



Land Use Permit

Weber County Planning Commission

2380 Washington Blvd. STE 240

Ogden, UT 84401

Phone: (801) 399-8791 FAX: (801) 399-8862

webercountyutah.gov/planning

Permit Number: LUP232-2021

Permit Type: Structure

Permit Date: 07/14/2021

Applicant

Name: Heidi Christiansen

Business:

Address: 3932 N 4800 E
Eden, UT 84310

Phone: 801-698-2064

Owner

Name: Allen Kirk Construction LLC

Business:

Address:
, UT

Phone: 801-698-2064

Parcel

Parcel: 222540005

Zoning: FR-3 **Area:** 0 **Sq Ft:**
Address: 3932 N 4800 E EDEN, UT 84310

Lot(s): 22 **Subdivision:** Fairway Oaks Ph. 2 Amd.
T - R - S - QS: 7N - 1E - 22 - NW

Proposal

Proposed Structure: SFD

Proposed Structure Height: 25

of Dwelling Units: 1

Off Street Parking Reqd: 2

Building Footprint: 2554

Max Structure Height in Zone: 35

of Accessory Bldgs: 0

***Is Structure > 1,000 Sq. Ft?** Yes

*If True Need Certif. Statement

Permit Checklist

Access Type: Front Lot Line

Greater than 4218 ft above sea level? Yes

Additional Setback Reqd. ? No

> 200 ft from paved Road? No

Culinary Water District: Wolf Creek Water

Alternative Access File # N/A

Wetlands/Flood Zone? No

Meet Zone Area Frontage? Yes

Hillside Review Reqd? No N/A

Waste Water System: Wolf Creek Sewer

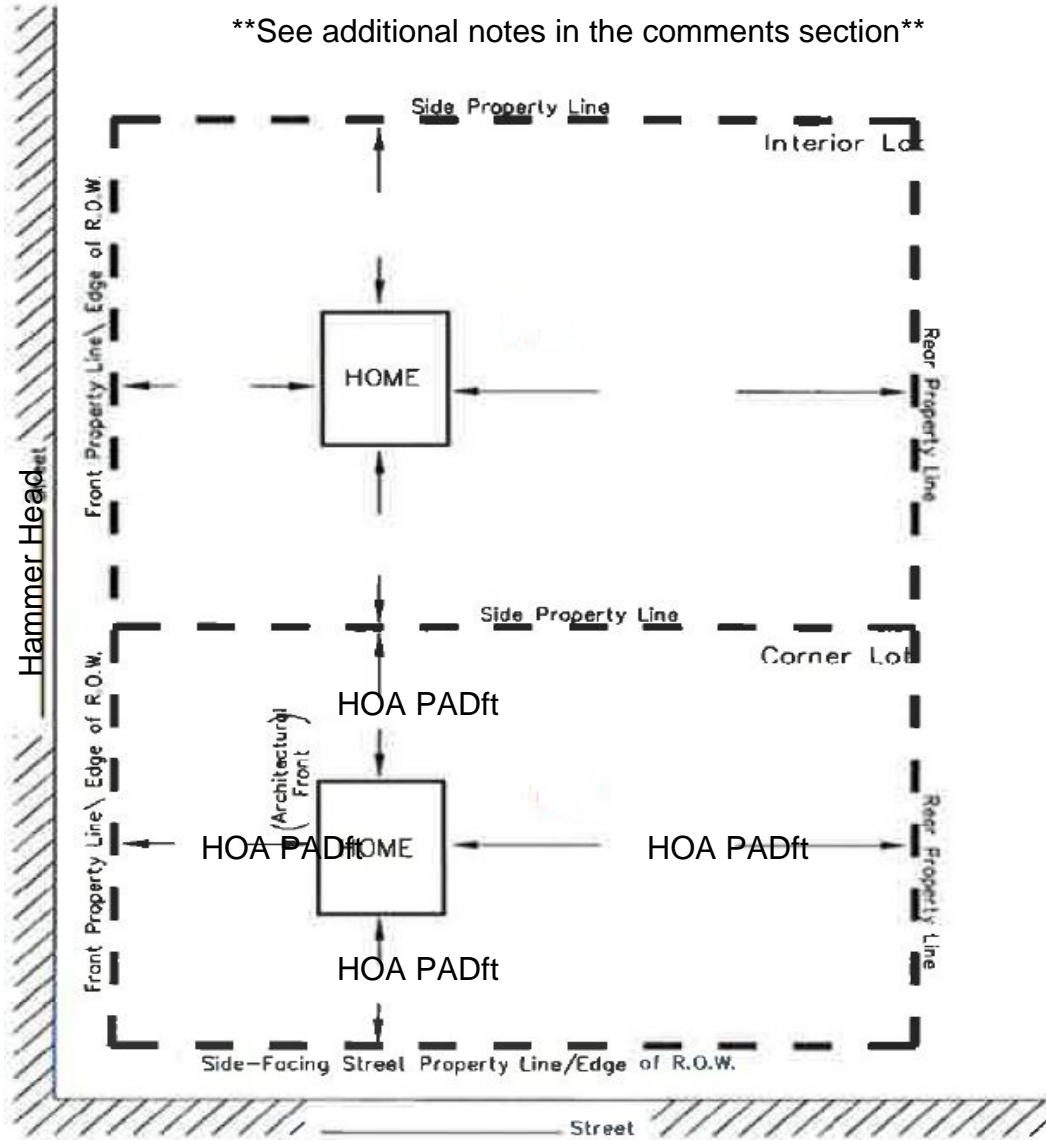
Comments

