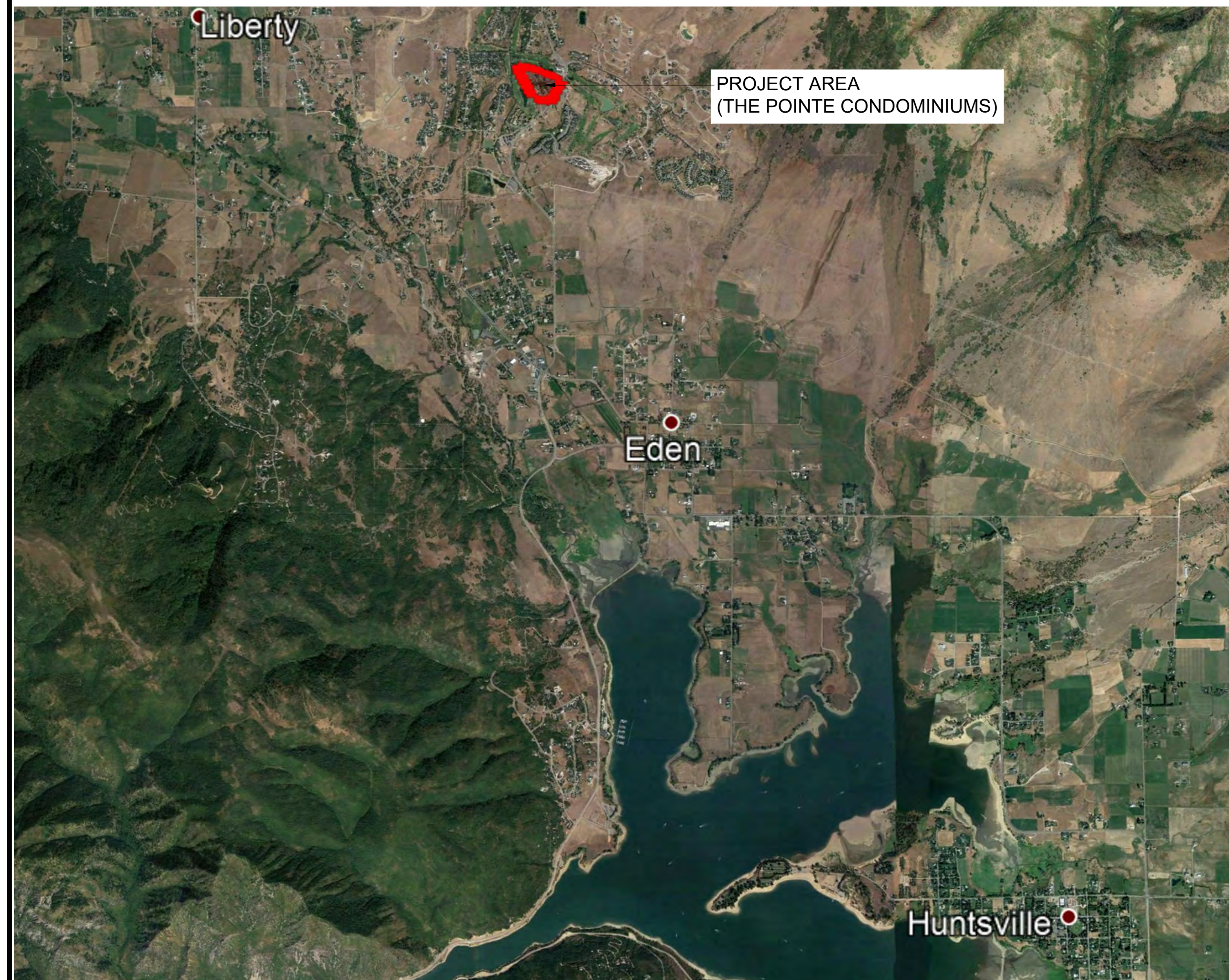


THE POINTE AT WOLF CREEK RESORT

AMENDED PRUD APPLICATION



LOCATION MAP



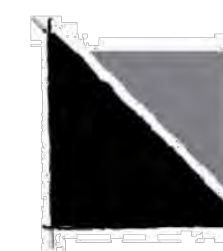
PREPARED FOR:

LEWIS HOMES, INC
 JOHN LEWIS
 5577 EAST ELKHORN DRIVE
 EDEN, UTAH 84310
 801.430.1507



CONSULTANTS:

LANDSCAPE ARCHITECT:
LANGVARDT DESIGN GROUP
 1525 WESTMORELAND DRIVE
 SALT LAKE CITY, UTAH 84105
 801.583.1295



ARCHITECT:

BERTOLDI ARCHITECTS
 RAY BERTOLDI
 2726 HARRISON BLVD.
 OGDEN, UTAH 84403
 801.476.4330



ENGINEER:
GARDNER ENGINEERING
 TYLER NIELSEN
 5150 SOUTH, 375 EAST
 OGDEN, UTAH 84405
 801.476.0202



PROJECT MANAGEMENT:
THE HOUSEHOLDER GROUP
 ERIC HOUSEHOLDER
 2850 NORTH NORDIC VALLEY DRIVE
 EDEN, UTAH 84310
 801.389.0040

SHEET INDEX:

CE0-01	COVER SHEET
E1.0	SLOPE ANALYSIS
P1.0	PHASING PLAN
L1.0	LIGHTING PLAN
S1.1	SITE PLAN
S1.2	SITE DETAILS
L1.1	LANDSCAPING PLAN
L1.2	LANDSCAPING DETAILS

AE-200	EXTERIOR ELEVATIONS
AE-201	EXTERIOR ELEVATIONS
AE-300	RENDERINGS

CE1-01	SITE PLAN
CE1-02	UTILITY PLAN
CE1-03	SWPPP
CE1-04	DETAILS
CE1-05	DETAILS

THE POINTE AT WOLF CREEK RESORT

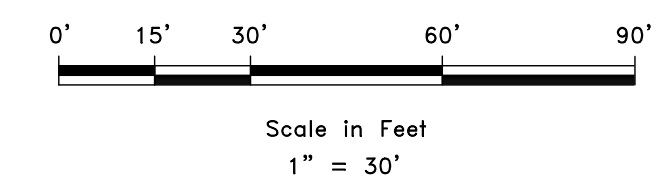
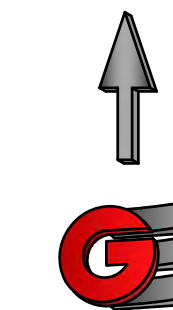
AMENDED PRUD APPLICATION

AK 1251 - LEWIS HOMES 1922 - THE POINTE DESIGN OWN THE POINTE - SITE CURRENT SLOPE ANALYSIS.DWG



LEGEND

SLOPE	RANGE	AREA (AC)	% OF SITE
	0%-15%	3.16 AC	96.34%
	15%-20%	0.06 AC	1.83%
	20%-25%	0.02 AC	0.61%
	25%-30%	0.01 AC	0.30%
	30%-40%	0.03 AC	0.61%
TOTALS		3.28 AC	100%



DATE	DESCRIPTION

DWG: _____

SCALE: 1" = 30'
 DATE: 05-05-21
 DESIGN: RC
 DRAWN: LZ
 CHECKED: RC

SLOPE ANALYSIS
THE POINTE
 3718 WOLF CREEK DR
 WEBER COUNTY, UTAH

GARDNER ENGINEERING
 CIVIL • LAND PLANNING
 MUNICIPAL • LAND SURVEYING
 51150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801.476.0202 FAX: 801.476.0066

E1.0



PHASE 1 NOTES:

1. PHASE BOUNDARIES ARE APPROXIMATE AND MAY BE ADJUSTED PER MARKET CONDITIONS OR INFRASTRUCTURE FEASIBILITY. ALL PHASE OF DEVELOPMENT WILL BE CONSTRUCTED TO PROVIDE MINIMUM STANDARDS FOR FIRE SAFETY AND INFRASTRUCTURE REQUIREMENTS.

