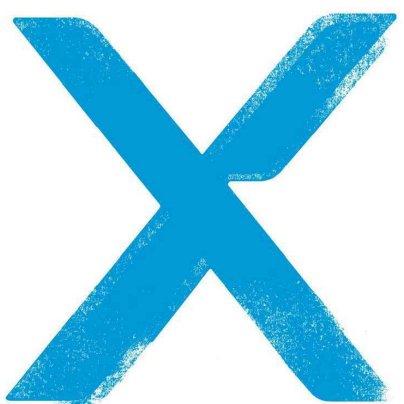
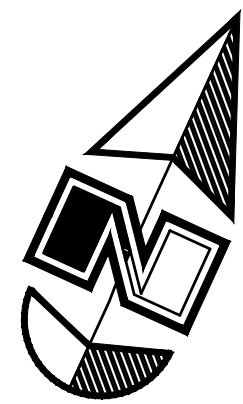


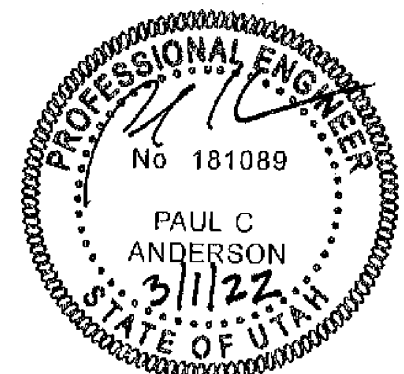
Existing Building



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**U-13 MACHINE BAY & FINISHED
PRODUCT WAREHOUSE 3**
2010 Rulon White Boulevard, Ogden, UT



Date Revision
1 04-04-2022 ADD-01

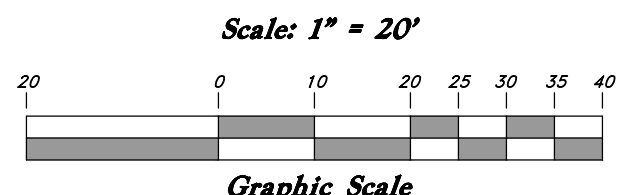
PERMIT SET

NEXUS PROJ. #: 22003
CHECKED BY: PCA
DRAWN BY: SDW
DATE: 03-01-2022

**Demolition
Plan**

SHEET NO.

C001U



Call before you Dig

Avoid cutting underground utility lines. It's costly.



1-800-662-4111

GENERAL DEMOLITION NOTES:

- Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
- Refer to site improvement plans for more details on limits of removal.
- Demolish existing buildings and clear from site. (Including removal of all footings and foundations.)
- All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures to be cleared from site unless otherwise shown.
- All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
- Basements and other excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner)
- Clear and grub trees, shrubs, and vegetation within construction limits, disposal to be off-site except where noted otherwise.
- DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
- If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by a contractor licensed to handle asbestos materials. (Not a part of contract)
- Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
- The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations.
- Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
- Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
- Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
- Install traffic warning devices as needed in accordance with local standards.
- Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.

CAUTION NOTICE TO CONTRACTOR

The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

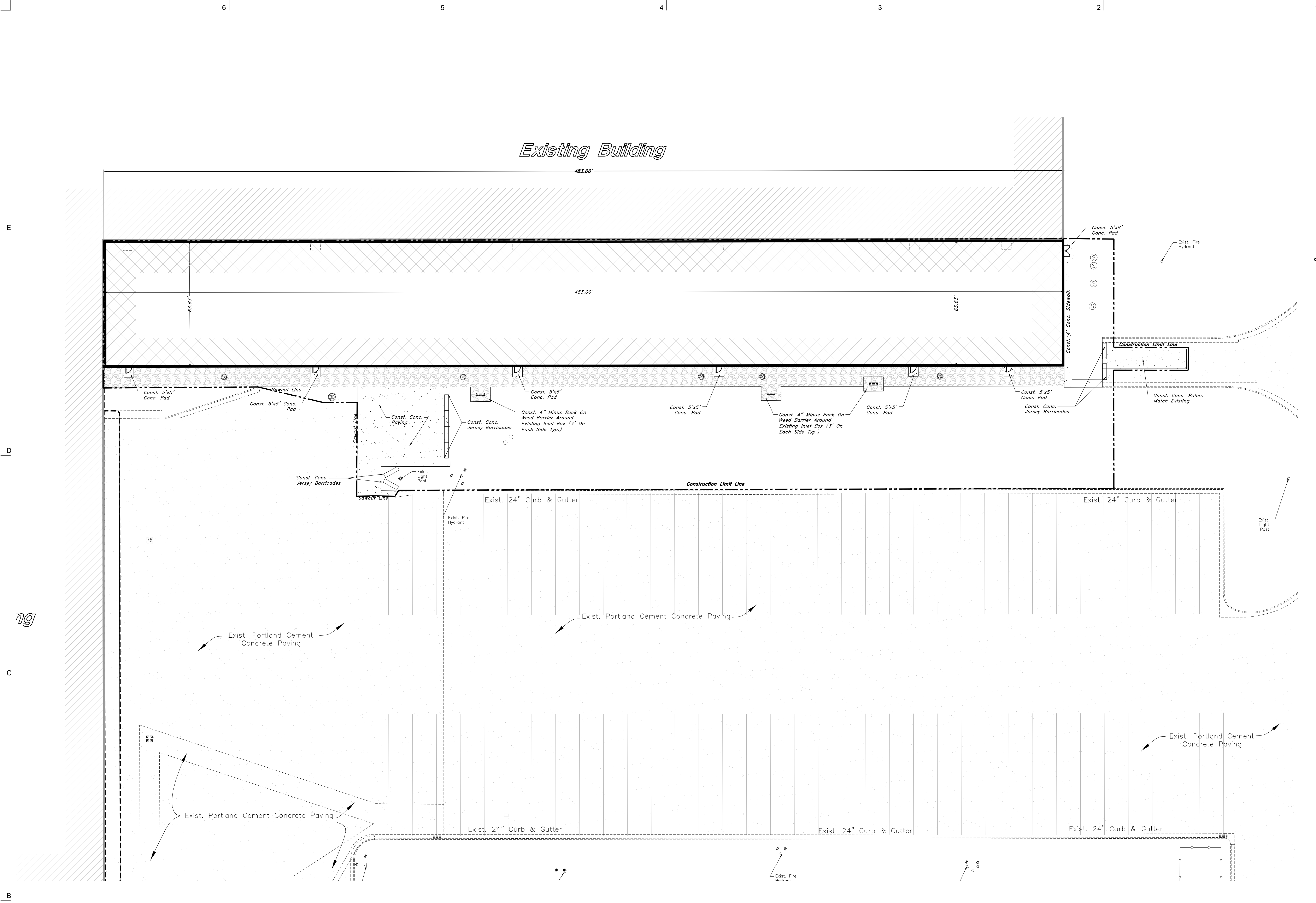
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

Legend

(Note: All items may not appear on drawings)

Light Pole	Finish Grade	95.3374
Fence	Exist. Grade	95.7314
Flowline of ditch	Ridge Line	R
Overhead Power line	Direction of Flow	
Corrugated Metal Pipe	Existing Asphalt	
Concrete Pipe	New Asphalt	
Reinforced Concrete Pipe	Heavy Duty Asphalt	
Polyvinyl Chloride	Existing Concrete	
Top of Asphalt	New Concrete	
Edge of Asphalt	Spill Curb & Gutter	
Centerline	Demolition	
Flowline	Demolition	
Sanitary Floor	Demolition	
Top of Curb	Demolition	
Top of Wall	Demolition	
Top of Walk	Demolition	
Top of Concrete	Demolition	
Storm Drain	Demolition	
Telephone Line	Demolition	
Secondary Waterline	Demolition	
Power Line	Demolition	
Fire Line	Demolition	
Land Drain	Demolition	
Power pole	Demolition	
Power pole w/guy	Demolition	



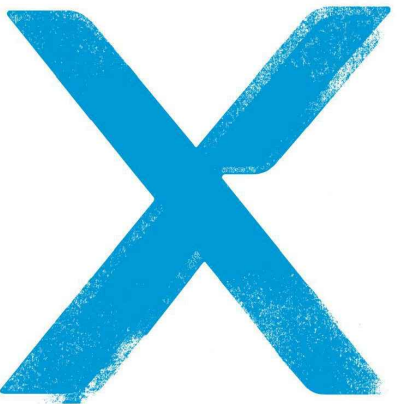
- GENERAL SITE NOTES:**
1. Stalls designated as accessible will require a painted accessible symbol and sign. (See Details)
 2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
 3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
 4. Building sidewalks, ramps, and bollards are building contractor responsible items. See architectural plans.
 5. All dimensions are to back of curb unless otherwise noted.

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ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

Legend (Note: All items may not appear on drawing)	
San. Sewer Manhole	95.337A
Water Manhole	95.337A
Storm Drain Manhole	R
Overhead Power Line	Existing Asphalt
Corrugated Metal Pipe	New Asphalt
Reinforced Concrete Pipe	Heavy Duty Asphalt
Ductile Iron	Existing Concrete
Polystyrene Chloride	New Concrete
Top of Asphalt	Spill Curb & Gutter
Edge of Asphalt	Demo Tree
Centerline	
Flowline	
Finish Floor	
Top of Wall	
Top of Curb	
Top of Walk	
Top of Concrete	
Natural Ground	
Finish Grade	
Match Existing	
Fire Department Connection	
Power Line	
Land Drain	
Power pole	
Power pole w/guy	



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Date Revision

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NEXUS PROJ. #: 22003
CHECKED BY: PCA
DRAWN BY: SDW
DATE: 03-01-2022

Site Plan

SHEET NO.
C101U

E

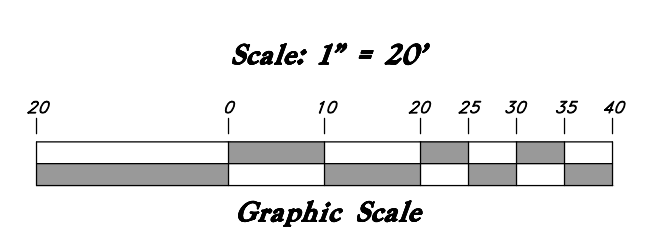
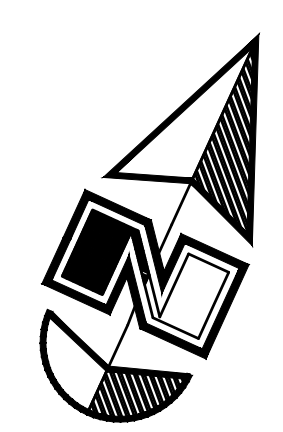
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C

B

A

Existing Building



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Date Revision

PERMIT SET

NEXUS PROJ. #: 22003
CHECKED BY: PCA
DRAWN BY: SDW
DATE: 03-01-2022

Grading &
Drainage Plan
SHEET NO.

C201U

- GENERAL GRADING NOTES:**
- All work shall be in accordance with the City Public Works Standard.
 - Cut slopes shall be no steeper than 2 horizontal to 1 vertical.
 - Fill slopes shall be no steeper than 2 horizontal to 1 vertical.
 - Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by the geotechnical engineer.
 - Areas to receive fill shall be properly prepared and approved by the City Inspector and geotechnical Engineer prior to placing fill.
 - Fills shall be benched into competent material as per specifications and geotechnical report.
 - All trench backfill shall be tested and certified by the site geotechnical engineer per the grading code.
 - A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
 - The final compaction report and certification from the geotechnical engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
 - Dust shall be controlled by watering.
 - The location and protection of all utilities is the responsibility of the permittee.
 - Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project.
 - All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the city engineer.
 - The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
 - The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
 - Aggregate base shall be compacted per the geotechnical report prepared for the project.
 - Elevations shown on this plan are finish grades. Rough grades are the subgrades of the improvements shown herein.

- The recommendations in the following Geotechnical Engineering Report by xxxx are included in the requirements of grading and site preparation.
The report is titled "GEOTECHNICAL INVESTIGATION"
Job No. _____ Address _____ Dated: _____
 - As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
 - Erosion Control: Protect all inlet boxes, catch basins, etc. with straw bales or other approved method to strain the storm water during construction. Protect surrounding properties and streets from site runoff with sandbags and earth berms.
- CURB AND GUTTER CONSTRUCTION NOTES:**
- Open face gutter shall be constructed where drainage is directed away from curb.
 - Open face gutter locations are indicated by shading and notes on site and grading plan.
 - It is the responsibility of the surveyor to adjust top of curb grades at the time construction staking.
 - Refer to the typical details for a standard and open face curb and gutter for dimensions.
 - Transitions between open face and standard curb and gutter are to be smooth. Hand form these areas if necessary.
- ADA NOTES:**
- Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If grades on plans do not meet this requirement, notify Consultants immediately.
- The Client, Contractor, and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FHWA.

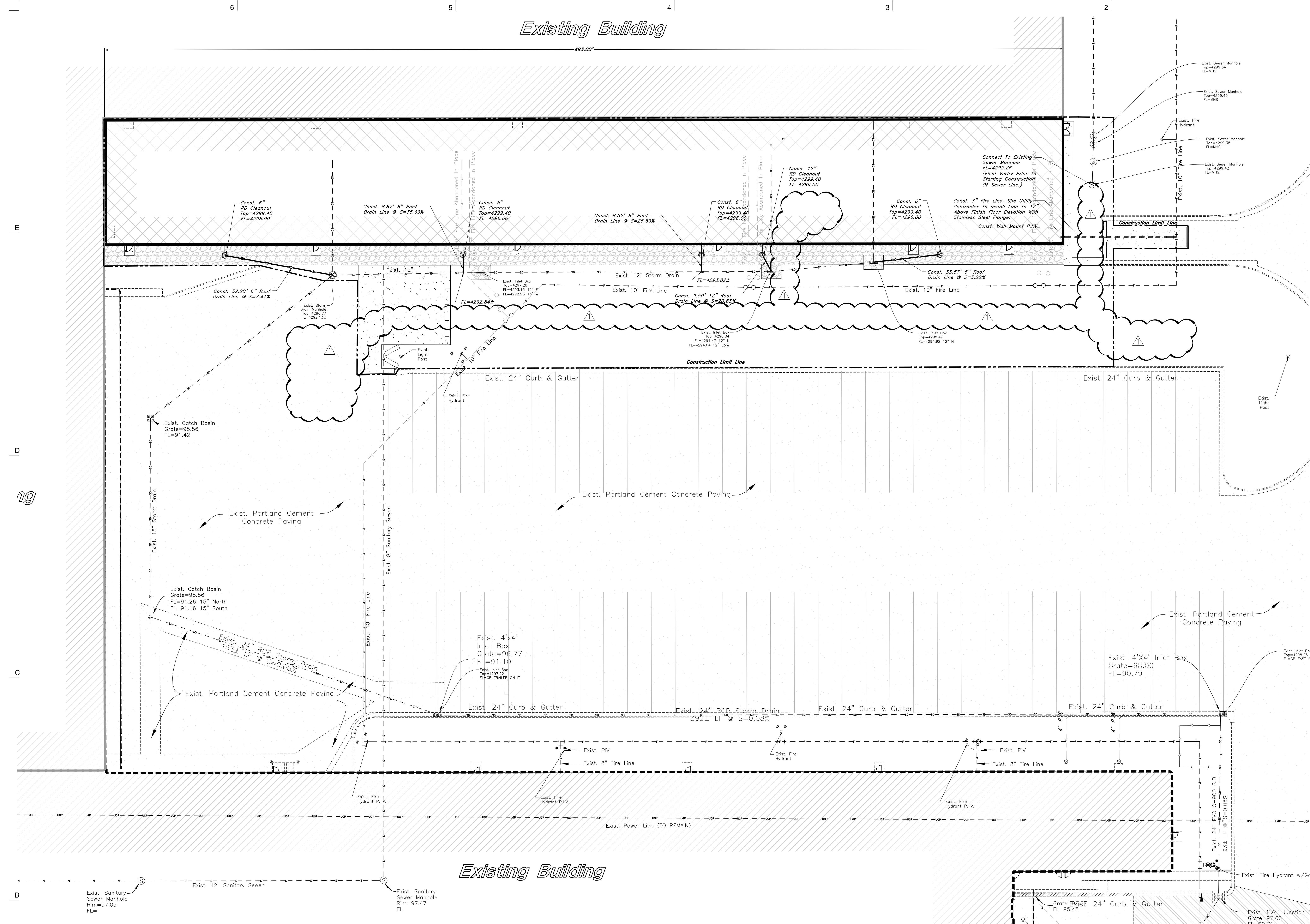
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

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ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

San. Sewer Manhole	Light Pole	Finish Grade
Water Manhole	Fence	Exist. Grade
Storm Drain Manhole	Flowline of ditch	Ridge Line
Cleanout	Overhead Power Line	Direction of Flow
Electrical Manhole	Corrugated Metal Pipe	Existing Asphalt
Catch Basin	Concrete Pipe	New Asphalt
Exist. Fire Hydrant	Reinforced Concrete Pipe	Heavy Duty Asphalt
Exist. Water Valve	Ductile Iron	Existing Concrete
Water Valve	Polyvinyl Chloride	New Concrete
Sanitary Sewer	Top of Asphalt	Spill Curb & Gutter
Culinary Water	Edge of Asphalt	Demo Tree
Gas Line	Centerline	
Irrigation Line	Flowline	
Telephone Line	Top of Curb	
Waterline	Top of Walk	
Land Drain	Top of Wall	
Power pole w/guy	Top of Concrete	
	Natural Ground	
	Finish Grade	
	Match Existing	
	Fire Department Connection	
	Exist. Contour	

12/9/2021 10:41:02



GENERAL UTILITY NOTES:

- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basins and inlet box grates are to be bicycle proof.
- All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
- All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.

UTILITY PIPING MATERIALS:

All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

CULINARY SERVICE LATERALS:

- 3/4" to 2" diameter pipe - copper tube ASTM B, Type K, Soft Temper
- Over 2" diameter pipe - AWWA C-900 Class 150 pipe

WATER MAIN LINES AND FIRE LINES:

- Pipe material as shown on utility plan view or to meet city standards.

