

CONSTRUCTION NOTES:

ALL CONSTRUCTION TO BE TO WEBER COUNTY STANDARDS EXCEPT FOR CULINARY WATER AND SECONDARY WATER. CULINARY WATER SHALL BE TO TAYLOR WEST WEBER WATER DISTRICT STANDARDS. SECONDARY WATER SHALL BE TO HOOPER IRRIGATION STANDARDS. IN THE EVENT THERE IS NO APPLICABLE STANDARD, CONTACT PROJECT ENGINEER/CITY ENGINEER. CONTRACTOR MUST ATTEND PRE-CONSTRUCTION CONFERENCE WITH CITY PRIOR TO COMMENCING WORK.

PRIOR TO CONSTRUCTION, CONTRACTOR TO LOCATE ALL EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR UNCOVERING, VERIFICATION AND PROTECTION OF ALL EXISTING UTILITIES.

SOILS TESTING TO BE PERFORMED ON PROJECT, ESPECIALLY FOR TRENCH RESTORATION. OWNER FUNDAMENTALLY WILL BE PAYING FOR SOILS TESTING BUT SUCH TO BE NEGOTIATED PRIOR TO START OF CONSTRUCTION (I.E. PERHAPS OWNER PAYS FOR ALL PASSING TESTS, CONTRACTOR FOR FAILING ONES, ETC.).

TRAFFIC CONTROL MAY BE NECESSARY ALONG 1900 SOUTH STREET - CONTRACTOR TO WORK OUT AN ACCEPTABLE PLAN WITH WEBER COUNTY.

GRADING NOTES:

GRADING IS QUITE MINIMAL ON THIS VERY FLAT SITE. CONTRACTOR TO ENCOMPASS GRADING INTO BID. ASPHALT MATERIAL REMOVED AS PART OF 1900 SOUTH STREET PREPARATION TO BE DISPOSED OFF-SITE AT CONTRACTOR'S EXPENSE.

NATIVE SUBGRADE, GRANULAR BORROW, ROADBASE (UTC) AND UTILITY TRENCHES TO BE COMPACTED TO 96% (MODIFIED PROCTOR AASHTO T-180).

IMPORTANT: ALL UTILITY TRENCHES TO BE COMPACTED TO 96%!

SWPPP PERMIT TO BE OBTAINED BY CONTRACTOR BEFORE COMMENCEMENT OF WORK.

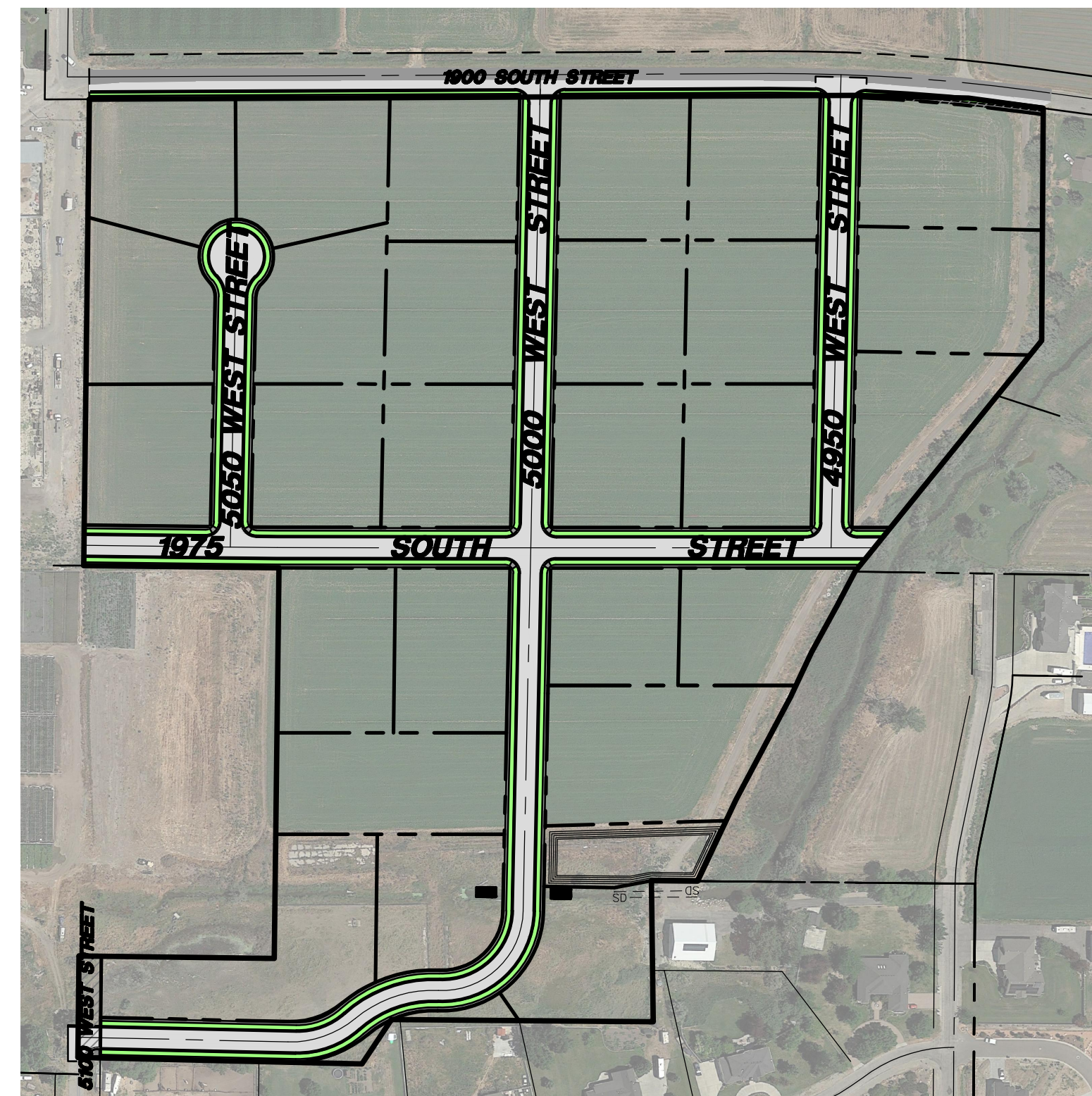
STRUCTURAL SECTION:

STRUCTURAL SECTION TO BE PER GEOTECHNICAL REPORT. CONTRACTOR TO BID AN INITIAL STRUCTURAL SECTION FOR 1900 SOUTH OF 3 INCHES ASPHALT, ON 6 INCHES UTBC ROADBASE, ON 8 INCHES OF GRANULAR BORROW (ON 8 INCHES OF COMPACTED NATIVE SUBGRADE TO 95%). INTERIOR SUBDIVISION STREETS TO BE 3 INCHES ASPHALT, ON 5 INCHES UTBC ROADBASE, ON 6 INCHES OF GRANULAR BORROW (ON 8 INCHES OF COMPACTED NATIVE SUBGRADE TO 95%)

WATER: TO UTILIZE WATER FROM NEARBY EXISTING FIRE HYDRANT(S), CONTACT TAYLOR WEST WEBER WATER DISTRICT AND MAKE APPROPRIATE ARRANGEMENTS.

SADDLEWOOD ESTATES

PROJECT NOTES 5100 WEST 1900 SOUTH



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- 23 ... TAYLOR WEST WEBER WATER DETAILS

WATER / FIRE PROTECTION:

CULINARY WATER IS UNDER THE AUSPICES OF THE TAYLOR WEST WEBER WATER DISTRICT - ALL CONSTRUCTION SHALL BE TO THEIR STANDARDS. CONTACT PERSON IS RYAN ROGERS AT 801-731-1668. THE SITE WILL CONNECT TO THE EXISTING 6-INCH WATERMAIN IN 1900 SOUTH STREET AS WELL AS THE EXISTING 8-INCH WATERMAIN IN 5100 WEST STREET - ALL WATER SERVICES WILL NEED TO BE INDIVIDUALLY TAPPED INTO A WATER MAIN. EACH LOT WILL HAVE A SEPARATE 1-INCH WATER METER AND SETTER PER TAYLOR WEST WEBER WATER STANDARDS.

TAYLOR WEST WEBER WATER NOTES / PARTICULARS:

- (1) SEWER AND WATER MUST BE SEPARATED A MINIMUM HORIZONTALLY 10 FEET AND VERTICALLY 1.5' (WATER ABOVE THE SEWER) FOR BOTH THE MAINS AND THE LATERALS.
- (2) A 14 GA. LOCATOR WIRE IN ACCORDANCE WITH TAYLOR WEST WEBER WATER STANDARDS IS REQUIRED.

FIRE HYDRANT LOCATIONS AND PARTICULARS WILL BE PER THE FIRE MARSHAL - PROJECT IS UNDER REVIEW.

SEWER:

THERE IS NO EXISTING SEWER MAIN IN 1900 SOUTH STREET. SADDLEWOOD ESTATES PROJECT WILL CONNECT TO AN EXISTING SEWER MANHOLE FOUND IN 2200 SOUTH STREET. A 12-INCH GRAVITY SEWER LINE WILL THEN BE RUN WESTWARD ALONG 2200 SOUTH STREET TO 5100 WEST STREET WHERE IT WILL TURN AND RUN NORTHWARD UNTIL IT REACHES THE SOUTHERN PROJECT BOUNDARY. THE 12-INCH LINE WILL THEN CONTINUE NORTHWARD IN 5000 WEST UNTIL IT REACHES THE INTERSECTION OF 2000 SOUTH & 5000 WEST. A 10-INCH LINE WILL CONTINUE NORTH IN 5000 WEST STREET & WILL TURN EASTWARD THEN NORTHWARD IN 4950 WEST STREET. THE 12-INCH LINE WILL TURN WESTWARD & THEN NORTHWARD IN 5050 WEST STREET. ALL SEWER SHALL END AT 1900 SOUTH STREET AS SHOWN. EACH LOT WILL HAVE A SEPARATE SEWER LATERAL.

STORM DRAINAGE:

NO EXISTING STORM DRAIN EXISTS IN THE AREA. ALL STORM RUN-OFF WATER WILL BE COLLECTED IN STORM DRAIN COMBINATION BOXES & RUN THROUGH A 15-INCH STORM DRAIN PIPE SOUTHWARD TO A DETENTION POND WHICH WILL THEN OUTLET INTO THE EXISTING SLOUGH.

SECONDARY WATER:

SECONDARY WATER IS UNDER THE AUSPICES OF THE HOOPER IRRIGATION COMPANY WHICH HAS EXISTING UTILITY MAINS ALONG THE EAST SIDE OF 5100 WEST STREET - ALL CONSTRUCTION TO BE TO HOOPER IRRIGATION COMPANY STANDARDS.

ELECTRIC - GAS - TELECOMMUNICATIONS:

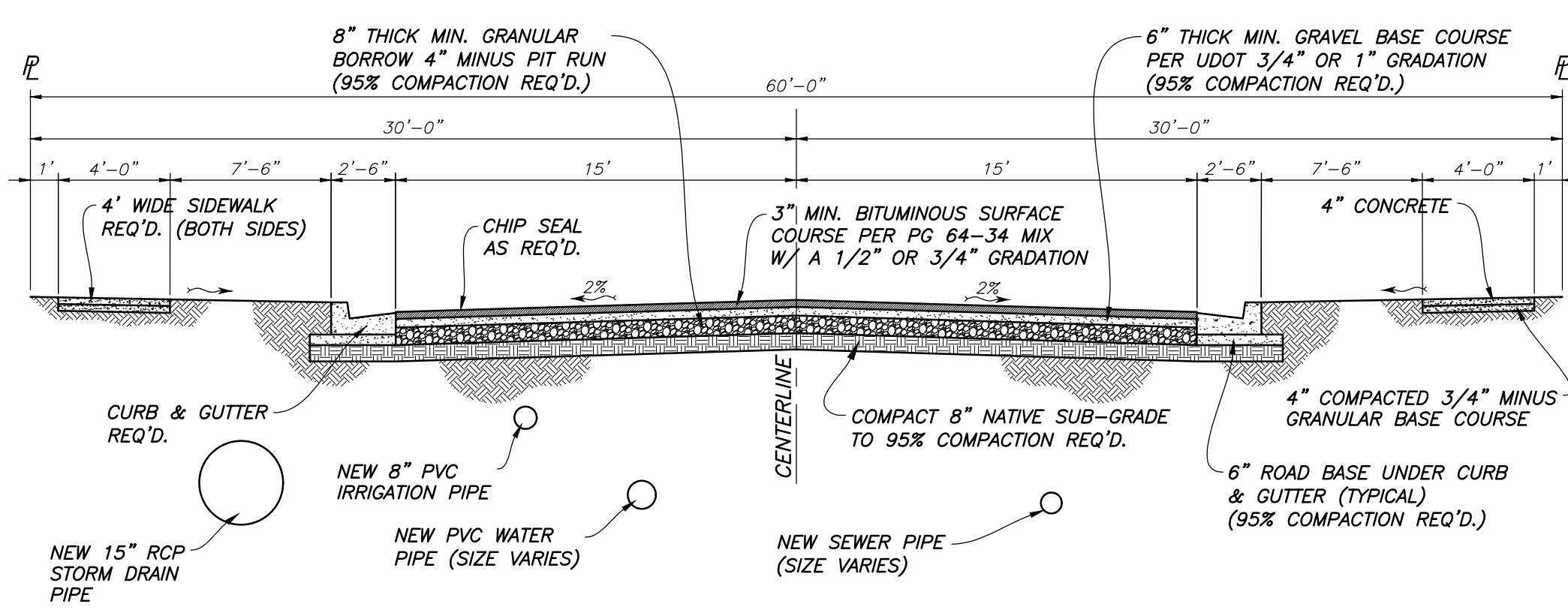
ALL DRY UTILITIES TO BE UNDERGROUND ACCORDING TO LUC 1.26.040 D 6. ELECTRICAL, GAS AND TELECOMMUNICATIONS ROUTING TO BE DETERMINED.

CONTACTS:

SEWER & STORM DRAIN: WEBER COUNTY ENGINEERING: (801-399-8374)
 CULINARY WATER: TAYLOR WEST WEBER WATER - RYAN ROGERS: (801-731-1668)
 SECONDARY WATER: HOOPER IRRIGATION - DENNIS FLINDERS: (801) 985-8429

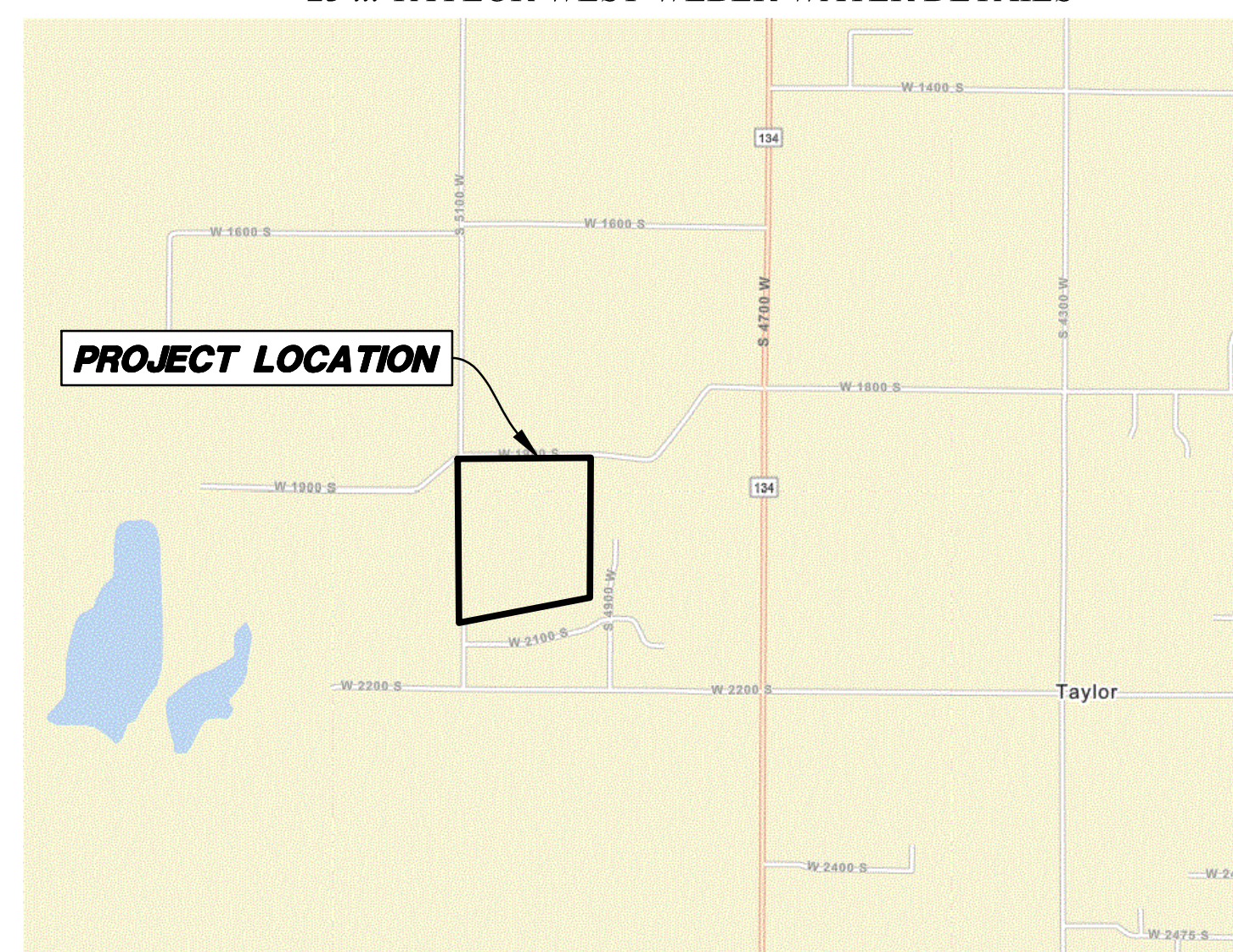
PIPE TYPES:

WATER: 8" C-900 DR-18 CULINARY WATER LINE
 SECONDARY WATER: 8" C-900 DR-18 SECONDARY WATER LINE
 SEWER: 12" & 10" PVC SDR-35 SEWER MAIN
 STORM DRAIN: 15" RCP STORM DRAIN PIPE

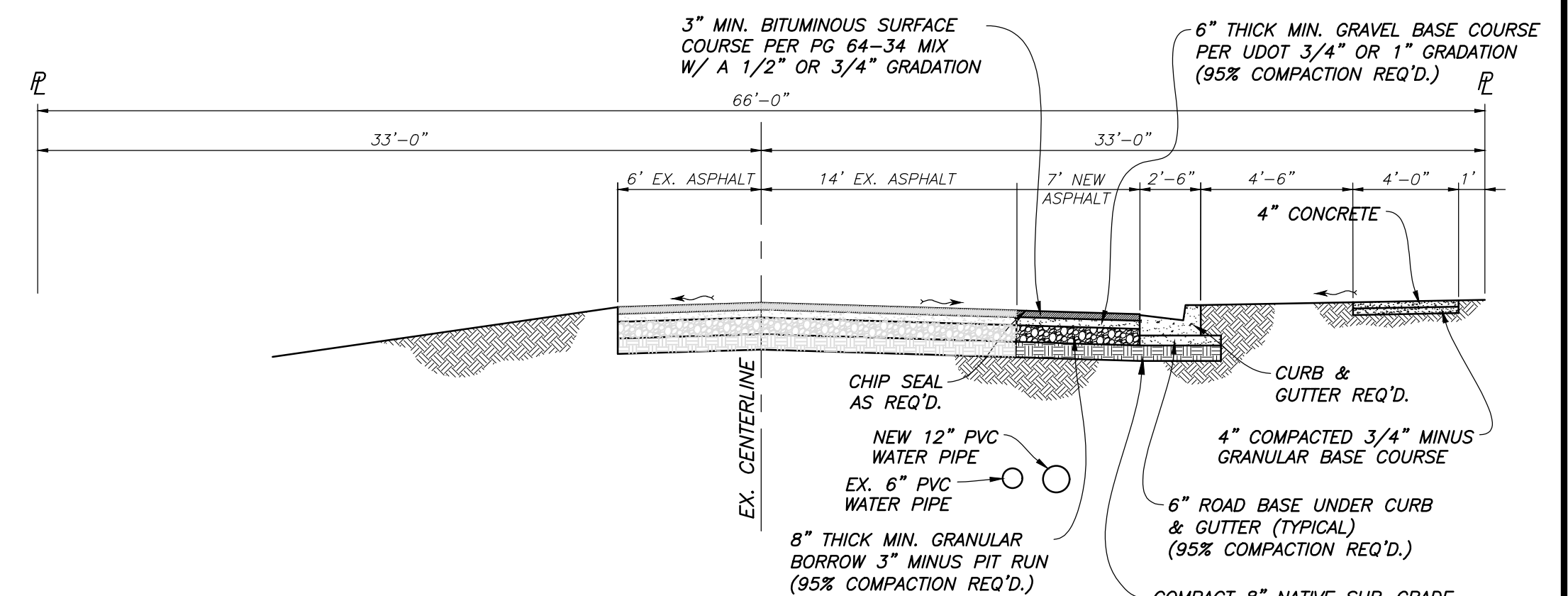


TYPICAL ROAD SECTION
NOT TO SCALE

NOTE:
1. ALL CONSTRUCTION SHALL CONFORM TO WEBER COUNTY STANDARDS.



VICINITY MAP



1900 S. ROAD SECTION
LOOKING EAST
NOT TO SCALE

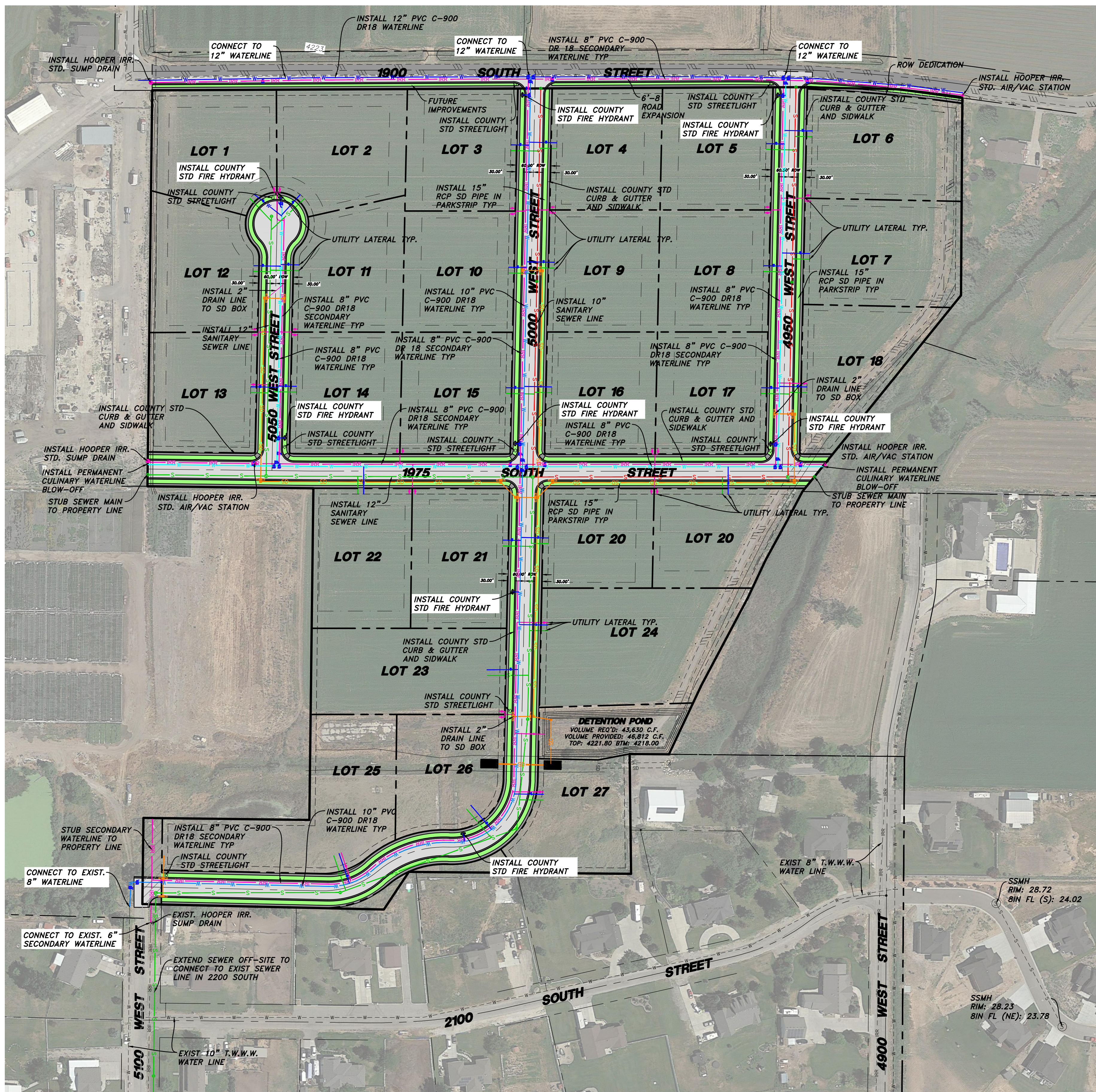
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 Scale: 1" = 100'
 Drawing File: 20-162 PP V19
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PROJECT NOTES FOR
Saddlewood Estates
 2000 SOUTH 5000 WEST
 Taylor, Weber County, Utah
 A Part of the Northeast Quarter of Section 14,
 Township 9 North, Range 2 West, S.L.B.&M.



UTILITY LEGEND

12" CULINARY WATER	
10" CULINARY WATER	
8" CULINARY WATER	
8" SECONDARY WATER	

TOTAL ACREAGE: 33.92
 REQ'D SETBACKS:
 FRONT - 30'
 REAR - 30'
 SIDE - 10', 24' AGGREGATE
 CORNER - 20'
 MIN. LOT WIDTH - 150'
 MIN. LOT SIZE - 40,000 SF
 ROW WIDTH - 60'

Engineer's Notice To Contractors
 The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed. The contractor is required to contact the utility companies and take due precautionary measures to protect any utility lines shown, and any other lines obtained by the contractor's research, and others not of record or not shown on these plans.

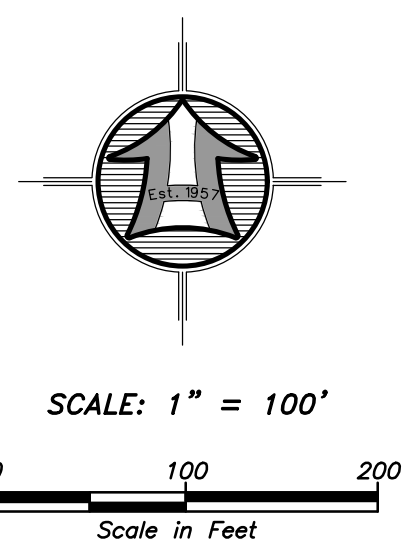
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Call BEFORE YOU Dig
 1-800-662-4111
 UNDERGROUND SERVICE

LEGEND:

	SUBDIVISION BOUNDARY
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING SECONDARY WATER LINE
	EXISTING STORM DRAIN PIPE
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED SECONDARY WATER LINE
	PROPOSED STORM DRAIN PIPE
	SAW-CUT REQ'D.
	EXISTING FENCE
	EXISTING 5' CONTOUR
	EXISTING 1' CONTOUR
	EXISTING SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE

	EXISTING STORM DRAIN INLET
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING LIGHT POLE
	PROPOSED SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLET
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	PROPOSED CURB & GUTTER
	PROPOSED SIDEWALK
	PROPOSED ASPHALT PAVEMENT





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Saddlewood Estates
 2000 SOUTH 5000 WEST
 Taylor, Weber County, Utah
 A Part of the Northeast Quarter of Section 14,
 Township 9 North, Range 2 West, S.L.B.M.