PHASE DATA:
 PHASE 1: 48 UNITS / 103 PARKING STALLS

DEVELOPMENT DATA:

- PROJECT AREA: 3.25 ACRES
- PROPOSED USES: 3 16 UNIT BUILDINGS
- PARKING: 103 TOTAL
 - 6 HANDICAP STALLS
 - 8 BOAT/TRAILER PARKING
 - 89 GUEST PARKING SPACES
- OPEN SPACE: 1.07 AC. (32.93%)

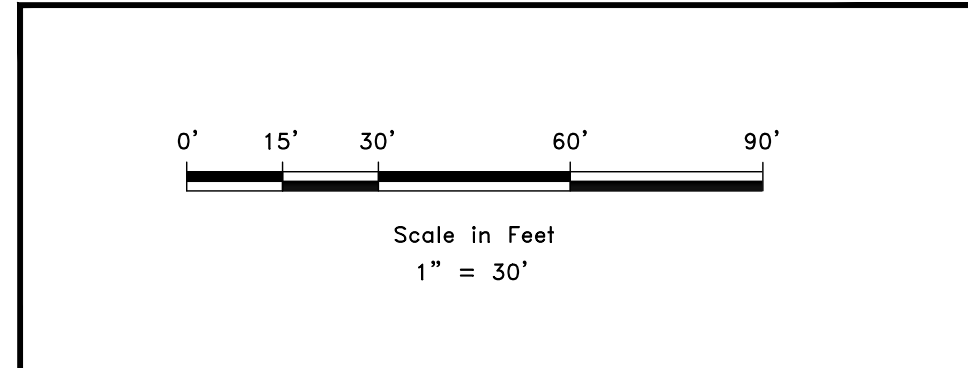
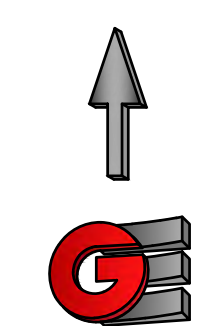
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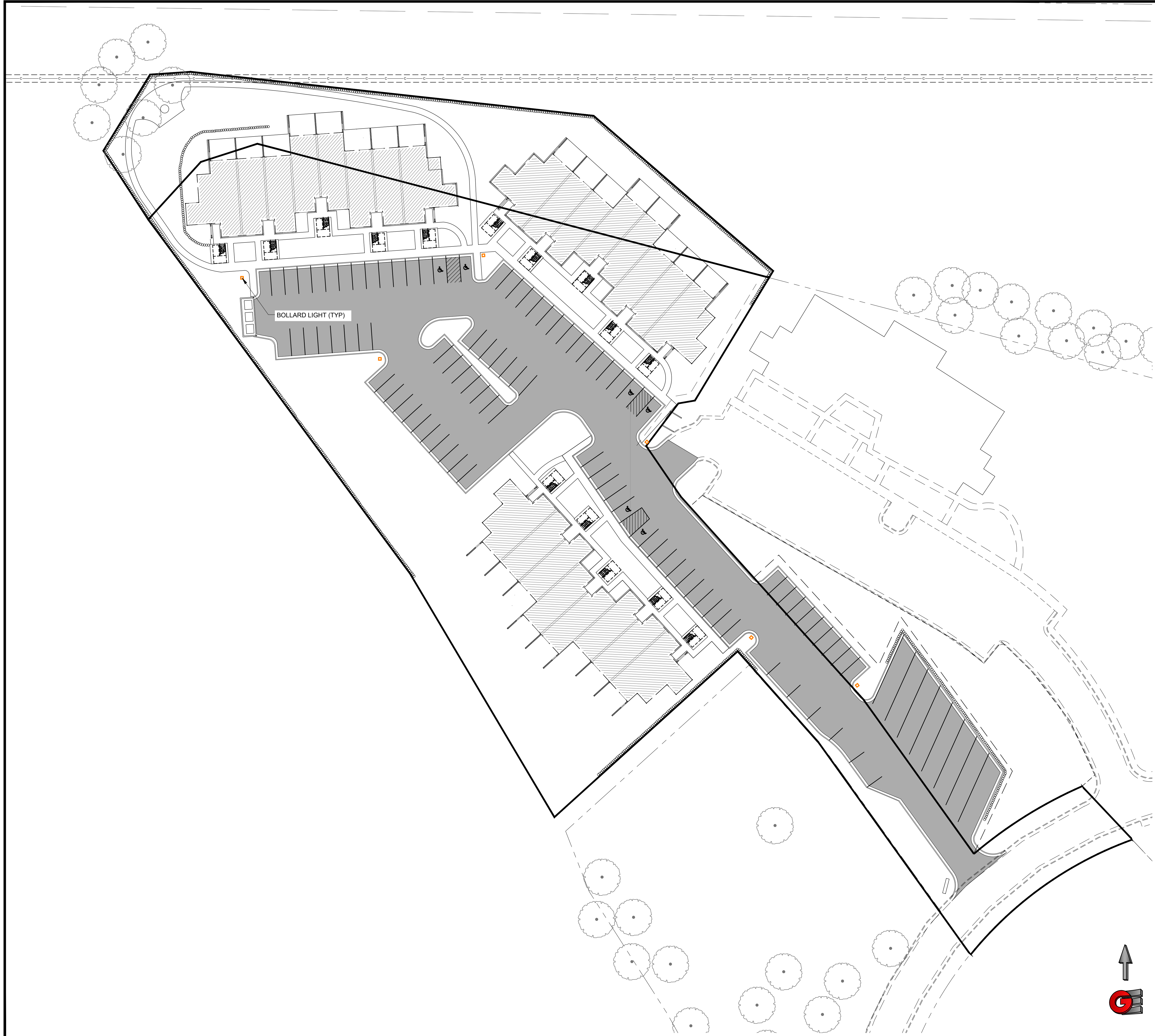
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PHASING PLAN
 THE POINTE
 3718 WOLF CREEK DR
 WEBER COUNTY, UTAH

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NOTES:

1. SEE DETAIL 7, SHEET S1.2 FOR LIGHTING DETAIL

■ BOLLARD LIGHT (TYP)

