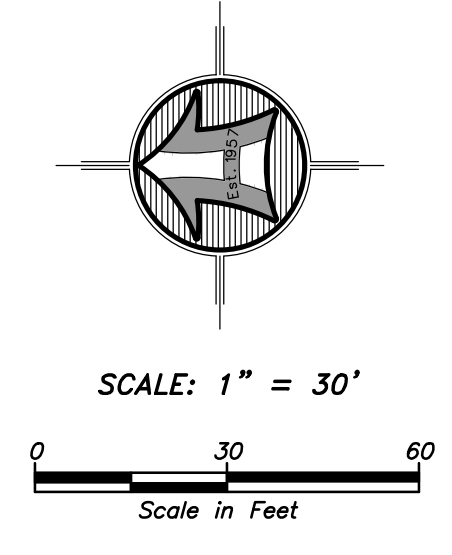


LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN PIPE
- EXISTING FENCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- EXISTING SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT



NOTICE!
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call Before You Dig
1-800-662-4111
UNDERGROUND SERVICE

Engineer's Notice To Contractors

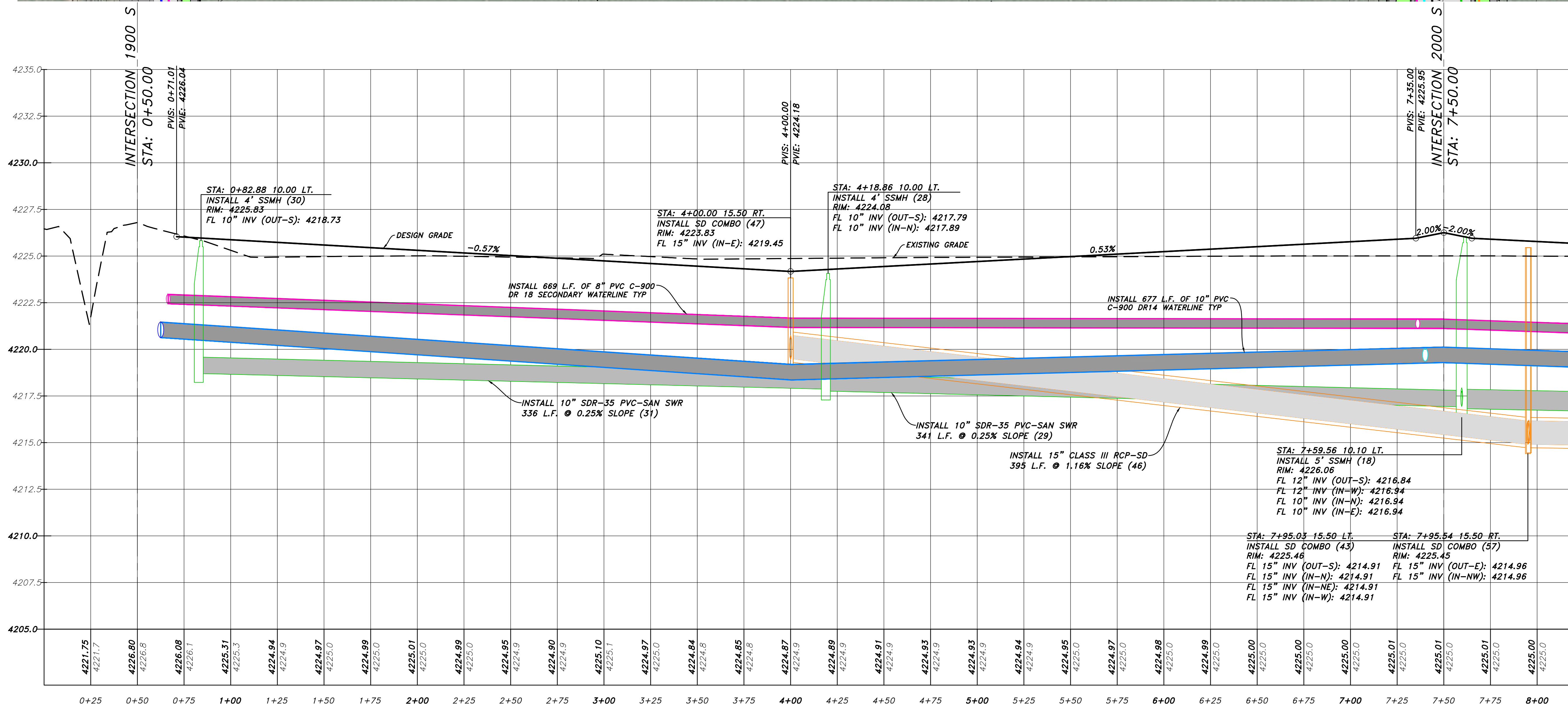
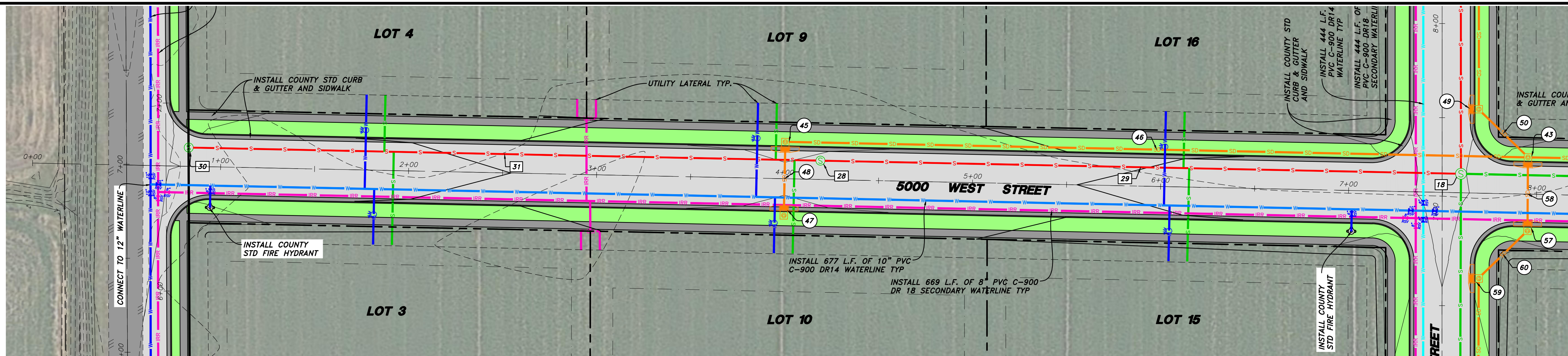
The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.hansen.net
Logan Ogden
(435) 723-3491 (801) 399-4905 (435) 752-8272
Celebrating over 60 Years of Business

Drawn By: BTC Date: 08/19/21
Designed By: _____
Checked By: _____
Approved By: _____
Scale: 1" = 100'
Drawing File: 20-162 PP V19
JOB NUMBER: 20-162

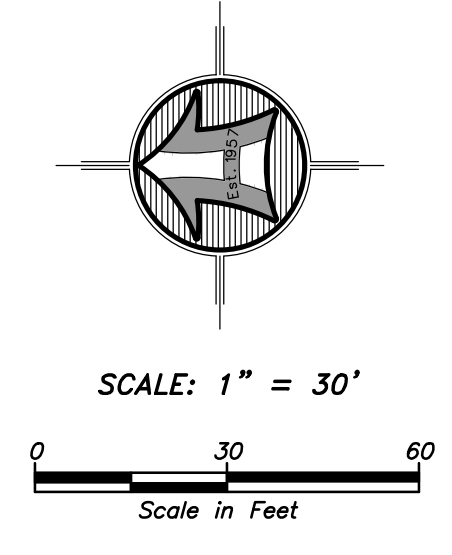
Saddlewood Estates
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.&M.

Sheet **11** of **21** Sheets



LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN PIPE
- SAW-CUT REQ'D.
- EXISTING FENCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- PROPOSED SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT



NOTICE!
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call Digs
1-800-662-4111
UNDERGROUND SERVICE

Engineer's Notice To Contractors

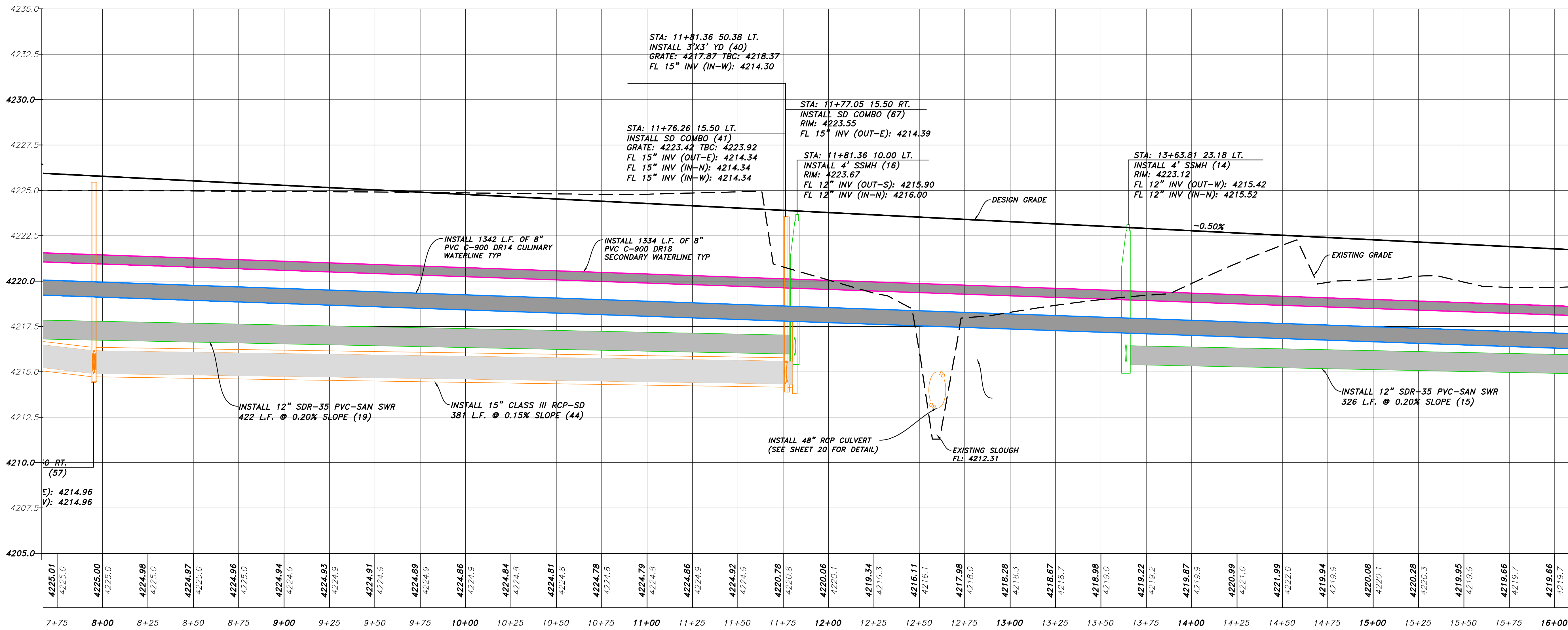
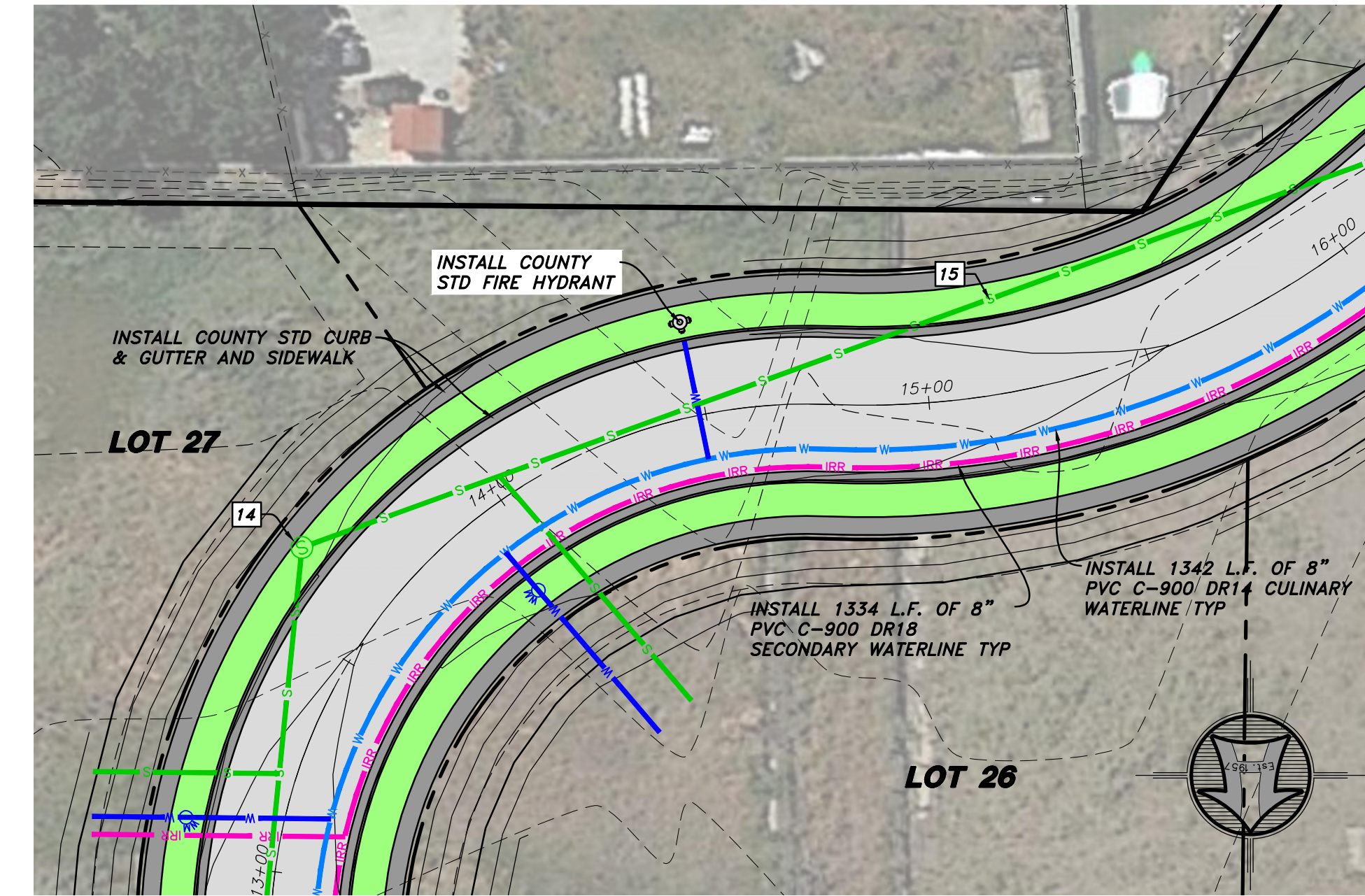
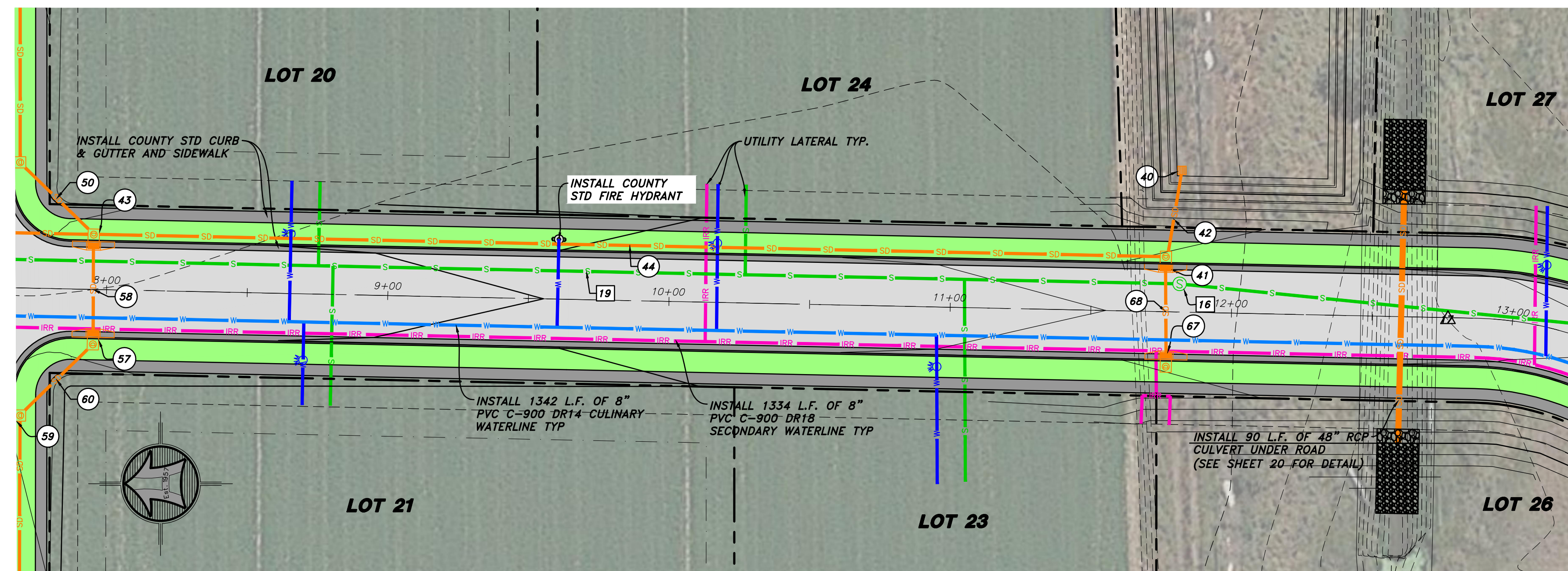
The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.hansen.net
Logan Ogden
(435) 723-3491 (801) 399-4905 (435) 752-8272
Celebrating over 60 Years of Business

