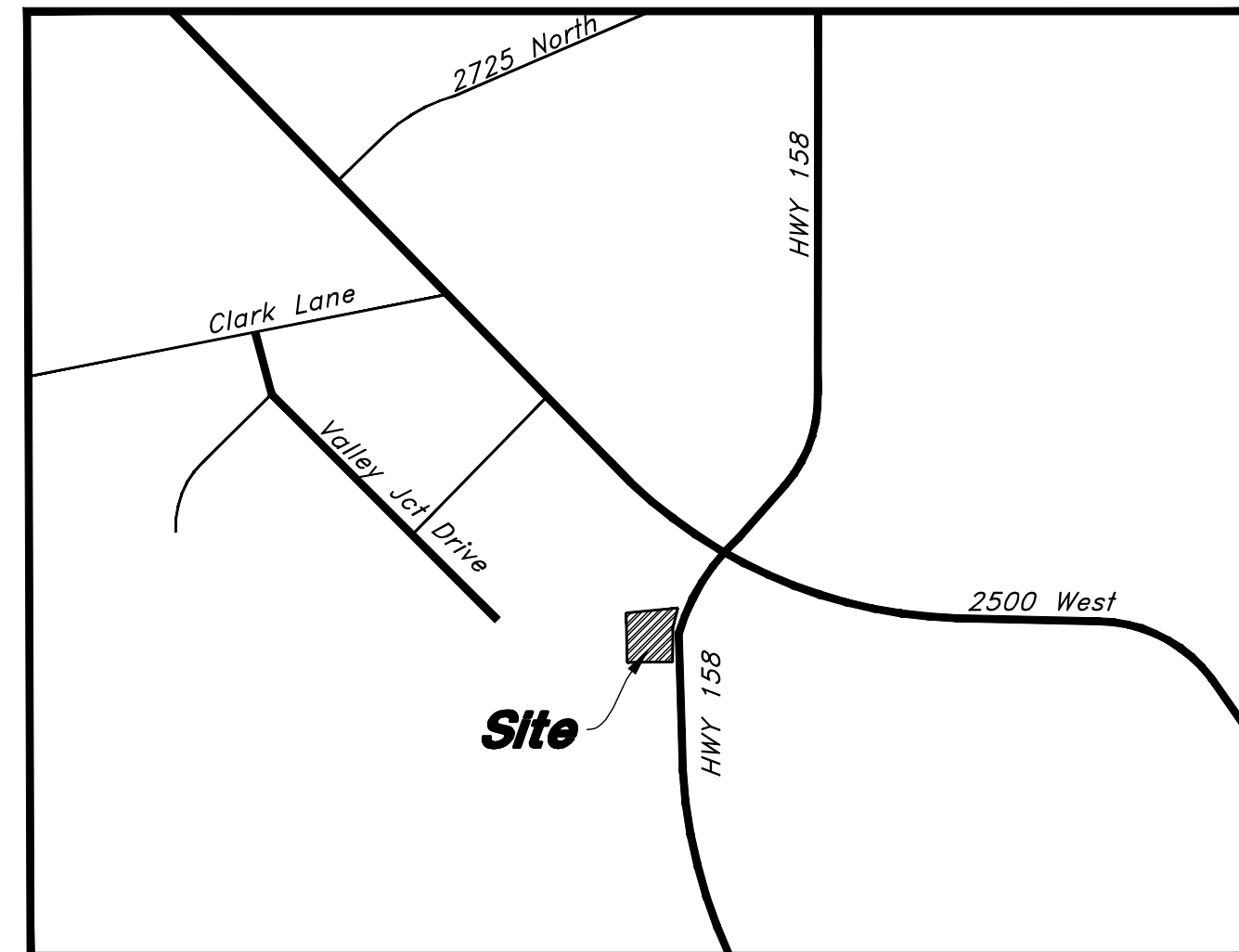


Zions Bank - Eden

2487 UT-158
Eden, UT 84310



Vicinity Map
Not to Scale

Civil Sheet Index

- C0.0** Cover Sheet
- C1.0** Overall Site Plan
- C1.1** Demolition / Site Plan
- C2.1** Grading Plan

Abbreviations

BCR	Begin Curb Return	PT	Point of Tangency
BOL	Bollard	PVC	Polyvinyl Chloride
BRW	Finish Grade - Bottom of Retaining Wall	PVI	Point of Vertical Intersection
CATV	Cable Television Box	RCP	Reinforced Concrete Pipe
CB	Catch Basin	RD	Roof Drain
CMP	Corrugated Metal Pipe	SB	Signal Box
COB	Cleanout Box	SD	Storm Drain
COTG	Cleanout to Grade	SDMH	Storm Drain Manhole
EA	Edge of Asphalt	SMH	Sewer Manhole
EB	Electrical Box	SP	Signal Pole
EC	End of Curve	SS	Sanitary Sewer
ECR	End Curb Return	SVZ	Sight Visibility Zone
GB	Grade Break	SW	Secondary Water
GM	Gas Meter	TA	Top of Asphalt
HB	Hose Bib	TB	Telephone Box
HP	High Point	TBC	Top Back of Curb
I	Irrigation Line	TG	Top of Grate
ICB	Irrigation Control Box	TMH	Telephone Manhole
Lip	Lip of Gutter	TP	Top of Concrete
LP	Light Pole	TRW	Finish Grade - Top of Retaining Wall
MH	Manhole	TW	Top of Walk
Mon	Monument	VC	Vertical Curve
PC	Point of Curvature	VPC	Vertical Point of Curve
PCC	Point of Compound Curvature	VPT	Vertical Point of Tangency
PI	Point of Intersection	WL	Waterline
PM	Power Meter	WP	Working Point
PP	Power Pole	WV	Water Valve

