

Lakeview Water Corporation

P.O. Box 314
Huntsville, UT 84317

November 4, 2021

CW The Basin, LLC
1222 W. Legacy Crossing Blvd.
Centerville, UT 84014
todd@cw.land and tony@cw.land

Applicant: CW The Basin, LLC

Project: The Basin

Project Location: Parcel # 20-036-0035, 3.22 acres, Hwy 39 & Old Basin Road

Total Number of Units and Connections: 12 residential & 1 office/ HOA

Total Fixture Unit Count WSFU, IPC, Per unit/connection: 55

Authorized Contact: Todd Meyers and Tony Hill 801-520-4072; todd@cw.land and tony@cw.land

To Weber County:

Re: Water Service Provider Capacity Assessment

This Water Capacity Assessment, issued under Weber County Code § 106-4-2.1(c)(1), will advise Weber County that Lakeview Water Company, (“**Company**”), a regulated public utility, which operates the Lakeview Water System (“**System**”), has through its engineer Mark Babbitt, P.E., reviewed and approved the set of drawings from C.W. URBAN titled “The Redtail” consisting of Sheets A200, A201, A202, A101, A102, A103, with an issue date of 12.11.2020; the two (2) page unrecorded subdivision plat from Reeve & Associates, Inc. for “The Basin” with a beginning date of 6-29-2021 on the second sheet; and the set of improvement Plans for “The Basin” prepared by Reeve & Associates, Inc. containing 10 sheets, stamped and sign by Jeremy Draper (Sheets 1 through 9) on 9-9-21 and Nathan C Peterson (sheet 10) stamped and signed on 9-9-21 (the “**Plans**”), attached as **Exhibit A**, for the Project. In reliance on the approved Plans and Applicant’s full compliance with the Company Tariff, Federal, State, and County, laws, rules, and ordinances, and the specific “**Project Conditions Precedent**,” set forth below, the Company is willing and able to provide culinary water service, including outdoor watering, (“**Service**”) to this Project, which is located within the Company’s service area.

The specific Project Conditions Precedent to Service are as follows:

1. Applicant is the owner of the real property where the Project is located.

2. All connections to individual units are $\frac{3}{4}$ inch. Applicant's engineer of record to certify in writing, with the engineer's seal, that a $\frac{3}{4}$ inch connection is sufficient to provide adequate water service and pressure beyond the point of connection for each unit in accordance with all applicable standards, including any fire sprinkling system.
3. The Plans comply with all requirements and rules of the Utah Division of Drinking Water, ("**Division Rules**"). No changes or modifications may made to the approved Plans for the Project, without the express written consent of the Company Engineer, Mark Babbitt, P.E, which shall not be unreasonably withheld. If the change or modification would increase the maximum fixture count withholding of the Engineer's consent is reasonable.
4. All infrastructure and improvements ("**Improvements**") shown on the approved Plans are constructed and installed by Applicant in compliance with the Plans, Division Rules, and Company specifications in effect as of the date of this letter.
5. All Improvements constructed and installed by Applicant are inspected and approved by the Company and are, as applicable, properly dedicated to the Company and are guaranteed for a minimum of one year after completion.
6. "As built" plans for all Improvements, satisfactory to the Company Engineer's reasonable judgment, are provided to the Company following construction and installation of Improvements.
7. The following fees, charges, and payments have been paid in full by Applicant or its predecessor in interest, Pineview Waterside LLC, to the Company pursuant to that certain *Water and Sewer Connections Agreement*, dated September 6, 2019:
 - A. \$45,000 Connection Fee
 - B. \$100,000 Water Impact Fee
8. Due to the serious drought, and its impact on Company water sources, this Approval is subject to Company having sufficient water source to serve the Project. If the water sources of the Company are insufficient to serve existing customers and a general Moratorium on new connections to the System, is adopted and imposed by the Company, the Applicant will not be permitted to connect to the System until any such Moratorium is dissolved by the Company. Applicant shall have priority of connection over any other new connections reserved or paid for by other applicants after September 6, 2019 (Applicant acknowledges this risk by acceptance of this letter.)

9. Any permanent easements, rights-of-way, or ownership of property, required for the Company to provide the Service is obtained and granted to the Company, by the Applicant, at no cost to the Company, without liens or encumbrances.
10. The Applicant provides financial guarantees to Weber County, for completion of all public Improvements, as part of Weber County's approval process.
11. Plans are reviewed and approved by the Fire Marshal for the Weber Fire District.
12. Applicant qualifies for and receives approval from Mountain Sewer Company, a separate legal entity which shares offices and staff with the Company, for sewer service to the Project.
13. Project obtains all necessary land use approvals from Weber County.
14. Applicant records "**Restrictions**," approved and enforceable by Weber County on Lots 13 and 14 in the Plans. Such Restrictions shall be recorded with the Weber County Recorder and shall run with the land, and jointly restrict Lots 13 and 14 combined to a single culinary water connection for both lots. The maximum capacity of the single water connection shall not exceed that of the office use square footage shown on the Plans, or such other use permitted by the zoning ordinances as such may be amended, but in no event in excess of office commercial use.
15. Applicant's Project complies with the terms of this letter.
16. The 12 single-family residential units may each have no more than 60 Water Supply Fixture Units. See IPC, Appendix E.

This letter applies only to the Project as shown in the Plans provided to and approved by the Company, such approval not to be unreasonably withheld. Any changes to the Project will require submission and approval of revised plans. This letter is for Weber County only.

Yours Truly,



Ray Bowden, President
Lakeview Water Company

cc: Mark Babbitt, P.E. Company Engineer
Clark Duellman, Company Counsel
J. Craig Smith, Company Counsel

Tyler LaMarr, Applicant Counsel
Nate Reeve, Applicant Engineer
Weber County Planning Department

4871-4071-9873, v. 1

Exhibit A



C.W.
URBAN

PROJECT
The Redtail
Old Snow Basin Road

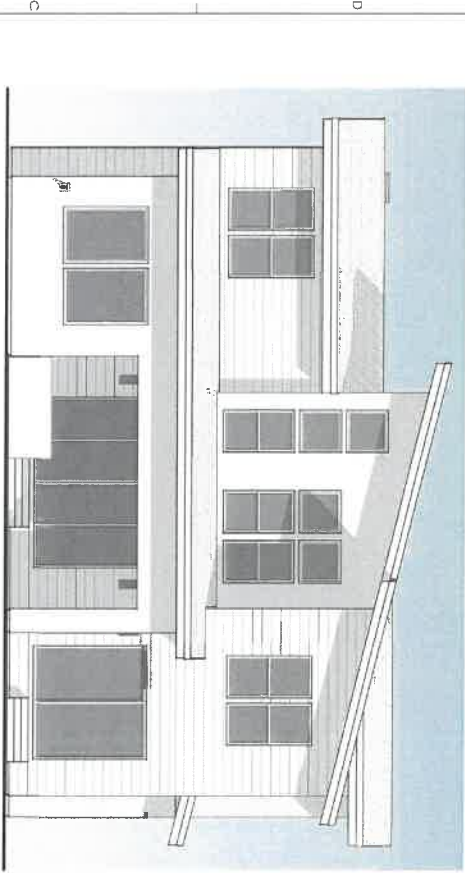
TITLE:
Renderings

SHEET:
A2000

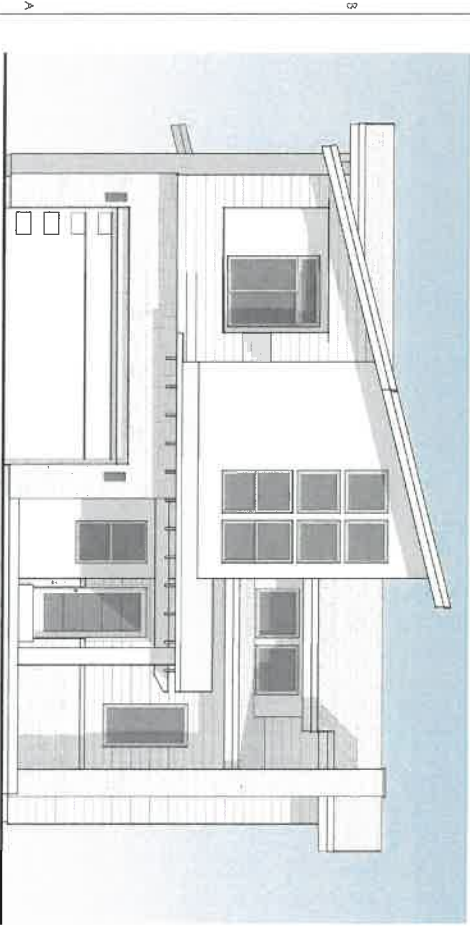
ISSUE DATE: 12.11.2008
Design Development