REVISIONS	
DATE	DESCRIPTION

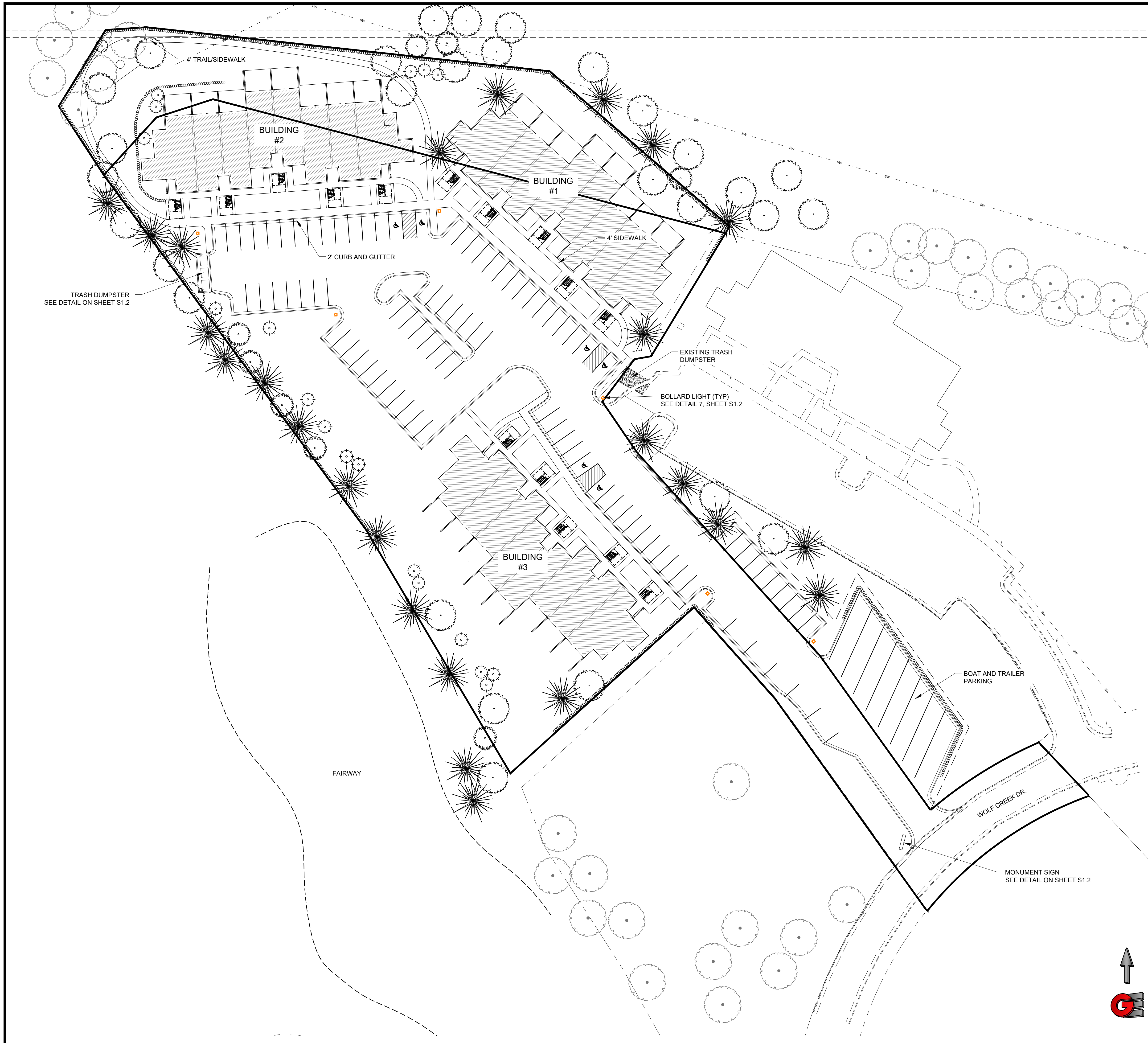
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DWG.: R.V. 201 - LEWIS HOMES, 192-THE POINT, DESIGN AND THE POINT - SITE, CURRENT LAND

LIGHTING PLAN
THE POINTE
3718 WOLF CREEK DR
WEBER COUNTY, UTAH

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L1.0



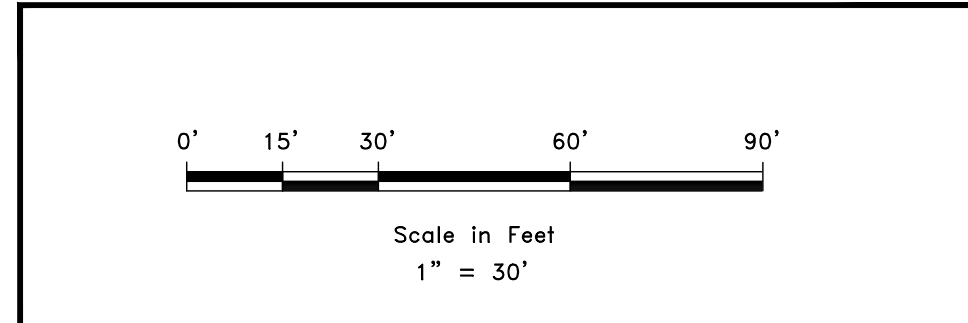
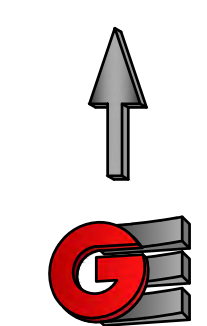
SITE INFORMATION

BUILDING	24,260 SF	17.13%
ASPHALT/CONCRETE	55,924 SF	39.48%
LANDSCAPING/GRAVEL	46,654 SF	32.93%
STAIRS/PATIOS/OTHER	14,823 SF	10.46%

TOTAL SITE AREA: 141,661 100.0%
3.25 ACRES

PARKING STALLS PROVIDED: 103 SPACES
(INCLUDES 6 HANDICAP STALLS)
(INCLUDES 8 BOAT/TRAILER PARKING)

- BUILDING
- SIDEWALK
- TBC
- ASPHALT
- PARKING STRIP
- EX. SIDEWALK
- EX. TBC
- EX. ASPHALT
- SETBACK LINE
- ADJOINER
- EASEMENT
- PARKING EASEMENT
- BOUNDARY LINE
- BOUNDARY LINE ADDITION
- PROPOSED TREE LANDSCAPE BUFFER



REVISIONS	DESCRIPTION
DATE	

SCALE	1" = 30'
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DESIGN	RC
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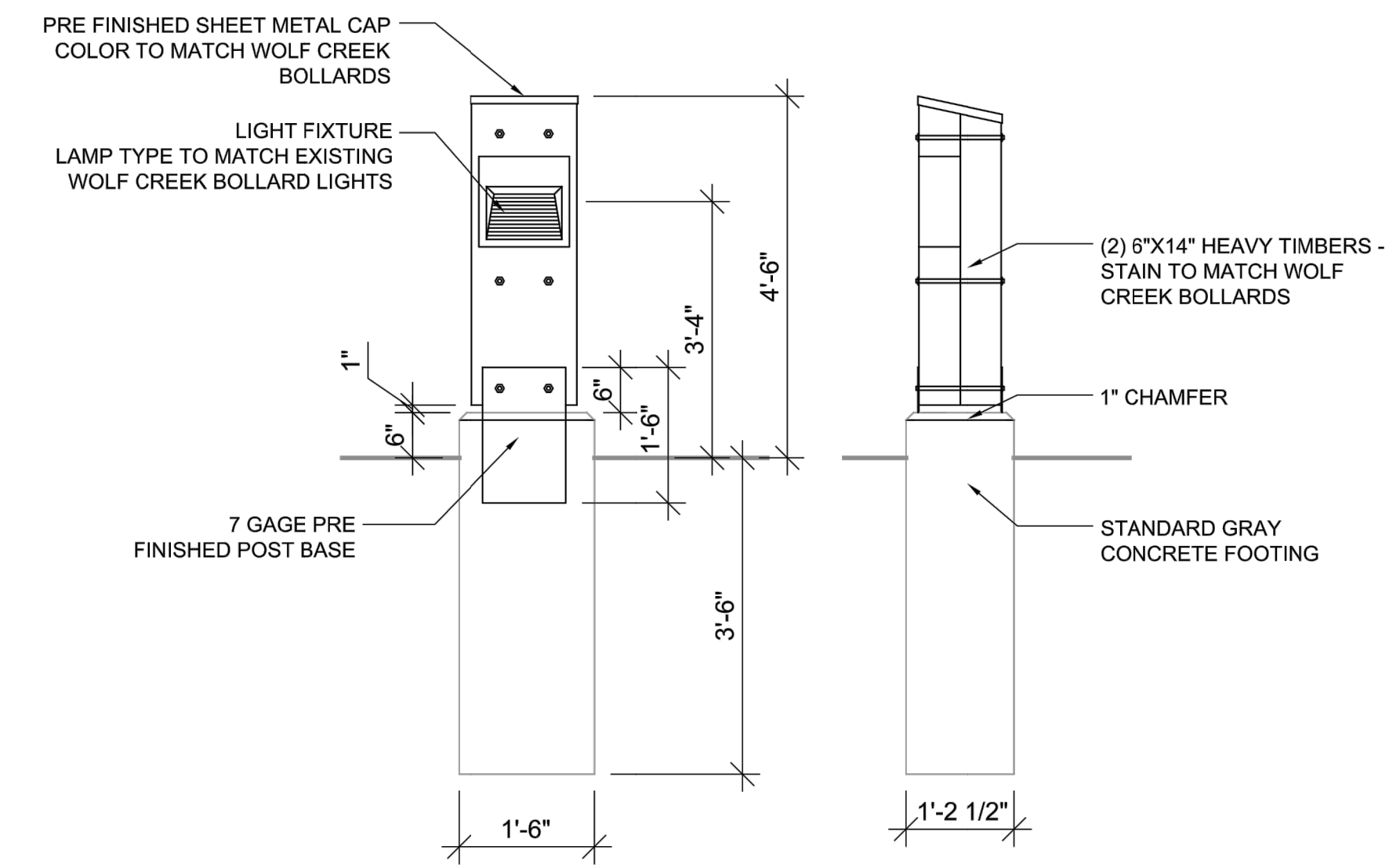
SITE PLAN
THE POINTE
3718 WOLF CREEK DR
WEBER COUNTY, UTAH