Legend

Proposed Curb & Gutter		Existing Improvements	
Proposed Open Face C & G		Existing Asphalt	
Proposed Asphalt		Existing Concrete	
Proposed Concrete		Existing Inlet Box	
Proposed Truncated Domes		Existing Catch Basin	
Proposed Inlet Box		Existing Manhole	
Proposed Catch Basin		Existing Fire Hydrant	
Proposed Manhole		Existing Water Valve	
Proposed Transformer		Existing Overhead Power Line	
Proposed Meter Box		Existing Water	
Proposed Water Meter		Existing Secondary Water	
Proposed Comba Box		Existing Sewer	
Proposed Fire Hydrant		Existing Storm Drain	
Proposed Water Valve		Existing Gas	
Proposed Water Line		Existing Power	
Proposed Sanitary Sewer		Existing Telephone	
Proposed Storm Drain		Existing Fence	
Proposed Conduit Line		Flowline	
Proposed Power Line		Centerline	
Proposed Gas Line		Existing Contour	
Proposed Fire Line		Existing Spot	
Proposed Secondary Water Line		Existing Light Pole	
Proposed Roof Drain		Existing Street Light	
Proposed Fence		Existing Building	
Ridge line		Existing Telephone Box	
Grade Break		Existing Power Meter	
Proposed Contour		Existing Electrical Box	
Direction of Drainage		Existing Electrical Cabinet	
Proposed Spot		Existing Gas Meter	
ADA Accessible Route		Existing Water Meter	
Property Line		Existing Iris Control Box	
Sawcut Line		Existing Bollard	
Proposed Light Pole		Existing Hose Bib	
Proposed Street Light		Working Point	
Proposed Building		Existing Deciduous Tree	
Existing Power Pole		Existing Coniferous Tree	
Existing Power Pole w/ Guy		Detail Number	
Existing Utility Marker		Sheet Number	
Existing Post			

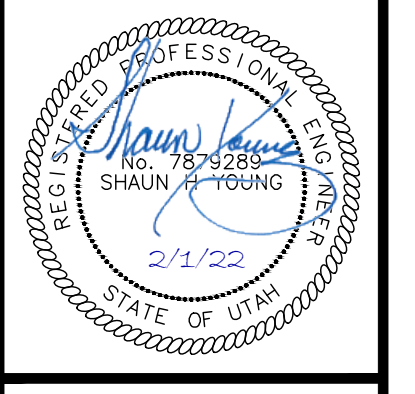
REV	DATE	DESCRIPTION

Designed by: LC
Drafted by: NE
Client Name:
Zions Bank
21-235cv

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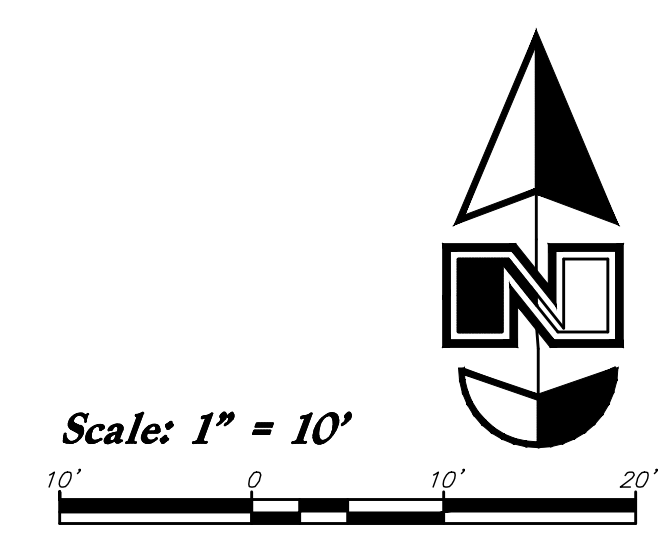
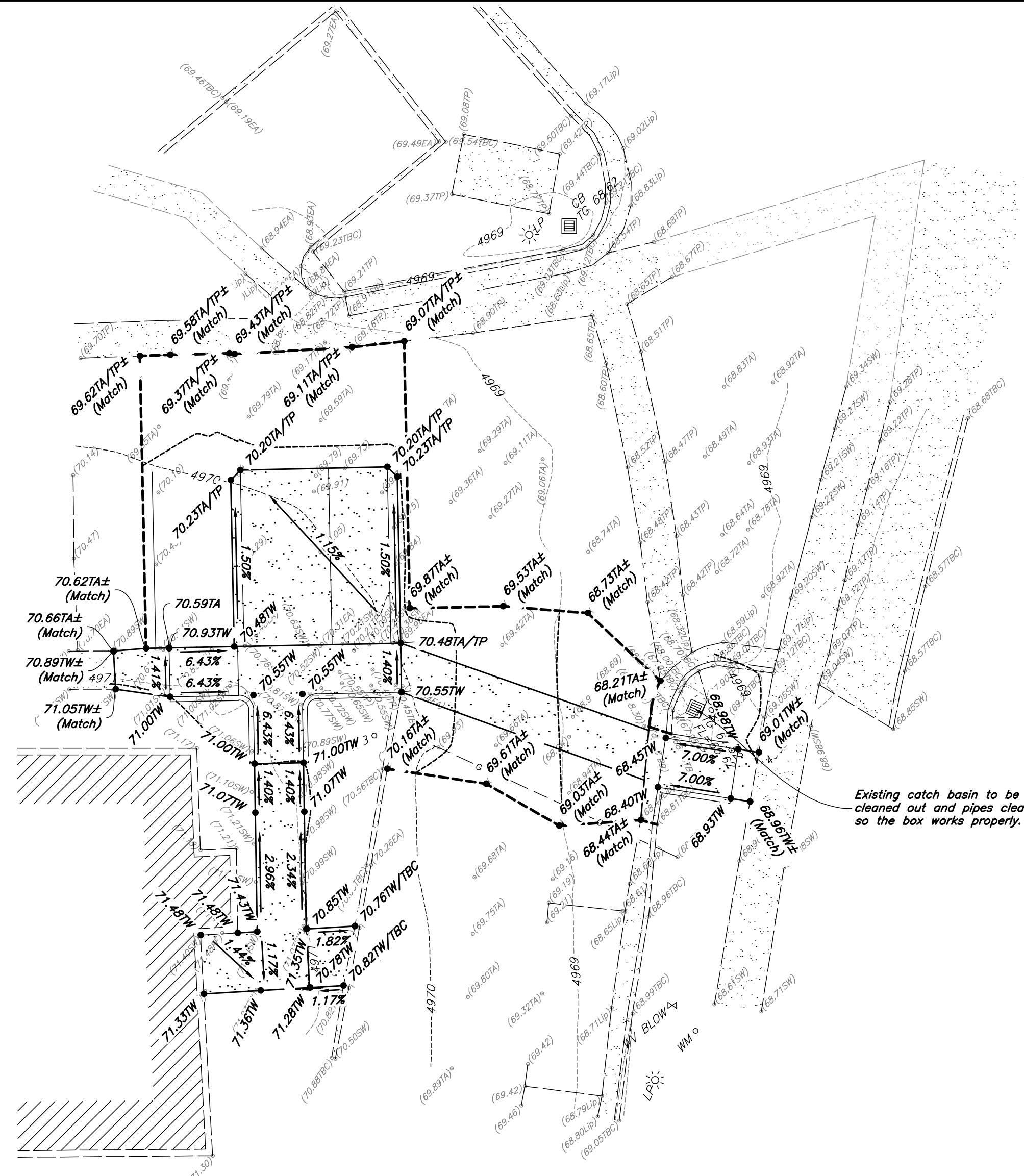
Cover Sheet

