



BIGELOW

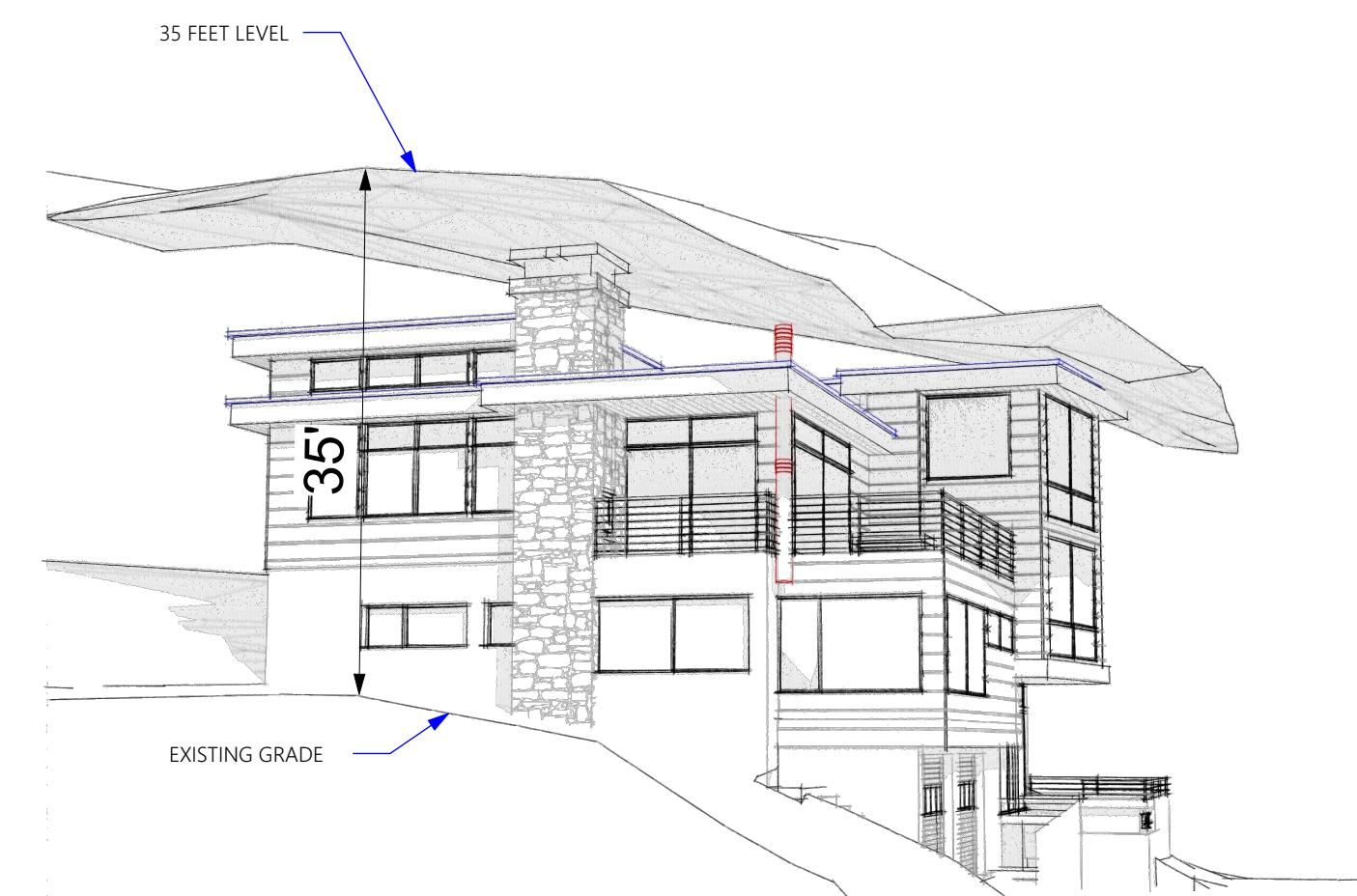
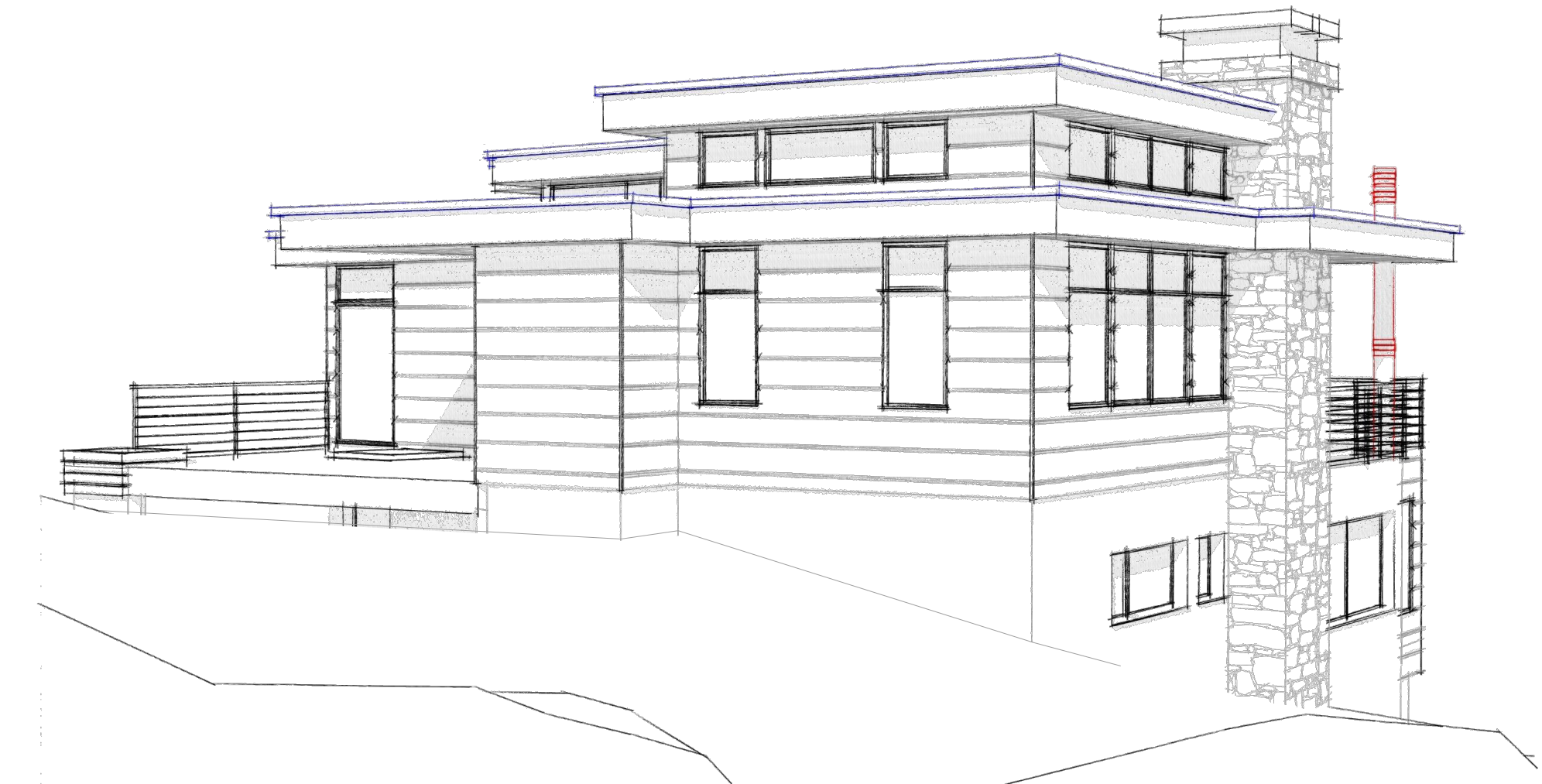
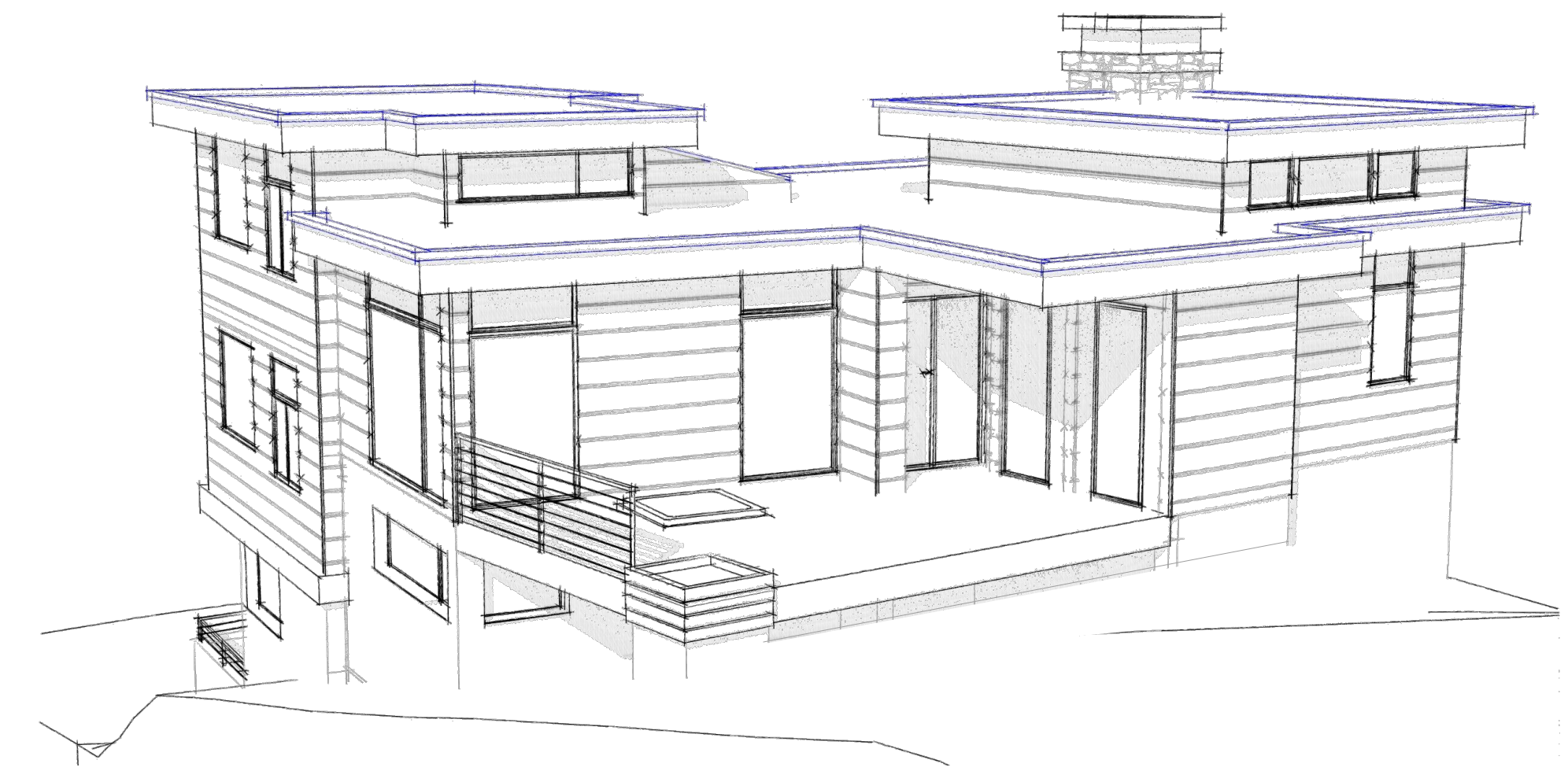
Powder Mountain, Lot # 153R
8464 E. Spring Park,
Weber County, Utah