This Land Use Permit is for a single-family dwelling on building pad #22 of the Fairway Oaks @ Wolf Creek PRUD Phase 2 Amended subdivision. Building setbacks are dictated by the building pad on the subdivision plat (see enclosed). Weber County staff requested correspondence from the Fairway Oaks Design Review Board regarding the architectural and material design of the structure via email 6/24/2021. No response from the HOA was received. With guidance from the Weber County Attorney's Office, Planning staff reviewed the proposed home plans, in the absence of an HOA approval letter, to verify that the home is consistent with the single-family home standards (LUC Sec. 108-15). Staff also found that home to be architecturally and materially consistent with existing homes in the Fairway Oaks community. Ultimately, compliance with any applicable private covenants is the responsibility of the owner. Lastly, all outdoor lighting is required to remain in compliance with LUC Sec. 108-16.

Land Use Permit

Structure Setback Graphic: New Dwelling, Addition, Etc.

****See additional notes in the comments section****



4800 East

MINIMUM YARD SETBACKS New Dwelling, Addition, Etc.

NOTICE FOR APPLICANT (Please Read Before Signing)

Proposals for the installation of an individual water supply and for a sanitary waste disposal system (septic tank) for any structure designed for human occupation must be approved by Weber County Health Department prior to installation.

Scott Perkes

07/14/2021

Planning Dept. Signature of Approval

Date

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this land use will be complied with whether specified herein or not. I make this statement under penalty of perjury.