SANITARY SEWER LINES

- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

STORM DRAIN LINES

- 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- 12" or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet

NATURAL GAS SERVICE LATERALS (QUESTAR)

- PLASTIC PIPING MATERIAL: Plastic polyethylene pipe materials and compression couplings must be approved for natural gas applications and must be installed underground. All plastic pipe and fittings must conform to ASTM D2513 (60 psi and above high density pipe approved 3408).
- Plastic pipe must be joined by individuals qualified in the heat fusion method of connecting pipe and fittings or approved mechanical fittings. A minimum number 18 insulated yellow copper tracer wire shall be installed with underground nonmetallic gas piping and shall terminate above grade at each end. Tracer wire shall not come in contact with plastic piping.
- Risers and prefabricated risers inserted with plastic pipe shall conform to ASTM D2513, shall be metallic, have a space of 10 inches from the bottom of the service valve and grade, and shall be wrapped or coated to a point at least 6 inches above grade or protected in an approved manner. When a riser connects underground to plastic pipe, the underground horizontal metallic portion of the riser shall extend at least 12 inches before connecting to the plastic pipe by means of an approved transition fitting, adapter or heat fusion.
- Plastic pipe used underground for customer fuel lines must be approved polyethylene material and be buried a minimum of 12 inches. It shall not be used inside buildings or above ground. PVC (Polyvinyl Chloride) is not approved for piping systems in Questar Gas's service area. Individual gas lines (metallic or plastic) to single outside appliance (outside lights, grilles, etc.) shall be installed a minimum of 8 inches below grade, provided such installation is approved and installed in locations not susceptible to physical damage.

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ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

Legend	
(Note: All items may not appear on drawings)	
San. Sewer Manhole	95.537A
Water Manhole	95.537A
Storm Drain Manhole	95.537A
Cleanout	95.537A
Electrical Manhole	95.537A
Catch Basins	95.537A
Exst. Fire Hydrant	95.537A
Exst. Water Valve	95.537A
Sanitary Sewer	95.537A
Culinary Water	95.537A
Gas Line	95.537A
Irrigation Line	95.537A
Storm Drain	95.537A
Telephone Line	95.537A
Secondary Waterline	95.537A
Power Line	95.537A
Fire Line	95.537A
Land Drain	95.537A
Power pole w/guy	95.537A
Power pole w/guy	95.537A
Light Pole	95.537A
Fence	95.537A
Flowline of ditch	95.537A
Overhead Power line	95.537A
Corrugated Metal Pipe	95.537A
Direction of Flow	95.537A
Reinforced Concrete Pipe	95.537A
Quilted Pipe	95.537A
Polyvinyl Chloride	95.537A
Top of Asphalt	95.537A
Edge of Asphalt	95.537A
Centerline	95.537A
Flowline	95.537A
Top of Curb	95.537A
Top of Wall	95.537A
Top of Walk	95.537A
Top of Concrete	95.537A
Natural Ground	95.537A
Finish Grade	95.537A
Fire Department Connection	95.537A
Exst. Contour	95.537A
Finish Grade	95.537A
Exst. Grade	95.537A
Ridge Line	95.537A
Direction of Flow	95.537A
Existing Asphalt	95.537A
New Asphalt	95.537A
Heavy Duty Asphalt	95.537A
Existing Concrete	95.537A
New Concrete	95.537A
Spill Curb & Gutter	95.537A
Demo Tree	95.537A

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PROFESSIONAL ENGINEER
No. 181089
PAUL C. ANDERSON
2/1/22
STATE OF UTAH

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Call 811

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KIMBERLY-CLARK

U-13 MACHINE BAY & FINISHED PRODUCT WAREHOUSE 3

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BIG-D CONSTRUCTION

Date Revision
1 04-04-2022 ADD-01

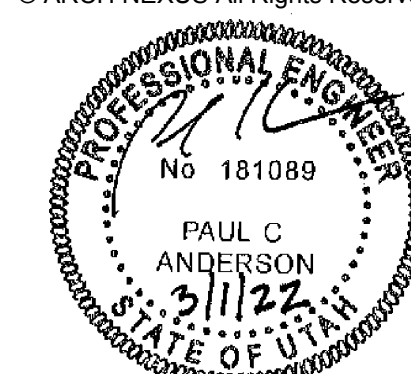
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NEXUS PROJ. #: 22003
CHECKED BY: PCA
DRAWN BY: SDW
DATE: 03-01-2022

Utility Plan

SHEET NO.
C301U

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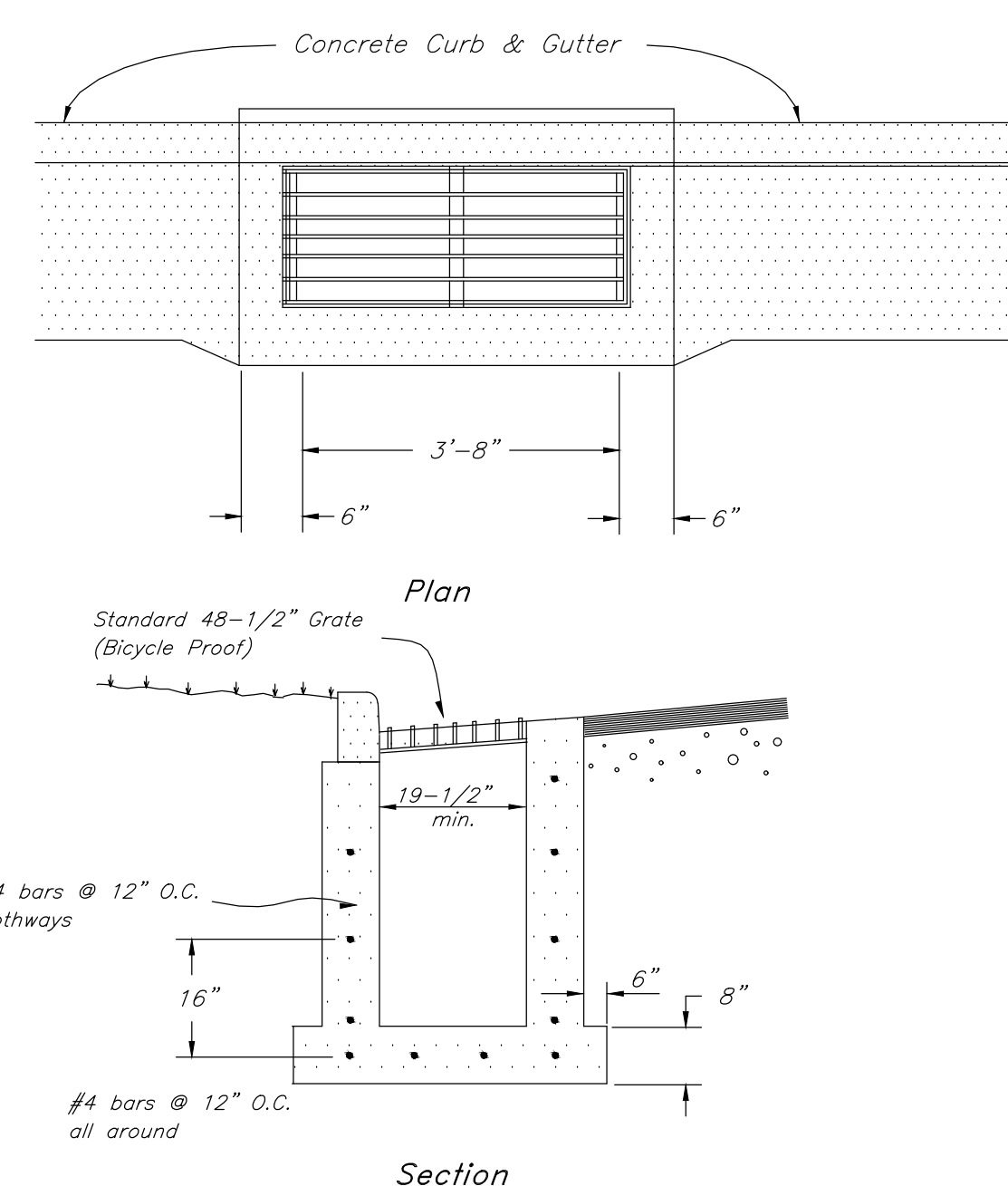


KIMBERLY-CLARK
U-13 MACHINE BAY & FINISHED
PRODUCT WAREHOUSE 3
2010 Rulon White Boulevard, Oaden, UT

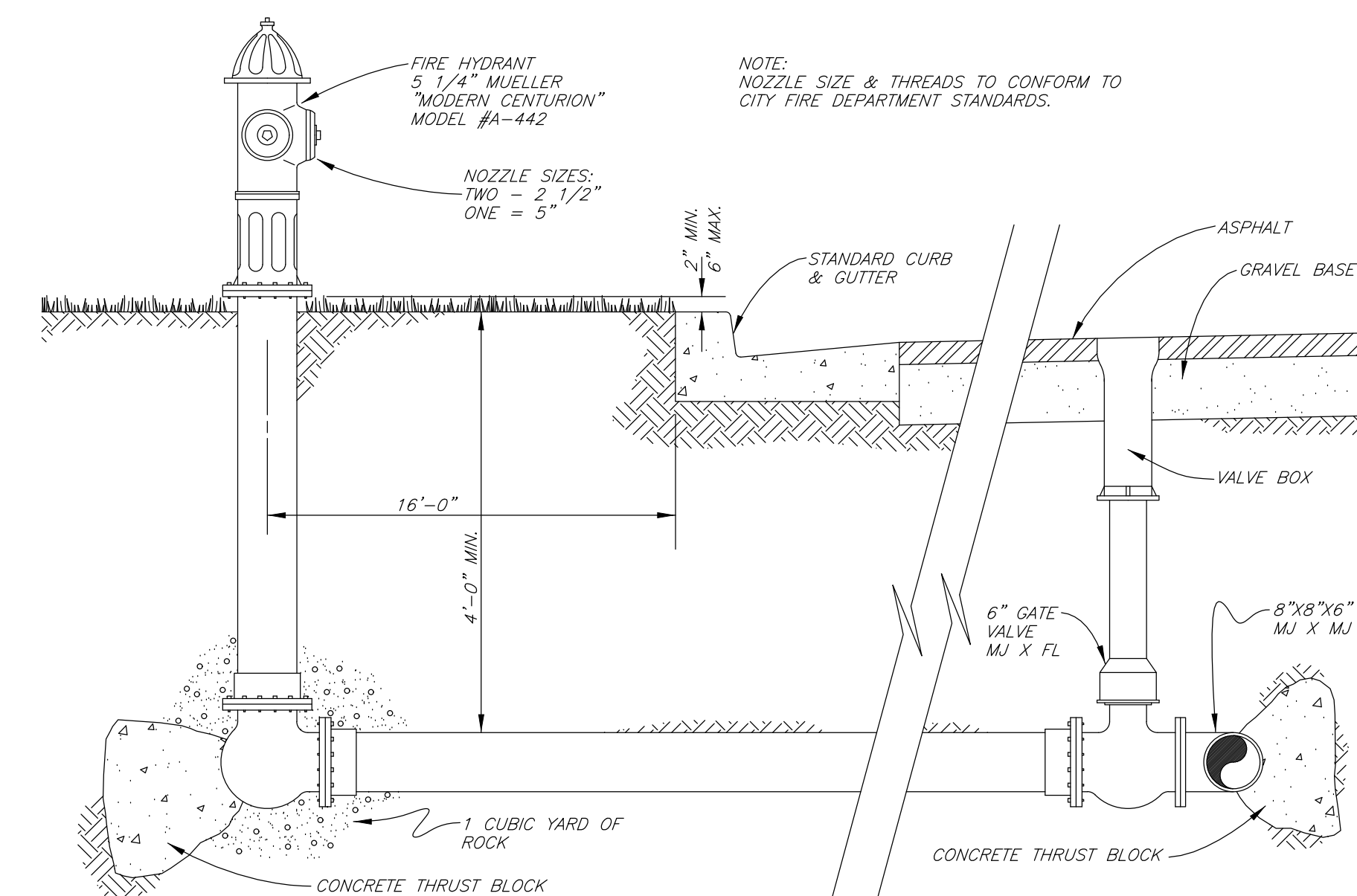


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DATE: 03-01-2022

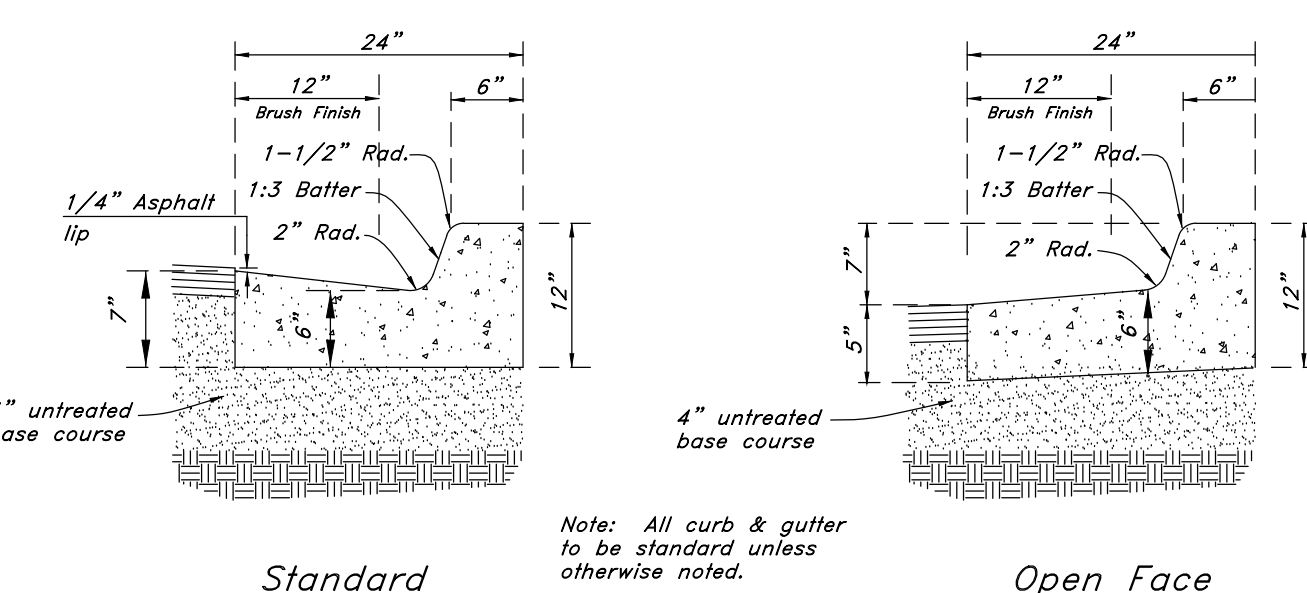
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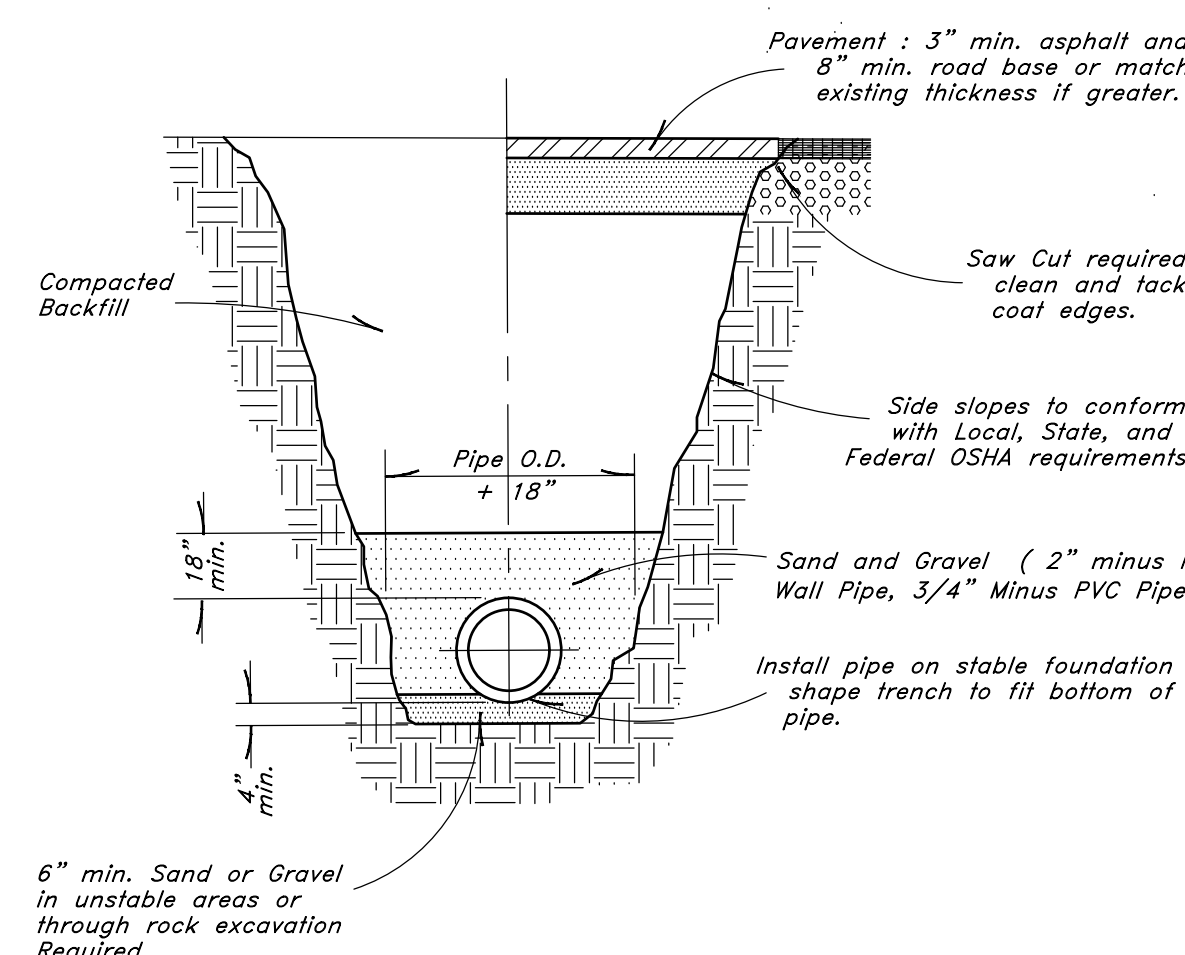
***Inlet/Junction Manhole
(In Curb & Gutter)***