Drawn By: BTC Date: 08/19/21
Designed By: _____
Checked By: _____
Approved By: _____
Scale: 1" = 100'
Drawing File: 20-162 PP V19
JOB NUMBER: 20-162

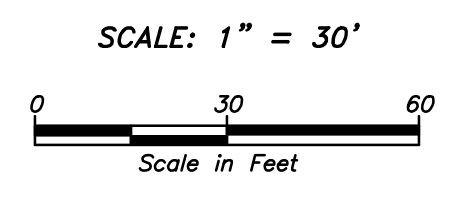
Saddlewood Estates
5000 WEST PLAN & PROFILE FOR FOR
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.M.

Sheet
12
of
21
Sheets



LEGEND:

---	SUBDIVISION BOUNDARY		EXISTING STORM DRAIN INLET
---	PROPOSED PROPERTY LINE		EXISTING WATER METER
---	EXISTING PROPERTY LINE		EXISTING FIRE HYDRANT
---	EXISTING SEWER LINE		EXISTING LIGHT POLE
---	EXISTING WATER LINE		PROPOSED SEWER MANHOLE
---	EXISTING SECONDARY WATER LINE		PROPOSED STORM DRAIN MANHOLE
---	EXISTING STORM DRAIN PIPE		PROPOSED STORM DRAIN INLET
---	PROPOSED SEWER LINE		PROPOSED WATER METER
---	PROPOSED WATER LINE		PROPOSED FIRE HYDRANT
---	PROPOSED SECONDARY WATER LINE		EXISTING CURB & GUTTER
---	PROPOSED STORM DRAIN PIPE		EXISTING SIDEWALK
---	SAW-CUT REQ'D.		PROPOSED CURB & GUTTER
---	EXISTING FENCE		PROPOSED SIDEWALK
---	EXISTING 5' CONTOUR		PROPOSED ASPHALT PAVEMENT
---	EXISTING 1' CONTOUR		
---	EXISTING SEWER MANHOLE		
---	EXISTING STORM DRAIN MANHOLE		



NOTICE!

EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call Before Dig

1-800-662-4111
UNDERGROUND SERVICE

Engineer's Notice To Contractors

The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

5000 WEST PLAN & PROFILE FOR FOR

Saddlewood Estates

2000 SOUTH 5000 WEST
Taylor, Weber County, Utah

A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.M.

Drawn By: BTC Date: 08/19/21

Designed By: _____

Checked By: _____

Approved By: _____

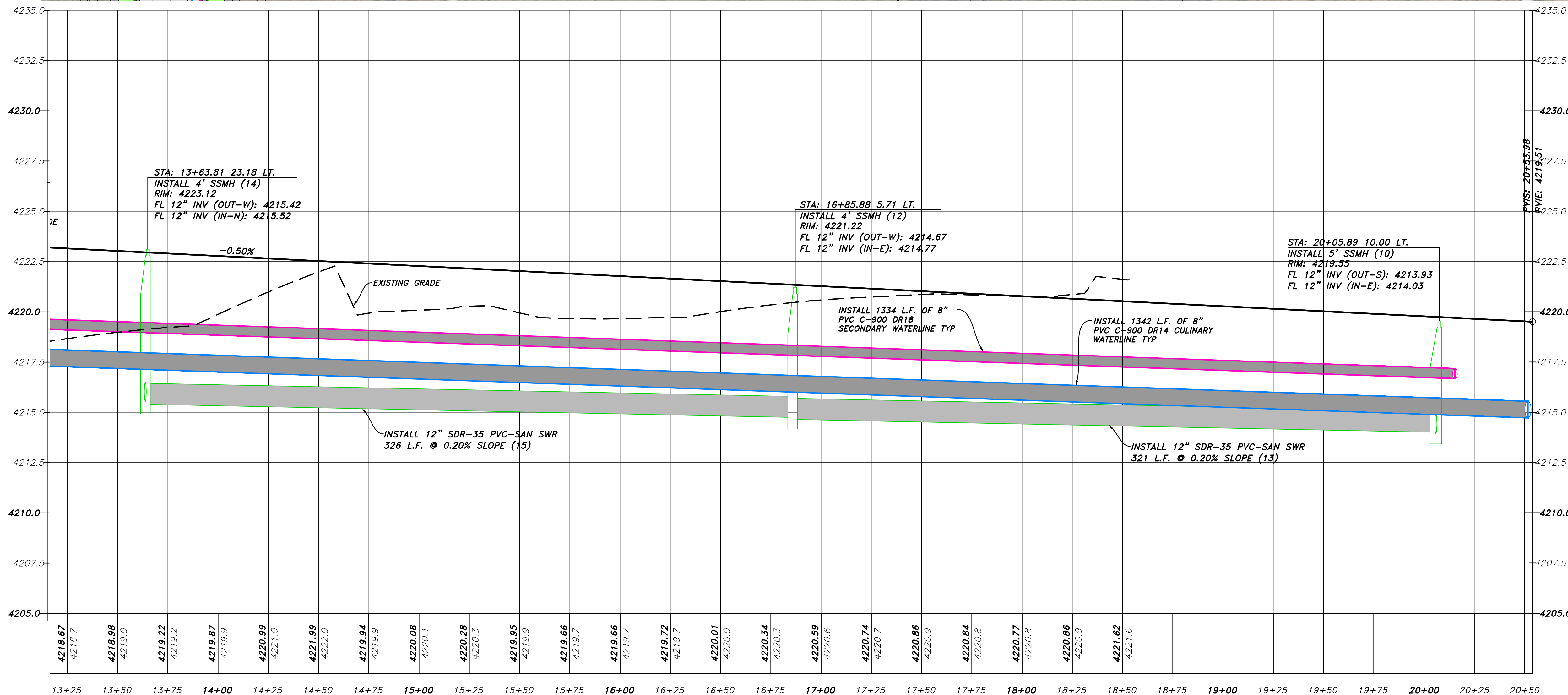
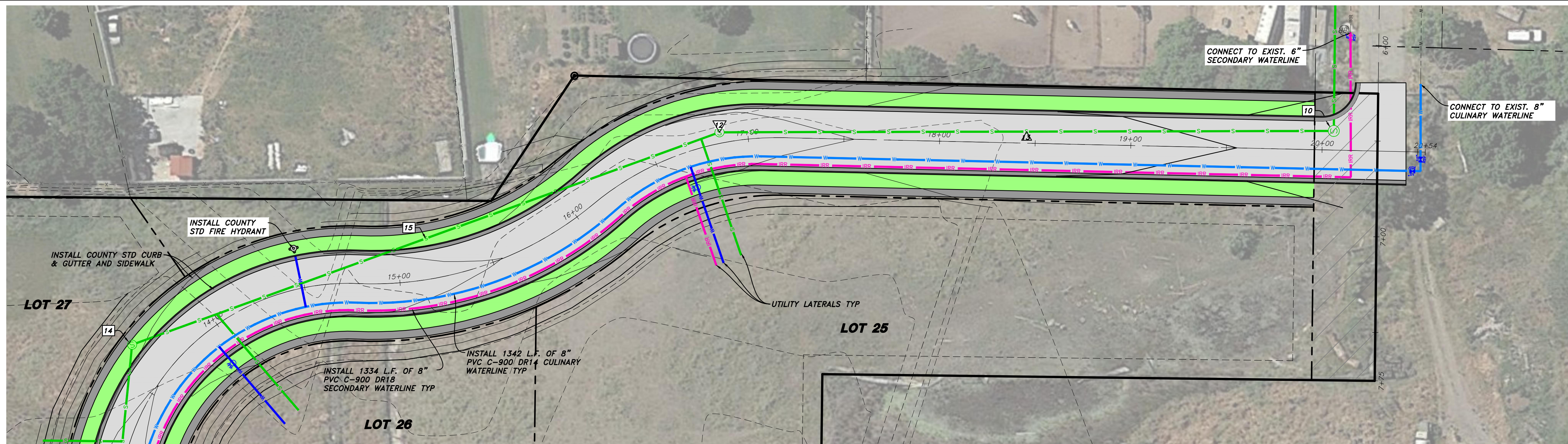
Scale: 1" = 100'

Drawing File: 20-162 PP V19

JOB NUMBER: 20-162

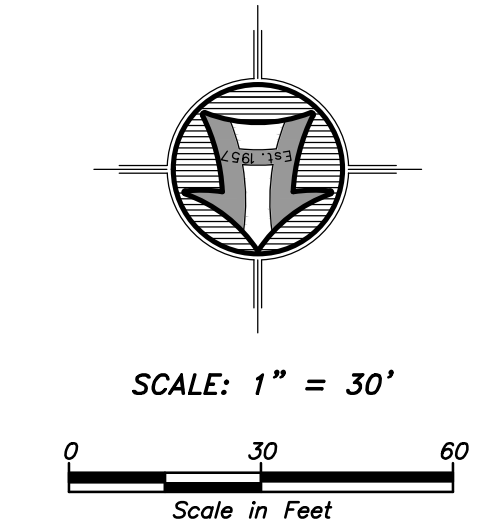
HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.hansen.net
Logan Ogden
Brigham City
(435) 723-3491 (801) 399-4905 (435) 752-8272
Celebrating over 60 Years of Business

Sheet
13
of
21
Sheets



LEGEND:

—	SUBDIVISION BOUNDARY	—	EXISTING STORM DRAIN INLET
- - -	PROPOSED PROPERTY LINE	—	EXISTING WATER METER
- - -	EXISTING PROPERTY LINE	—	EXISTING FIRE HYDRANT
- - -	EXISTING WATER LINE	—	EXISTING LIGHT POLE
- - -	EXISTING SEWER LINE	—	PROPOSED SEWER MANHOLE
- - -	EXISTING WATER LINE	—	PROPOSED STORM DRAIN MANHOLE
- - -	EXISTING SECONDARY WATER LINE	—	PROPOSED STORM DRAIN INLET
- - -	EXISTING STORM DRAIN PIPE	—	PROPOSED WATER METER
- - -	PROPOSED SEWER LINE	—	PROPOSED FIRE HYDRANT
- - -	PROPOSED WATER LINE	—	EXISTING CURB & GUTTER
- - -	PROPOSED SECONDARY WATER LINE	—	EXISTING SIDEWALK
- - -	PROPOSED STORM DRAIN PIPE	—	PROPOSED CURB & GUTTER
- - -	SAW-CUT REQ'D	—	PROPOSED SIDEWALK
- - -	EXISTING FENCE	—	PROPOSED ASPHALT PAVEMENT
- - -	EXISTING 5' CONTOUR		
- - -	EXISTING 1' CONTOUR		
- - -	EXISTING SEWER MANHOLE		
- - -	EXISTING STORM DRAIN MANHOLE		



NOTICE!
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call Digs
BEFORE YOU
1-800-662-4111
UNDERGROUND SERVICE

