

**VICINITY MAP**  
SCALE: NONE

**LEGEND**

	= SECTION CORNER		= PROPOSED FIRE HYDRANT
	= BOUNDARY LINE		= EXISTING FIRE HYDRANT
	= LOT LINE		= PROPOSED 3'X3' CATCH BASIN
	= ADJOINING PROPERTY		= PUBLIC UTILITY EASEMENT
	= EASEMENTS		= EXISTING STRUCTURE
	= SECTION TIE LINE		= EXISTING PAVEMENT
	= EXISTING FENCELINE		= PROPOSED PAVEMENT
	= SWALE		= EXISTING GRAVEL ROAD
	= PROPOSED CULINARY WATER LINE		
	= EXISTING CULINARY WATER LINE		
	= PROPOSED SECONDARY WATER LINE		

**BOUNDARY DESCRIPTION**

PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SECTION LINE, SAID POINT BEING S00°18'53"W 1264.48 FROM THE CENTER OF SAID SECTION 7; THENCE S89°10'55"E ALONG THE SOUTH BOUNDARY OF FENSTER FARM PHASES 1, 2, 3 AND 4, 2152.24 FEET TO THE CENTER LINE OF WEBER RIVER; THENCE S16°29'12"W ALONG SAID CENTER LINE, 206.42 FEET; THENCE N89°41'07"W 2094.67 FEET; THENCE N00°18'53"E 217.16 FEET TO THE POINT OF BEGINNING.

CONTAINING 441319 SQUARE FEET OR 10.131 ACRES MORE OR LESS.

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S89°41'07"E	1192.51'
L2	N00°35'48"E	165.28'
L3	N00°18'53"E	20.00'

**CURVE TABLE**

#	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT	CHORD BEARING	DELTA ANGLE
C1	28.00'	43.84'	39.50'	27.86'	N45°27'20"E	89°43'05"

**Storm Runoff Calculations**  
Warren Estates Subdivision  
6600-03 10/13/2021

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the Ogden area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-yr 24-hr storm event. Storm water runoff has been calculated for a fully developed site and limited to a release rate of 0.2 cfs/acre.

The calculations are as follows:

<b>Drainage Area:</b>	Total Area = 10.13 acre or 441,319 ft <sup>2</sup>
Runoff Coefficients	Paved Area 28,660 C = 0.9
	Roof 26,400 C = 0.9
	Landscaped Area 386,259 C = 0.2
	Weighted Runoff Coefficient C = 0.29

**LID Retention**

80 <sup>th</sup> Percentile Rainfall Event	0.45 in
Is the site feasible for LID?	Yes 0.12
Site Imperviousness	B
NRCS Soil Group	0.84(1).169
Rv Equation	0.07
V <sub>total</sub>	1232 c.f.

**Volume of Run-off for 100-year Storm Event:**

C = 0.29  
I = See Below in/hr  
A = 441319.00 ft<sup>2</sup>

Q(out) =	2.03 ft <sup>3</sup> /s	(0.2 cfs per acre)	Vol. in (cf)	Vol. out (cf)	Difference (cf)
0	0	0.00	0	0	0
5	300	6.48	5706	608	5098
10	600	4.93	1447	8683	1216
15	900	4.07	1195	10752	1824
30	1800	2.74	8.04	14477	3647
60	3600	1.70	4.99	17964	7295
120	7200	0.92	2.70	19444	14589
180	10800	0.63	1.85	19972	21884
360	21600	0.35	1.03	22191	43767
720	43200	0.21	0.62	26629	87534
1440	86400	0.12	0.35	30433	175069

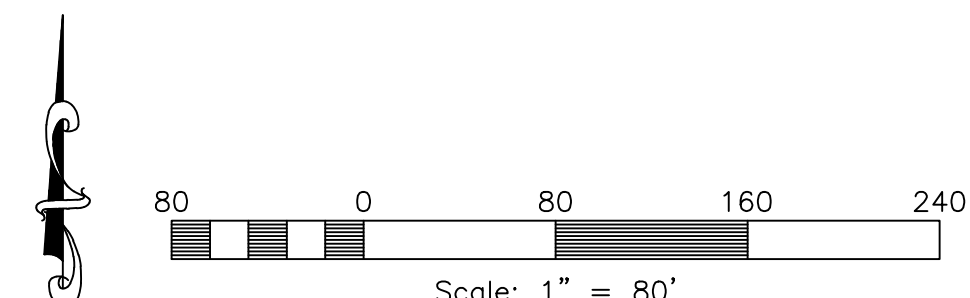
**Orifice Sizing**

Given: Q = 2.03 cfs  
2g = 64.4 ft/s<sup>2</sup>  
H = 3.00 ft  
Cd = 0.62  
R = SQRT(Q/(pi\*(0.7\*(64.4H)^0.5)))  
R = 0.27 feet  
R = 3.28 inches  
D = 6.57 inches  
A = 33.88 inches \*2  
0.2352 ft \*2