Sheet **2** of **23** Sheets

12" SEWER @ .20% 
 10" SEWER @ .25% 

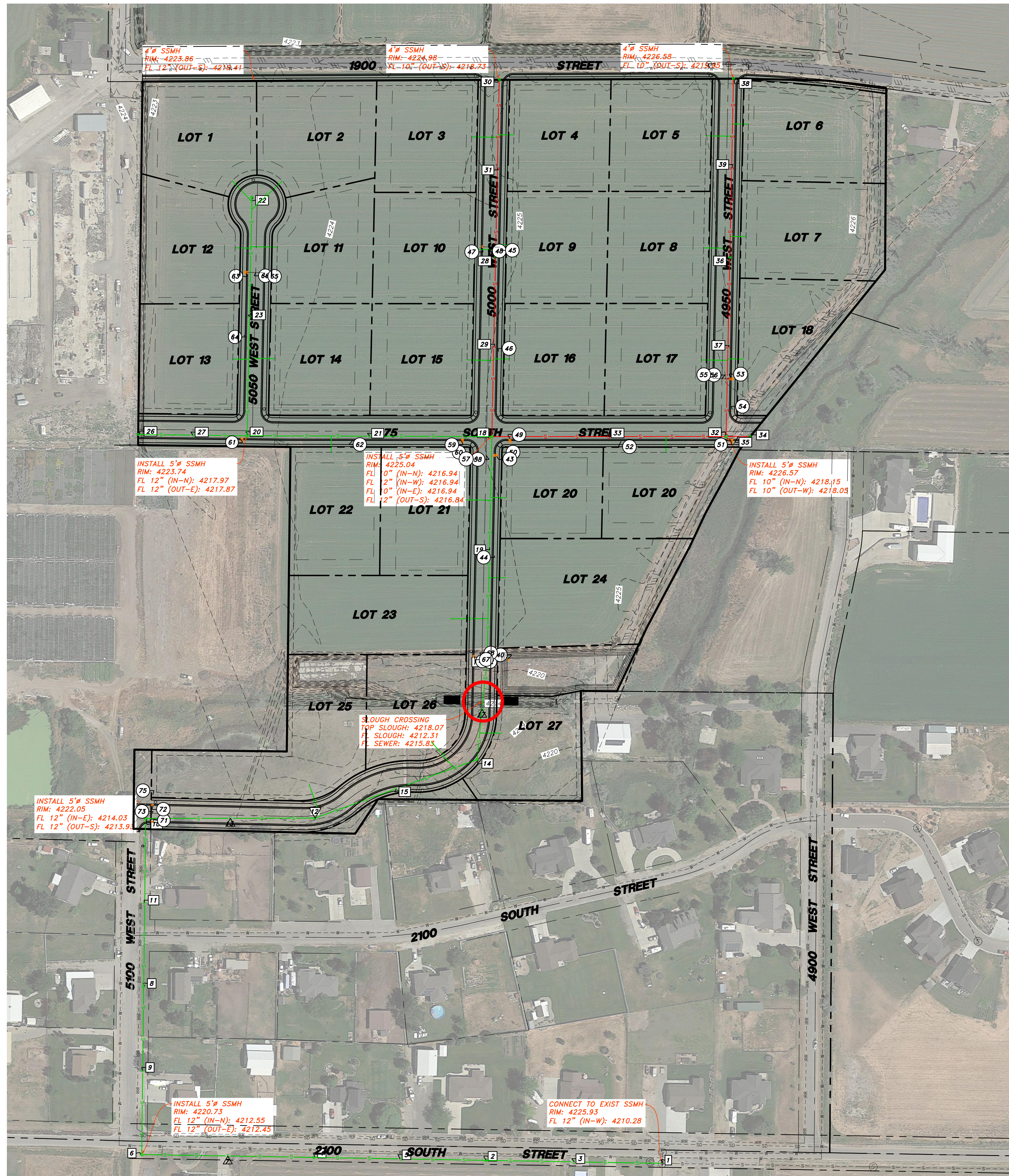
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





















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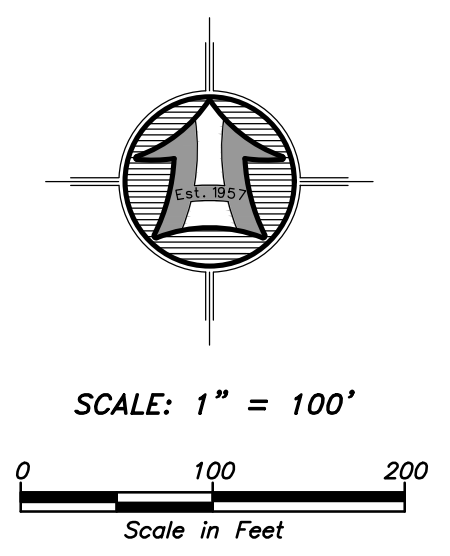
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LEGEND:

-  SUBDIVISION BOUNDARY
-  PROPOSED PROPERTY LINE
-  EXISTING PROPERTY LINE
-  EXISTING SEWER LINE
-  EXISTING WATER LINE
-  EXISTING STORM DRAIN PIPE
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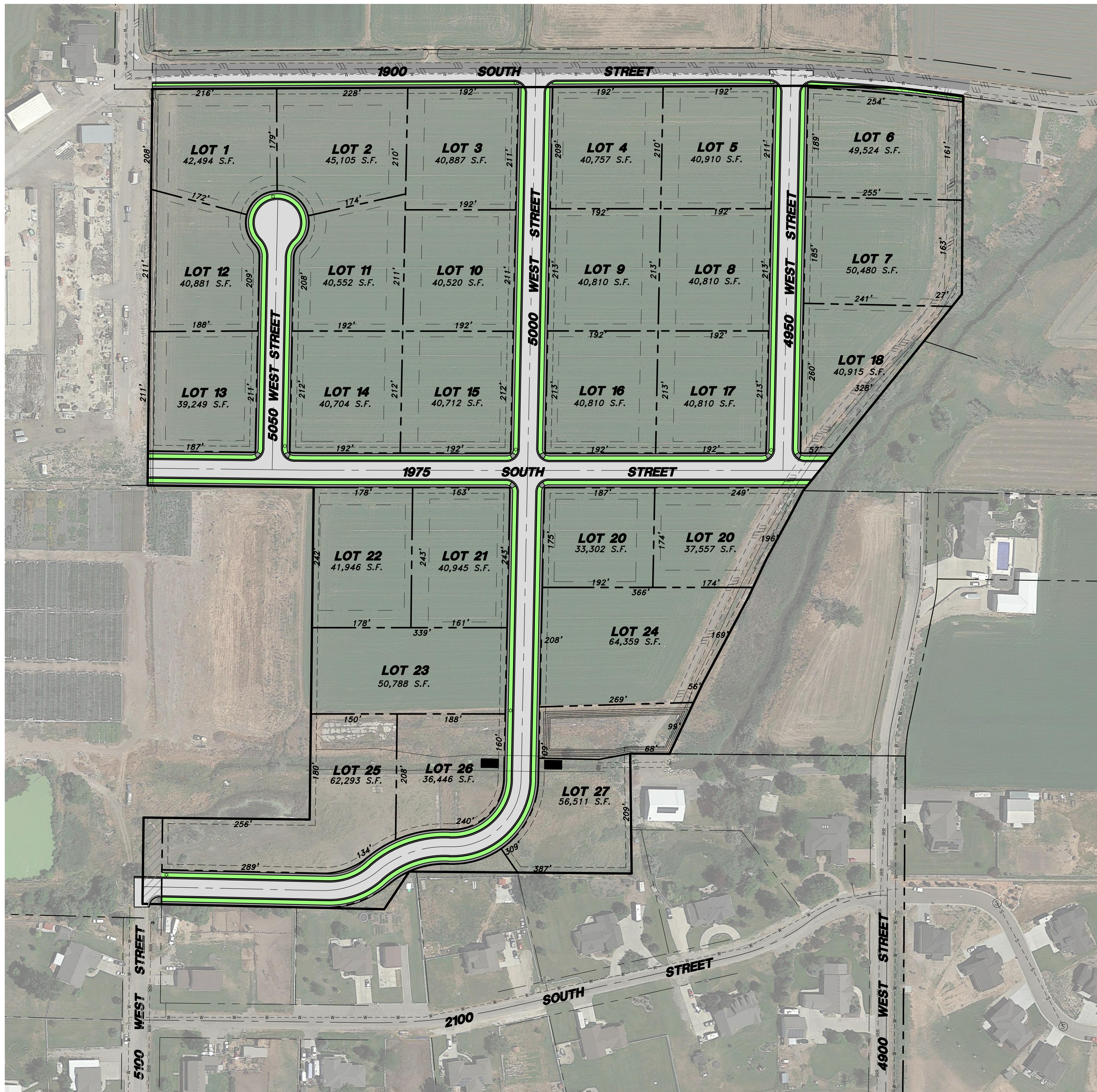


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OVERALL SEWER PLAN FOR
Saddlewood Estates
 2000 SOUTH 5000 WEST
 Taylor, Weber County, Utah
 A Part of the Northeast Quarter of Section 14,
 Township 9 North, Range 2 West, S.L.B.M.



TOTAL ACREAGE: 33.92
 REQ'D SETBACKS:
 FRONT - 30'
 REAR - 30'
 SIDE - 10', 24' AGGREGATE
 CORNER - 20'
 MIN. LOT WIDTH - 150'
 MIN. LOT SIZE - 40,000 SF
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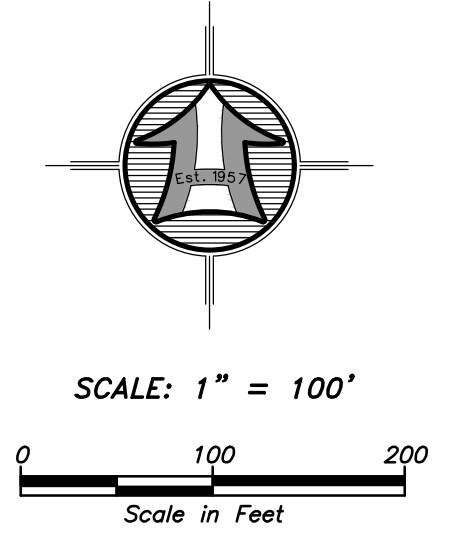
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AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

LEGEND:

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- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED SEWER LINE
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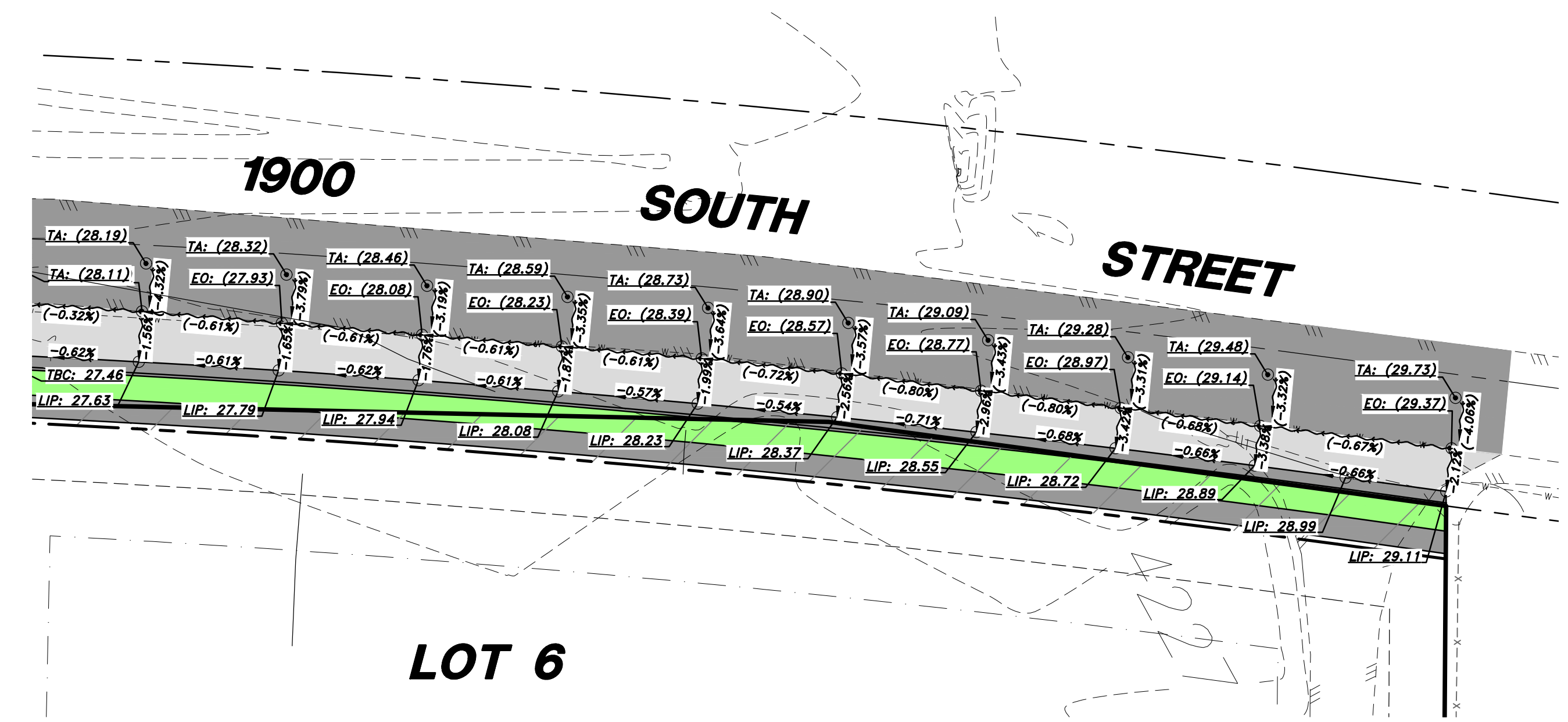
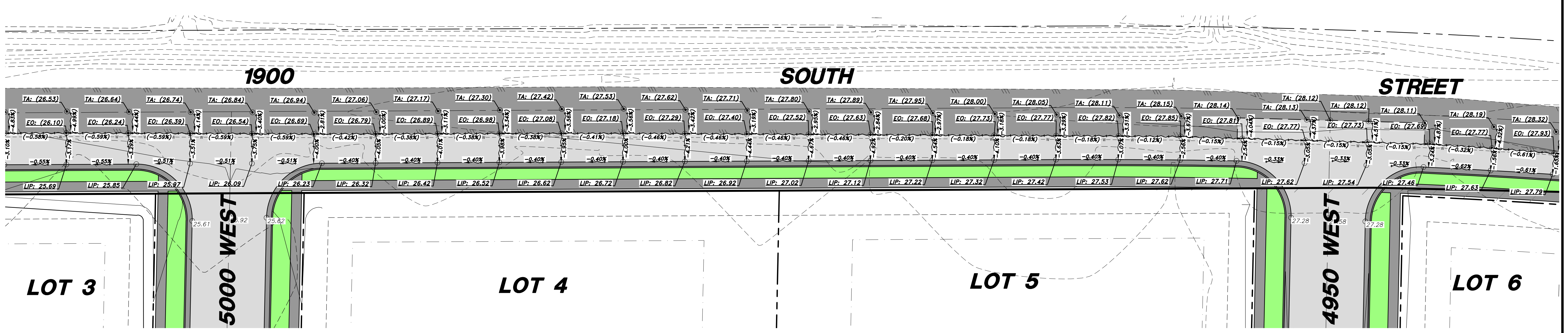
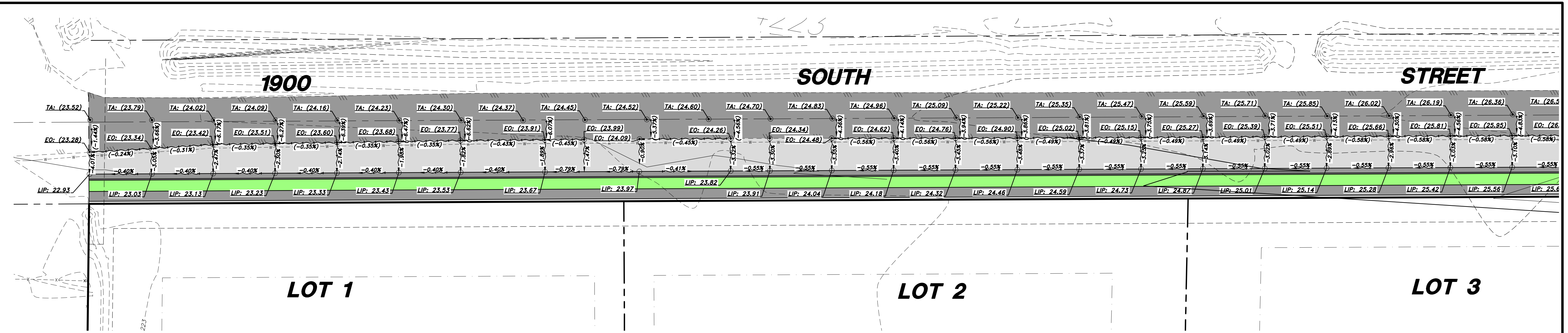
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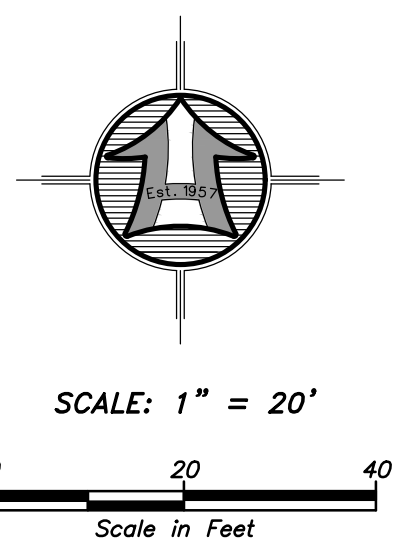
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Sheet
4
 of
23
 Sheets



DESIGN GRADE LIP: 32.03
 EXISTING GRADE (EO): 32.03
 DESIGN SLOPE 1.62%
 EXISTING SLOPE (2.50%)



LEGEND:

	SUBDIVISION BOUNDARY		EXISTING STORM DRAIN INLET
	PROPOSED PROPERTY LINE		EXISTING WATER METER
	EXISTING SEWER LINE		EXISTING FIRE HYDRANT
	EXISTING WATER LINE		EXISTING LIGHT POLE
	PROPOSED SEWER LINE		PROPOSED SEWER MANHOLE
	PROPOSED WATER LINE		PROPOSED STORM DRAIN MANHOLE
	PROPOSED SECONDARY WATER LINE		PROPOSED STORM DRAIN INLET
	EXISTING STORM DRAIN PIPE		PROPOSED WATER METER
	PROPOSED SEWER PIPE		PROPOSED FIRE HYDRANT
	PROPOSED WATER PIPE		EXISTING CURB & GUTTER
	PROPOSED SECONDARY WATER PIPE		EXISTING SIDEWALK
	PROPOSED STORM DRAIN PIPE		PROPOSED CURB & GUTTER
	SAW-CUT REQ'D.		PROPOSED SIDEWALK
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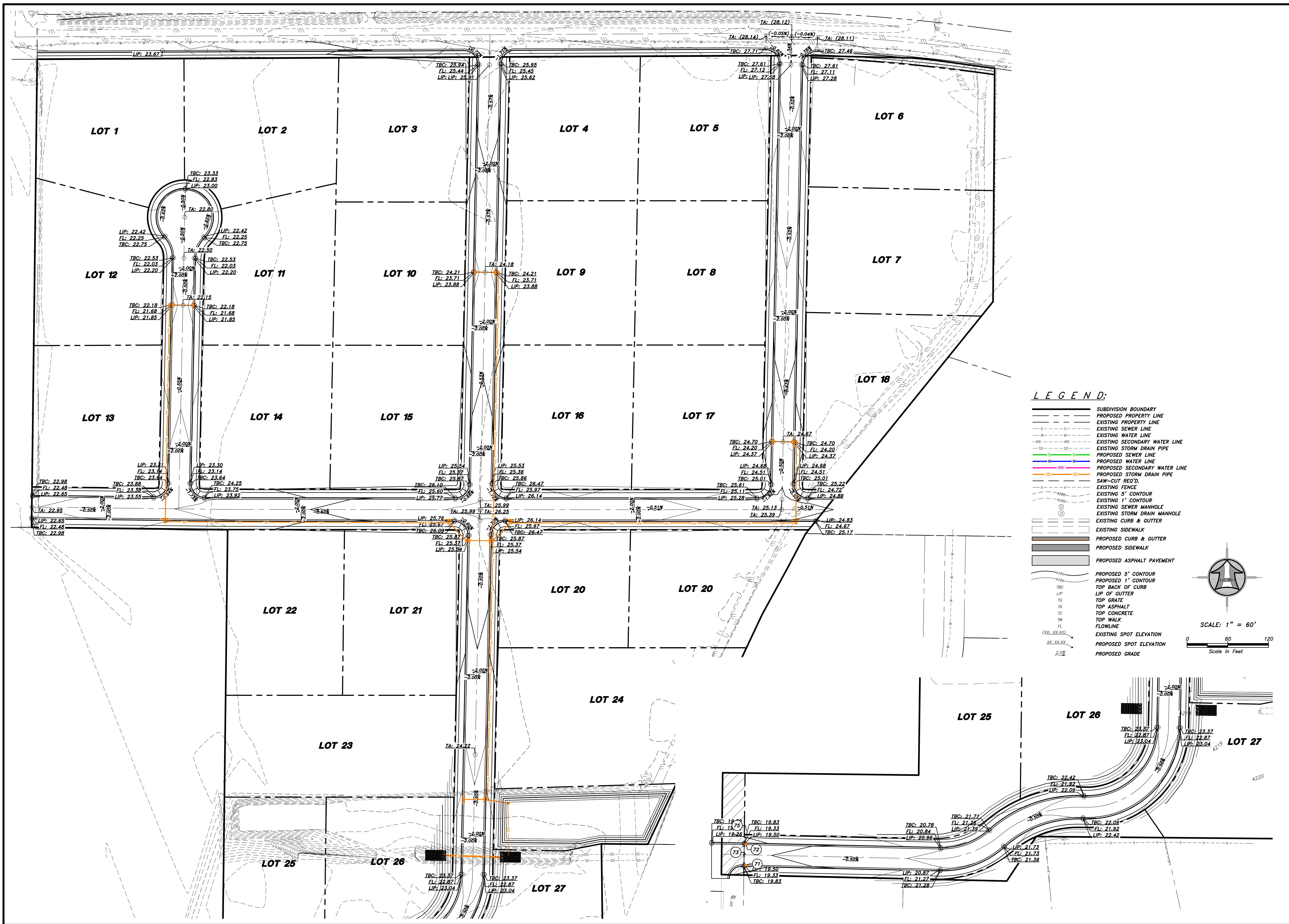
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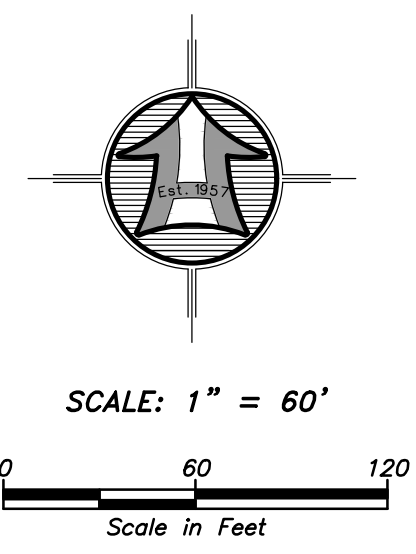
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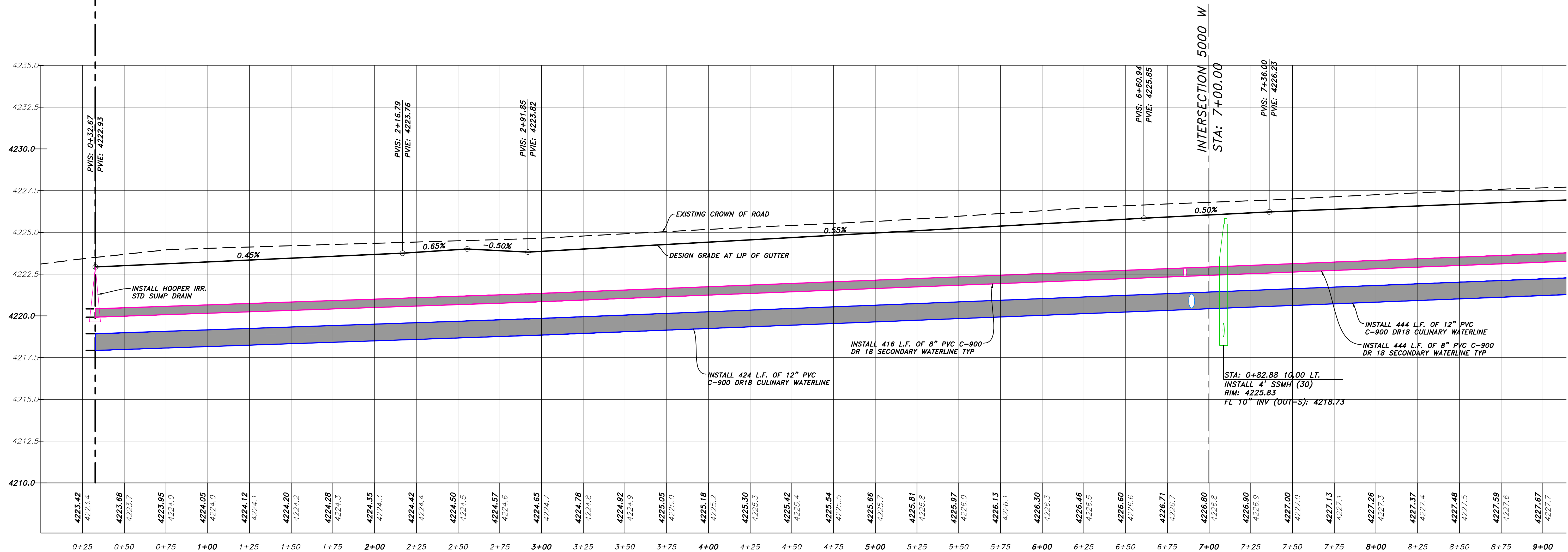
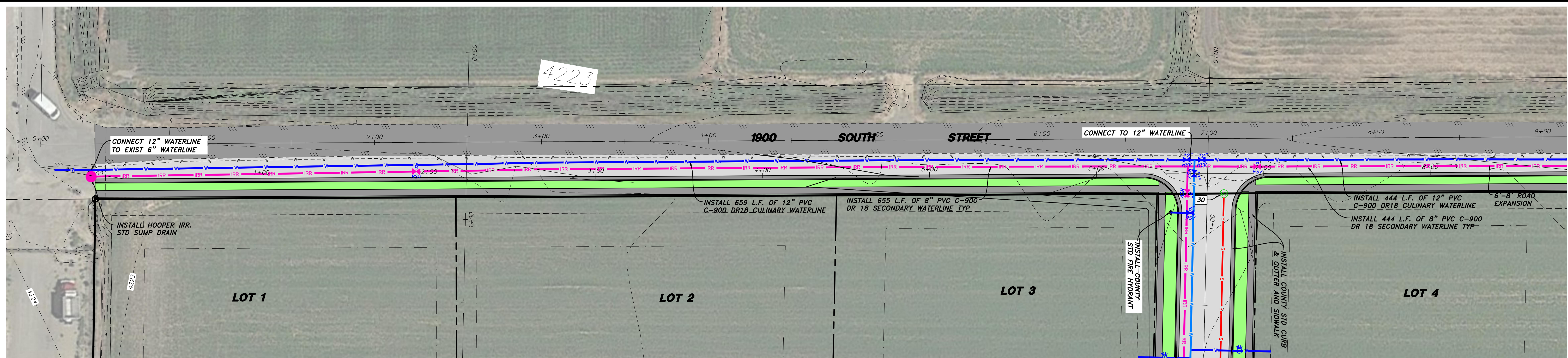