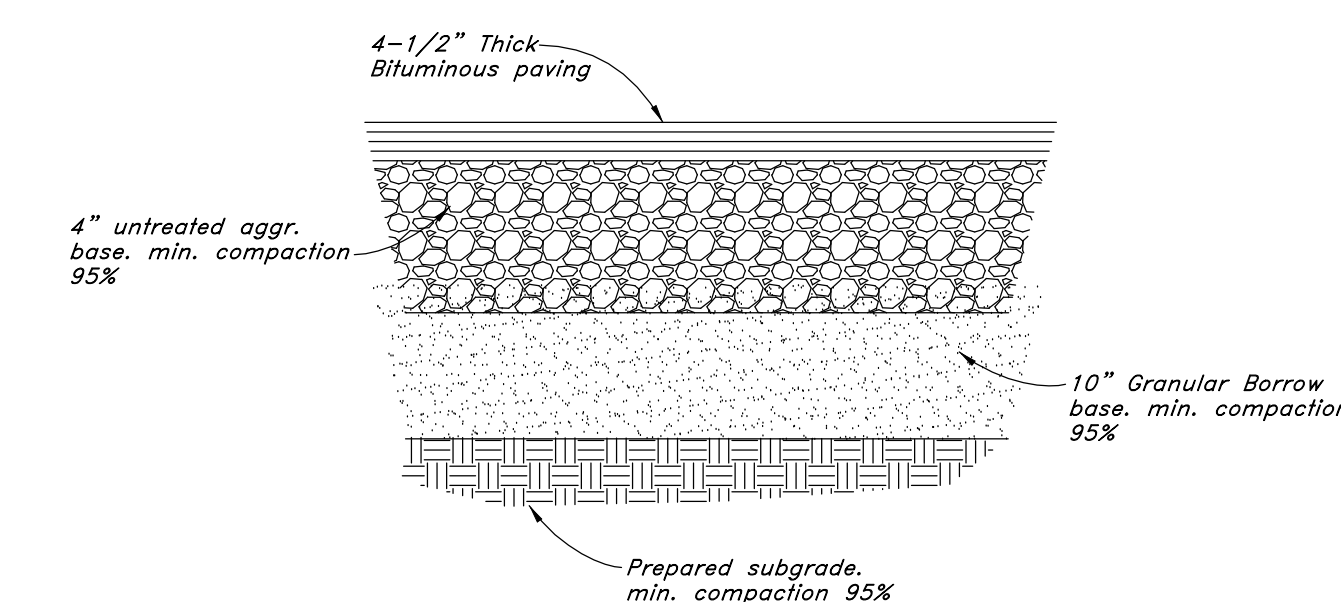
TYPICAL FIRE HYDRANT & VALVE CONNECTION



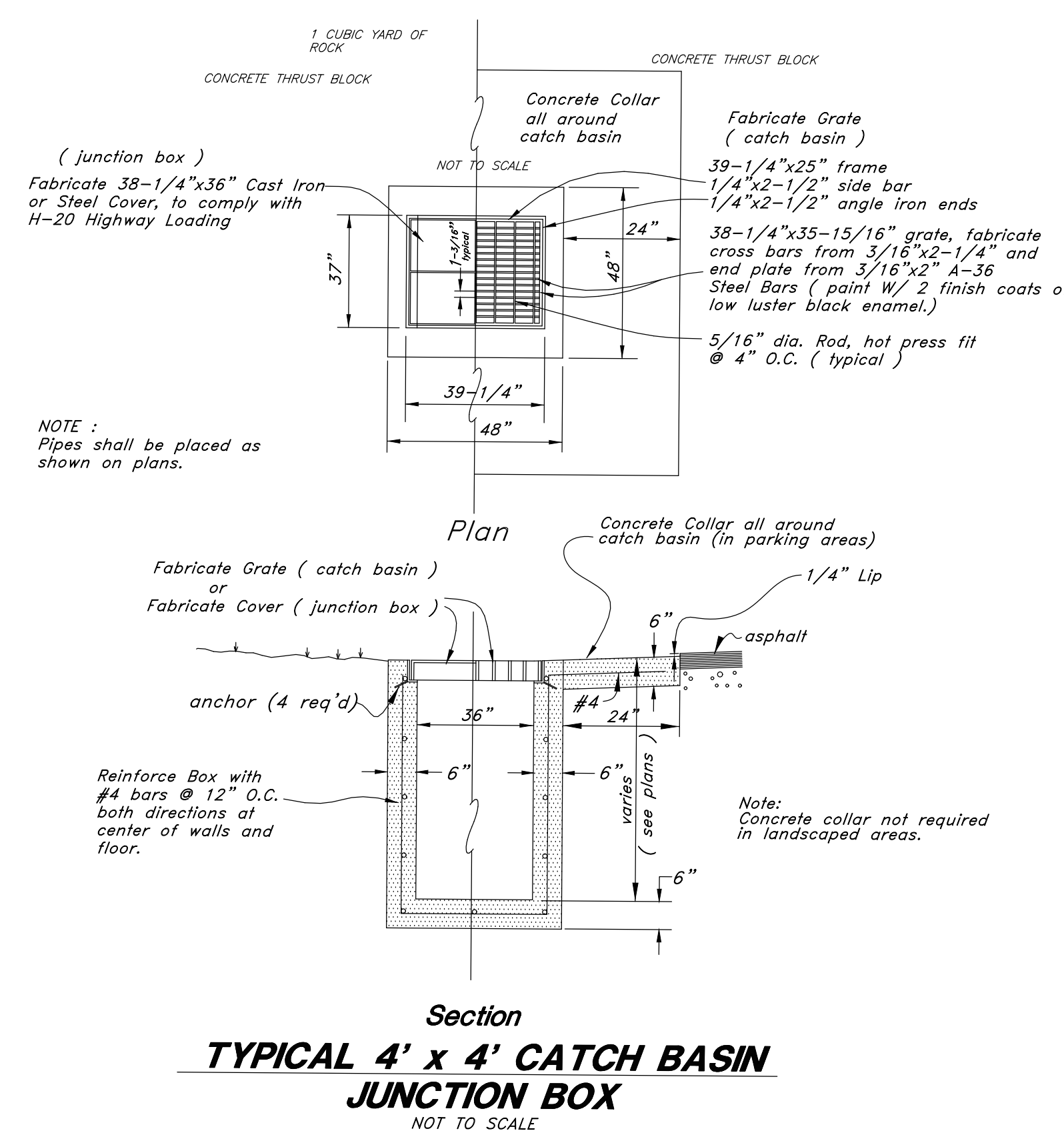
Typical Section - 24" Curb & Gutter



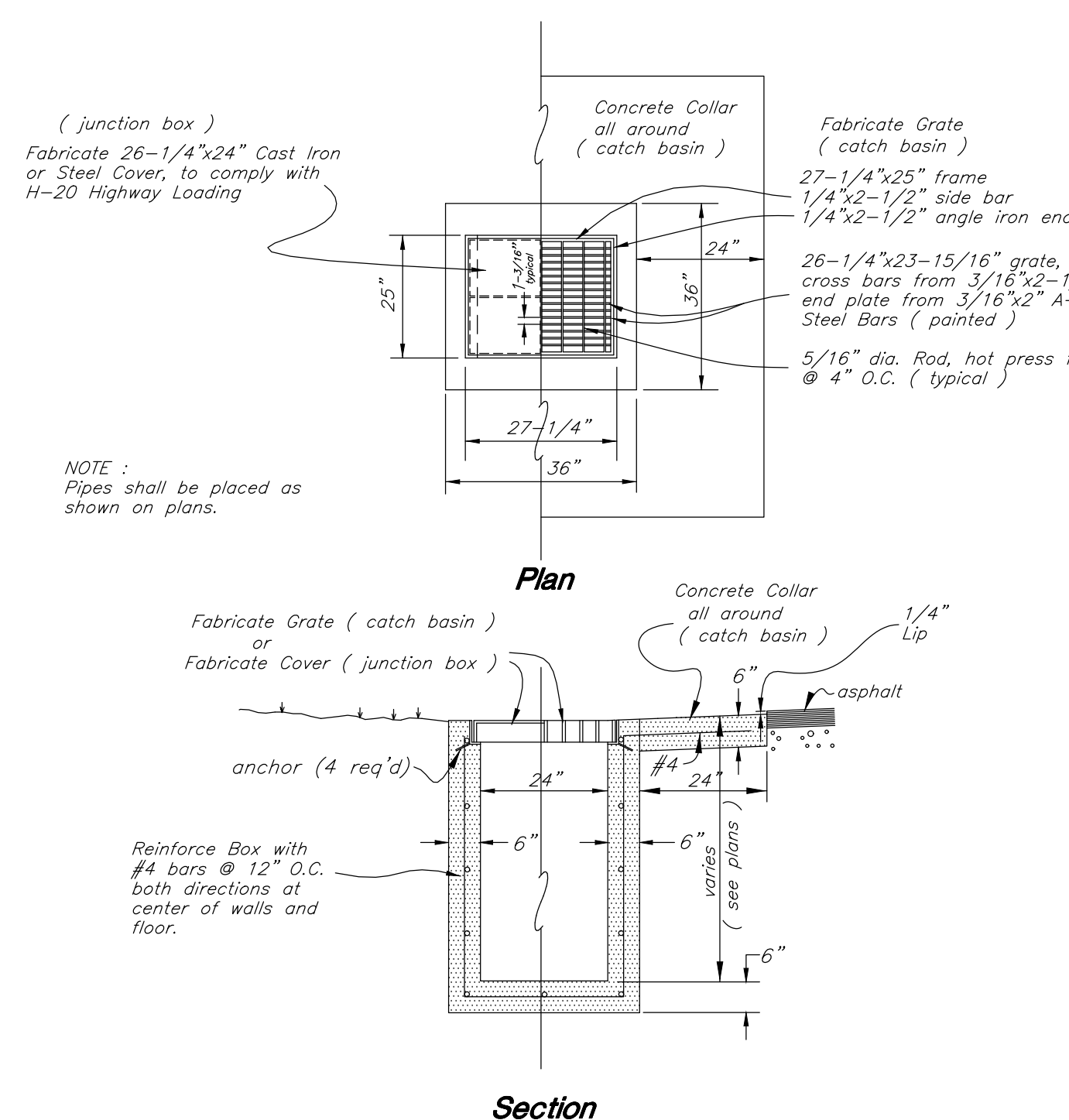
Typical Trench Detail



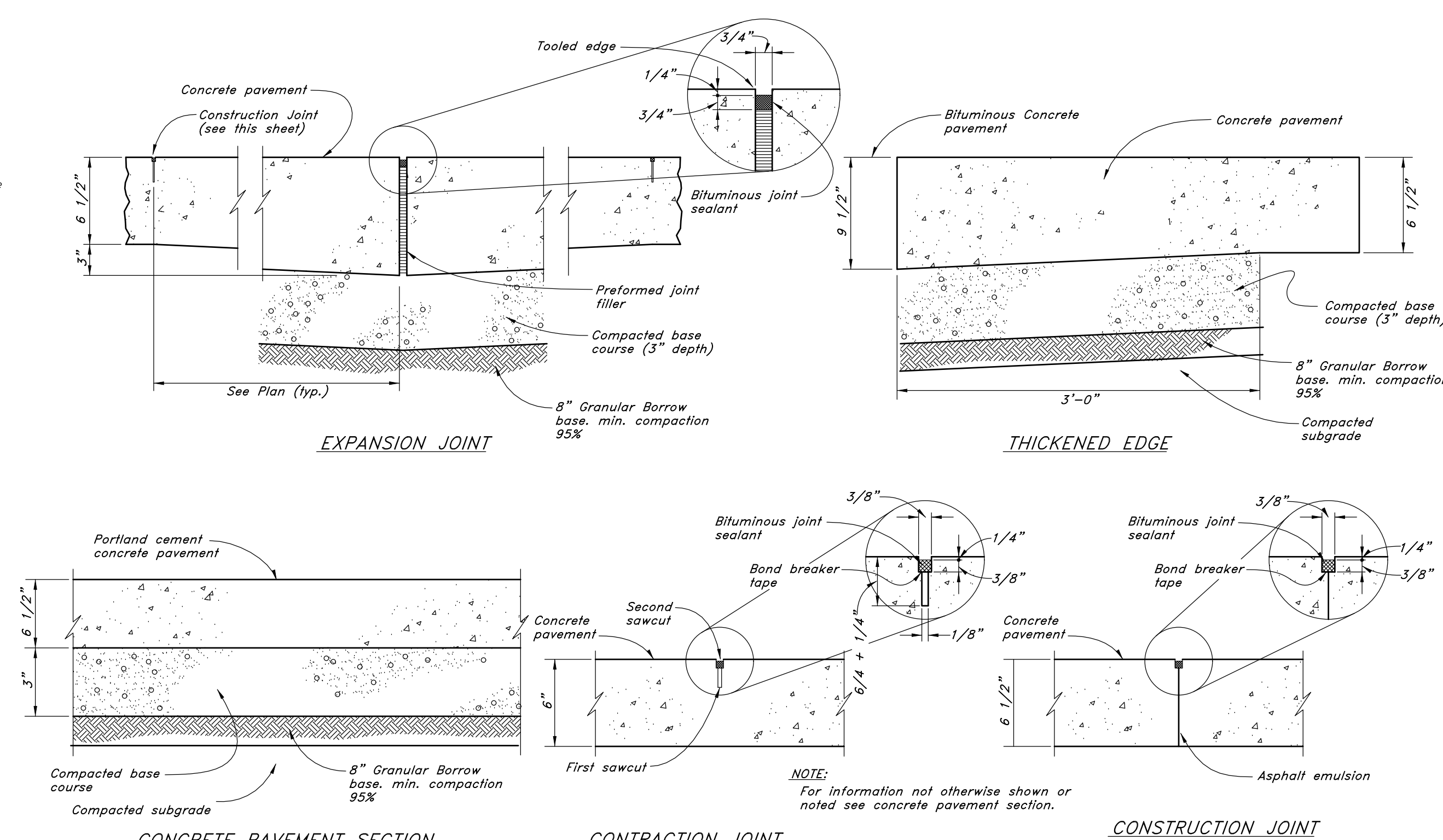
Typical Bituminous Pavement Section



**TYPICAL 4' x 4' CATCH BASIN
JUNCTION BOX**

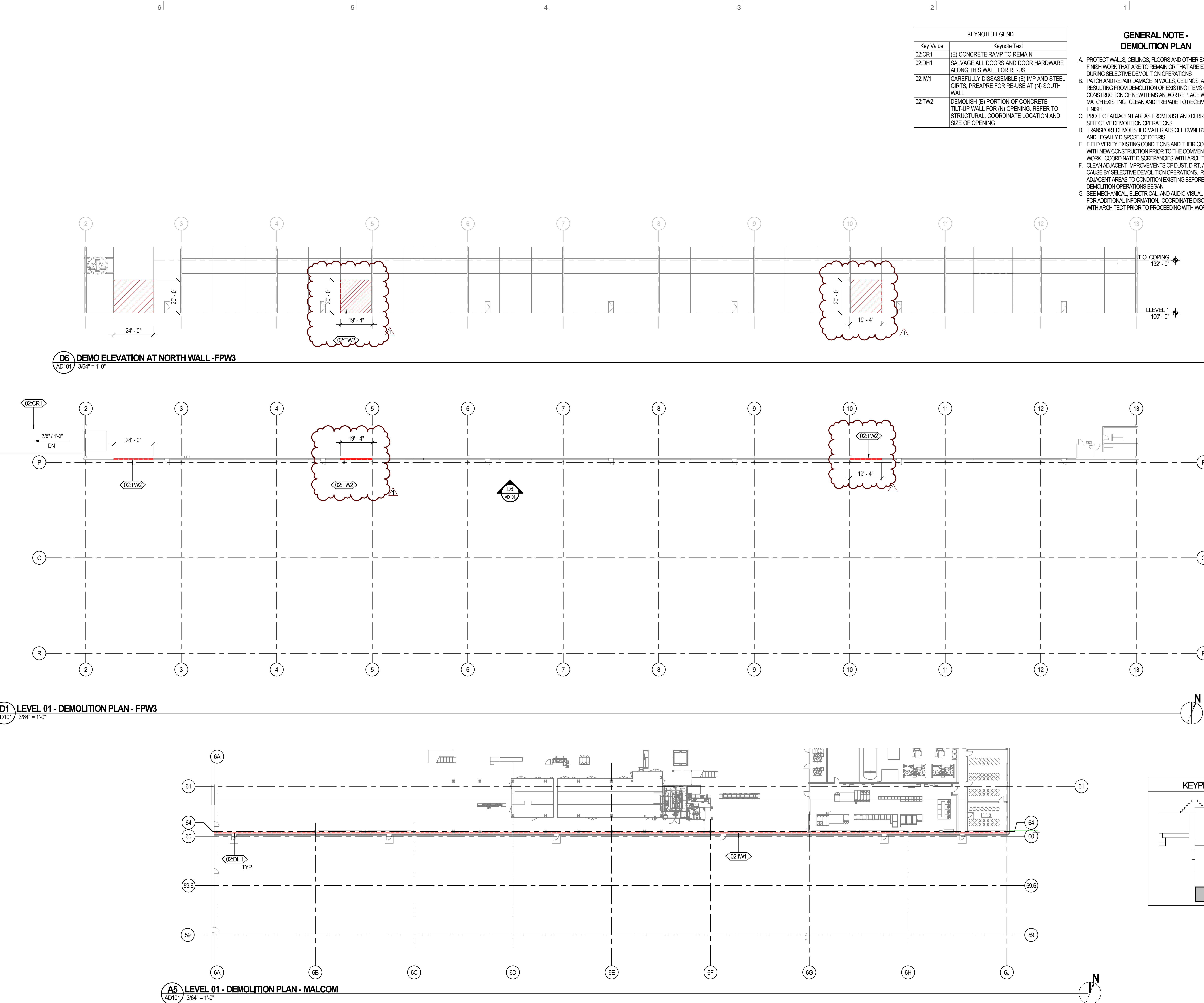


TYPICAL 2' x 2' CATCH BASIN
TYPICAL JUNCTION BOX



Portland Cement Concrete Pavement

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PRODUCT WAREHOUSE 3
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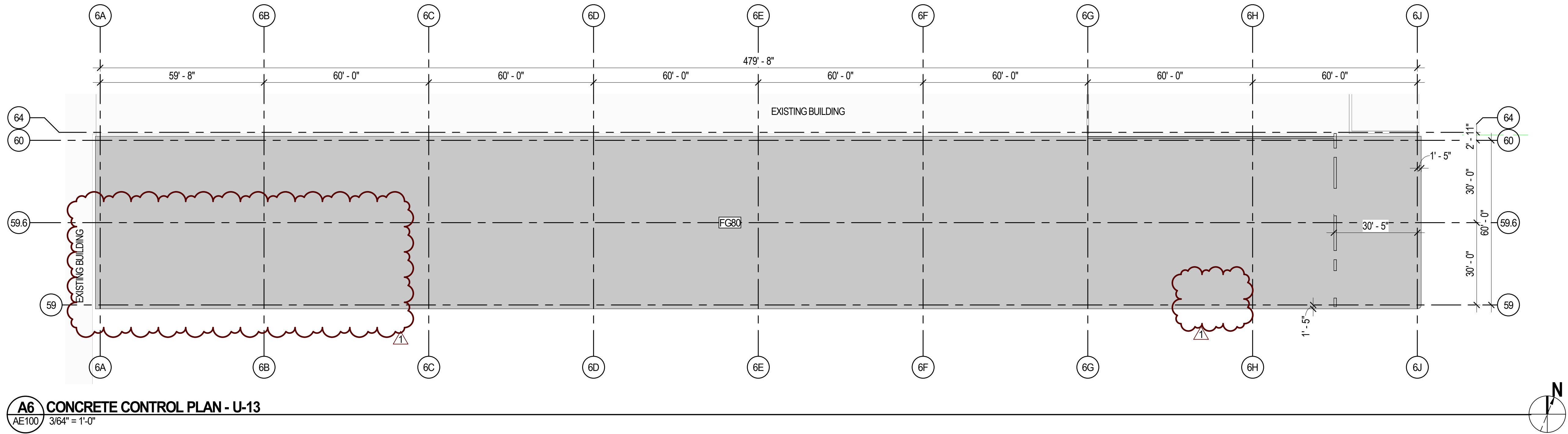
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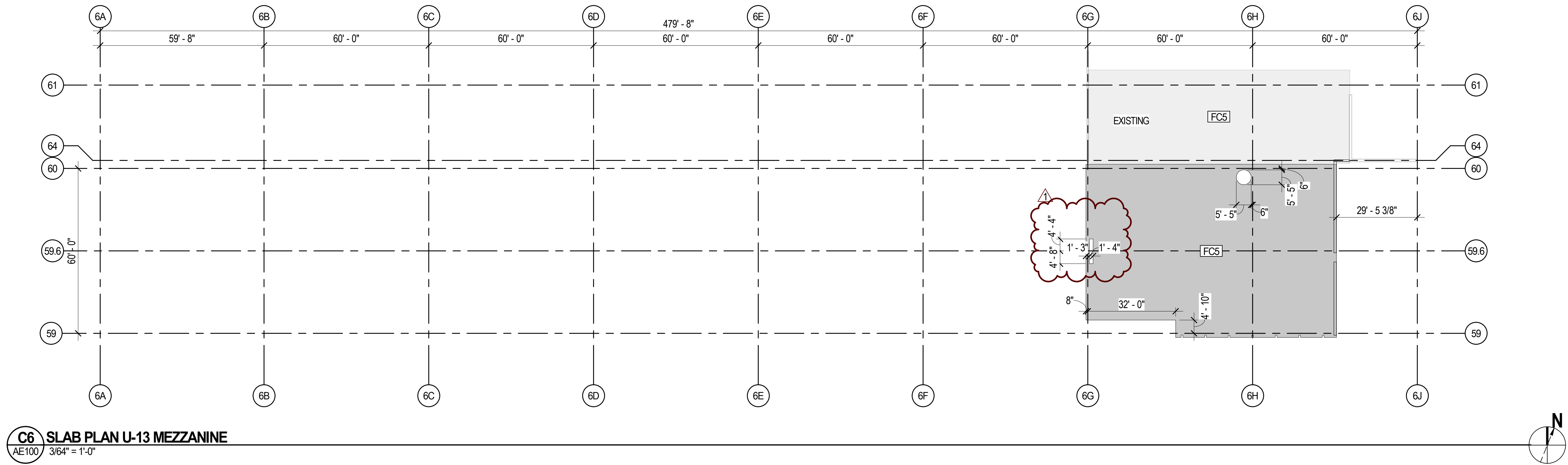
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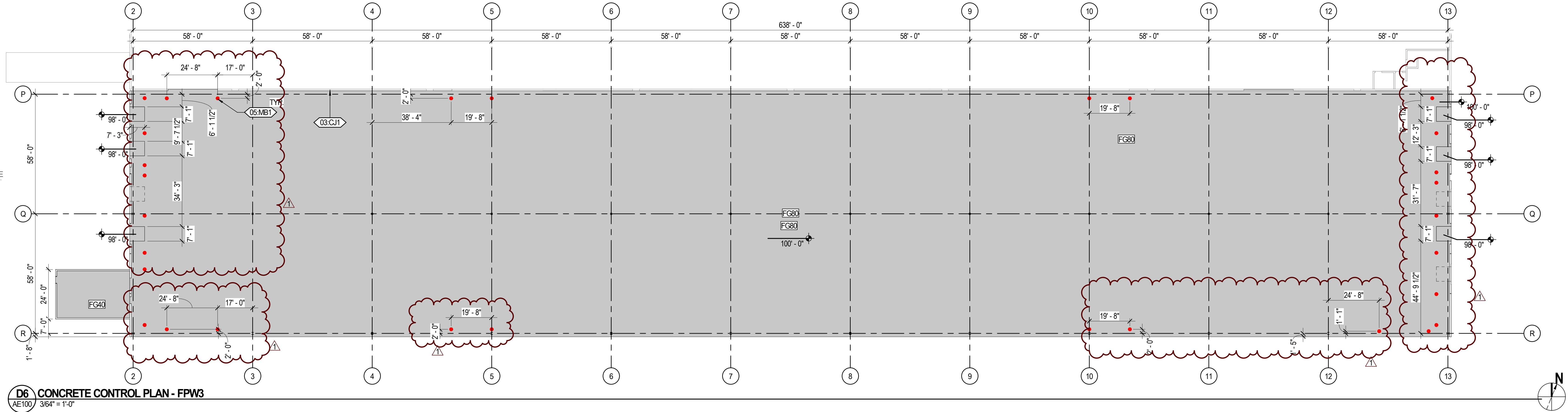
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A6 CONCRETE CONTROL PLAN - U-13
AE100 3/64" = 1'-0"



C6 SLAB PLAN U-13 MEZZANINE
AE100 3/64" = 1'-0"

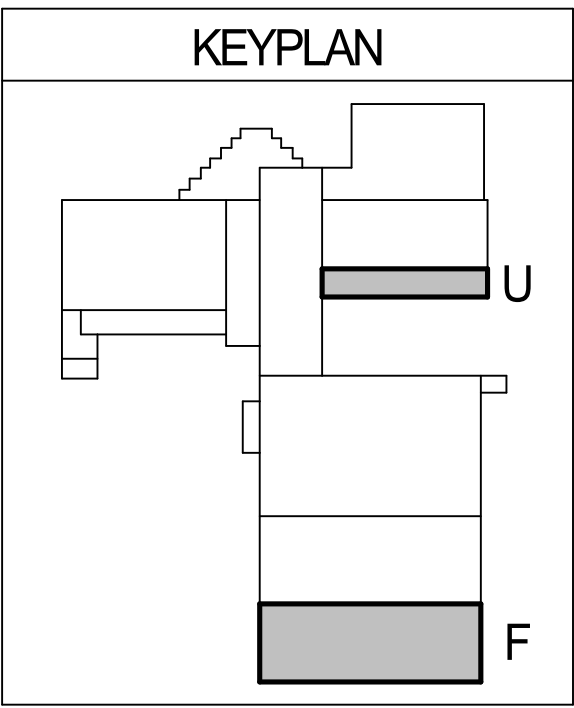


D6 CONCRETE CONTROL PLAN - FPW3
AE100 3/64" = 1'-0"

GENERAL NOTE - SLAB CONTROL

A. COORDINATE ALL PENETRATIONS IN SLAB SYSTEM WITH STRUCTURAL AND PLUMBING DRAWINGS.

KEYNOTE LEGEND	
Key Value	Keynote Text
03.CJ1	CONTROL JOINT
05.MB1	6" DIAMETER BOLLARD, 48" TALL. SEE DETAIL C4/A501.



#	Date	Revision
1	04.04.22	ADD-001

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NEXUS PROJ. #: 22003
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DATE: 02.25.2022

CONCRETE CONTROL PLANS

AE100

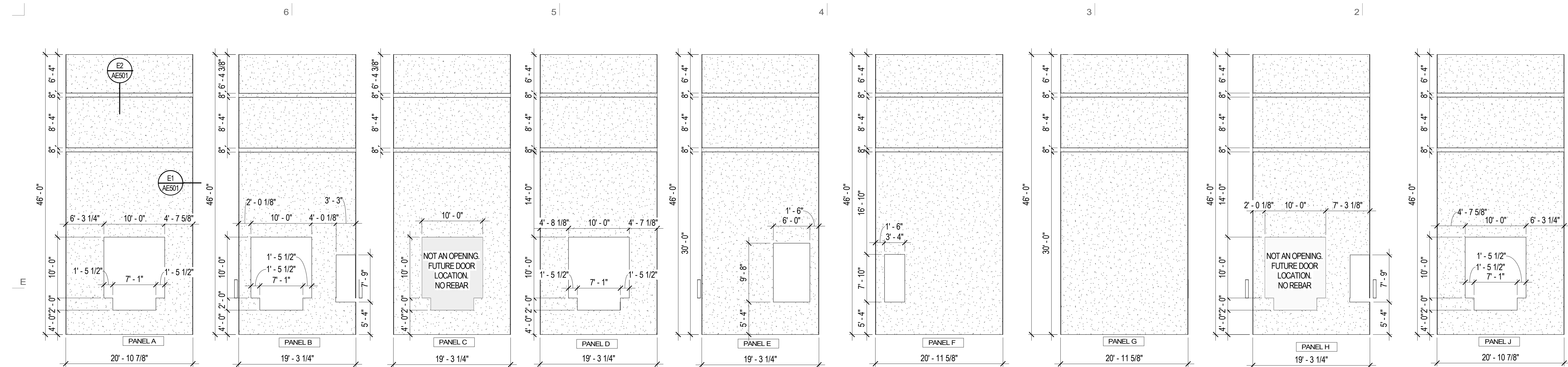