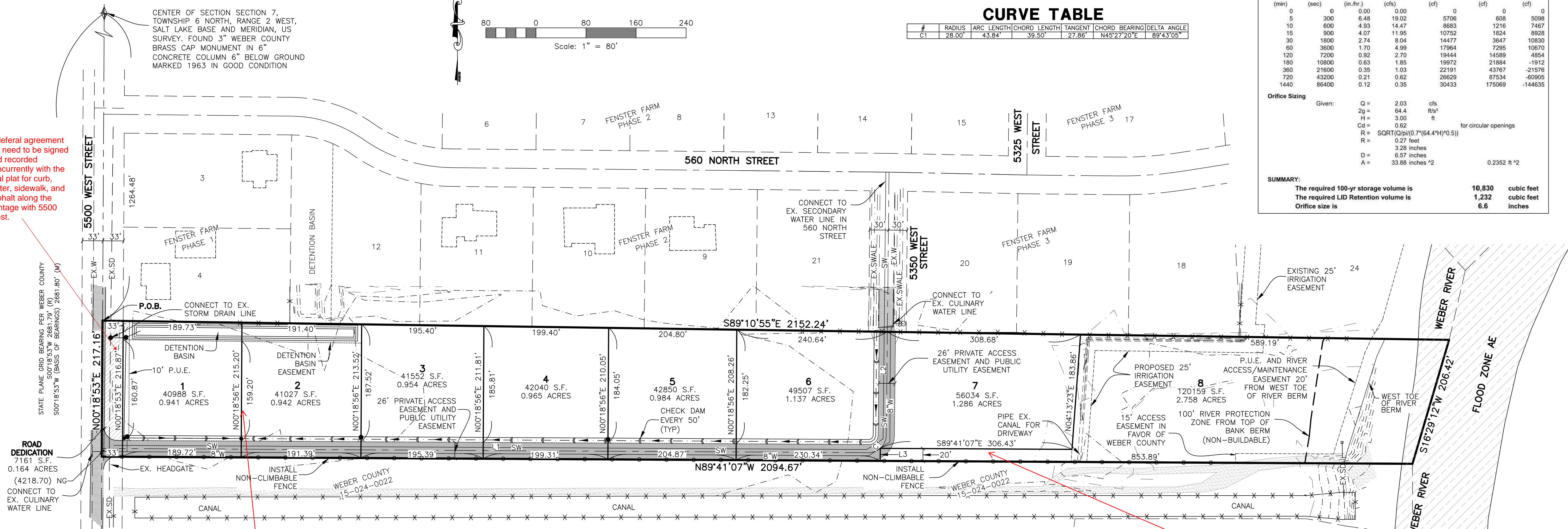
**SUMMARY:**

The required 100-yr storage volume is **10,830** cubic feet  
The required LID Retention volume is **1,232** cubic feet  
Orifice size is **6.6** inches

CENTER OF SECTION SECTION 7, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, US SURVEY, FOUND 3" WEBER COUNTY BRASS CAP MONUMENT IN 6" CONCRETE COLUMN 6" BELOW GROUND MARKED 1963 IN GOOD CONDITION



A deferral agreement will need to be signed and recorded concurrently with the final plat for curb, gutter, sidewalk, and asphalt along the frontage with 5500 West.



Need to add addressing to each lot once provided by the surveyor's office.

Please depict the location of each percolation test pit along with a table of test results to satisfy health department requirements for a final plat.

Please submit civil improvement plans for the private lane, fire hydrants, fencing, etc. along with improvement estimates for the Engineering division to begin reviewing.

Please add signature blocks for all signing entities.

Need to add average lot width calculation to this table.

Additionally, the following note will need to be added: "For each zone in this subdivision, the average area and average width of lots within the zone equal or exceed the minimum area and minimum width allowed in the zone. A subdivision amendment within any part of the overall subdivision boundary shall comply with Section 106-2-4.2 of the Weber County Code."

Title needs to be at the top of the page along with township, range, section, quarter section, and date.

Per LUC Sec. 108-7-30 (Flag Lots), all flag lots need to be a minimum of 3 acres in area. As such, the flag stem will need to be added to Lot 7 and the 26-foot access easement will need to extend to lot 8 with a turnaround radius sufficient for emergency vehicles. Once complete, please update the lot-averaging calculations and notes to reflect the new configuration.

Do we need an easement here to convey water from the swale back to the detention basin?