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01 Feb, 2022
SHEET NO.
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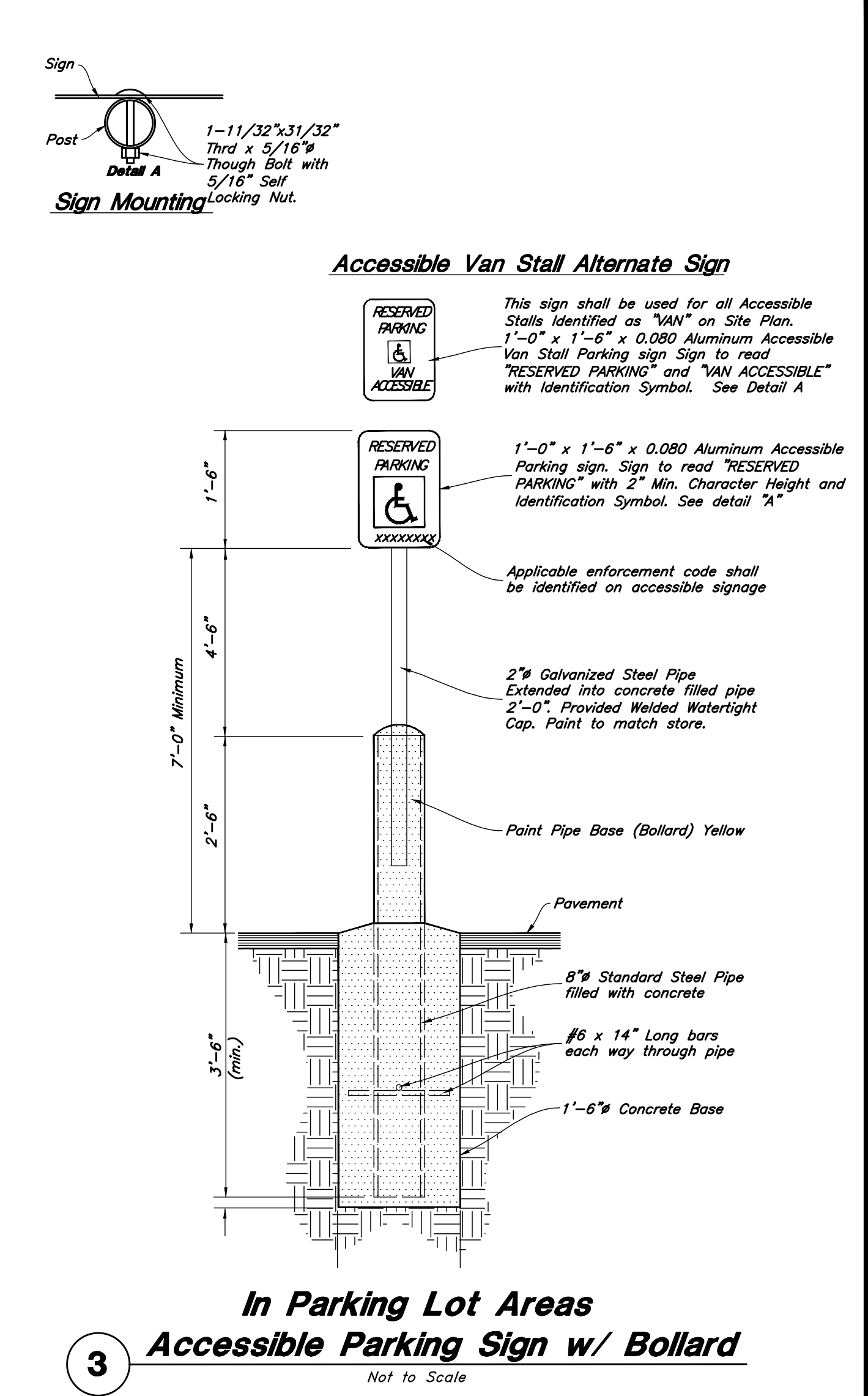
Private Curb Ramp Construction Notes

- Slopes provided are per Anderson Wahlen & Associates design standards. Slopes shown are below ADA and ICC maximum requirements, unless noted otherwise in project plans.
- The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1-Latest Edition) and/or FHAA.
- Counter slopes of adjoining gutters & paving adjacent to the curb ramp shall not be steeper than 4.50%.
- Accessible ramp flares shall be poured separately from ramp to ensure proper slopes.
- Contractor to transition curb or sidewalk height from 6" to 0" reveal. Curb or sidewalk height to match ramp throughout transition.