Build by:

Scandinavian LLC

DRAWING INDEX:

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Building
dreams into
legacies



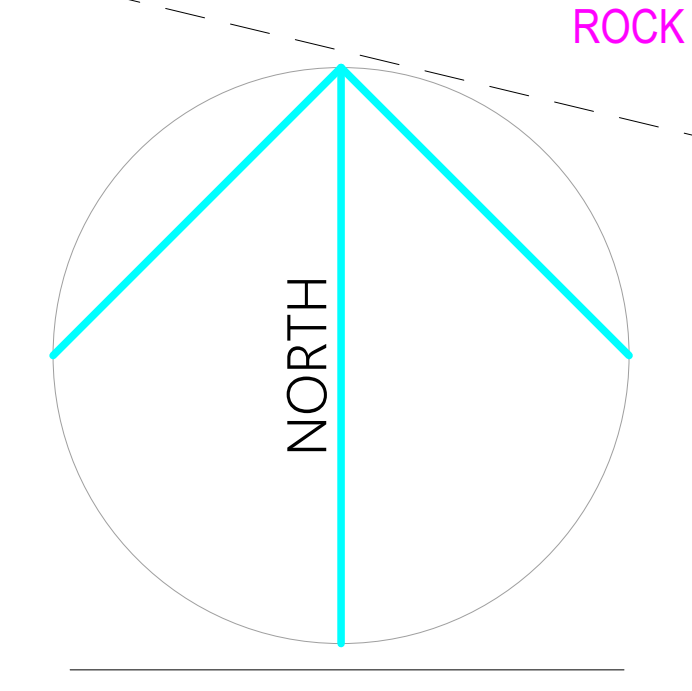
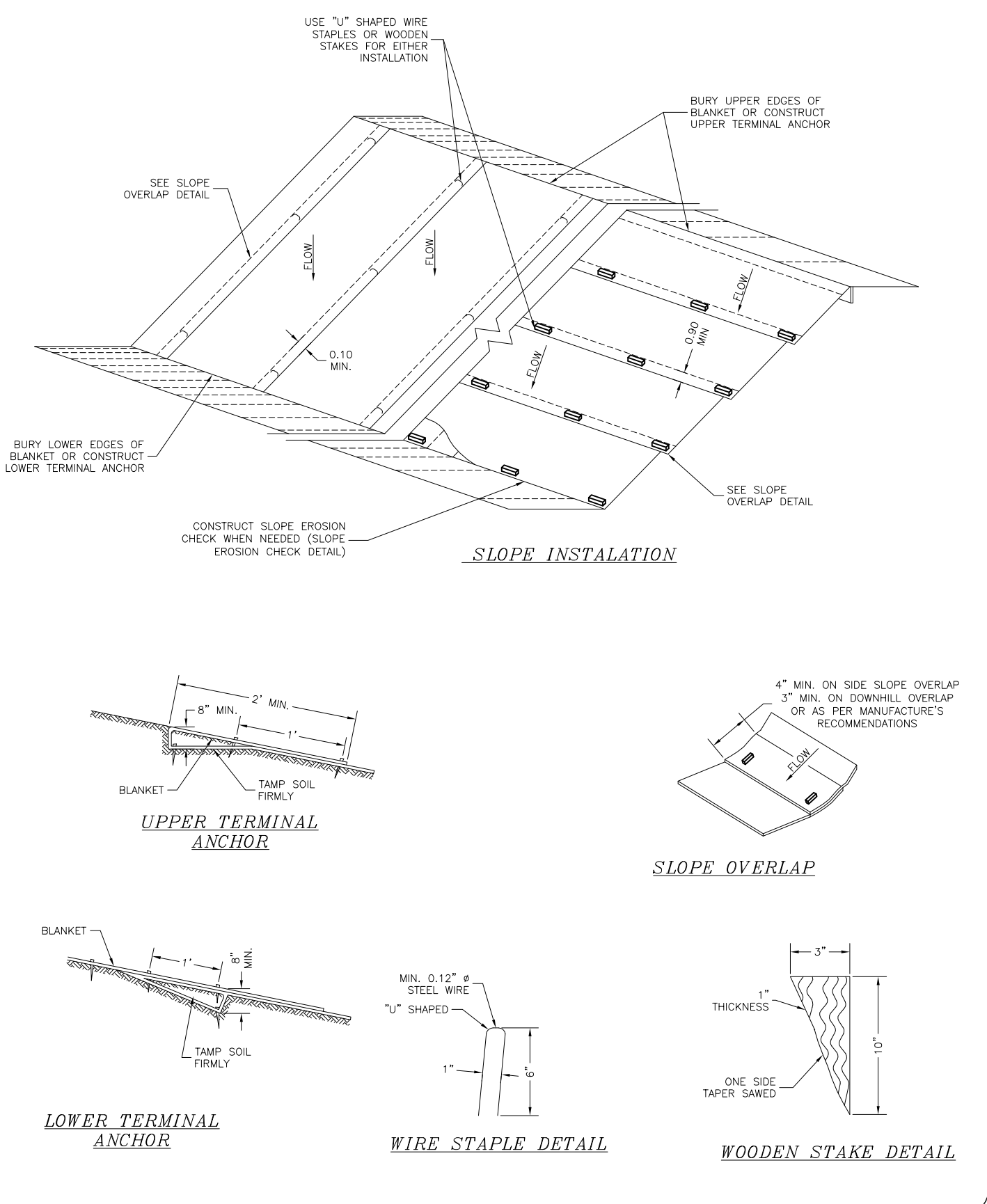
ARCHITECTURAL OFFICE
Company Name
Scandinavian LLC
Address
6410 N. Business
Park Loop Rd. Unit E
Phone 435-513-0355
Fax
Project No.
Cad File
Drawn
Checked