Contractor/Owner Signature of Approval

Date

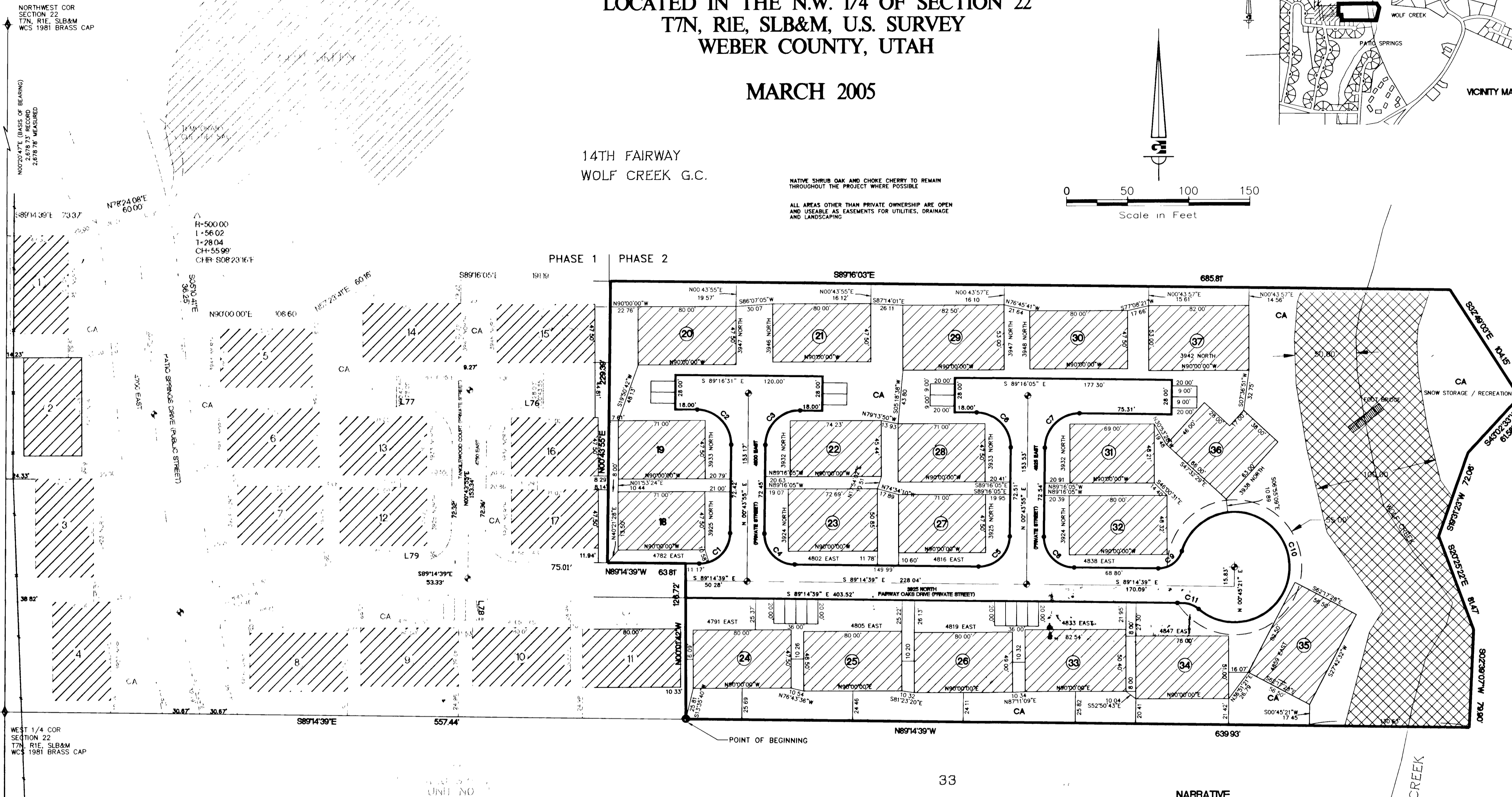
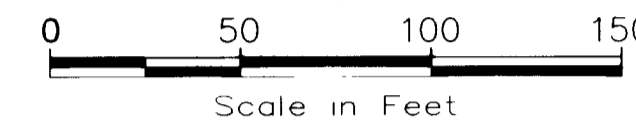
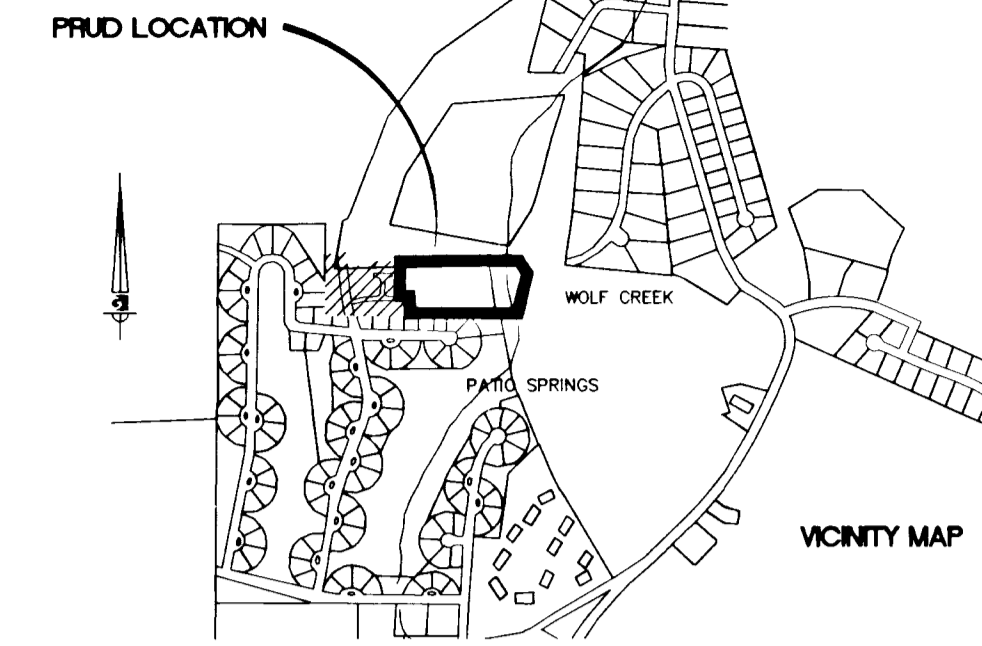
FAIRWAY OAKS AT WOLF CREEK P.R.U.D. PHASE 2, AMENDED

