

Moon Properties Conditional Use Permit Application Documents 7500 West 1425 South Ogden

There will be no water or waste water at this barn. There will be no odor, vibrations, dust, smoke or noise associated with this barn except the noise and odors associated with operating tractors as they move in or out of the barn.

Snow load 40psf

Wind 105 mph

Barn is 35 ft by 54 ft

Barn is under 25 ft in height

Weber County Conditional Use Permit Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed 29 June 2021	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
Property Owner Contact Information			
Name of Property Owner(s) Moon Properties LLC		Mailing Address of Property Owner(s) 336 Marshall Way Suite H Layton, Utah 84041	
Phone 801-451-7416	Fax 801-336-3313	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address (required) fchris@bpapos.com			
Authorized Representative Contact Information			
Name of Person Authorized to Represent the Property Owner(s) Steve Moon		Mailing Address of Authorized Person 641 West 1400 North Farmington, Utah 84025	
Phone 801-549-7749	Fax 801-336-3313	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address steve@bpapos.com			
Property Information			
Project Name Barn	Total Acreage 1890 sq ft	Current Zoning Agricultural / Green Belt	
Approximate Address 1425 South 7500 West Ogden, Utah 84404	Land Serial Number(s) 10-043-0071		
Proposed Use Barn			
Project Narrative Barn for the storage of farm equipment			

Basis for Issuance of Conditional Use Permit

Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise.
Barn for storage of farm equipment, no odor, vibrations, dust, smoke or noise.

That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.

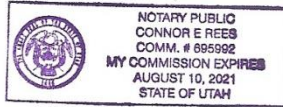
Property Owner Affidavit

I (We), CHRIS MOON FOR MOON PROPERTIES, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

Christina D. Moon
(Property Owner)

(Property Owner)

Subscribed and sworn to me this 6 day of JULY, 2021



[Signature]
(Notary)

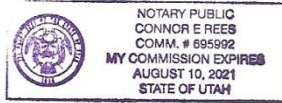
Authorized Representative Affidavit

I (We), CHRIS MOON FOR MOON PROPERTIES, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), STEVE MOON, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

Christina D. Moon
(Property Owner)

(Property Owner)

Dated this 6 day of July, 2021, personally appeared before me _____, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.



[Signature]
(Notary)

7/6/2021

Google Earth