A New Residence:
BIGELOW
Summit Powder Mountain, Lot # 453R
8464 E. Spring Park, Weber County, Utah

BUILDER
Company Name
Address
Park City, Utah 84098
Phone
Fax

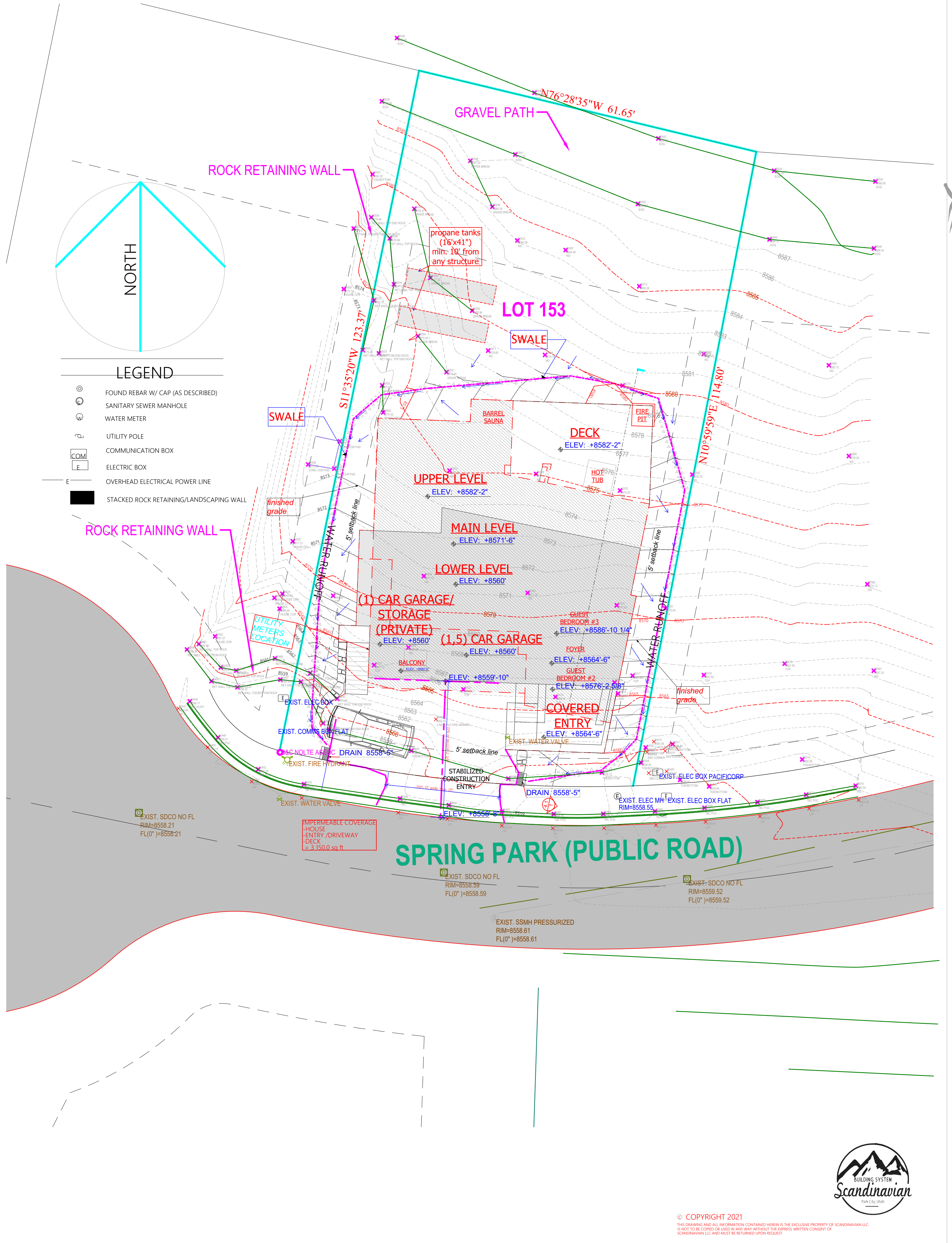
Drawing Date 7-15-2021
Scale 1" = 10'-0"
Title **SITE PLAN**
BUILDER/DEALER'S APPROVAL:
Signature and Date