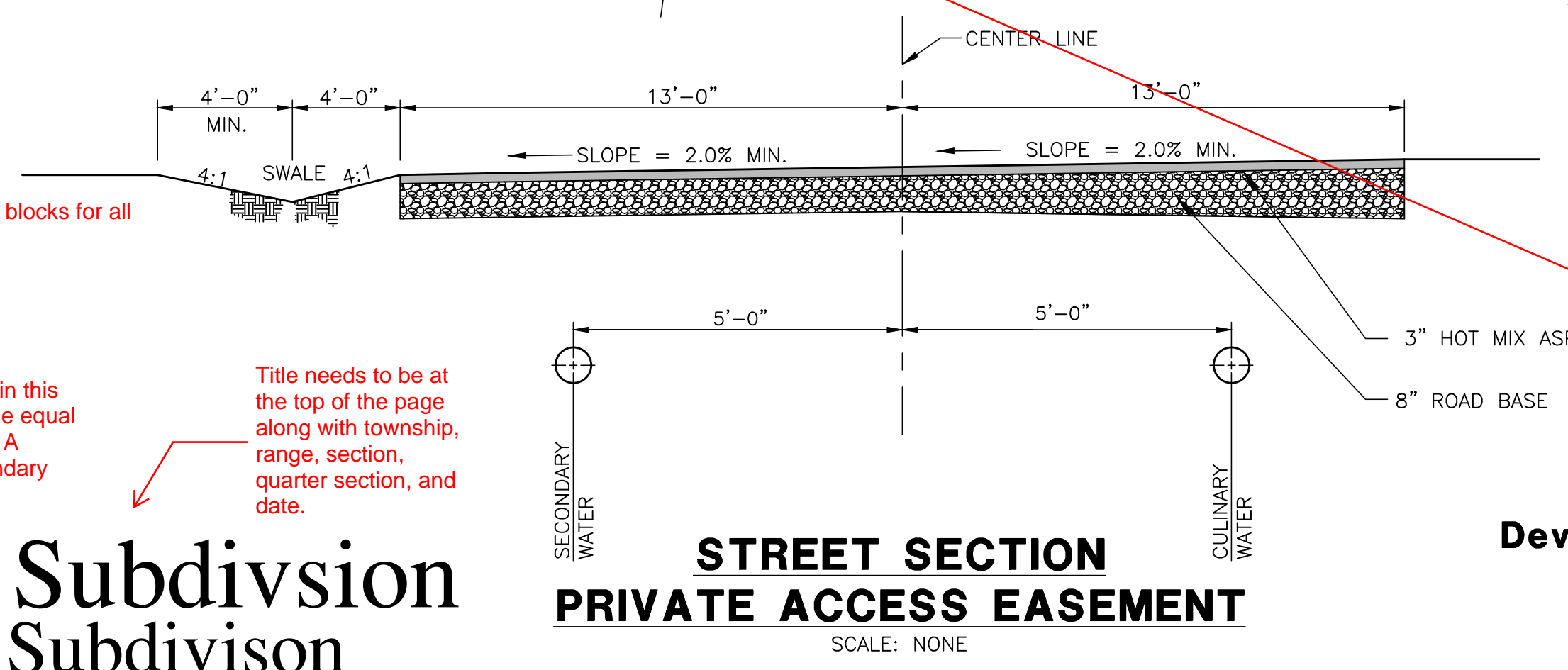
**ELEVATION NOTES**

- ADD 3.18 TO PROJECT ELEVATIONS FOR COMPARISON TO FEMA FIRM PARCELS (LOCATED ON NAVD88)
- ALL LOTS: FFE 4224.82 BFE 4222.82

**NOTES**

- LOTS WILL HAVE SEPTIC TANKS
- CONTOURS ARE SHOWN IN 1 FOOT INTERVALS
- PROJECT IS DESIGNED BY LOT AVERAGING AVERAGE LOT SIZE: 57,249 S.F. 1.31 ACRES
- SECONDARY WATER WILL CONNECT TO MOUNTAIN VIEW IRRIGATION PRESSURIZED SYSTEM IN 560 NORTH AND IN 5500 WEST STREET.
- FRONT BUILDABLE SETBACK WILL BE FROM THE PRIVATE ACCESS EASEMENT.

Please add the following note: "Agriculture is the preferred use in the agricultural zones. Agricultural operations as specified in the Land Use Code for a particular zone are permitted at any time including the operation of farm machinery and no allowed agricultural use shall be subject to restriction on the basis that it interferes with activities of future residents of this subdivision."



**Warren Estates Subdivision**  
A Lot Averaged Subdivision

Weber County, Utah

**STREET SECTION**  
PRIVATE ACCESS EASEMENT

SCALE: NONE

**Developer:**

Derrick Oman  
1990 N. 2000 W.  
Farr West City, UT. 84404  
(801) 430-1263

**Reeve & Associates, Inc.**  
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LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS

NO.	DATE	DESCRIPTION

**Warren Estates Subdivision**  
A Lot Averaged Subdivision  
PART OF THE SE 1/4 OF SECTION 7, T. 6N., R. 2W., S. 1B. & M., U.S. SURVEY  
WEBER COUNTY, UTAH

**Preliminary Plan**

**Project Info.**

Engineer: J. Nate Reeve  
Planner: Chris J. Cave  
Designer: Emilee Roche  
Begin Date: 08/26/2021  
Name: WARREN ESTATES  
Number: 6600-03

**1** Total Sheets