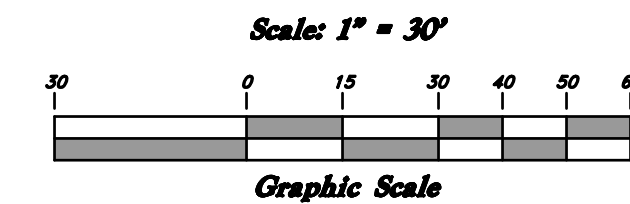


***A part of the Southwest 1/4 of Section 24, T6N, R1E, SLB&M., U.S. Survey
Unincorporated Weber County, Utah
August 2022***



A 5/8"Ø rebar 24" long with plastic cap (see detail below) was set at all property corners.


CAP DETAIL

I, Mark E. Bobbitt, do hereby certify that I am a Registered Professional Land Surveyor in the State of Utah, and that I hold Certificate No. 166484 in accordance with Title 58 Chapter 22, Professional Engineers and Land Surveyors Licensing Act. I also do hereby certify that The Legends At Hawkins Creek 4th Amendment A Cluster Subdivision, Lot 33 in Weber County, Utah has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office, and of a survey made on the ground in accordance with Section 17-23-17. Monumented Lot corners have been set as shown on this drawing.

Mark E. Babbitt

I, the undersigned owner of the herein described tract of land, do hereby set apart and subdivide the same into lots and private streets as shown on this plat of The Legends of Hawkins Creek 4th Amendment Lot 33 and do hereby: dedicate and reserve unto themselves, their heirs, their grantees and assigns, a right of way to be used in common with all others within said subdivision (and those within said subdivision) to be used by the undersigned owners, their successors, or assigns, on, over, under, across all those portions or parts of said tract of land designated on said plat as Private Streets (Private Rights-of-Way) as access to the individual lots, to be maintained by a Lot (unit) Owners Association whose membership consists of said owners, their grantees, successors, or assigns, and also grant and convey to the subdivision Lot (unit) Owners Association, all those parts or portions of said tract of land designated on said plat as reserved easements, to be used by the undersigned owners, their successors, or assigns, for the benefit of each Lot (unit) Owners Association member in common with all others in the subdivision and grant and dedicate to Weber County a perpetual open space right and easement on and over the common areas to guarantee to Weber County that the Common Areas remain open and undeveloped except for approved recreational, parking and open space purposes and also grant and dedicate a perpetual right and easement on, over, upon, under, across, along, and adjacent to the common areas for the installation, maintenance and drainage easements, the same to be used for the installation, maintenance and operation of public utility service lines, storm drainage facilities or for the perpetual preservation of water drainage channels in their natural state whichever is applicable as may be authorized by the governing authority with no buildings or structures being erected within the easements.

Signed this _____ day of _____, 2022.

State of Utah } ss
County of }

Residing At: _____
A Notary Public commissioned in Utah

Commission Expires: _____ *Print Name*

All of Lot 33 of The Legends at Hawkins Creek A Cluster Subdivision. Weber County Utah - According to official Plat Thereof.

2628.75' meas. (2628.95' W.C.S.)

WEBER
COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
FILED FOR RECORD AND
RECORDED _____ AT _____
_____ IN BOOK _____ OF OFFICIAL
RECORDS, PAGE _____. RECORDED
FOR _____

WEBER COUNTY RECORDER

BY: _____
DEPUTY _____

Show the 10' PUE

I hereby certify that the Weber County Surveyor's Office has reviewed this and all conditions for approval by this office have been satisfied. The approval of this plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith.

Signed this day of

Weber County Surveyor

Record of Survey#

I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and the amount of the financial guarantee is sufficient for the installation of these improvements.

Signed this day of

Signature

Replace this block
with 106-8-1 (d)

WEBER COUNTY COMMISSION ACCEPTANCE

This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision, thereon are hereby approved and accepted by the Commissioners of Weber County, Utah this _____ day of _____, 20____.

Title _____

Chair, Weber County Commission

WEBER COUNTY ATTORNEY

I have examined the financial guarantee and other documents associated with this subdivision plat and in my opinion they conform with the County Ordinance applicable thereto and now in force and effect.

Signed this day of

Signature

WEBER COUNTY COMMISSION APPROVAL

This is to certify that this subdivision plat was duly approved by the Weber County Planning Commission on the day of _____, 20____.

Chair, Weber County Commission

This may be removed because there is no road dedication

???

At the request of Ryan Spendlove, owner of Lot 33 of The Legends at Hawkins Creek, we have prepared this 4rd Amendment plan for the purpose of amending the buildable area of Lot 33.

The basis of bearing for this plan is S 89°36'57" E between the Brass Caps found at the Northwest corner of the North 1/4 corner of Section 24, Township 6 North, Range 1 East, Salt Lake Base & Meridian, U.S. Survey.

Property corners were Monumented as Shown on the Drawing.