**GEOTEXTILES—
TYPICAL DESIGN / LAYOUT**



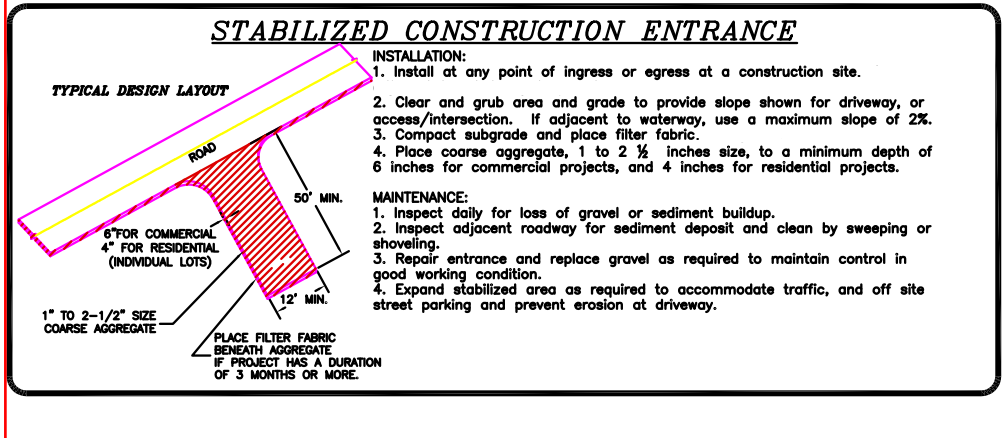
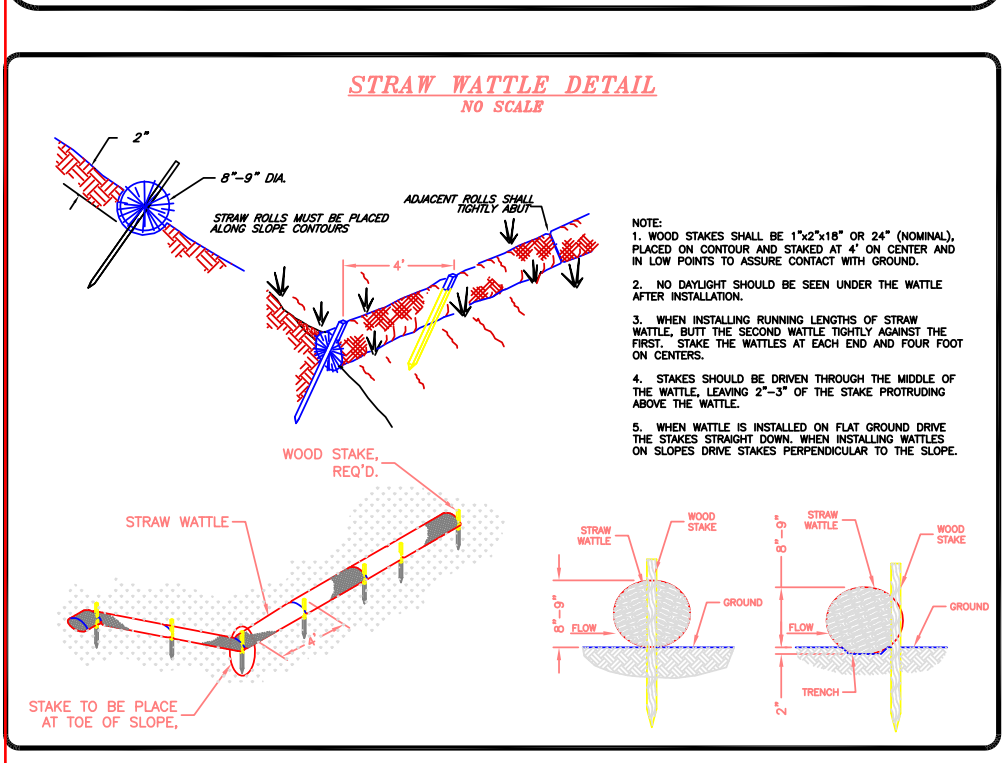
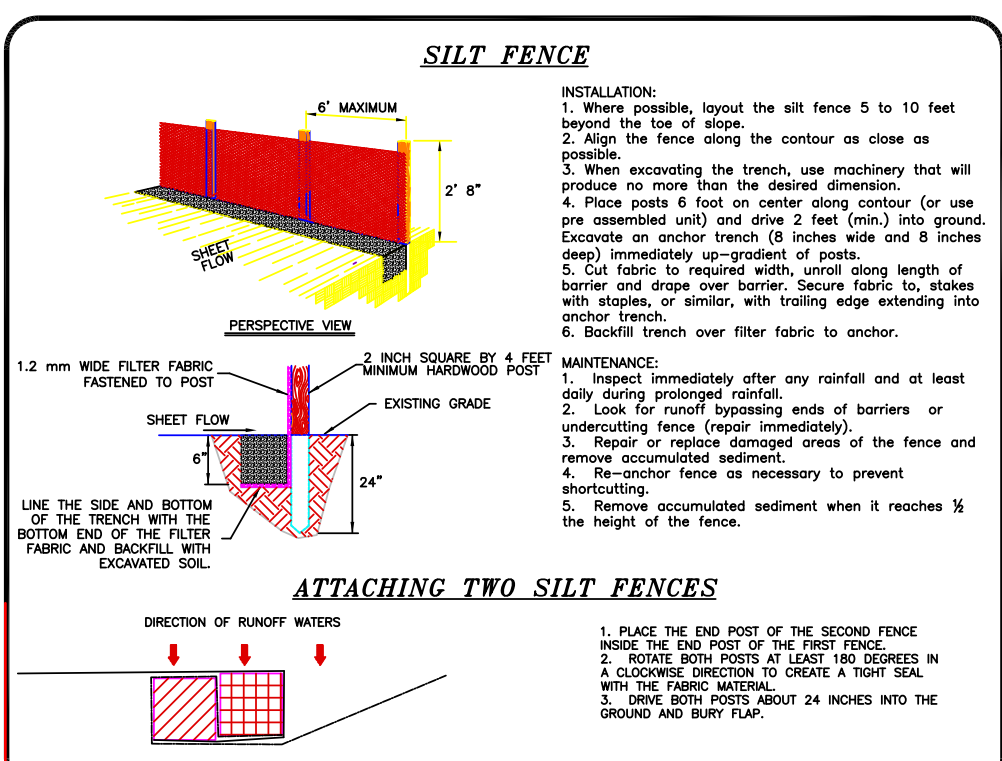
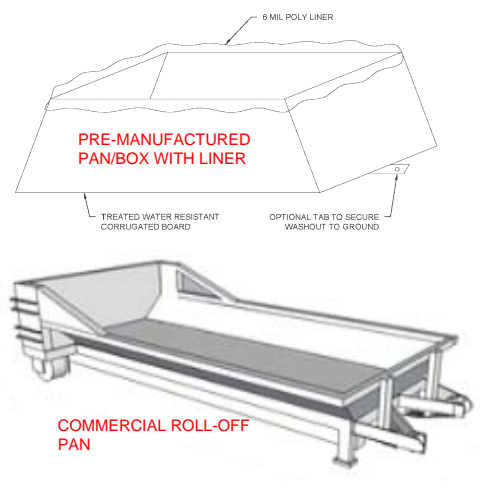
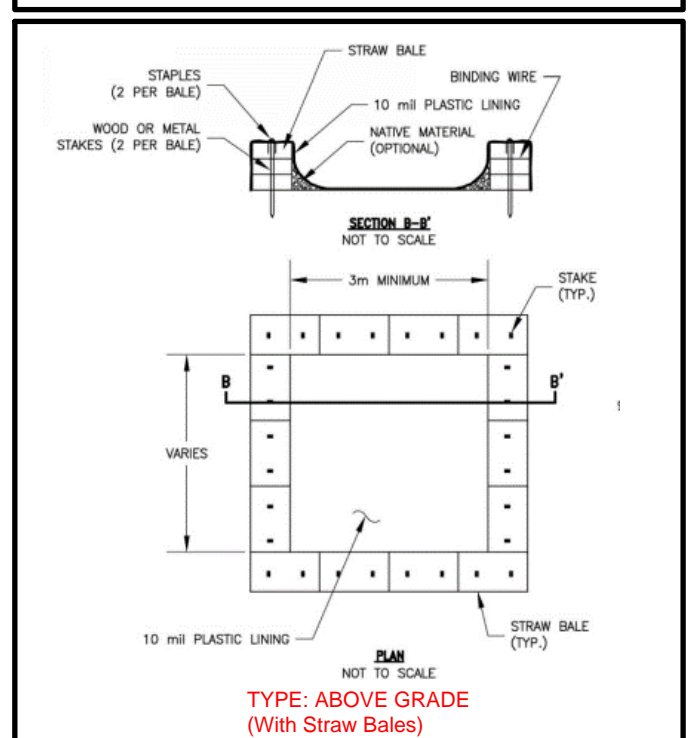
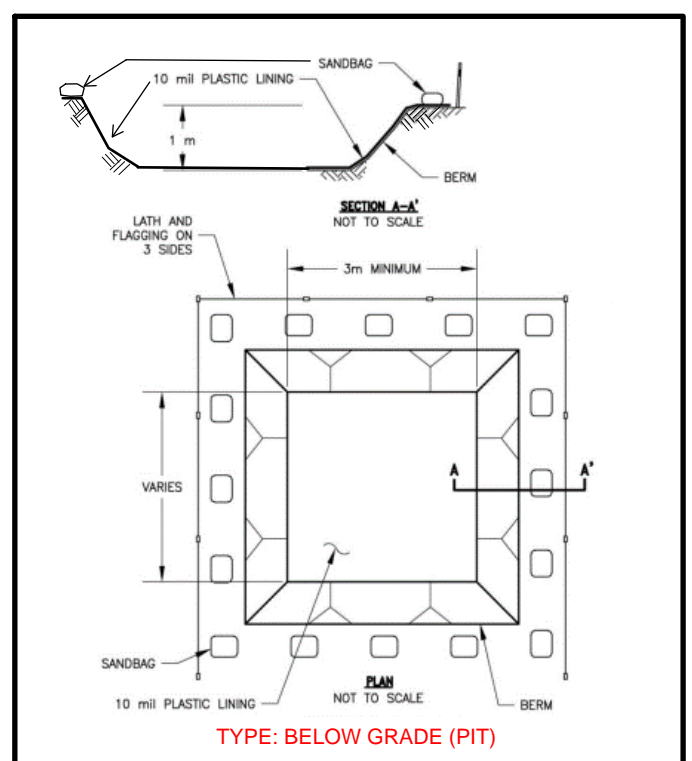
LEGEND

- FOUND REBAR W/ CAP (AS DESCRIBED)
- SANITARY SEWER MANHOLE
- WATER METER
- UTILITY POLE
- COMMUNICATION BOX
- ELECTRIC BOX
- OVERHEAD ELECTRICAL POWER LINE
- STACKED ROCK RETAINING/LANDSCAPING WALL



Required Inspections Table

Inspection	Description/Requirements	Contact
Driveway/ Site Staking	Required prior to issuance of a Building Permit. Locate stake the driveway at the street and at the road right of way/property line and locate all other property corners.	Engineering
Grading	Required prior to scheduling a Footing Inspection. Site Erosion Control measures must be installed and driveway must be roughly graded according to plan.	Engineering
Footing	Schedule after steel is in place and before concrete is poured.	Building
Foundation	Schedule after steel is in place in the forms and before concrete is placed.	Building
Under Slab Plumbing & Heating	Before concrete is poured at plumbing has been backfilled.	Building
Certificate of Elevation and/or Survey	Required prior to scheduling a Floor Framing Inspection. See requirements below.	Building
Floor Framing Inspection	Required prior to placing floor sheathing and includes Footing, Drain Inspections.	Building
Slab Wall	After the building is up to "the square" and all shear walls have been nailed and all tie bars and shear wall connections have been installed.	Building
Fire Sprinklers	Required prior to low-way inspection, when required by the local Fire District.	Building
Floor Joist	This inspection is performed after all rough electrical, plumbing, and mechanical has been installed. All framing is complete, shear walls previously inspected, and floor specifications are on the job for the inspector to read. Plumbing shall have either an air or water pressure test on them when the inspector arrives.	Building
Weather Barrier/Sheath Lath	Weather barrier shall be inspected prior to applying veneer. Approved sheath I.C.C. research reports on site.	Building
Gas Meter Set	Required before gas meter clearance is given to Quester.	Building
Masonry wall/hood beam	Steel in masonry and before concrete/grade is poured.	Building
Insulation	The Sheetrock insulation certificate required.	Building
Drywall Nailing	This is done before drywall is installed.	Building
Power to Panel	Building must be up with permanent roof installed.	Building
Driveway pre-surfacing	Site Erosion Control measures must be installed and driveway graded to it's final configuration.	Engineering
Final Driveway and Site Inspection	Required prior to Certificate of Occupancy and/or Final Release. Driveway must be surfaced and site must be revegetated (suspections may be schedule separately). If the site is not revegetated, the erosion control measures must be in place and installed correctly.	Engineering
Flood Plain Elevation Certificate	FEMA Elevation Certificate (if applicable) required prior to Certificate of Occupancy. Form must be filed with FEMA and a copy provided to the Engineering Department.	Engineering
Final	All work is DONE and building concrete. Final clearances from the water district for sewer, County Health Department for septic, and fire district for sprinkler systems must be on the project for this inspection. Required for Certificate of Occupancy.	Building
Certificate of Occupancy	Required prior to anyone occupying the structure. A Certificate of Occupancy will be issued once the final clearances have been obtained by the builder and brought to the Building Department's office as a Condition of Occupancy. 1) Snyderville Basin Residential: Final from Building Department, Final from Engineering Department, Final letter from Snyderville Basin Water Reclamation District. Final water concurrecy letter from appropriate water company. Final from Park City Fire District (in required subdivisions). 2) Eastern Summit County: Final from Building Department, Final from Engineering Department, Final from Fire District and Final from Health Department.	Building
ICP Final Release Inspection	Required to verify that the site has been fully stabilized (revegetated). Inspection is required prior to applicant receiving a release of this Erosion Control Bond. Applicant must provide a written request for the release of the bond.	Engineering