Sidewalk Construction Notes:

- Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
- Running slope of sidewalks shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
- Refer to the Site Plan for sidewalk dimensions.

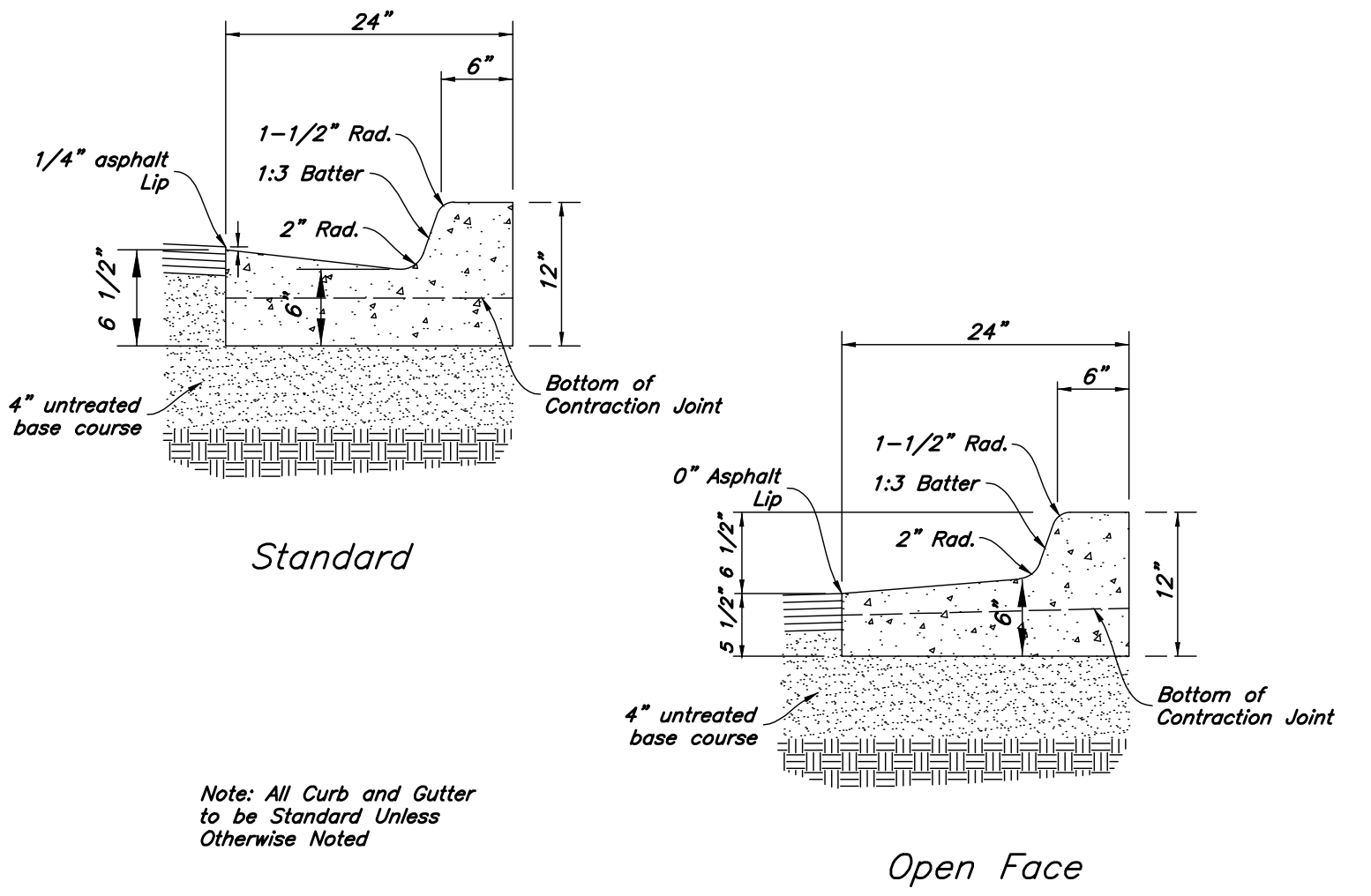
Prior to any construction of any Accessible Improvements, a Pre-Construction meeting shall be held between Contractor and Engineer. Contractor is Responsible to contact Engineer and Schedule Pre-Construction Meeting