LEGEND:

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- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED 5' CONTOUR
- PROPOSED 1' CONTOUR
- TOP BACK OF CURB
- LIP OF GUTTER
- TOP GRATE
- TOP ASPHALT
- TOP CONCRETE
- TOP WALK
- FLOWLINE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED GRADE

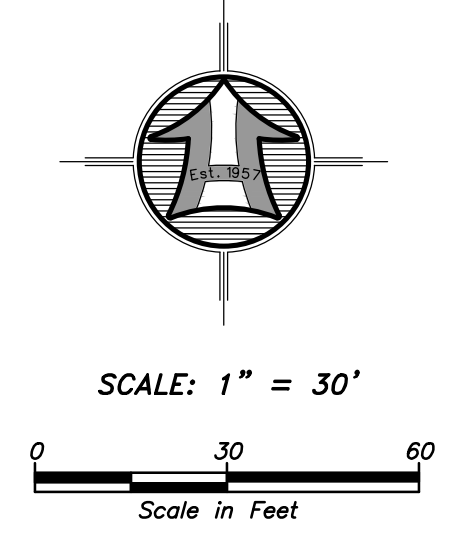


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<p>Saddlewood Estates 2000 SOUTH 5000 WEST Taylor, Weber County, Utah A Part of the Northeast Quarter of Section 14, Township 9 North, Range 2 West, S.L.B.#M.</p>	
<p>Overall Grading Plan for</p>	
<p>Sheet 6 of 23 Sheets</p>	



LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED WATER LINE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN PIPE
- SAW-CUT REQ'D.
- EXISTING FENCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- PROPOSED SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT



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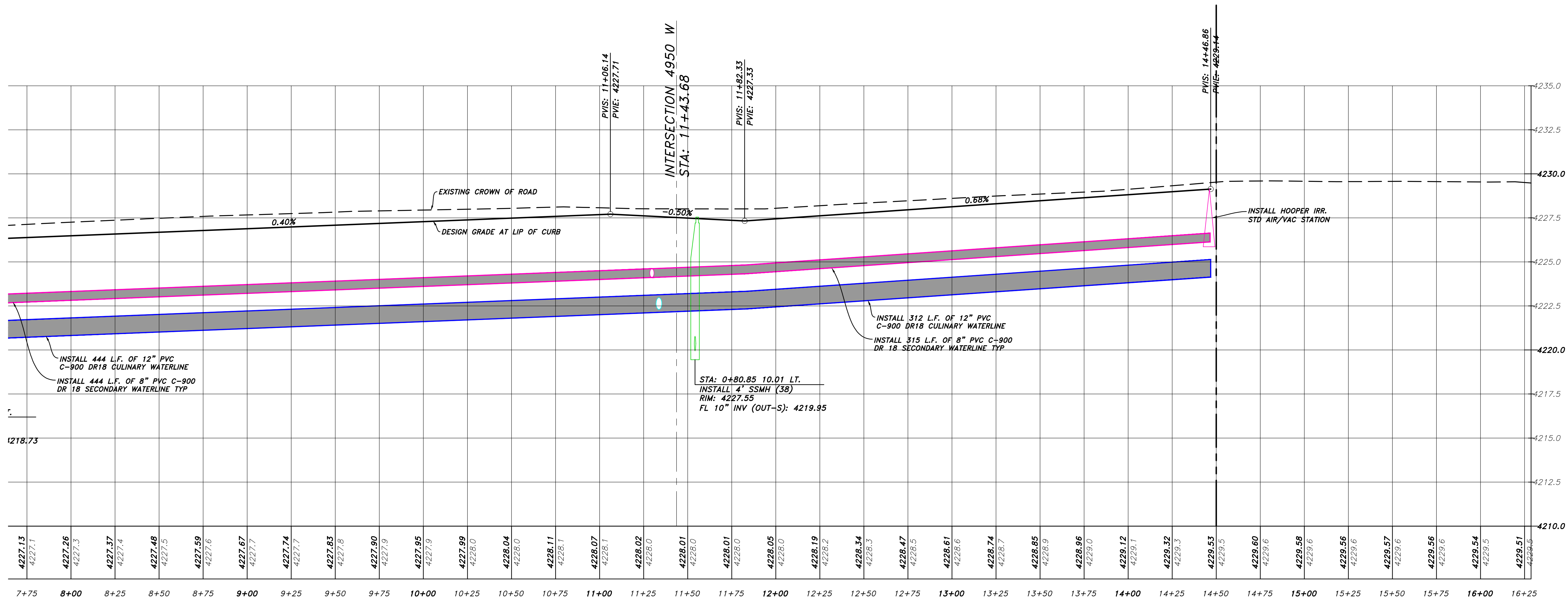
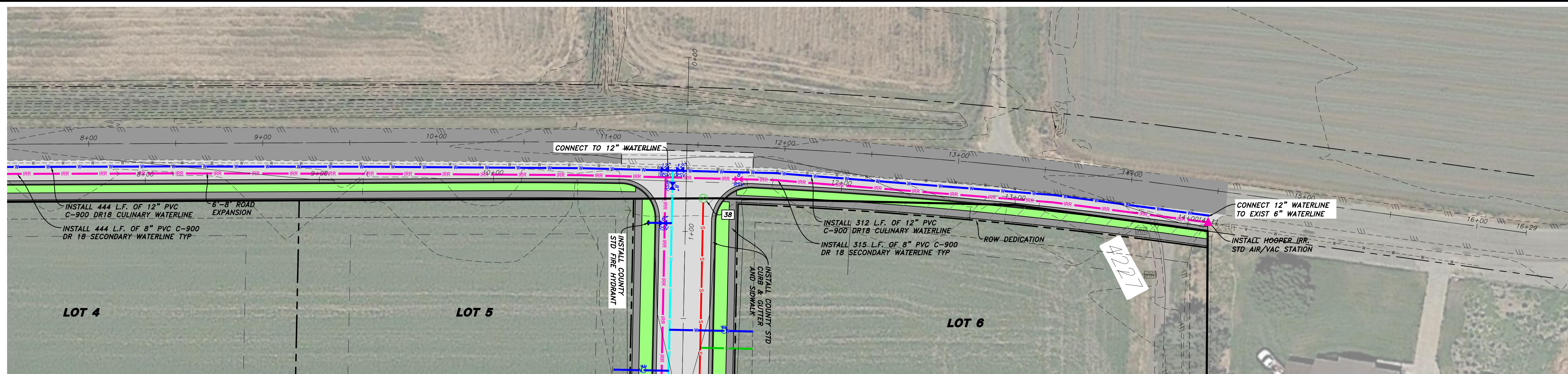
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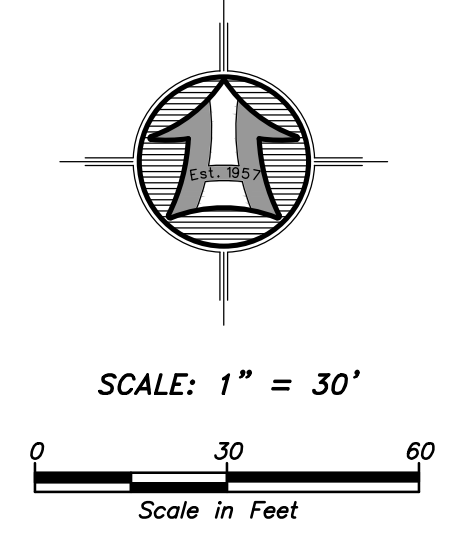
Saddlewood Estates
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the North Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.&M.

Sheet
7
of
23
Sheets



LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED WATER LINE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN PIPE
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- EXISTING 1' CONTOUR
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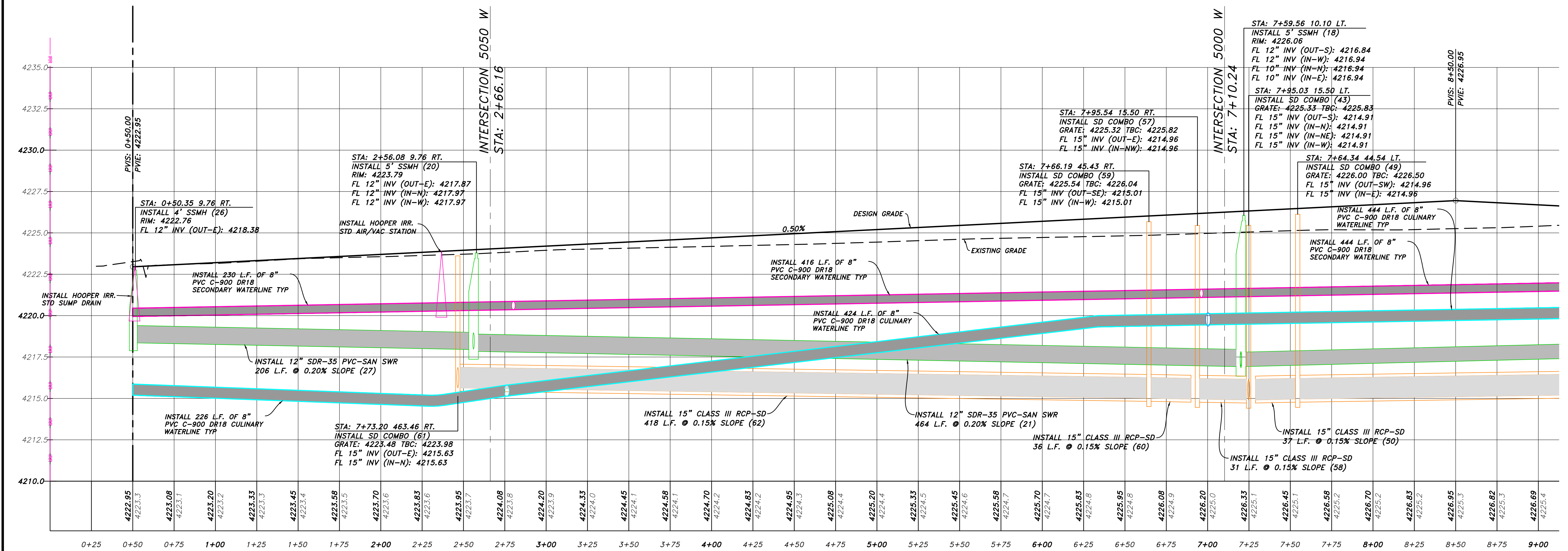
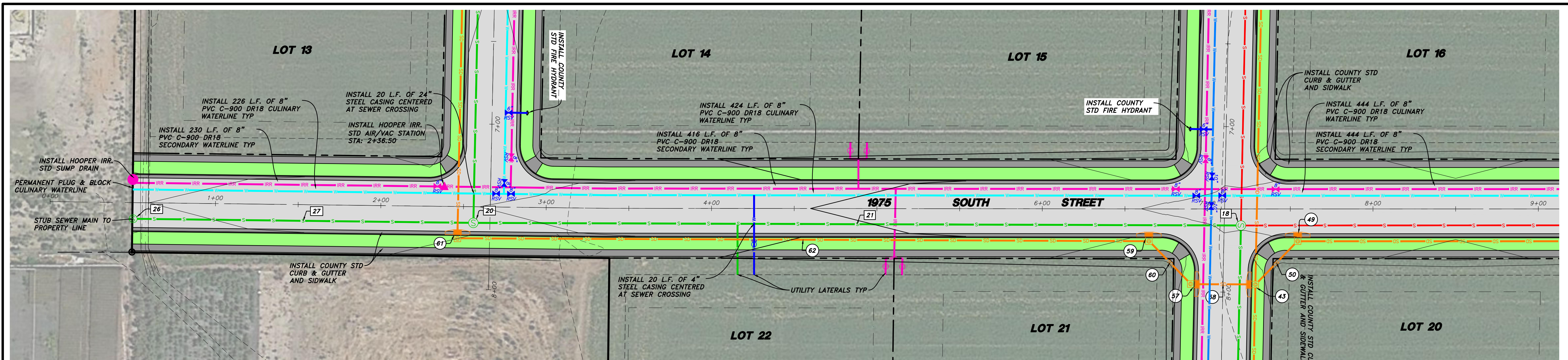
1900 SOUTH PLAN & PROFILE FOR FOR

Saddlewood Estates
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.&M.

Drawn By: BTC Date: 10/06/21
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JOB NUMBER: 20-162

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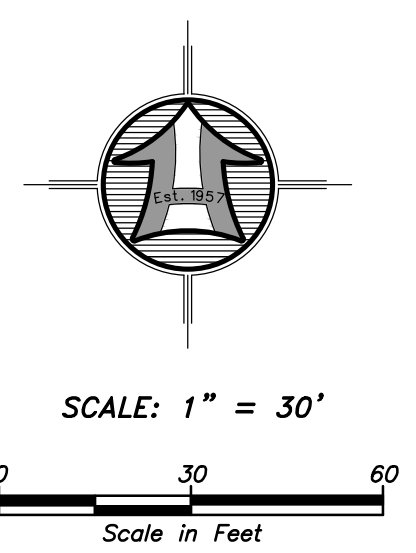
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- EXISTING SECONDARY WATER LINE
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- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT



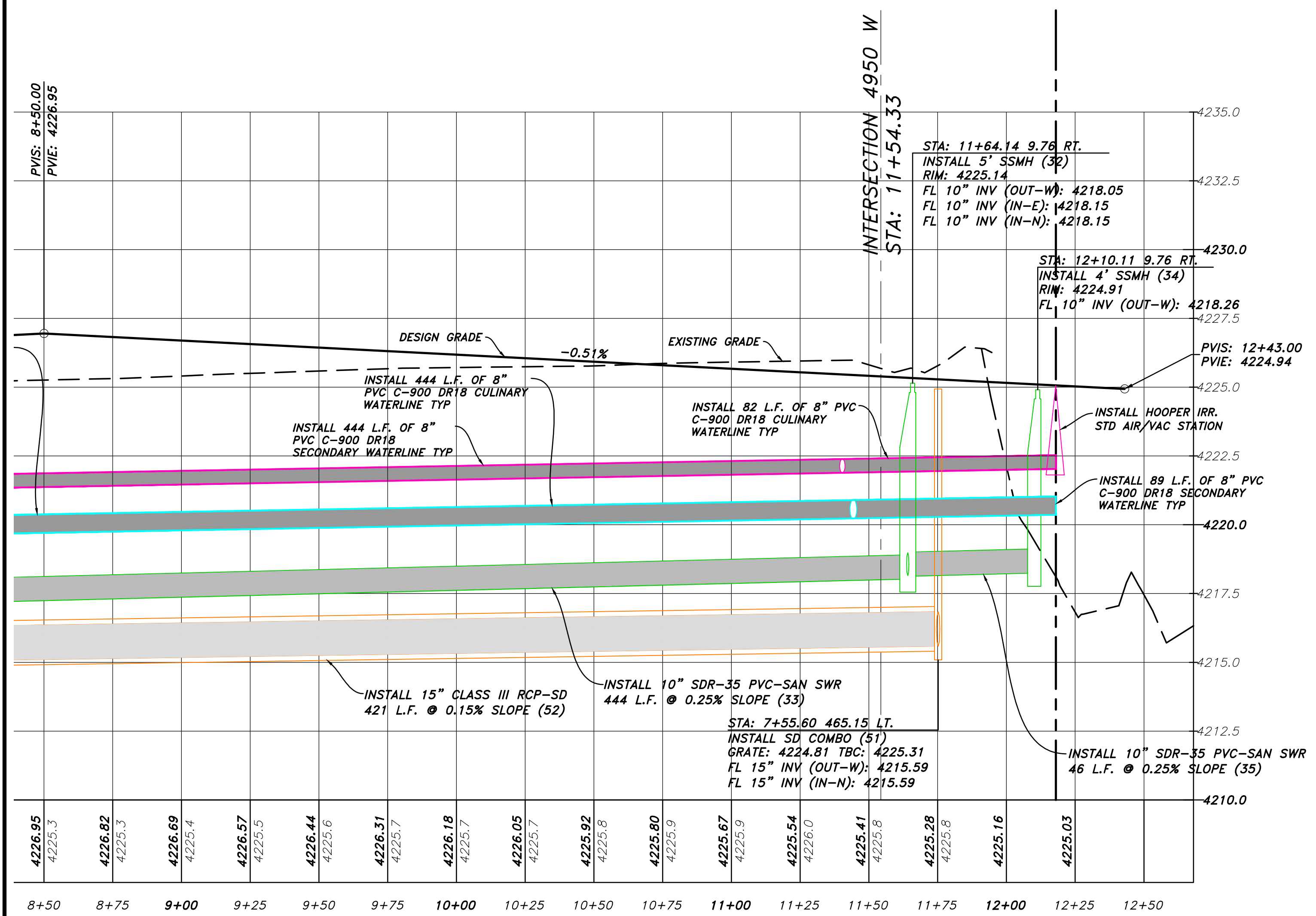
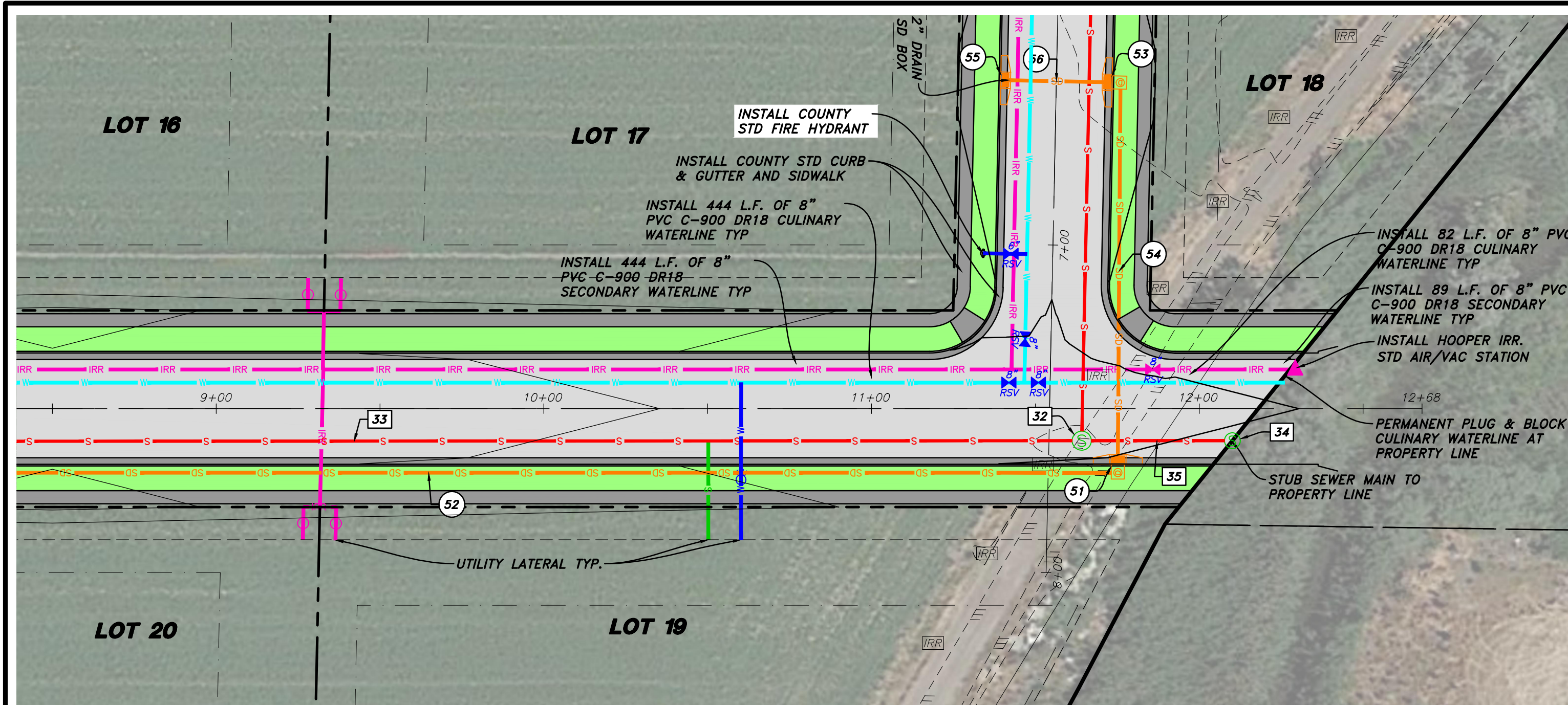
2000 SOUTH PLAN & PROFILE FOR FOR

Saddlewood Estates
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.M.

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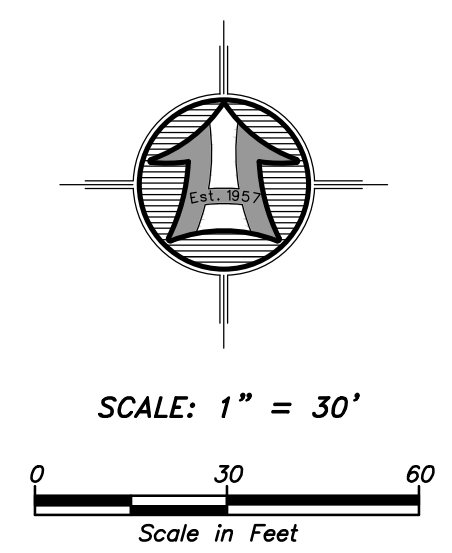
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- EXISTING SIDEWALK
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT



2000 SOUTH PLAN & PROFILE FOR FOR

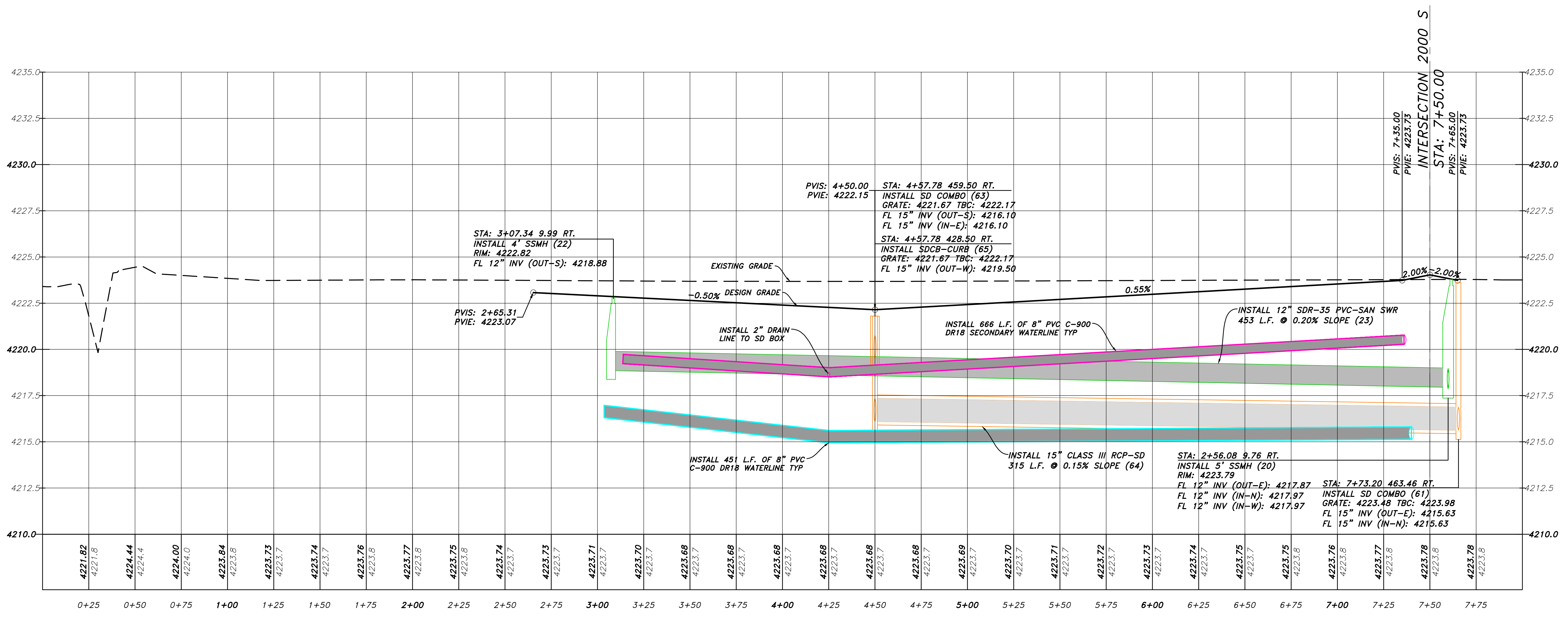
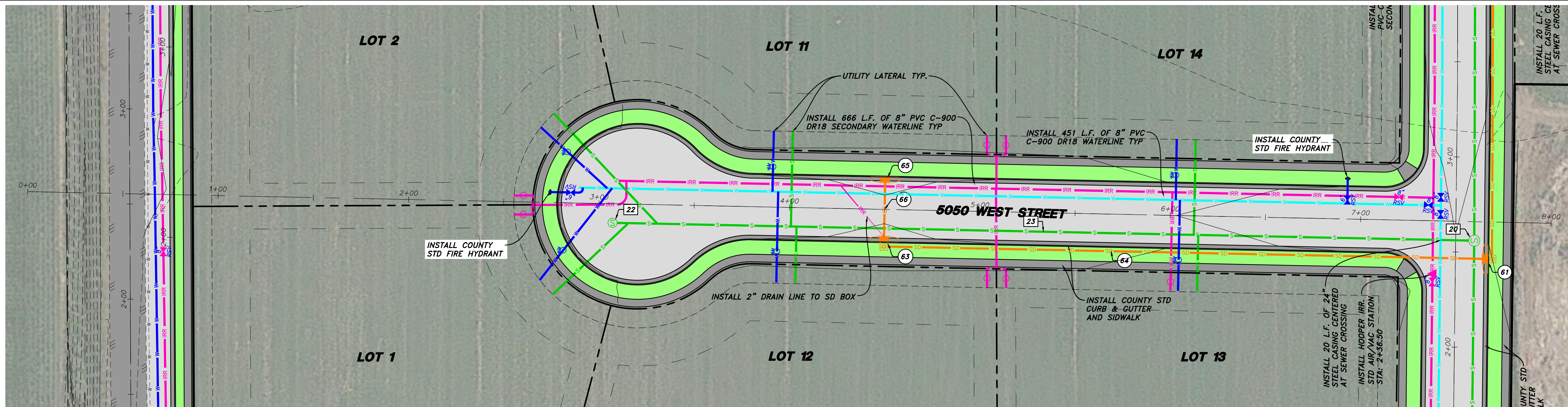
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Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.M.