Construction Mitigation Plan Notes

- Show location for dumpster, portable toilets, materials storage, parking.
- Construction parking/traffic may not block the street without a permit (available from the Engineering Division).
- Mud tracked out onto the street must be cleaned prior to the end of the work day.
- The construction site must be maintained in a neat manner. Trash and other debris may not accumulate outside the dumpster.
- Roadside parking is not allowed from November 15 to April 15.

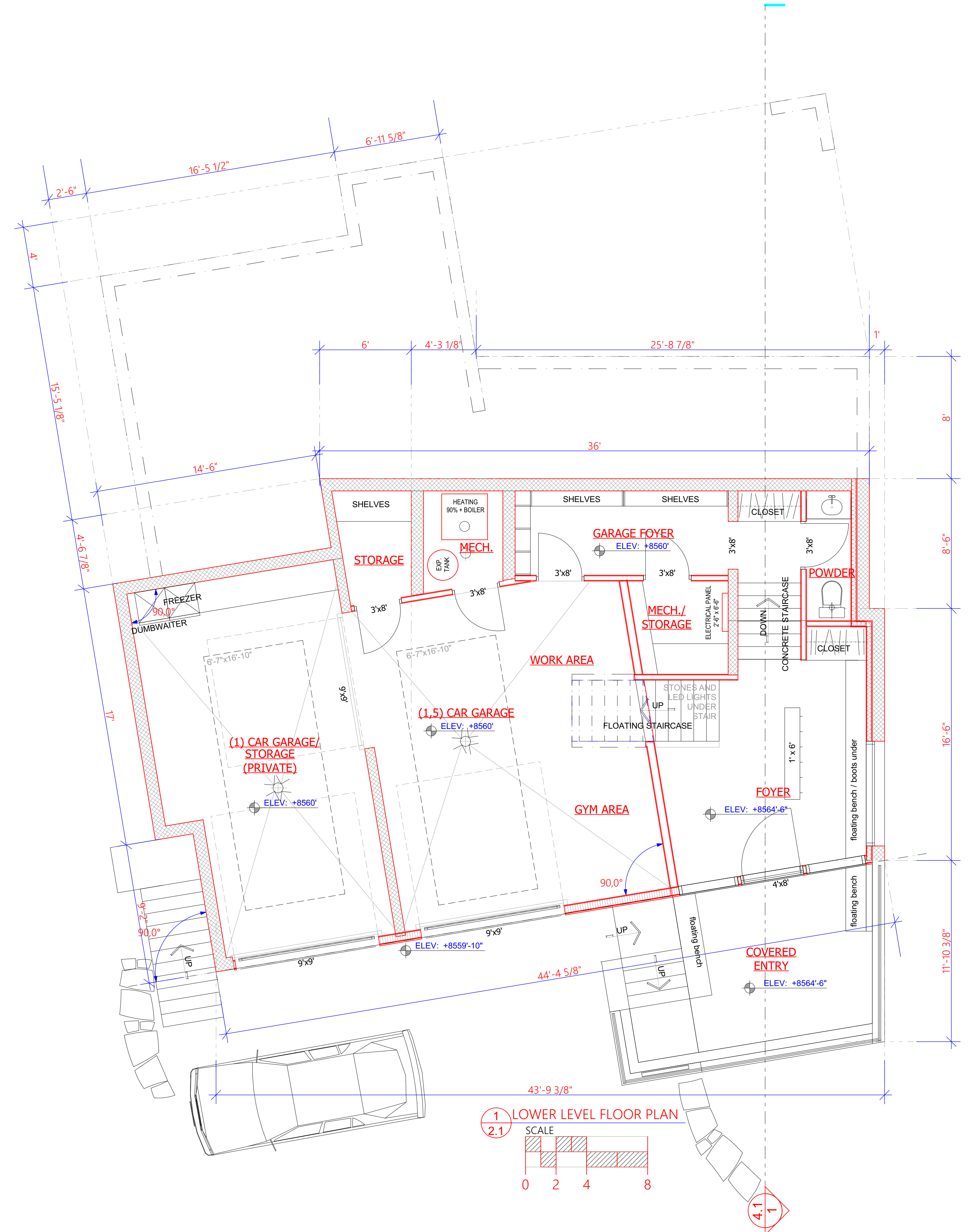
Construction parking cannot be located within the R-O-W. No street side parking is allowed during the winter season, Nov. 15 thru April 15.

- Perform washout of concrete trucks outside or in designated concrete washout areas only.
- Do not wash out concrete trucks onto the ground, or into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped onto, except in designated concrete washout areas.

Concrete washout areas may be prefabricated concrete washout containers, or self-installed structures (above-grade or below-grade).

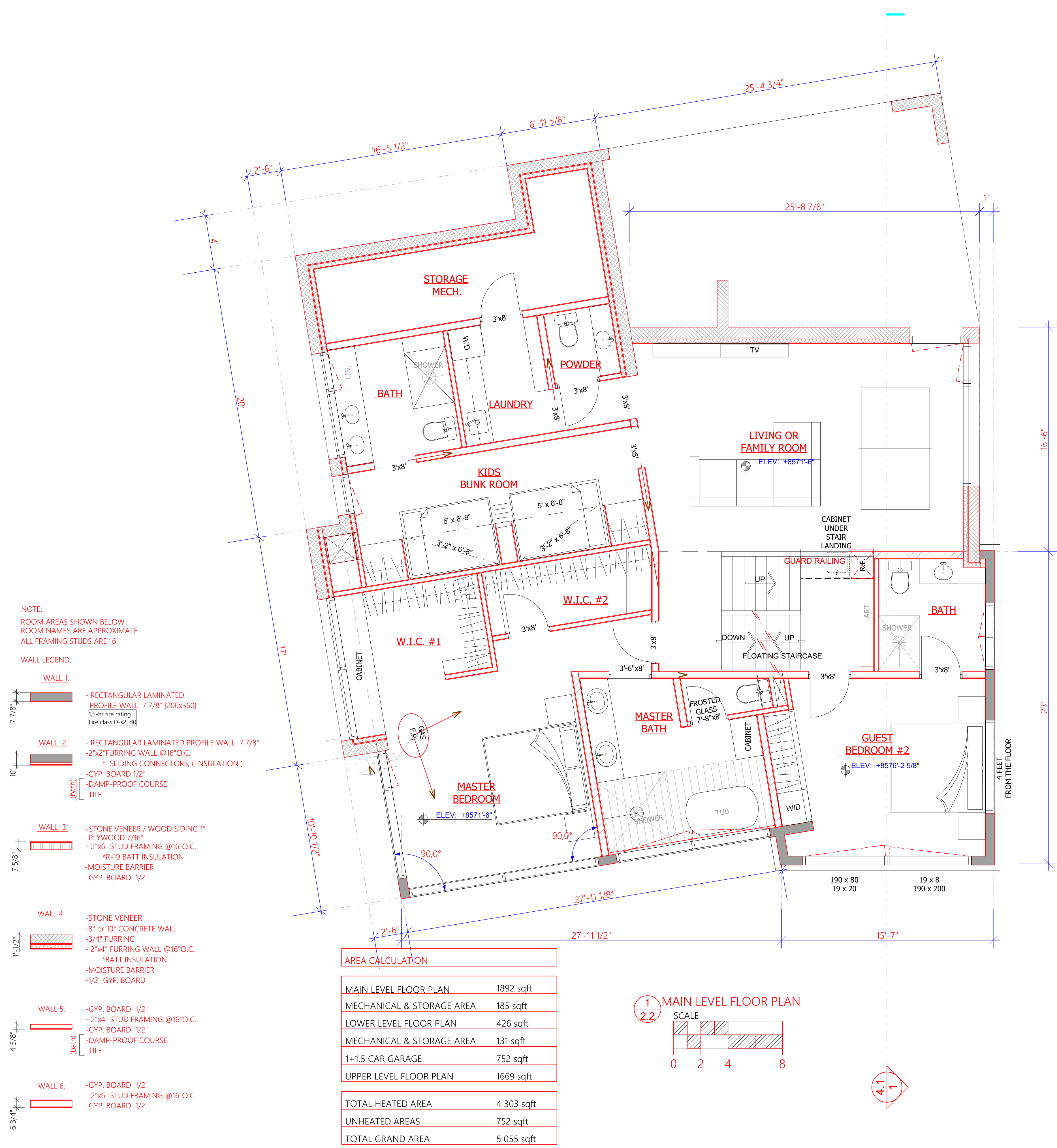
- Prefabricated containers are most resistant to damage and protect against spills and leaks. Companies may offer delivery service and provide regular maintenance and disposal of solid and liquid waste.
- If self-installed concrete washout areas are used, below-grade structures are preferred over above-grade structures because they are less prone to spills and leaks.
- Self-installed above-grade structures should only be used if excavation is not practical.