Engineer's Notice To Contractors

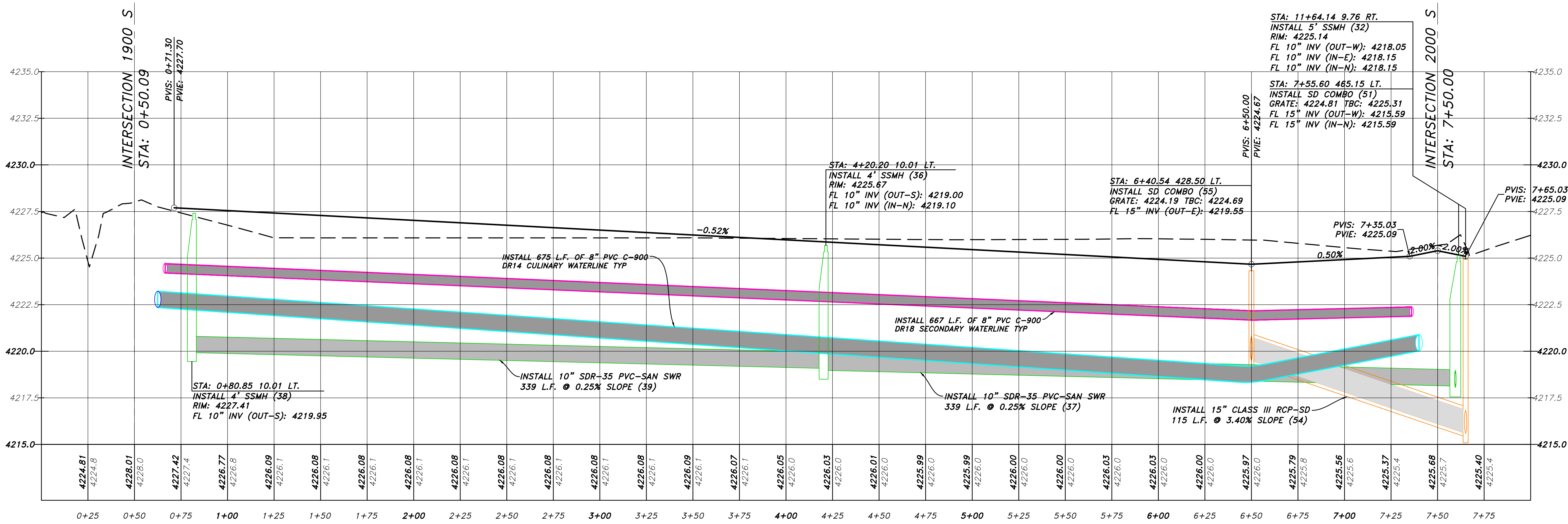
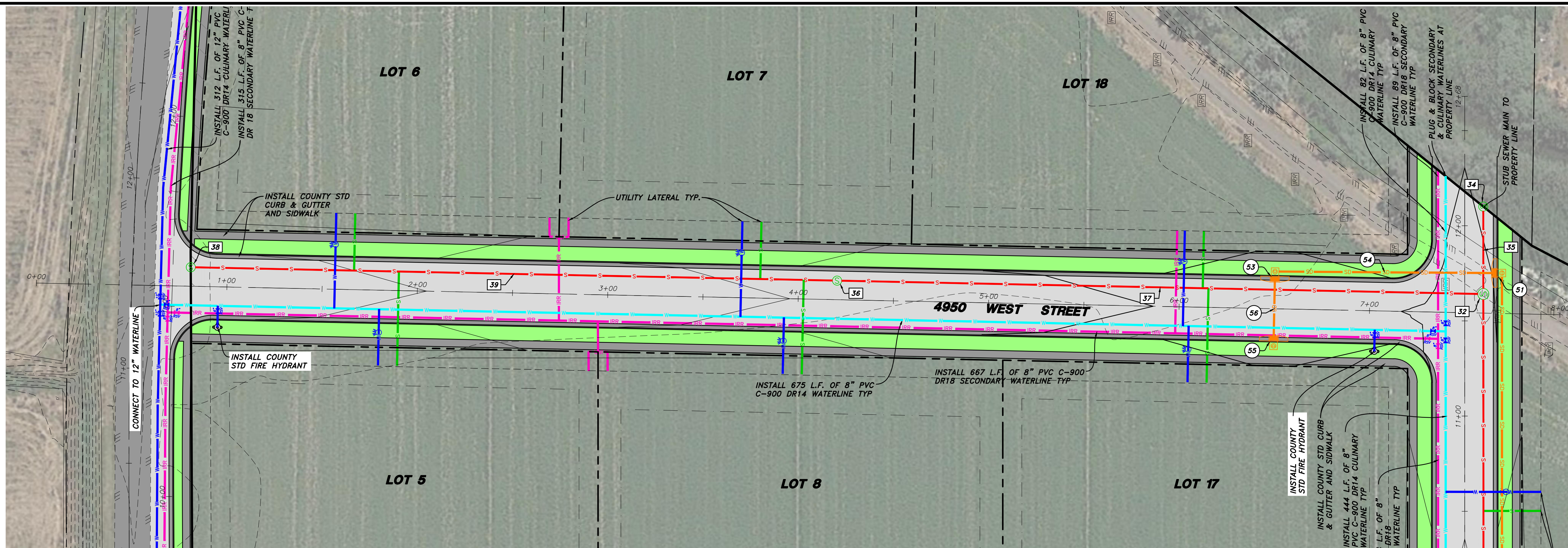
The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.hansen.net
Logan Ogden
Brigham City
(435) 723-3491 (801) 399-4905 (435) 752-8272
Celebrating over 60 Years of Business

Drawn By: BTC Date: 08/19/21
Designed By:
Checked By:
Approved By:
Scale: 1" = 100'
Drawing File: 20-162 PP V19
JOB NUMBER: 20-162

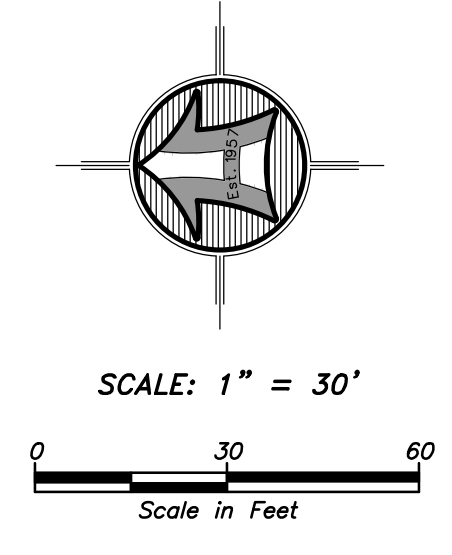
Saddlewood Estates
5000 WEST PLAN & PROFILE FOR FOR
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.&M.

Sheet
14
of
21
Sheets



LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED WATER LINE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN PIPE
- SAW-CUT REQ'D.
- EXISTING FENCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- PROPOSED SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT



NOTICE!
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call Before You Dig
1-800-662-4111
UNDERGROUND SERVICE

Engineer's Notice To Contractors

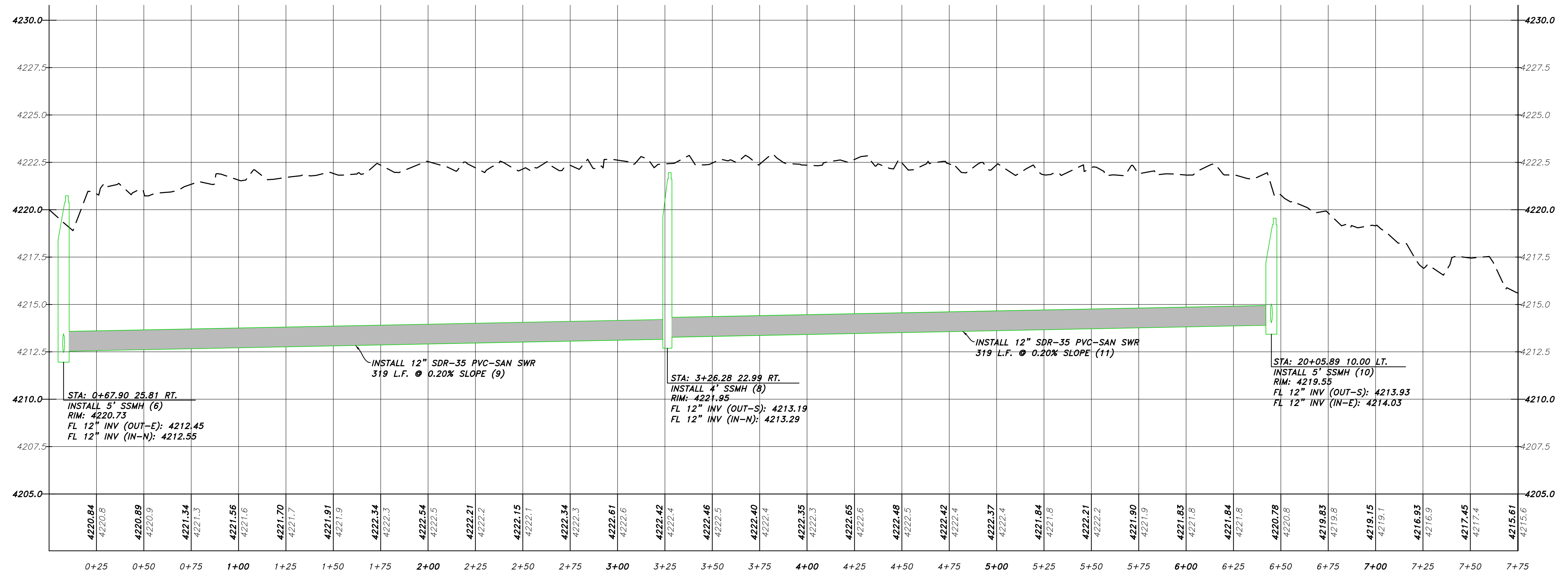
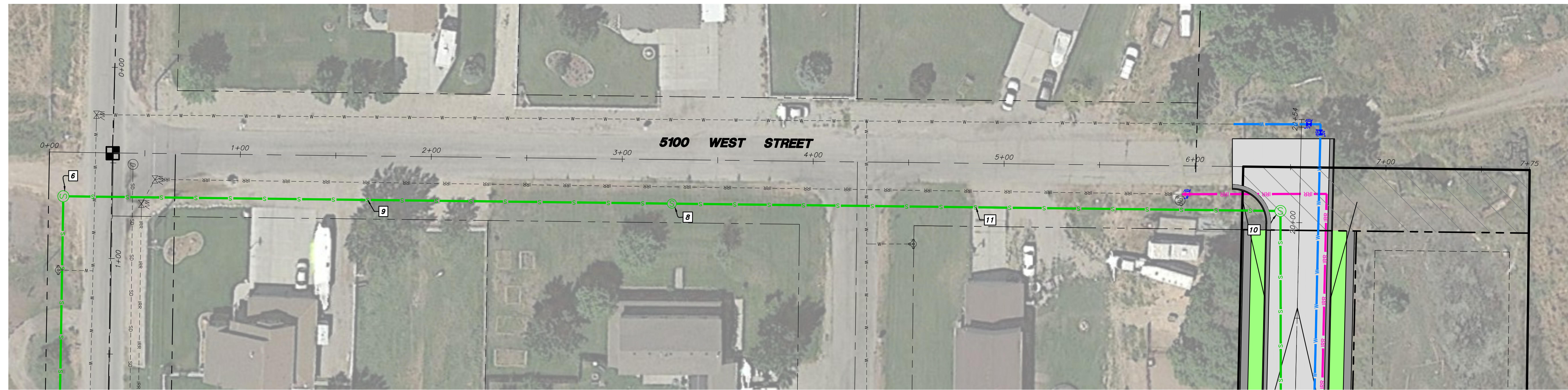
The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

Drawn By: BTC Date: 08/19/21
 Designed By: _____
 Checked By: _____
 Approved By: _____
 Scale: 1" = 100'
 Drawing File: 20-162 PP V19
 JOB NUMBER: 20-162

HANSEN & ASSOCIATES, INC.
 Consulting Engineers and Land Surveyors
 538 North Main Street, Brigham, Utah 84302
 Visit us at www.hansen.net
 Brigham City Ogden Logan
 (435) 723-3491 (801) 399-4905 (435) 752-8272
 Celebrating over 60 Years of Business

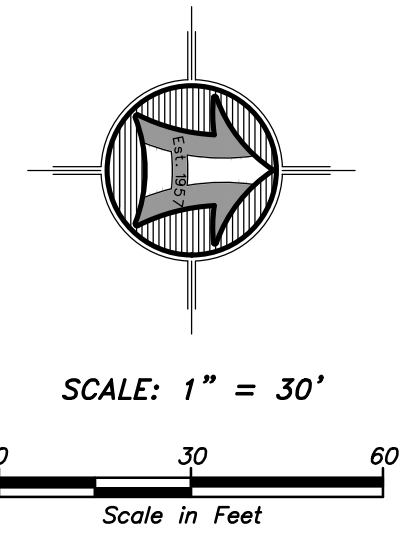
Saddlewood Estates
 2000 SOUTH 5000 WEST
 Taylor, Weber County, Utah
 A Part of the Northeast Quarter of Section 14,
 Township 9 North, Range 2 West, S.L.B.&M.

