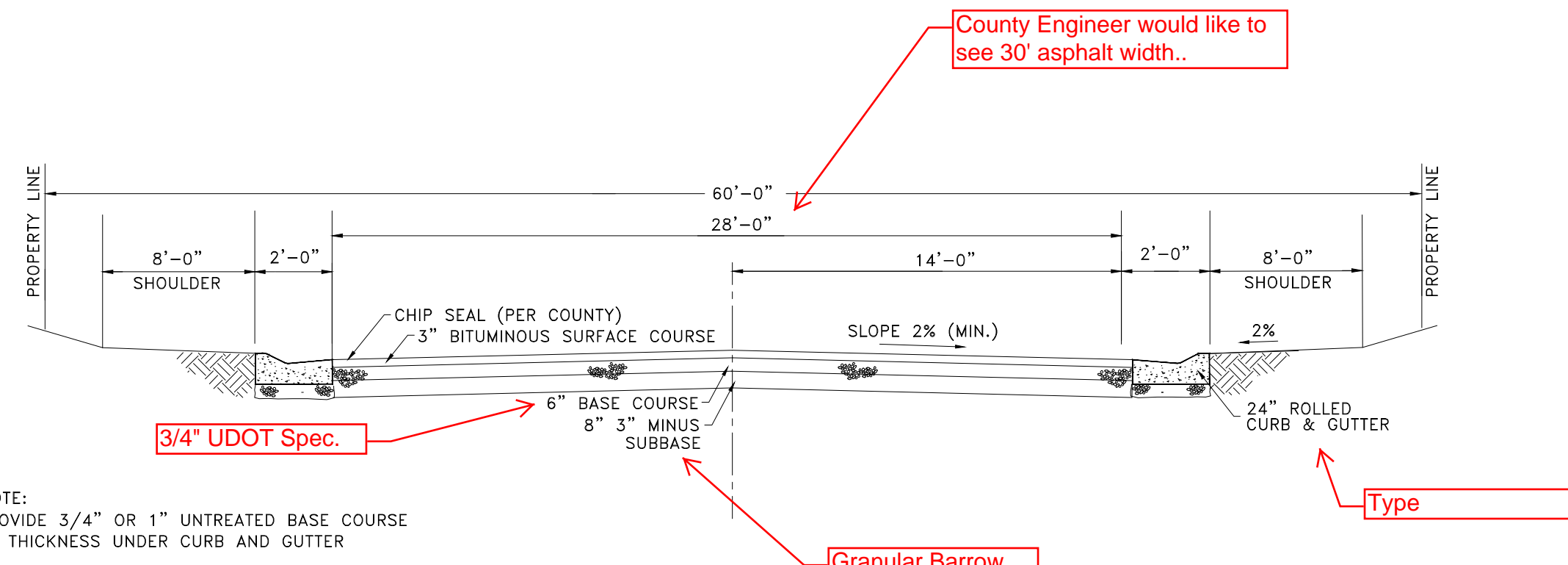


UTILITY PLAN
 THE RIDGE
 LEWIS HOMES
 EDEN, WEBER COUNTY, UTAH

GARDNER ENGINEERING
 CIVIL-LAND PLANNING
 MUNICIPAL-LAND SURVEYING

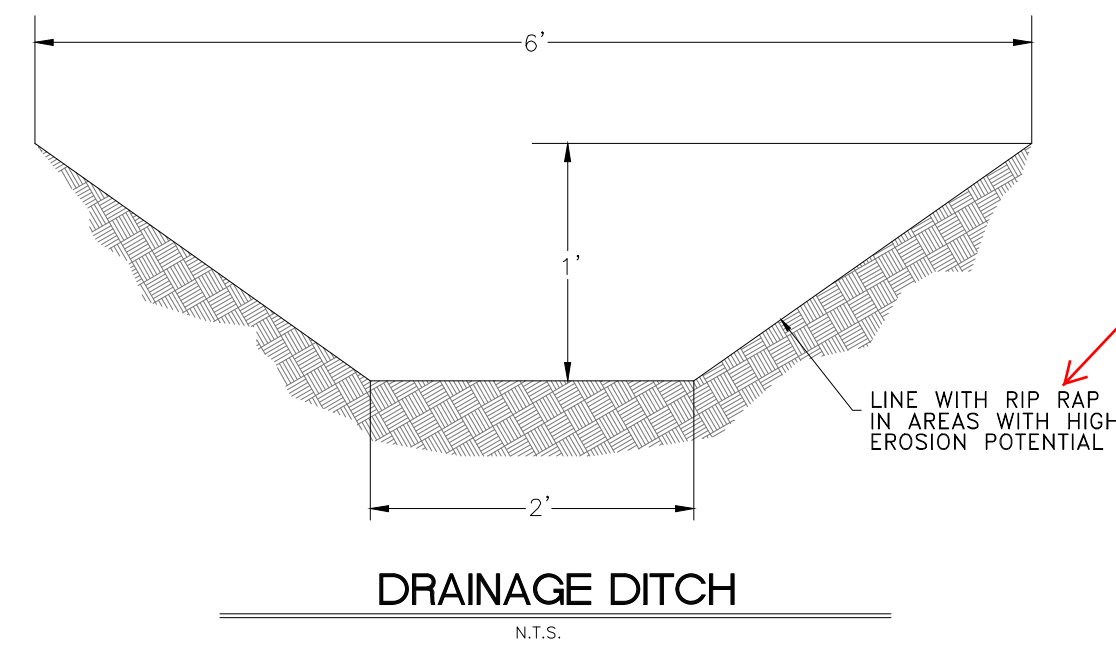
5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0066

3

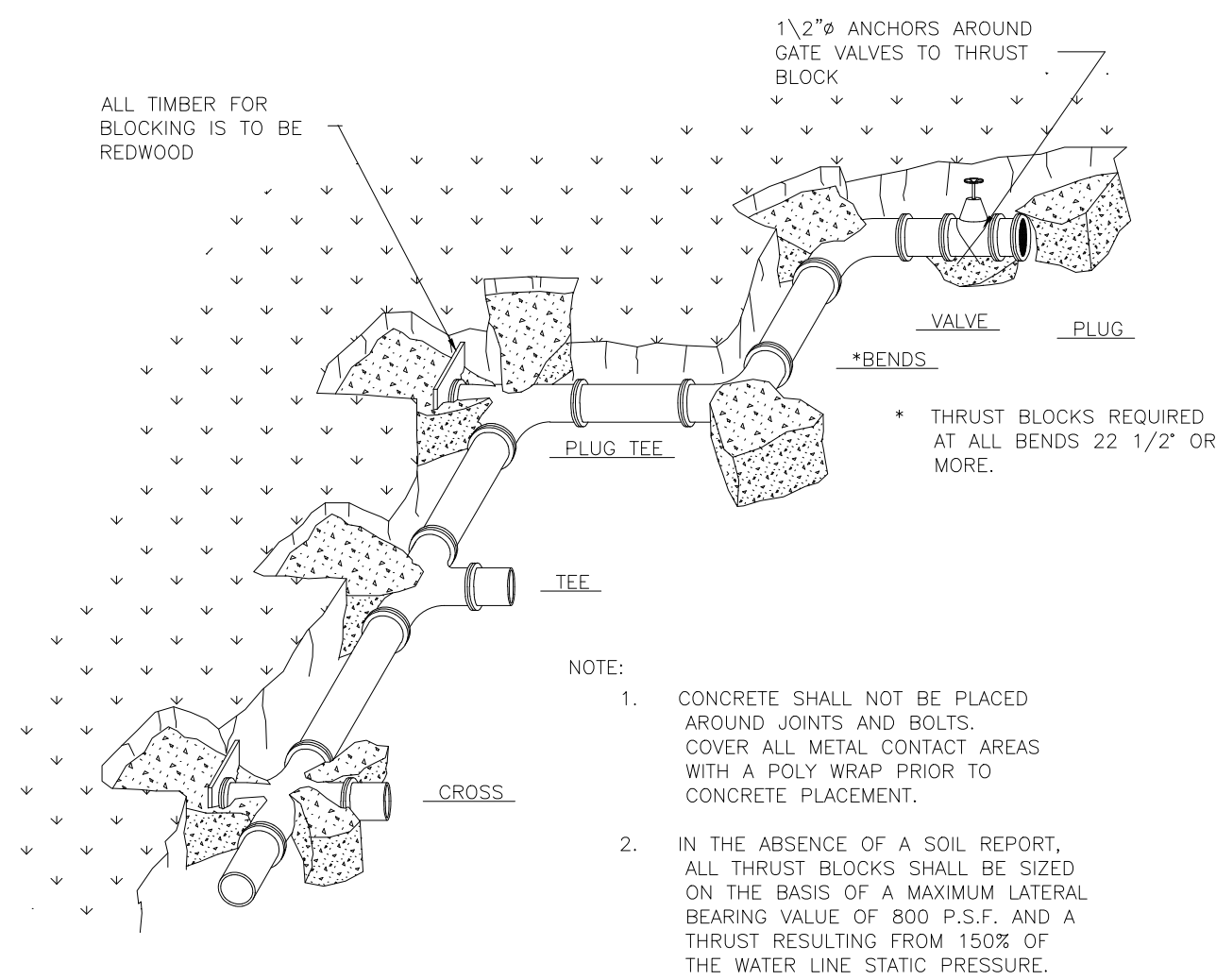


NOTE:
PROVIDE 3/4" OR 1" UNTREATED BASE COURSE
6" THICKNESS UNDER CURB AND GUTTER

ROAD CROSS SECTION
N.T.S.