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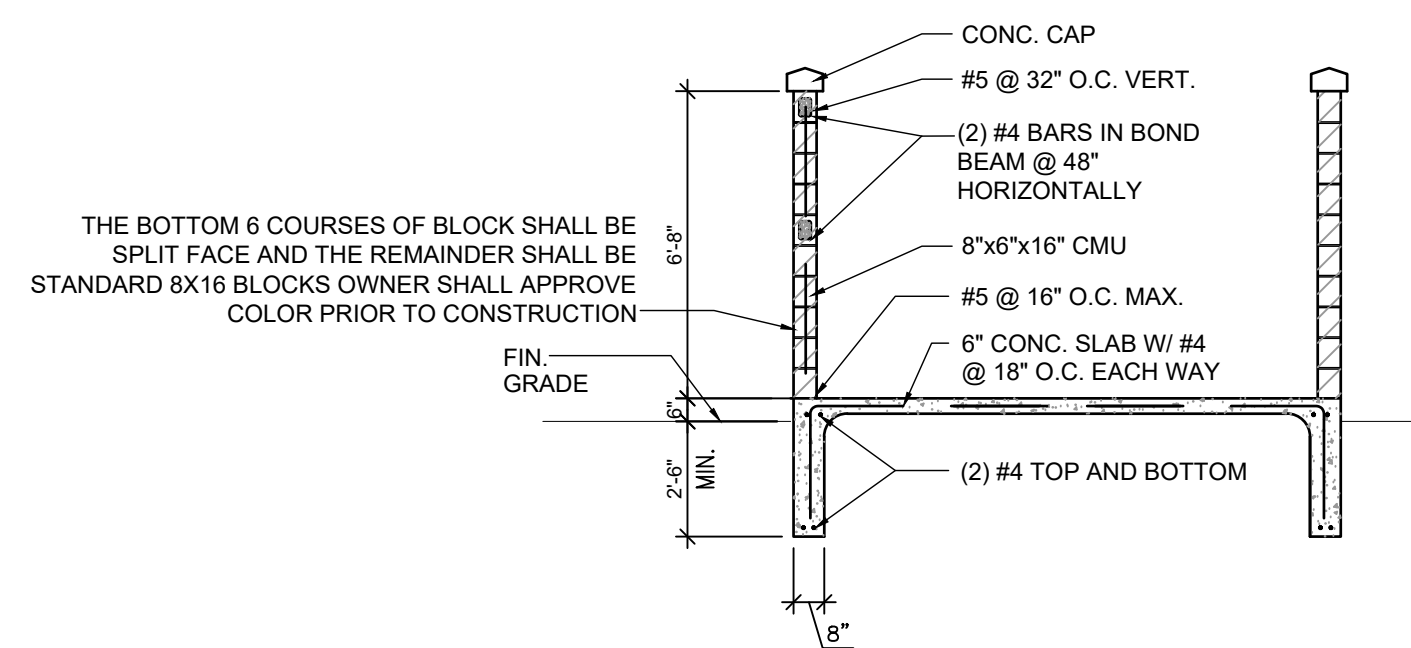


NOTE: MONUMENT SIGN SHALL BE ILLUMINATED WITH LANDSCAPE LIGHTING THAT MEETS ALL REQUIREMENTS OF CHAPTER 39 OF THE WEBER COUNTY CODE FOR OGDEN VALLEY LIGHTING