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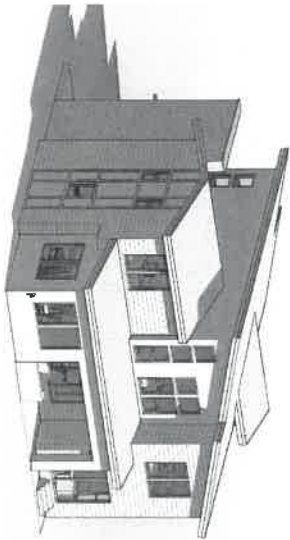
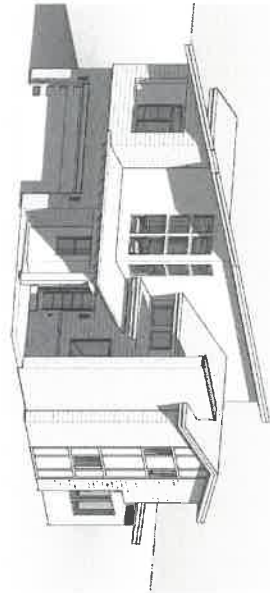
DATE: 12.11.2008
PROJECT: THE REDTAIL
SHEET: A2000



1 Rear Elevation
1/8" = 1'-0"



2 Front Elevation
1/8" = 1'-0"



C.W.
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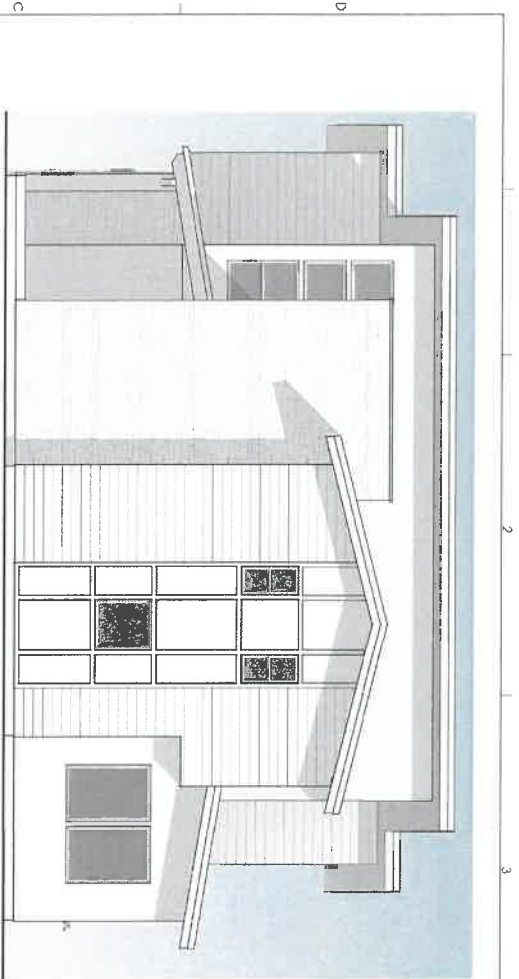
PROJECT
The Redtail
Old Snow Basin Road

REVISIONS:

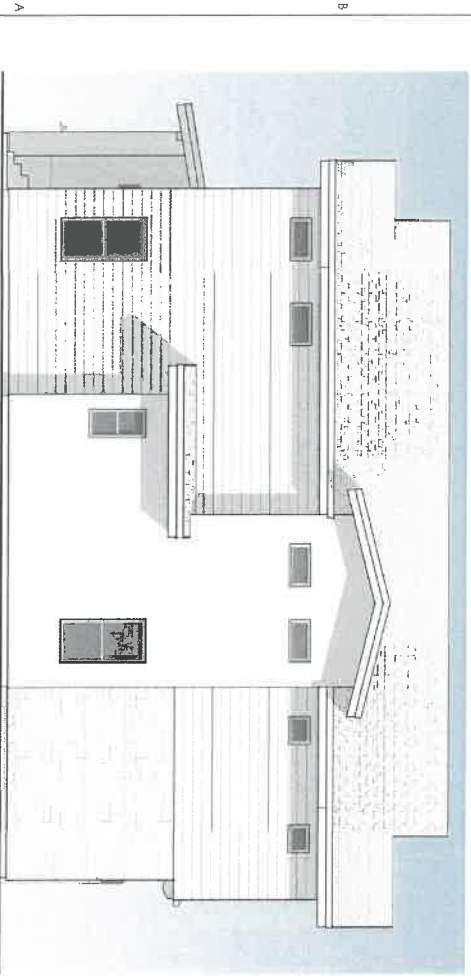
TITLE:
Exterior Elevations

SHEET:
A201

ISSUE DATE: 12/11/2020
Design Development



1 Right Elevation
1/4" = 1'-0"



2 Left Elevation
1/4" = 1'-0"



C.W.
URBAN

ARCHITECTURE AND INTERIOR DESIGN
1211 12th Street, Suite 100
Berkeley, CA 94710
Tel: 415.863.9200
www.urbandesign.com

NO REPRESENTATION OR WARRANTY IS MADE BY THE ARCHITECT FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

PROJECT
The Redtail
Old Snow Basin Road

REVISIONS:
TITLE:
Exterior Elevations

SHEET:
A202

ISSUE DATE: 12.11.2008
Design Development



1 Floor Basmt
1/8" = 1'-0"

TOTAL SQUARE FOOTAGE		
Room	Area	
Bedroom 1	1,212 SF	
Bedroom 2	1,212 SF	
Bedroom 3	1,212 SF	
Bathroom	420 SF	
Storage	420 SF	
Other	420 SF	
Total	4,200 SF	

C.W.
URBAN

PROJECT
The Redtail
Old Snow Basin Road

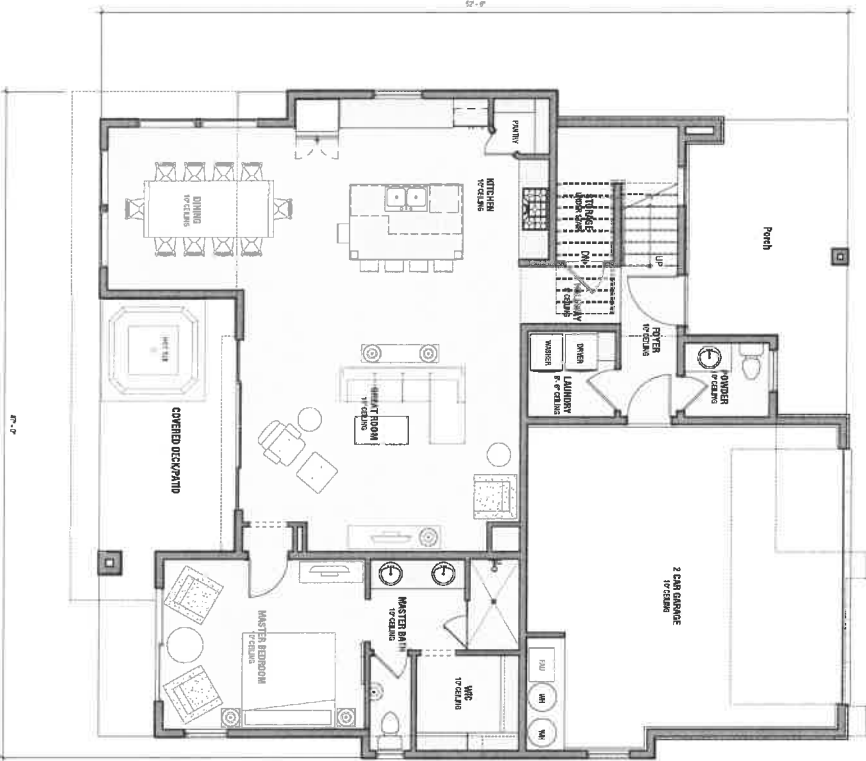
TITLE:
Floor Plan - Bsmt

SHEET:
A101

ISSUE DATE: 12/11/2023
Design Development

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Floor Main
1/4" = 1'-0"