**KIMBERLY-CLARK
U-13 MACHINE BAY & FINISHED
PRODUCT WAREHOUSE 3**
2010 RULON WHITE BOULEVARD, OGDEN UT 84404



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E6 FPW3 - TILT UP PANELS
AE101F 1/8" = 1'-0"

NOTE: THESE ELEVATIONS ARE AS VIEWED FROM THE EXTERIOR

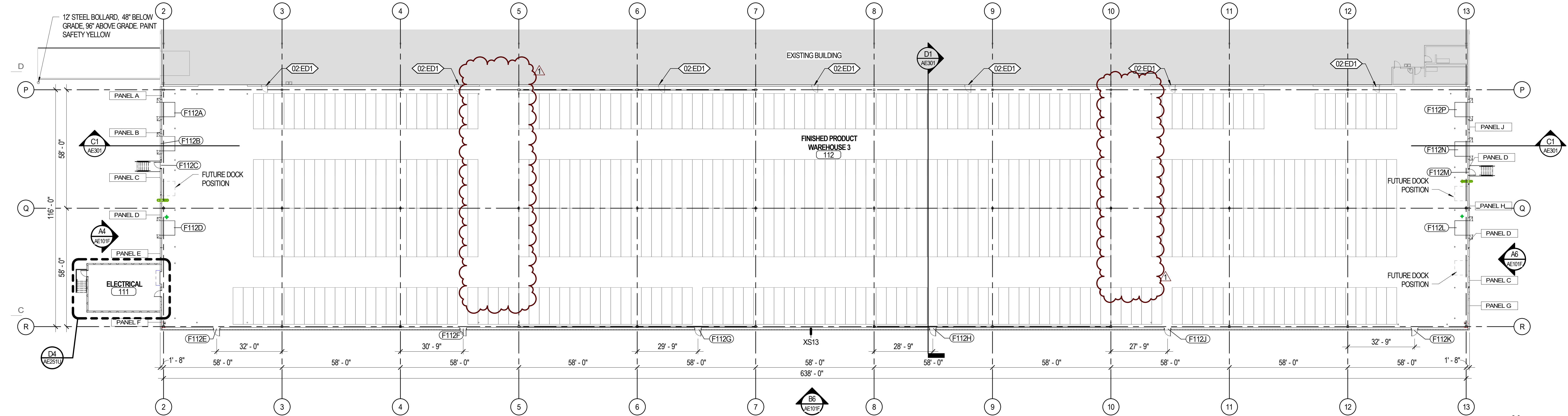
GENERAL NOTE - FLOOR PLAN

- A. ALL NEW WALL ASSEMBLIES ARE CONTINUOUS TO BOTTOM OF DECK UNLESS NOTED OTHERWISE.
- B. PLAN WALL DIMENSIONS ARE TO GRID LINE OR FACE OF WALL STRUCTURE, UNLESS NOTED OTHERWISE. "CLEAR" DIMENSIONS ARE TO FACE OF WALL FINISH.
- C. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT. DO NOT SCALE DRAWINGS.
- D. SEE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- F. SEE G SERIES SHEETS FOR WALL TYPES AND TYPICAL ACCESSIBILITY CLEARANCE AND COMPLIANCE REQUIREMENTS.
- G. PROVIDE BACKING BEHIND ALL SURFACE MOUNTED EQUIPMENT AND/OR FIXTURES.

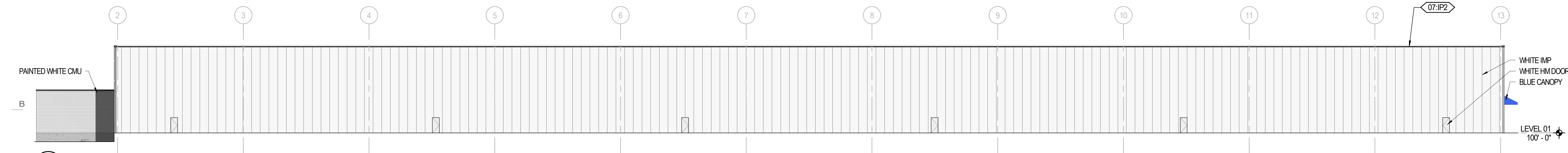
GENERAL NOTE - BUILDING ELEVATION

- A. COORDINATE GRADING SHOWN ON ELEVATIONS W/ CIVIL.
- B. PROVIDE GUTTERS AND DOWN SPOUTS W/ HEAT CABLE, SNOW FENCES, AND SNOW CLIPS - SEE ROOF PLAN.
- C. FOR TYPICAL WALL ASSEMBLY INCLUDING MATERIAL DESIGNATIONS AND DETAILING APPROACH, SEE A350 SERIES.

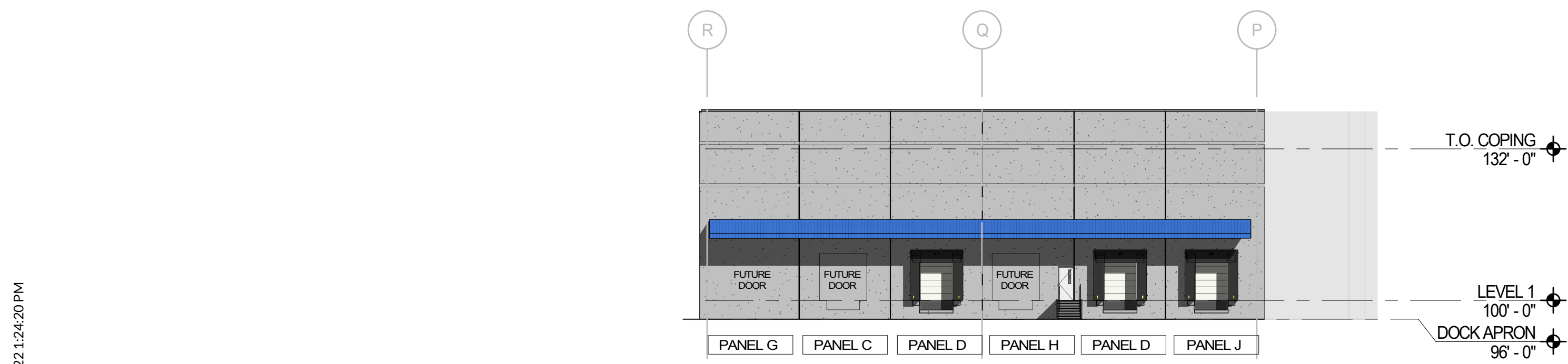
KEYNOTE LEGEND	
Key Value	Keynote Text
02:ED1	SCREW EXISTING DOOR SHUT. REMOVE EXISTING STAIR LEADING TO DOOR. REMOVE EGRESS SIGNAGE AND ADD A SIGN INDICATING THE DOOR IS NO LONGER FUNCTIONAL.
07:IP2	WHITE EMBOSSED INSULATED METAL PANEL



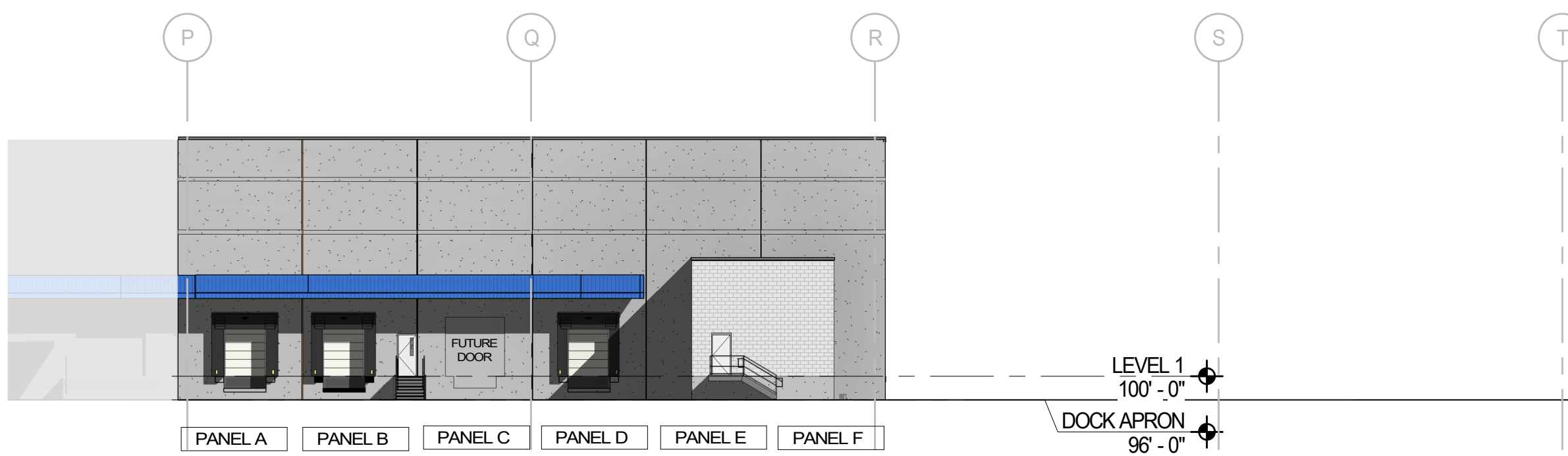
C6 FPW3 OVERALL FLOOR PLAN
AE101F 3/64" = 1'-0"