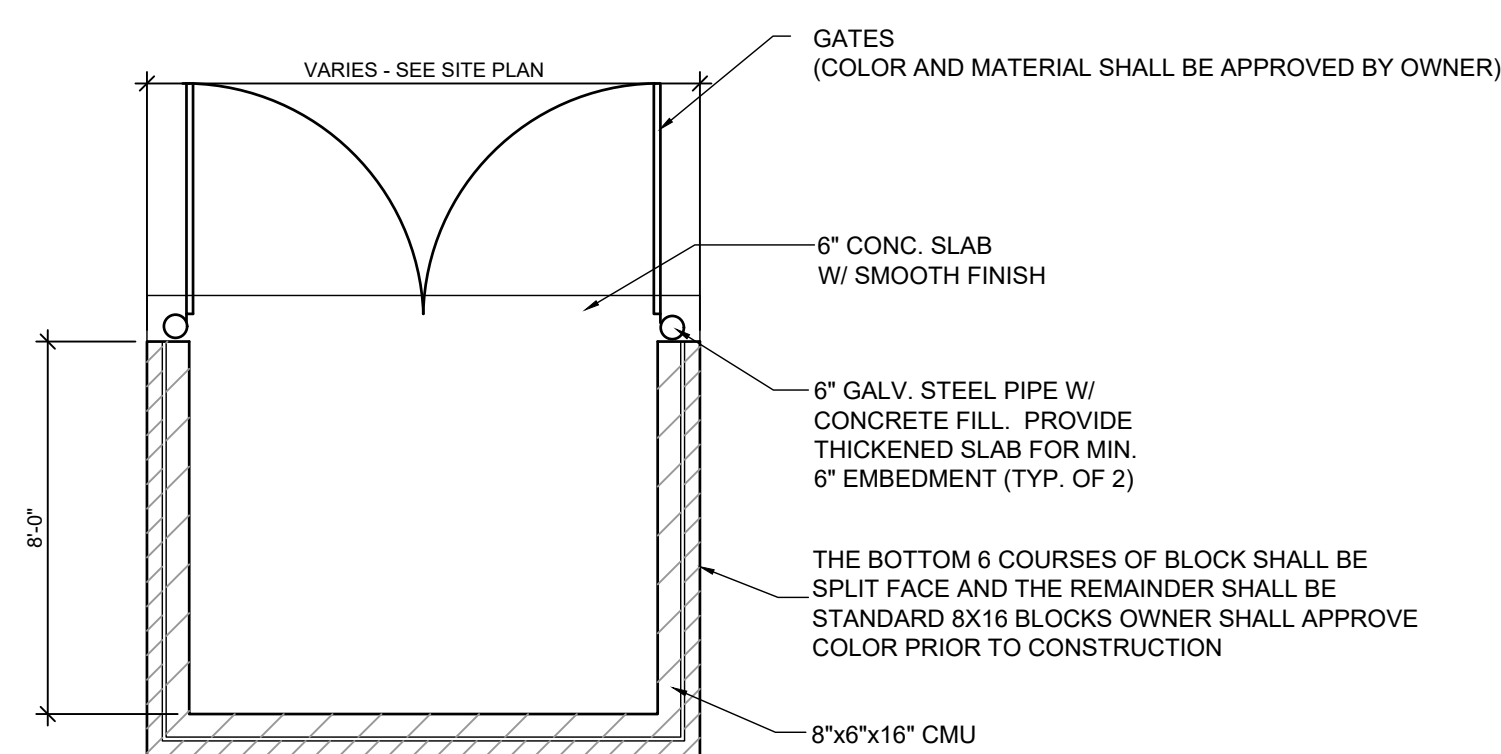
1 MONUMENT SIGN



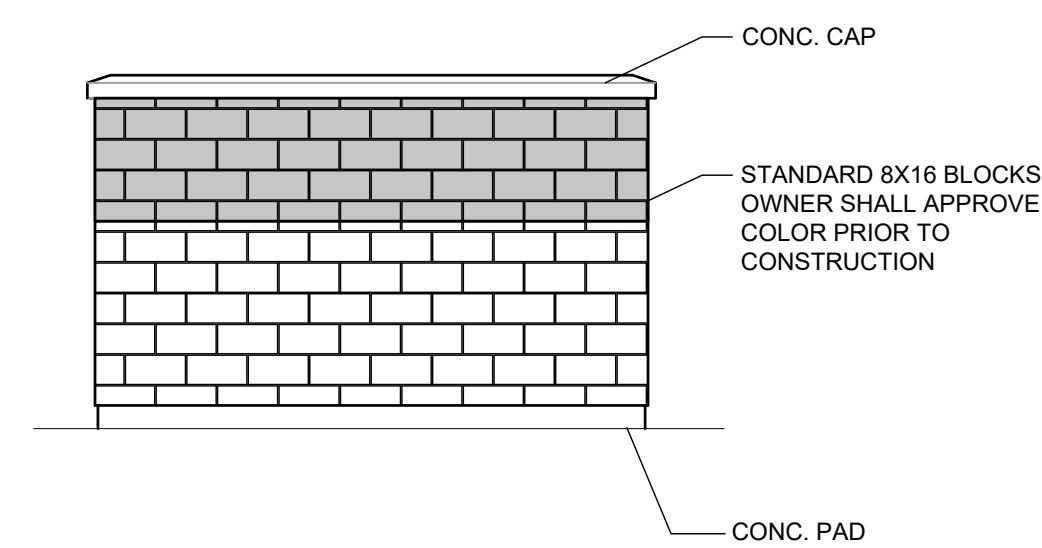
8 BOLLARD LIGHT



3 ENCLOSURE SECTION



4 TRASH DUMPSTER - PLAN VIEW



5 ELEVATION

SCALE: NTS	DATE: 05-05-21	DESIGN: LZ	DRAWN: LZ	CHECKED: PC
REVISIONS	DESCRIPTION	DATE		
DWG: R1\201 - LEWIS HOMES\192-THE POINTE\DESIGN\DWG\THE POINTE - SITE_CURRENT.MXD				

SITE DETAILS

THE POINTE

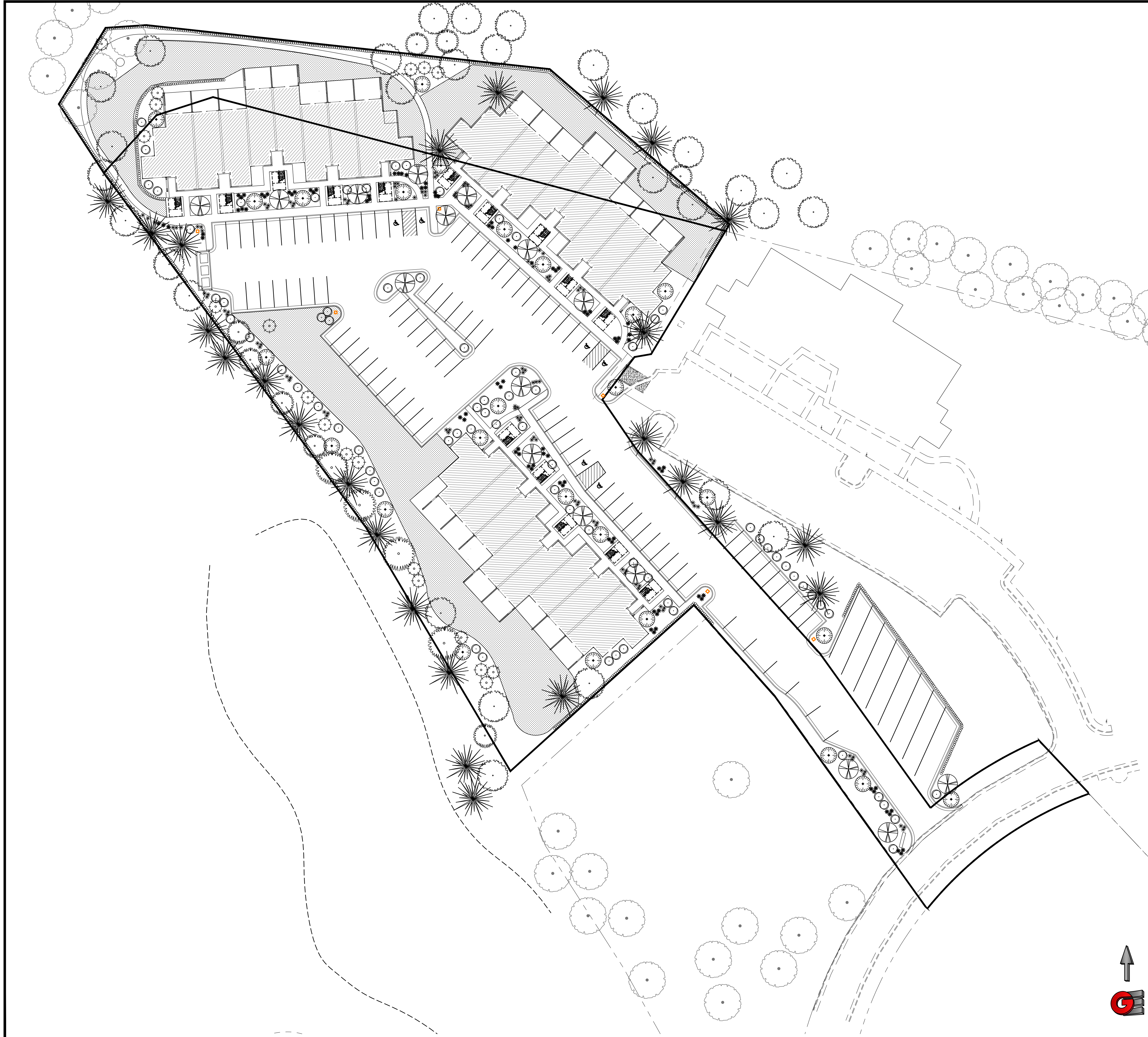
3718 WOLF CREEK DR

EDEN, WEBER COUNTY, UTAH

GARDNER ENGINEERING

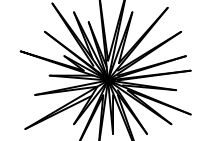
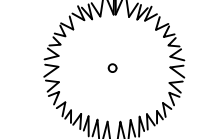
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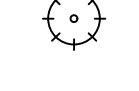
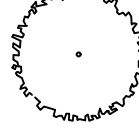


PLANT SCHEDULE

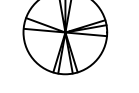

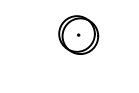
PROPOSED EVERGREEN TREES:

-  Picea pungens - Colorado Spruce
-  Pinus ponderosa - Ponderosa Pine




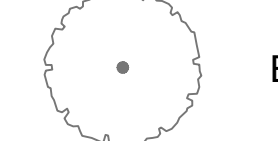
DECIDUOUS TREES:

-  Populus tremuloides - Quaking Aspen
-  Populus deltoides "siouxland"
Siouxland Plains Cottonwood

PROPOSED SHRUBS:

-  Cornus alba "Argenteo marginata"
Variegated Dogwood
-  Ribies alpinium - Alpine Currant
-  Potentilla fruticosa "Jackmanii"
Jackman Potentilla

PERENNIALS/GRASSES/GROUNDCOVER:

-  TURF
-  Achillea filipendulina
Yellow Yarrow
-  Echinacea purpurea
Purple Coneflower
-  Existing tree

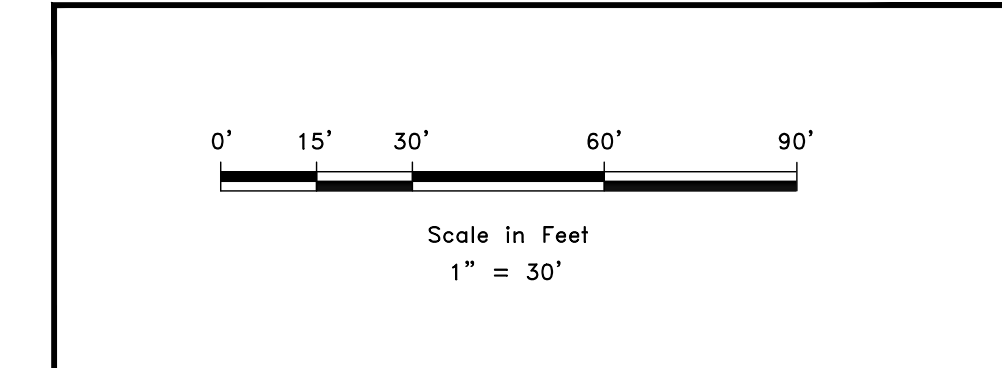
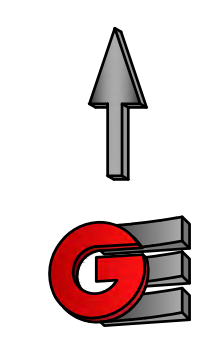
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CHECKED	RC

REVISIONS	DESCRIPTION
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DWG. # 19-1201 - LEWIS HOMES 1902-THE POINTE DESIGN AND THE POINTE - SITE CURRENT LAND USE

LANDSCAPE PLAN
THE POINTE
 3718 WOLF CREEK DR
 WEBER COUNTY, UTAH

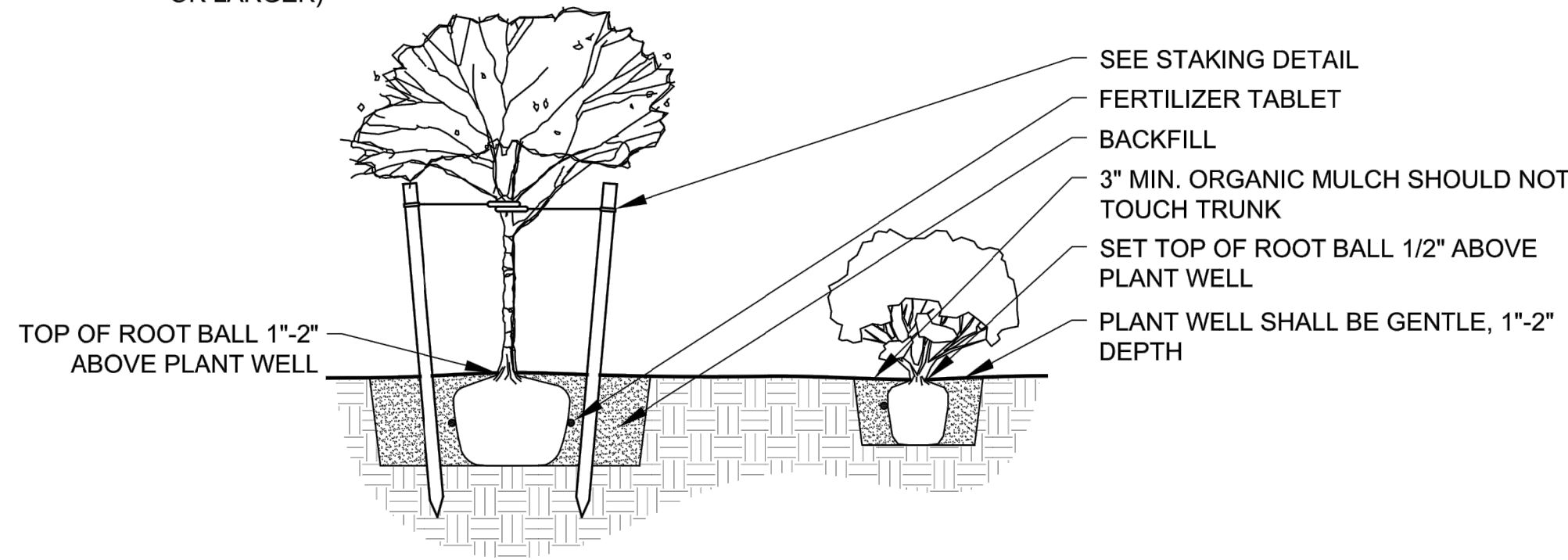
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 5150 SOUTH 375 EAST OGDEN, UT
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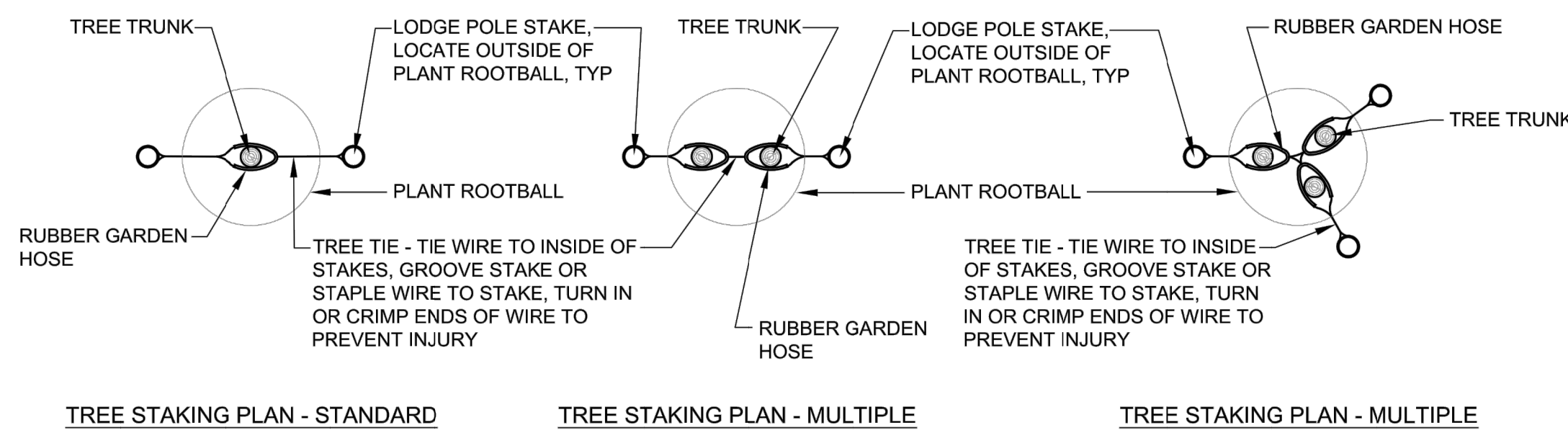
L1.0

BACKFILL:
ONE PART MULCH TO THREE PARTS NATIVE SOIL.