TOTAL SQUARE FOOTAGE	
Name	Area
Garage	1,231 SF
Living	1,413 SF
Dining	1,413 SF
Kitchen	1,413 SF
Master Bedroom	1,413 SF
Master Bathroom	1,413 SF
Main Bathroom	1,413 SF
Laundry	1,413 SF
Linen Closet	1,413 SF
Front Porch	1,413 SF
Back Porch	1,413 SF
Covered Deck	1,413 SF
Grand Total	4,266 SF

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PROJECT
The Redtail
Old Snow Basin Road

TITLE:
Floor Plan - Level 1

SHEET:
A102

ISSUE DATE: 12.11.2003
Design Development

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C.W.
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PROJECT
The Redtail
Old Snow Basin Road

REVISIONS:

TITLE:
Floor Plan - Level 2

SHEET:

A103

DATE: 12.11.2020
Design Development

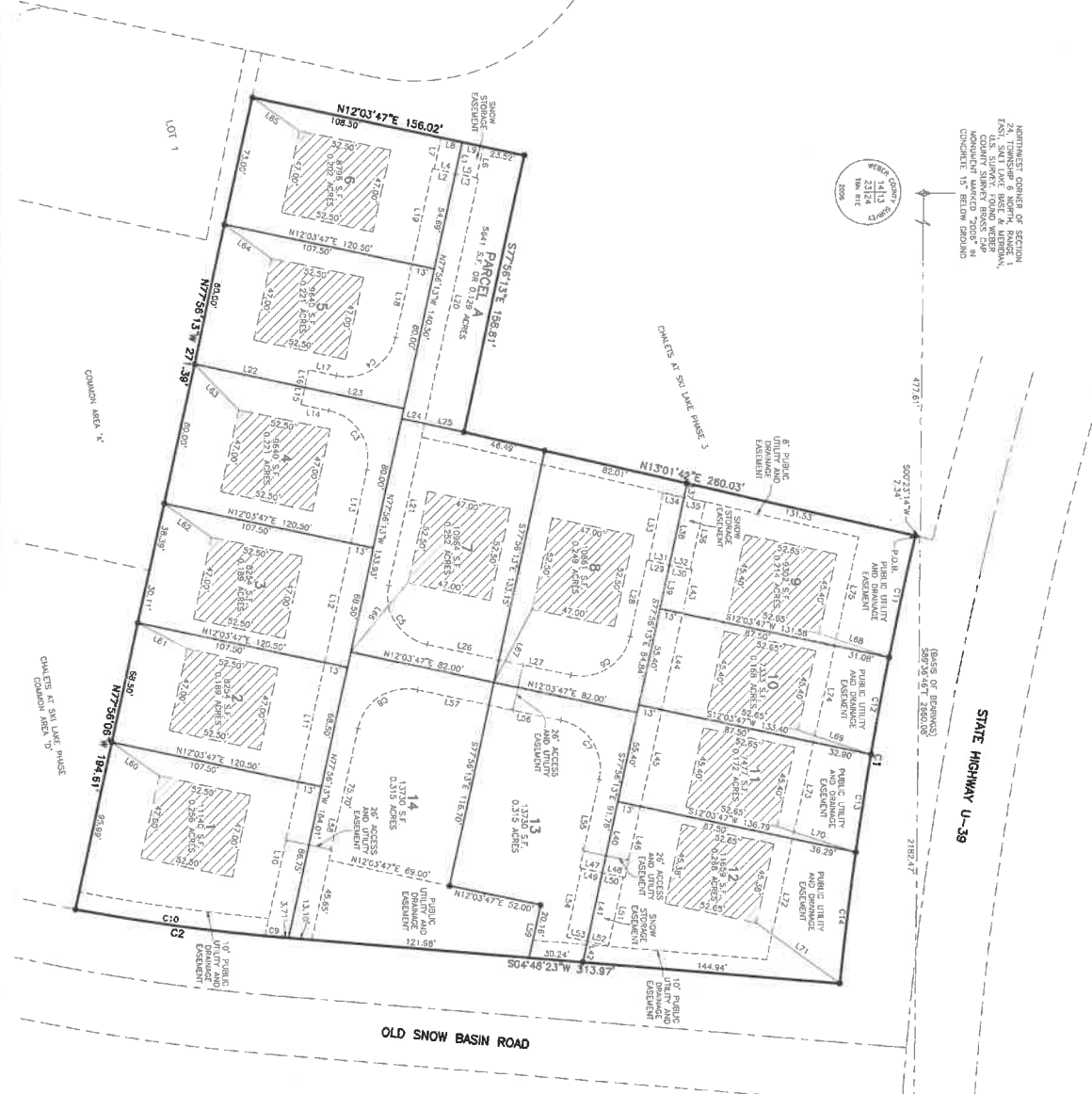


Floor Upper
1/4" = 1'-0"

TOTAL SQUARE FOOTAGE		
Room	Area	Notes
Bedroom 1	1,311 SF	
Bedroom 2	1,218 SF	
Bedroom 3	1,165 SF	
Bedroom 4	1,053 SF	
Bedroom 5	1,053 SF	
Bedroom 6	1,053 SF	
Grand Total	4,256 SF	

PART OF THE NORTHWEST QUARTER OF SECTION 24 TOWNSHIP 6 NORTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY
 WEBER COUNTY, UTAH
 AUGUST, 2021

THE BASIN



NORTHWEST CORNER OF SECTION 24, TOWNSHIP 6 NORTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY. WEIBER COUNTY SURVEY BRASS CAP MONUMENT MARKED '2021' IN CONDUIT TO BELOW GROUND.

NORTH QUARTER CORNER OF SECTION 24, TOWNSHIP 6 NORTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY. WEIBER COUNTY SURVEY BRASS CAP MONUMENT MARKED '2021' IN CONDUIT TO BELOW GROUND.

OLD SNOW BASIN ROAD

STATE HIGHWAY U-39

LEGEND

- SECTION CORNER
- SET 3/4" X 24" REBAR AND PLASTIC CAP STAMPED 'REVE & ASSOCIATES'
- BROWNISH LINE
- LOT LINE
- ADJOINING PROPERTY
- EASEMENTS
- SECTION TIE LINE
- ROAD CENTERLINE
- BUILDABLE AREA



Reve & Associates, Inc.
 11100 S. 2000 E., SUITE 200, SALT LAKE CITY, UTAH 84115
 TEL: (801) 487-8800 FAX: (801) 487-8801
 WWW.REVEANDASSOCIATES.COM

Project Info
 Surveyor: MATH
 Dispatcher: N. ANNE EREN
 Register: 6-22-2021
 Name: THE BASIN
 Number: 1589-03
 Revision: 1-14-21
 Owner: _____