B6 FPW3 SOUTH ELEVATION
AE101F 3/64" = 1'-0"



A6 FPW3 EAST ELEVATION
AE101F 3/64" = 1'-0"



A4 FPW WEST ELEVATION
AE101F 3/64" = 1'-0"



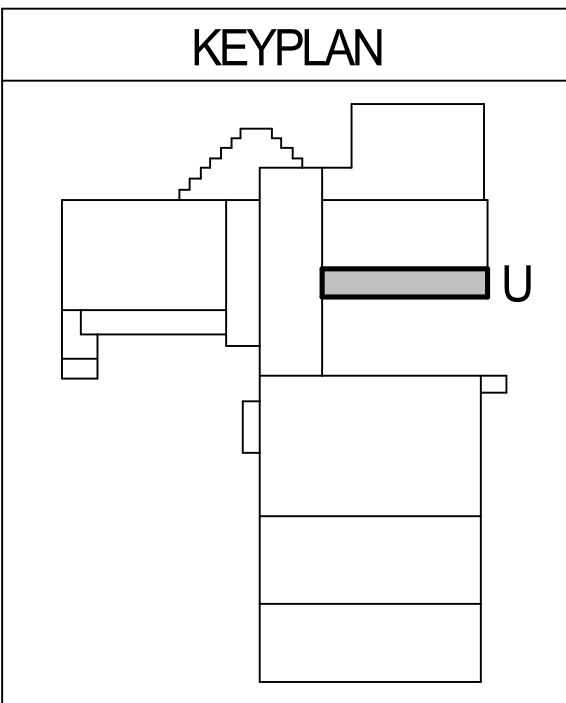
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1 04.04.22 ADD-001



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FLOOR PLAN & ELEVATIONS - FPW3

AE101F

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A

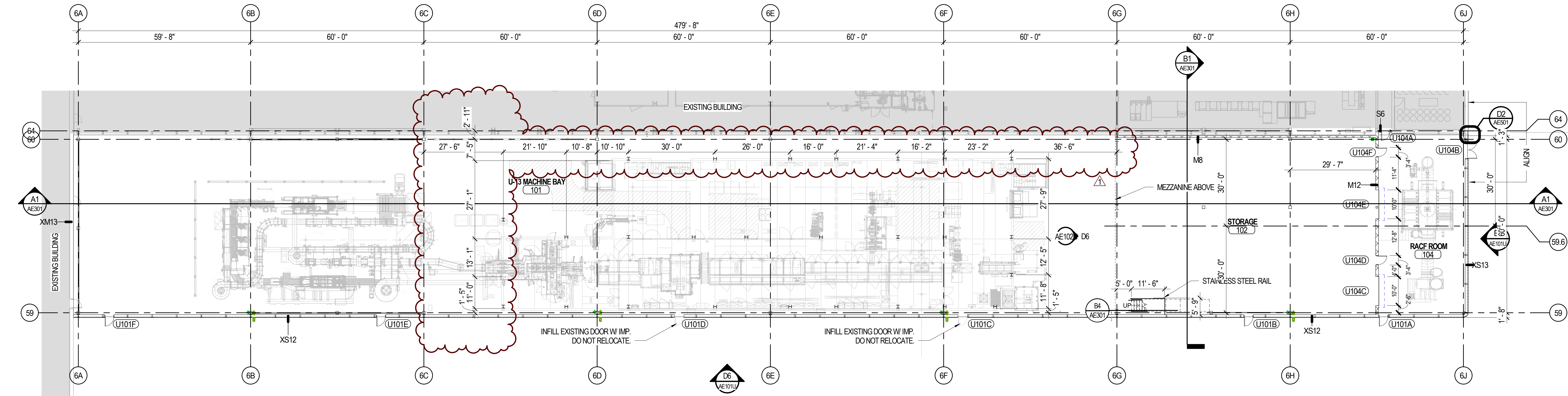
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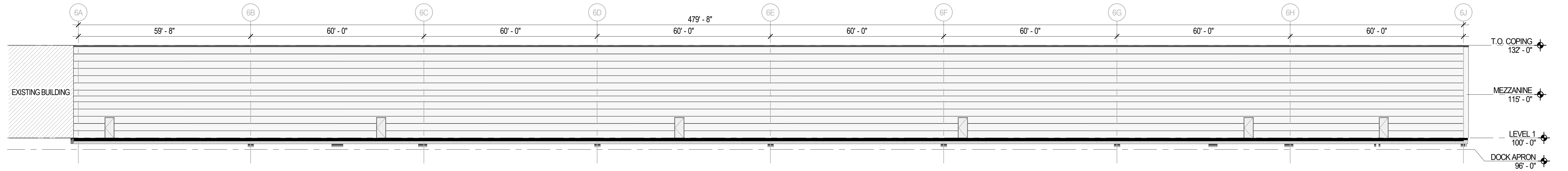
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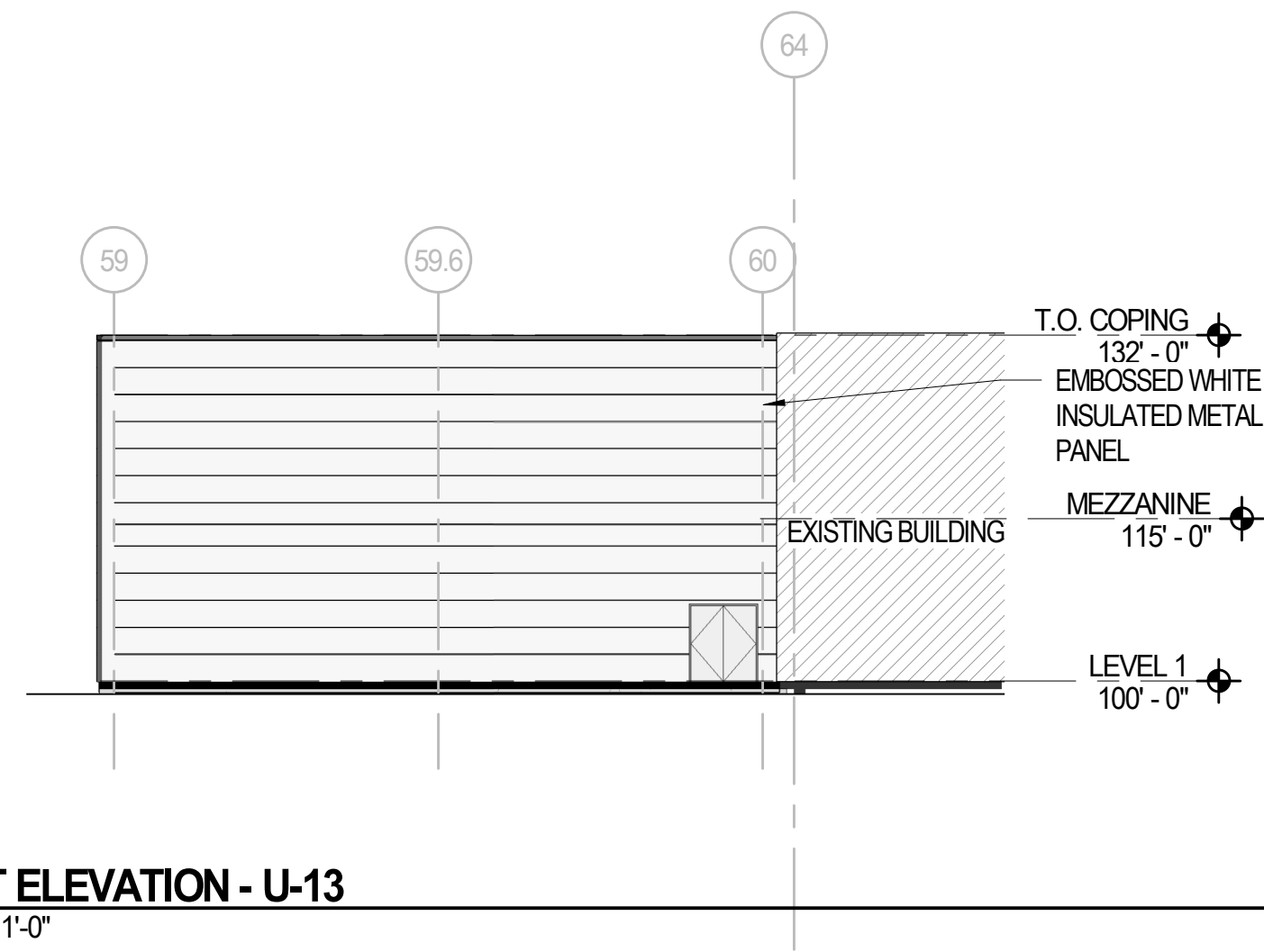
B6 U-13 OVERALL FLOOR PLAN
AE101U 1/16" = 1'-0"



D6 SOUTH ELEVATION - U-13
AE101U 1/16" = 1'-0"



E6 EAST ELEVATION - U-13
AE101U 1/16" = 1'-0"



KEYNOTE LEGEND	
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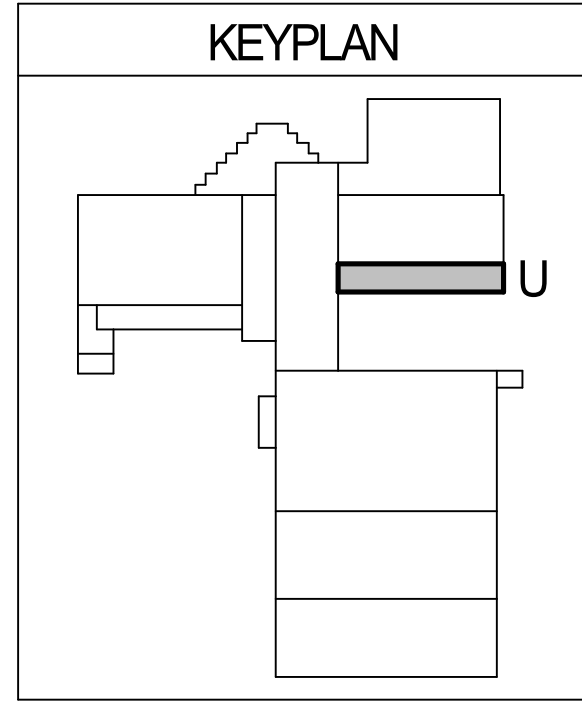
GENERAL NOTE - BUILDING ELEVATION

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- G. PROVIDE BACKING BEHIND ALL SURFACE MOUNTED EQUIPMENT AND/OR FIXTURES

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1	04.04.22	ADD-001



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FLOOR PLAN & ELEVATIONS - U-13

AE101U

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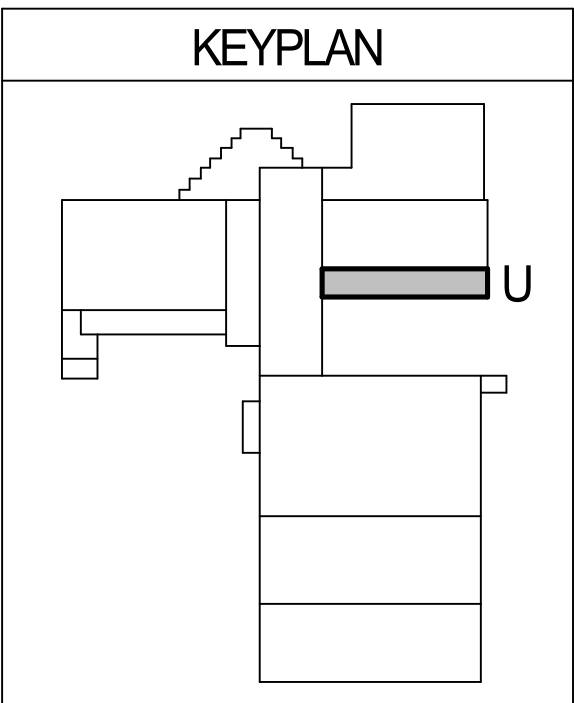
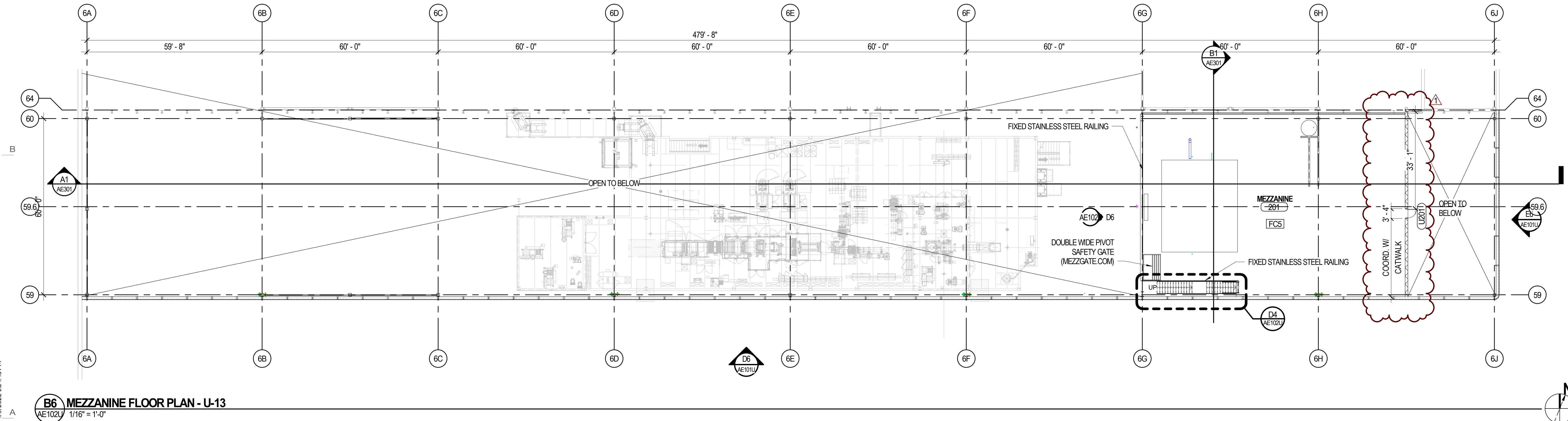
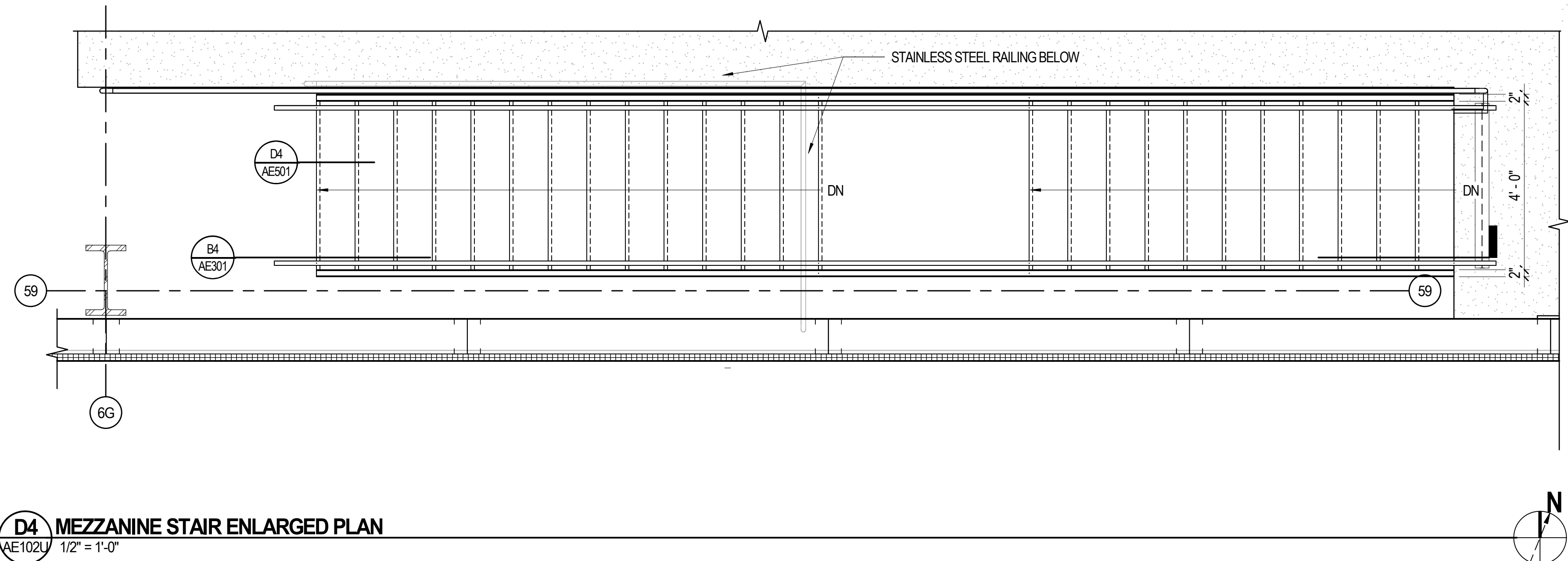
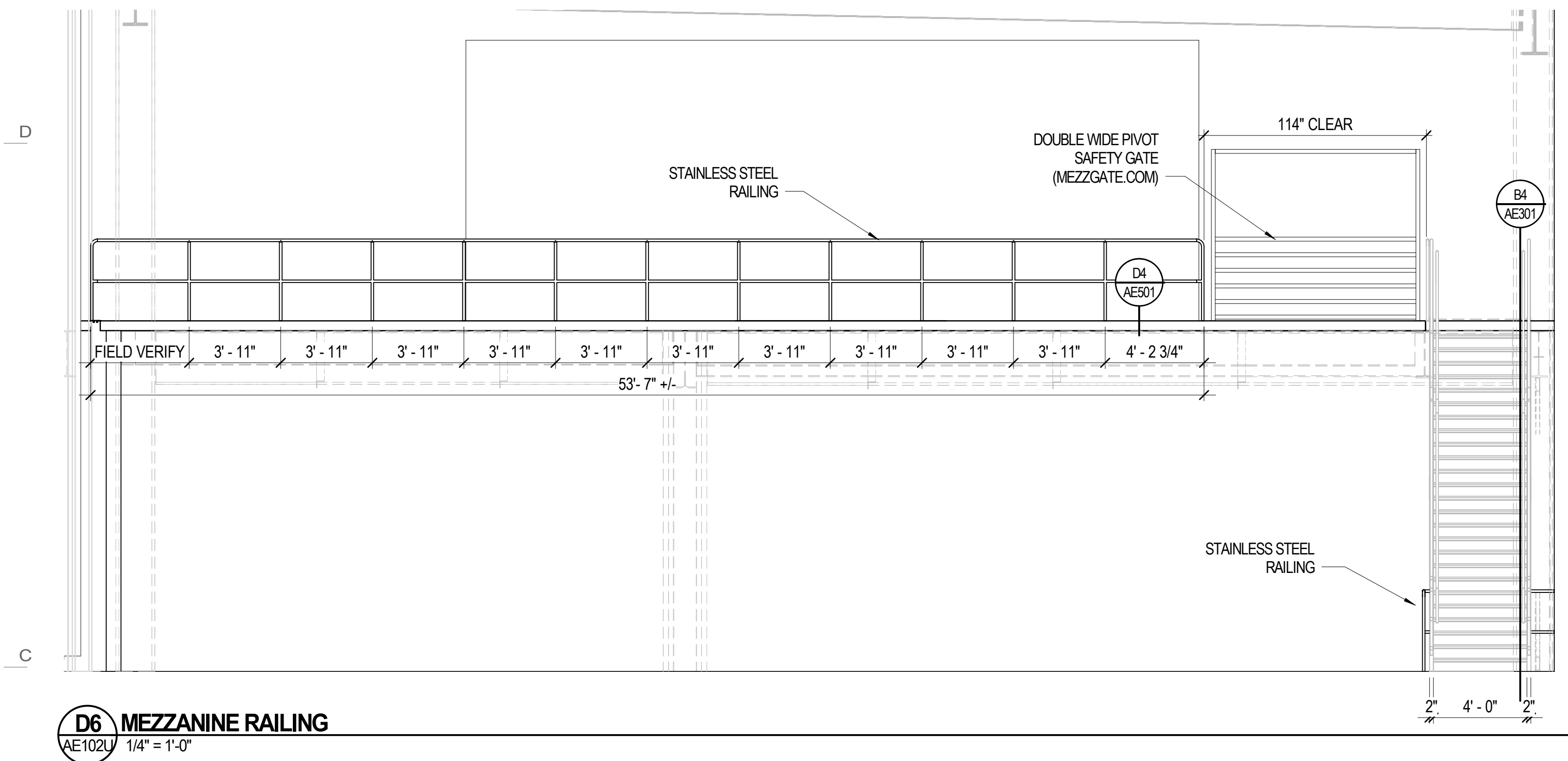
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MEZANINE FLOOR PLANS - MALCOM