DRAINAGE DITCH
N.T.S.



THRUST BLOCKING DETAIL
APPLIES TO ALL PRESSURE PIPE

SIZE	BENDS				TEES	GATE VALVES	DEAD ENDS	CROSSW/ BRANCH 2 BRAN. PLUGGED	CROSSW/ BRANCH 1 BRAN. PLUGGED
	90°	45°	22 1/2°	11 1/4°					
3	1.0	0.0	0.3	0	0.7	0.5	0.7	0.7	0.7
4	1.8	1.0	0.5	0	1.3	0.5	1.3	1.3	1.3
6	4.0	2.2	1.1	0	2.8	0.7	2.8	2.8	2.8
8	7.1	3.8	2.0	1.0	5.0	2.4	5.0	5.0	5.0
10	11.1	6.0	3.0	1.5	7.8	4.5	7.8	7.8	7.8
12	16.0	8.6	4.4	2.2	11.3	7.3	11.3	11.3	11.3
14	21.7	11.8	6.0	3.0	15.4	11.0	15.4	15.4	15.4
15	25.0	13.5	7.0	3.5	17.6		17.6	17.6	17.6
16	28.4	15.3	8.0	4.0	20.0		20.0	20.0	20.0
18	36.0	19.4	10.0	5.0	25.4		25.4	25.4	25.4
20	44.2	24.0	12.2	6.1	31.4		31.4	31.4	31.4
21	49.0	26.5	13.5	6.8	34.6		34.6	34.6	34.6
22	54.0	29.0	14.8	7.4	38.0		38.0	38.0	38.0
24	64.0	34.5	17.7	8.8	45.0		45.0	45.0	45.0
30	100.0	54.0	27.6	13.8	71.0		71.0	71.0	71.0
36	144.0	78.0	40.0	20.0	102.0		102.0	102.0	102.0

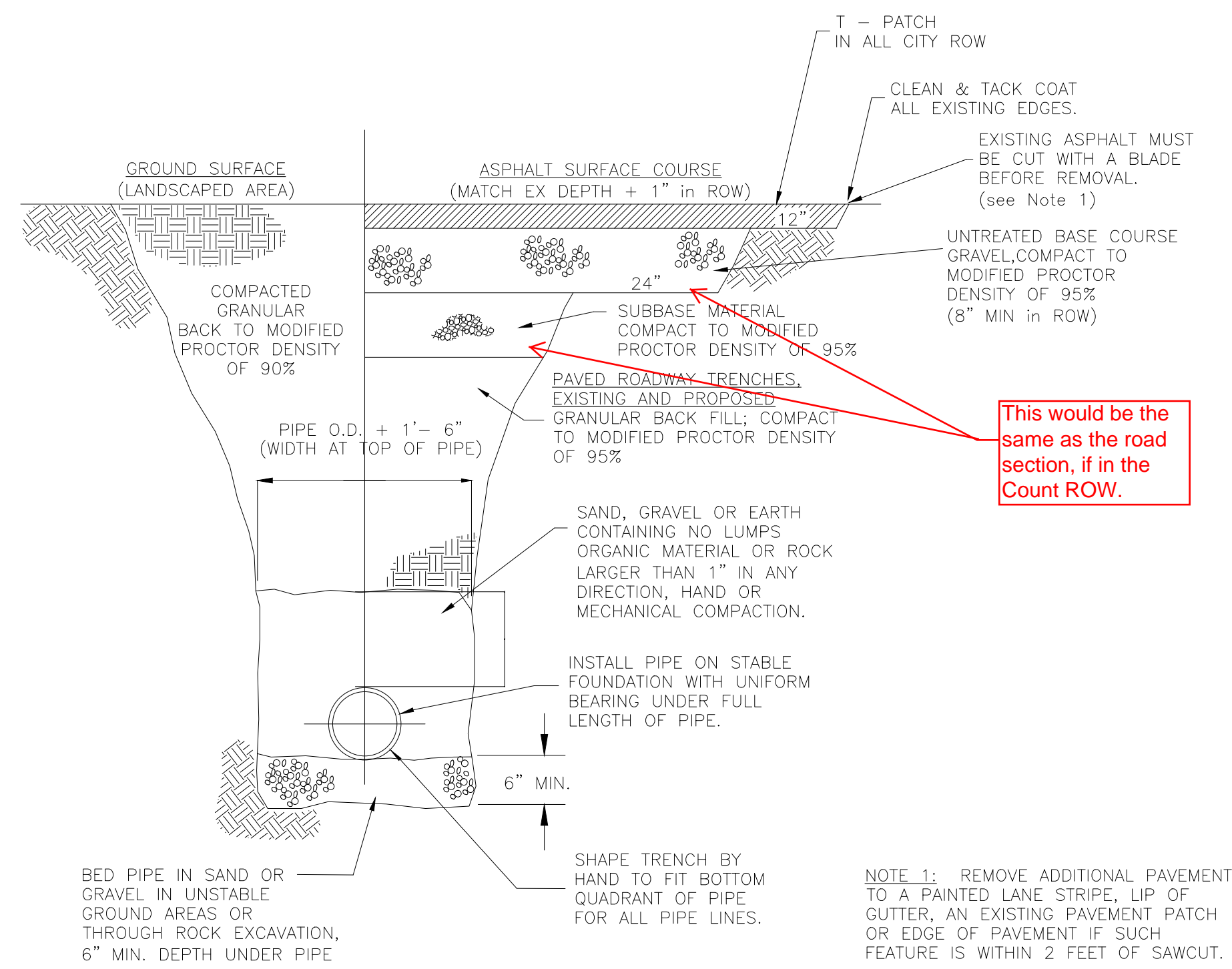
*SIZE IS BRANCH SIZE.
FOR 100 P.S.I. INTERNAL STATIC PRESSURE AND 1000 LBS.PER SQ. FT. SOIL BEARING CAPACITY.

ALL VALVES, TEES, CROSSES AND BENDS GREATER THAN 22.5" SHALL ALSO BE FITTED WITH MECHANICAL RESTRAINTS, SUCH AS MEGA LUGS OR APPROVED EQUAL.

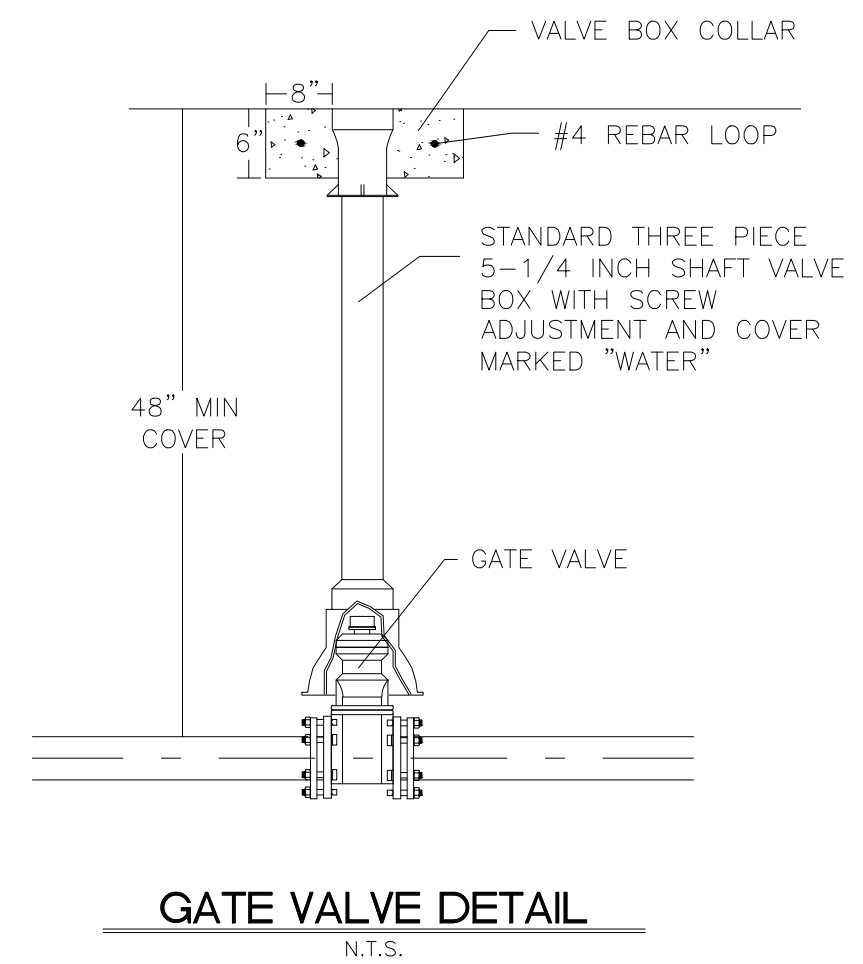
AREAS GIVEN IN TABLE ARE BASED UPON AN INTERNAL STATIC PRESSURE OF 100 P.S.I. AND A SOIL BEARING CAPACITY OF 1000 LBS PER SQ. FT. BEARING AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING THE TABULATED VALUES BY A CORRECTION FACTOR "F".