Sheet **10** of **23** Sheets

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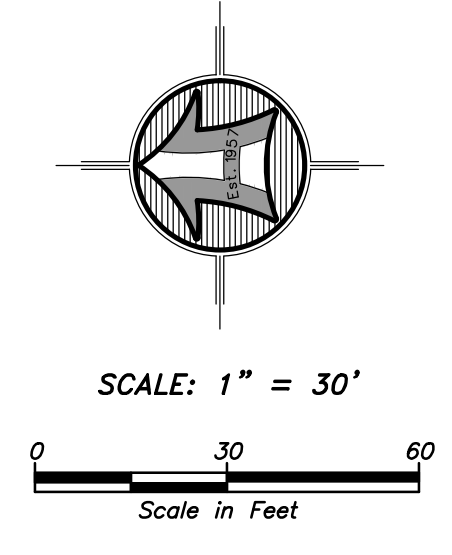
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- SUBDIVISION BOUNDARY
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5050 WEST PLAN & PROFILE FOR FOR

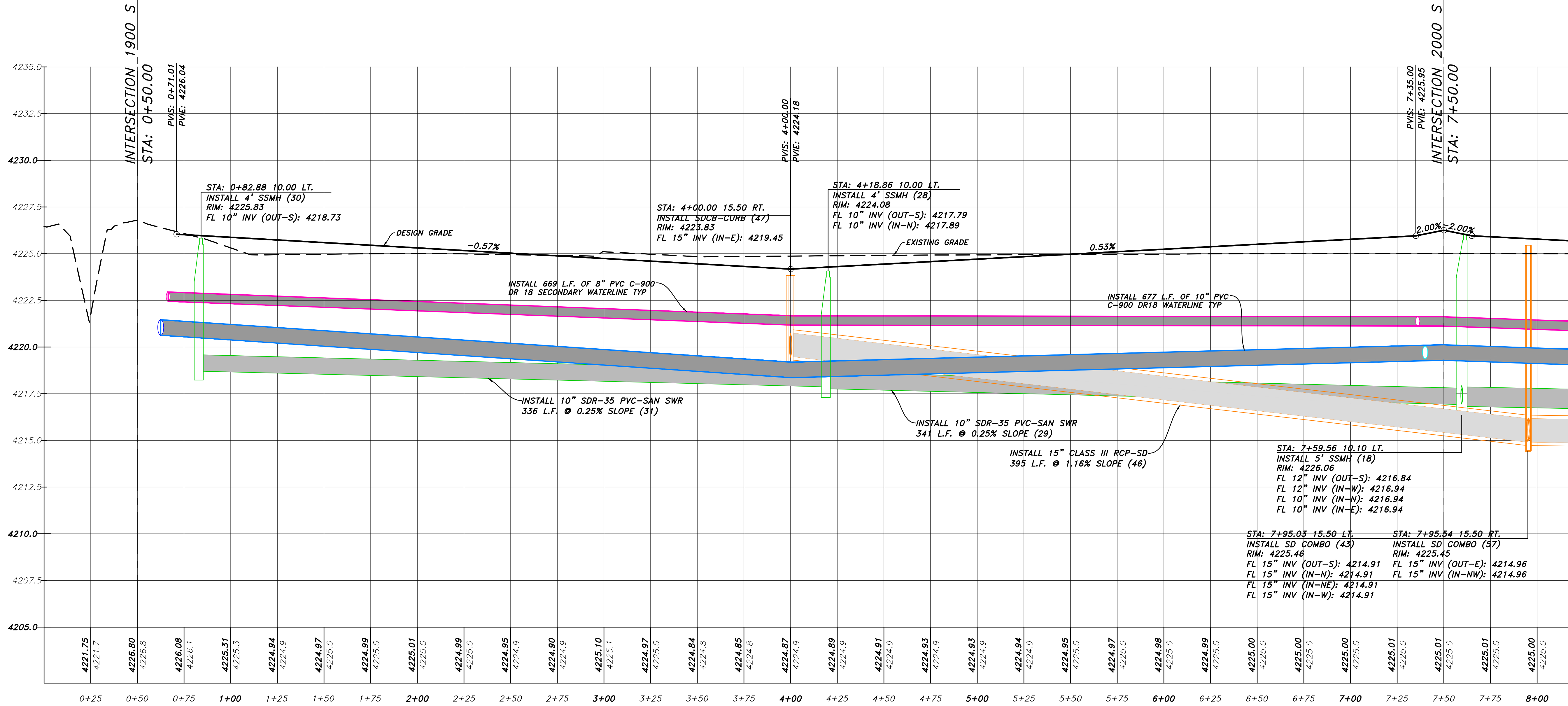
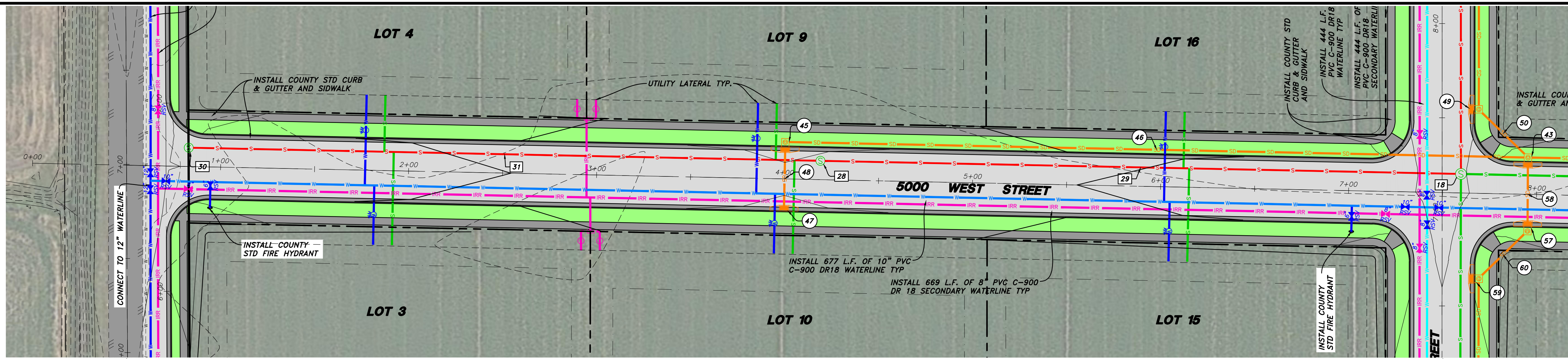
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Sheet **11** of **23** Sheets

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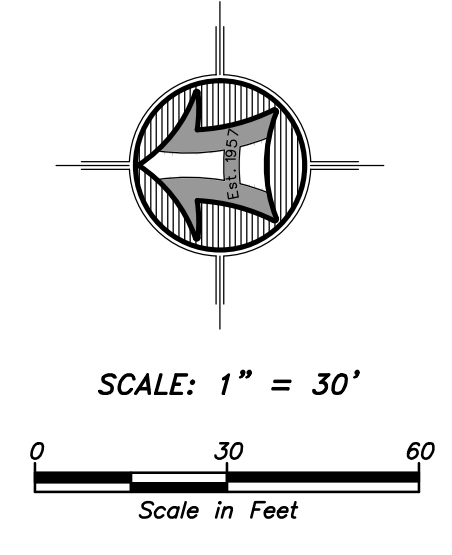
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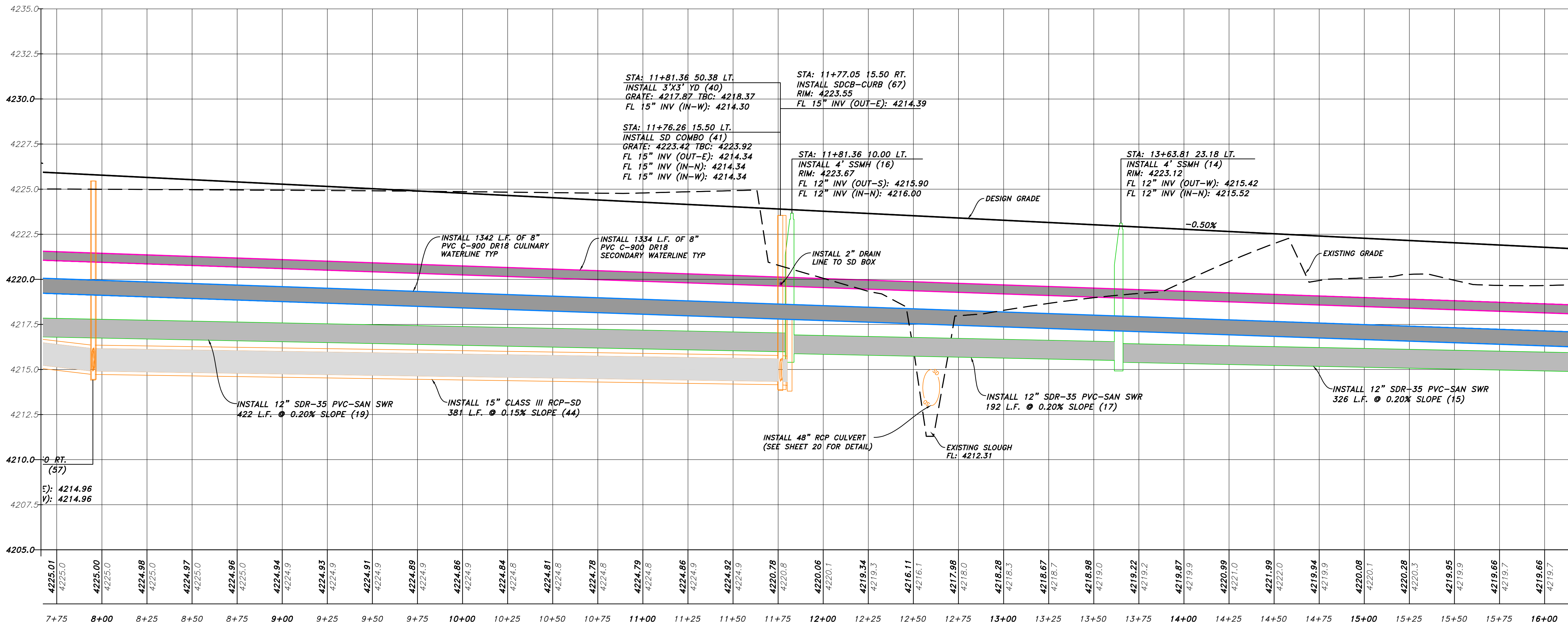
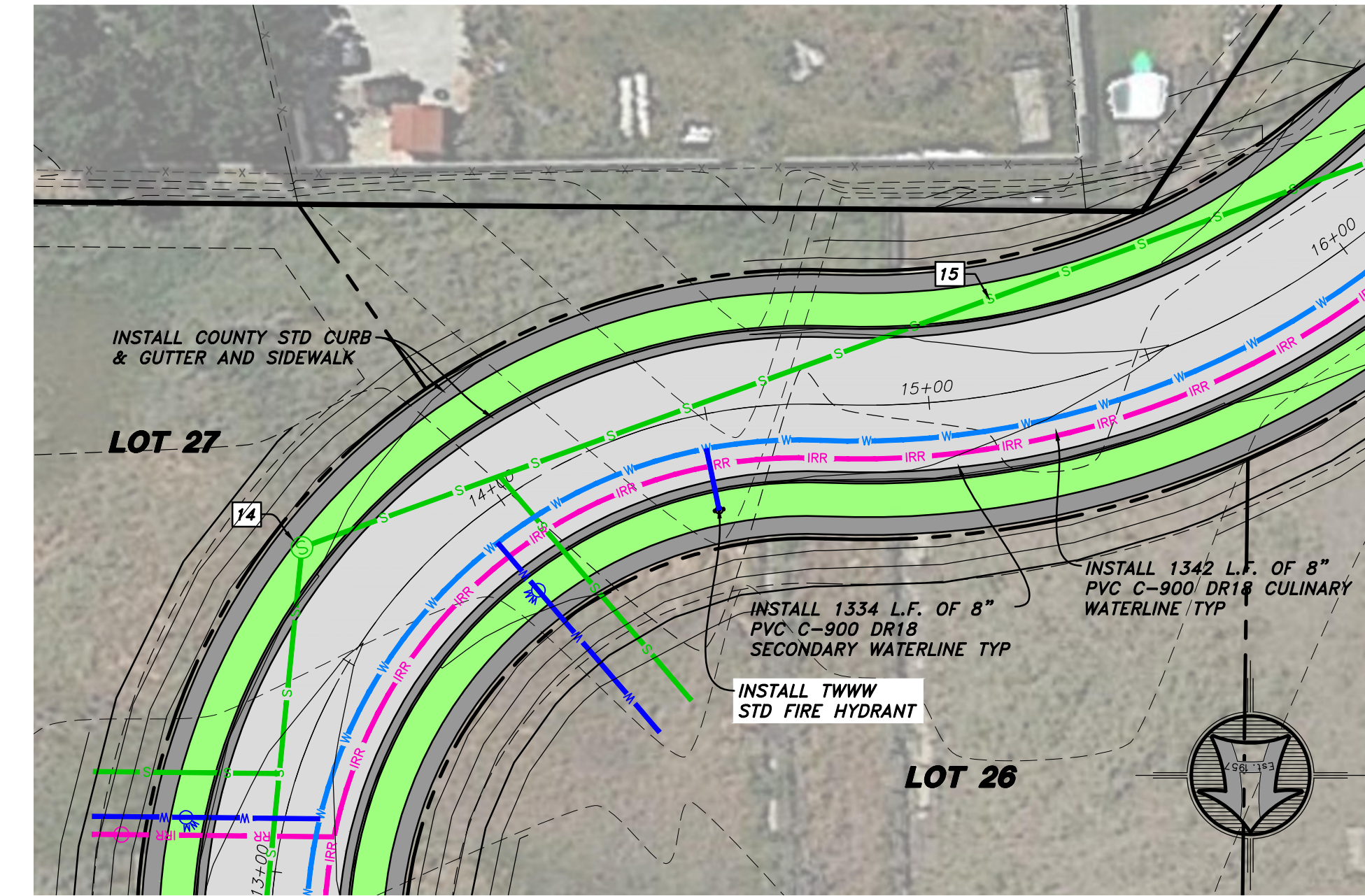
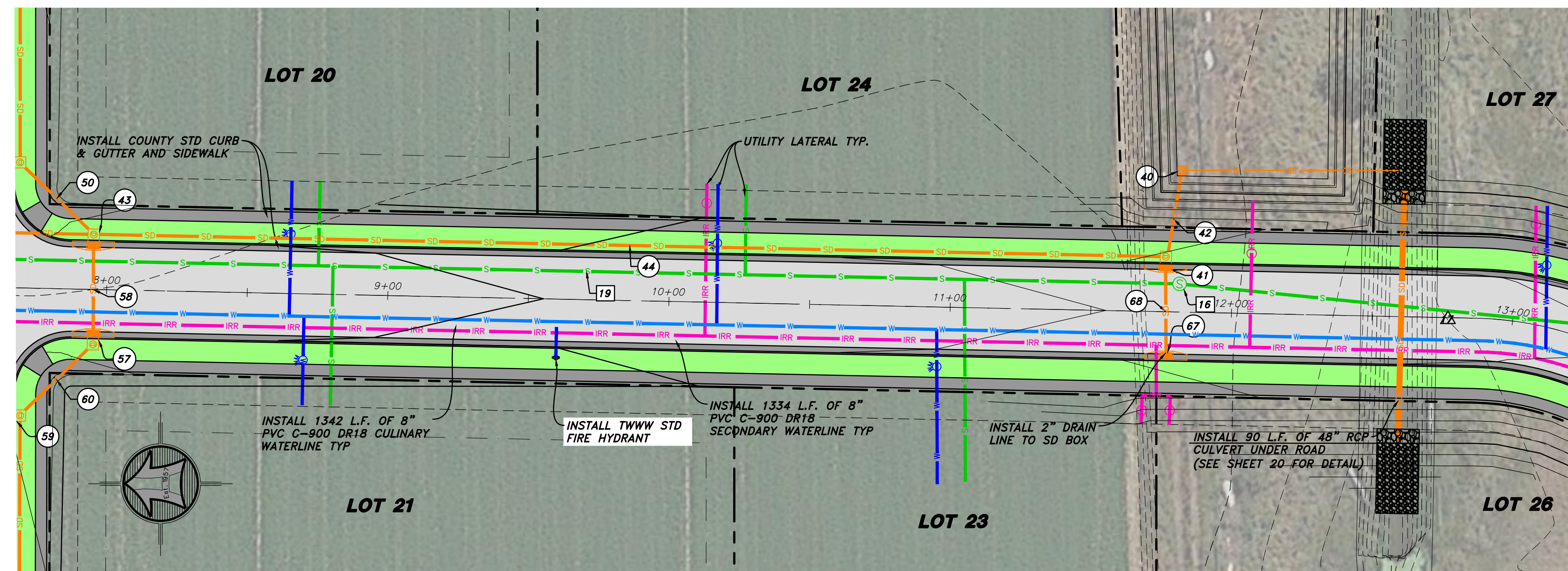
5000 WEST PLAN & PROFILE FOR FOR

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2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
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Drawn By: BTC Date: 10/06/21
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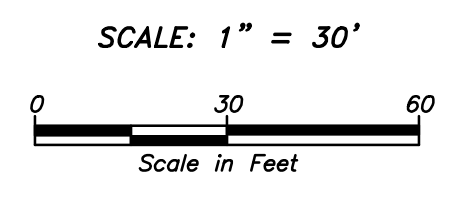
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LEGEND:

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- EXISTING SEWER LINE
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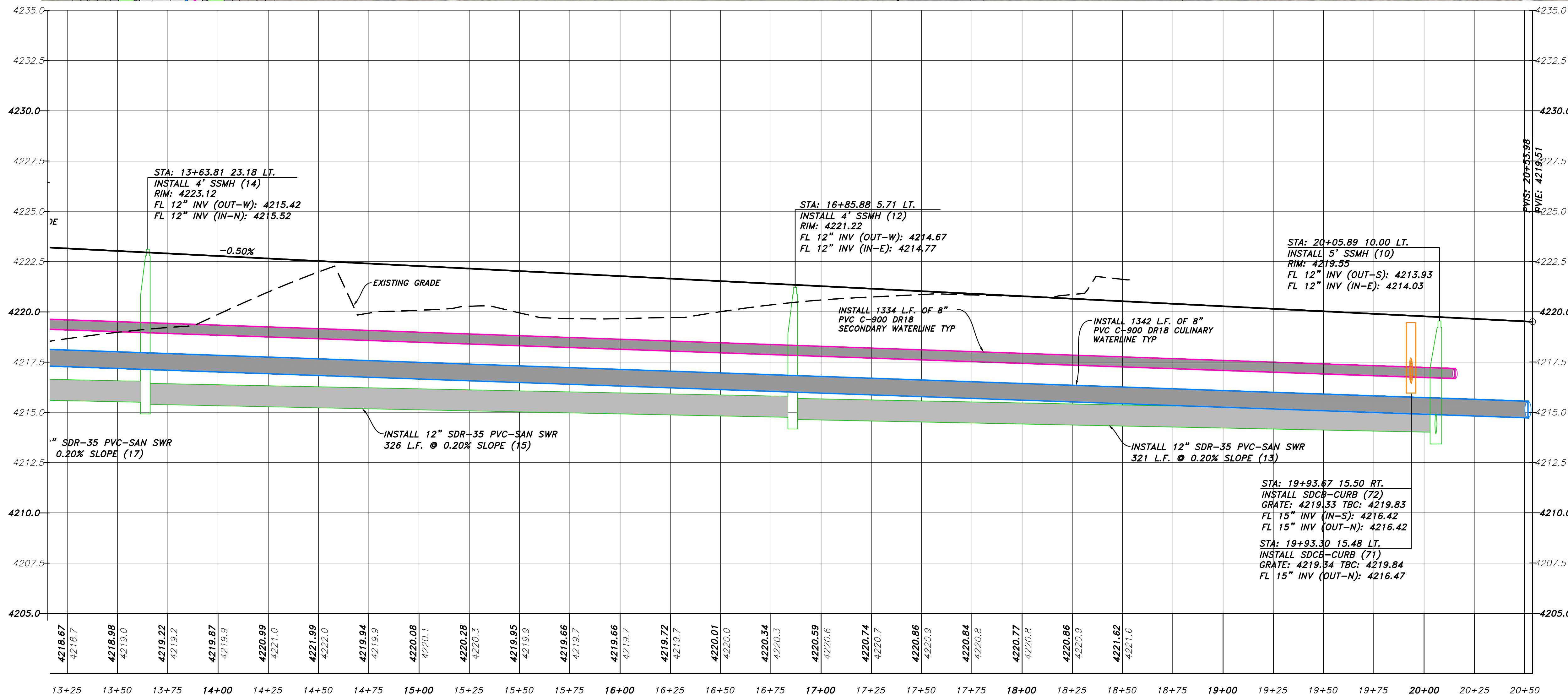
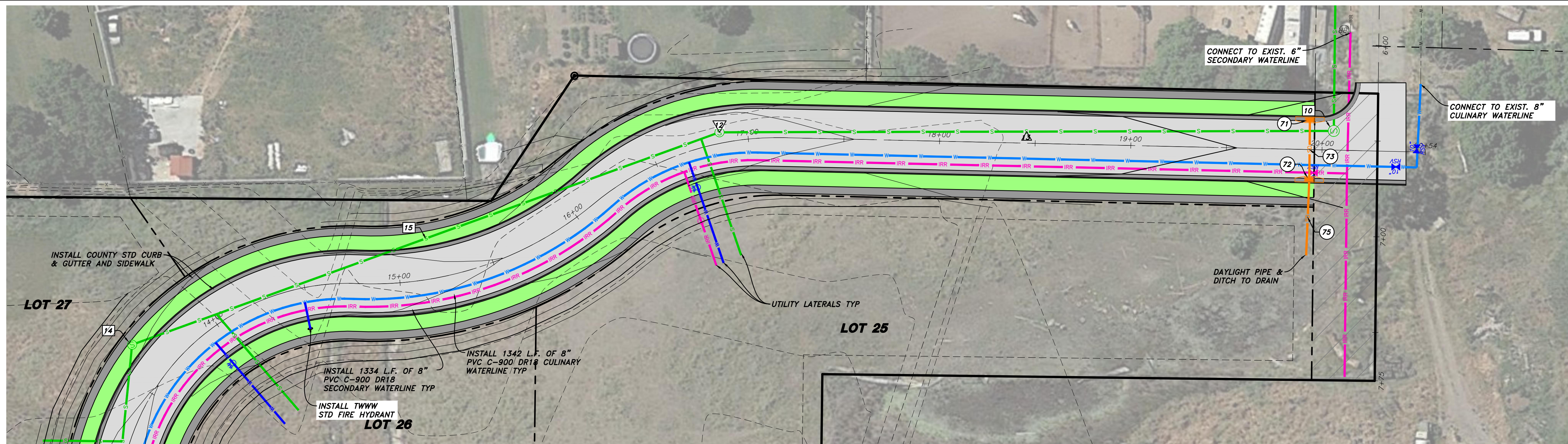
5000 WEST PLAN & PROFILE FOR FOR

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Sheets



LEGEND:

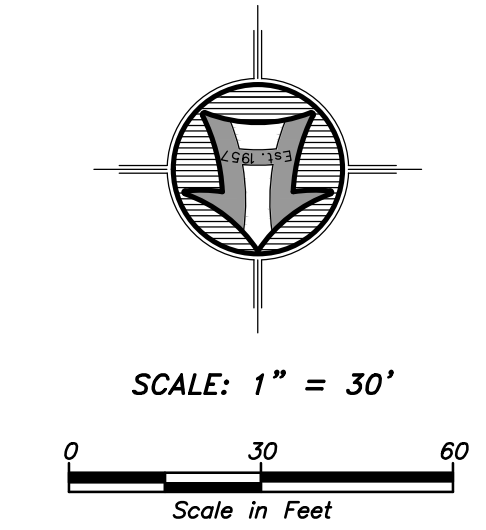
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---	PROPOSED PROPERTY LINE	---	EXISTING WATER METER
---	EXISTING PROPERTY LINE	---	EXISTING FIRE HYDRANT
---	EXISTING SEWER LINE	---	EXISTING LIGHT POLE
---	EXISTING WATER LINE	---	PROPOSED SEWER MANHOLE
---	EXISTING STORM DRAIN PIPE	---	PROPOSED STORM DRAIN MANHOLE
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---	EXISTING STORM DRAIN MANHOLE	---	

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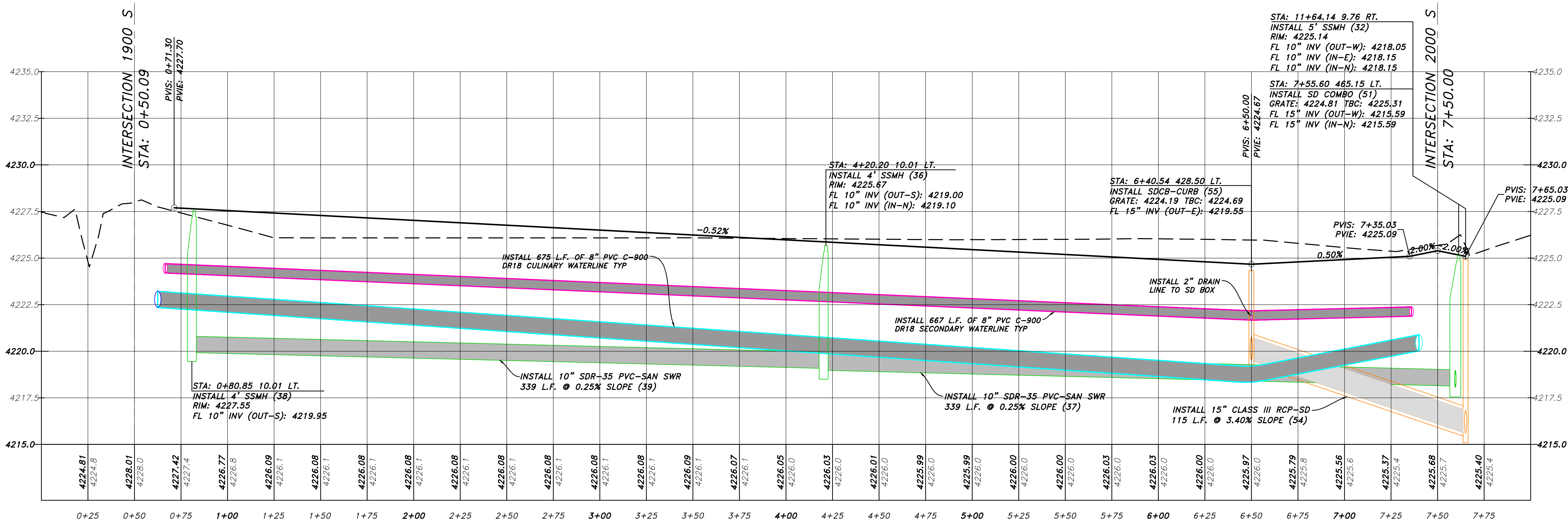
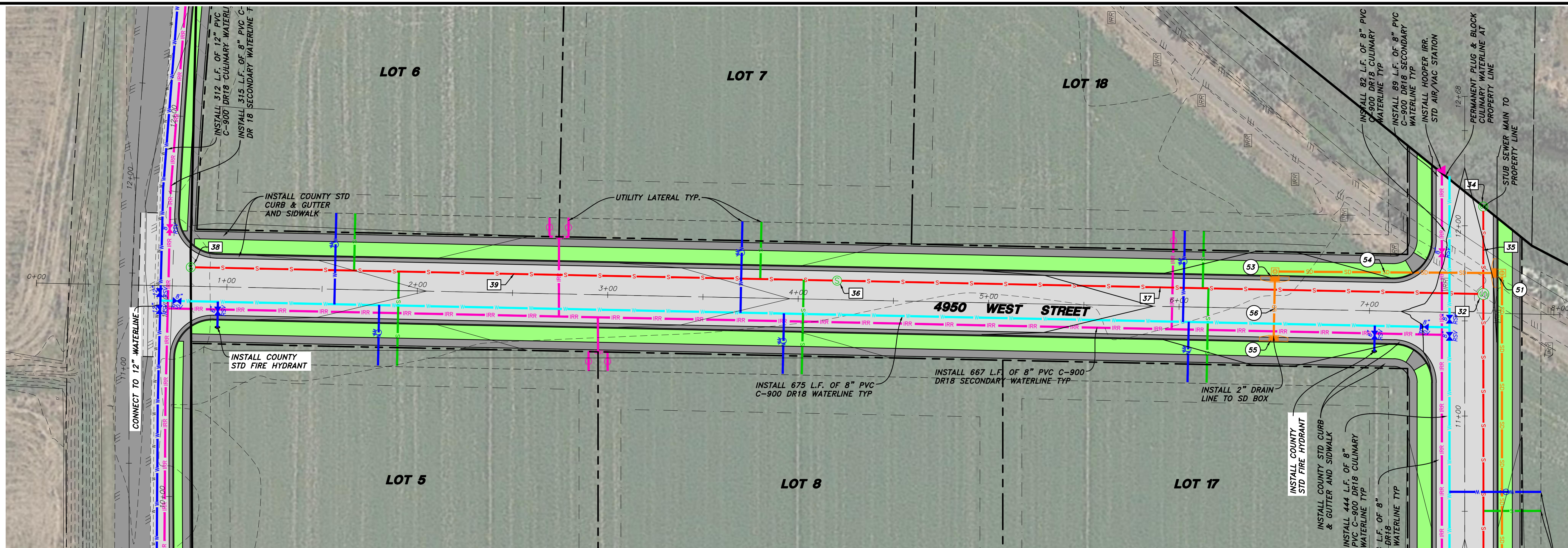


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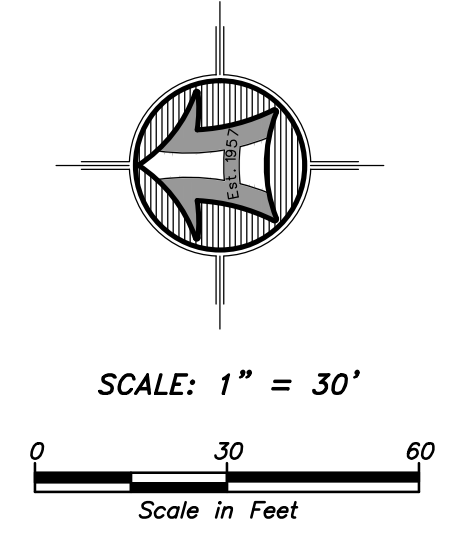
Saddlewood Estates
5000 WEST PLAN & PROFILE FOR FOR
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.M.