1 LOWER LEVEL FLOOR PLAN





NOTE:
 ROOM AREAS SHOWN BELOW
 ROOM NAMES ARE APPROXIMATE
 ALL FRAMING STUDS ARE 16"

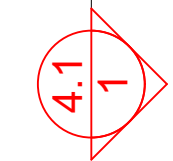
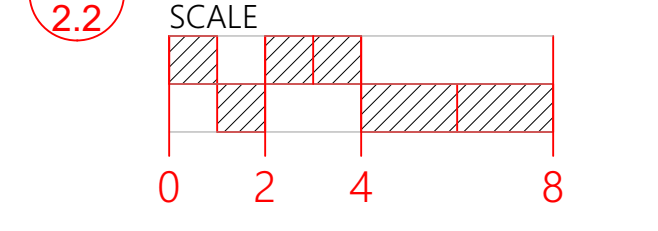
WALL LEGEND:

- WALL 1:**
 7 7/8" - RECTANGULAR LAMINATED PROFILE WALL 7 7/8" [200x360]
 1.5-hr fire rating
 Fire class D-s2, d0
- WALL 2:**
 10" - RECTANGULAR LAMINATED PROFILE WALL 7 7/8"
 -2"x2" FURRING WALL @16"O.C.
 * SLIDING CONNECTORS, (INSULATION)
 -GYP. BOARD 1/2"
 -DAMP-PROOF COURSE
 -TILE
- WALL 3:**
 7 5/8" - STONE VENEER / WOOD SIDING 1"
 -PLYWOOD 7/16"
 -2"x6" STUD FRAMING @16"O.C.
 *R-19 BATT INSULATION
 -MOISTURE BARRIER
 -GYP. BOARD 1/2"
- WALL 4:**
 1'-7 1/2" - STONE VENEER
 -8" or 10" CONCRETE WALL
 -3/4" FURRING
 -2"x4" FURRING WALL @16"O.C.
 *BATT INSULATION
 -MOISTURE BARRIER
 -1/2" GYP. BOARD
- WALL 5:**
 4 5/8" - GYP. BOARD 1/2"
 -2"x4" STUD FRAMING @16"O.C.
 -GYP. BOARD 1/2"
 -DAMP-PROOF COURSE
 -TILE
- WALL 6:**
 6 3/4" - GYP. BOARD 1/2"
 -2"x6" STUD FRAMING @16"O.C.
 -GYP. BOARD 1/2"

AREA CALCULATION

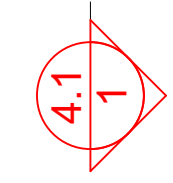
MAIN LEVEL FLOOR PLAN	1892 sqft
MECHANICAL & STORAGE AREA	185 sqft
LOWER LEVEL FLOOR PLAN	426 sqft
MECHANICAL & STORAGE AREA	131 sqft
1+1.5 CAR GARAGE	752 sqft
UPPER LEVEL FLOOR PLAN	1669 sqft
TOTAL HEATED AREA	4 303 sqft
UNHEATED AREAS	752 sqft
TOTAL GRAND AREA	5 055 sqft