AE102U

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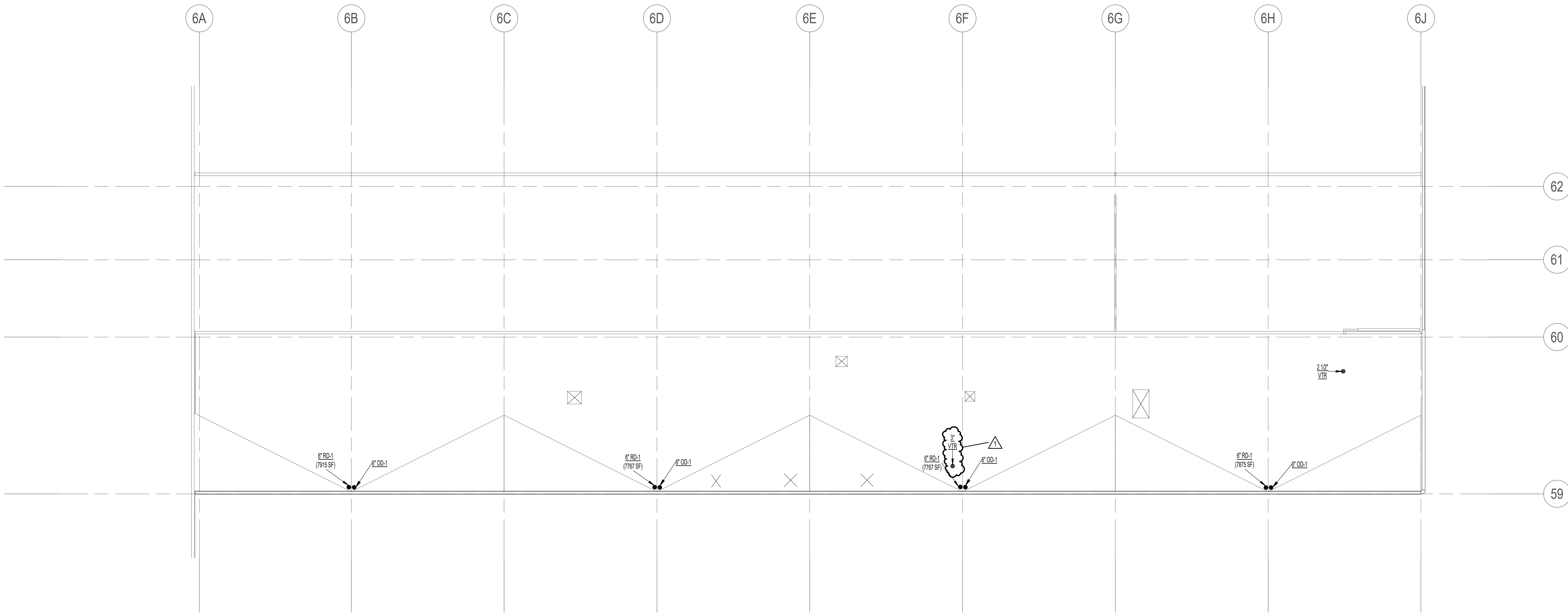
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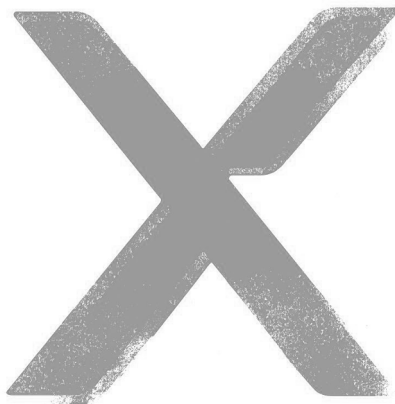
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1 ROOF MECHANICAL / PLUMBING MACHINE BAY PLAN
SCALE: 3/8" = 1'-0"

GENERAL NOTES

- A. FIELD VERIFY ALL MECHANICAL AND PLUMBING ITEMS PRIOR TO COMMENCING NEW WORK. NO ADDITIONAL PAYMENT WILL BE ALLOWED FOR CONTRACTOR'S FAILURE TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- B. COORDINATE DUCT ROUTING WITH PLUMBING AND MECHANICAL PIPING. PROVIDE OFFSETS AS REQUIRED.
- C. ALL MECHANICAL WORK SHALL BE COORDINATED WITH THE WORK PERFORMED UNDER OTHER DIVISIONS TO AVOID INTERFERENCE.
- D. NO DUCT OR PIPE TO ROUTE OVER ELECTRICAL EQUIPMENT.
- E. CONTRACTOR TO COORDINATE ALL ROOFTOP EQUIPMENT REQUIRING MAINTENANCE TO BE LOCATED 10'-0" MINIMUM FROM EDGE OF ROOF.
- F. DO NOT SHUT-OFF / PUT OUT OF SERVICE ANY SYSTEMS / SERVICES WITHOUT FIRST COORDINATING ALL DOWN TIME WITH THE OWNERS PERSONNEL.
- G. SEISMIC BRACING AND FLEXIBLE COUPLINGS SHALL BE PROVIDED AS REQUIRED FOR SEISMIC PROTECTION.

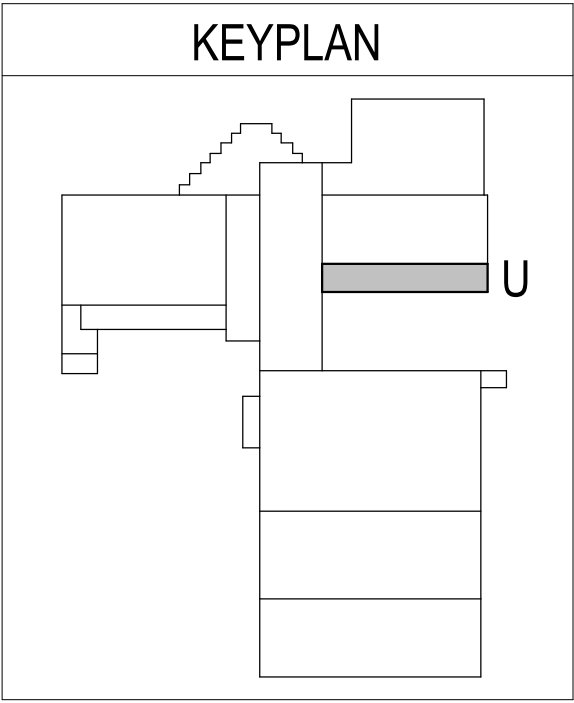


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1	04/04/2022	ADD-01



CONSTRUCTION SET

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DATE: 02.23.2022

AGENCY APPROVAL

ROOF
MECHANICAL /
PLUMBING
PLAN U13

MH103U

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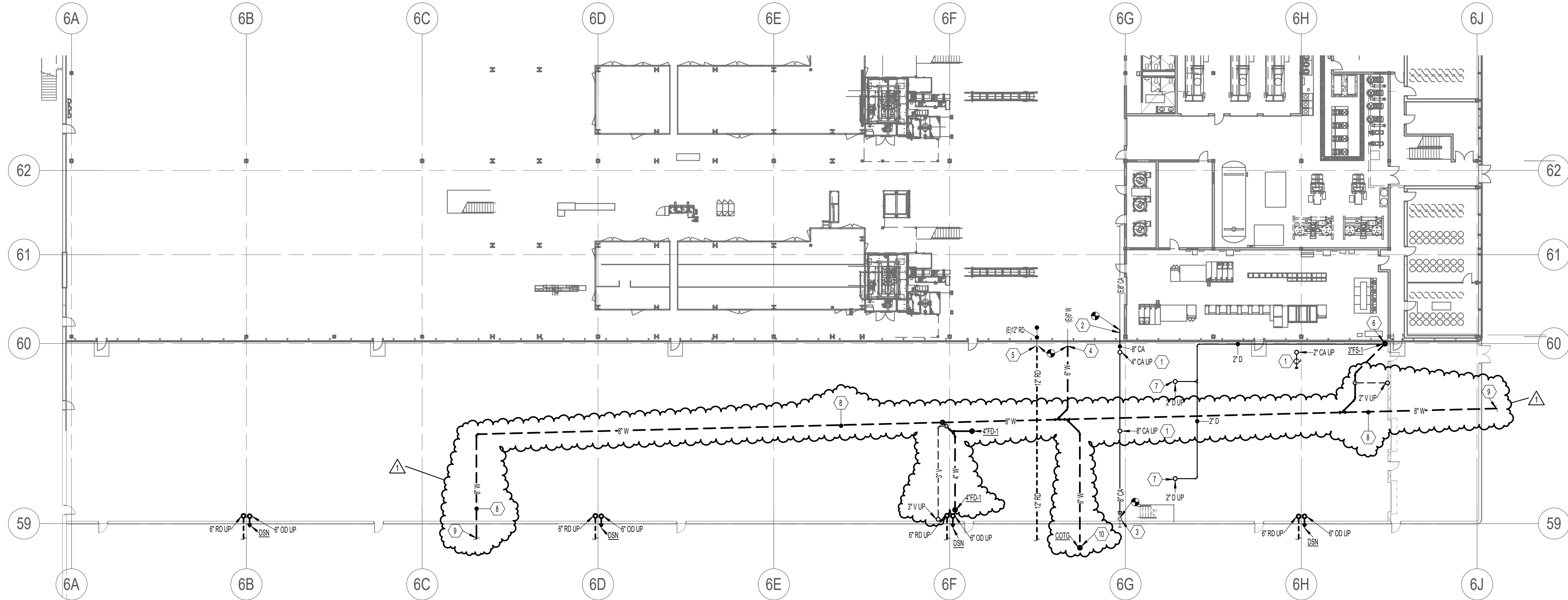
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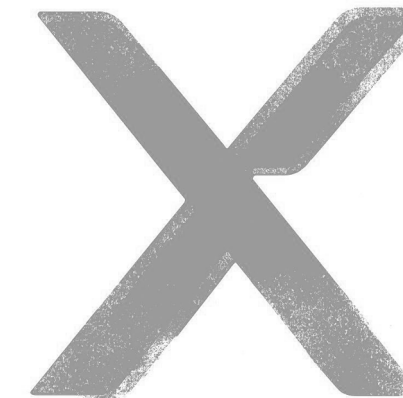
1 LEVEL 1 PLUMBING MACHINE BAY PLAN
SCALE: 3/8" = 1'-0"

KEYED NOTES

1. PROVIDE SHUTOFF AND CAP FOR FUTURE CONNECTION.
2. SALVAGE EXISTING COMPRESSED AIR AUXILIARY CONNECTION FOR REUSE IN NEW PHASE.
3. RELOCATED AUXILIARY COMPRESSED AIR CONNECTION.
4. CONNECT TO EXISTING WASTE LINE. MATCH INVERT ELEVATION OF EXISTING PIPING.
5. CONNECT TO EXISTING ROOF DRAIN LINE. MATCH INVERT ELEVATION OF EXISTING PIPING.
6. ROUTE 2" CONDENSATE FROM AHU AND DISCHARGE THROUGH AIR GAP TO 3" FLOOR SINK.
7. 2" CONDENSATE DRAIN UP THROUGH MEZZANINE FLOOR. COORDINATE EXACT LOCATION WITH AHU MACHINE TEAM EQUIPMENT PROVIDER.
8. LOCATE AND DEMO EXISTING SEWER PIPING AND PROVIDE NEW AS SHOWN. SEE CIVIL FOR EXTENT OF DEMO.
9. SEE CIVIL FOR CONNECTION TO WASTE.
10. EXTEND 8" W TO COTG FOR FUTURE EXPANSION. INSTALL COTG 8'-0" FROM BUILDING.

GENERAL NOTES

- A. ALL WASTE, ROOF AND OVER FLOW DRAINS SMALLER THAN 2" ARE TO BE RUN AT 1/4" FOOT PER SLOPE, 3" AND LARGER TO BE RUN AT 1/8" FOOT PER SLOPE.
- B. COORDINATE PLUMBING PIPING ROUTING AND LOCATION WITH ALL TRADES.
- C. COORDINATE THE EXACT LOCATION OF ALL PLUMBING FIXTURES WITH ARCHITECTURAL PLANS.
- D. FIELD VERIFY ALL MECHANICAL AND PLUMBING ITEMS PRIOR TO COMMENCING NEW WORK. NO ADDITIONAL PAYMENT WILL BE ALLOWED FOR CONTRACTORS FAILURE TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- E. ALL DEMOLISHED COPPER PIPING TO BE CUT IN 10'-0" LENGTHS AND RETURNED TO OWNER FOR STOCK.
- F. ALL ITEMS SHOWN LIGHT AND SOLID TO REMAIN. ALL ITEMS SHOWN DARK AND DASHED TO BE REMOVED.
- G. PLUMBING CONTRACTOR SHALL REMOVE FROM THE JOBSITE ANY MATERIALS NOT ECONOMICALLY RECOVERABLE. ANY MATERIALS REMOVED FROM JOBSITE AND SOLD FOR SALVAGE SHALL BE CREDITED TO THE OWNER'S ACCOUNT.
- H. VERIFY DISCONNECTION POINTS OF DEMO PIPING TO EXISTING TO REMAIN PIPING THAT CONTINUE TO SERVE OTHER AREAS OF THE BUILDING.
- I. DO NOT SHUT-OFF / PUT OUT OF SERVICE ANY SYSTEMS / SERVICES WITHOUT FIRST COORDINATING ALL DOWNTIME WITH THE OWNER'S PERSONNEL.



