

ASGARD HEIGHTS SUBDIVISION

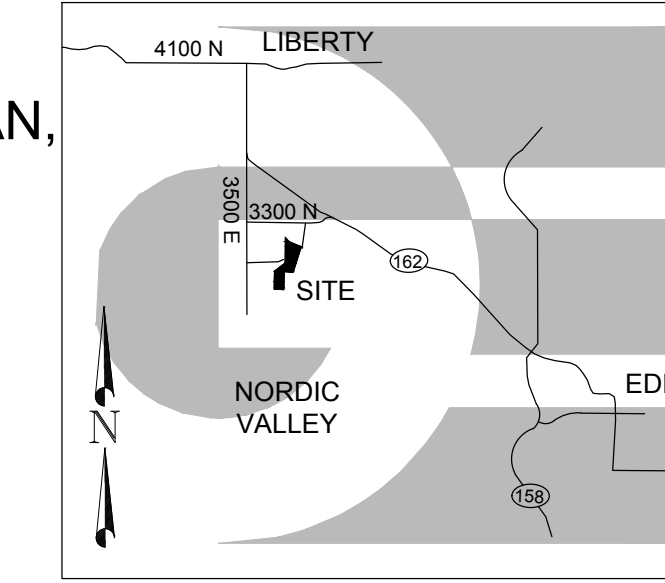
A CONNECTIVITY INCENTIVIZED SUBDIVISION

LOCATED IN THE EAST HALF OF SECTION 29,

TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,

WEBER COUNTY, UTAH, JULY 2021

VICINITY MAP
NOT TO SCALE



BOUNDARY DESCRIPTION

A PART OF THE EAST HALF OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

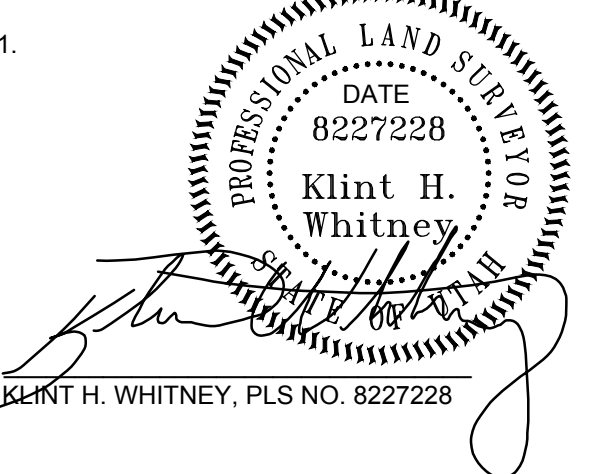
BEGINNING AT A POINT ON THE NORTH RIGHT-OF-WAY LINE OF NORDIC MEADOWS ROAD BEING LOCATED NORTH 00°23'55" EAST 991.66 FEET ALONG THE WEST LINE OF THE EAST HALF OF SAID SECTION AND NORTH 90°00'00" EAST 956.83 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION; RUNNING THENCE NORTH 00°06'16" EAST 681.02 FEET TO THE COMMON BOUNDARY WITH NORDIC MEADOWS SUBDIVISION PHASE 2; THENCE ALONG SAID COMMON BOUNDARY THE FOLLOWING TWO (2) COURSES: (1) SOUTH 89°53'02" EAST 9.92 FEET; (2) NORTH 52°32'05" EAST 495.59 FEET; (3) NORTH 00°23'55" EAST 944.40 FEET; THENCE SOUTH 43°16'19" EAST 205.53 FEET; THENCE SOUTH 50°04'38" EAST 489.88 FEET; THENCE SOUTH 17°37'38" WEST 983.63 FEET TO THE COMMON BOUNDARY WITH ABBEYTON ESTATES NO. 2; THENCE ALONG SAID COMMON BOUNDARY THE FOLLOWING FIVE (5) COURSES: (1) NORTH 88°26'49" WEST 191.69 FEET; (2) NORTH 87°08'12" WEST 94.20 FEET; (3) SOUTH 87°55'59" WEST 46.29 FEET; (4) SOUTH 01°45'10" WEST 365.16 FEET; (5) SOUTH 01°46'28" WEST 233.05 FEET; (6) SOUTH 04°08'15" WEST 65.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF NORDIC MEADOWS ROAD; THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES: (1) SOUTH 89°24'59" WEST 13.40 FEET; (2) NORTH 89°01'58" WEST 342.05 FEET TO THE POINT OF BEGINNING, CONTAINING 815,500 SQ. FT. OR 18.72 AC. MORE OR LESS.