Sheet
14
of
23
Sheets



LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED WATER LINE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN PIPE
- SAW-CUT REQ'D.
- EXISTING FENCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- EXISTING SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT



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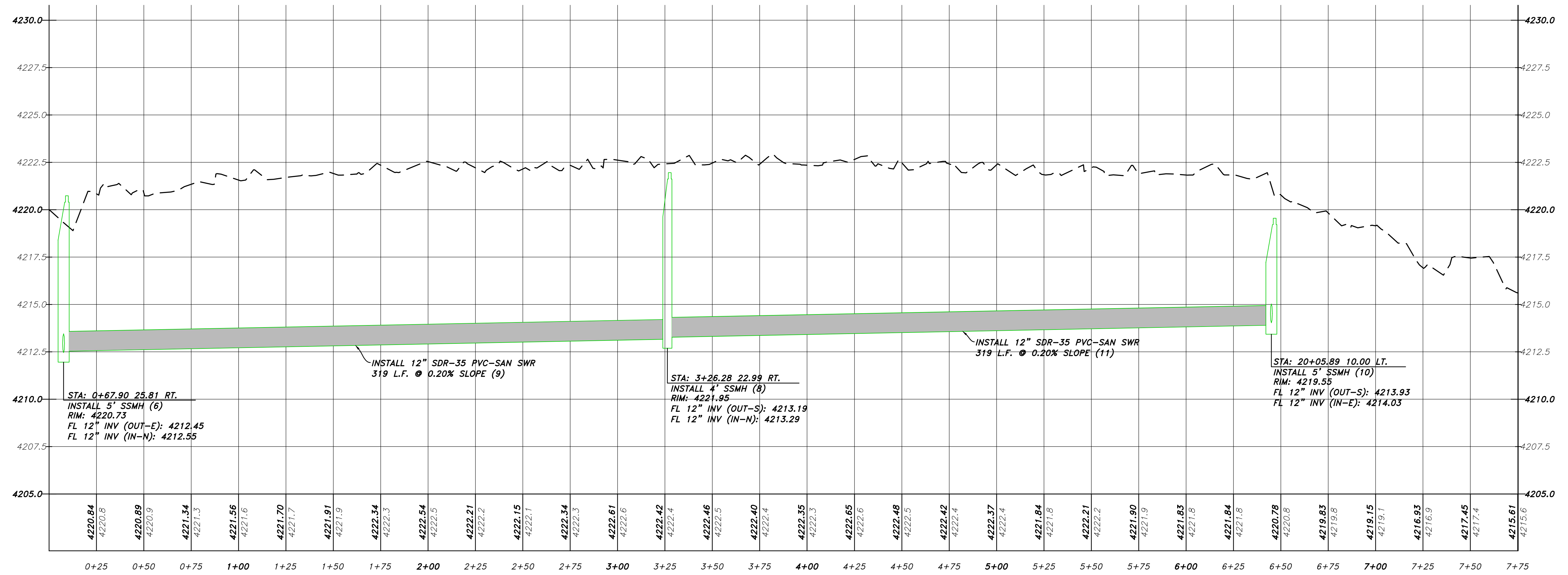
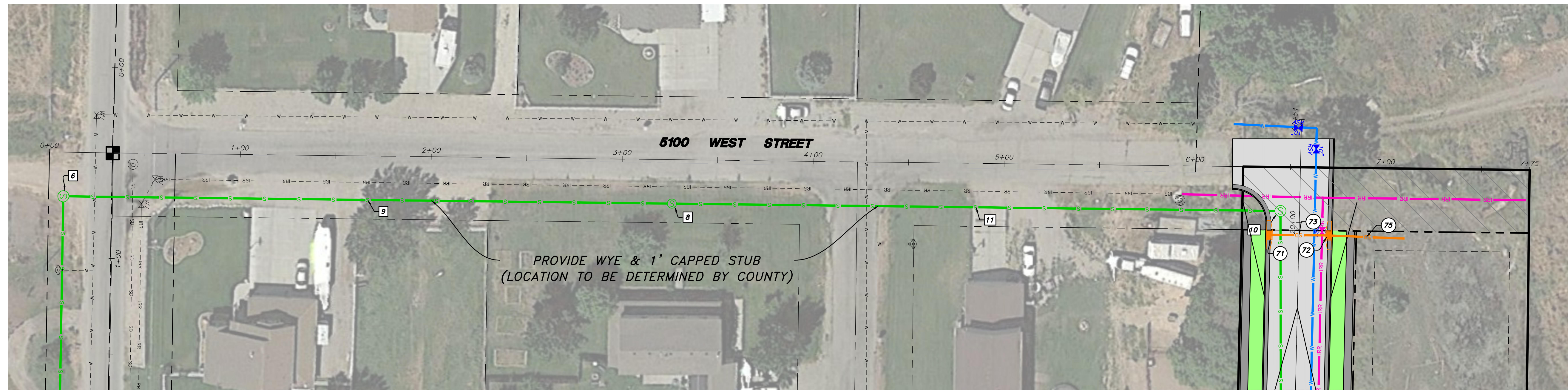
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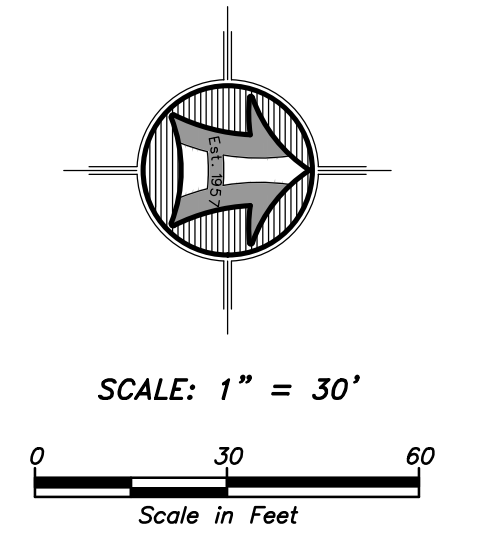
Saddlewood Estates
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.&M.

Sheet **15** of **23** Sheets



LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- - - EXISTING PROPERTY LINE
- - - EXISTING SEWER LINE
- - - EXISTING WATER LINE
- - - EXISTING SECONDARY WATER LINE
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- - - EXISTING STORM DRAIN MANHOLE
- - - EXISTING FENCE
- - - EXISTING 5' CONTOUR
- - - EXISTING SEWER MANHOLE
- - - EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN PIPE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN MANHOLE
- SAW-CUT REQ'D.
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED CURB & GUTTER
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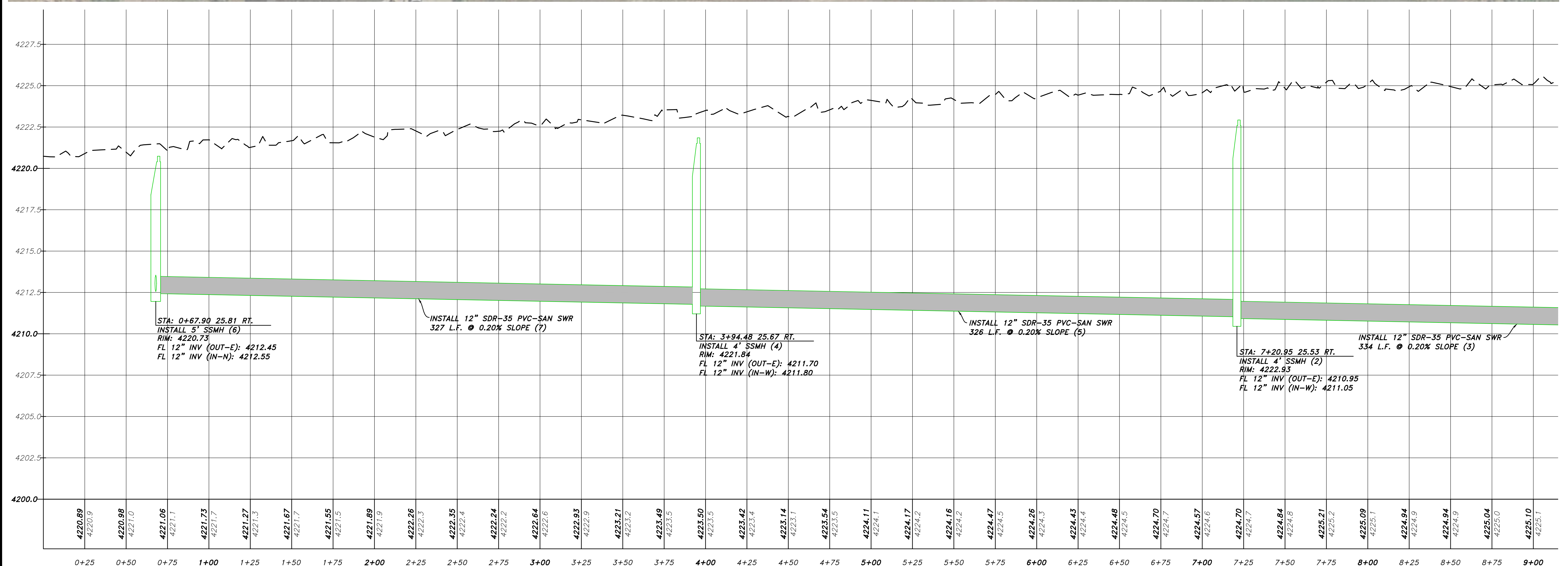
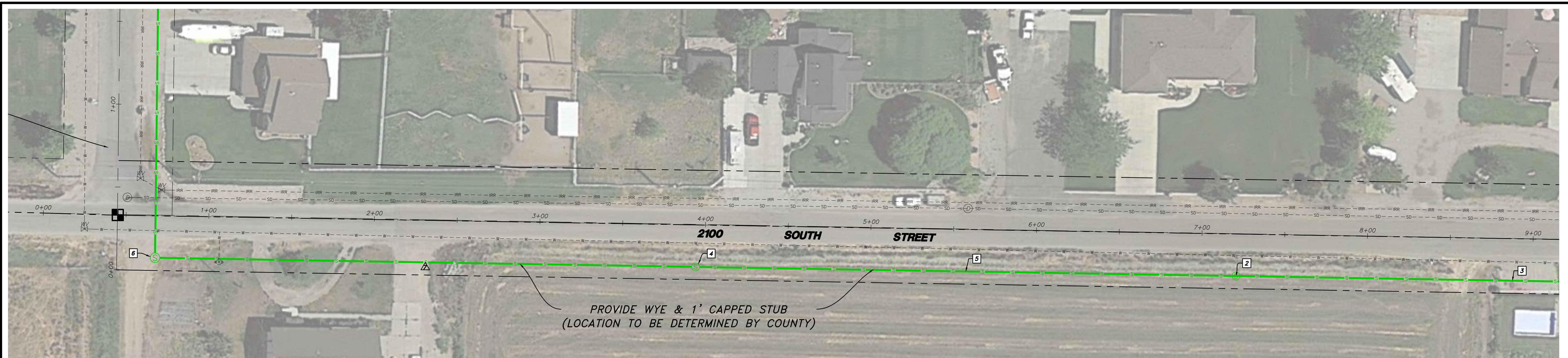
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 Township 9 North, Range 2 West, S.L.B.&M.

5100 WEST PLAN & PROFILE FOR FOR

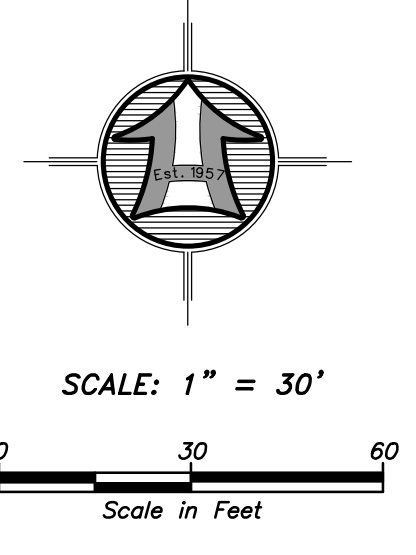
Sheet
16
 of
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 Sheets



4220.89	4220.9	4220.98	4221.0	4221.06	4221.1	4221.73	4221.7	4221.87	4221.3	4221.67	4221.7	4221.55	4221.5	4221.89	4221.9	4222.26	4222.3	4222.35	4222.4	4222.24	4222.2	4222.64	4222.6	4222.93	4222.9	4223.21	4223.2	4223.49	4223.5	4223.50	4223.5	4223.42	4223.4	4223.14	4223.1	4223.54	4223.5	4224.11	4224.1	4224.17	4224.2	4224.16	4224.2	4224.47	4224.5	4224.26	4224.3	4224.43	4224.4	4224.48	4224.5	4224.70	4224.7	4224.57	4224.6	4224.70	4224.7	4224.84	4224.8	4225.21	4225.2	4225.09	4225.1	4224.94	4224.9	4224.94	4224.9	4225.04	4225.0	4225.10	4225.1
0+25	0+50	0+75	1+00	1+25	1+50	1+75	2+00	2+25	2+50	2+75	3+00	3+25	3+50	3+75	4+00	4+25	4+50	4+75	5+00	5+25	5+50	5+75	6+00	6+25	6+50	6+75	7+00	7+25	7+50	7+75	8+00	8+25	8+50	8+75	9+00																																				

LEGEND:

- SUBDIVISION BOUNDARY
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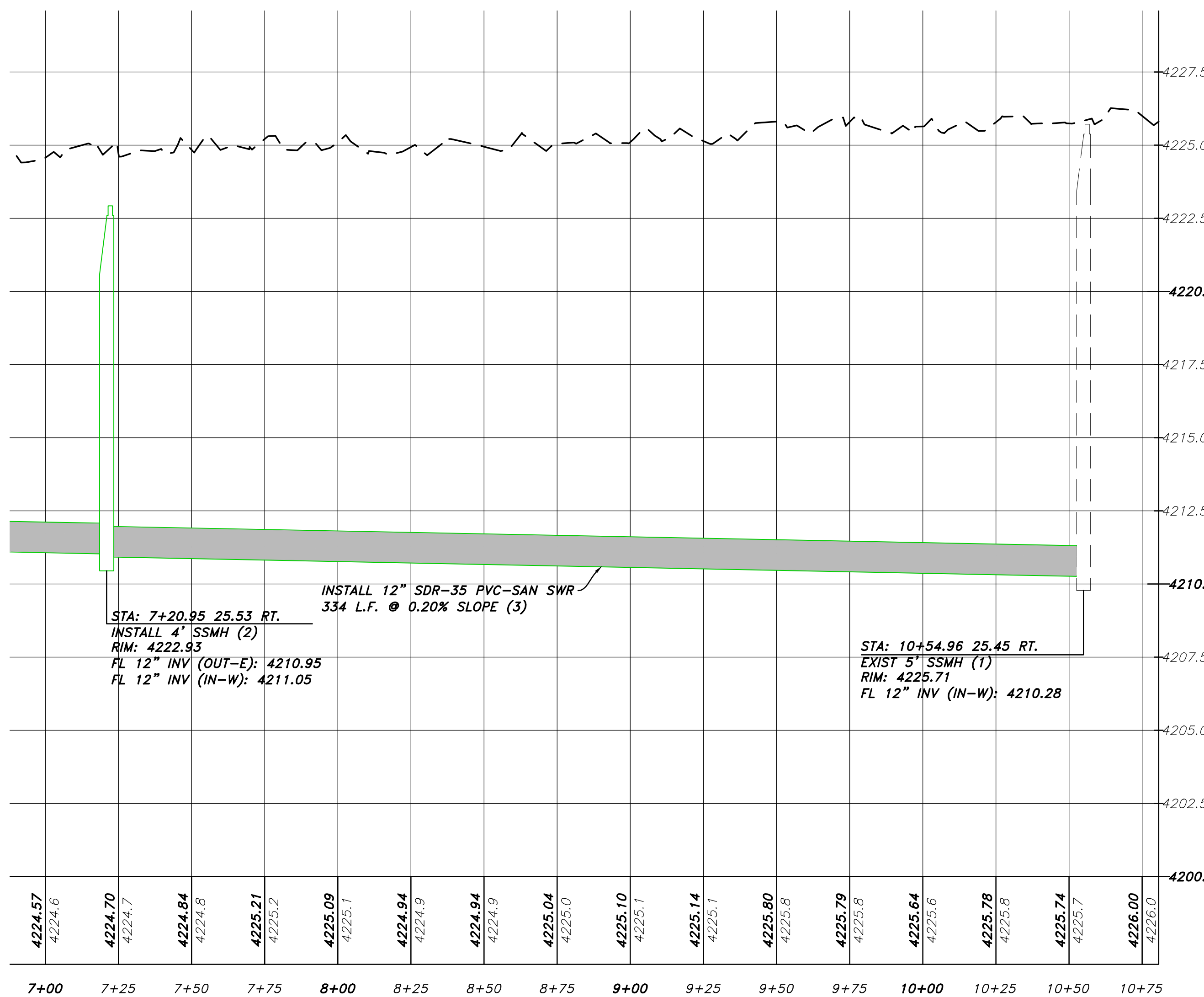
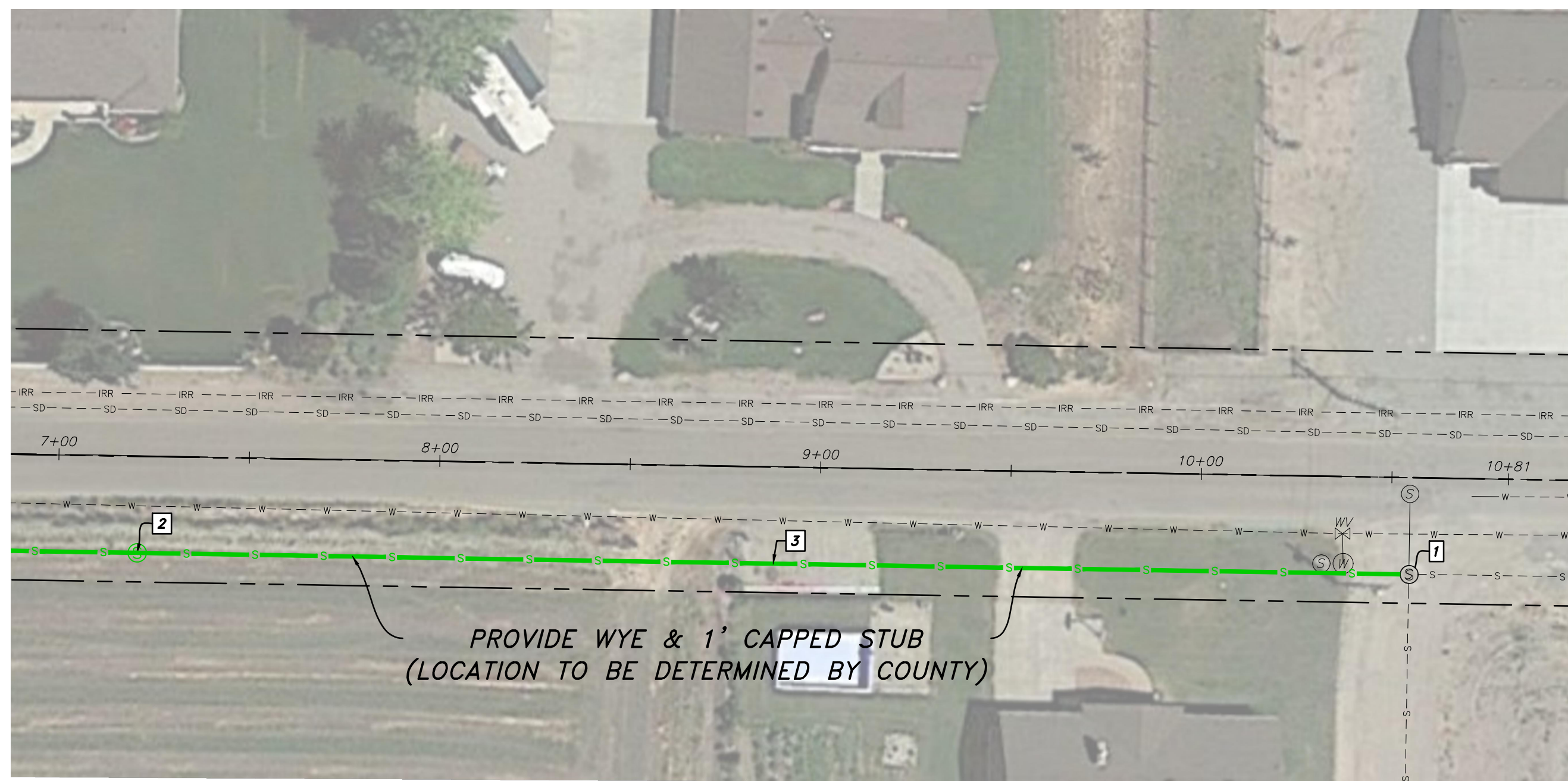
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Saddlewood Estates
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
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Sheet **17** of **23** Sheets



Key Note SD Structures		Key Note SD Pipes		Key Note SS Structures		Key Note SS Pipes	
Name	Structure Details	Pipe Name	Details	Name	Structure Details	Pipe Name	Details
40	INSTALL 3'X3' YD TBC: 4218.37 GRATE: 4217.87 FL 15" INV (IN-W): 4214.30	42	INSTALL 15" CLASS III RCP-SD 35 L.F. @ 0.10% Slope	1	EXIST 5' SSMH RIM = 4225.714 INV (IN-W) = 4210.28	3	INSTALL 12" SDR-35 PVC-SAN SWR 334 L.F. @ 0.20% SLOPE
41	INSTALL SD COMBO TBC: 4223.92 GRATE: 4223.42 FL 15" INV (IN-W): 4214.34 FL 15" INV (IN-W): 4214.34 FL 15" INV (OUT-E): 4214.34	44	INSTALL 15" CLASS III RCP-SD 381 L.F. @ 0.15% Slope	2	INSTALL 4' SSMH RIM = 4222.926 INV (IN-W) = 4211.05 INV (OUT-E) = 4210.95	5	INSTALL 12" SDR-35 PVC-SAN SWR 327 L.F. @ 0.20% SLOPE
43	INSTALL SD COMBO TBC: 4225.83 GRATE: 4225.33 FL 15" INV (IN-N): 4214.91 FL 15" INV (IN-NE): 4214.91 FL 15" INV (IN-W): 4214.91 FL 15" INV (OUT-S): 4214.91	46	INSTALL 15" CLASS III RCP-SD 395 L.F. @ 1.16% Slope	4	INSTALL 4' SSMH RIM = 4221.844 INV (IN-W) = 4211.80 INV (OUT-E) = 4211.70	7	INSTALL 12" SDR-35 PVC-SAN SWR 319 L.F. @ 0.20% SLOPE
45	INSTALL SD COMBO TBC: 4224.20 GRATE: 4223.70 FL 15" INV (OUT-S): 4219.50 FL 15" INV (OUT-W): 4219.50	48	INSTALL 15" CLASS III RCP-SD 37 L.F. @ 0.15% Slope	6	INSTALL 5' SSMH RIM = 4220.733 INV (IN-N) = 4212.55 INV (OUT-E) = 4212.45	9	INSTALL 12" SDR-35 PVC-SAN SWR 321 L.F. @ 0.20% SLOPE
47	INSTALL SDCB-CURB TBC: 4224.20 GRATE: 4223.70 FL 15" INV (IN-E): 4219.45	50	INSTALL 15" CLASS III RCP-SD 421 L.F. @ 0.15% Slope	8	INSTALL 4' SSMH RIM = 4219.547 INV (IN-E) = 4214.03 INV (OUT-S) = 4213.93	11	INSTALL 12" SDR-35 PVC-SAN SWR 422 L.F. @ 0.20% SLOPE
49	INSTALL SD COMBO TBC: 4226.50 GRATE: 4226.00 FL 15" INV (IN-E): 4214.96 FL 15" INV (OUT-SW): 4214.96	52	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 0.15% Slope	10	INSTALL 4' SSMH RIM = 4221.220 INV (IN-E) = 4214.77 INV (OUT-W) = 4214.67	13	INSTALL 12" SDR-35 PVC-SAN SWR 206 L.F. @ 0.20% SLOPE
51	INSTALL SD COMBO TBC: 4225.31 GRATE: 4224.81 FL 15" INV (IN-N): 4215.59 FL 15" INV (OUT-W): 4215.59	54	INSTALL 15" CLASS III RCP-SD 315 L.F. @ 0.15% Slope	12	INSTALL 4' SSMH RIM = 4223.118 INV (IN-N) = 4215.52 INV (OUT-W) = 4215.42	15	INSTALL 12" SDR-35 PVC-SAN SWR 444 L.F. @ 0.25% SLOPE
53	INSTALL SD COMBO TBC: 4224.69 GRATE: 4224.19 FL 15" INV (IN-W): 4219.50 FL 15" INV (OUT-S): 4219.50	56	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 0.15% Slope	14	INSTALL 4' SSMH RIM = 4223.670 INV (IN-N) = 4216.00 INV (OUT-S) = 4215.90	17	INSTALL 12" SDR-35 PVC-SAN SWR 339 L.F. @ 0.25% SLOPE
55	INSTALL SDCB-CURB TBC: 4224.69 GRATE: 4224.19 FL 15" INV (OUT-E): 4219.55	58	INSTALL 15" CLASS III RCP-SD 40 L.F. @ 1.71% Slope	16	INSTALL 5' SSMH RIM = 4225.059 INV (IN-W) = 4216.94 INV (IN-N) = 4216.94 INV (IN-E) = 4216.94 INV (OUT-S) = 4216.84	19	INSTALL 12" SDR-35 PVC-SAN SWR 453 L.F. @ 0.20% SLOPE
57	INSTALL SD COMBO TBC: 4225.82 GRATE: 4225.32 FL 15" INV (IN-NW): 4214.96 FL 15" INV (OUT-E): 4214.96	60	INSTALL 15" CLASS III RCP-SD 36 L.F. @ 0.15% Slope	18	INSTALL 5' SSMH RIM = 4223.786 INV (IN-N) = 4217.97 INV (IN-W) = 4217.97 INV (OUT-E) = 4217.87	21	INSTALL 12" SDR-35 PVC-SAN SWR 464 L.F. @ 0.20% SLOPE
59	INSTALL SD COMBO TBC: 4226.04 GRATE: 4225.54 FL 15" INV (IN-W): 4215.01 FL 15" INV (OUT-SE): 4215.01	62	INSTALL 15" CLASS III RCP-SD 418 L.F. @ 0.15% Slope	20	INSTALL 4' SSMH RIM = 4222.816 INV (OUT-E) = 4218.88	23	INSTALL 12" SDR-35 PVC-SAN SWR 464 L.F. @ 0.20% SLOPE
61	INSTALL SD COMBO TBC: 4223.98 GRATE: 4223.48 FL 15" INV (IN-N): 4215.63 FL 15" INV (OUT-E): 4215.63	64	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 0.15% Slope	22	INSTALL 4' SSMH RIM = 4222.757 INV (OUT-E) = 4218.38	25	INSTALL 12" SDR-35 PVC-SAN SWR 444 L.F. @ 0.25% SLOPE
63	INSTALL SD COMBO TBC: 4222.17 GRATE: 4221.67 FL 15" INV (IN-E): 4216.10 FL 15" INV (OUT-S): 4216.10	66	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 0.15% Slope	24	INSTALL 4' SSMH RIM = 4224.909 INV (OUT-W) = 4218.26	27	INSTALL 12" SDR-35 PVC-SAN SWR 444 L.F. @ 0.25% SLOPE
65	INSTALL SDCB-CURB TBC: 4222.17 GRATE: 4221.67 FL 15" INV (OUT-W): 4219.50	68	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 0.15% Slope	26	INSTALL 4' SSMH RIM = 4225.671 INV (IN-N) = 4219.10 INV (OUT-S) = 4219.00	29	INSTALL 12" SDR-35 PVC-SAN SWR 444 L.F. @ 0.25% SLOPE
67	INSTALL SDCB-CURB TBC: 4223.92 GRATE: 4223.42 FL 15" INV (OUT-E): 4214.39	70	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 0.15% Slope	28	INSTALL 4' SSMH RIM = 4227.546 INV (OUT-S) = 4219.95	31	INSTALL 12" SDR-35 PVC-SAN SWR 444 L.F. @ 0.25% SLOPE
71	INSTALL SDCB-CURB TBC: 4219.84 GRATE: 4219.34 FL 15" INV (OUT-N): 4216.47	72	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 0.15% Slope				
73	INSTALL SDCB-CURB TBC: 4219.83 GRATE: 4219.33 FL 15" INV (IN-S): 4216.42 FL 15" INV (OUT-N): 4216.42						