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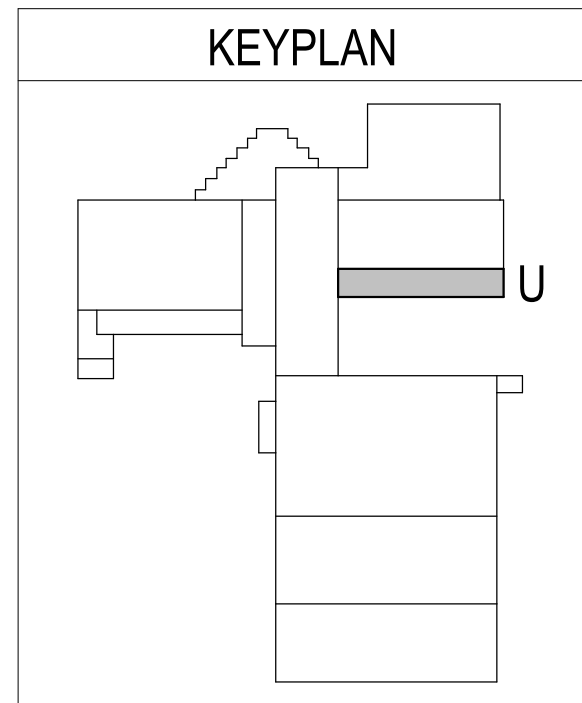
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KIMBERLY-CLARK U-13 MACHINE BAY & FINISHED PRODUCT WAREHOUSE 3

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Date Revision
1 04/04/2022 ADD-01



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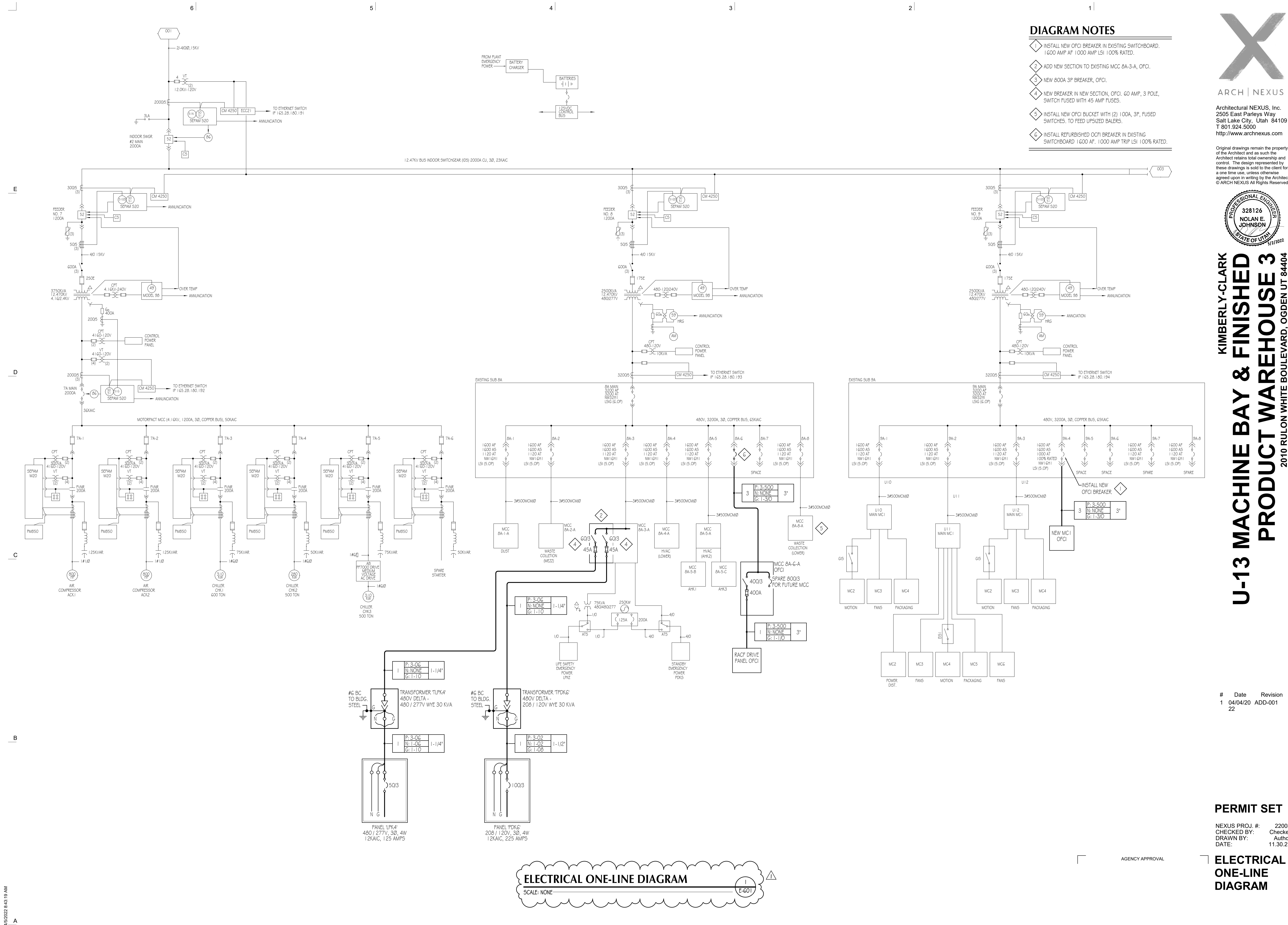
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LEVEL 1 PLUMBING PLAN U13

PL101U

PL102U

# Date Revision
1 04/04/20 ADD-001
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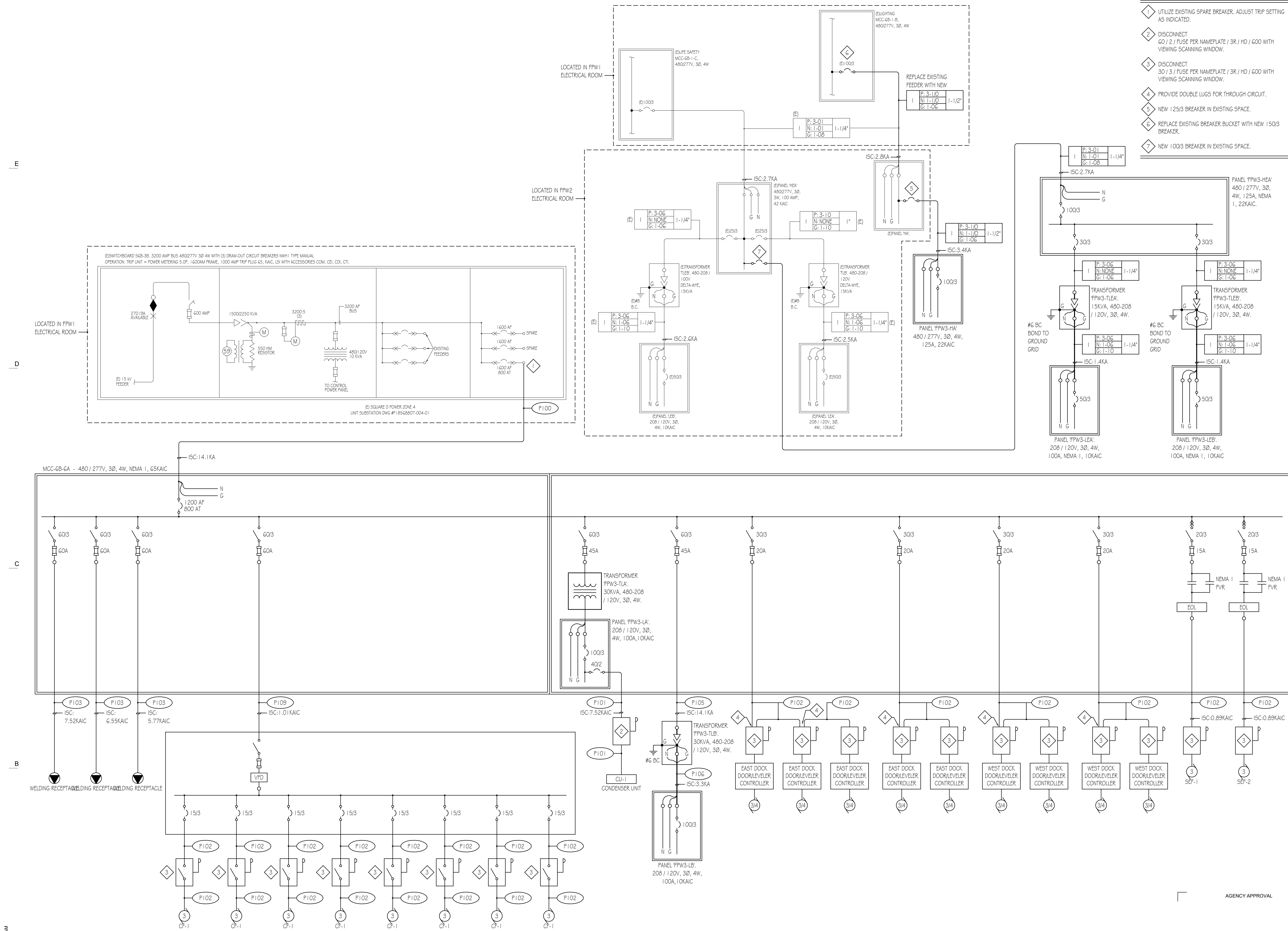
PERMIT SET

NEXUS PROJ. #: 22003
CHECKED BY: Checker
DRAWN BY: Author
DATE: 11.30.21ELECTRICAL
ONE-LINE
DIAGRAM

E-601

DRAWING NOTES

- 1 UTILIZE EXISTING SPARE BREAKER. ADJUST TRIP SETTING AS INDICATED.
- 2 DISCONNECT 60 / 2 / FUSE PER NAMEPLATE / 3R / HD / 600 WITH VIEWING SCANNING WINDOW.
- 3 DISCONNECT 30 / 3 / FUSE PER NAMEPLATE / 3R / HD / 600 WITH VIEWING SCANNING WINDOW.
- 4 PROVIDE DOUBLE LUGS FOR THROUGH CIRCUIT.
- 5 NEW 125/3 BREAKER IN EXISTING SPACE.
- 6 REPLACE EXISTING BREAKER BUCKET WITH NEW 150/3 BREAKER.
- 7 NEW 100/3 BREAKER IN EXISTING SPACE.



ELECTRICAL ONE-LINE DIAGRAM

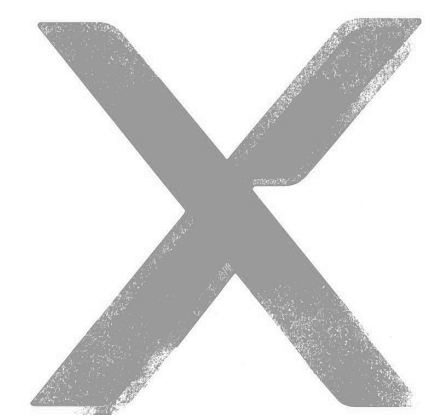
SCALE: NONE

DRAWING NOTES

- 1 TRANSFORMER 'TLD'. SEE ONE-LINE DIAGRAM.
- 2 PANEL 'LD'. SEE ONE-LINE DIAGRAM.
- 3 WELDING RECEPACLE WITH INTEGRAL DISCONNECT.
- 4 PANEL 'LED'
- 5 TRANSFORMER 'TLED'
- 6 PROVIDE AN ORANGE RECEPACLE.
- 7 SECURITY ACCESS CONTROL PANEL SUPPLY.
- 8 DISCONNECT FOR DOOR OPENER AND DOCK LEVELER. SEE DETAIL.
- 9 FUTURE DISCONNECT FOR DOOR OPENER AND DOCK LEVELER. SEE DETAIL.
- 10 FUTURE DOOR. STUB AND CAP CONDUIT.
- 11 30 AMP 120V TWIST LOCK RECEPACLE WITHIN CABINET.
- 12 20 AMP 120V TWIST LOCK RECEPACLE WITHIN CABINET FOR COOLING.
- 13 RED COORED OUTLET FOR GENERATOR POWER.

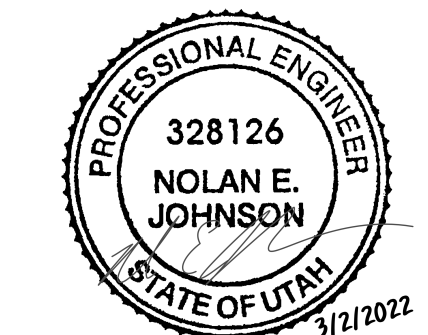
GENERAL NOTES

- A. ALL SURFACE MOUNTED CONDUIT BELOW 12'-0" AFF SHALL BE RIGID GALVANIZED STEEL. SURFACE MOUNTED CONDUITS ABOVE 12'-0" AFF MAY BE EMT.
- B. CIRCUITS GREATER THAN OR EQUAL TO 300 VOLTS: RIGID METAL CONDUIT IS REQUIRED. DIAMETERS GREATER THAN OR EQUAL TO 1-1/2" MAY BE ALUMINUM.
- C. CIRCUITS LESS THAN 300 VOLTS: RIGID METAL CONDUIT IS REQUIRED WHERE BELOW +12'-0" AFF. ELECTRIC METALLIC TUBING IS ALLOWED WHERE OVER +12'-0" AFF.
- D. ALL WALL AND TRUSS CLAMPS SHALL BE RIGID STYLE (BEAM CLAMPS AND U-BOLT STYLE). SPRING CLAMPS ARE NOT ALLOWED.



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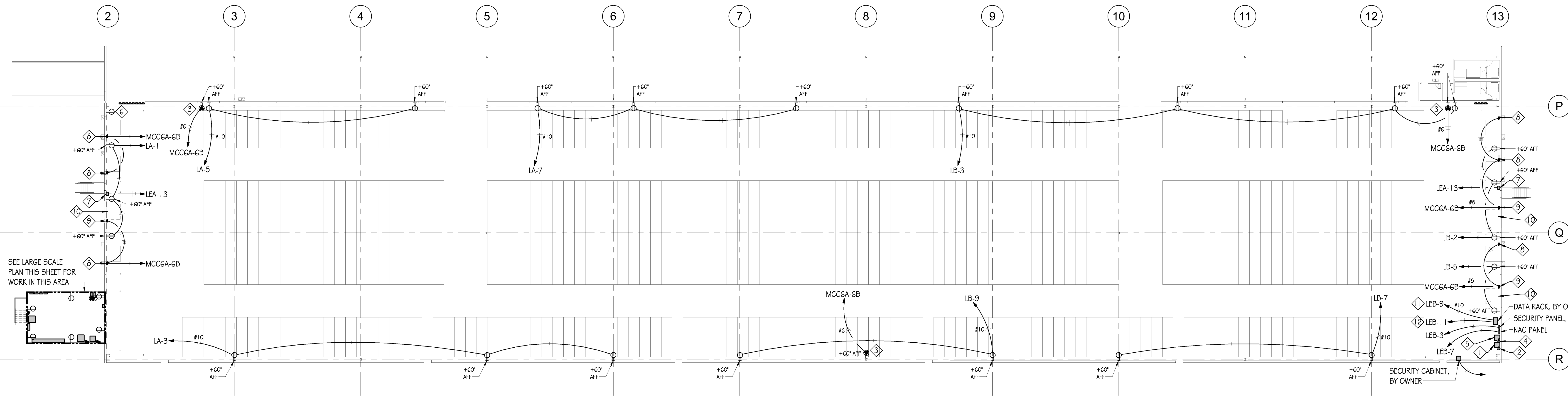
#	Date	Revision
1	04/04/20	ADD-001
22		

PERMIT SET

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DRAWN BY:	KJB
DATE:	11.30.21

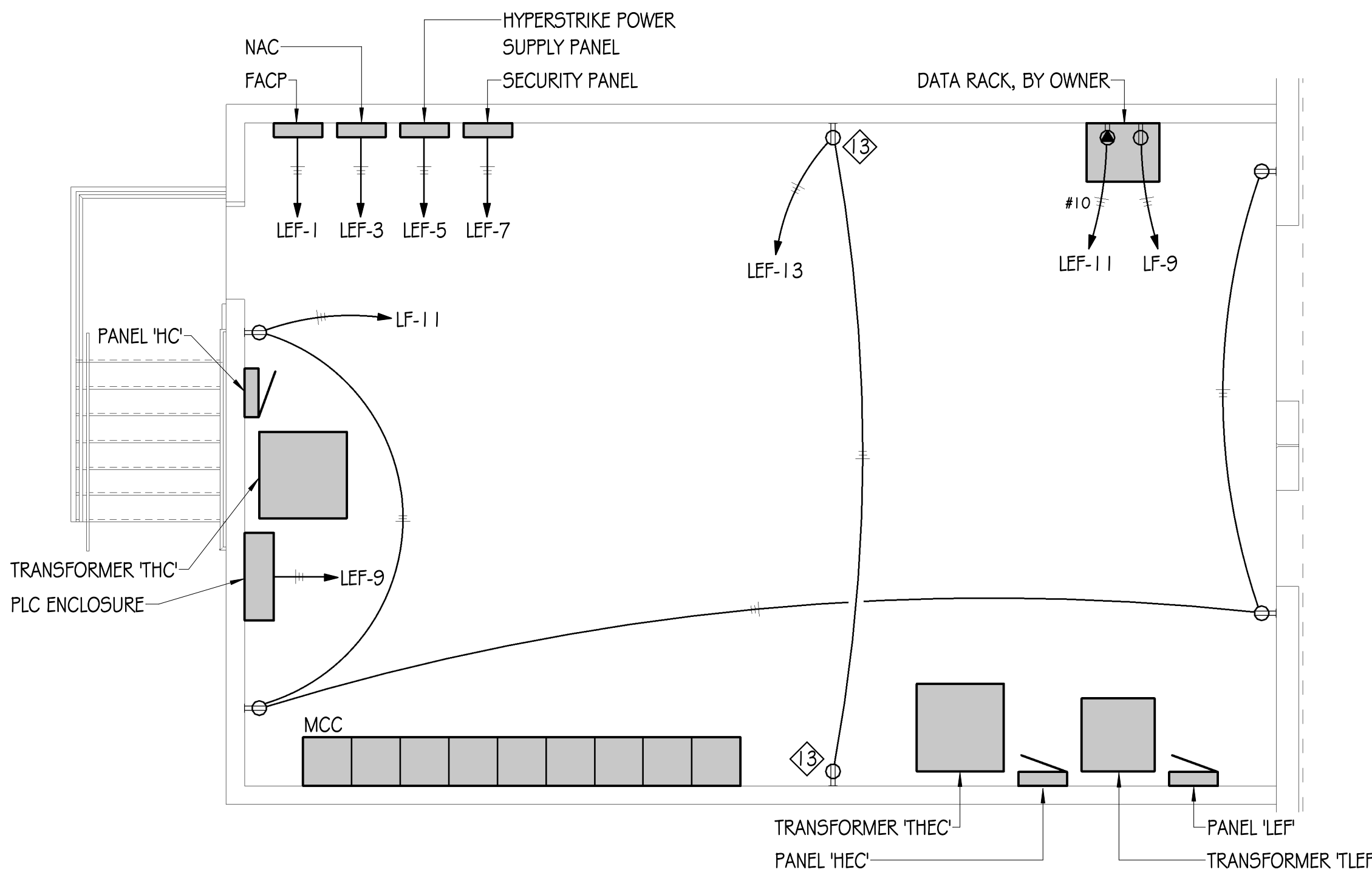
LEVEL 1
POWER PLAN -
FPW3

EP101F



LEVEL 1 POWER PLAN - FPW3

SCALE: 1" = 20'-0"



LARGE SCALE LEVEL 1 POWER PLAN - FPW3

SCALE: 1/4" = 1'-0"

AGENCY APPROVAL

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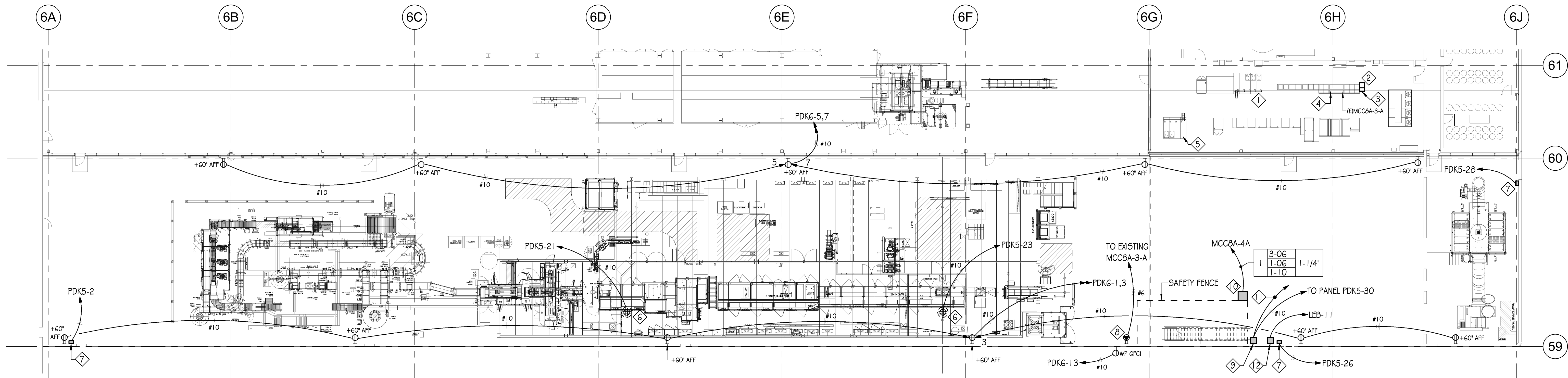
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DRAWING NOTES

- EXISTING SUB 8A. CONNECT TO EXISTING BREAKER TO FEED NEW MCC 8A-6-A.
- PROVIDE AND INSTALL CONCRETE PAD EXTENSION FOR BOTH MCCS.
- INSTALL NEW MCC SECTION IN MCC 8A-3-A. SECTION PROVIDED BY KIMBERLY CLARK.
- IN MCC8A-3-A, INSTALL NEW OFCI 60 AMP 3 POLE TURN BREAKER BUCKET IN SECTION 3A FOR NEW WELDER RECEPTACLES.
- EXISTING SUB 9A. CONNECT NEW MC1 TO SPARE BREAKER 4.
- RECEPTACLE MOUNTED TO UNDERSIDE OF MEZZANINE FOR EMERGENCY USE.
- DOOR ACCESS POWER SUPPLY. SEE DETAIL 7 / E-502.
- WELDING RECEPTACLE WITH INTEGRAL DISCONNECT. +60" AFF.
- NEW WALL MOUNTED DATA CABINET OFCI. PROVIDE AN ORANGE SPECIAL PURPOSE RECEPTACLE.
- RELOCATE EXISTING FORK LIFT CHARGER TO HERE.
- 1" PVC WITH #6 B.C. GROUND TO GROUND GRID.
- NEW SECURITY CABINET, BY OWNER.