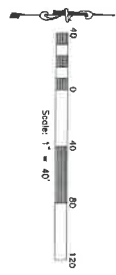
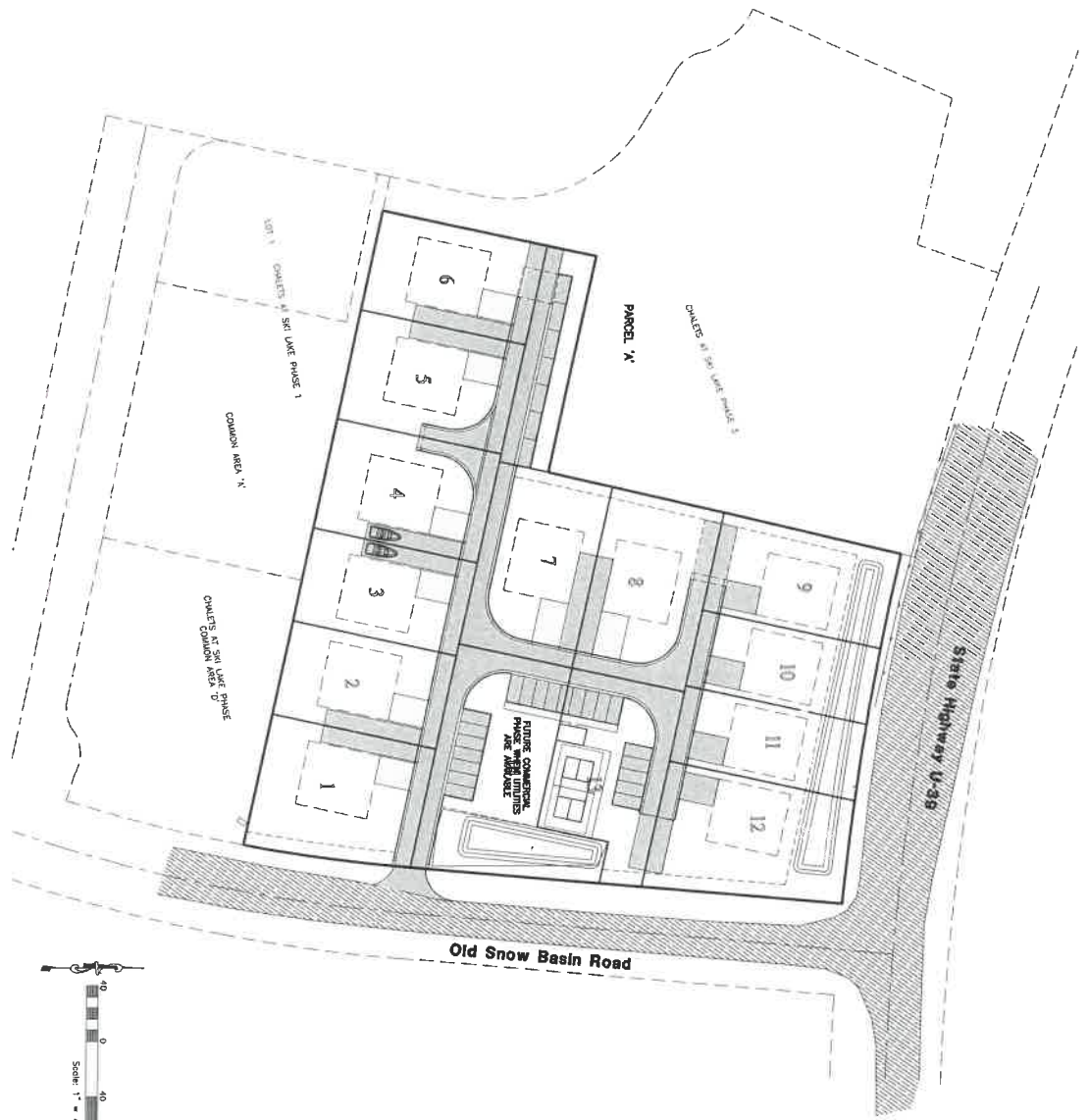
Webster County Recorder
 Entry No. _____
 Fee Paid _____
 At _____
 Recorded in Book _____
 Page _____
 Recorded for _____
 Webster County Recorder
 Deputy _____

- Project Narrative/Notes/Revisions**
- 06/26/21 CK - COMPLETED DESIGN FOR CLIENT & CITY REVIEW
 - 07/07/21 CK - UPDATED ORDNANCE DESIGN
 - 07/20/21 CK - PRELIMINARY DESIGN
 - 07/20/21 CK - ORDNANCE DESIGN & UTILITY UPDATES

The Basin

Improvement Plans

WEBER COUNTY, UTAH
MAY 2021



SITE DATA	
PARCELS:	26 GARAGE STALLS 13 BARN/FEEDER STALLS 22 ANIMAL FEEDING STALLS 09 TOTAL STALLS
PARCEL AREA:	144,148 SF. (3.31 ACRES)
BUILDING AREA:	33,577 SF.
ASPHALT AREA:	43,420 SF. (0.99 ACRES)
LANDSCAPE AREA:	47,298 SF. (1.04 ACRES)
LS 60100:	

- Sheet Index
- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes/Legend
- Sheet 3 - Existing Site & Demolition Plan
- Sheet 4 - Site Plan
- Sheet 5 - Grading & Drainage Plan
- Sheet 6 - Utility Plan
- Sheet 7 - Civil Details
- Sheet 8 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 9 - Storm Water Pollution Prevention Plan Details
- Sheet 10 - Landscape Plan

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES ARE NOT SHOWN ON THESE PLANS. CONTRACTORS SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF ANY UTILITIES NOT SHOWN ON THESE PLANS SHALL BE CONFIRMED BY THE CONTRACTOR. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJUSTMENTS TO BE MADE IN THE PLANS TO ACCOMMODATE ANY CHANGES TO THE PLANS. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJUSTMENTS TO BE MADE IN THE PLANS TO ACCOMMODATE ANY CHANGES TO THE PLANS. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJUSTMENTS TO BE MADE IN THE PLANS TO ACCOMMODATE ANY CHANGES TO THE PLANS.

Elevation Datum:
Site Benchmark: Corner Section 23, 25, 35N, R1E, S10E, T12N, Utah North Zone, NAD83 Feet

Architect:
Trevor Hatch
Reeve & Associates, Inc.
Riverview, Utah 84405
PH: (801) 621-3100

Surveyor:
Trevor Hatch
Reeve & Associates, Inc.
Riverview, Utah 84405
PH: (801) 621-3100

Developer Contact:
CMT Wright - CW Land
11111 S. 1500 West
Ste. 5
Cedarville, Utah 84074
PH: (801) 725-9079

Project Contact:
Jeremy Dryden
Reeve & Associates, Inc.
Riverview, Utah 84405
PH: (801) 621-3100



Geotechnical Report:
CMT Engineering, Inc.
225 S. 1500 West
West Valley City, Utah 84119
PH: (801) 908-5839

Landscape Architect:
Nathan Peterson
Reeve & Associates, Inc.
Riverview, Utah 84405
PH: (801) 621-3100

Professional Engineer:
CMT Engineering, Inc.
225 S. 1500 West
West Valley City, Utah 84119
PH: (801) 908-5839

Professional Engineer:
CMT Engineering, Inc.
225 S. 1500 West
West Valley City, Utah 84119
PH: (801) 908-5839

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The Basin
WEBER COUNTY, UTAH