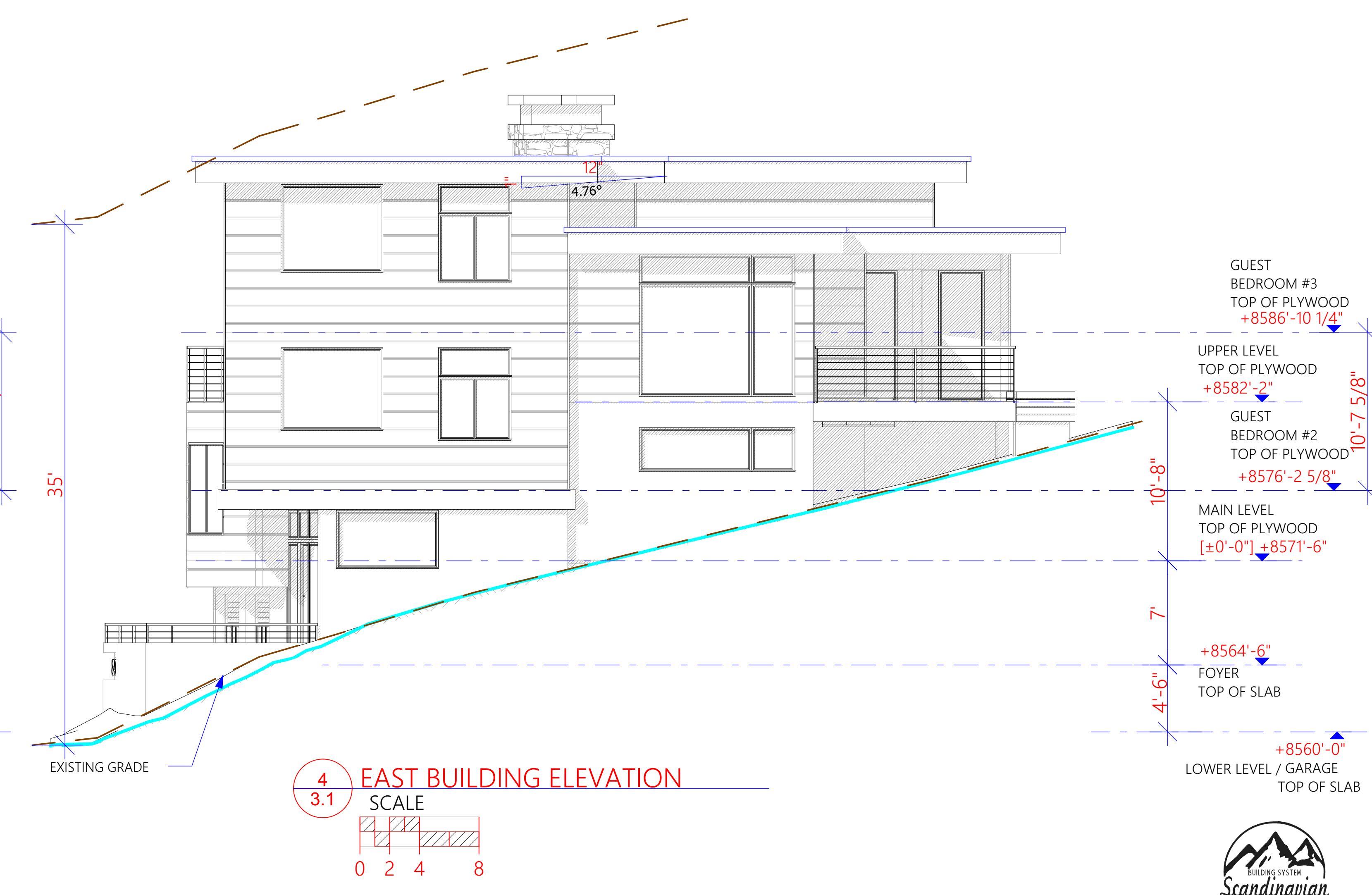
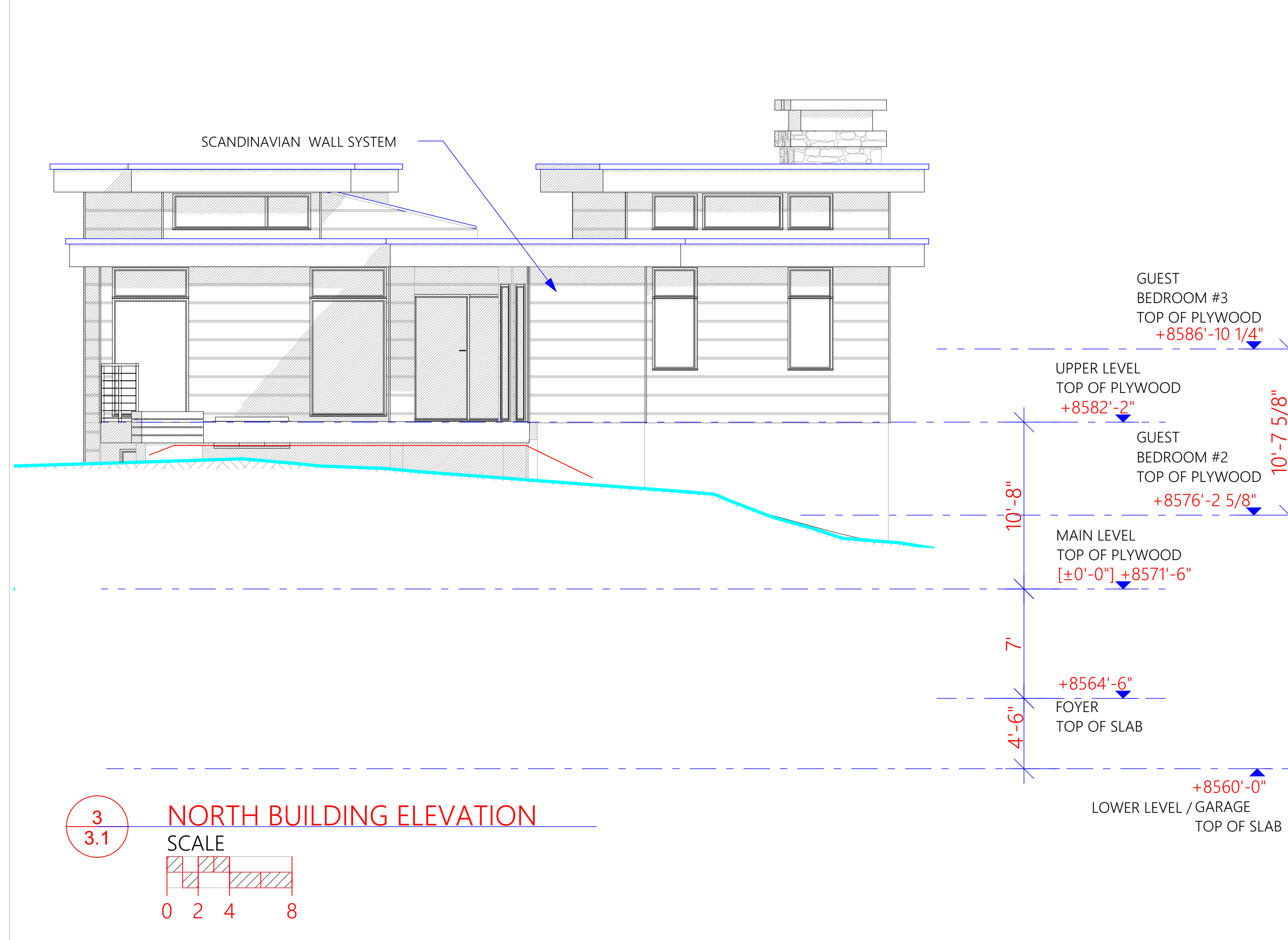
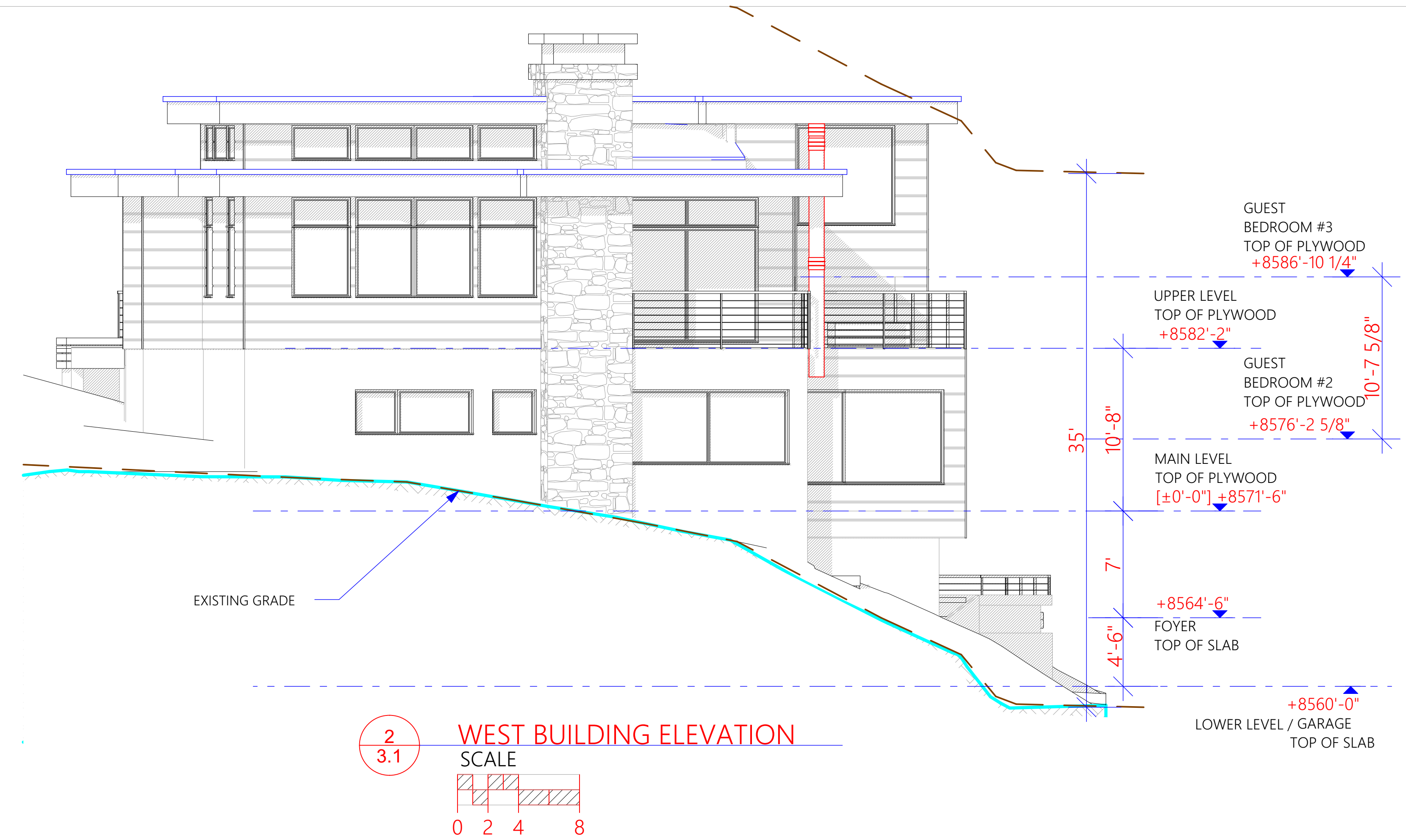
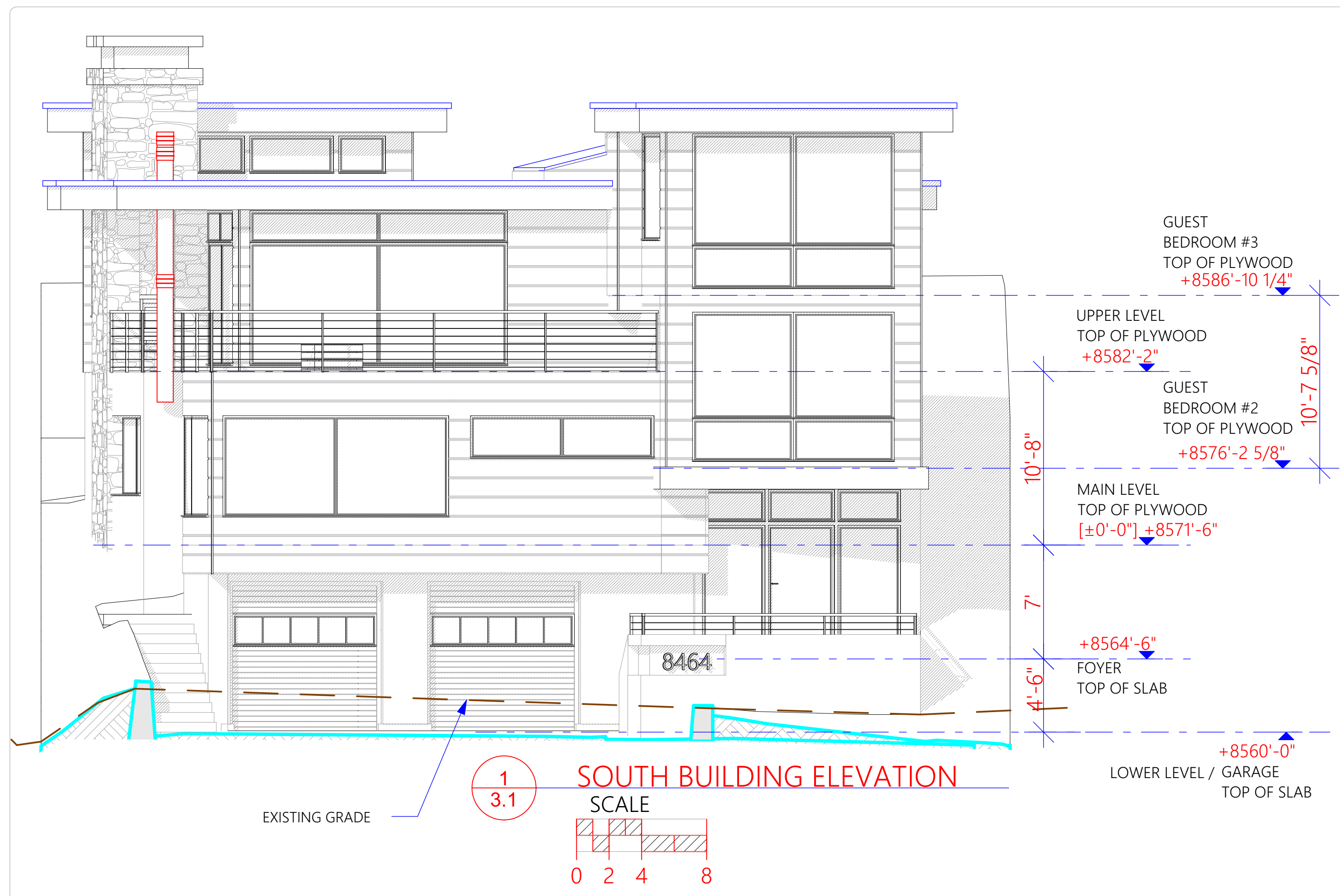
1 MAIN LEVEL FLOOR PLAN