$$F = \frac{\text{ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS./SQ. IN.}}{\text{ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.}}$$

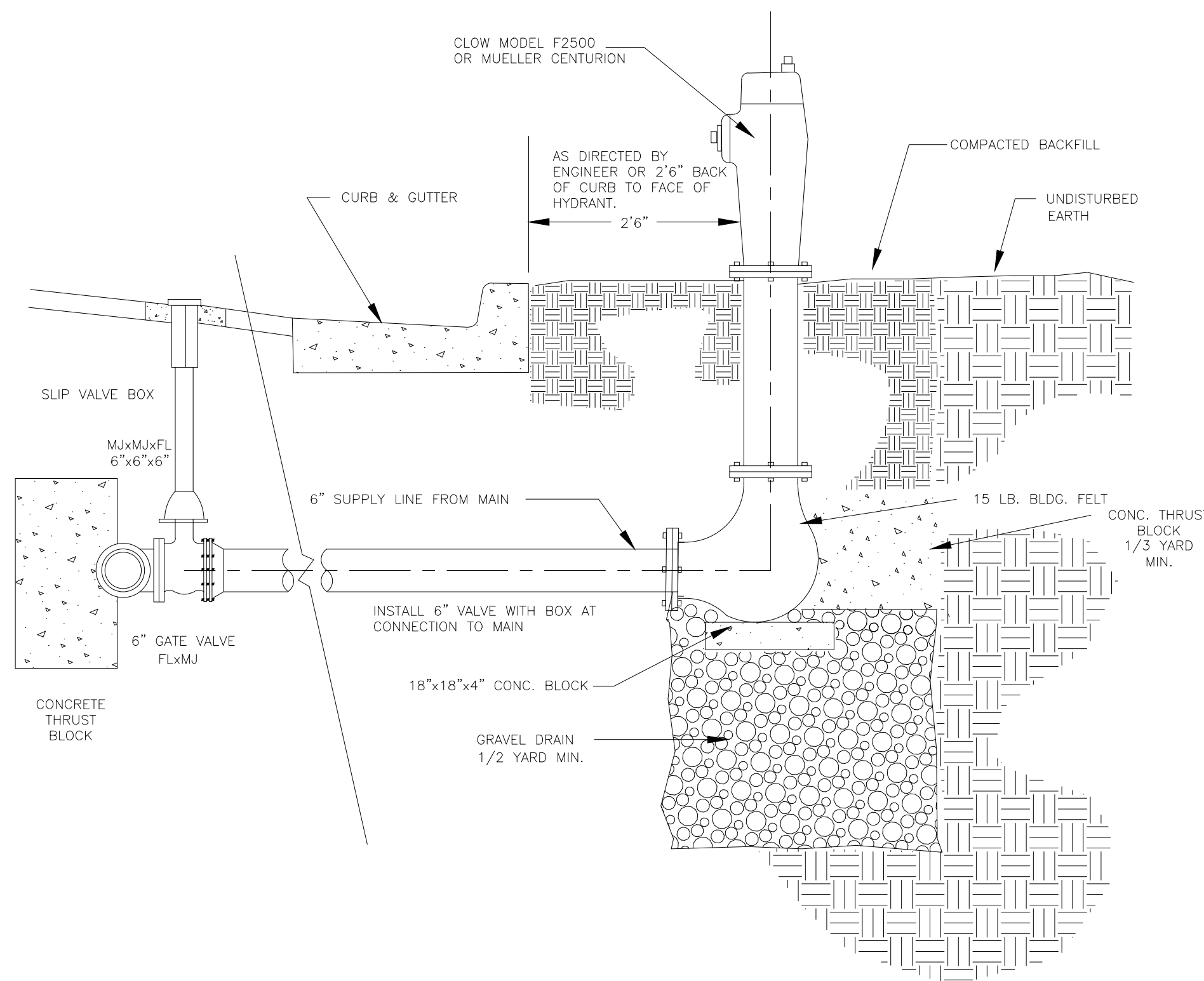
EXAMPLE: TO FIND BEARING AREA FOR 8"-90° BEND WITH A STATIC INTERNAL PRESSURE OF 1500 P.S.I. AND WITH A SOIL BEARING CAPACITY OF 3000 LBS. PER SQ. FT.
 $F = 1.5 / 3 = 0.5$ TABULATED VALUE = 7.1 SQ. FT.
 $0.5 \times 7.1 = 3.56 \sim 4$ SQ. FT. (~90" LONG BY 2FT. HIGH.)



TYPICAL TRENCH SECTION
N.T.S.

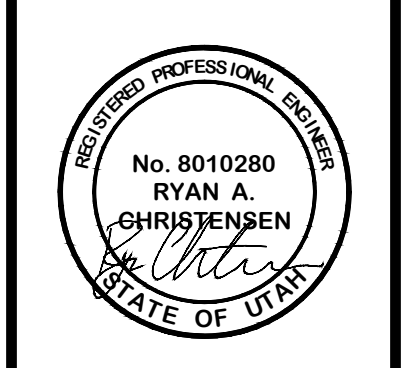


GATE VALVE DETAIL
N.T.S.