LEGEND:

--- SUBDIVISION BOUNDARY	--- EXISTING STORM DRAIN INLET
--- PROPOSED PROPERTY LINE	--- EXISTING WATER METER
--- EXISTING PROPERTY LINE	--- EXISTING FIRE HYDRANT
--- EXISTING SEWER LINE	--- EXISTING LIGHT POLE
--- EXISTING WATER LINE	--- PROPOSED SEWER MANHOLE
--- EXISTING SECONDARY WATER LINE	--- PROPOSED STORM DRAIN MANHOLE
--- EXISTING STORM DRAIN PIPE	--- PROPOSED STORM DRAIN INLET
--- PROPOSED SEWER LINE	--- PROPOSED WATER METER
--- PROPOSED WATER LINE	--- PROPOSED FIRE HYDRANT
--- PROPOSED SECONDARY WATER LINE	--- EXISTING CURB & GUTTER
--- PROPOSED STORM DRAIN PIPE	--- EXISTING SIDEWALK
--- SAW-CUT REQ'D.	--- PROPOSED CURB & GUTTER
--- EXISTING FENCE	--- PROPOSED SIDEWALK
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2200 SOUTH PLAN & PROFILE FOR FOR

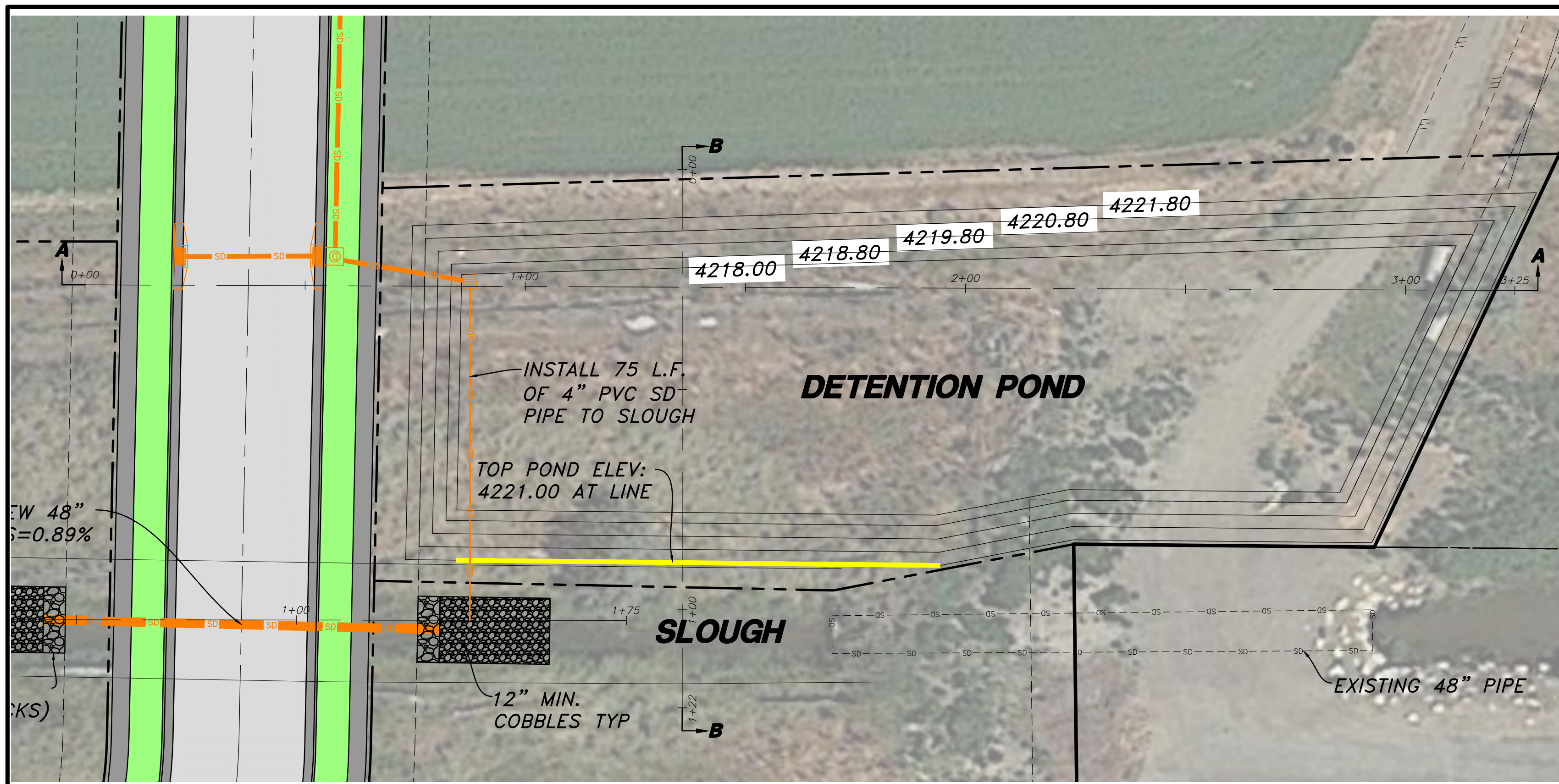
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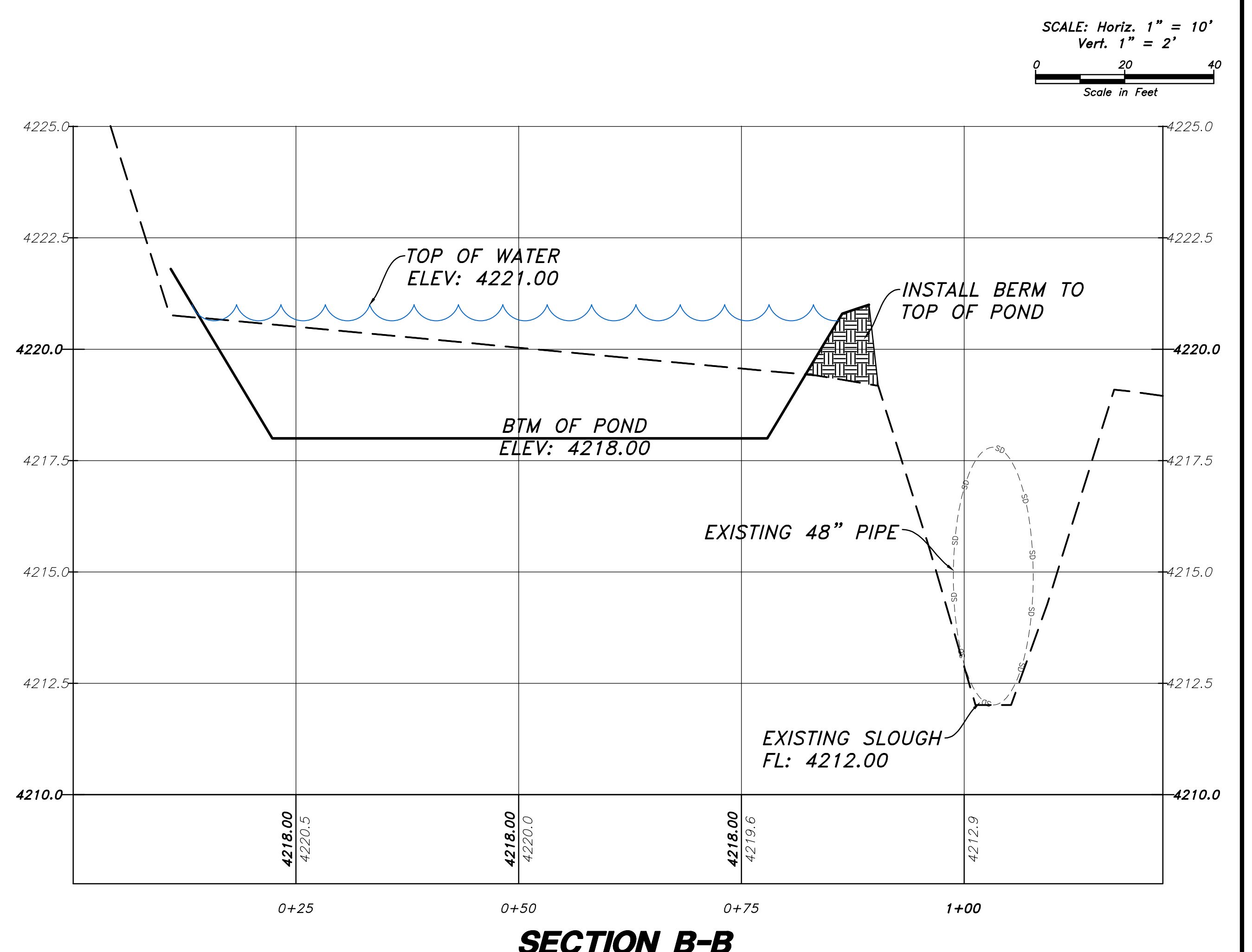
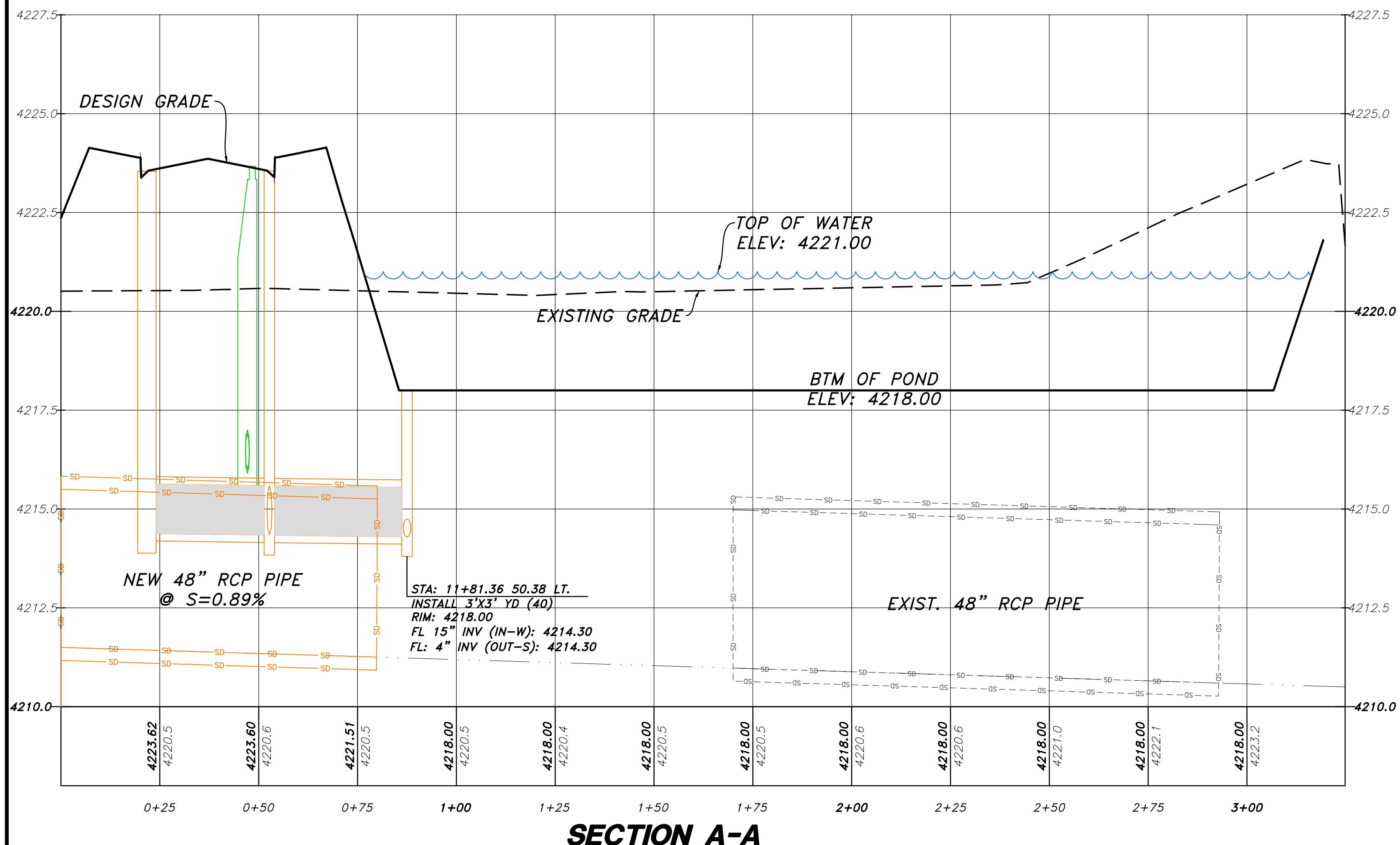
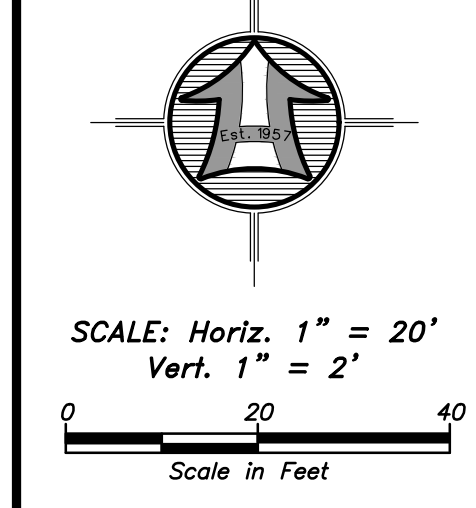
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Sheet **18** of **23** Sheets



LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- S --- S --- EXISTING SEWER LINE
- W --- W --- EXISTING WATER LINE
- RR --- RR --- EXISTING SECONDARY WATER LINE
- SD --- SD --- EXISTING STORM DRAIN PIPE
- W --- W --- PROPOSED WATER LINE
- RR --- RR --- PROPOSED SECONDARY WATER LINE
- SD --- SD --- PROPOSED STORM DRAIN PIPE
- X --- X --- SAW-CUT REQ'D.
- X --- X --- EXISTING FENCE
- X --- X --- EXISTING 5' CONTOUR
- X --- X --- EXISTING 1' CONTOUR
- X --- X --- EXISTING SEWER MANHOLE
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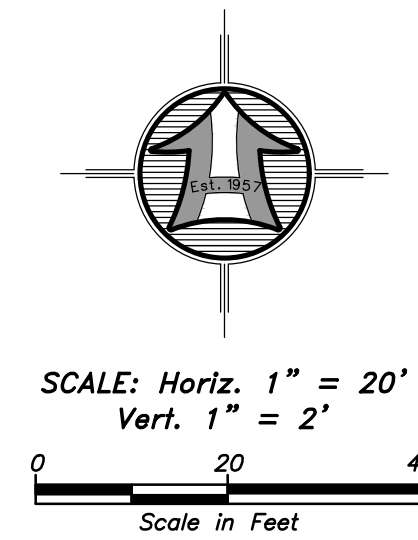
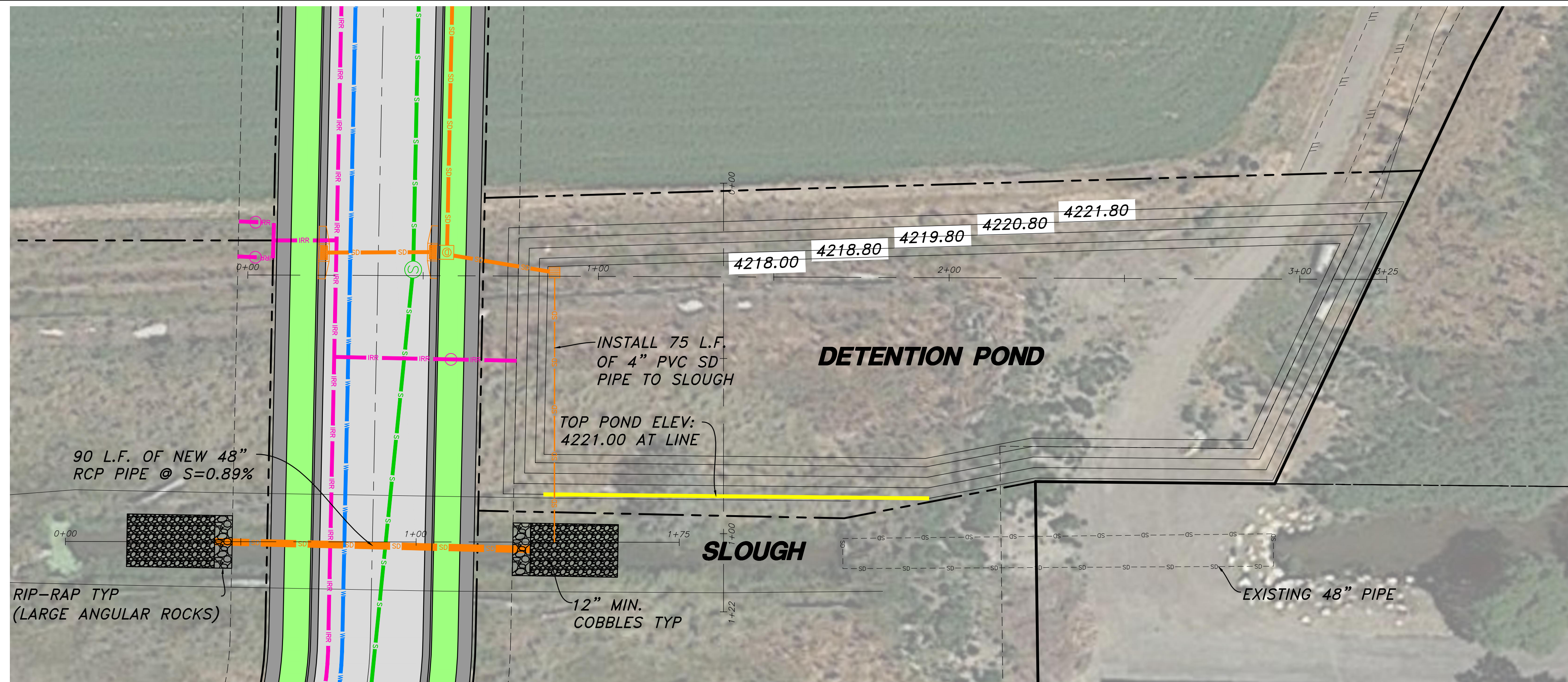
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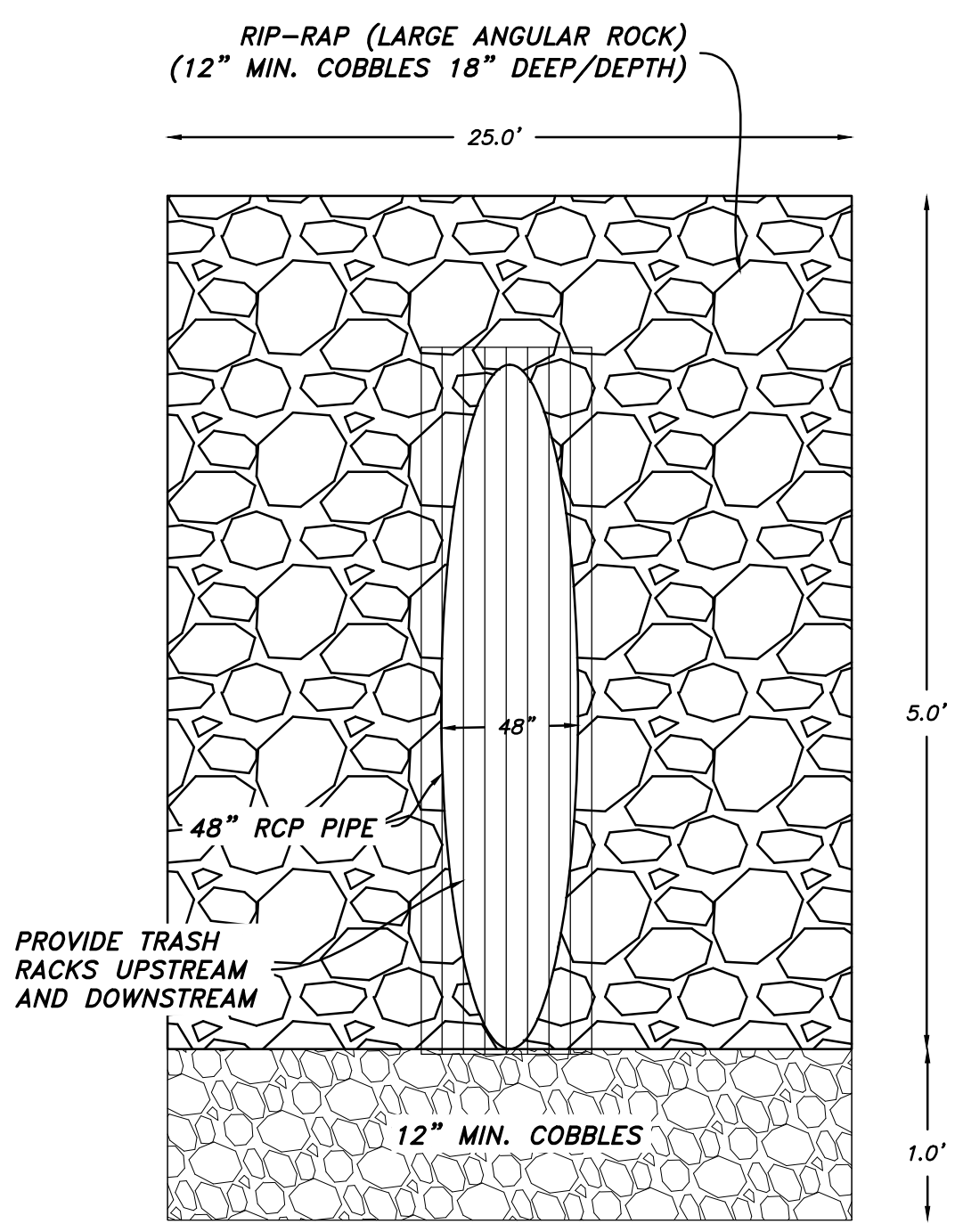
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Scale: 1" = 100'
Drawing File: 20-162 PP V19
JOB NUMBER: 20-162

Saddlewood Estates
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.&M.