A PLANNED RESIDENTIAL UNIT DEVELOPMENT
LOCATED IN THE N.W. 1/4 OF SECTION 22
T7N, R1E, SLB&M, U.S. SURVEY
WEBER COUNTY, UTAH

MARCH 2005

14TH FAIRWAY
WOLF CREEK G.C.

NATIVE SHRUB OAK AND CHOKO CHERRY TO REMAIN
THROUGHOUT THE PROJECT WHERE POSSIBLE
ALL AREAS OTHER THAN PRIVATE OWNERSHIP ARE OPEN
AND USEABLE AS EASEMENTS FOR UTILITIES, DRAINAGE
AND LANDSCAPING.



SURVEYOR'S CERTIFICATE

I, KEN E. GARDNER, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 754270, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW AND THAT THE REFERENCE MARKERS SHOWN ON THIS SUBDIVISION PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY. THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE BELOW DESCRIBED TRACT OF REAL PROPERTY AND OF EACH OF THE LOTS LOCATED ON SAID TRACT AND THIS SUBDIVISION PLAT COMPLIES WITH THE PROVISIONS OF THE CURRENT SUBDIVISION AND ZONING ORDINANCE REGULATIONS OF WEBER COUNTY.

BOUNDARY DESCRIPTION

A PART OF THE NORTHWEST 1/4 OF SECTION 22, T7N, R1E, SLB&M, BEGINNING AT THE WEST QUARTER CORNER OF SAID SECTION 22 (WCS 1981 BRASS MONUMENT, BASIS OF BEARING N 00°20'47" E FROM SAID CORNER TO THE NW CORNER OF SAID SECTION 22), S 89°14'39" E, ALONG THE 1/4 SECTION LINE, 557.44 FEET, TO THE POINT OF BEGINNING, THENCE AS FOLLOWS:

COURSES	CONTAINS
N 00°01'42" W 126.72'	ALONG THE EAST LINE OF FAIRWAY OAKS AT WOLF CREEK PRUD, THENCE,
N 89°14'39" W 63.81'	ALONG SAID EAST LINE, THENCE,
N 00°43'55" E 229.39'	ALONG SAID EAST LINE, THENCE,
S 89°16'03" E 685.81'	THENCE,
S 32°49'03" E 104.15'	THENCE,
S 43°02'33" W 61.58'	THENCE,
S 19°31'23" W 72.06'	THENCE,
S 20°25'22" E 81.47'	THENCE,
S 02°39'07" W 79.90'	TO THE QUARTER SECTION LINE, THENCE,
N 89°14'39" W 639.93'	ALONG SAID LINE TO THE TO THE POINT OF BEGINNING

CONTAINS 5.575 ACRES / 242,852 SQ. FT.
(INCLUDING COMMON AREA) AND 20 UNITS

DATE: 3/11/2005
SIGNATURE: KEN E. GARDNER
SEAL: REGISTERED LAND SURVEYOR No. 754270

OWNER'S DEDICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PRIVATE STREETS AND COMMON AREA AS SHOWN HEREON AND NAME SAID TRACT:

FAIRWAY OAKS AT WOLF CREEK, PRUD, PHASE 2, AMENDED

AND DO HEREBY DEDICATE AND RESERVE UNTO THEMSELVES, THEIR HEIRS, THEIR GRANTEEES AND ASSIGNS, A RIGHT-OF-WAY TO BE USED IN COMMON WITH ALL OTHERS WITHIN SAID SUBDIVISION (AND THOSE ADJOINING SUBDIVISIONS THAT MAY BE SUBDIVIDED BY THE UNDERSIGNED OWNERS, THEIR SUCCESSORS, OR ASSIGNS) ON, OVER AND ACROSS ALL THOSE PORTIONS OR PARTS OF SAID TRACT OF LAND DESIGNATED ON SAID PLAT AS PRIVATE STREETS AS ACCESS TO THE INDIVIDUAL LOTS, TO BE MAINTAINED BY A LOT OWNERS ASSOCIATION WHOSE MEMBERSHIP CONSISTS OF SAID OWNERS, THEIR GRANTEEES, SUCCESSORS, OR ASSIGNS, AND DO HEREBY GRANT AND CONVEY TO THE SUBDIVISION LOT OWNER'S ASSOCIATION, ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS COMMON AREAS TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH LOT OWNER ASSOCIATION MEMBER IN COMMON WITH ALL OTHERS IN THE SUBDIVISION AND GRANT AND DEDICATE TO WEBER COUNTY A PERPETUAL OPEN SPACE RIGHT AND EASEMENT ON AND OVER THE COMMON AREAS TO GUARANTEE TO WEBER COUNTY THAT THE COMMON AREAS REMAIN FOREVER OPEN AND UNDEVELOPED EXCEPT FOR APPROVED RECREATIONAL, PARKING AND OPEN SPACE PURPOSES, AND ALSO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED AS COMMON AREA ON THE PLAT AS PUBLIC UTILITY AND DRAINAGE EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES OR FOR THE PERPETUAL PRESERVATION OF WATER DRAINAGE CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY GOVERNING AUTHORITY WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS.

SIGNED THIS THE 17 DAY OF March, 2005

FRANK AZOMP
PRESIDENT, FAIRWAY OAKS HOME OWNER'S ASSOCIATION

LEGEND

- PRIVATE OWNERSHIP
- FLOOD ZONE EASEMENT
- COMMON AREA
- LOCATION OF STREET MONUMENT TO BE SET

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CORD BRG
C1	39.28	25.00	90°01'26"	25.01	35.36	N45°44'38"E
C2	43.98	28.00	90°00'00"	28.00	39.60	N44°16'05"W
C3	43.98	28.00	90°00'00"	28.00	39.60	S45°43'55"W
C4	39.26	25.00	89°58'34"	24.99	35.35	S44°15'22"E
C5	39.28	25.00	90°01'26"	25.01	35.36	N45°44'38"E
C6	43.98	28.00	90°00'00"	28.00	39.60	N44°16'05"W
C7	43.98	28.00	90°00'00"	28.00	39.60	S45°43'55"W
C8	39.26	25.00	89°58'34"	24.99	35.35	S44°15'22"E
C9	25.75	20.00	73°45'59"	15.01	24.01	N53°52'22"E
C10	230.68	45.00	293°43'01"	29.38	49.20	N16°09'07"W
C11	13.95	20.00	39°57'02"	7.27	13.66	N69°16'08"W