Sheet **15** of **21** Sheets



LEGEND:

- | | |
|--|--|
| <ul style="list-style-type: none"> — SUBDIVISION BOUNDARY - - - PROPOSED PROPERTY LINE - - - EXISTING PROPERTY LINE - - - EXISTING SEWER LINE - - - EXISTING WATER LINE - - - EXISTING SECONDARY WATER LINE - - - EXISTING STORM DRAIN PIPE - - - PROPOSED SEWER LINE - - - PROPOSED WATER LINE - - - PROPOSED SECONDARY WATER LINE - - - PROPOSED STORM DRAIN PIPE - - - SAW-CUT REQ'D. - - - EXISTING FENCE - - - EXISTING 5' CONTOUR - - - EXISTING 1' CONTOUR - - - EXISTING SEWER MANHOLE - - - EXISTING STORM DRAIN MANHOLE | <ul style="list-style-type: none"> ⊕ EXISTING STORM DRAIN INLET ⊕ EXISTING WATER METER ⊕ EXISTING FIRE HYDRANT ⊕ EXISTING LIGHT POLE ⊕ PROPOSED SEWER MANHOLE ⊕ PROPOSED STORM DRAIN MANHOLE ⊕ PROPOSED STORM DRAIN INLET ⊕ PROPOSED WATER METER ⊕ PROPOSED FIRE HYDRANT ⊕ EXISTING CURB & GUTTER ⊕ EXISTING SIDEWALK ⊕ PROPOSED CURB & GUTTER ⊕ PROPOSED SIDEWALK ⊕ PROPOSED ASPHALT PAVEMENT |
|--|--|



NOTICE!
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call Before You Dig
1-800-662-4111
UNDERGROUND SERVICE

Engineer's Notice To Contractors

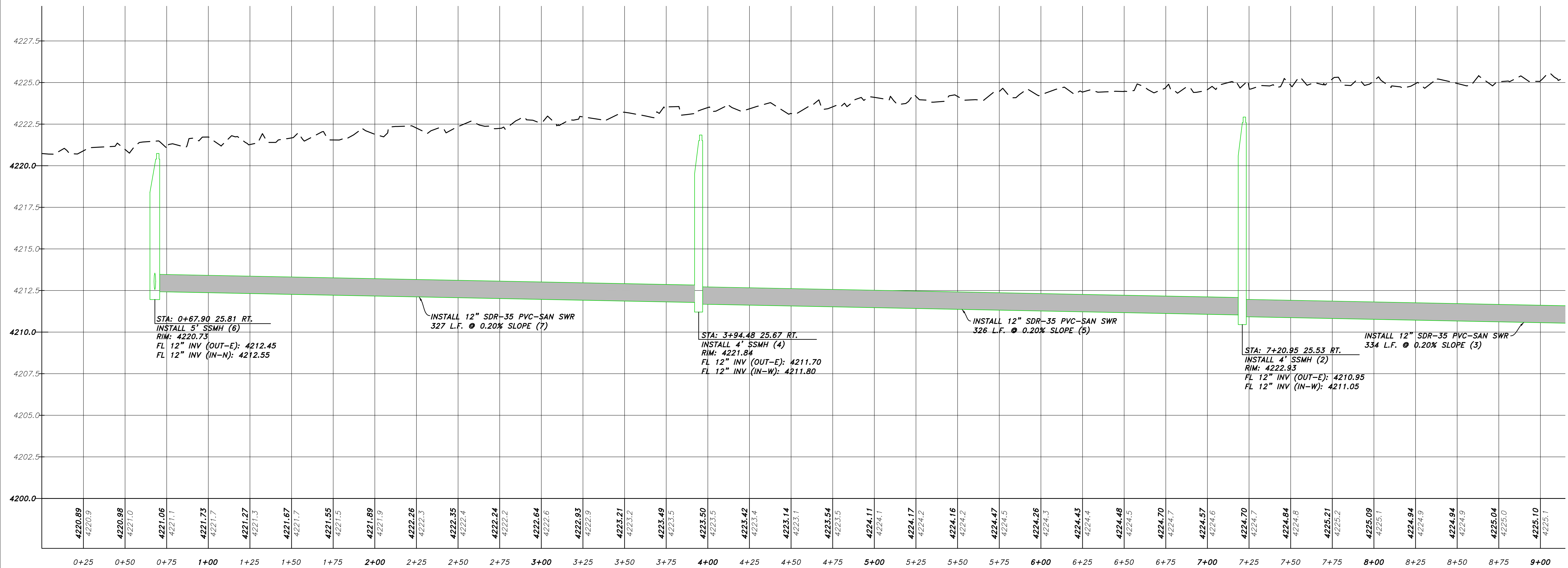
The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

HANSEN & ASSOCIATES, INC.
 Consulting Engineers and Land Surveyors
 538 North Main Street, Brigham, Utah 84302
 Visit us at www.hansen.net
 Ogden
 Brigham City
 (435) 723-3491 (801) 399-4905 (435) 752-8272
 Celebrating over 60 Years of Business

Drawn By: BTC Date: 08/19/21
 Designed By: _____
 Checked By: _____
 Approved By: _____
 Scale: 1" = 100'
 Drawing File: 20-162 PP V19
 JOB NUMBER: 20-162

Saddlewood Estates
 2000 SOUTH 5000 WEST
 Taylor, Weber County, Utah
 A Part of the Northeast Quarter of Section 14,
 Township 9 North, Range 2 West, S.L.B.&M.

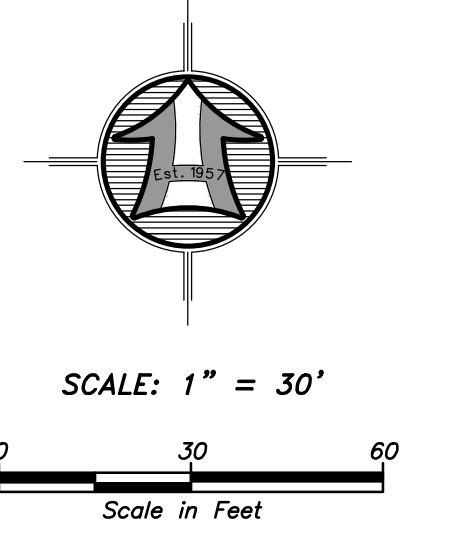
Sheet
16
 of
21
 Sheets



0+25 0+50 0+75 1+00 1+25 1+50 1+75 2+00 2+25 2+50 2+75 3+00 3+25 3+50 3+75 4+00 4+25 4+50 4+75 5+00 5+25 5+50 5+75 6+00 6+25 6+50 6+75 7+00 7+25 7+50 7+75 8+00 8+25 8+50 8+75 9+00

LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN PIPE
- SAW-CUT REQ'D.
- EXISTING FENCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- PROPOSED STORM MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT



NOTICE!
 EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.
 AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.
Call Digs
 1-800-662-4111
 UNDERGROUND SERVICE

Engineer's Notice To Contractors
 The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

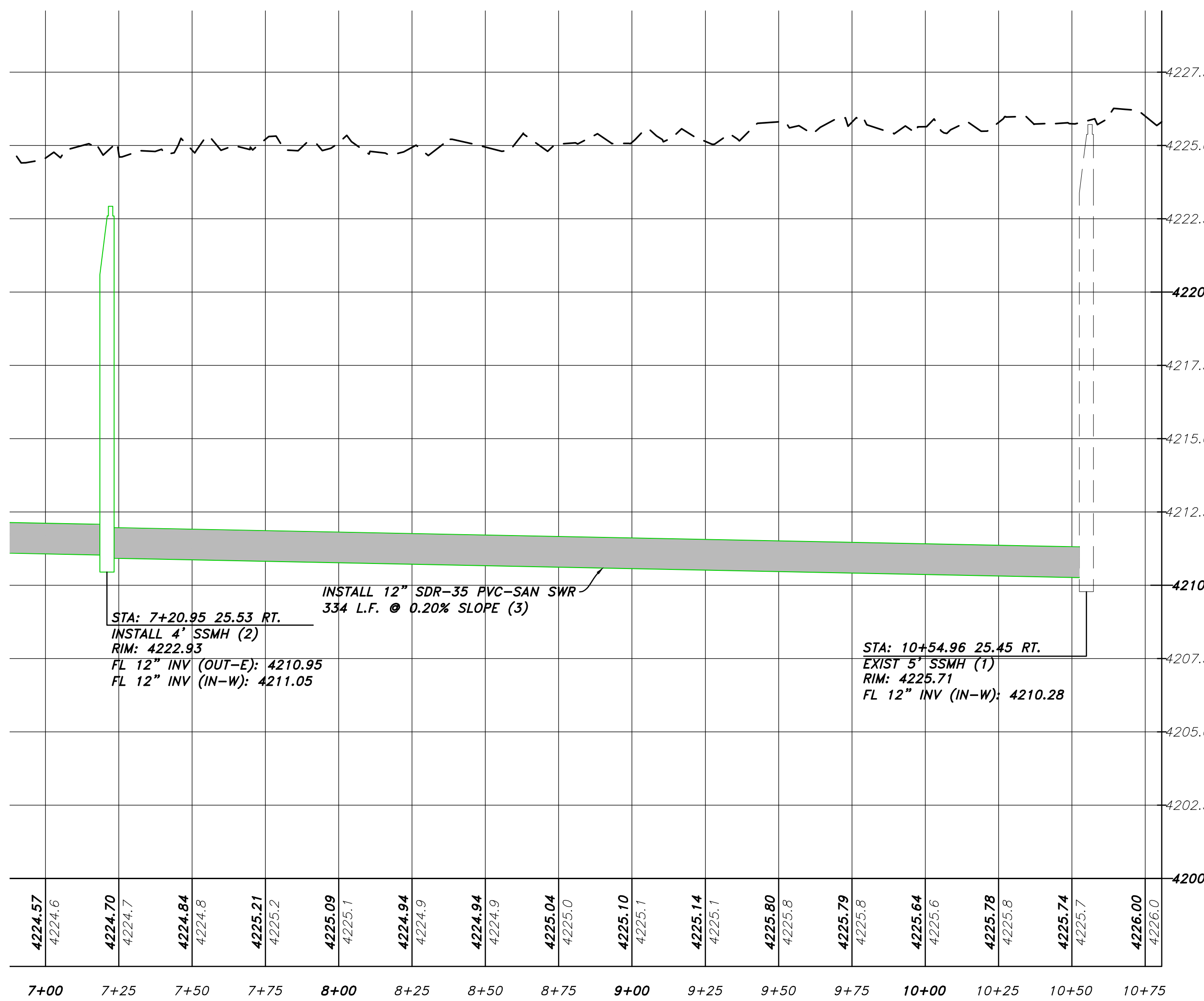
HANSEN & ASSOCIATES, INC.
 Consulting Engineers and Land Surveyors
 538 North Main Street, Brigham, Utah 84302
 Visit us at www.hansen.net
 Ogden, Brigham City, Logan
 (435) 723-3491 (801) 399-4905 (435) 752-8272
 Celebrating over 60 Years of Business

HAN

Drawn By: BTC Date: 08/19/21
 Designed By: _____
 Checked By: _____
 Approved By: _____
 Scale: 1" = 100'
 Drawing File: 20-162 PP V19
 JOB NUMBER: 20-162

Saddlewood Estates
 2200 SOUTH PLAN & PROFILE FOR FOR
 2000 SOUTH 5000 WEST
 Taylor, Weber County, Utah
 A Part of the Northeast Quarter of Section 14,
 Township 9 North, Range 2 West, S.L.B.&M.

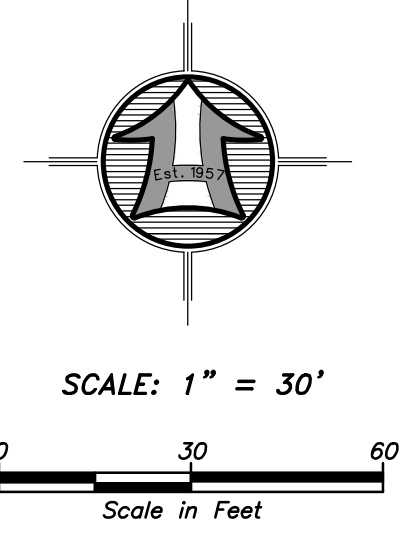
Sheet
17
 of
21
 Sheets



Key Note SD Structures		Key Note SD Pipes		Key Note SS Structures		Key Note SS Pipes	
Name	Structure Details	Pipe Name	Details	Name	Structure Details	Pipe Name	Details
40	INSTALL 3'X3' YD TBC: 4218.37 GRATE: 4217.87 FL 15" INV (IN-W): 4214.30	42	INSTALL 15" CLASS III RCP-SD 35 L.F. @ 0.10% Slope	1	EXIST 5' SSMH RIM = 4225.714 INV (IN-W) = 4210.28	3	INSTALL 12" SDR-35 PVC-SAN SWR 334 L.F. @ 0.20% SLOPE
41	INSTALL SD COMBO TBC: 4223.92 GRATE: 4223.42 FL 15" INV (IN-W): 4214.34 FL 15" INV (IN-W): 4214.34 FL 15" INV (OUT-E): 4214.34	44	INSTALL 15" CLASS III RCP-SD 381 L.F. @ 0.15% Slope	2	INSTALL 4' SSMH RIM = 4222.926 INV (IN-W) = 4211.05 INV (OUT-E) = 4210.95	5	INSTALL 12" SDR-35 PVC-SAN SWR 327 L.F. @ 0.20% SLOPE
43	INSTALL SD COMBO TBC: 4225.83 GRATE: 4225.33 FL 15" INV (IN-N): 4214.91 FL 15" INV (IN-NE): 4214.91 FL 15" INV (IN-W): 4214.91 FL 15" INV (OUT-S): 4214.91	46	INSTALL 15" CLASS III RCP-SD 395 L.F. @ 1.16% Slope	4	INSTALL 4' SSMH RIM = 4221.844 INV (IN-W) = 4211.80 INV (OUT-E) = 4211.70	7	INSTALL 12" SDR-35 PVC-SAN SWR 319 L.F. @ 0.20% SLOPE
45	INSTALL SD COMBO TBC: 4224.20 GRATE: 4223.70 FL 15" INV (OUT-S): 4219.50 FL 15" INV (OUT-W): 4219.50	48	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 0.17% Slope	6	INSTALL 5' SSMH RIM = 4220.733 INV (IN-N) = 4212.55 INV (OUT-E) = 4212.45	9	INSTALL 12" SDR-35 PVC-SAN SWR 321 L.F. @ 0.20% SLOPE
47	INSTALL SD COMBO TBC: 4224.20 GRATE: 4223.70 FL 15" INV (IN-E): 4219.45	50	INSTALL 15" CLASS III RCP-SD 37 L.F. @ 0.15% Slope	8	INSTALL 4' SSMH RIM = 4221.953 INV (IN-N) = 4213.29 INV (OUT-S) = 4213.19	11	INSTALL 12" SDR-35 PVC-SAN SWR 192 L.F. @ 0.20% SLOPE
49	INSTALL SD COMBO TBC: 4226.50 GRATE: 4226.00 FL 15" INV (IN-E): 4214.96 FL 15" INV (OUT-SW): 4214.96	52	INSTALL 15" CLASS III RCP-SD 421 L.F. @ 0.15% Slope	10	INSTALL 5' SSMH RIM = 4219.547 INV (IN-E) = 4214.03 INV (OUT-S) = 4213.93	13	INSTALL 12" SDR-35 PVC-SAN SWR 326 L.F. @ 0.20% SLOPE
51	INSTALL SD COMBO TBC: 4225.31 GRATE: 4224.81 FL 15" INV (IN-N): 4215.59 FL 15" INV (OUT-W): 4215.59	54	INSTALL 15" CLASS III RCP-SD 115 L.F. @ 3.40% Slope	12	INSTALL 4' SSMH RIM = 4221.220 INV (IN-E) = 4214.77 INV (OUT-W) = 4214.67	15	INSTALL 12" SDR-35 PVC-SAN SWR 326 L.F. @ 0.20% SLOPE
53	INSTALL SD COMBO TBC: 4224.69 GRATE: 4224.19 FL 15" INV (IN-W): 4219.50 FL 15" INV (OUT-S): 4219.50	56	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 0.15% Slope	14	INSTALL 4' SSMH RIM = 4223.118 INV (IN-N) = 4215.52 INV (OUT-W) = 4215.42	17	INSTALL 12" SDR-35 PVC-SAN SWR 422 L.F. @ 0.20% SLOPE
55	INSTALL SD COMBO TBC: 4224.69 GRATE: 4224.19 FL 15" INV (OUT-E): 4219.55	58	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 0.15% Slope	16	INSTALL 4' SSMH RIM = 4223.670 INV (IN-N) = 4216.00 INV (OUT-S) = 4215.90	19	INSTALL 12" SDR-35 PVC-SAN SWR 464 L.F. @ 0.20% SLOPE
57	INSTALL SD COMBO TBC: 4225.82 GRATE: 4225.32 FL 15" INV (IN-NW): 4214.96 FL 15" INV (OUT-E): 4214.96	60	INSTALL 15" CLASS III RCP-SD 36 L.F. @ 0.15% Slope	18	INSTALL 5' SSMH RIM = 4223.059 INV (IN-W) = 4216.94 INV (IN-N) = 4216.94 INV (IN-E) = 4216.94 INV (OUT-S) = 4216.84	21	INSTALL 12" SDR-35 PVC-SAN SWR 338 L.F. @ 0.20% SLOPE
59	INSTALL SD COMBO TBC: 4226.04 GRATE: 4225.54 FL 15" INV (IN-W): 4215.01 FL 15" INV (OUT-S): 4215.01	62	INSTALL 15" CLASS III RCP-SD 418 L.F. @ 0.15% Slope	20	INSTALL 4' SSMH RIM = 4222.074 INV (IN-N) = 4217.97 INV (IN-W) = 4217.97 INV (OUT-E) = 4217.87	23	INSTALL 12" SDR-35 PVC-SAN SWR 335 L.F. @ 0.20% SLOPE
61	INSTALL SD COMBO TBC: 4223.98 GRATE: 4223.48 FL 15" INV (IN-N): 4215.63 FL 15" INV (OUT-E): 4215.63	64	INSTALL 15" CLASS III RCP-SD 315 L.F. @ 0.15% Slope	22	INSTALL 4' SSMH RIM = 4223.786 INV (IN-N) = 4217.97 INV (OUT-S) = 4218.64	25	INSTALL 12" SDR-35 PVC-SAN SWR 206 L.F. @ 0.20% SLOPE
63	INSTALL SD COMBO TBC: 4222.17 GRATE: 4221.67 FL 15" INV (IN-E): 4216.10 FL 15" INV (OUT-S): 4216.10	66	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 10.97% Slope	24	INSTALL 4' SSMH RIM = 4223.618 INV (OUT-S) = 4219.41	27	INSTALL 12" SDR-35 PVC-SAN SWR 341 L.F. @ 0.25% SLOPE
65	INSTALL SD COMBO TBC: 4222.17 GRATE: 4221.67 FL 15" INV (OUT-W): 4219.50	68	INSTALL 15" CLASS III RCP-SD 31 L.F. @ 0.15% Slope	26	INSTALL 4' SSMH RIM = 4222.757 INV (OUT-E) = 4218.38	29	INSTALL 10" SDR-35 PVC-SAN SWR 444 L.F. @ 0.25% SLOPE
67	INSTALL SD COMBO TBC: 4223.92 GRATE: 4223.42 FL 15" INV (OUT-E): 4214.39			28	INSTALL 4' SSMH RIM = 4224.075 INV (IN-N) = 4217.89 INV (OUT-S) = 4217.79	31	INSTALL 10" SDR-35 PVC-SAN SWR 336 L.F. @ 0.25% SLOPE