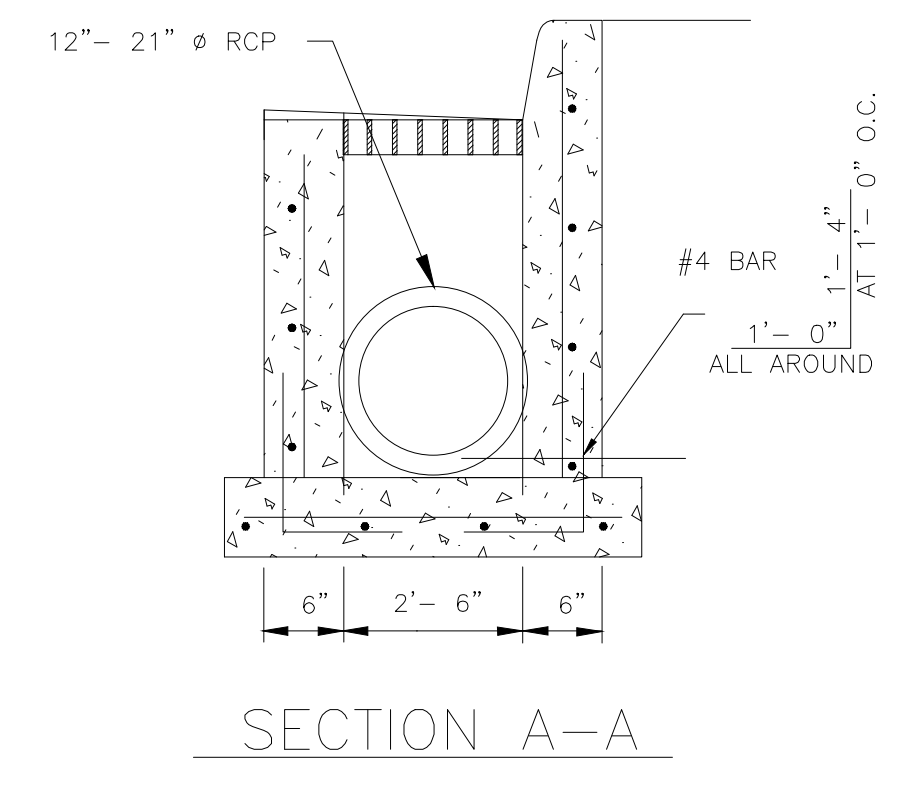
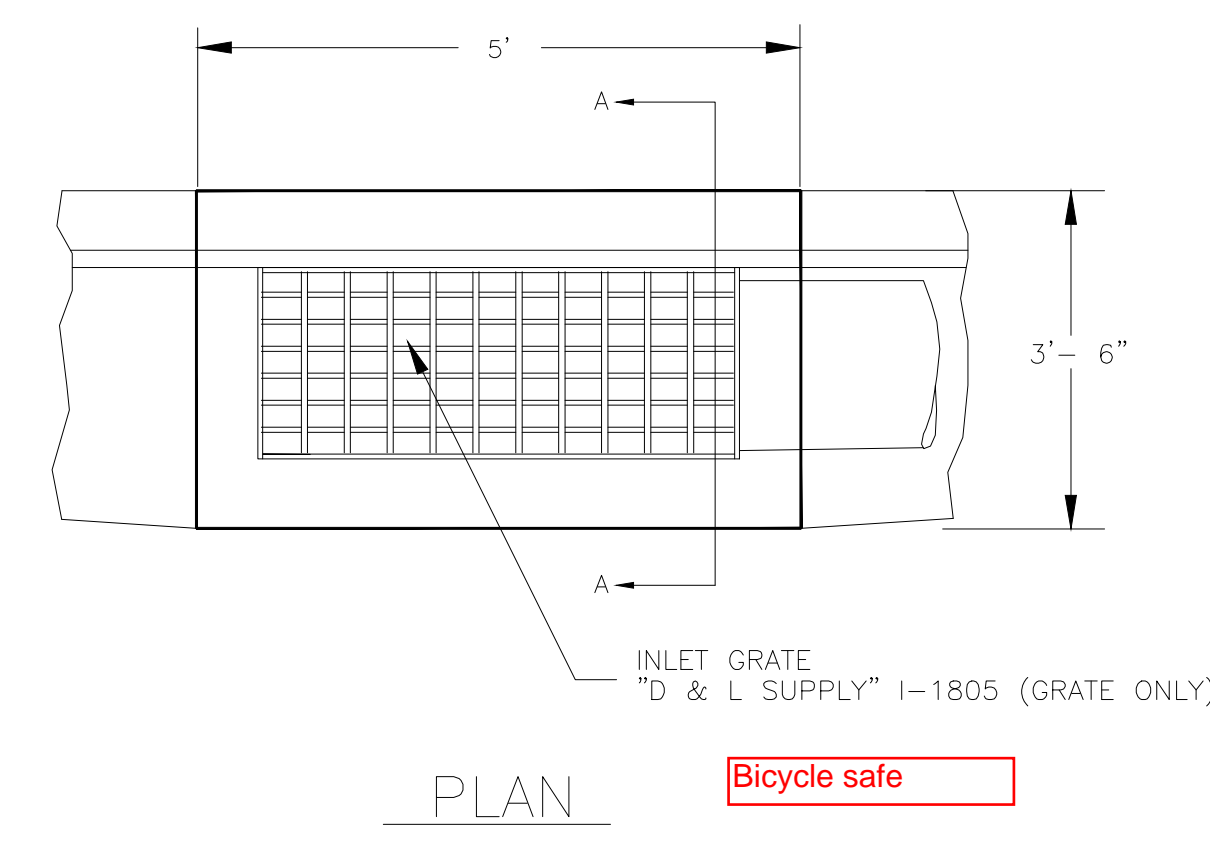
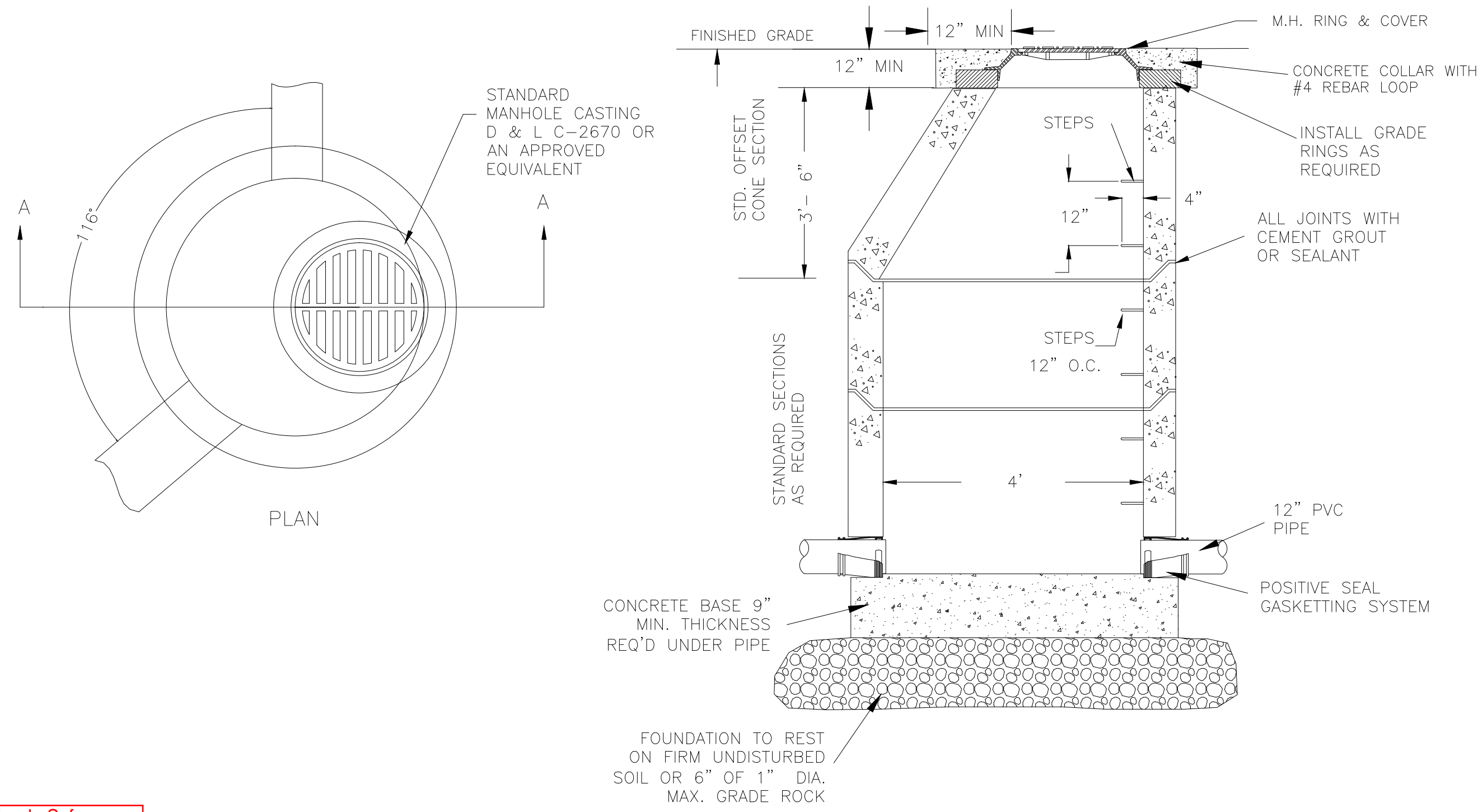
TYPICAL WATER HYDRANT INSTALLATION DETAIL
N.T.S.

SCALE	#####
DATE	OCTOBER 2013
DESIGN	RC
DRAWN	DTB
CHECKED	TN
DWG: R:\1201\1303\DESIGN\ROAD_DWG SITE - THE RIDGE - TOWNHOMES.DWG	