NARRATIVE

THIS SURVEY AND SUBSEQUENT CONDOMINIUM PLAT WERE COMPLETED AT THE REQUEST OF THE "FAIRWAY OAKS HOMEOWNERS ASSOCIATION" FOR THE PURPOSE OF SUBDIVIDING THEIR PROPERTY TO CREATE CONDOMINIUM UNITS. BOUNDARIES FOR THE PLAT WERE ESTABLISHED FROM ADJOINING PLATS AND ESTABLISHED GOLF COURSE BOUNDARIES USED IN THE ORIGINAL PRELIMINARY PLAT. ALL ORIGINAL BOUNDARIES WERE "FREE" BOUNDARIES CREATED TO SEPARATE OPEN SPACE FROM DEVELOPMENT PROPERTIES.

NOTES:

- ALL AREAS NOT WITHIN THE BOUNDARIES OF THE TWENTY (20) NUMBERED LOTS ARE COMMON AREAS AND FACILITIES. CERTAIN OF WHICH AREAS ARE MARKED "CA" HEREON. PROVIDED HOWEVER, APPURTENANT TO THE LOTS ARE PERPETUAL EASEMENTS FOR THE ENCROACHMENT OF EAVES OF THE BUILDINGS. THE DRIVEWAYS ARE RESERVED FOR THE USE OF THE LOT TO WHICH IT IS APPURTENANT.
- EACH OF THE NUMBERS 18 THRU 37 IS THE NUMBER OF A LOT IN THE PROJECT.
- ALL COMMON AREA IS CONSIDERED TO BE AN EASEMENT FOR PUBLIC UTILITIES AND DRAINAGE PURPOSES. ALSO, THE PRIVATE STREET IS AVAILABLE FOR PUBLIC UTILITIES AND DRAINAGE.
- THE COMMON AREA WILL BE OWNED BY THE FAIRWAY OAKS AT WOLF CREEK OWNERS ASSOCIATION, A UTAH NONPROFIT CORPORATION.

WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION ON THE 6th DAY OF June, 2005

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYORS OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH

SIGNED THIS 11th DAY OF March, 2005

WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE

THIS 28th DAY OF June, 2005

CHAIRMAN, WEBER COUNTY COMMISSION

ACKNOWLEDGMENT

STATE OF UTAH }
COUNTY OF WEBER } SS

ON THIS 17th DAY OF March, 2005
FRANK AZOMP

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY OF WEBER, IN SAID STATE OF UTAH, THE SIGNER OF THE ABOVE OWNER'S DEDICATION, ONE (1) IN NUMBER, WHO DULY ACKNOWLEDGED TO ME HE HAD SIGNED IT FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY COMPLY WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND HAVE FULL FORCE AND EFFECT.

SIGNED THIS 6th DAY OF April, 2005

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS

SIGNED THIS 6th DAY OF April, 2005

TITLE: Admin. Assist.

ATTEST: Fatima Blackford

NOTARY PUBLIC

Prepared By: Gardner Engineering

5875 S. ADAMS AVE PARKWAY
SUITE 200
OGDEN, UT 84405
(801)476-0202

COUNTY RECORDER
2172581
ENTRY NO. FEE PAID
230.00 FILED FOR RECORD AND
RECORDED 12-APR-2006 AT
9:19 AM IN BOOK 63 OF OFFICIAL
RECORDS, PAGE 63-50
FOR LEADS HOMES
Doug Coombs
COUNTY RECORDER
By: James Anzures
DEPUTY