GENERAL NOTES

- ALL SURFACE MOUNTED CONDUIT BELOW 12'-0" AFF SHALL BE RIGID GALVANIZED STEEL. SURFACE MOUNTED CONDUITS ABOVE 12'-0" AFF MAY BE EMT.
- CIRCUITS GREATER THAN OR EQUAL TO 300 VOLTS: RIGID METAL CONDUIT IS REQUIRED. DIAMETERS GREATER THAN OR EQUAL TO 1-1/2" MAY BE ALUMINUM.
- CIRCUITS LESS THAN 300 VOLTS: RIGID METAL CONDUIT IS REQUIRED WHERE BELOW +12'-0" AFF. ELECTRIC METALLIC TUBING IS ALLOWED WHERE OVER +12'-0" AFF.
- ALL WALL AND TRUSS CLAMPS SHALL BE RIGID STYLE (BEAM CLAMPS AND U-BOLT STYLE). SPRING CLAMPS ARE NOT ALLOWED.

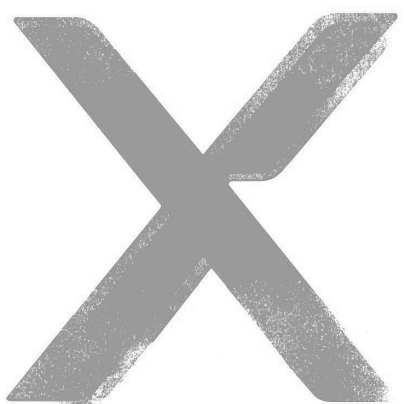


LEVEL 1 POWER PLAN - U-13

SCALE: 1/16" = 1'-0"



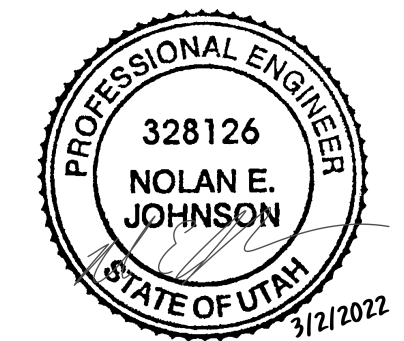
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KIMBERLY-CLARK
U-13 MACHINE BAY & FINISHED
PRODUCT WAREHOUSE 3
2010 RULON WHITE BOULEVARD, OGDEN UT 84404

#	Date	Revision
1	04/04/20	ADD-001
		22

PERMIT SET

NEXUS PROJ. #: 22003
CHECKED BY: NEJ
DRAWN BY: KJB
DATE: 11.30.21

LEVEL 1
POWER PLAN -
U-13

EP101U

AGENCY APPROVAL

E

C

B

A

4/5/2022 8:44:25 AM

6

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4

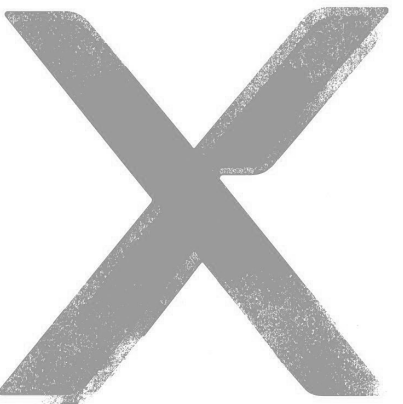
3

2

1

DRAWING NOTES

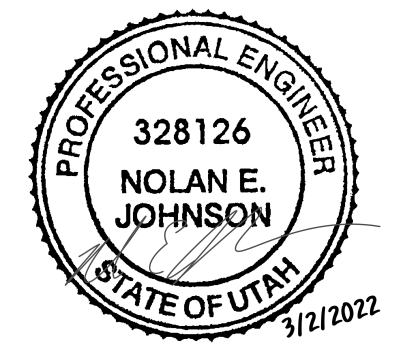
- 1 RECEPTACLE FOR RADIANT HEAT BURNER CONTROL. CORD AND PLUG CONNECT TO PANEL WITH 20 AMP TWIST LOCK CORD AND PLUG. MOUNT NEXT TO RADIANT HEATER.
- 2 DISCONNECTS FOR CF'S. SEE ONE-LINE DIAGRAM.



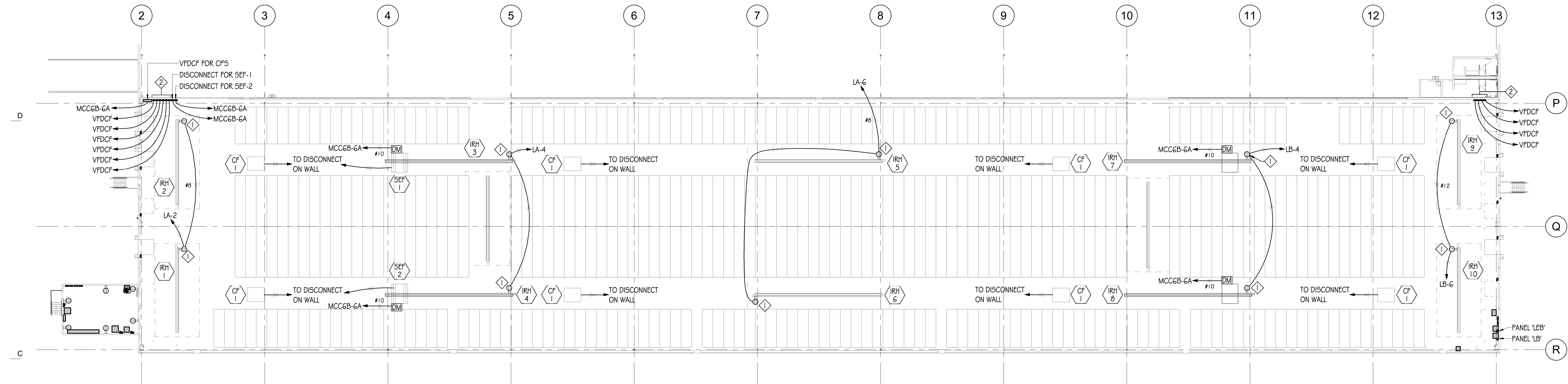
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2010 RULON WHITE BOULEVARD, OGDEN UT 84404



LEVEL 1 MECHANICAL EQUIPMENT POWER PLAN - FPW3

SCALE: 1" = 20'-0"



1
EP102F

#	Date	Revision
1	04/04/20	ADD-001
		22

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AGENCY APPROVAL

LEVEL 1
MECHANICAL
EQUIPMENT
POWER PLAN -
FPW3

EP102F

4/5/2022 8:45:14 AM

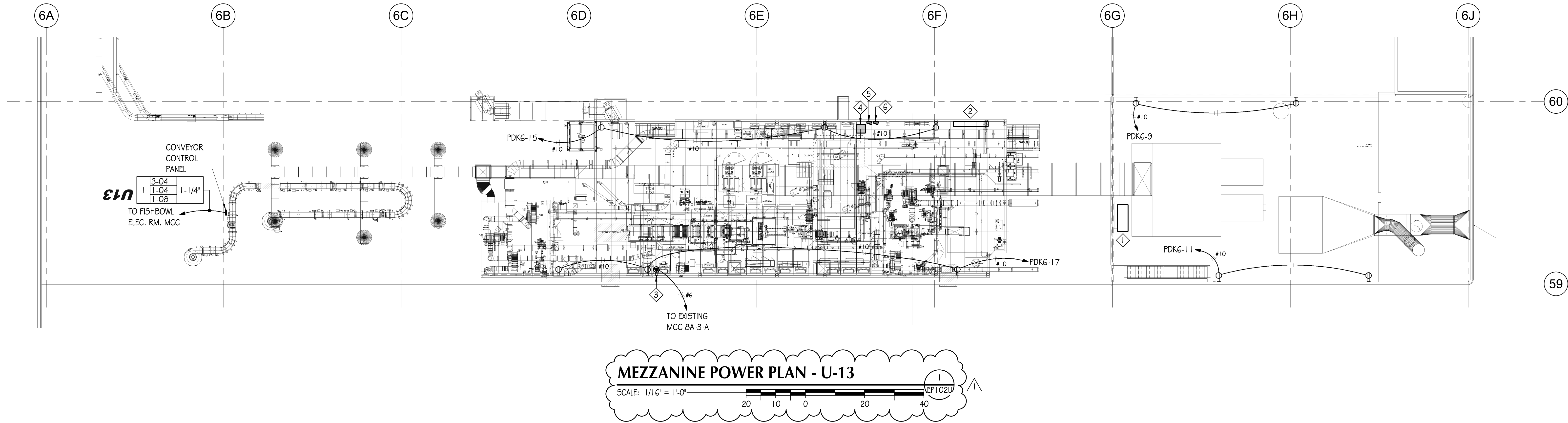
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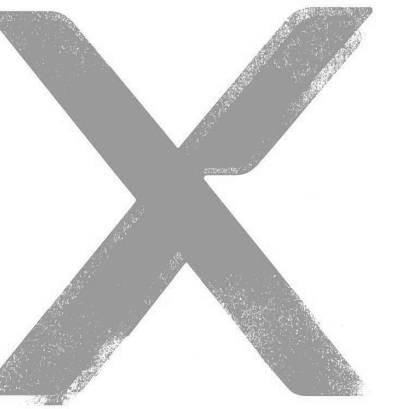


DRAWING NOTES

- 1 INSTALL NEW MCC 8A-G-A OFCI. SEE ONE-LINE DIAGRAM. CONNECT TO EXISTING MCC 8A-2-A SECTION 4A.
- 2 NEW MC1 OFCI. CONNECT TO EXISTING SUB 9A A5 PER ONE-LINE DIAGRAM.
- 3 NEW WELDING RECEPTACLE WITH INTEGRAL DISCONNECT. +60\"/>

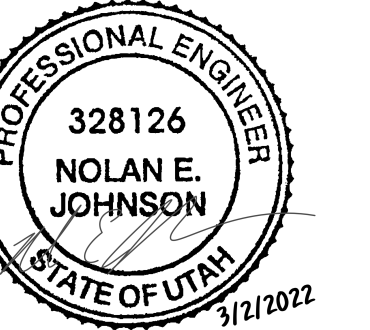
GENERAL NOTES

- A. ALL SURFACE MOUNTED CONDUIT BELOW 12'-0\"/>
- B. CIRCUITS GREATER THAN OR EQUAL TO 300 VOLTS: RIGID METAL CONDUIT IS REQUIRED. DIAMETERS GREATER THAN OR EQUAL TO 1-1/2\"/>
- C. CIRCUITS LESS THAN 300 VOLTS: RIGID METAL CONDUIT IS REQUIRED WHERE BELOW +12'-0\"/>
- D. ALL WALL AND TRUSS CLAMPS SHALL BE RIGID STYLE (BEAM CLAMPS AND U-BOLT STYLE). SPRING CLAMPS ARE NOT ALLOWED.



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**MEZZANINE
POWER PLAN -
U-13**

EP102U

AGENCY APPROVAL

4/5/2022 12:24:54 PM

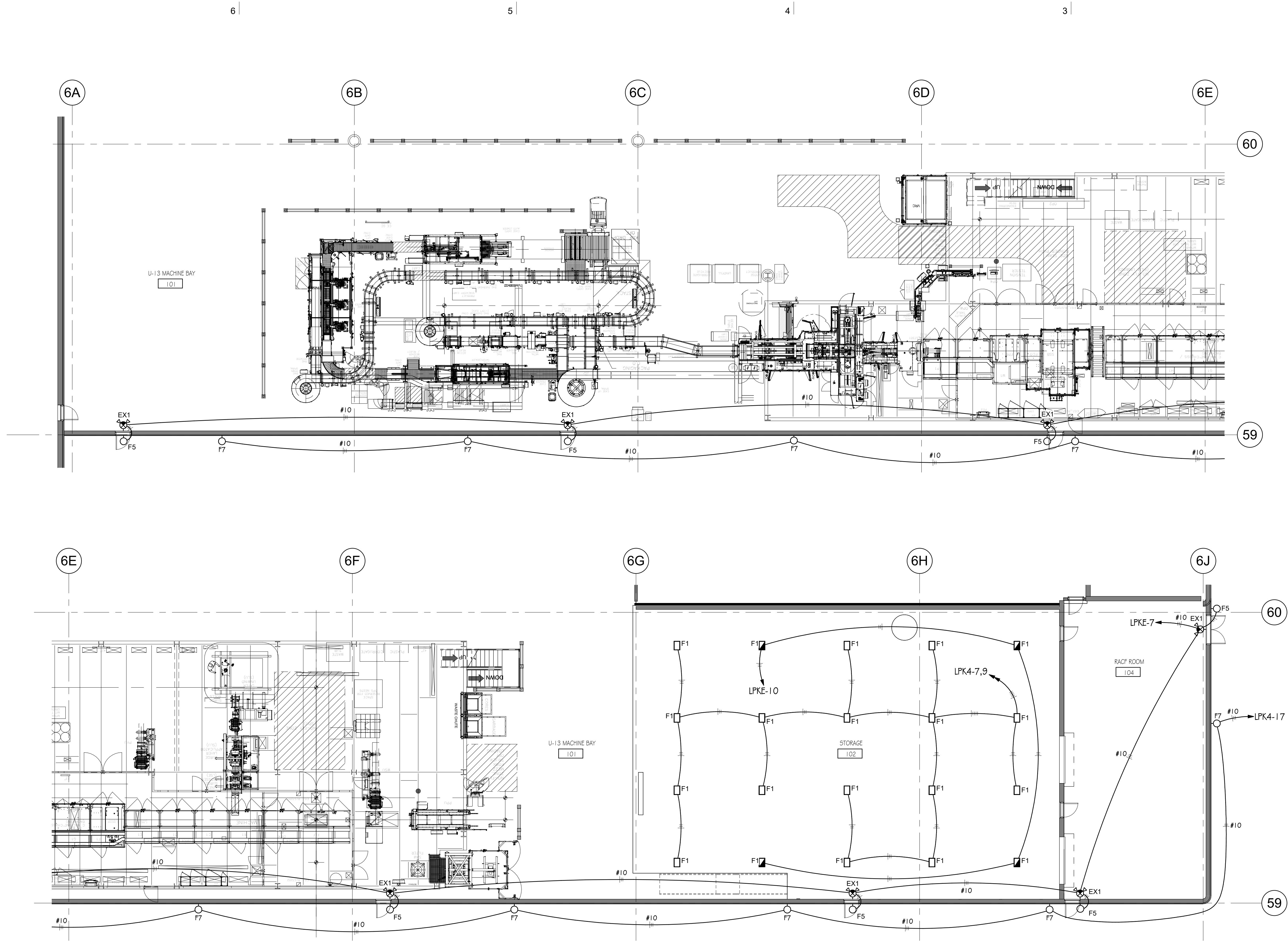
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U-13 - LEVEL 1 LIGHTING PLAN

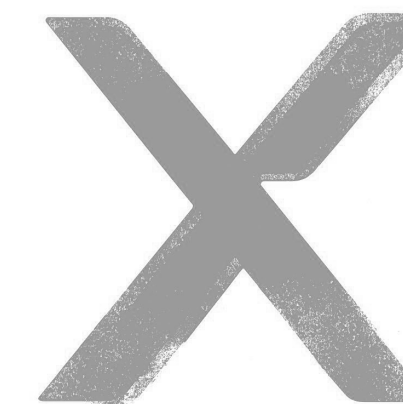
SCALE: 3/32" = 1'-0"

10 5 0 10 20

2

EL101U

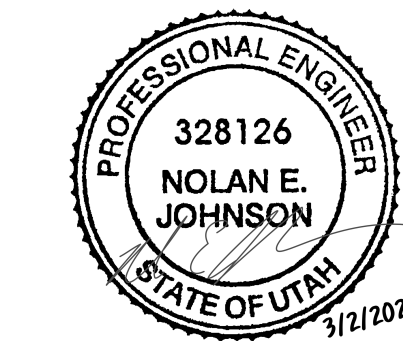
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LEVEL 1
LIGHTING PLAN
- U-13

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