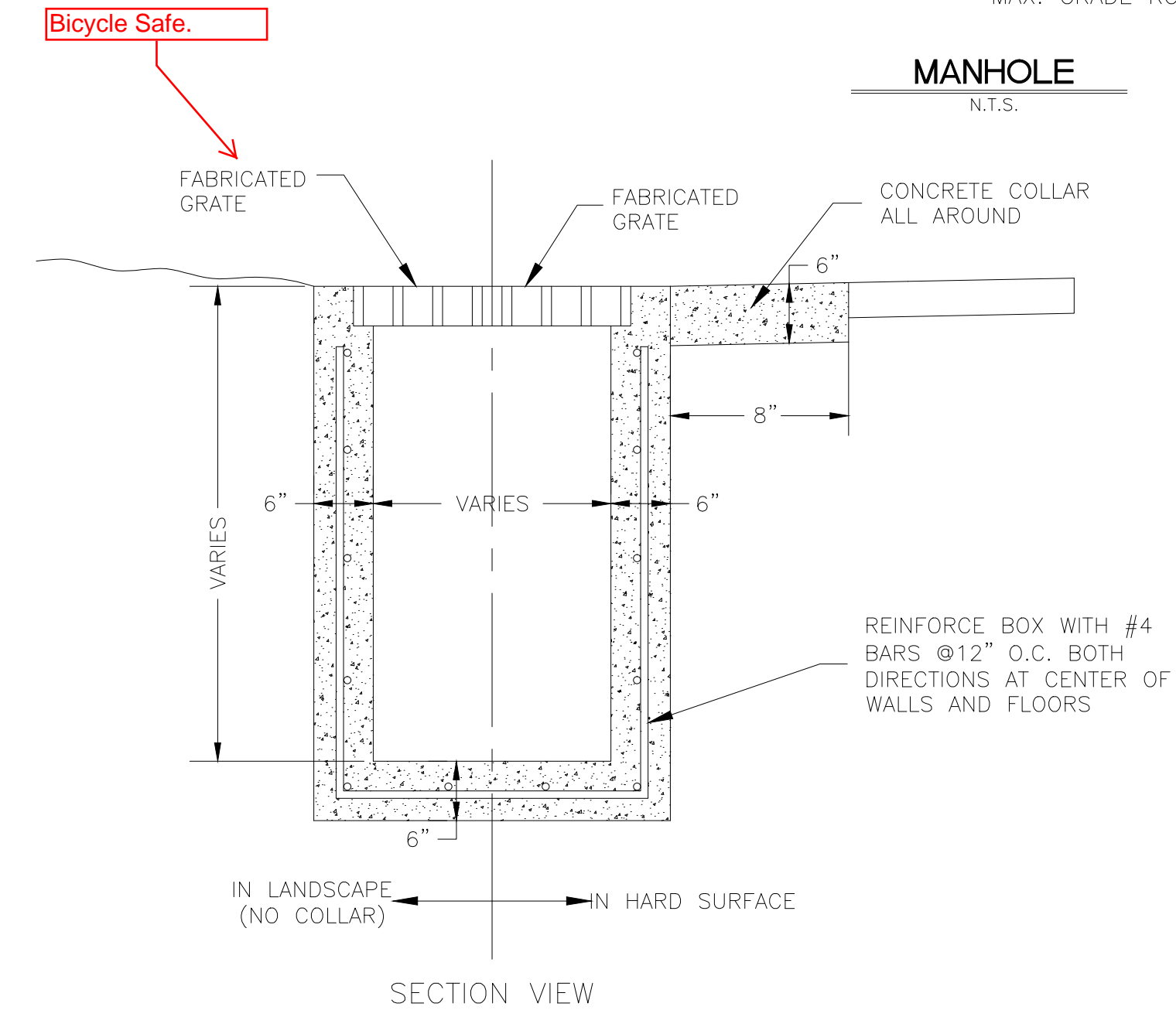


DETAILS - 1
THE RIDGE
LEWIS HOMES
EDEN, WEBER COUNTY, UTAH

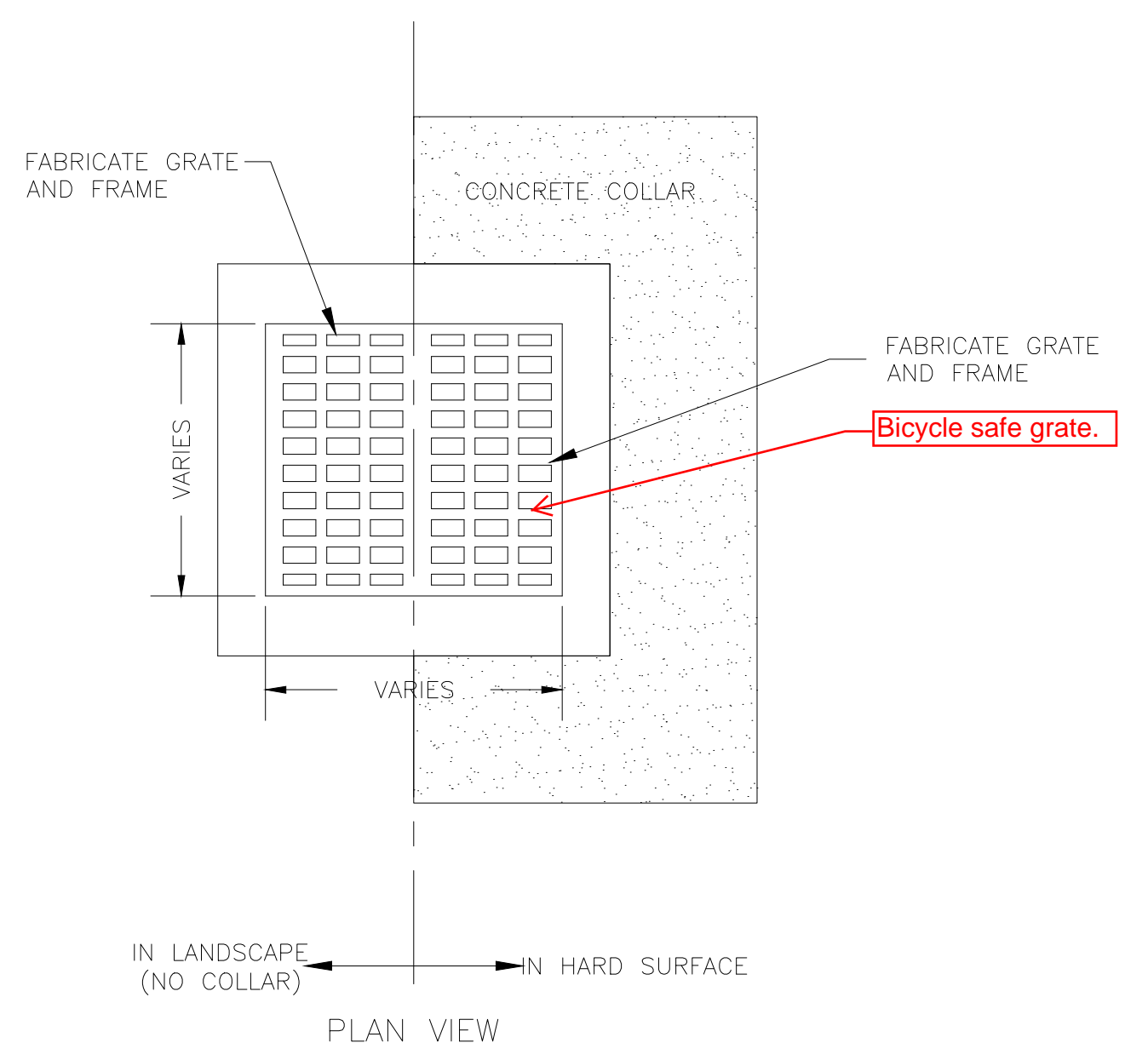
GARDNER ENGINEERING
CIVIL-LAND PLANNING
MUNICIPAL-LAND SURVEYING
57150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801-476-0202 FAX: 801-476-0066



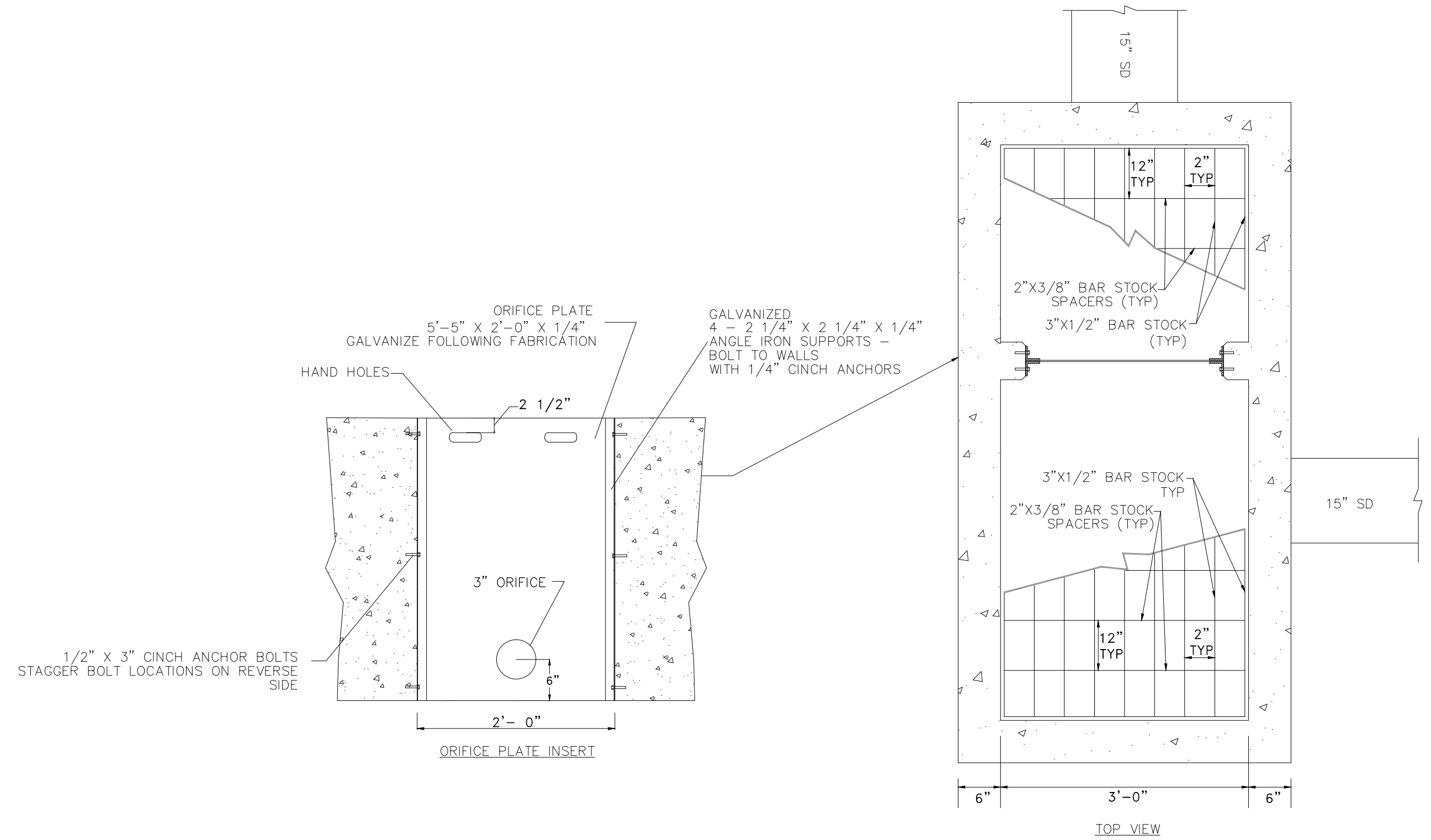
TYPICAL 2'-6" X 4' CATCH BASIN
N.T.S.