Does not match the map. The description isn't closing.

SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS ASGARD HEIGHTS SUBDIVISION IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; THAT ALL LOTS MEET THE REQUIREMENTS OF THE LAND USE CODE; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS _____ DAY OF _____, 2021.



"Grant and dedicate a perpetual right and easement over, upon and under the lands designated hereof as public utility, storm water detention ponds, drainage easements and canal maintenance easement, the same to be used for the installation maintenance and operation of public utility service lines, storm drainage facilities, irrigation canals or for the perpetual preservation of water channels in their natural state whichever is applicable as may be authorized by the governing authority, with no buildings or structures being erected within such easements." WCO 106-7-1

OWNER'S DEDICATION

I, THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

ASGARD HEIGHTS SUBDIVISION

AND HEREBY DEDICATE, GRANT AND CONVEY TO WEBER COUNTY, UTAH ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND ALSO GRANT AND DEDICATE A PERPETUAL EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED ON THE PLAT AS PUBLIC UTILITY, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES OR FOR THE PERPETUAL PRESERVATION OF WATER DRAINAGE CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY WEBER COUNTY, UTAH, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS.

SIGNED THIS ___ DAY OF _____, 2021.

BY: _____
17-21-25 names of persons signing to be typed or printed on instruments presented for recording.

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)
On this _____ day of _____, 2021, personally appeared before me _____, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the _____ of LIBERTY LAND AND LIVESTOCK, LLC, and that said document was signed by him/her in behalf of said Corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said _____ acknowledged to me that said Corporation executed the same.

STAMP _____ NOTARY PUBLIC _____

This is a partial review
redlines may change once
centerline is determined.

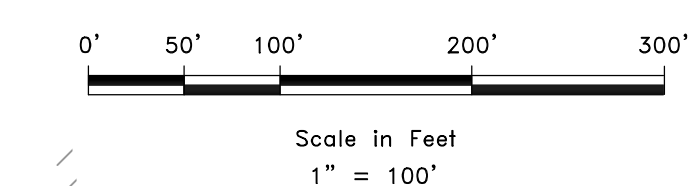
A legend shall be included which clearly identifies the lines, symbols, and other markings used to create the survey map, or plat. WCO 45-3-3(d)
Line type missing from legend

The existing location, widths, and other dimensions of all existing or planned land drains, culverts, watercourses, wetlands, streams corridor setbacks, flood plain within and immediately adjacent (within 30') to the tract of land to be subdivided. WCO 106-1-5(a)(6)

These distances don't add up to 342.05.

Permanent street monuments shall be accurately set at points necessary to establish all lines of the street. Centerline monuments shall be noted on the final plat. WCO 106-4-2(g) & WCO 106-1-8(c)(1)
Suggest 2 monuments. Letter and instructions will be sent once monument are placed on plat.

What is this?