1 UPPER LEVEL FLOOR PLAN
 2.3 SCALE
 0 2 4 8





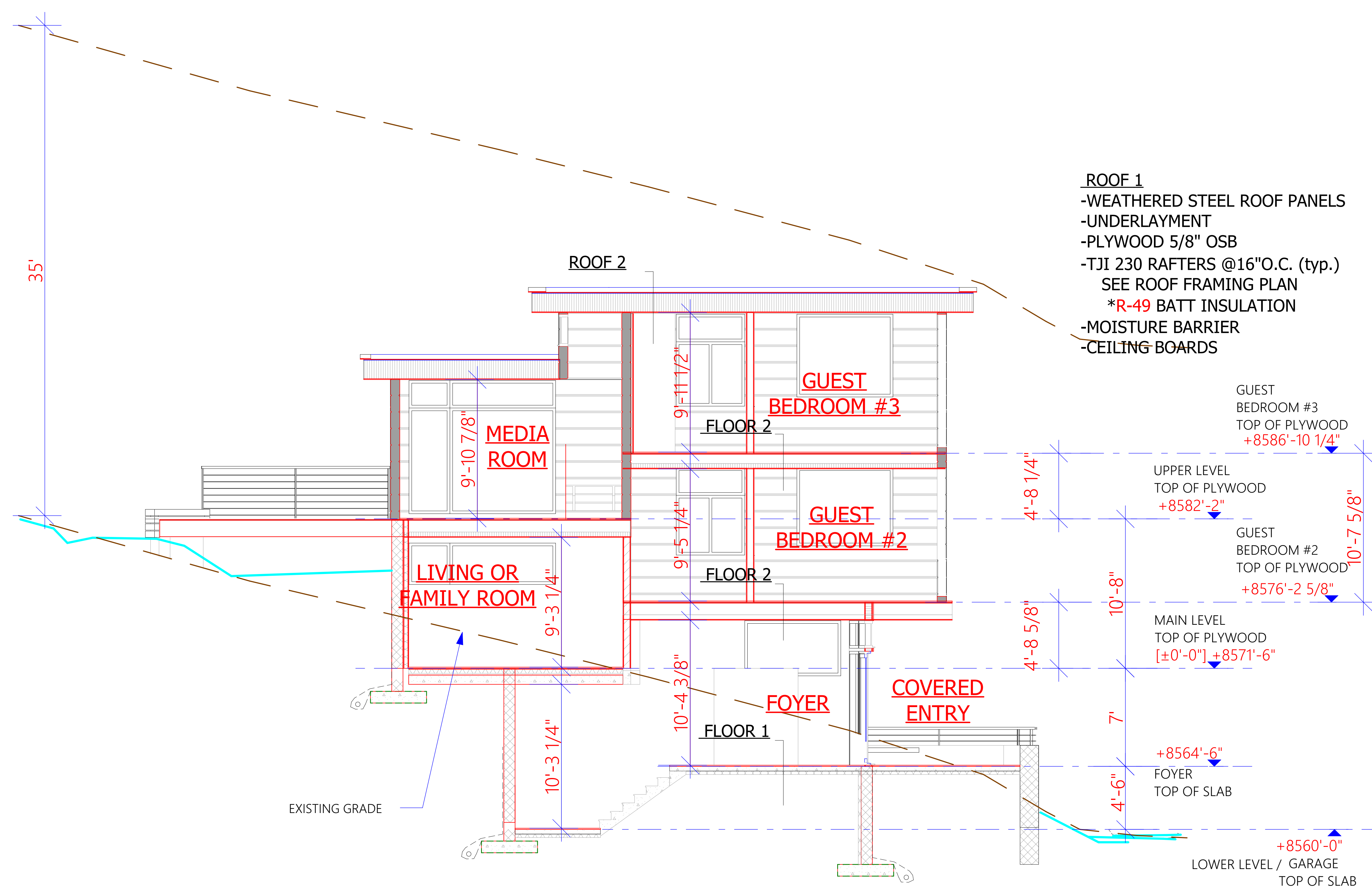
ARCHITECTURAL OFFICE
 Company Name: Scandinavian LLC
 Address: 6410 N. Business Park Loop Rd. Unit E
 Phone: 435-513-0355
 Fax:
 Project No.:
 Cad File:
 Drawn:
 Checked:

A New Residence:
BIGELOW
 Summit Powder Mountain, Lot # 163R
 8464 E. Spring Park, Weber County, Utah

BUILDER
 Company Name:
 Address:
 Park City, Utah 84098
 Phone:
 Fax:
 Drawing Date: 7-15-2021
 Scale: 3/16" = 1'-0"
 Title No.: BUILDING ELEVATIONS
 BUILDER/DEALER'S APPROVAL:
 Signature and Date:



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ROOF 1
 -WEATHERED STEEL ROOF PANELS
 -UNDERLAYMENT
 -PLYWOOD 5/8" OSB
 -TJI 230 RAFTERS @16"O.C. (typ.)
 SEE ROOF FRAMING PLAN
 *R-49 BATT INSULATION
 -MOISTURE BARRIER
 -CEILING BOARDS

ROOF 2
 -WEATHERED STEEL ROOF PANELS
 -UNDERLAYMENT
 -PLYWOOD 5/8" OSB
 -TRUSSES @24"O.C. (typ.)
 SEE ROOF FRAMING PLAN
 *R-49 BATT INSULATION
 -MOISTURE BARRIER
 -CEILING BOARDS

FLOOR 1
 -FLOORING
 -4" REINFORCED CONC. SLAB (WELDED WIRE FABRIC)
 -6-MIL POLYETHENE VAPOR BARRIER
 -RIGID INSULATION 2" MINIMUM
 -COMPACTED GRANULAR BASE COURSE

FLOOR 2
 -FLOORING
 -3/4" OSB PLYWOOD SUBFLOOR
 -TJI 230 JOISTS @16"O.C. (typ.)
 * SOUND INSULATION
 -CEILING BOARDS

FLOOR 3
 -FLOORING
 -3/4" OSB PLYWOOD SUBFLOOR
 -2" FURRING /INSULATION
 -3" CONCRETE TOPPING
 -8" HOLLOW CORE SLAB

1
4.1
 BUILDING SECTION
 0 2 4 8