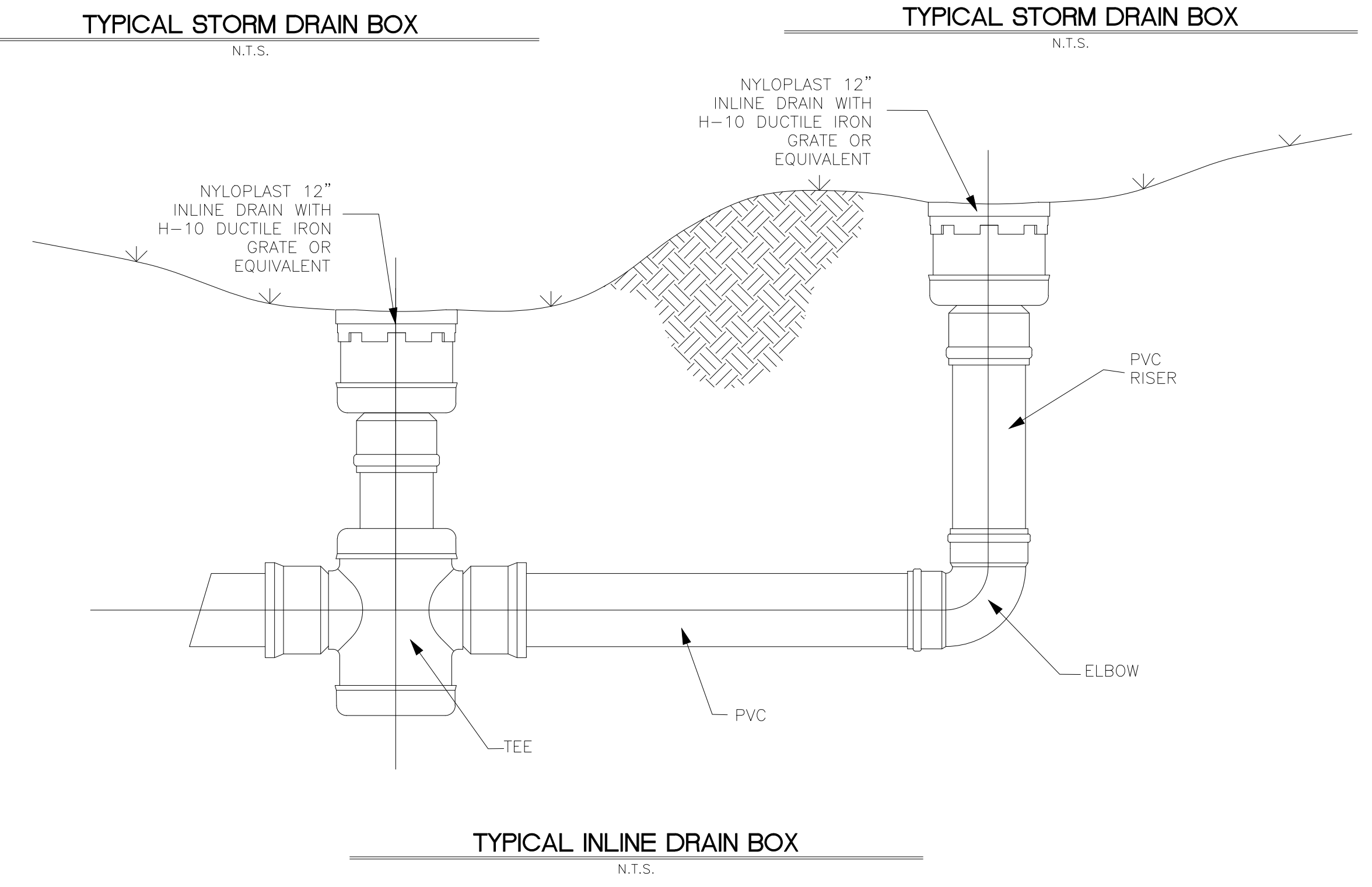
MANHOLE
N.T.S.



TYPICAL STORM DRAIN BOX
N.T.S.



SD CONTROL STRUCTURE DETAIL
N.T.S.



TYPICAL INLINE DRAIN BOX
N.T.S.

SCALE	#####
DATE	OCTOBER 2013
DESIGN	RC
DRAWN	DTB
CHECKED	TN
DATE	
REVISIONS	DESCRIPTION



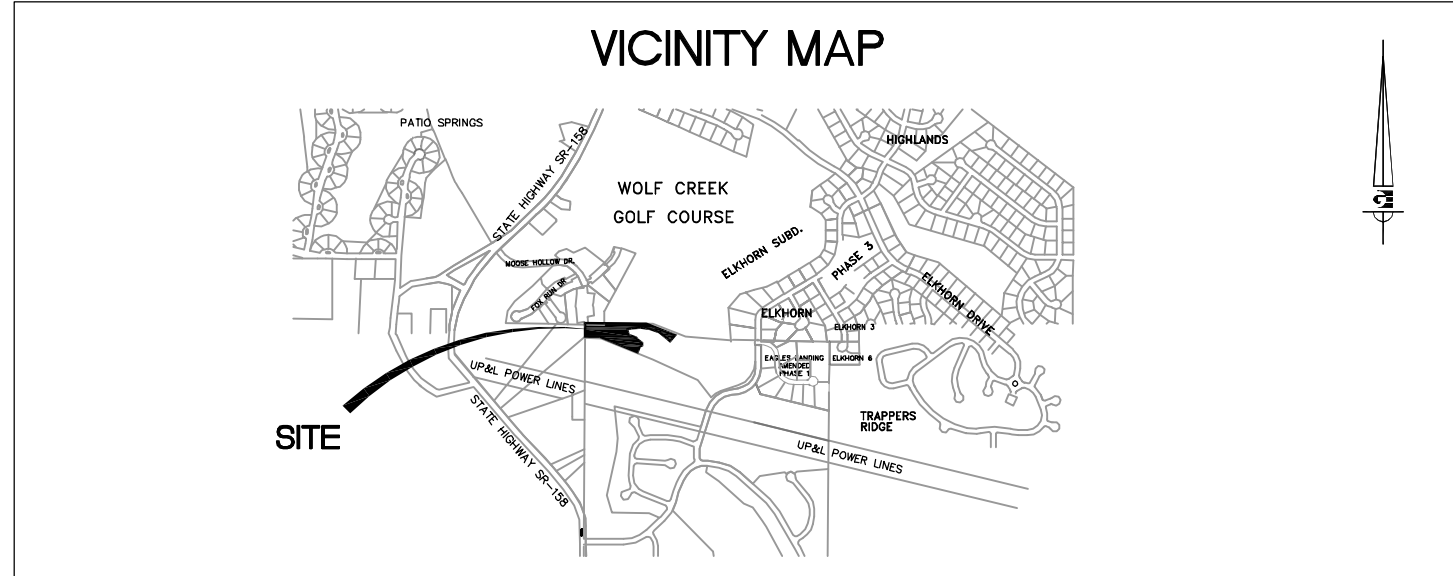
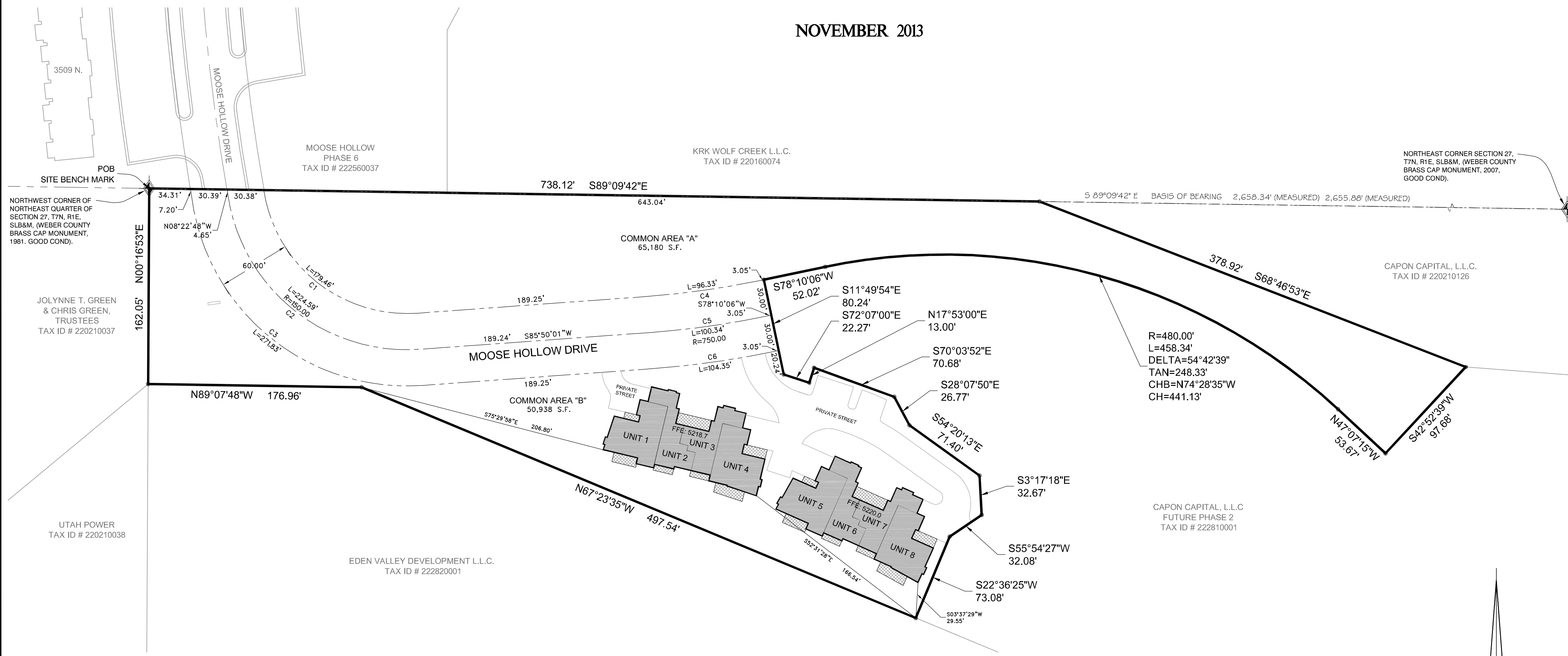
DETAILS - 2
THE RIDGE
LEWIS HOMES
EDEN, WEBER COUNTY, UTAH