PLANTING PIT SIZES:
1 GAL. OR 5 GAL. - 2X WIDTH OF ROOT BALL, DEPTH = ROOT BALL + 6"
15 GAL. OR LARGER - 3X WIDTH OF ROOT BALL, DEPTH = ROOT BALL + 12"
FERTILIZER TABLETS (21 GRAM AGRIFORM TABLETS)
1 PER 1 GAL., 3 PER 5 GAL., 5 PER 15 GAL., 1 PER 3" OF BOX SIZE (24" BOX OR LARGER)

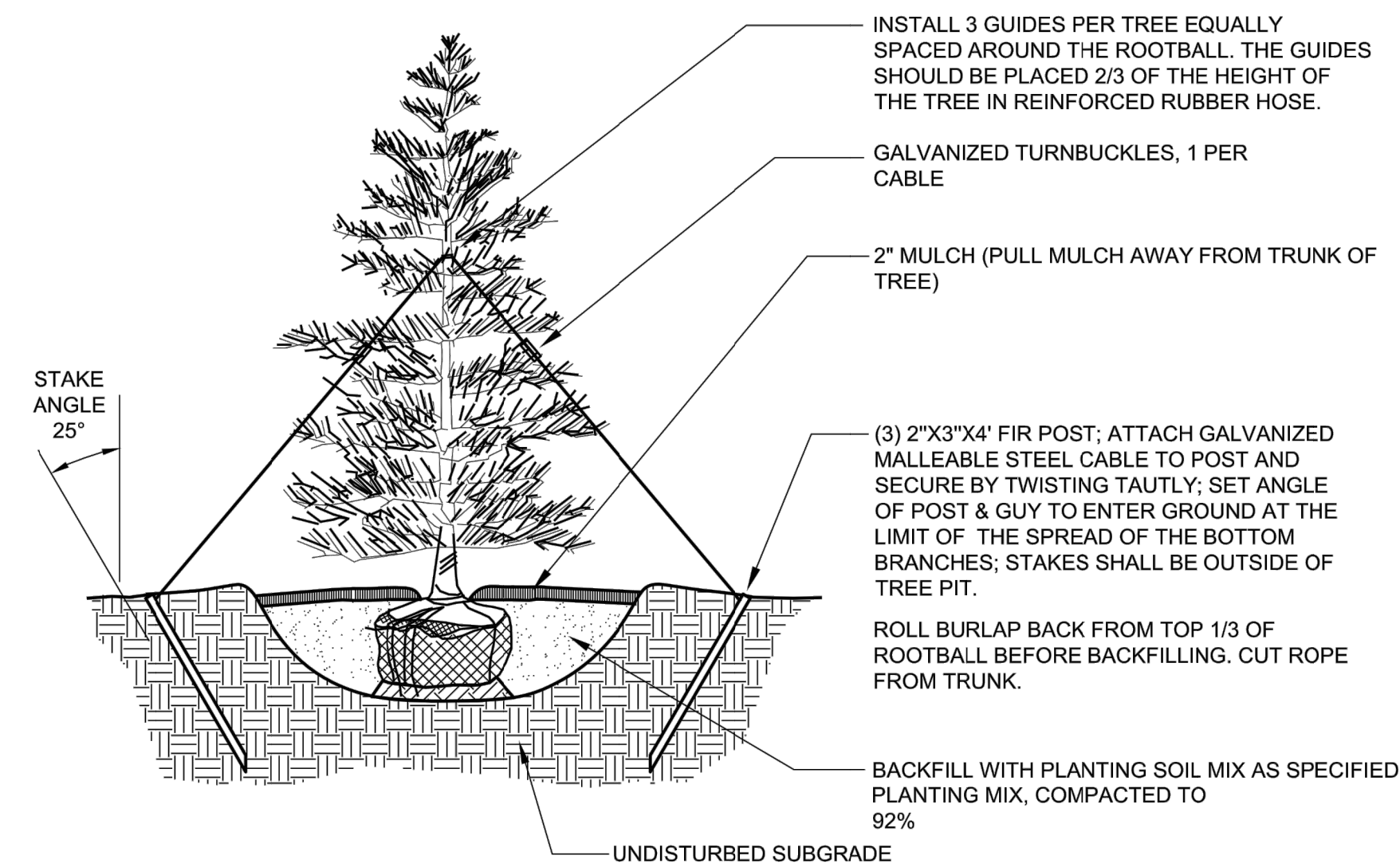


1 DECIDUOUS TREE AND SHRUB PLANTING

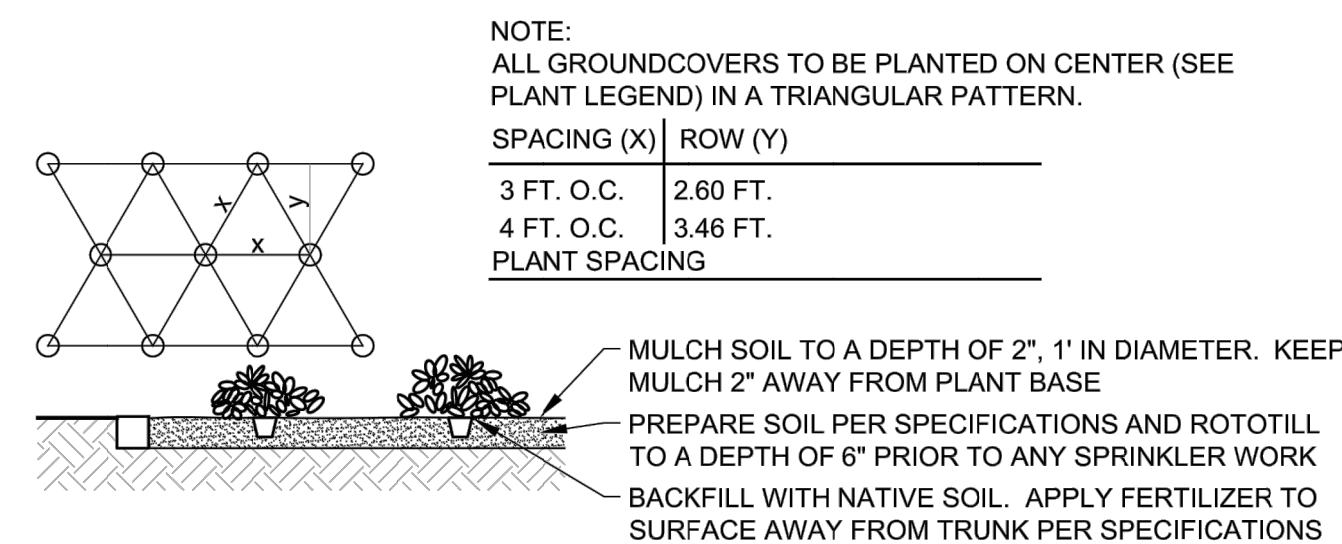


TREE STAKING PLAN - STANDARD TREE STAKING PLAN - MULTIPLE TREE STAKING PLAN - MULTIPLE

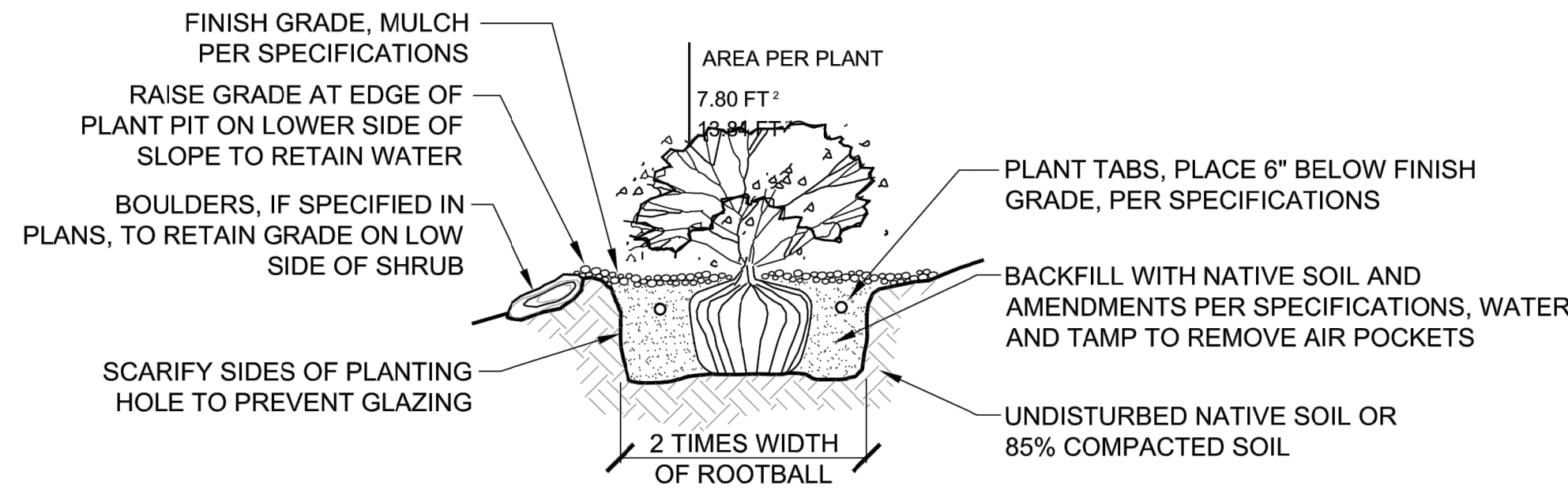
2 DECIDUOUS TREE STAKING



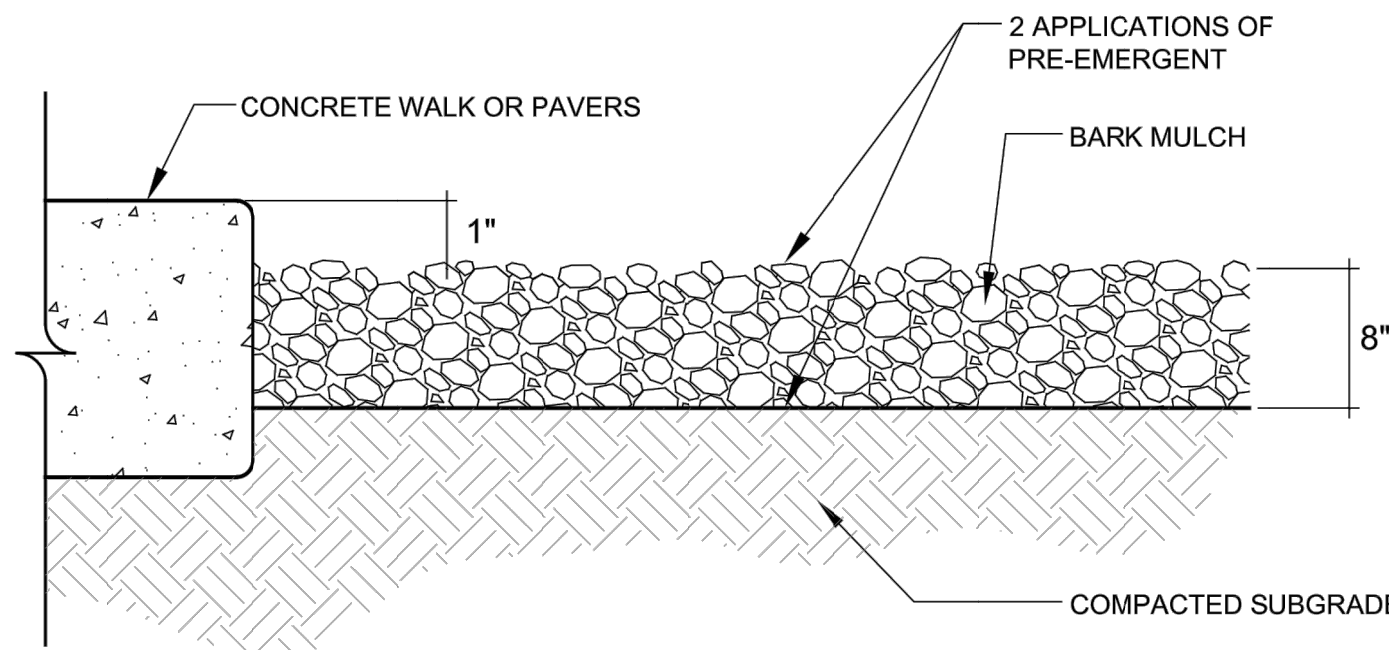
3 EVERGREEN TREE PLANTING AND STAKING



4 GROUNDCOVER SPACING



5 SHRUB PLANTING ON A SLOPE



NOTES:
1. SIZE AND COLOR OF MULCH IS SHOWN ON THE SITE PLAN AND LANDSCAPE PLAN.
2. PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE BEFORE INSTALLATION OF MULCH.
3. FINAL APPLICATION OF PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE AFTER INSTALLATION OF MULCH IS RAKED SMOOTH AND UNIFORM.

6 LANDSCAPE MULCH

GENERAL LANDSCAPE NOTES

1. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING AND PROPOSED UTILITIES, AND ALL SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE PROJECT MANAGER AND ALL OTHER CONTRACTORS WORKING ON THE SITE.