LEGEND:

<ul style="list-style-type: none"> --- SUBDIVISION BOUNDARY --- PROPOSED PROPERTY LINE --- EXISTING PROPERTY LINE --- EXISTING SEWER LINE --- EXISTING WATER LINE --- EXISTING SECONDARY WATER LINE --- EXISTING STORM DRAIN PIPE --- PROPOSED SEWER LINE --- PROPOSED WATER LINE --- PROPOSED SECONDARY WATER LINE --- PROPOSED STORM DRAIN PIPE --- SAW-CUT REQ'D. --- EXISTING 1' CONTOUR --- EXISTING 5' CONTOUR --- EXISTING SEWER MANHOLE --- EXISTING STORM DRAIN MANHOLE 	<ul style="list-style-type: none"> --- EXISTING STORM DRAIN INLET --- EXISTING WATER METER --- EXISTING FIRE HYDRANT --- EXISTING LIGHT POLE --- PROPOSED SEWER MANHOLE --- PROPOSED STORM DRAIN MANHOLE --- PROPOSED STORM DRAIN INLET --- PROPOSED WATER METER --- PROPOSED FIRE HYDRANT --- EXISTING CURB & GUTTER --- EXISTING SIDEWALK --- PROPOSED CURB & GUTTER --- PROPOSED SIDEWALK --- PROPOSED ASPHALT PAVEMENT
--	--



NOTICE!

EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call Digs

1-800-662-4111
UNDERGROUND SERVICE

Engineer's Notice To Contractors

The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

2200 SOUTH PLAN & PROFILE FOR FOR

Saddlewood Estates

2000 SOUTH 5000 WEST
Taylor, Weber County, Utah

A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.M.

Drawn By: BTC Date: 08/19/21

Designed By: _____

Checked By: _____

Approved By: _____

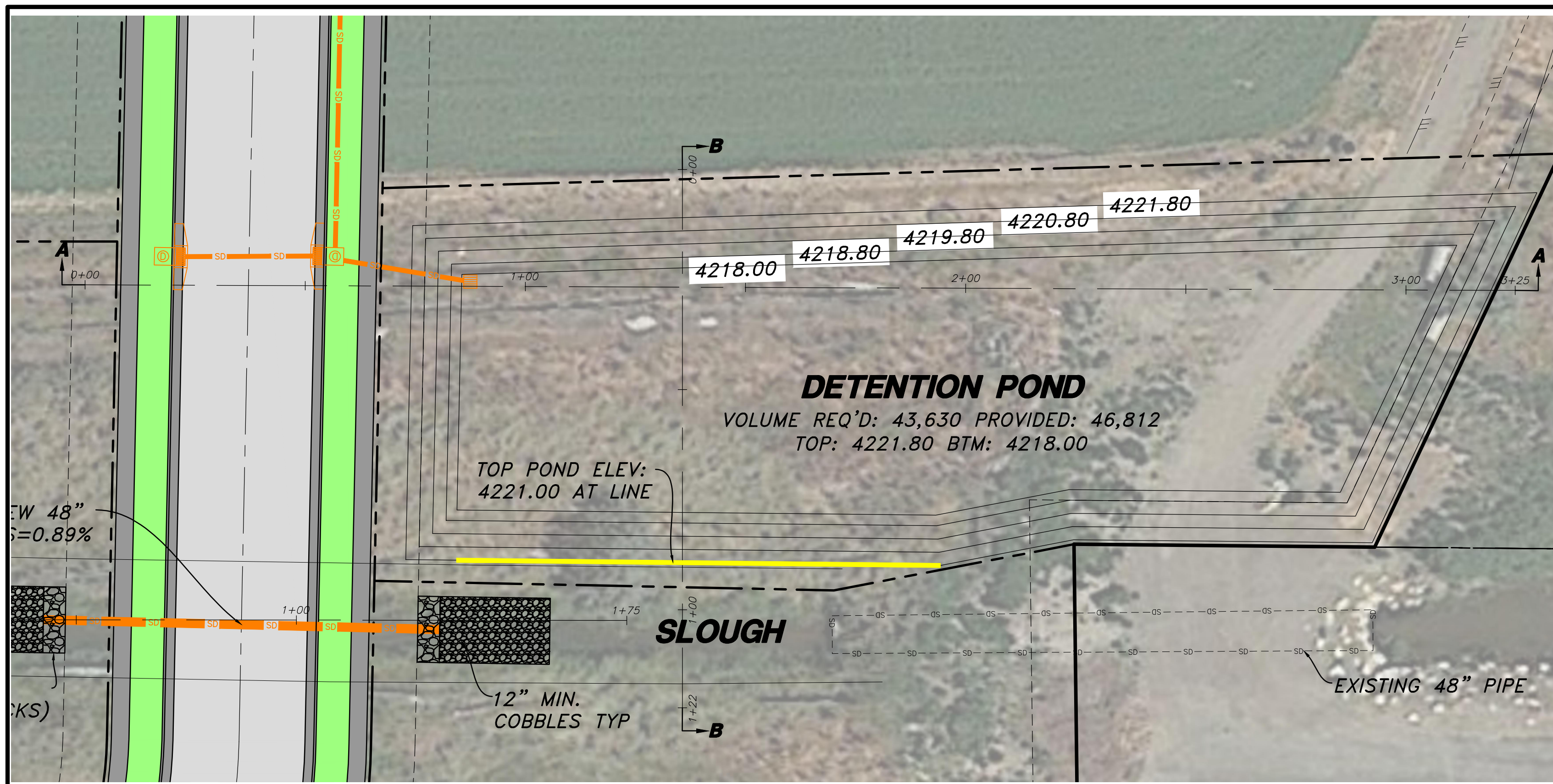
Scale: 1" = 100'

Drawing File: 20-162 PP V19

JOB NUMBER: 20-162

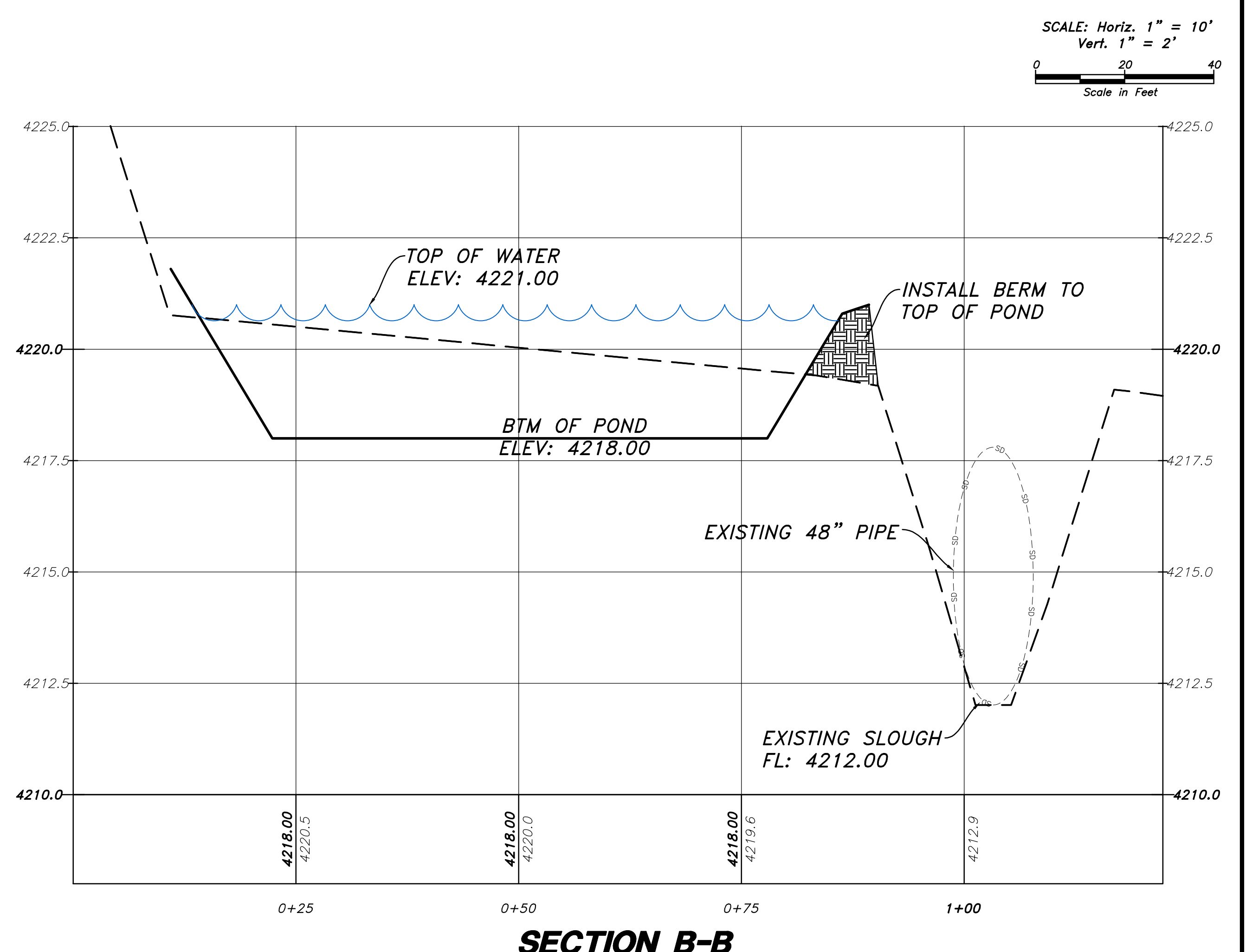
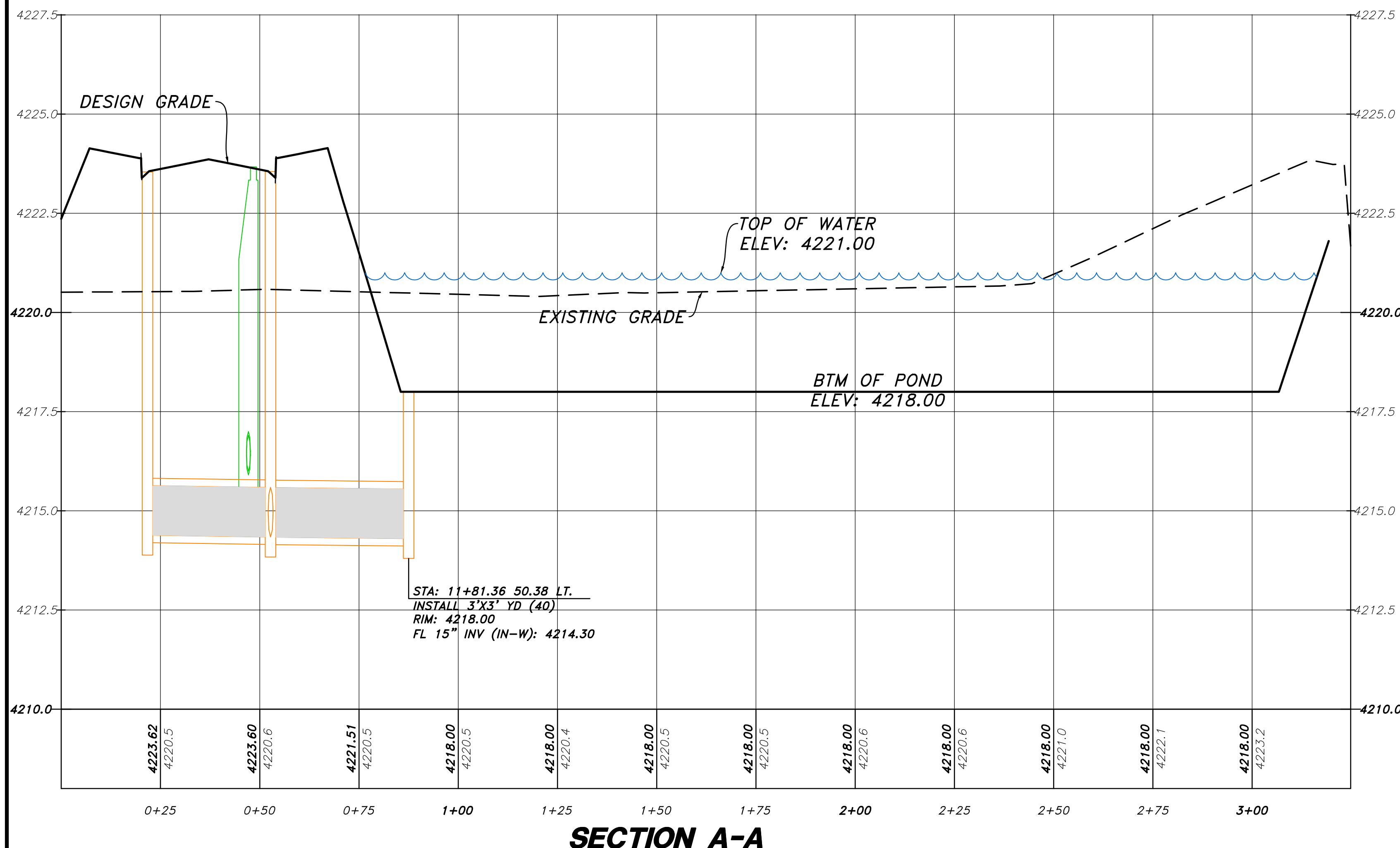
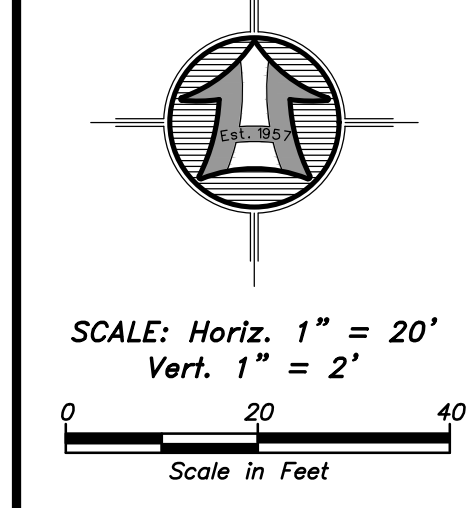
HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.hansen.net
Brigham City Ogden Logan
(435) 723-3491 (801) 389-4905 (435) 752-8272
Celebrating over 60 Years of Business