GARDNER ENGINEERING
CIVIL-LAND PLANNING
MUNICIPAL-LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

THE RIDGE TOWNHOMES PHASE 1

PART OF THE NORTHEAST 1/4 OF SECTION 27
T7N, R1E, SLB & M, U.S. SURVEY
WEBER COUNTY, UTAH

NOVEMBER 2013



BOUNDARY DESCRIPTION

A PART OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP SEVEN NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN.

BEGINNING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER AND RUNNING THENCE SOUTH 89°09'42" EAST 738.12 FEET ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER; THENCE SOUTH 68°46'33" EAST 378.92 FEET; THENCE SOUTH 42°52'39" WEST 97.68 FEET; THENCE NORTH 47°07'15" WEST 53.67 FEET; THENCE ALONG THE ARC OF A 480.00 FOOT RADIUS CURVE TO THE LEFT 458.34 FEET, HAVING A CENTRAL ANGLE OF 54°42'39"; CHORD BEARS NORTH 74°28'35" WEST 441.13 FEET; THENCE SOUTH 78°10'06" WEST 52.02 FEET; THENCE SOUTH 11°49'54" EAST 80.24 FEET; THENCE SOUTH 72°07'00" EAST 22.27 FEET; THENCE NORTH 17°53'00" EAST 13.00 FEET; THENCE SOUTH 70°03'52" EAST 70.68 FEET; THENCE SOUTH 28°07'50" EAST 26.77 FEET; THENCE SOUTH 54°20'13" EAST 71.40 FEET; THENCE SOUTH 03°17'18" EAST 32.67 FEET; THENCE SOUTH 55°54'27" WEST 32.08 FEET; THENCE SOUTH 22°36'25" WEST 73.08 FEET; THENCE NORTH 67°23'35" WEST 497.54 FEET; THENCE NORTH 89°07'48" WEST 176.96 FEET TO THE WEST LINE OF SAID NORTHEAST QUARTER; THENCE ALONG SAID WEST LINE NORTH 00°16'53" EAST 162.05 FEET TO THE POINT OF BEGINNING.

CONTAINING 3.705 ACRES.

SURVEYOR'S CERTIFICATE

I, KLINT WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 88, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS SUBDIVISION PLAT IN ACCORDANCE WITH SECTION 17-23-20 AND HAVE VERIFIED ALL MEASUREMENTS, THAT THE REFERENCE MONUMENTS SHOWN ON THIS PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS PLAT, AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY; AND THAT THIS PLAT OF:

THE RIDGE TOWNHOMES
PHASE 1

IN WEBER COUNTY, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE WEBER COUNTY RECORDERS OFFICE. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF WEBER COUNTY CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 2013 _____
KLINT WHITNEY, PLS NO. 8227228

OWNER'S CERTIFICATE OF CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, JOHN L. LEWIS, PRESIDENT OF RIDGE UTAH DEVELOPMENT CORPORATION, A UTAH CORPORATION, WHICH IS THE OWNER OF THE TRACT OF LAND DESCRIBED HEREON AS THE RIDGE TOWNHOMES, PHASE 1, A CONDOMINIUM PROJECT LOCATED ON SAID TRACT OF LAND, DO HEREBY MAKE THIS CERTIFICATE FOR AND ON BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF THE BOARD OF DIRECTORS OF SAID CORPORATION, THAT SAID CORPORATION HAS CAUSED A SURVEY TO BE MADE, AND THIS RECORD OF SURVEY MAP, CONSISTING OF (4) PAGES TO BE PREPARED; THAT SAID CORPORATION HAS CONSENTED TO AND DOES HEREBY CONSENT TO THE RECORDATION OF THIS RECORD OF SURVEY MAP IN ACCORDANCE WITH THE UTAH CONDOMINIUM OWNERSHIP ACT.

OWNER'S DEDICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN HEREON AND NAME SAID TRACT "THE RIDGE TOWNHOMES, PHASE 1", AND DO HEREBY:

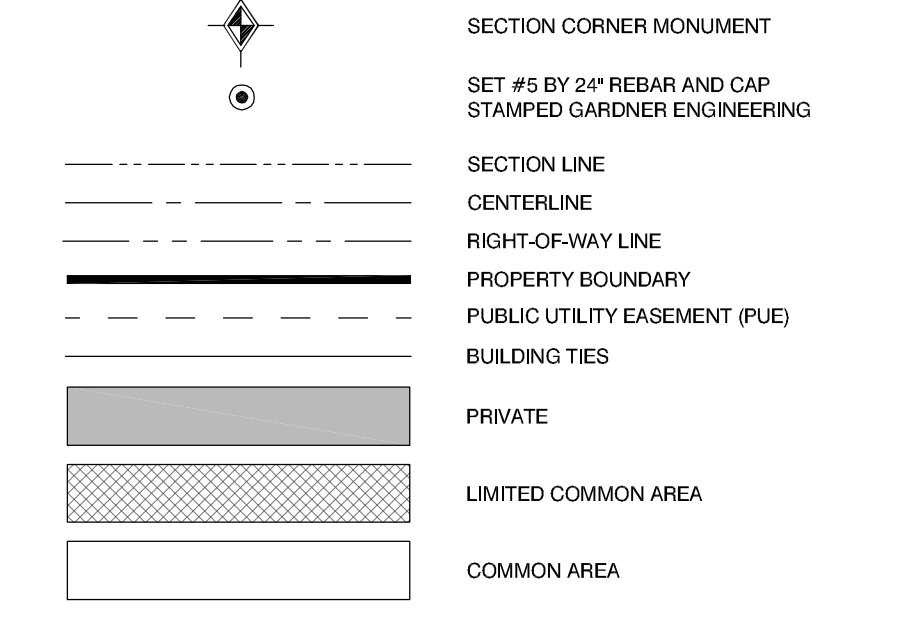
A) DEDICATE TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PUBLIC STREETS, THE SAME TO BE USED AS PUBLIC THROUGHFARES.

B) GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS COMMON AREA, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PRIVATE STREETS, PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS.