Cover/Index Sheet

Project No. 2555-03
Number: 1
Total Sheets: 10

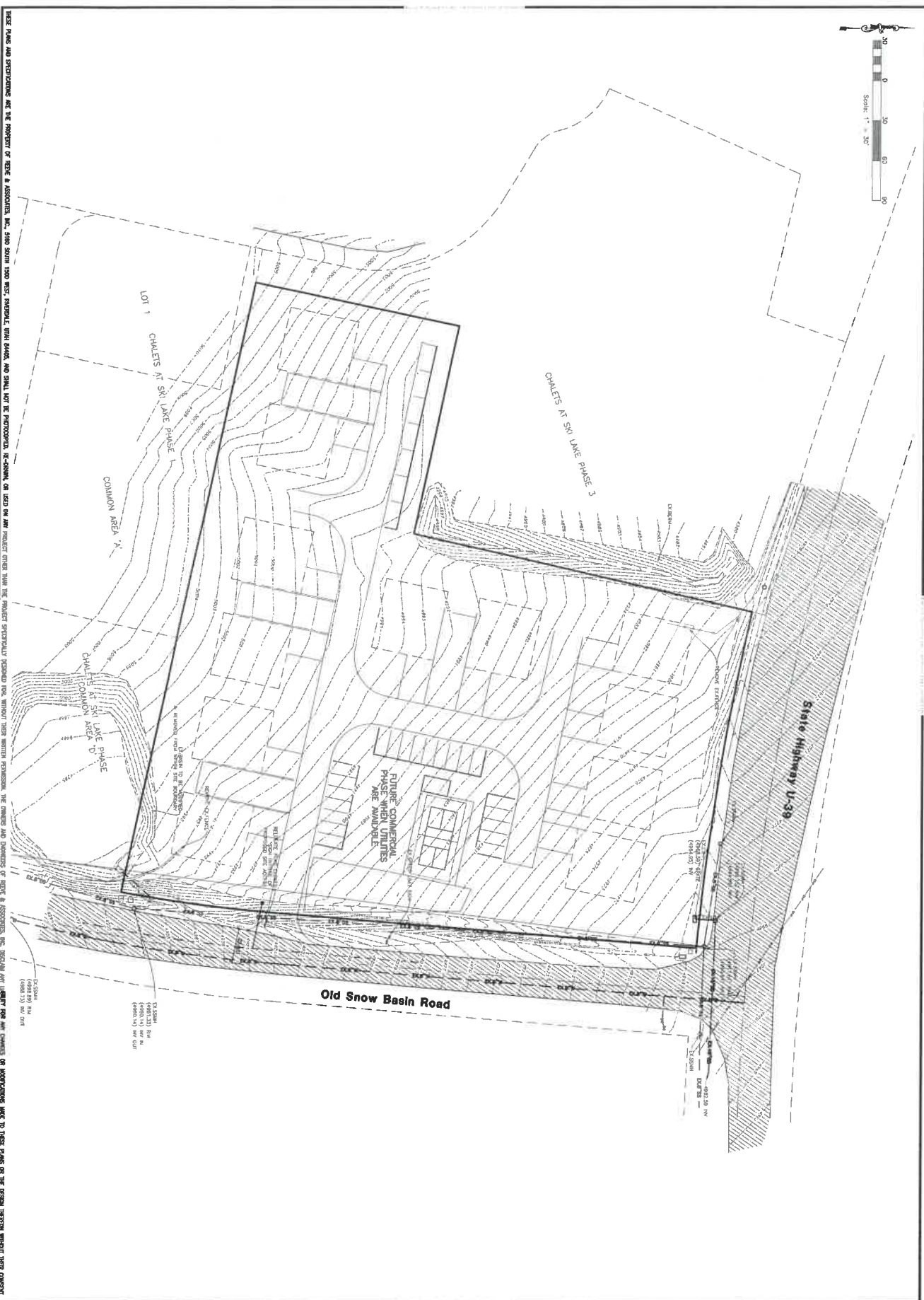
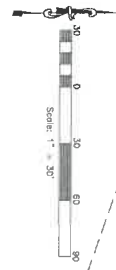
DATE	DESCRIPTION
07-08-21	CK - Drafting Details
07-20-21	CK - Ordinance Design

Reeve & Associates, Inc.

WEBER COUNTY, UTAH

3150 SOUTH 1500 WEST, RIVERVIEW, UTAH 84405
PH: (801) 621-3100

ARCHITECTS • ENGINEERS • LANDSCAPE ARCHITECTS
UTILITY DESIGN • STRUCTURAL ENGINEERS • ABOVE-GROUND WATER



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10 SHEETS

3

Project Name:
 Engineer: L. ANDERSON, P.E.
 Designer: C. KINSLEY
 Begin Date: 07/20/21
 Home: THE BASIN
 Number: 2382-03

The Basin
 WEBER COUNTY, UTAH

Existing Site & Demolition Plan

DATE	DESCRIPTION
07-20-21	CK - Ordinalite Design
07-20-21	CK - Ordinalite Design

Reeve & Associates, Inc.
 218 SOUTH 100 WEST, SPOKANE, IDAHO 83402
 TEL: (208) 487-2000 WWW.REEVE-ASSOCIATES.COM

LAND PLANNING • CIVIL DESIGN • LAND SURVEYING
 SURVEY INSTRUMENTS • TRAINING, SUPPORT • LANDSCAPE ARCHITECTURE



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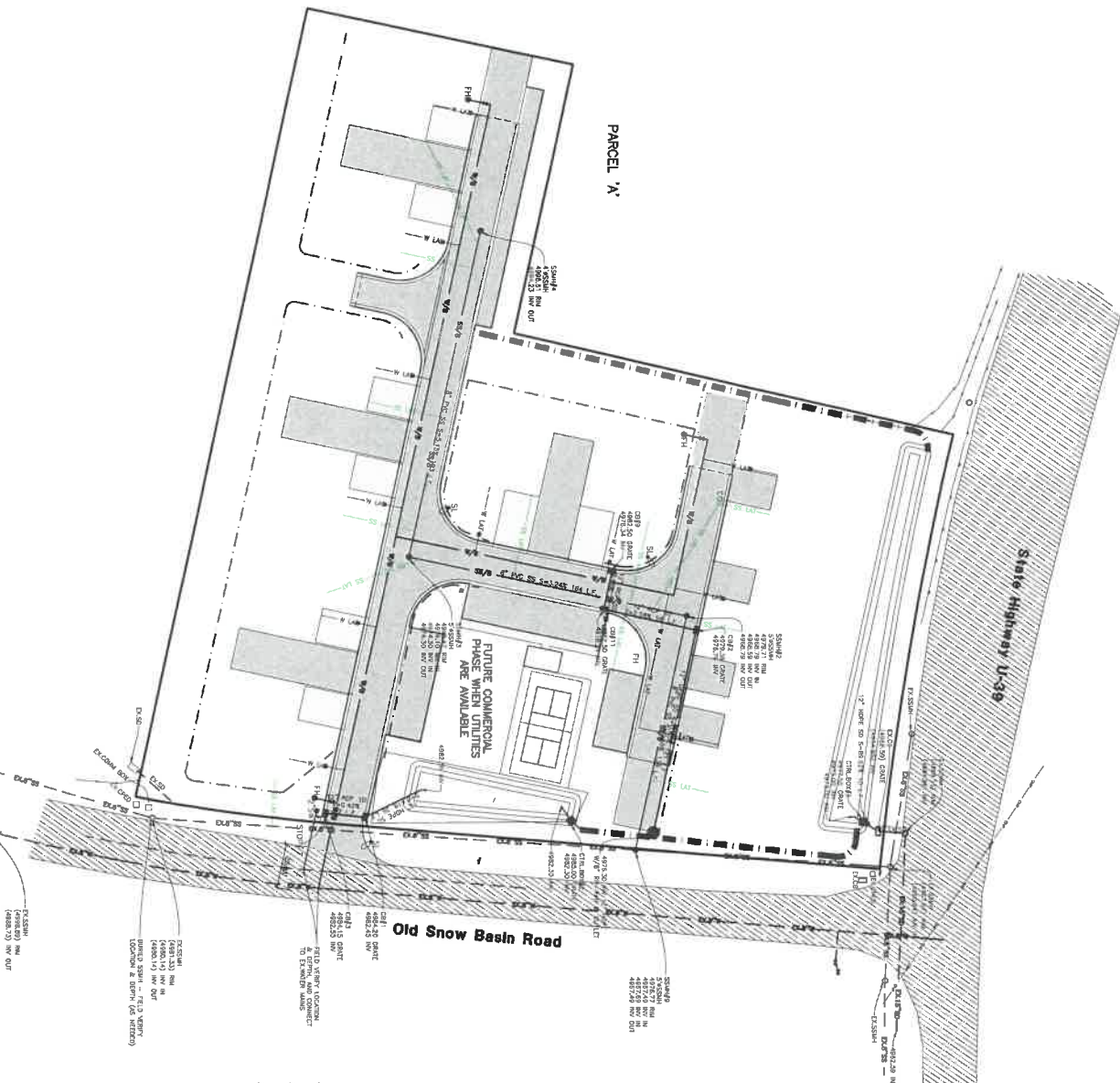
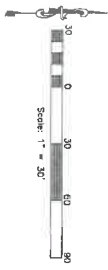
Project Name:
 Engineer:
 Designer:
 Checker:
 Date:
 Title:
 Name:
 Address:
 City:
 State:
 Zip:



The Basin
 WEBER COUNTY, UTAH
Proposed Site Plan

REVISIONS	DATE	DESCRIPTION
07-09-21	CK	Preliminary Design
07-20-21	CK	Final Design

Reeve & Associates, Inc.
 5110 SOUTH 1000 WEST, PROVO, UTAH 84601
 TEL: (801) 821-2100 WWW.REEVE-ASSOCIATES.COM
 LINDA FLEMING • CHIEF OPERATING OFFICER
 TRACY COOPER • DIRECTOR, DESIGN & PROJECT SERVICES