Sheet **18** of **21** Sheets



LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- S --- S --- EXISTING SEWER LINE
- W --- W --- EXISTING WATER LINE
- RR --- RR --- EXISTING SECONDARY WATER LINE
- SD --- SD --- EXISTING STORM DRAIN PIPE
- W --- W --- PROPOSED WATER LINE
- RR --- RR --- PROPOSED SECONDARY WATER LINE
- SD --- SD --- PROPOSED STORM DRAIN PIPE
- X --- X --- SAW-CUT REQ'D.
- X --- X --- EXISTING FENCE
- 4218 --- 4218 --- EXISTING 5' CONTOUR
- 4218 --- 4218 --- EXISTING 1' CONTOUR
- ⊙ EXISTING SEWER MANHOLE
- ⊙ EXISTING STORM DRAIN MANHOLE
- ⊙ EXISTING STORM DRAIN INLET
- ⊙ EXISTING WATER METER
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING LIGHT POLE
- ⊙ PROPOSED SEWER MANHOLE
- ⊙ PROPOSED STORM DRAIN MANHOLE
- ⊙ PROPOSED STORM DRAIN INLET
- ⊙ PROPOSED WATER METER
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ PROPOSED SEWER MANHOLE
- ⊙ EXISTING CURB & GUTTER
- ⊙ EXISTING SIDEWALK
- ⊙ PROPOSED CURB & GUTTER
- ⊙ PROPOSED SIDEWALK
- ⊙ PROPOSED ASPHALT PAVEMENT



HANSEN & ASSOCIATES, INC.
 Consulting Engineers and Land Surveyors
 538 North Main Street, Brigham, Utah 84302
 Visit us at www.hansen.net
 Ogden
 Brigham City
 (435) 723-3491 (801) 399-4905 (435) 752-8272
 Celebrating over 60 Years of Business

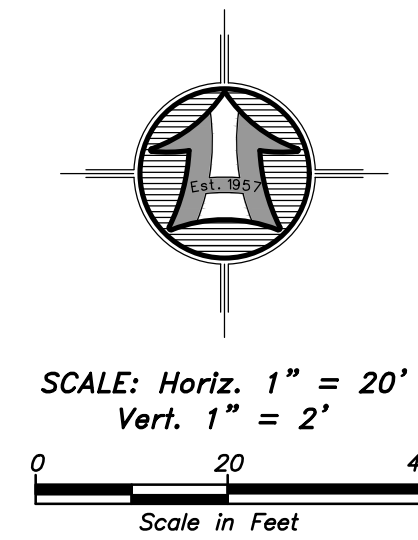
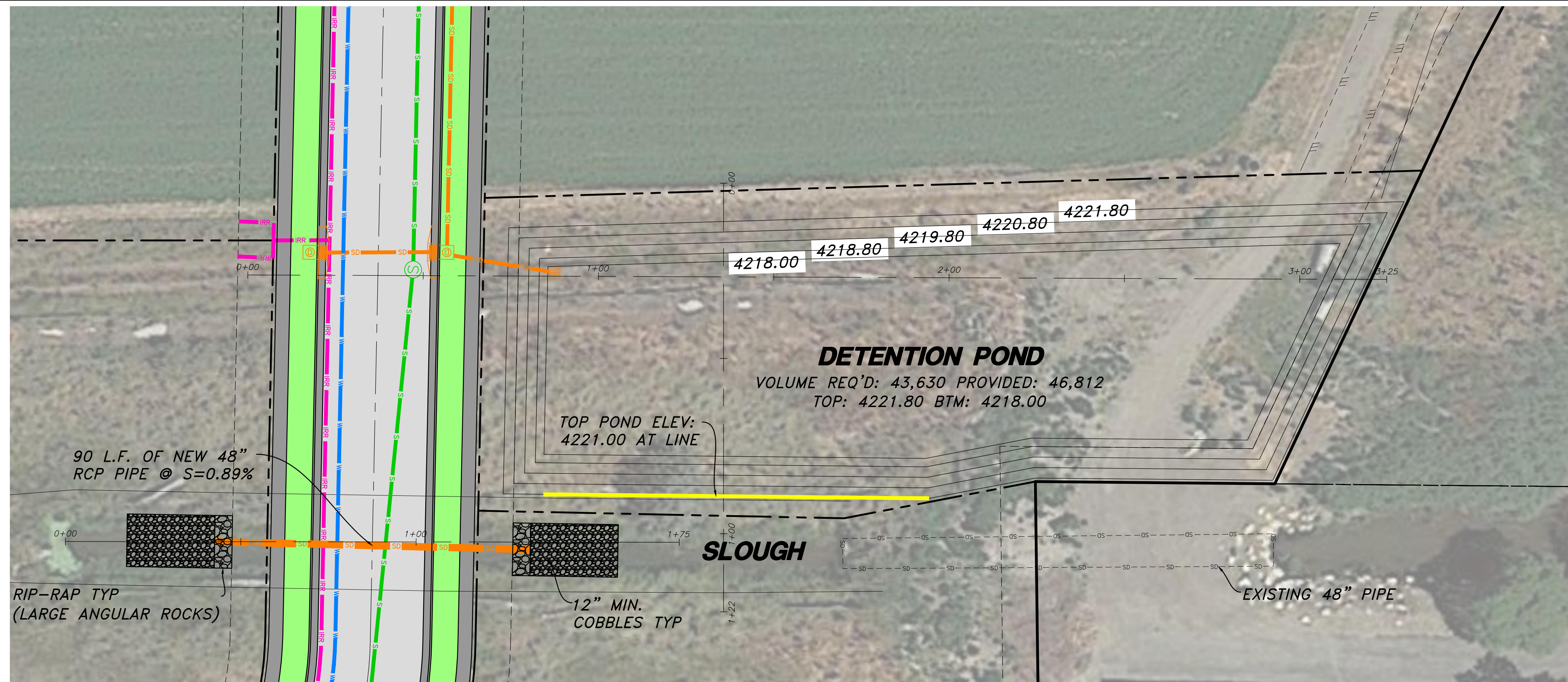
HANSEN & ASSOCIATES

Drawn By: BTC Date: 08/19/21
 Designed By:
 Checked By:
 Approved By:
 Scale: 1" = 100'
 Drawing File: 20-162 PP V19
 JOB NUMBER: 20-162

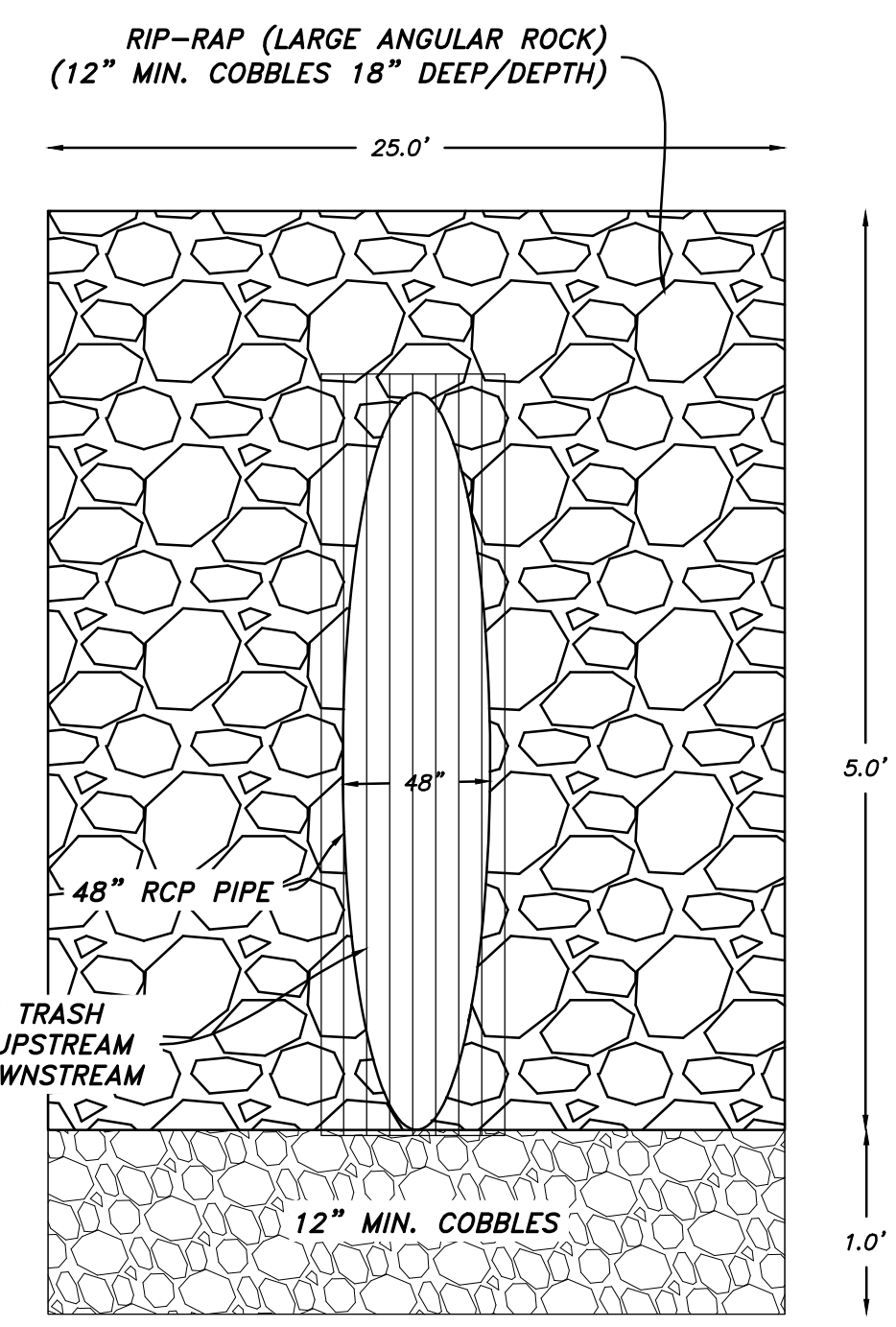
Saddlewood Estates
 2000 SOUTH 5000 WEST
 Taylor, Weber County, Utah
 A Part of the Northeast Quarter of Section 14,
 Township 9 North, Range 2 West, S.L.B.&M.