C) GRANT AND CONVEY TO THE RIDGE TOWNHOMES, PHASE 1 OWNERS ASSOCIATION, ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS COMMON AREAS TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH OWNERS ASSOCIATION MEMBER IN COMMON WITH ALL OTHERS IN THE SUBDIVISION AND GRANT AND DEDICATE TO WEBER COUNTY A PERPETUAL OPEN SPACE RIGHT AND EASEMENT ON AND OVER THE COMMON AREAS TO GUARANTEE TO WEBER COUNTY THAT THE COMMON AREAS REMAIN OPEN AND UN-DEVELOPED EXCEPT FOR APPROVED RECREATIONAL, PARKING AND OPEN SPACE PURPOSES.

SIGNED THIS _____ DAY OF _____, 2013 _____
JOHN L. LEWIS
PRESIDENT

LEGEND



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	179.46	120.00	85.68	S51°19'28"E	163.19
C2	224.59	150.00	85.79	N51°16'23"W	204.19
C3	271.83	180.00	86.52	S50°54'14"E	246.72
C4	96.33	720.00	7.67	N82°00'03"E	96.25
C5	100.34	750.00	7.67	N82°00'03"E	100.27
C6	104.35	780.00	7.67	N82°00'03"E	104.28

ADDRESS TABLE	
UNIT #	ADDRESS
UNIT 1	
UNIT 2	
UNIT 3	
UNIT 4	
UNIT 5	
UNIT 6	
UNIT 7	
UNIT 8	

NARRATIVE:

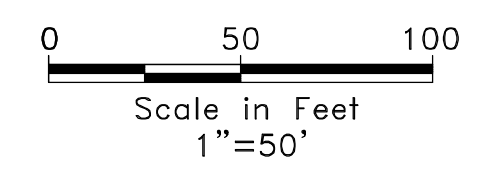
THE PURPOSE OF THIS SURVEY WAS TO CREATE A CONDO PLAT OF THE PROPERTY AS SHOWN AND DESCRIBED HEREON. THE SURVEY WAS ORDERED BY JOHN L. LEWIS. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING WEBER COUNTY SURVEY MONUMENTS SURROUNDING SECTION 27, TOWNSHIP 7 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN. THE BASIS OF BEARING IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION WHICH BEARS SOUTH 89°09'42" EAST 2658.34 FEET WEBER COUNTY, NAD 83, STATE PLANE GRID BEARING. THE RECORD DISTANCE SHOWN ON COUNTY BEARING SHEETS APPEARS TO BE MISS LABELED AS JUST THE "DELTA X" DISTANCE.

SITE SUMMARY

TOTAL AREA	= 193,387 SQ. FT.
BUILDING COVERAGE	= 14,080 SQ. FT.
HARD SURFACE AREA	= 27,124 SQ. FT.
LANDSCAPED AREA	= 119,183 SQ. FT.

OWNER:

RIDGE UTAH DEVELOPMENT CORPORATION
JOHN L. LEWIS
5577 EAST ELKHORN DRIVE
EDEN, UTAH 84310
801-430-1507



WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION ON THE _____ DAY OF _____, 2013

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.

SIGNED THIS _____ DAY OF _____, 2013

SIGNATURE

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTE THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.

SIGNED THIS _____ DAY OF _____, 2013

SIGNATURE

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

SIGNED THIS _____ DAY OF _____, 2013

SIGNATURE

WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH

THIS _____ DAY OF _____, 2013

CHAIRMAN, WEBER COUNTY COMMISSION

ATTEST: _____

TITLE: _____

WEBER - MORGAN HEALTH DEPARTMENT

I DO HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITION FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS.

THIS _____ DAY OF _____, 2013

DIRECTOR WEBER-MORGAN HEALTH DEPARTMENT

ACKNOWLEDGMENT

STATE OF UTAH)
) ss
COUNTY OF WEBER)

ON THIS _____ DAY OF _____, 2013,

PERSONALLY APPEARED BEFORE ME, JOHN L. LEWIS, THE SIGNER OF THE ABOVE OWNERS DEDICATION, WHO DULY ACKNOWLEDGED TO ME HE SIGNED IT FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC

SHEET 1 OF 4

Prepared By: _____

GARDNER ENGINEERING
CIVIL - LAND PLANNING
MUNICIPAL - LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801-476-0202 FAX: 801-476-0066

www.gardnerengineering.net

ENTRY NO. _____ FEE PAID _____
RECORDED _____, AT _____
IN _____ BOOK OF OFFICIAL
RECORDS, PAGE _____, RECORDED _____
FOR _____
COUNTY RECORDER
BY: _____
DEPUTY

**The Ridge Townhomes - Phase 1 (Retained)
Eden, UT**

Lat= 41.3217 Long=-111.8240

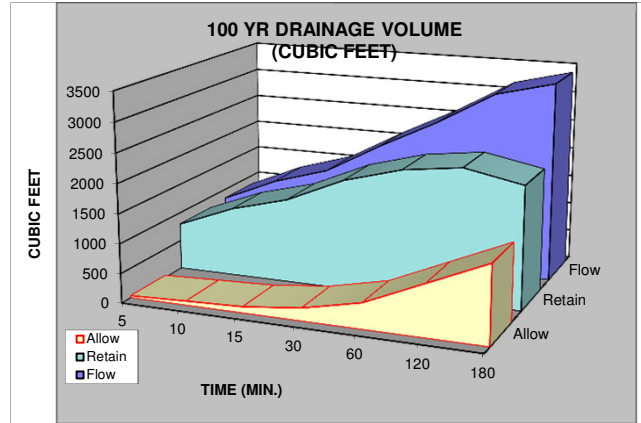


Areas	Area		C
	Sq. Ft.	Acre	
Hard Surface	9,800	0.22	0.85
Building	0	0.00	0.90
Landscape	22,139	0.51	0.10
Total/Weighted	31,939	0.73	0.33

Allow Release Rate (cfs/acre) **0.1**
Q Allowable (cfs) **0.07**

100yr

MIN	Release Vol (cf)		Total Vol (cf)
	Allowable	Inch / Hr i100	
5	22	7.85	570
10	44	5.98	868
15	66	4.94	1,076
30	132	3.32	1,447
60	264	2.06	1,795
120	528	1.21	2,109
180	792	0.84	2,196
360	1,584	0.48	2,510
720	3,137	0.30	3,137
1440	3,764	0.18	3,764



	CUBIC FEET	CUBIC YARDS
100 YEAR STORM RECOMMENDED MIN. VOLUME RETAINED	3,764	139

Is this retention or detention?

Will there be any additional flows from off the site through the pond?

3

0

**The Ridge Townhomes - Phase 1 (Detained)
Eden, UT**

Lat= 41.3217 Long=-111.8240

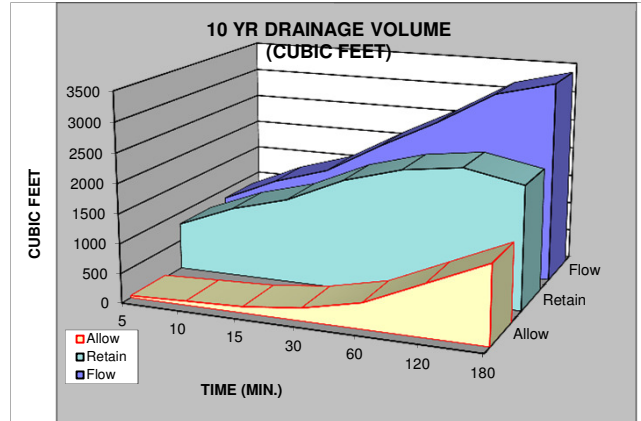


Areas	Area		C
	Sq. Ft.	Acre	
Hard Surface	27,124	0.62	0.85
Building	14,080	0.32	0.90
Landscape	119,183	2.74	0.10
Total/Weighted	160,387	3.68	0.30

Allow Release Rate (cfs/acre) 0.1
Q Allowable (cfs) 0.37

100yr

MIN	Release Vol (cf) Allowable	Inch / Hr i100	Total Vol (cf) 100 YEAR	Detain Vol (cf) Difference
5	110	7.85	2,576	2,465
10	221	5.98	3,925	3,704
15	331	4.94	4,863	4,532
30	663	3.32	6,536	5,874
60	1,326	2.06	8,112	6,786
120	2,651	1.21	9,529	6,878
180	3,977	0.84	9,923	5,946
360	7,953	0.48	11,340	3,387
720	14,176	0.30	14,176	0
1440	17,011	0.18	17,011	0



CUBIC FEET CUBIC YARDS

100 YEAR STORM RECOMMENDED MIN. VOLUME DETAINED	6,878	255
--	--------------	------------

Orifice Calculation

- H = 3 Maximum water height to center of orifice (ft)
- Q = 0.37 Flowrate out of orifice (cfs)
- Cc = 0.62 Coefficient of Contraction
- Cv = 0.98 Coefficient of Velocity
- Area = 0.044 Orifice Area (ft²)
- Π = 3.14
- g = 32.17 Gravitational Constant
- d = 3 Orifice Diameter (in)

Will there be any additional flows from off the site?

What are the drainage areas through each of the ponds.