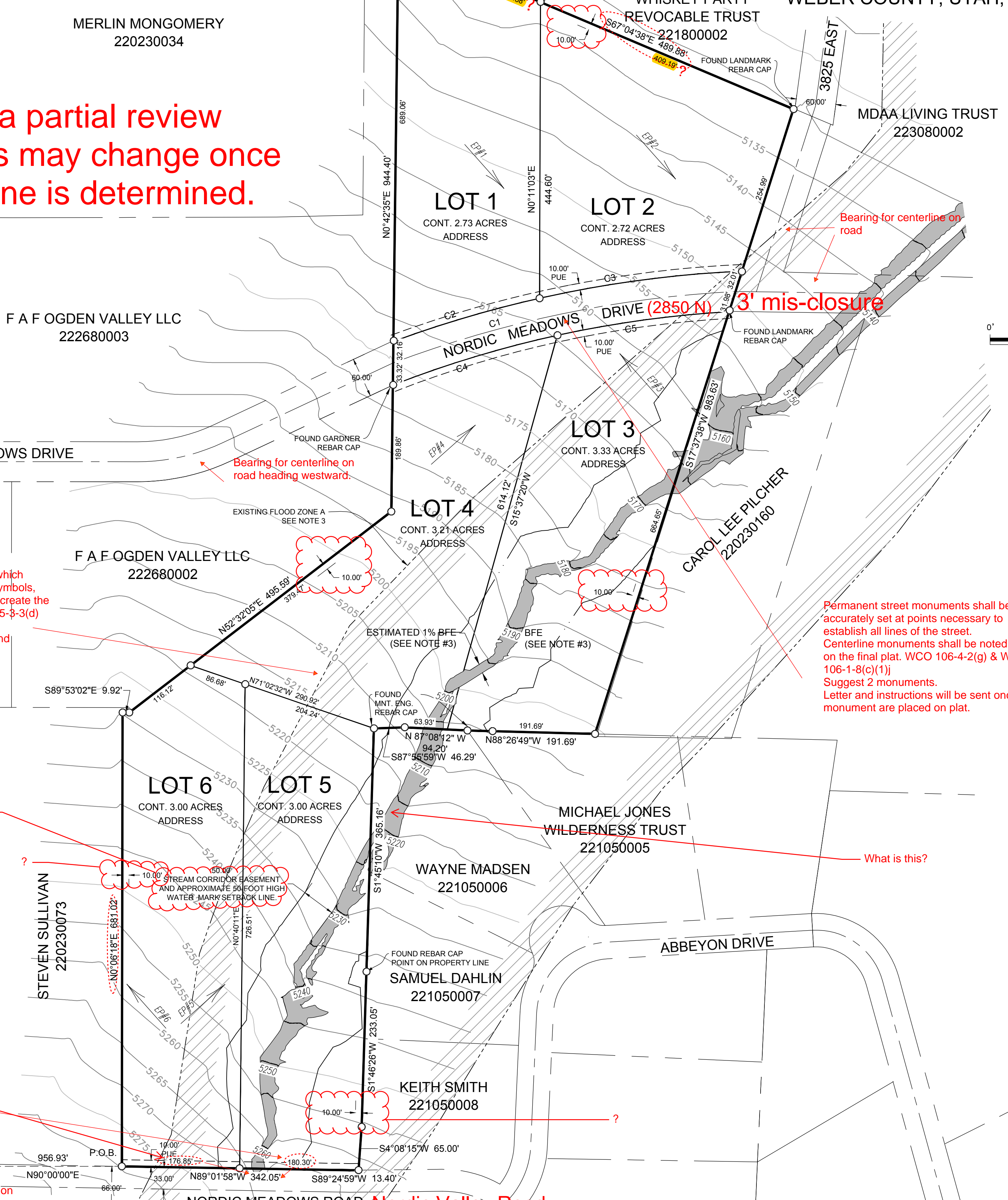
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	527.24	1710.83	17°39'26"	N78°13'20"E	525.16
C2	228.95	1740.83	7°32'07"	N73°32'46"E	228.78
C3	307.10	1740.83	10°06'27"	N82°22'02"E	306.70
C4	258.41	1645.78	8°59'46"	N73°10'16"E	258.14
C5	260.42	1645.78	9°03'58"	N82°12'08"E	260.15

WASTEWATER SITE AND SOILS EVALUATION #14600

- Exploration Pit #1 (UTM Zone 12 Nad 83 428164 E 4574075 N)
0-20" Loam, Granular Structure
20-59" Gravelly Coarse Sandy Loam, Blocky Structure, 60% Gravel
59-85" Gravelly Coarse Sandy Loam, Massive Structure, 60% Gravel, Few Red Mottles
- Exploration Pit #2 (UTM Zone 12 Nad 83 428242 E 4574079 N)
0-21" Loam, Granular Structure
21-62" Gravelly Coarse Sandy Loam, Blocky Structure, 50% Gravel
62-95" Gravelly Coarse Sandy Loam, Massive Structure, 50% Gravel, Common Red Mottling
- Exploration Pit #3 (UTM Zone 12 Nad 83 428216 E 4574001 N)
0-20" Loam, Granular Structure
20-49" Gravelly Coarse Sandy Loam, Blocky Structure, 60% Gravel
49-79" Gravelly Coarse Sandy Loam, Massive Structure, 60% Gravel
- Exploration Pit #4 (UTM Zone 12 Nad 83 428150 E 4573968 N)
0-22" Loam, Granular Structure
22-53" Gravelly Loam, Blocky Structure, 40% Gravel
53-77" Gravelly Sandy Loam, Massive Structure, 40% Gravel, Common Red Mottling
- Exploration Pit #5 (UTM Zone 12 Nad 83 428306 E 4573721 N)
0-20" Loam, Granular Structure
20-49" Gravelly Sandy Loam, Blocky Structure, 40% Gravel, Common Red Mottling
49-72" Gravelly Sandy Loam, Massive Structure, 50% Gravel, Common Red Mottling
- Exploration Pit #6 (UTM Zone 12 Nad 83 427993 E 4573722 N)
0-30" Loam, Granular Structure
30-58" Gravelly Coarse Sandy Loam, Granular/Blocky Structure, 65% Gravel, Common Red Mottling
58-76" Gravelly Coarse Sandy Loam, Massive Structure, 50% Gravel, Common Red Mottling