Construction Notes:

- 1) ALL CONSTRUCTION IS TO COMPLY WITH SPECIFICATIONS OF WEBER COUNTY.
 - 2) SERVICES TO CONFORM TO THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS OF UTAH.
 - 3) CONFORM TO THE STANDARD SPECIFICATIONS OF UTAH.
- CALIBRATION NOTES:**
- 1) 12\"/>

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10 Total Sheets
6

Project Info:
 Engineer: JAMES R. JONES, P.E.
 Designer: JAMES R. JONES, P.E.
 Name: THE BASIN
 Number: 2582-03



The Basin
 WEBER COUNTY, UTAH
Utility Plan

DATE	DESCRIPTION
07-18-21	CK Drafting Design
07-20-21	CK Drafting Design

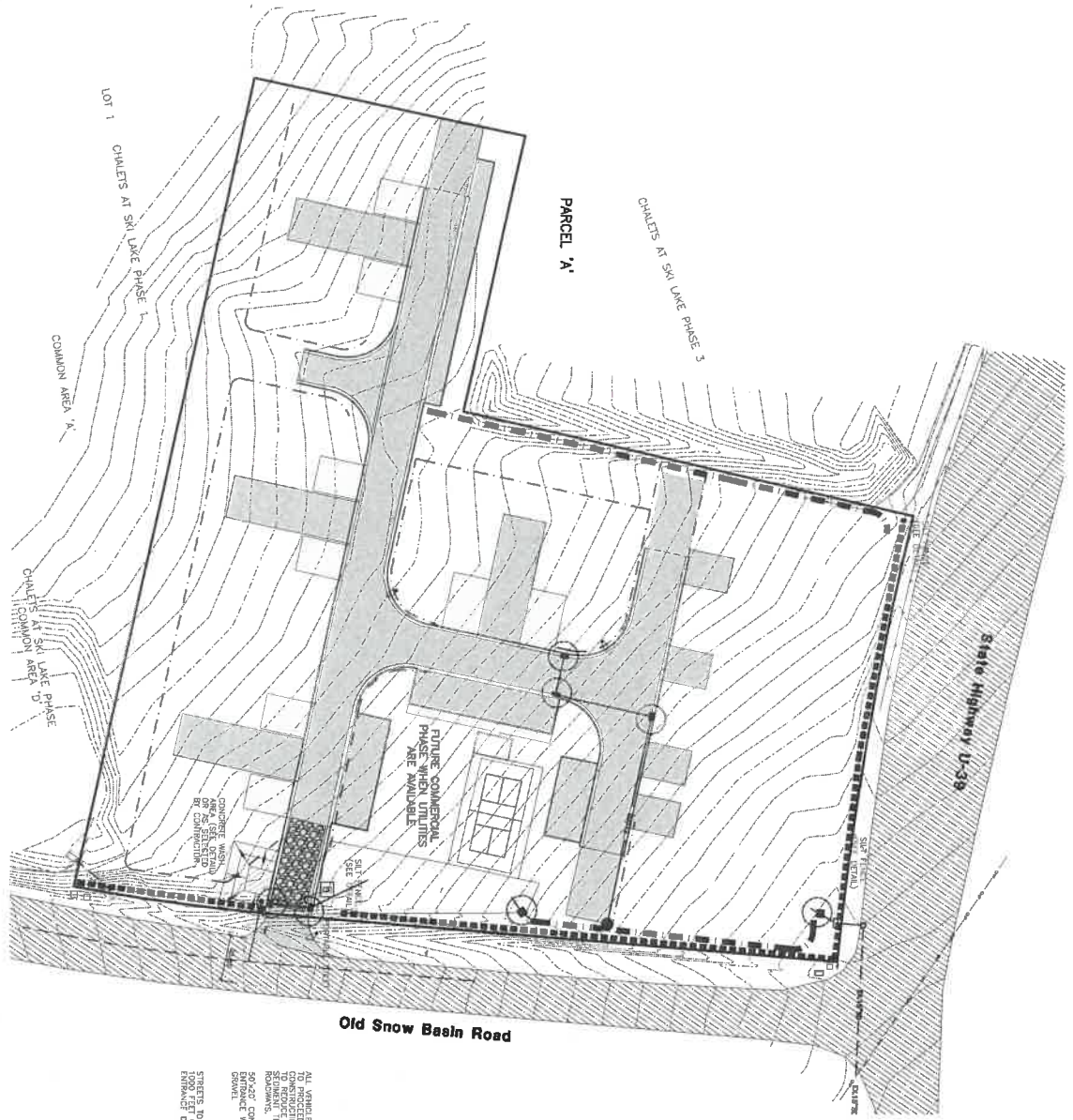
Reeve & Associates, Inc.
 3100 SOUTH 1000 WEST, MIDWALD, UTAH 84054
 (2025) 875-1212 FAX (2025) 875-1213
 JAMES R. JONES • JAMES R. JONES • JAMES R. JONES



The Basin

Storm Water Pollution Prevention Plan Exhibit

WEBER COUNTY, UTAH
MAY 2021



- PORTABLE TOILET
- IMP. PROTECTION TYP. (SEE DETAIL)
- Silt Fence (SEE DETAIL)

ALL VARIANTS EXISTING SITE CONSTRUCTION ENHANCEMENTS SHALL BE CONSIDERED FOR THE PROJECT. FENCED DRAINAGE PROGRAMS SHALL BE CONSIDERED FOR THE PROJECT. ENHANCED CONSTRUCTION PROGRAMS SHALL BE CONSIDERED FOR THE PROJECT. STREETS TO BE SWEEP WITHIN THE PROJECT AREA SHALL BE SWEEPED AT THE END OF EACH WORK DAY.

Construction Activity Schedule

PROJECT LOCATION	WEBER COUNTY, UTAH
PROJECT BEGINNING DATE	JUNE 2021
PROJECT ENDING DATE	JUNE 2021
PROJECT DESCRIPTION	STORM WATER POLLUTION PREVENTION PLAN FOR THE PROJECT.
PROJECT OWNER	THE BASIN
PROJECT ENGINEER	REEVE & ASSOCIATES, INC.
PROJECT DESIGNER	REEVE & ASSOCIATES, INC.
PROJECT CHECKER	REEVE & ASSOCIATES, INC.
PROJECT APPROVER	REEVE & ASSOCIATES, INC.

Reeve & Associates, Inc.
1000 W. 1000 S. SUITE 1000
ST. GEORGE, UTAH 84770
PHONE: 435.772.1000
FAX: 435.772.1001
WWW.REEVE-AND-ASSOCIATES.COM

DATE	DESCRIPTION
07-09-21	CK Drafting Details
07-20-21	CK Drafting Details

The Basin
WEBER COUNTY, UTAH

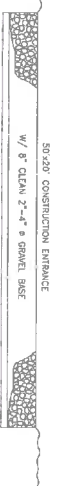
Storm Water Pollution Prevention Plan Exhibit

Project Info:
 Engineer: JOSHUA S. JENSEN, P.E.
 Designer: C. HANSEN, E.V.
 Begin Date: 2021
 Name: THE BASIN
 Number: 2582-03
 Sheet: 8 of 8

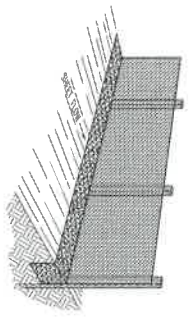
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Notes:

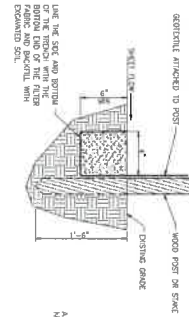
1. Details of Bays to protect storm water inlets.
2. All storm water inlets to be covered by storm water bays (see detail).
3. Detection Bay to minimize/prevent construction of storm water flow.
 - a. To be performed in designated areas only and surrounded with silt fence barriers.
 - b. If any construction of any kind or general contact environmental engineer and contract least.
 - c. Areas of construction silt.
 - d. Fully formed in designated areas only and surrounded with silt fence.
 - e. Vehicle maintenance areas.
 - f. To be performed in designated areas only and surrounded with silt fence.
 - g. To be performed in designated areas only and surrounded with silt fence.
 - h. Multiple construction areas only and surrounded with silt fence.
 - i. Multiple construction areas only and surrounded with silt fence.
 - j. To be performed in designated areas only and surrounded with silt fence.
4. Silt fence for wind erosion:
 - a. Slopes and site on silt fence to be notified regularly to eliminate / control wind erosion.
 - b. Construction vehicles and equipment:
 - Station of construction equipment to prevent all or other third party.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check housing vehicles and equipment (including delivery trucks, and employees and subcontractor vehicles).
 - Segregate and recycle wastes, such as grasses, weeds or oil filters, antifreeze, cleaning solvents.
 - Fueling and oil change activities, use designated areas from drainage.
 - Other activities on-site with impervious material or fuel in a manner to ensure that any spills will be kept from any oil or fluid drainage.
 - Washing on site water on possible to avoid, including erosion and sediment controls for the work area.
 - Use proper/area, immediate clean-up.
 - Do not permit station cleaning on-site.
 - c. Silt fence prevention and control:
 - Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency services, the owner of the spill should occur upon discovery of a minor spill.
 - If the spill occurs on paved or impervious surfaces, clean up using "dry" methods (i.e. absorbent material).
 - Record all spills taken to report and contain spill.
 - One-time personnel should not attempt to contain major spills until the appropriate and qualified emergency response team is on-site. For spills of Federal reportable quantities, also notify the National Response Center (NRC) immediately. The spill should be reported to all applicable authorities. Owners to report major spills can result in significant fines and penalties.
5. Final Roadway / Utility Construction:
 - a. Maintain good housekeeping practices.
 - b. Property store remaining such as pipes and materials.
 - c. Avoid mixing streams of runoff from different areas.
 - d. Perform without of concrete trucks, ditches or in designated areas only.
 - e. Do not place material or debris into streams, gutters or catch basins.
 - f. All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 100' of construction entrance cell, if needed street wells around all lots contained within the development and all others that receive runoff from the development.
6. Erosion Control Plan Notes:
 - a. A silt fence for emergency work shall be available at all times during potential rain or snow runoff events. Emergency detours when site or runoff is imminent, stopgap at convenient locations to facilitate road construction of erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If deemed necessary, erosion control should be reestablished before the work begins.
 - b. The placement of sediment devices to prevent erosion should be determined by survey or other means acceptable to the engineer of record.
 - c. All silt fence shall be removed from all detours within 24 hours after each rain or snow event.
 - d. Excavate on detours approved by the inspector, all responsible protective devices shown shall be in place at the end of each work day. All silt fence shall be removed from the site as soon as possible.
 - e. The placement of sediment devices to prevent erosion should be determined by survey or other means acceptable to the engineer of record.
 - f. Erosion control devices may not be removed or made inoperative without the approval of the engineer of record and the governing agency. All silt fence shall be removed from the project progress and plans of the engineer of record.
7. Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Written documentation on site.
 - a. Part I (LAC) identifies the minimum inspection requirements.
 - b. Part II (LAC) identifies the minimum inspection report requirements.
 - c. Failure to complete one of or document storm water inspections is a violation of part II(D) of Utah General Permit UTR 200801.



Cross Section 50' x 20' Construction Entrance



Perspective View



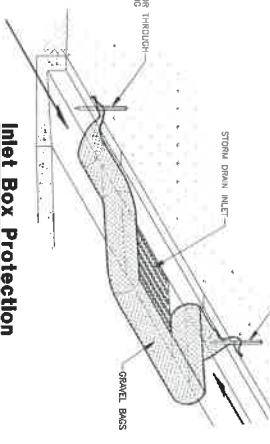
Section

RECOMMENDATIONS
The silt fence should be installed prior to major earthwork activities. The silt fence should be placed across the slope along a line of uniform elevation whenever flow of sediment is anticipated. The silt fence should be placed across the maximum slope lengths (based on existing conditions) to prevent erosion from rock all slope operations.

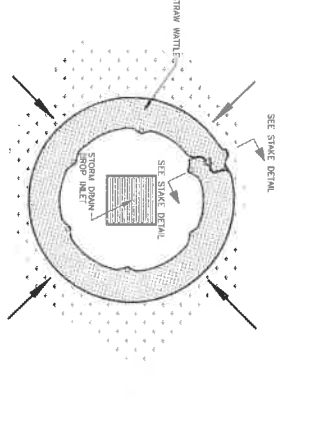
TABLE 1: Silt Fence Lengths

Recommended Slope (%)	Recommended Silt Fence Length (ft)
2-5%	35.0m (115ft)
5-10%	25.0m (82ft)
10-15%	15.0m (50ft)
15-20%	7.6m (25ft)
20-25%	4.3m (14ft)

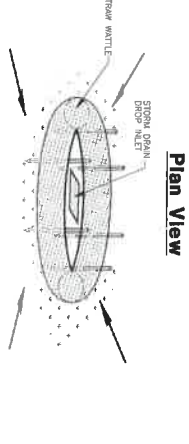
RECOMMENDED SILT FENCE DETAILS
Silt fence shall be installed in a trench 150mm (6") deep and 150mm (6") wide. The trench shall be excavated to a depth of 150mm (6") below the bottom of the silt fence. The trench shall be backfilled with compacted soil to the original ground surface. The silt fence shall be installed in a trench 150mm (6") deep and 150mm (6") wide. The trench shall be excavated to a depth of 150mm (6") below the bottom of the silt fence. The trench shall be backfilled with compacted soil to the original ground surface.



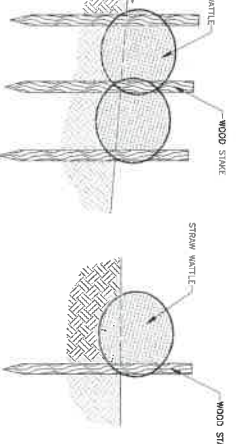
Inlet Box Protection



Plan View

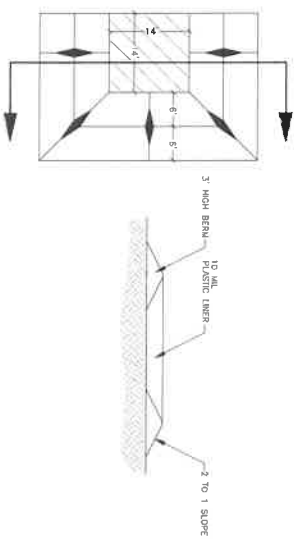


Drop Inlet Protection



Stake Detail

Concrete Washout Area w/ 10 mil Plastic Liner



SCALE: NONE

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PROJ. NO. 2552-01
PROJECT INFO
Project: DWSR 2.1
Location: 1000 S. 1000 E. SUITE 200
Owner: THE BASIN
Date: 07-20-21
Scale: 1"=10'

REVISIONS

DATE	DESCRIPTION
07-20-21	CK Drafting
07-20-21	CK Drafting

DESIGNER: E. KINCAID
CHECKED BY: J. KIM
DATE: 07/20/21
SCALE: 1"=10'