DRAINAGE POND DETAIL FOR

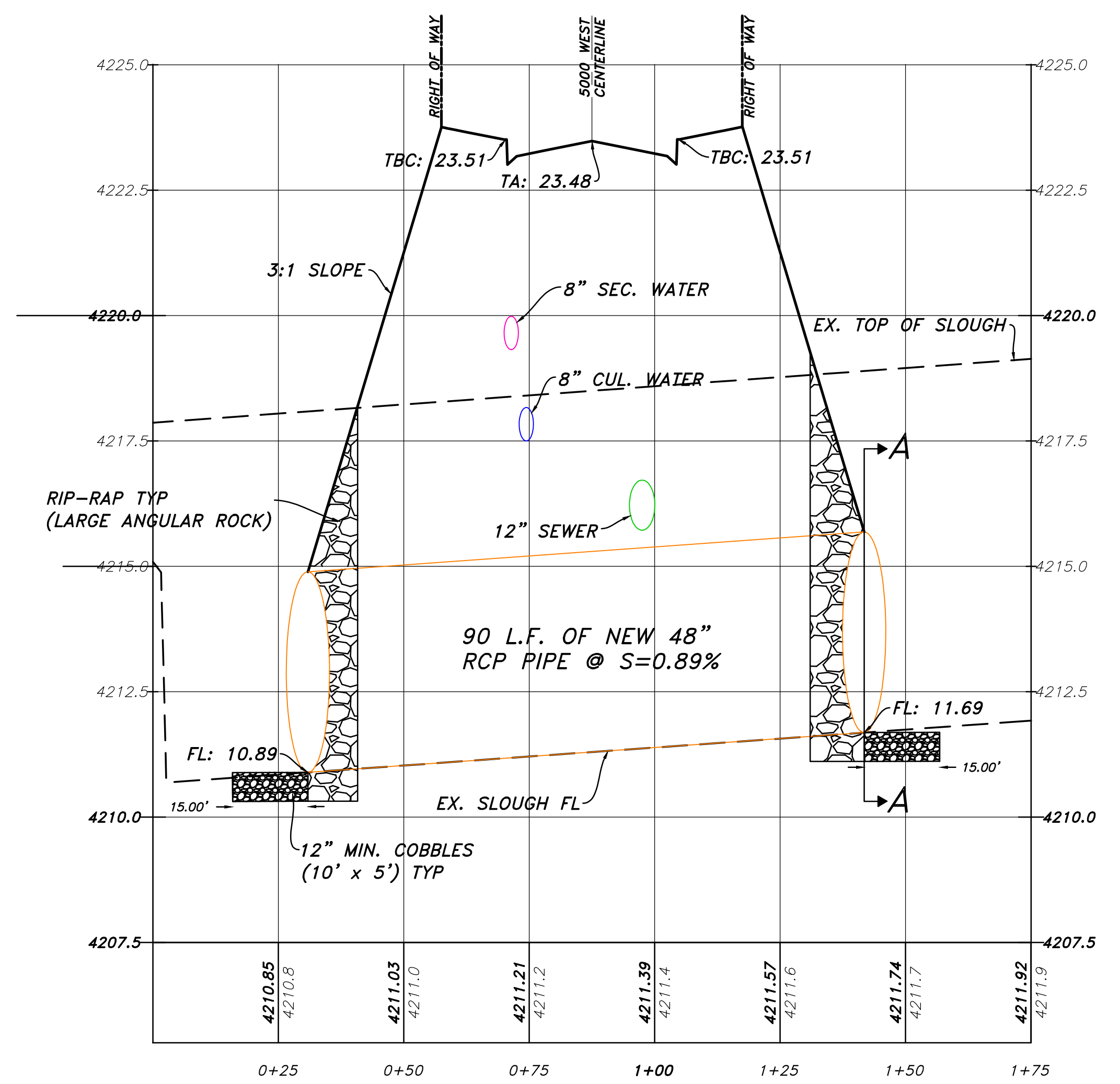
Sheet
19
 of
21
 Sheets



- LEGEND:**
- SUBDIVISION BOUNDARY
 - PROPOSED PROPERTY LINE
 - EXISTING PROPERTY LINE
 - - - EXISTING SEWER LINE
 - - - EXISTING WATER LINE
 - - - EXISTING SECONDARY WATER LINE
 - - - EXISTING STORM DRAIN PIPE
 - - - PROPOSED SEWER LINE
 - - - PROPOSED WATER LINE
 - - - PROPOSED SECONDARY WATER LINE
 - - - PROPOSED STORM DRAIN PIPE
 - - - SAW-CUT REQ'D.
 - - - EXISTING FENCE
 - - - EXISTING 5' CONTOUR
 - - - EXISTING 1' CONTOUR
 - ⊙ EXISTING SEWER MANHOLE
 - ⊙ EXISTING STORM DRAIN MANHOLE
 - ⊙ EXISTING STORM DRAIN INLET
 - ⊙ EXISTING WATER METER
 - ⊙ EXISTING FIRE HYDRANT
 - ⊙ EXISTING LIGHT POLE
 - ⊙ PROPOSED SEWER MANHOLE
 - ⊙ PROPOSED STORM DRAIN MANHOLE
 - ⊙ PROPOSED STORM DRAIN INLET
 - ⊙ PROPOSED WATER METER
 - ⊙ PROPOSED FIRE HYDRANT
 - EXISTING CURB & GUTTER
 - EXISTING SIDEWALK
 - PROPOSED CURB & GUTTER
 - PROPOSED SIDEWALK
 - PROPOSED ASPHALT PAVEMENT



SECTION A-A
NOT TO SCALE



Revision
By
Date
No.

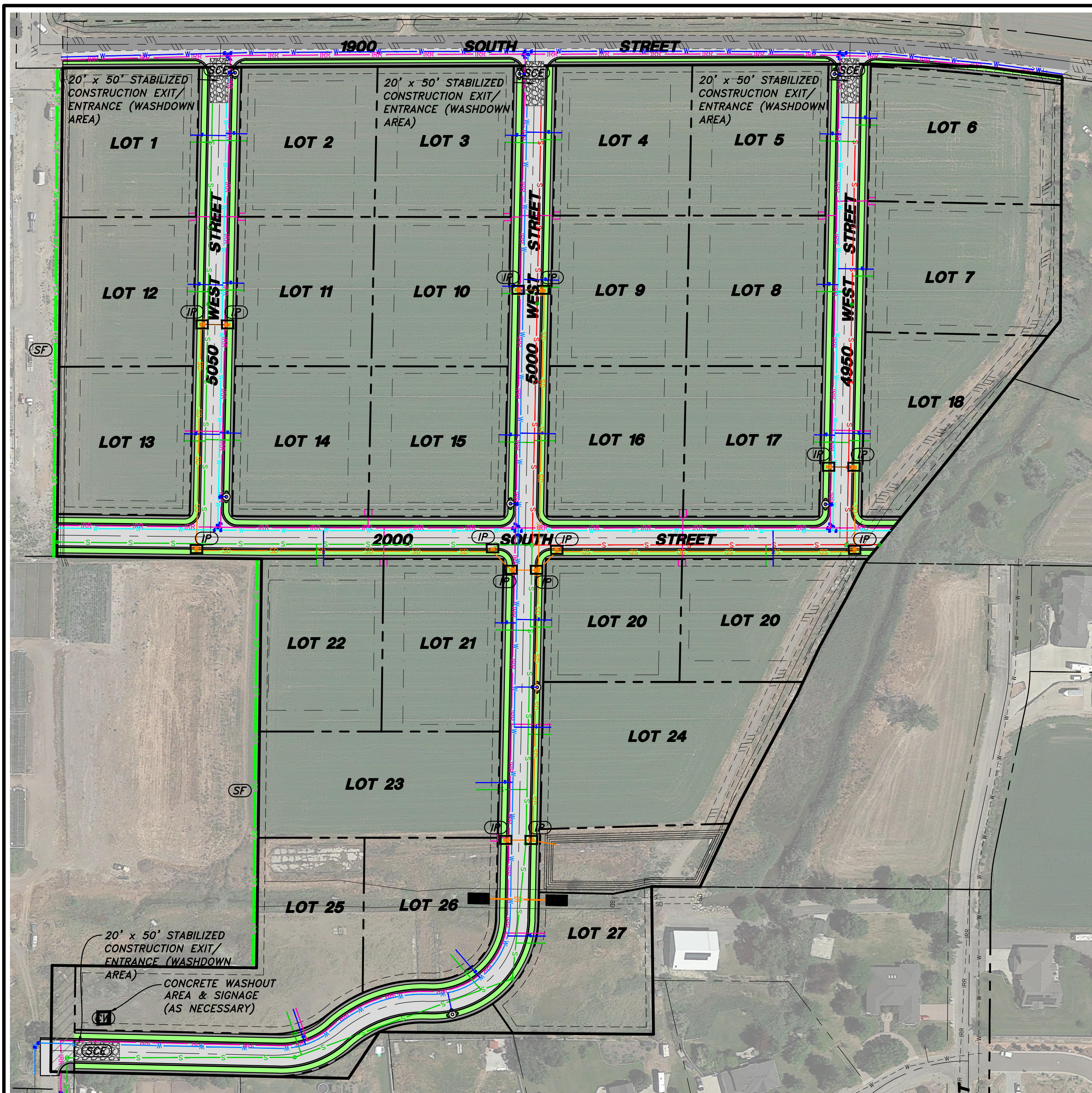
HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.hansen.net
Brigham City Ogden Logan
(435) 723-3491 (801) 399-4905 (435) 752-8272
Celebrating over 60 Years of Business

HA

Drawn By: BTC Date: 08/19/21
Designed By:
Checked By:
Approved By:
Scale: 1" = 100'
Drawing File: 20-162 PP V19
JOB NUMBER: 20-162

Saddlewood Estates
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.&M.

Sheet
20
of
21
Sheets



SWPPP PLAN

LOCATION:

LOCATION: TAYLOR, WEBER COUNTY, UTAH
SECTION 14, TOWNSHIP 9 NORTH, RANGE 2 WEST, SLB&M
LATITUDE: 41°13'54" N LONGITUDE: 112°06'00" W
APPROXIMATE ELEVATION: 4223'

PROJECT DATA:

TAX ID #: 150790051
PARCEL ACREAGE: 33.92 ACRES

SADDLEWOOD ESTATES
2000 SOUTH 5100 WEST
TAYLOR, UTAH

OVERVIEW:

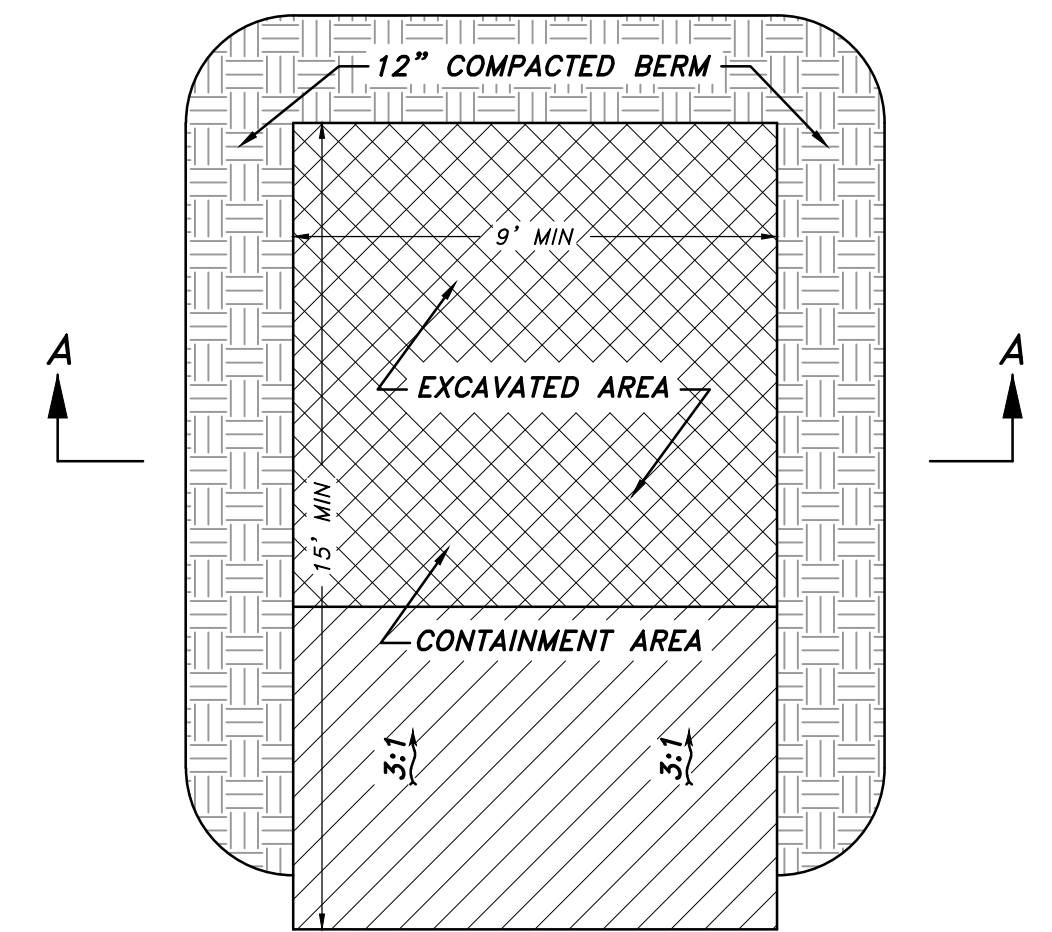
THE PROJECT CONSISTS OF STREET AND UTILITY INSTALLATION FOR A (27) TWENTY SEVEN LOT SUBDIVISION. GRADING WORK IS ALSO REQUIRED IN THE CONSTRUCTION OF THE ROAD AND CURB & GUTTER. DRAINAGE FROM ON-SITE ACTIVITY IS TO BE INTERCEPTED BY THE SILT FENCE/BERM AT THE WEST BOUNDARIES OF THE PROJECT. CONCRETE WASHOUT AREA IS LOCATED NEAR THE SOUTHERLY 5000 WEST ENTRANCE/EXIT.

SWPPP PHASING – ORDER OF WORK:

- PHASE 1: CONSTRUCTION OF STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA AND SIGNAGE, SILT FENCES & BERMS.
- PHASE 2: MAINTAIN STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA, SILT FENCES & BERMS, AND WATTLES DURING CONSTRUCTION AND SITE IMPROVEMENTS. INSTALL INLET PROTECTION UPON CONSTRUCTION OF CURB INLET BOXES.
- PHASE 3: UPON ASPHALTING, REMOVE CONSTRUCTION ENTRANCE, WATTLES, INLET PROTECTION, AND TEMPORARY SILT FENCES & BERMS.

MAINTENANCE/RECORD-KEEPING:

STRICT RECORD KEEPING IS IMPERATIVE. THE PROJECT WILL BE STATE-PERMITTED BUT PARTICULARLY UNDER THE AUSPICES OF WEBER COUNTY. KEEP INSPECTION REPORTS FORMS/FORMAT AS MANDATED BY WEBER COUNTY. A THOROUGH INSPECTION OF THE SWPPP MUST BE CONDUCTED AT LEAST EVERY 14 DAYS AND AFTER ANY PRECIPITATION OR SNOWMELT THAT CAUSES SURFACE EROSION. MAINTENANCE AND/OR MODIFICATIONS TO EROSION MEASURES MUST BE COMPLETED IN A TIMELY MANNER, BUT IN NO CASE MORE THAN 7 CALENDAR DAYS AFTER THE INSPECTION. THE ENFORCEMENT AGENCY IS WEBER COUNTY, WHO ADMINISTERS AND ENFORCES STORMWATER POLLUTION PREVENTION PLANS LOCALLY. STORMWATER MANAGEMENT ASPECTS AND PROCEDURES MAY BE MODIFIED BY PERMITTEE (AND/OR OFFICIAL REPRESENTATIVE) UPON OBTAINING WEBER COUNTY APPROVAL.