NOTES

- ZONE FV-3 CURRENT YARD SETBACKS: FRONT 30', SIDE 20', REAR 30'
- SUBJECT PROPERTY CURRENTLY FALLS WITHIN FEMA FLOOD ZONE "A" - AS SHOWN HEREON PER FEMA MAP NO. 49057C0228F AND 49057C0236F WITH AN EFFECTIVE DATE OF JUNE 2, 2015.
- BASE FLOOD ELEVATIONS SHOWN HEREIN HAVE BEEN COMPUTED IN A STUDY BY HANSEN ALLEN & LUCE INC.
- THIS SUBDIVISION WAS ALLOWED FLEXIBLE LOT AREA AND WIDTH IN EXCHANGE FOR SUPERIOR STREET CONNECTIVITY. A SUBDIVISION AMENDMENT WITHIN ANY PART OF THE OVERALL SUBDIVISION BOUNDARY SHALL COMPLY WITH SECTION 106-2-4(B) OF THE WEBER COUNTY CODE.
- ALL LOTS WILL BE RESTRICTED TO 5000 SQUARE FEET OF LANDSCAPING. RECORDING NUMBER _____, BOOK _____, PAGE _____
- ALL FUTURE STRUCTURES CONSTRUCTED WITHIN THE SUBDIVISION ARE SUBJECT TO THE OUTDOOR LIGHTING REQUIREMENTS FOUND IN IUC SEC. 108-16.
- SUBDIVISION BOUNDARY AND LOT CORNERS ARE SET AS REQUIRED BY STATE CODE AND COUNTY ORDINANCES PER SEC. 106-1-8.20.



WEBER COUNTY SURVEYOR
I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.
SIGNED THIS _____ DAY OF _____, 2021.

WEBER COUNTY ATTORNEY
I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.
SIGNED THIS _____ DAY OF _____, 2021.

WEBER COUNTY ENGINEER
I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.
SIGNED THIS _____ DAY OF _____, 2021.

WEBER COUNTY COMMISSION ACCEPTANCE
THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION HEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH.
SIGNED THIS _____ DAY OF _____, 2021.

WEBER COUNTY PLANNING COMMISSION APPROVAL
THIS IS TO CERTIFY THAT THIS SUBDIVISION WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION.
SIGNED THIS _____ DAY OF _____, 2021.

WEBER - MORGAN HEALTH DEPARTMENT
I DO HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITION FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS.
SIGNED THIS _____ DAY OF _____, 2021.

NARRATIVE
THE PURPOSE OF THIS SURVEY WAS TO CREATE A SIX LOT SUBDIVISION ON THE PROPERTY AS SHOWN AND DESCRIBED HEREON. THE SURVEY WAS ORDERED BY LIBERTY LAND AND LIVESTOCK, LLC. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING WEBER COUNTY SURVEY MONUMENTATION AS SHOWN AND NOTED HEREON THE BASIS OF BEARING IS THE WEST LINE OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN WHICH BEARS NORTH 00°23'55" EAST, WEBER COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING.

DEVELOPER: LIBERTY LAND AND LIVESTOCK LLC
DAN MABRY
1715 CANYON CIRCLE
FARMINGTON UTAH

S1
1

COUNTY RECORDER
ENTRY NO. _____ FEE PAID _____
FILED FOR AND RECORDED _____
AT _____ IN BOOK _____ OF OFFICIAL _____
RECORDS, PAGE _____ RECORDED _____
FOR _____
COUNTY RECORDER _____
BY: _____

GARDNER ENGINEERING
CIVIL & LAND PLANNING
MUNICIPAL & LAND SURVEYING
5150 SOUTH 875 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

R11343 - DAN MABRY SURVEYOR/DAN MABRY SIX LOT SUBDIVISION UPDATE.DWG