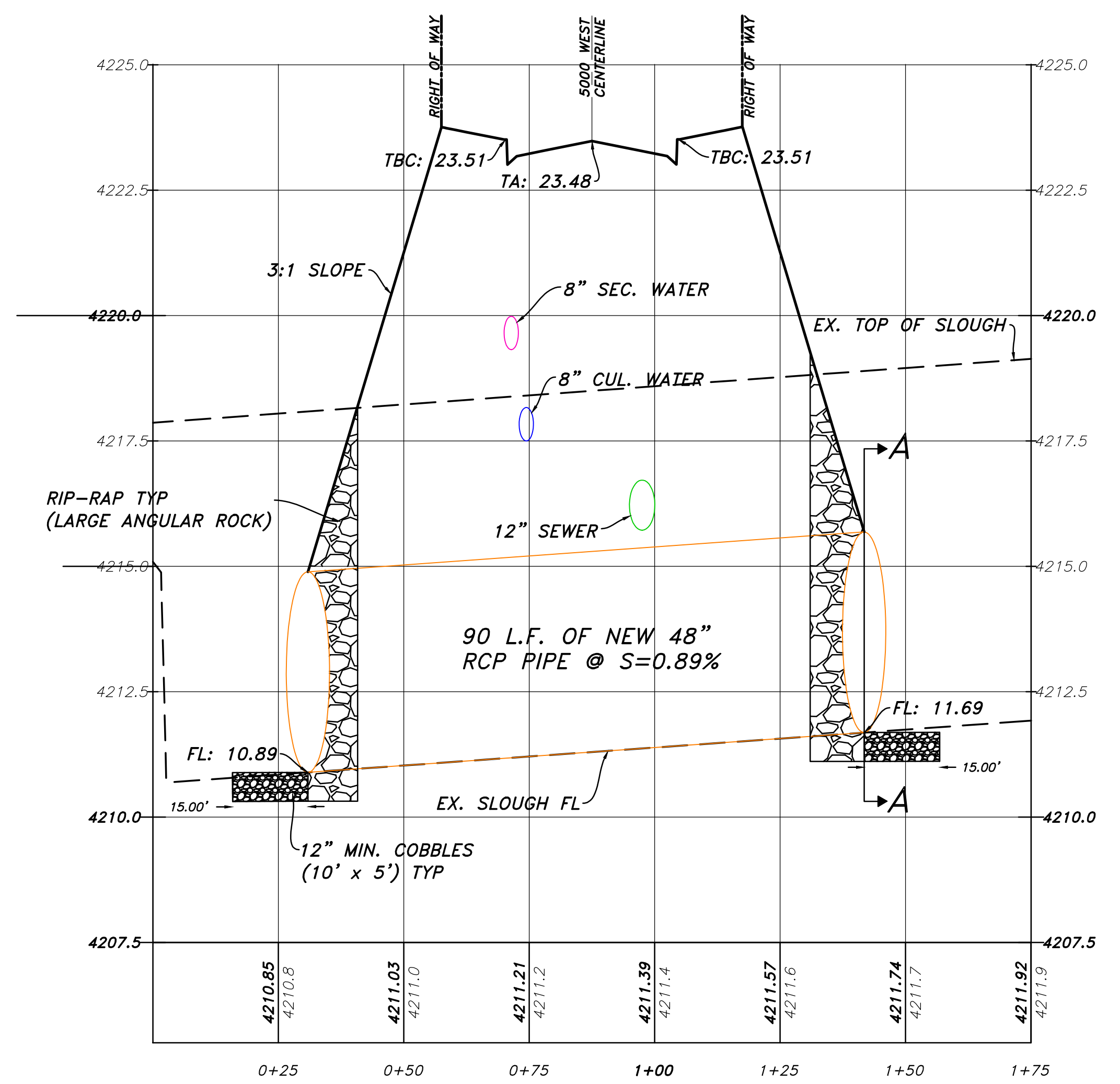
Sheet **19** of **23** Sheets



- LEGEND:**
- SUBDIVISION BOUNDARY
 - PROPOSED PROPERTY LINE
 - EXISTING PROPERTY LINE
 - EXISTING SEWER LINE
 - EXISTING WATER LINE
 - EXISTING SECONDARY WATER LINE
 - EXISTING STORM DRAIN PIPE
 - PROPOSED SEWER LINE
 - PROPOSED WATER LINE
 - PROPOSED SECONDARY WATER LINE
 - PROPOSED STORM DRAIN PIPE
 - SAW-CUT REQ'D.
 - EXISTING FENCE
 - EXISTING 5' CONTOUR
 - EXISTING 1' CONTOUR
 - EXISTING SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING STORM DRAIN INLET
 - EXISTING WATER METER
 - EXISTING FIRE HYDRANT
 - EXISTING LIGHT POLE
 - PROPOSED SEWER MANHOLE
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - PROPOSED WATER METER
 - PROPOSED FIRE HYDRANT
 - EXISTING CURB & GUTTER
 - EXISTING SIDEWALK
 - PROPOSED CURB & GUTTER
 - PROPOSED SIDEWALK
 - PROPOSED ASPHALT PAVEMENT



SECTION A-A
NOT TO SCALE



No. _____
 Date _____
 By _____
 Revision _____

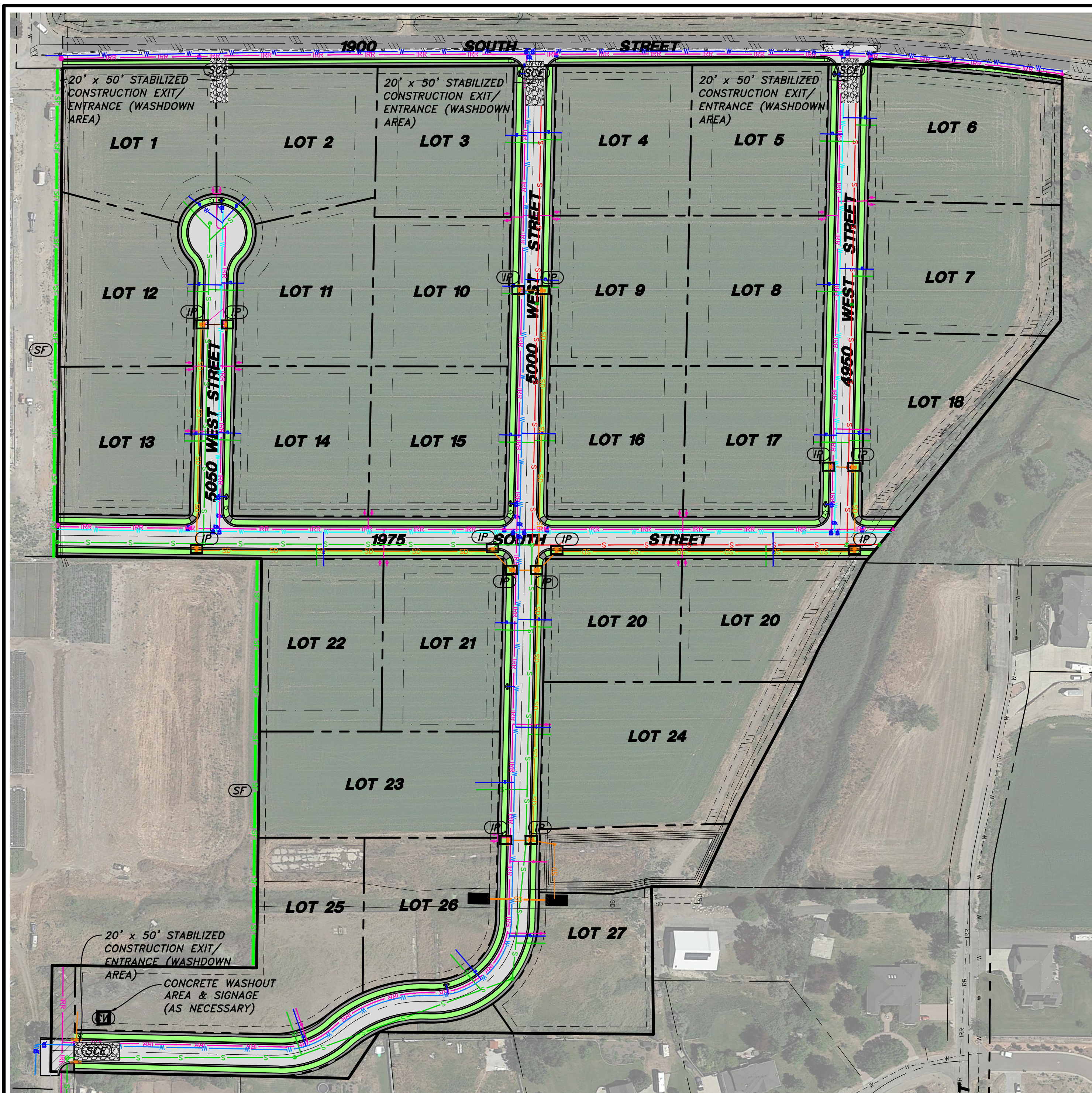
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 2000 SOUTH 5000 WEST
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 A Part of the Northeast Quarter of Section 14,
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Sheet
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 of
23
 Sheets



SWPPP PLAN

LOCATION:

LOCATION: TAYLOR, WEBER COUNTY, UTAH
SECTION 14, TOWNSHIP 9 NORTH, RANGE 2 WEST, SLB&M
LATITUDE: 41°13'54" N LONGITUDE: 112°06'00" W
APPROXIMATE ELEVATION: 4223'

PROJECT DATA:

TAX ID #: 150790051
PARCEL ACREAGE: 33.92 ACRES

SADDLEWOOD ESTATES
2000 SOUTH 5100 WEST
TAYLOR, UTAH

OVERVIEW:

THE PROJECT CONSISTS OF STREET AND UTILITY INSTALLATION FOR A (27) TWENTY SEVEN LOT SUBDIVISION. GRADING WORK IS ALSO REQUIRED IN THE CONSTRUCTION OF THE ROAD AND CURB & GUTTER. DRAINAGE FROM ON-SITE ACTIVITY IS TO BE INTERCEPTED BY THE SILT FENCE/BERM AT THE WEST BOUNDARIES OF THE PROJECT. CONCRETE WASHOUT AREA IS LOCATED NEAR THE SOUTHERLY 5000 WEST ENTRANCE/EXIT.

SWPPP PHASING – ORDER OF WORK:

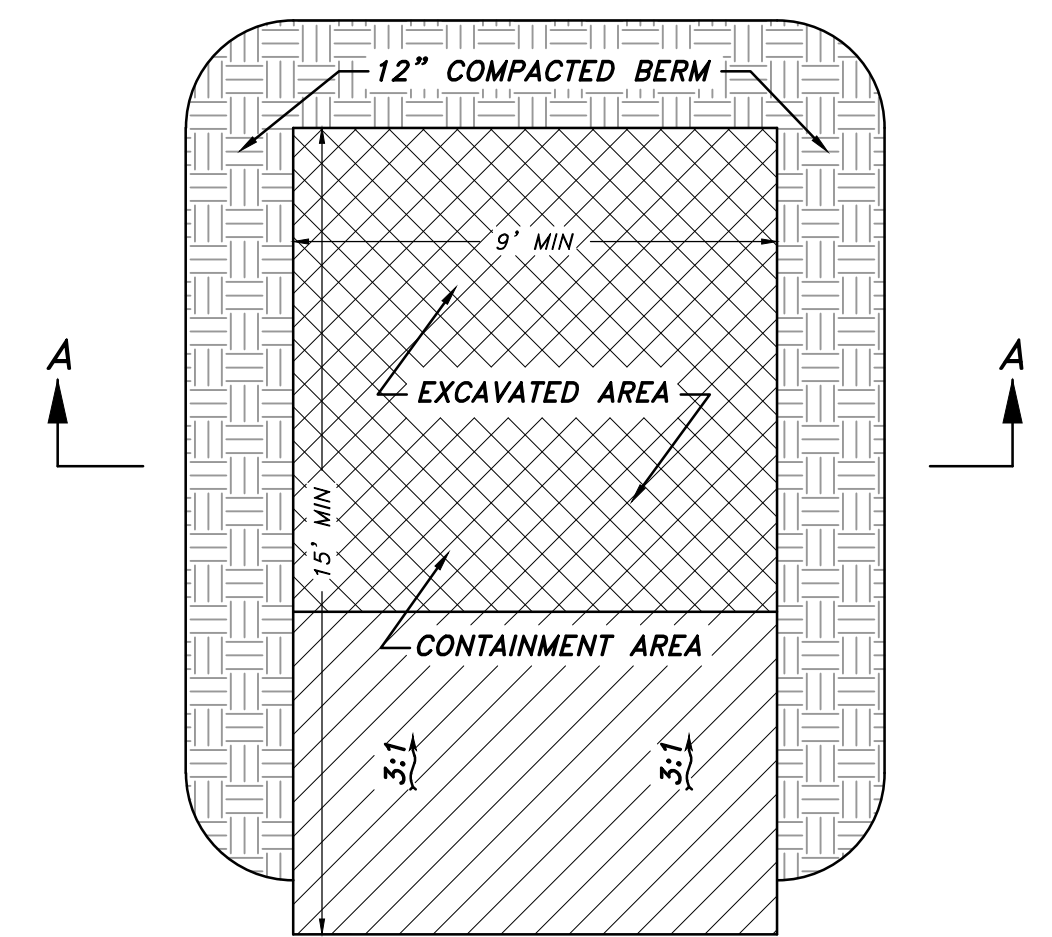
PHASE 1: CONSTRUCTION OF STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA AND SIGNAGE, SILT FENCES & BERMS.

PHASE 2: MAINTAIN STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA, SILT FENCES & BERMS, AND WATTLES DURING CONSTRUCTION AND SITE IMPROVEMENTS. INSTALL INLET PROTECTION UPON CONSTRUCTION OF CURB INLET BOXES.

PHASE 3: UPON ASPHALTING, REMOVE CONSTRUCTION ENTRANCE, WATTLES, INLET PROTECTION, AND TEMPORARY SILT FENCES & BERMS.

MAINTENANCE/RECORD-KEEPING:

STRICT RECORD KEEPING IS IMPERATIVE. THE PROJECT WILL BE STATE-PERMITTED BUT PARTICULARLY UNDER THE AUSPICES OF WEBER COUNTY. KEEP INSPECTION REPORTS FORMS/FORMAT AS MANDATED BY WEBER COUNTY. A THOROUGH INSPECTION OF THE SWPPP MUST BE CONDUCTED AT LEAST EVERY 14 DAYS AND AFTER ANY PRECIPITATION OR SNOWMELT THAT CAUSES SURFACE EROSION. MAINTENANCE AND/OR MODIFICATIONS TO EROSION MEASURES MUST BE COMPLETED IN A TIMELY MANNER, BUT IN NO CASE MORE THAN 7 CALENDAR DAYS AFTER THE INSPECTION. THE ENFORCEMENT AGENCY IS WEBER COUNTY, WHO ADMINISTERS AND ENFORCES STORMWATER POLLUTION PREVENTION PLANS LOCALLY. STORMWATER MANAGEMENT ASPECTS AND PROCEDURES MAY BE MODIFIED BY PERMITTEE (AND/OR OFFICIAL REPRESENTATIVE) UPON OBTAINING WEBER COUNTY APPROVAL.



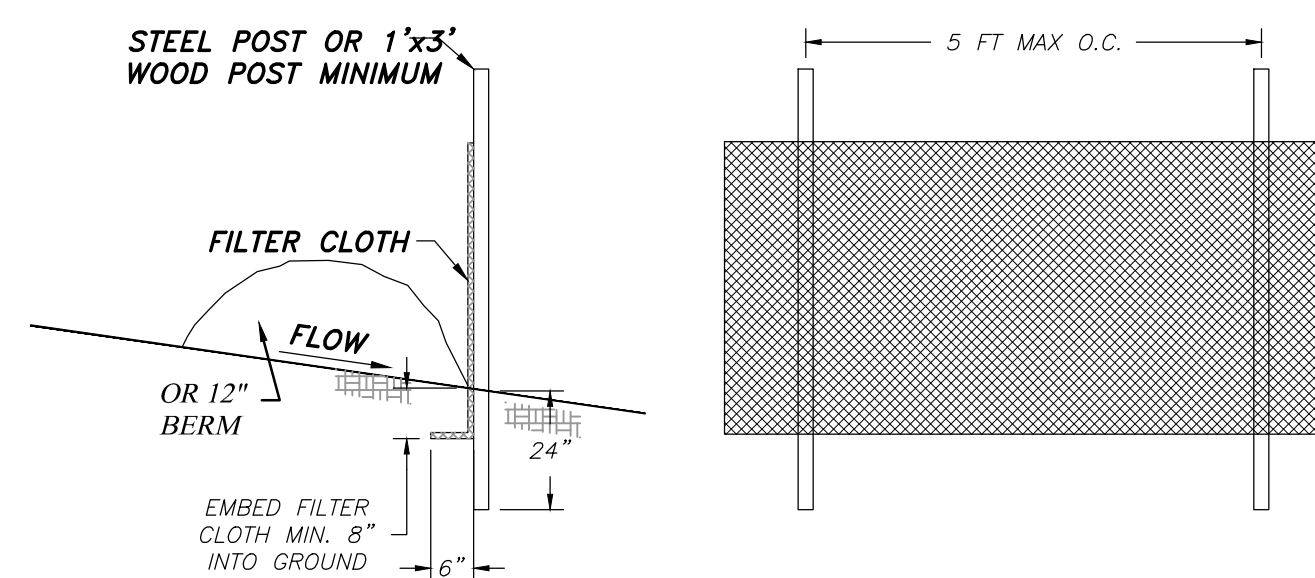
PLAN VIEW
CROSS SECTION A-A
CONCRETE WASHOUT AREA
NOT TO SCALE

CONCRETE WASHOUT AREA NOTES:

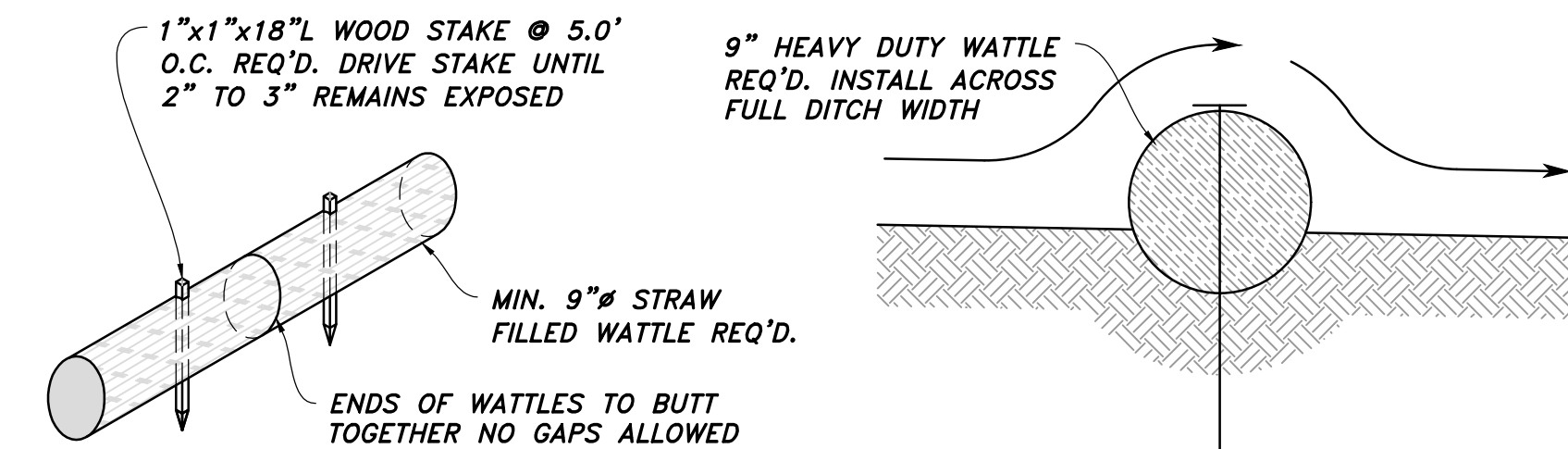
INSTALLATION: PROPER SIGNAGE SUCH AS "CONCRETE WASHOUT" SHALL BE PLACED NEAR CONCRETE WASHOUT FACILITIES. A CONTINUOUS ONE-FOOT TALL COMPACTED EARTH BERM SHALL BE PLACED ON THREE SIDES OF THE EXCAVATED PIT. THE BOTTOM OF THE EXCAVATED PIT MUST BE PROVEN TO BE AT LEAST 5 VERTICAL FEET ABOVE GROUNDWATER OR THE PIT MUST BE LINED WITH A CLAY OR SYNTHETIC LINER DESIGNED TO CONTROL SEEPAGE.

MAINTENANCE: THE FACILITIES SHALL BE MAINTAINED IN GOOD CONDITION TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY OPERATIONS AT THE PROJECT SITE. HARDEEN CONCRETE SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE THE PIT IS 75 PERCENT FULL AND AS NEEDED. WASTE SHALL BE DISPOSED OF PROPERLY IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.

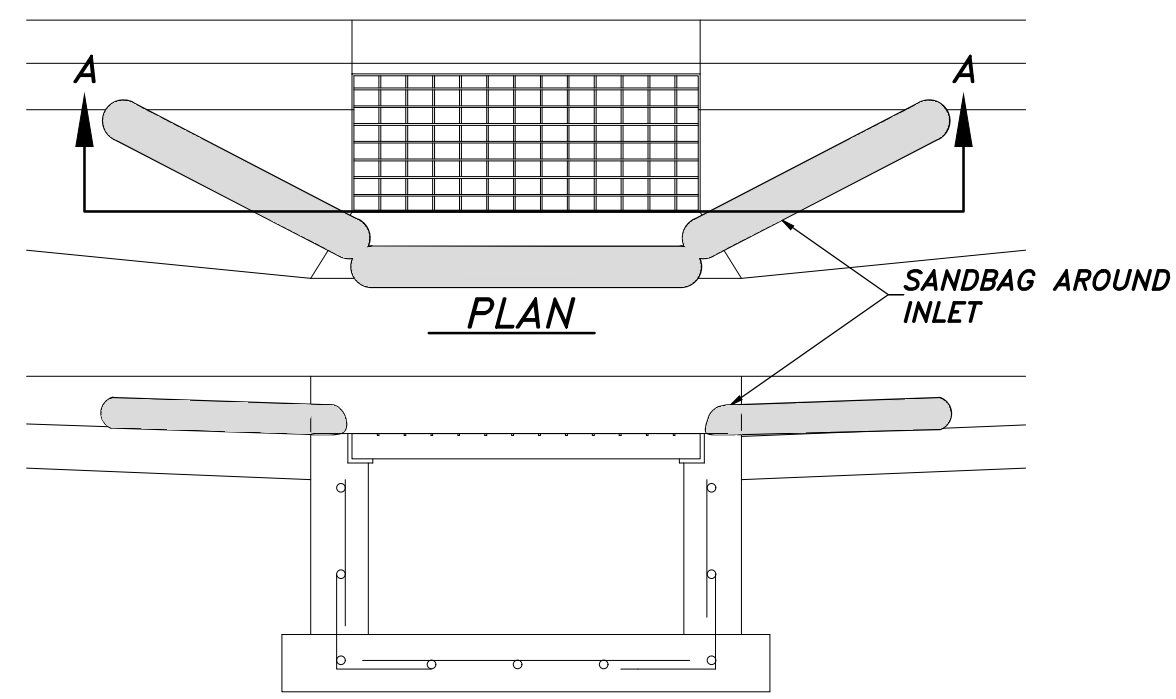
NOTE: ADDING SOLVENTS, FLOCCULENTS, OR ACID TO THE WASHWATER IS PROHIBITED.



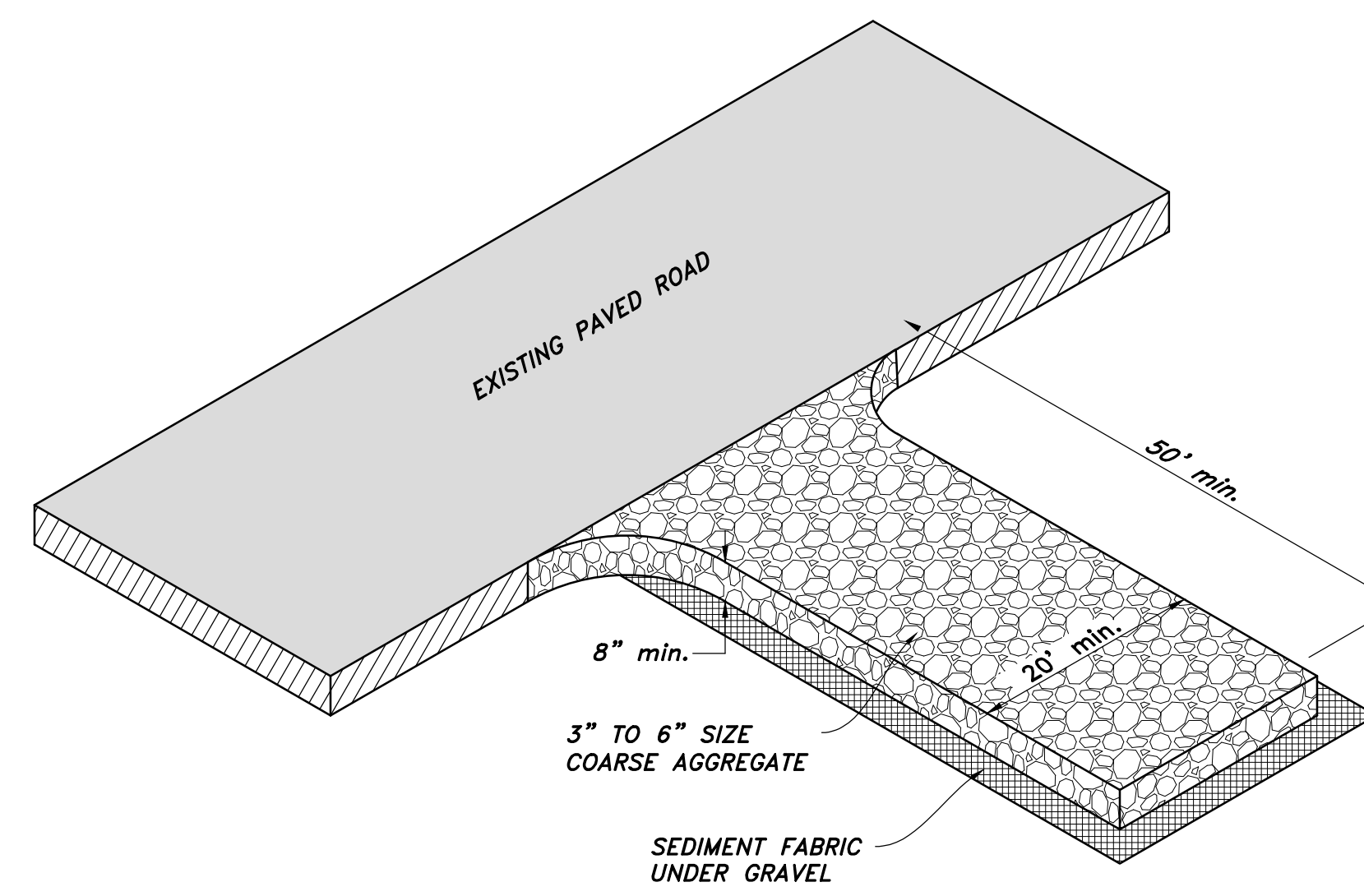
SILT FENCE DETAIL
NOT TO SCALE



TYPICAL WATTLE/FILTER SOCK
NOT TO SCALE



CURB INLET PROTECTION DETAIL
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE NOTES:

INSTALLATION/APPLICATION CRITERIA:
1. CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.

2. COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS)

3. PLACE COARSE AGGREGATE, 3" TO 6" IN SIZE, TO A MINIMUM DEPTH OF 8".

LIMITATIONS:
1. REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.

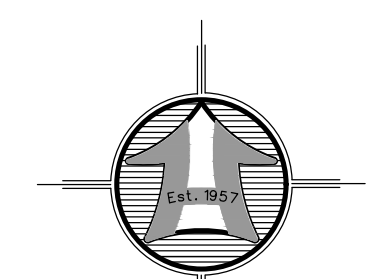
2. SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.

MAINTENANCE:
1. INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.

2. INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.

3. REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.

4. EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.



Scale: 1" = 100'
0 100 200
Scale in Feet

LEGEND

- PROPERTY BOUNDARY LINE
- SILT FENCE OR BERM REQ'D
- TRACKING PAD
- CONCRETE WASHOUT AREA & SIGNAGE
- INLET PROTECTION

LABELS

- SILT FENCE OR BERM
- STABILIZED CONSTRUCTION ENTRANCE
- INLET PROTECTION
- CONCRETE WASHOUT

QUANTITIES

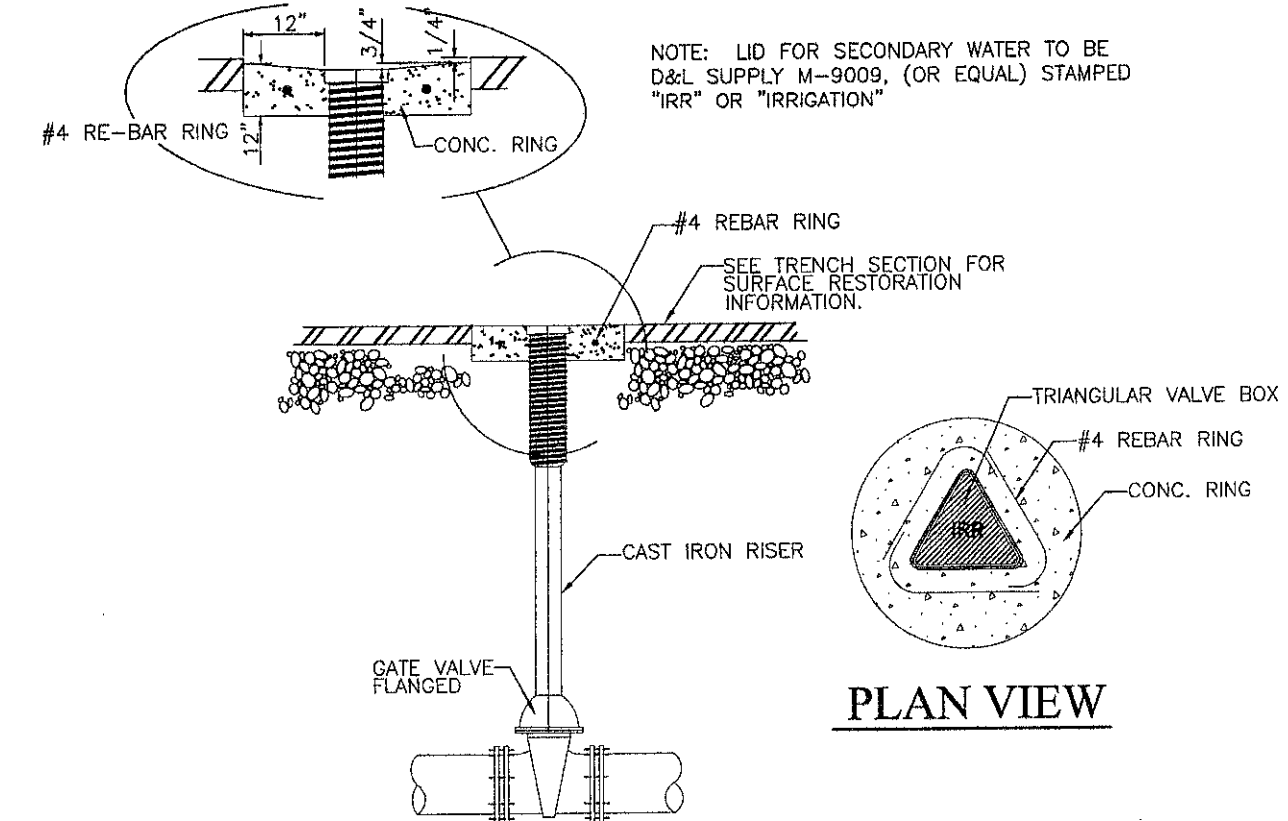
- SILT FENCE/BERM - 3192 LF
- STABILIZED CONSTRUCTION ENTRANCE - 2
- INLET PROTECTION - 46
- CONCRETE WASHOUT - 1

SWPPP FOR
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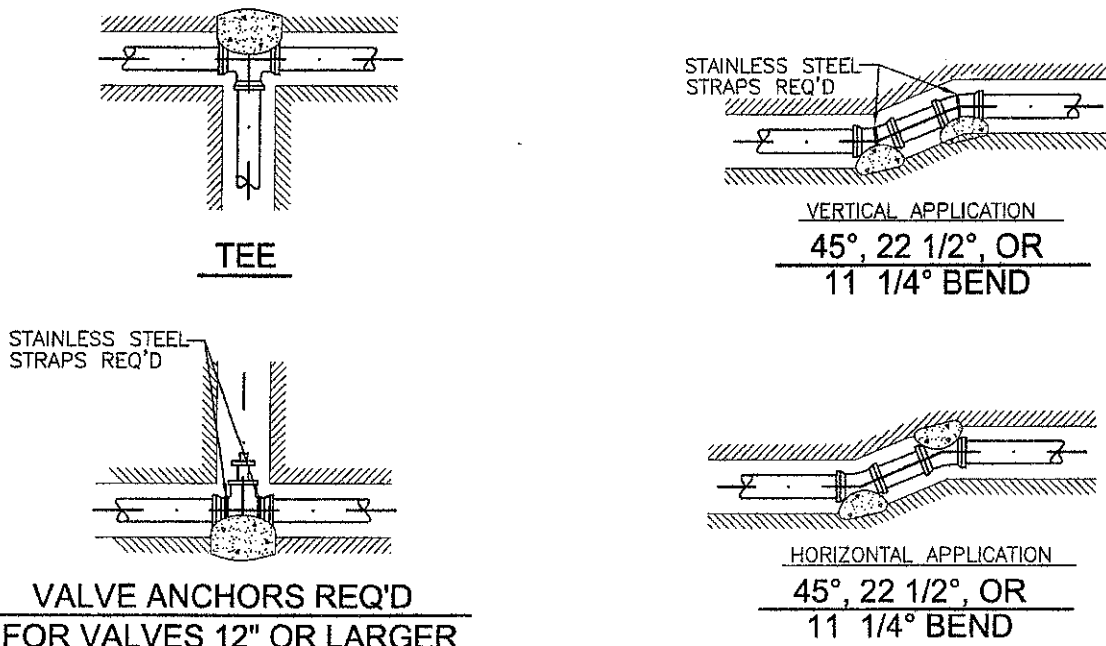
VALVE BOX CONCRETE COLLAR DETAIL
N.T.S.

REVISION	



Hooper Irrigation Company
Pressure Irrigation Standards
VALVE BOX CONCRETE COLLAR

SHEET PI-2	



DIMENSION TABLE

THRUST BLOCK BEARING AREA IN SQ. FT. (SEE CONDITIONS BELOW)				
PIPE SIZE	90° BEND	OTHER BENDS	VALVES, TEES, DEAD ENDS	CONDITION
4	1.8	1.0	1.3	
6	4.0	2.2	2.8	
8	7.1	3.8	5.0	
10	11.1	6.0	7.9	
12	16.0	8.7	11.3	
14	21.8	11.8	15.4	
16	28.4	15.4	20.1	
18	36.0	19.5	25.4	
20	44.4	24.0	31.4	
24	64.0	34.6	45.2	
27	81.0	43.8	57.3	
30	100.0	54.1	70.7	
42	195.9	106.0	138.5	
48	255.9	138.5	181.0	

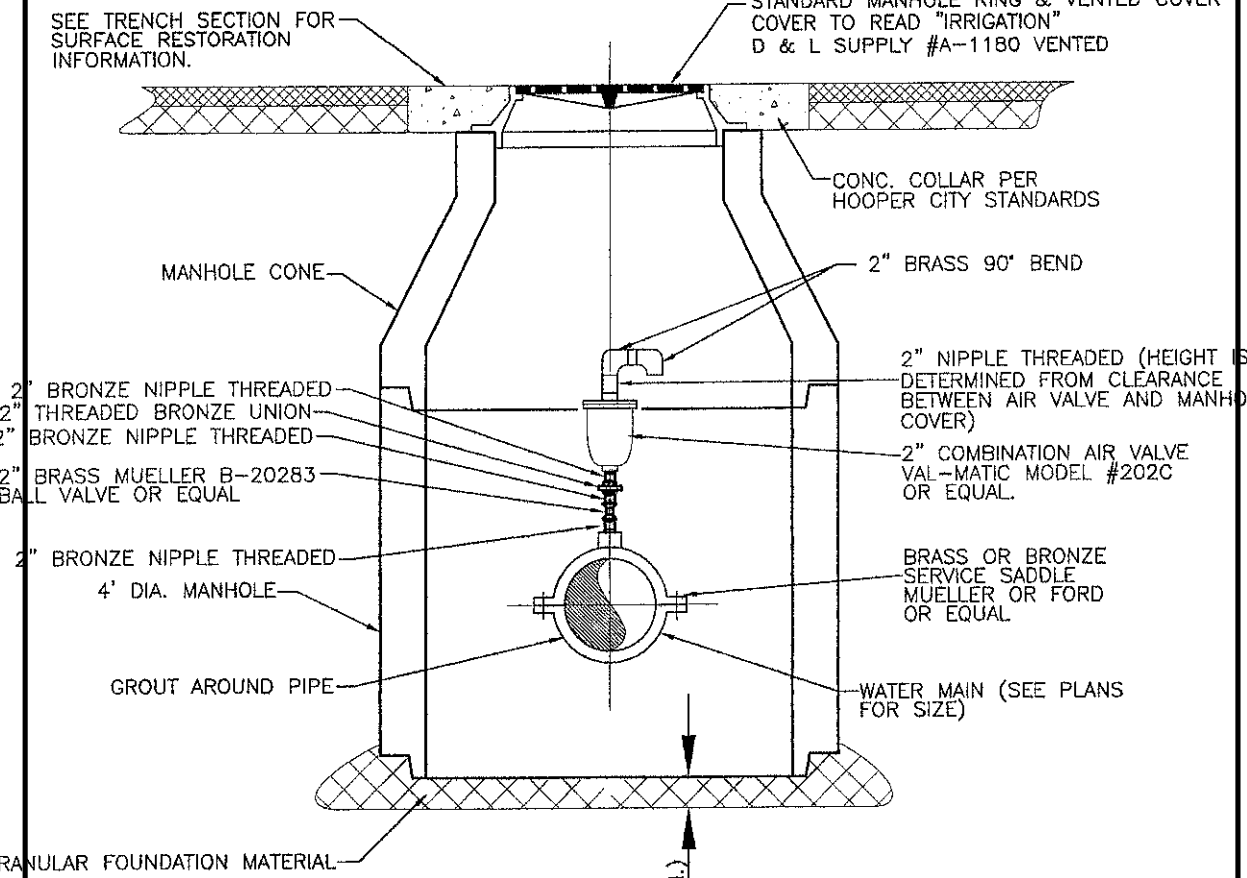
THRUST BLOCKING
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Pressure Irrigation Standards
THRUST BLOCKING DETAILS

SHEET PI-3	



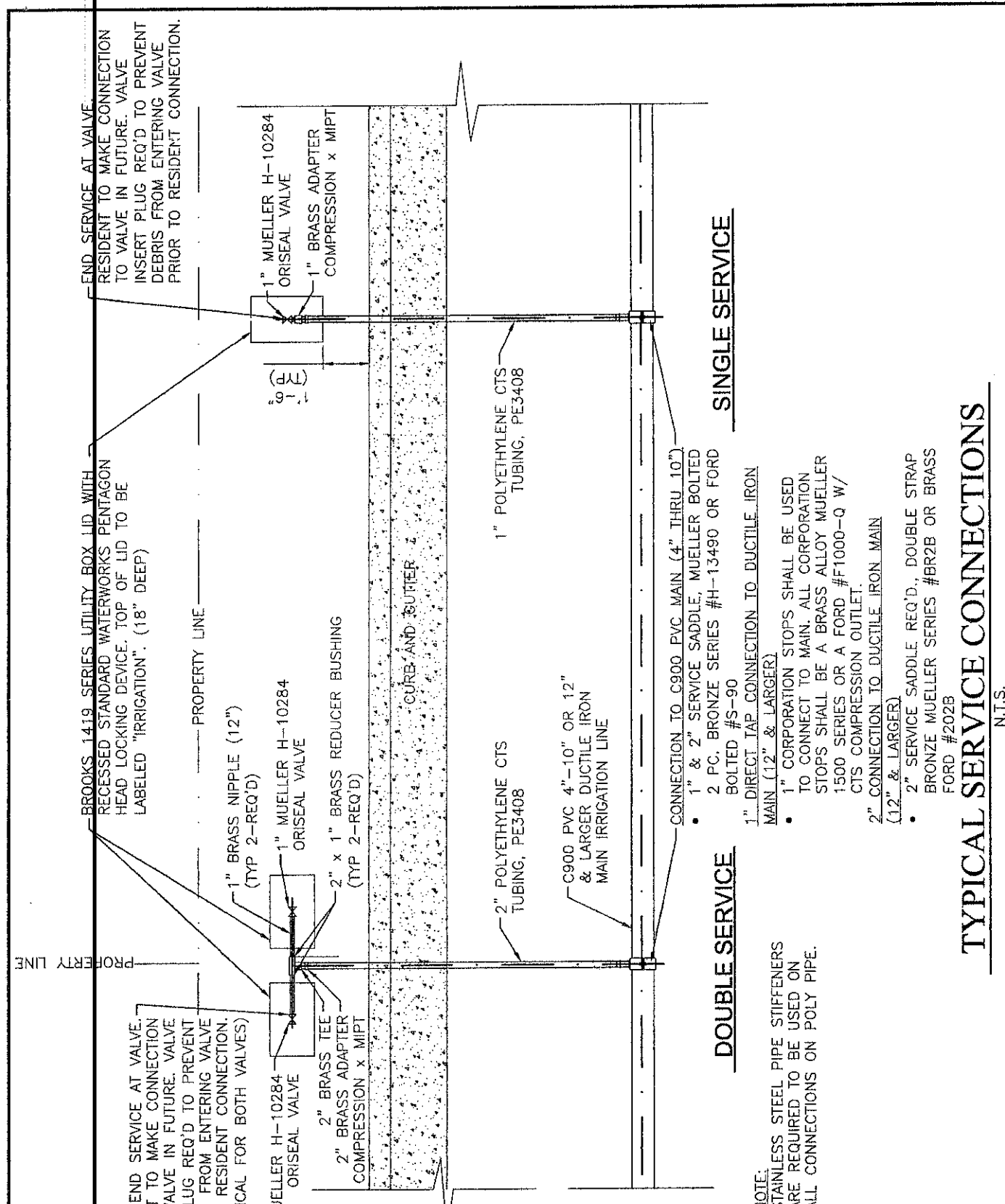
COMBINATION AIR-VAC DETAIL
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Pressure Irrigation Standards
COMBINATION AIR-VAC DETAIL

SHEET PI-1	



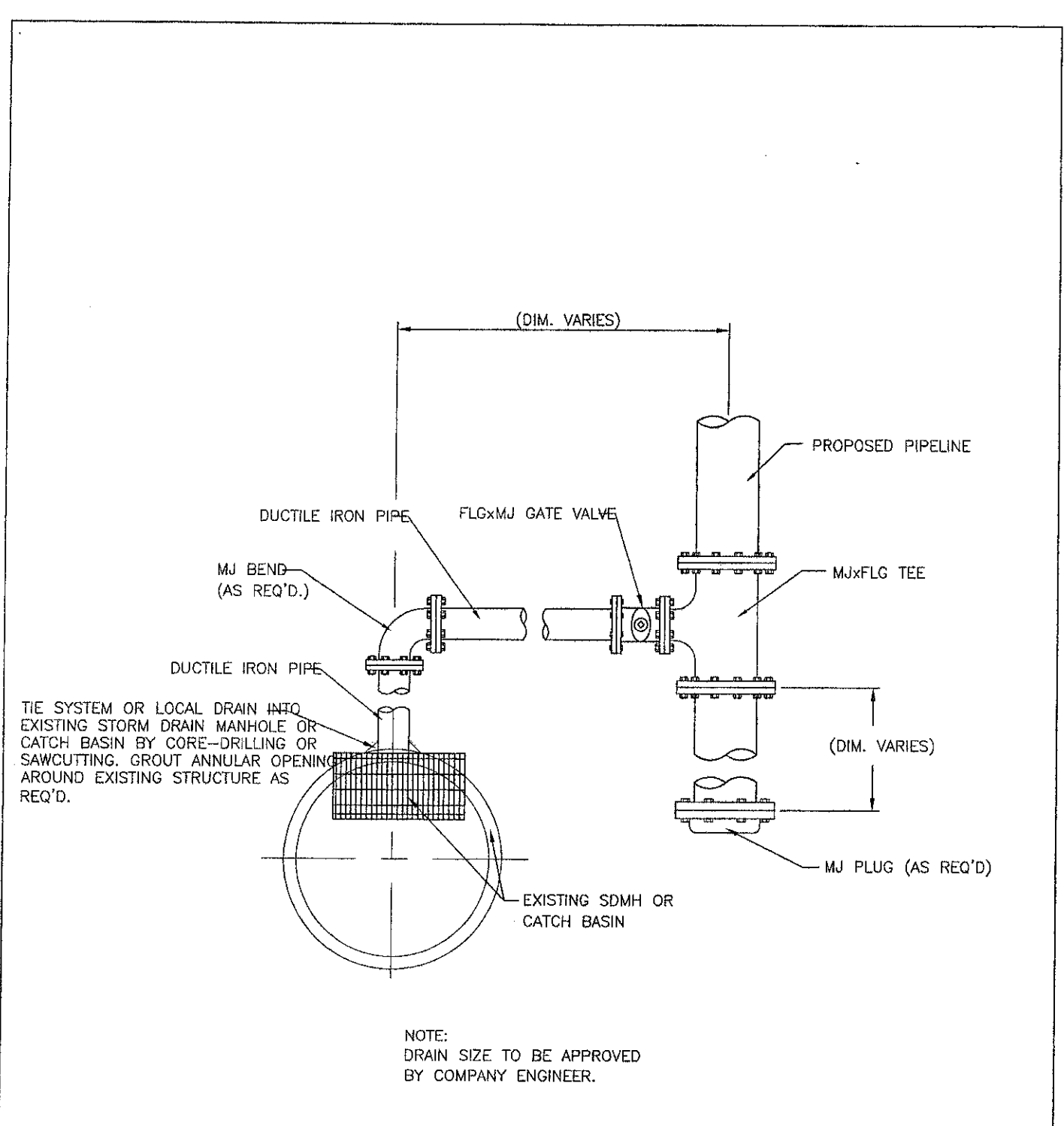
TYPICAL SERVICE CONNECTIONS
N.T.S.

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Hooper Irrigation Company
Pressure Irrigation Standards
TYPICAL SERVICE CONNECTION DETAIL

SHEET PI-10	



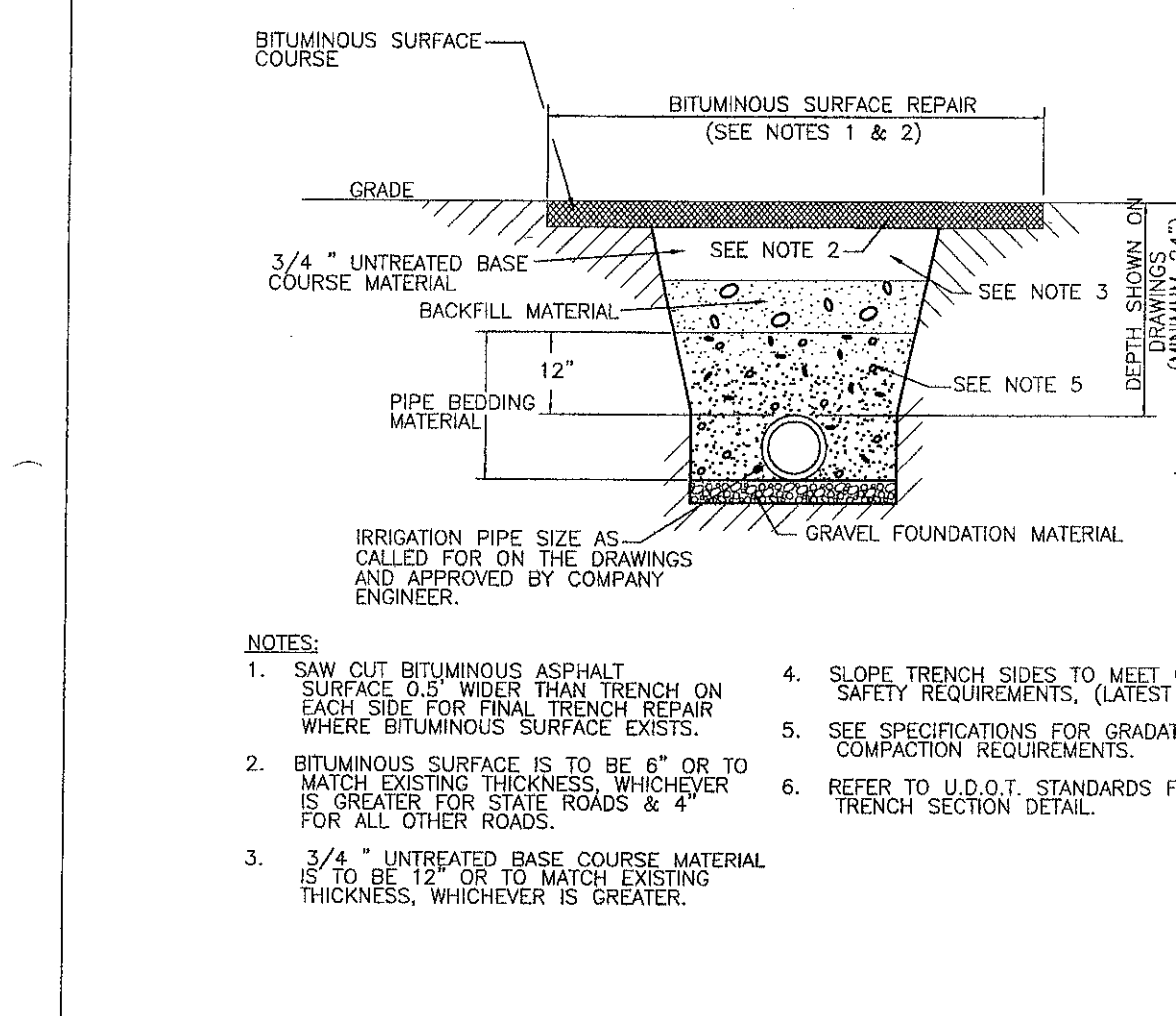
LOCAL / SYSTEM DRAIN DETAIL
N.T.S.

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Hooper Irrigation Company
Pressure Irrigation Standards
LOCAL / SYSTEM DRAIN DETAIL

SHEET PI-4	



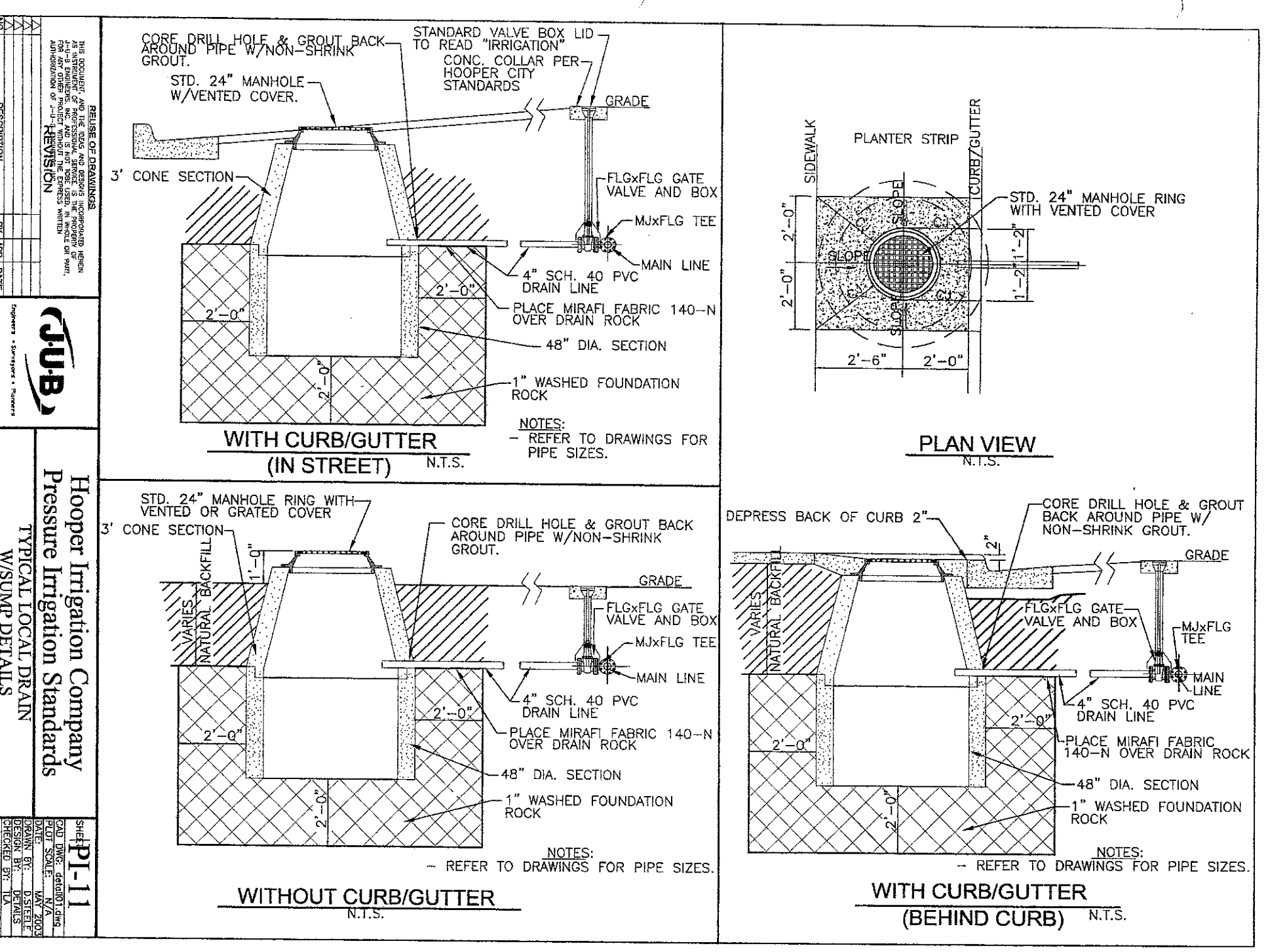
BITUMINOUS SURFACE TRENCH SECTION
N.T.S.

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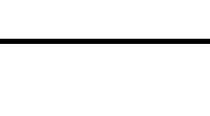
Hooper Irrigation Company
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BITUMINOUS SURFACE TRENCH SECTION

SHEET PI-7	



TYPICAL LOCAL DRAIN WITH CURB/GUTTER
N.T.S.

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Pressure Irrigation Standards
TYPICAL LOCAL DRAIN WITH CURB/GUTTER

SHEET PI-11	

No.	Date	By	Revision

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Sheet **22** of **23** Sheets

1 THRUST BLOCK DETAIL
APPLIES TO ALL PRESSURE PIPE

2 TYPICAL VALVE DETAIL

SIZE	BENDS		TEES		CROSSES		VALVE BOXES	
	90°	45°	90°	11.3°	90°	90°	90°	90°
3	1.0	0.0	0.5	0	0.7	0.5	0.7	0.7
4	1.8	1.0	0.5	0	1.2	0.5	1.3	1.3
5	4.0	2.2	1.1	0	2.8	0.7	2.8	2.8
6	7.1	3.6	2.0	1.0	5.0	2.4	5.0	5.0
8	11.1	6.0	3.0	1.5	7.8	4.5	7.8	7.8
12	18.0	8.5	4.4	2.2	11.3	7.3	11.3	11.3
14	21.7	11.0	6.0	3.0	13.4	11.0	13.4	13.4
18	28.0	13.5	7.0	3.5	17.6	17.6	17.6	17.6
18	28.4	13.3	8.0	4.0	20.0	20.0	20.0	20.0
18	28.0	13.4	10.0	5.0	25.4	25.4	25.4	25.4
20	44.2	24.0	12.0	6.1	31.4	31.4	31.4	31.4
21	46.2	25.3	13.5	6.8	34.4	34.4	34.4	34.4
22	54.0	29.0	14.8	7.4	38.0	38.0	38.0	38.0
24	64.0	34.3	17.7	8.8	45.0	45.0	45.0	45.0
30	100.0	54.0	27.8	13.8	71.2	71.2	71.2	71.2
36	144.0	78.0	40.0	20.0	100.0	100.0	100.0	100.0

STANDARD WATER DETAILS
TAYLOR WEST WEBER
WATER IMPROVEMENT DISTRICT
THRUST BLOCK DETAIL
TYPICAL VALVE DETAIL
SHEET 1

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3A TYPICAL TRENCH SECTION

3B UDOT CROSSING TRENCH DETAIL

STANDARD WATER DETAILS
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TYPICAL TRENCH SECTION
UDOT CROSSING TRENCH DETAIL
SHEET 2

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4 TYPICAL WATER CONNECTION/RE-CONNECTION

5 FIRE HYDRANT DETAIL

STANDARD WATER DETAILS
TAYLOR WEST WEBER
WATER IMPROVEMENT DISTRICT
TYPICAL WATER CONNECTION DETAIL
FIRE HYDRANT DETAIL
SHEET 3

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STANDARD WATER DETAILS
TAYLOR WEST WEBER
WATER IMPROVEMENT DISTRICT
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14B BLOW OFF DETAIL

STANDARD WATER DETAILS
TAYLOR WEST WEBER
WATER IMPROVEMENT DISTRICT
BLOW OFF DETAIL
SHEET 1B

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TAYLOR WEST WEBER WATER DETAILS FOR
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