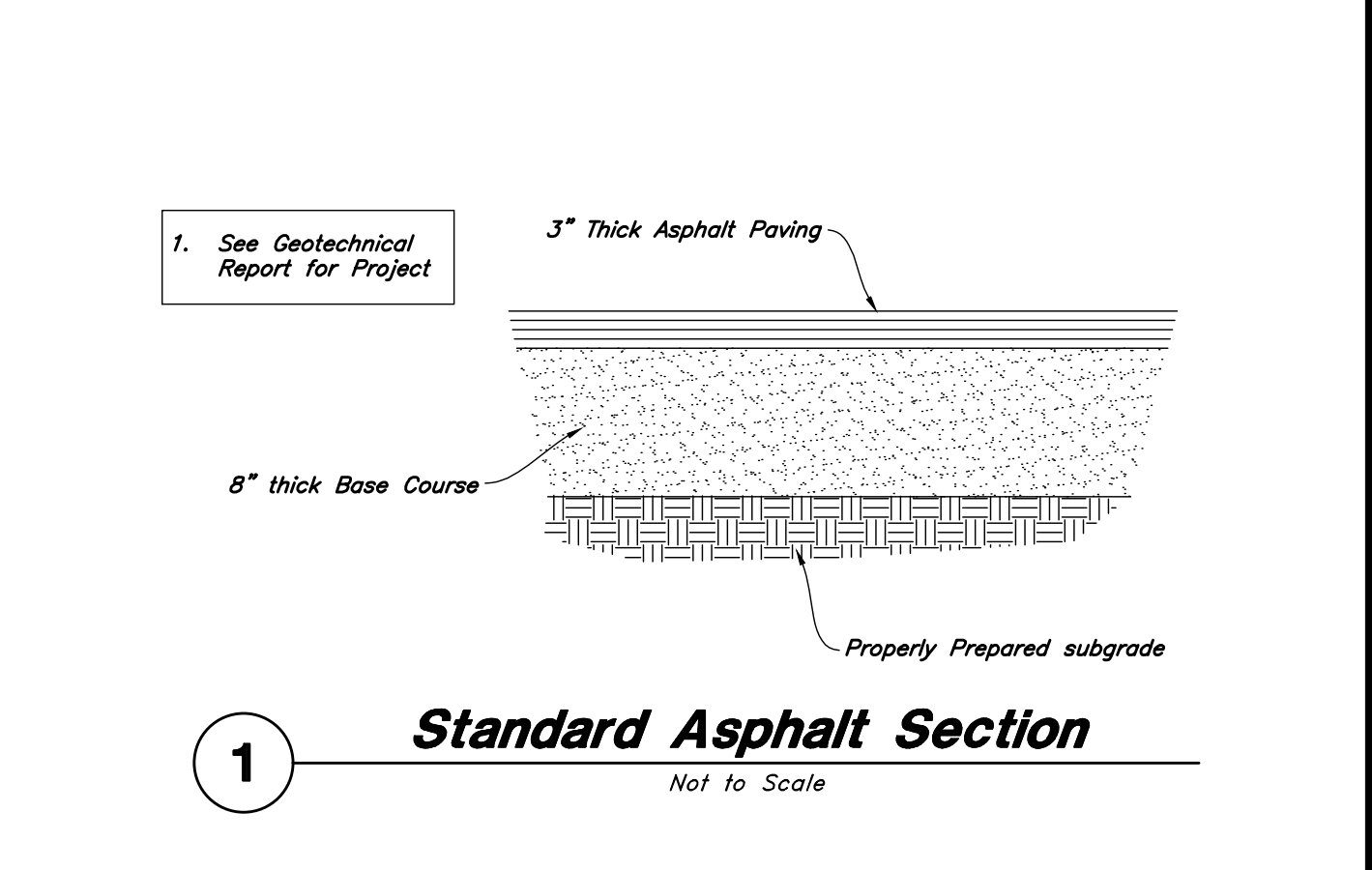
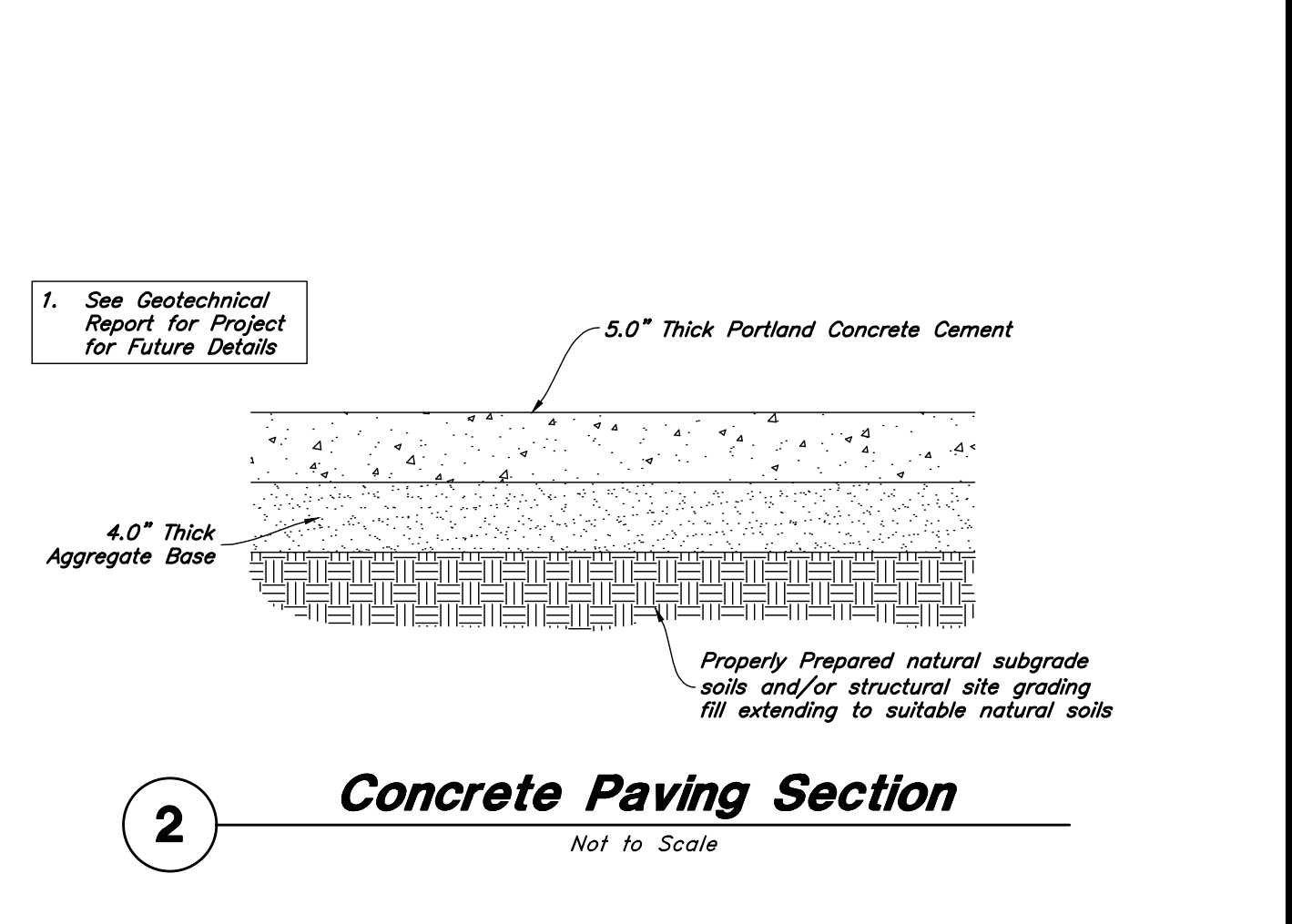
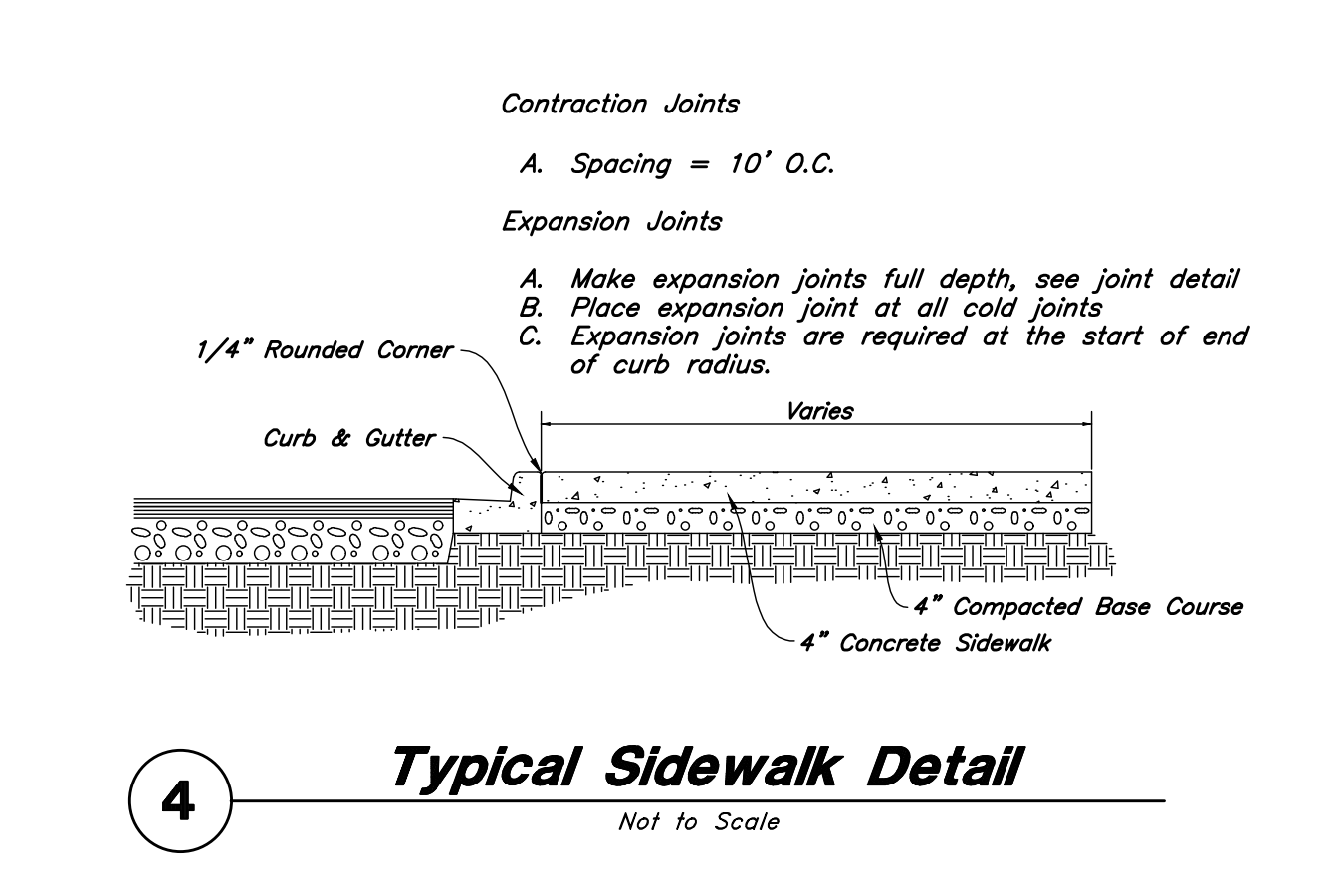
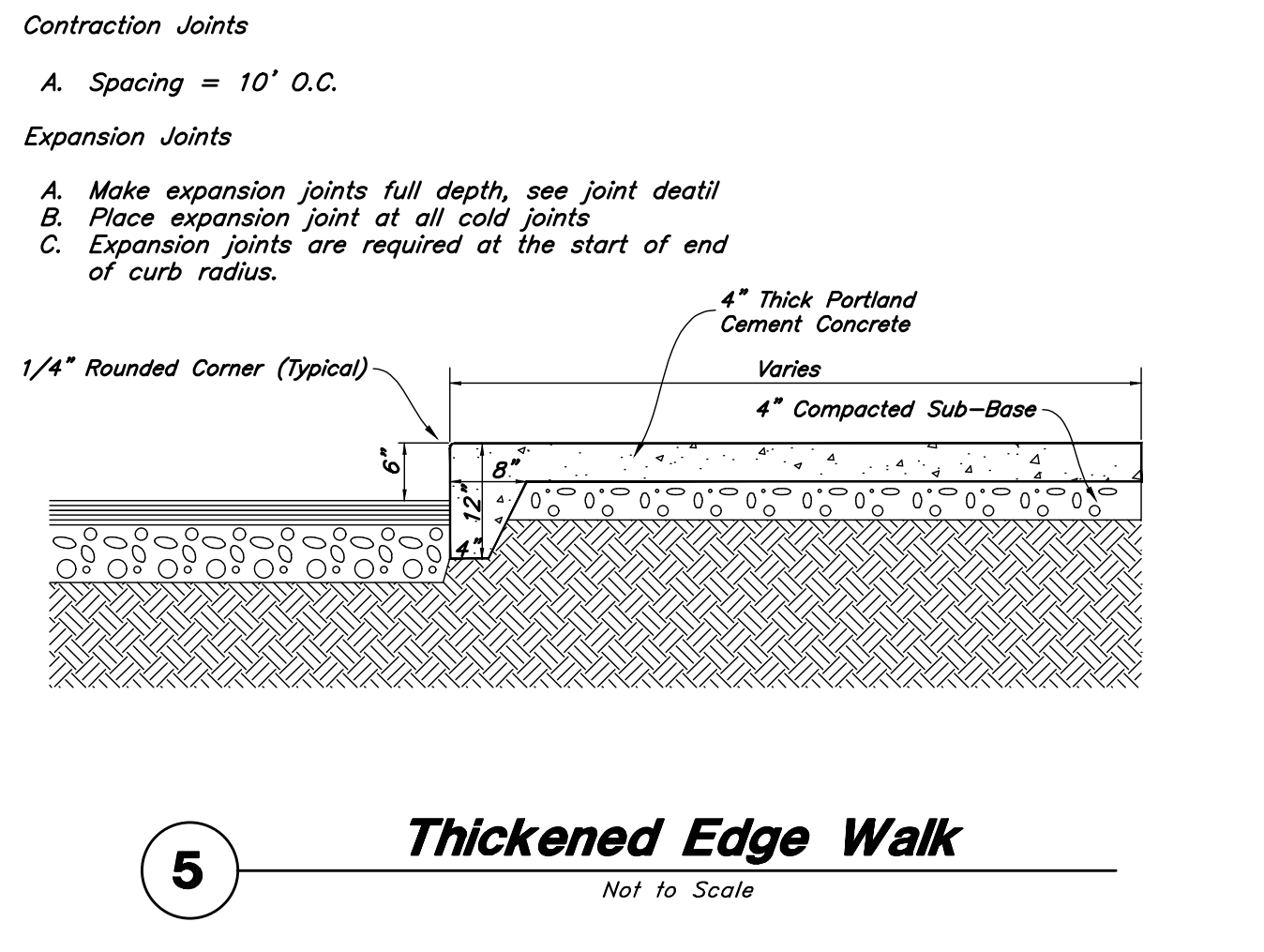
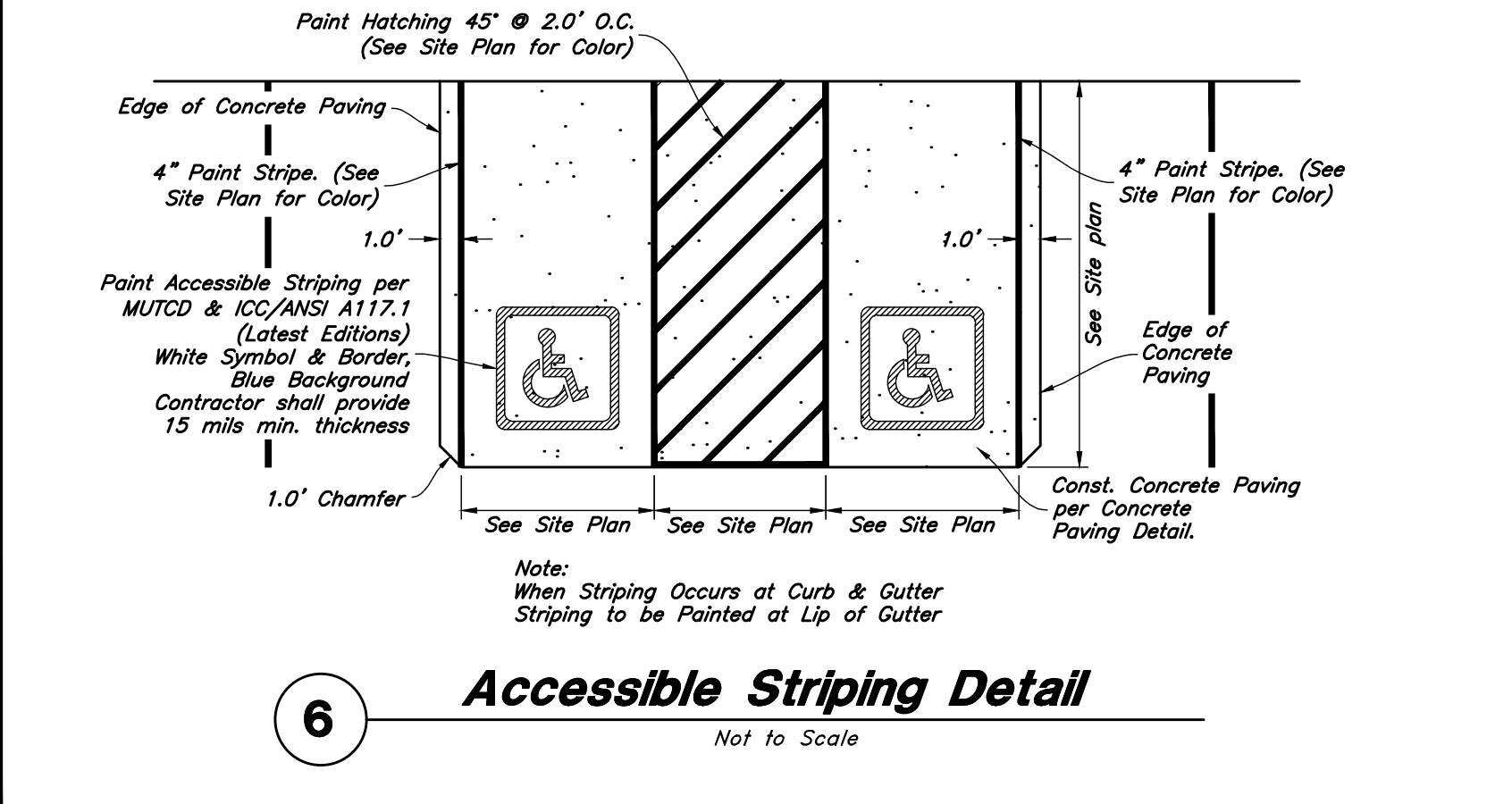
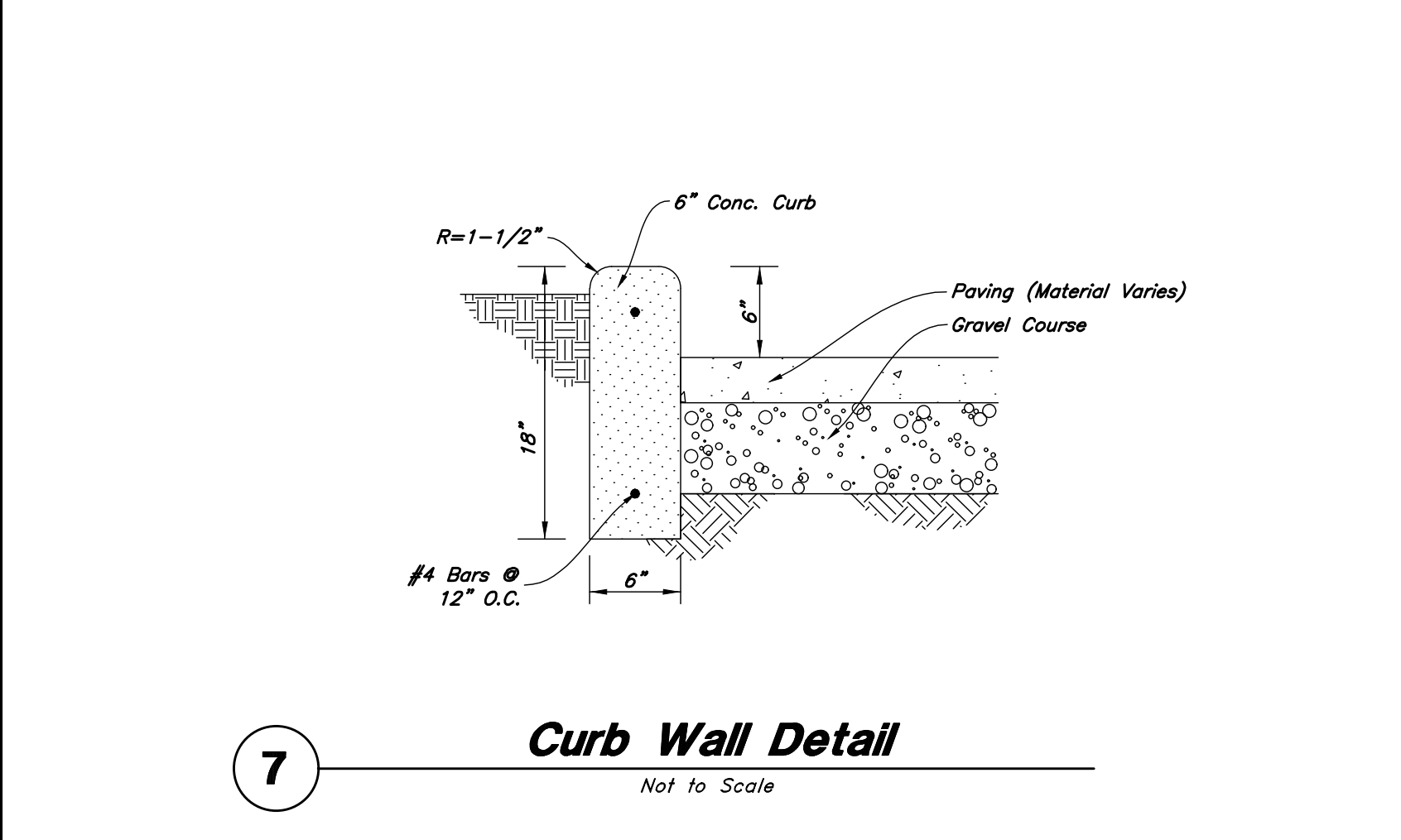
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- Contraction Joints**
A. Spacing = 10' o.c., see joint detail
B. 1/8" wide by 2" deep from top of curb at 15'-0" intervals
- Expansion Joints**
A. Make expansion joints full depth, see joint detail
B. Place expansion joint at all cold joints
C. Expansion joints are required at ends of all radii 0.08.
D. Required 5'-0" on each side of drainage structures
E. Required at 90'-0" maximum intervals in straight curb and gutter
F. Provide #6 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (3/4" thick bituminous filler material)
- 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement
- Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter
- Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.
- All radii shall be true arcs
- Medium to light broom finish on all exterior concrete



8 24" Curb And Gutter
Not to Scale



Grading Plan

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SHEET NO. **C2.1**