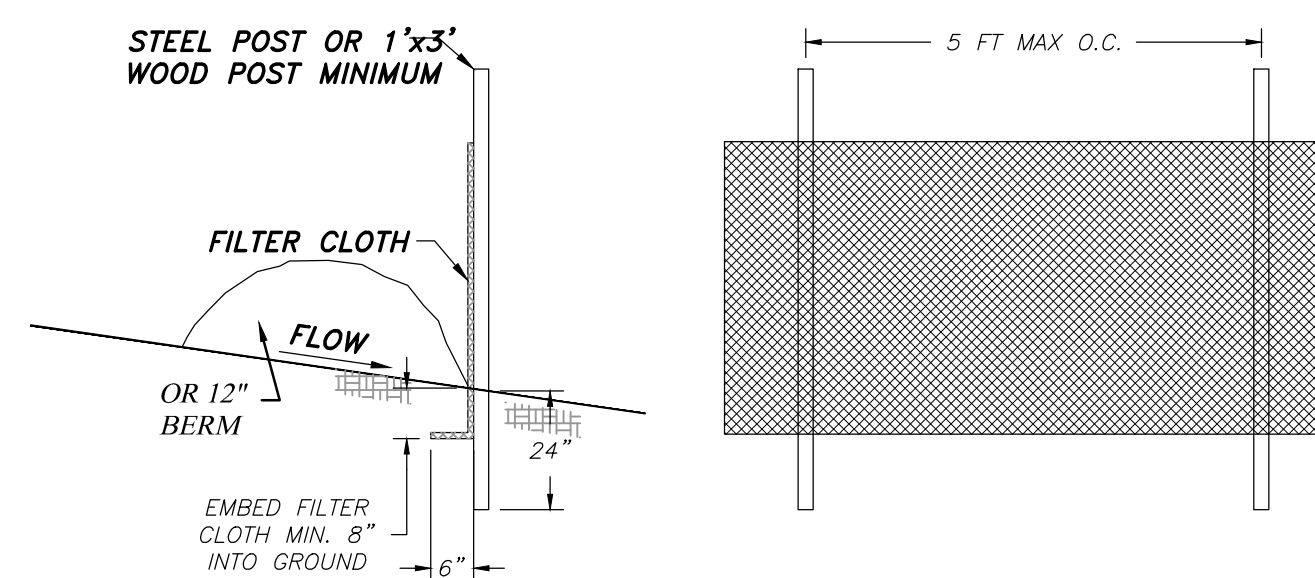
PLAN VIEW
CROSS SECTION A-A
CONCRETE WASHOUT AREA
NOT TO SCALE

CONCRETE WASHOUT AREA NOTES:

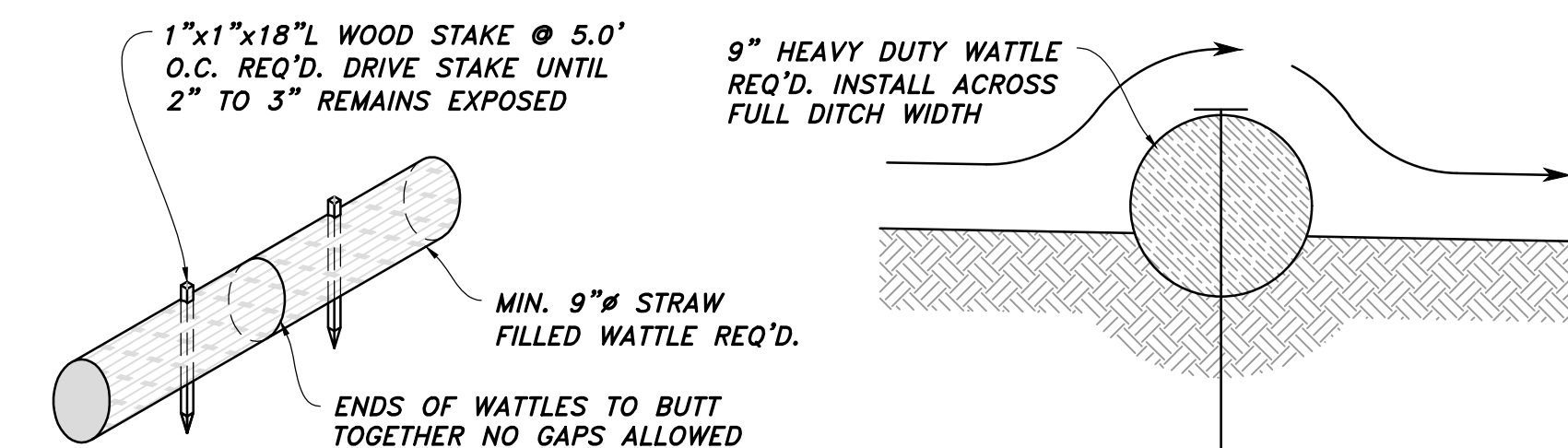
INSTALLATION: PROPER SIGNAGE SUCH AS "CONCRETE WASHOUT" SHALL BE PLACED NEAR CONCRETE WASHOUT FACILITIES. A CONTINUOUS ONE-FOOT TALL COMPACTED EARTH BERM SHALL BE PLACED ON THREE SIDES OF THE EXCAVATED PIT. THE BOTTOM OF THE EXCAVATED PIT MUST BE PROVEN TO BE AT LEAST 5 VERTICAL FEET ABOVE GROUNDWATER OR THE PIT MUST BE LINED WITH A CLAY OR SYNTHETIC LINER DESIGNED TO CONTROL SEEPAGE.

MAINTENANCE: THE FACILITIES SHALL BE MAINTAINED IN GOOD CONDITION TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY OPERATIONS AT THE PROJECT SITE. HARDEEN CONCRETE SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE THE PIT IS 75 PERCENT FULL AND AS NEEDED. WASTE SHALL BE DISPOSED OF PROPERLY IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.

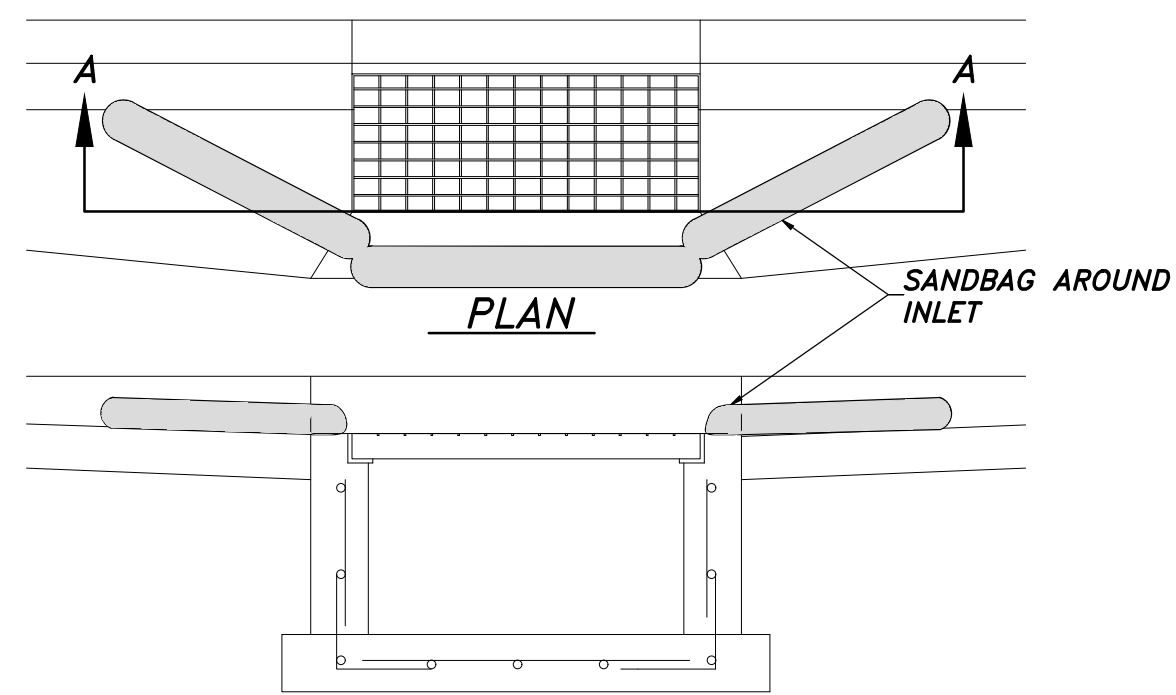
NOTE: ADDING SOLVENTS, FLOCCULENTS, OR ACID TO THE WASHWATER IS PROHIBITED.



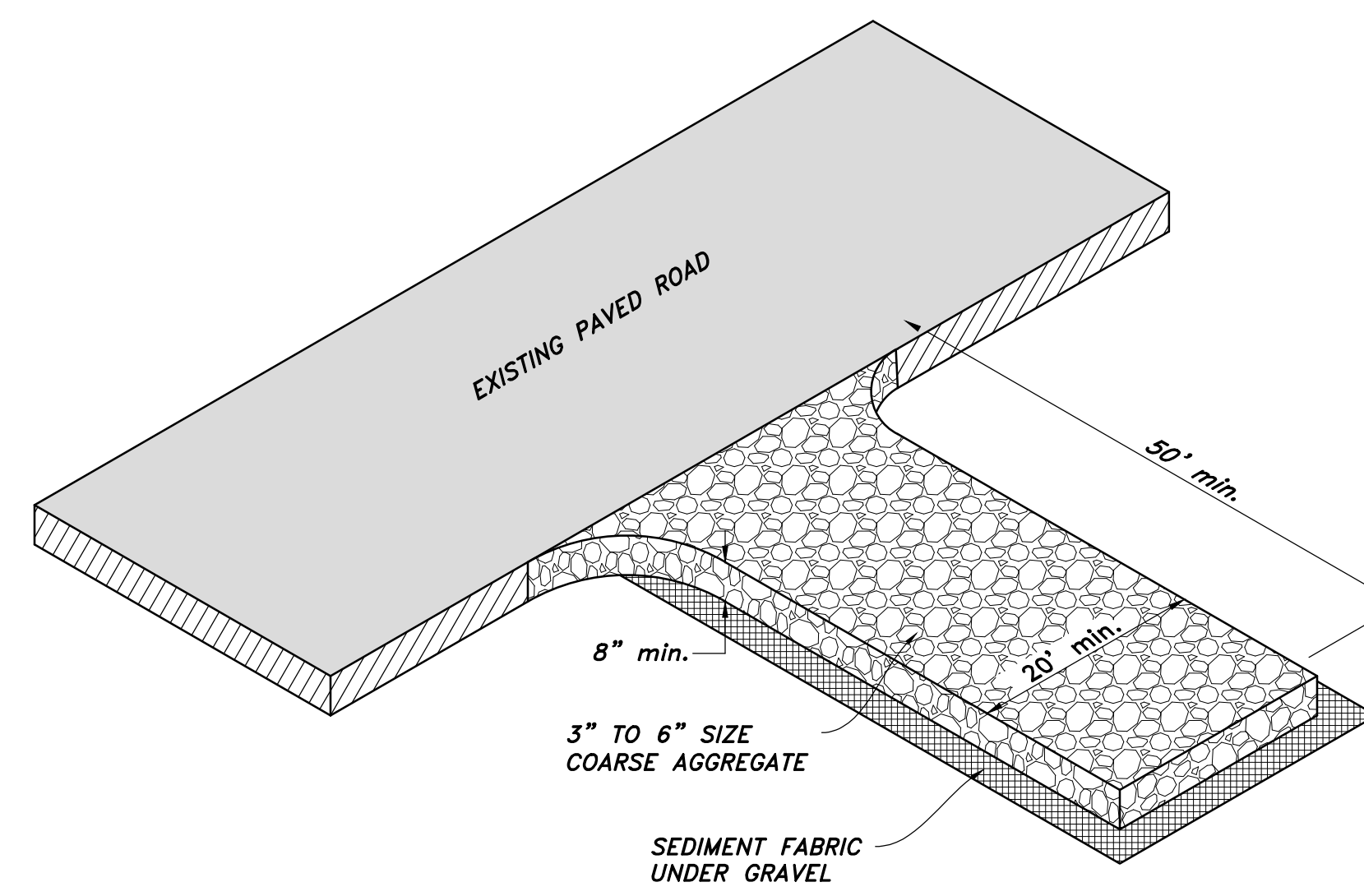
SILT FENCE DETAIL
NOT TO SCALE



TYPICAL WATTLE/FILTER SOCK
NOT TO SCALE



CURB INLET PROTECTION DETAIL
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE NOTES:

INSTALLATION/APPLICATION CRITERIA:
1. CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.

2. COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS)

3. PLACE COARSE AGGREGATE, 3" TO 6" IN SIZE, TO A MINIMUM DEPTH OF 8".

LIMITATIONS:
1. REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.

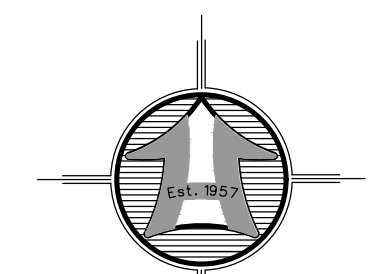
2. SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.

MAINTENANCE:
1. INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.

2. INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.

3. REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.

4. EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.



Scale: 1" = 100'
0 100 200
Scale in Feet

LEGEND

- PROPERTY BOUNDARY LINE
- SILT FENCE OR BERM REQ'D
- TRACKING PAD
- CONCRETE WASHOUT AREA & SIGNAGE
- INLET PROTECTION

LABELS

- (SF) – SILT FENCE OR BERM
- (SCE) – STABILIZATION CONSTRUCTION ENTRANCE
- (IP) – INLET PROTECTION
- (CW) – CONCRETE WASHOUT

QUANTITIES

- SILT FENCE/BERM – 3192 LF
- STABILIZED CONSTRUCTION ENTRANCE – 2
- INLET PROTECTION – 46
- CONCRETE WASHOUT – 1

No.	Date	By	Revision

HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.hansen.net
Logan Ogden
Brigham City
(435) 723-3491 (801) 399-4905 (435) 752-8272
Celebrating over 60 Years of Business



Drawn By: BTC Date: 08/19/21
Designed By: _____
Checked By: _____
Approved By: _____
Scale: 1" = 100'
Drawing File: 20-162 PP V19
JOB NUMBER: 20-162

SWPPP FOR
Saddlewood Estates
2000 SOUTH 5000 WEST
Taylor, Weber County, Utah
A Part of the Northeast Quarter of Section 14,
Township 9 North, Range 2 West, S.L.B.&M.