PROJECT NO. 2552-01
9

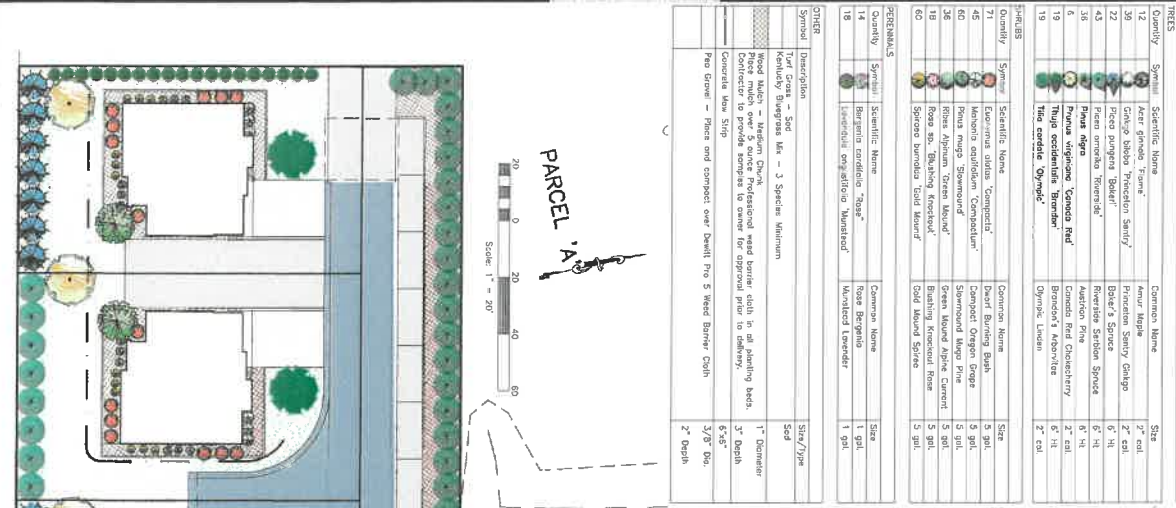
PLANT TABLE

Quantity	Symbol	Scientific Name	Common Name	Size
12		Acer glabrum 'Frans'	Amur Maple	2' cal
36		Chamaecyparis 'Fraxinifolia' Smiley	Fraxinifolia Smiley	2' cal
22		Prunus pennsylvanica 'Bakeri'	Baker's Spice	6' Ht
43		Prunus pennsylvanica 'Torenstii'	Torenstii Spice	6' Ht
38		Prunus virginiana 'Scented Red'	Scented Red	6' Ht
4		Prunus virginiana 'Scented Red'	Scented Red	2' cal
19		Tilia cordata 'Voyager'	Gypsy Lilac	2' cal
19		Tilia cordata 'Voyager'	Gypsy Lilac	2' cal

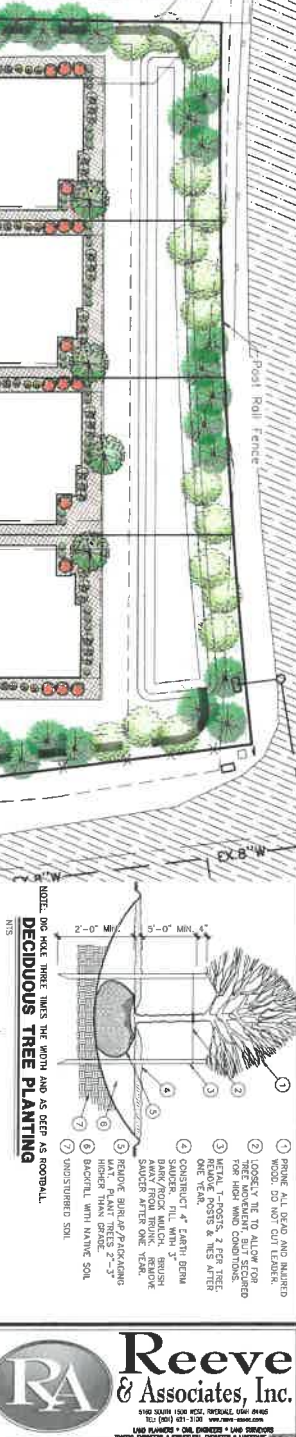
Quantity	Symbol	Scientific Name	Common Name	Size
42		Larix laricina 'Compact'	Compact Norway Spruce	2' cal
42		Larix laricina 'Compact'	Compact Norway Spruce	2' cal
42		Larix laricina 'Compact'	Compact Norway Spruce	2' cal
36		Thuja occidentalis 'Smaragd'	Emerald Green	2' cal
19		Thuja occidentalis 'Smaragd'	Emerald Green	2' cal
60		Spirea vanhouttei 'Gold Mound'	Gold Mound Spirea	5' cal

Quantity	Symbol	Scientific Name	Common Name	Size
18		Berberis thunbergii 'Baroness'	Baroness	1' cal
18		Berberis thunbergii 'Baroness'	Baroness	1' cal

Symbol	Description	Size/Type
	Turf Grass - Sod	1" Diameter
	Kentucky Bluegrass Mix - 3 Species Minimum	3" Depth
	Wood Mulch - Medium Chunks, 3/4" max	3" Depth
	Concrete Mow Strip	6"x8"
	Flag Stone - Paved and compact over 4" sub	2" Depth



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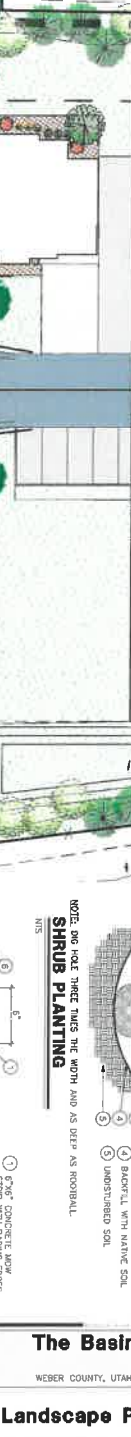
- DECIDUOUS TREE PLANTING**
1. PREPARE ALL SOIL AND MATERIALS TO BE USED FOR PLANTING.
 2. LOCATE THE TREE TO ALLOW FOR THE MOVEMENT OF SOIL DURING THE PLANTING PROCESS.
 3. REMOVE EXCESSIVE SOIL FROM THE PLANTING AREA.
 4. CONSTRUCT A CARBON FIBER BARRIER/ROCK MULCH, BRUSH MULCH, OR OTHER MULCH TO PROTECT THE ROOT BALL FROM SOIL COMPACTED BY FOOT TRAFFIC.
 5. REMOVE EXCESSIVE SOIL FROM THE PLANTING AREA.
 6. BACKFILL WITH NATIVE SOIL.
 7. UNDISTURBED SOIL.



- CONIFEROUS TREE PLANTING**
1. LOCATE THE TREE TO ALLOW FOR THE MOVEMENT OF SOIL DURING THE PLANTING PROCESS.
 2. REMOVE EXCESSIVE SOIL FROM THE PLANTING AREA.
 3. CONSTRUCT A CARBON FIBER BARRIER/ROCK MULCH, BRUSH MULCH, OR OTHER MULCH TO PROTECT THE ROOT BALL FROM SOIL COMPACTED BY FOOT TRAFFIC.
 4. REMOVE EXCESSIVE SOIL FROM THE PLANTING AREA.
 5. BACKFILL WITH NATIVE SOIL.
 6. UNDISTURBED SOIL.



- SHRUB PLANTING**
1. LOCATE THE SHRUB TO ALLOW FOR THE MOVEMENT OF SOIL DURING THE PLANTING PROCESS.
 2. REMOVE EXCESSIVE SOIL FROM THE PLANTING AREA.
 3. CONSTRUCT A CARBON FIBER BARRIER/ROCK MULCH, BRUSH MULCH, OR OTHER MULCH TO PROTECT THE ROOT BALL FROM SOIL COMPACTED BY FOOT TRAFFIC.
 4. REMOVE EXCESSIVE SOIL FROM THE PLANTING AREA.
 5. BACKFILL WITH NATIVE SOIL.
 6. UNDISTURBED SOIL.



- CONCRETE MOW STRIP**
1. 6"x8" CONCRETE MOW STRIP WITH RADIOUS EDGES
 2. BARK/ROCK MULCH
 3. FINISH CHROME/NEED FABRIC
 4. TOPSOIL
 5. COMPACTED SUBGRADE
 6. LAWN

PLANTING NOTES

1. This planting plan is diagrammatic and plant locations are approximate.
2. Field survey, stake, and string the layout and locations of all construction features for the project.
3. The contractor shall be responsible for the correct location and orientation of the proposed work to be done.
4. The contractor shall be responsible for the correct location and orientation of the proposed work to be done.
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12. The contractor shall be responsible for the correct location and orientation of the proposed work to be done.
13. The contractor shall be responsible for the correct location and orientation of the proposed work to be done.

The Basin
WEBER COUNTY, UTAH

Landscape Plan

Project No. 2022-01
Date: 07-08-21
Client: The Basin

REVISIONS

DATE	DESCRIPTION
07-08-21	CK Initial Design

Reeve & Associates, Inc.
1810 SOUTH 1000 WEST, SUITE 100, MIDWORTH, UTAH 84055
TEL: 435-735-1111 FAX: 435-735-1112