2. THE FINISH GRADE OF ALL PLANTING AREAS SHALL BE SMOOTH, EVEN AND CONSISTENT, FREE OF ANY HUMPS, DEPRESSIONS OR OTHER GRADING IRREGULARITIES. THE FINISH GRADE OF ALL LANDSCAPE AREAS SHALL BE GRADED CONSISTENTLY 3/4" BELOW THE TOP OF ALL SURROUNDING WALKS, CURBS, ETC.
3. THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL PLANTS FOR APPROVAL PRIOR TO PLANTING. TREES SHALL BE LOCATED EQUIDISTANT FROM ALL SURROUNDING PLANT MATERIAL. SHRUBS AND GROUND COVERS SHALL BE TRIANGULAR AND EQUALLY SPACED.
4. THE PLANT MATERIALS LIST IS PROVIDED AS AN INDICATION OF THE SPECIFIC REQUIREMENTS OF THE PLANTS SPECIFIED, WHEREVER IN CONFLICT WITH THE PLANTING PLAN, THE PLANTING PLAN SHALL GOVERN.
5. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE PROPER COMPLETION OF ALL LANDSCAPE WORK AS SPECIFIED AND SHOWN ON THE DRAWINGS.
6. ALL PLANT MATERIALS SHALL BE APPROVED PRIOR TO PLANTING. THE OWNER/LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT ANY AND ALL PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS. THE OWNER/LANDSCAPE ARCHITECT'S DECISION WILL BE FINAL.
7. THE CONTRACTOR SHALL KEEP THE PREMISES, STORAGE AREAS AND PAVING AREAS NEAT AND ORDERLY AT ALL TIMES. REMOVE TRASH, SWEEP, CLEAN, HOSE, ETC. DAILY.
8. THE CONTRACTOR SHALL PLANT ALL PLANTS PER THE PLANTING DETAILS, STAKE/GUY AS SHOWN. TOP OF ROOT BALLS SHALL BE PLANTED FLUSH WITH FINISH GRADE.
9. THE CONTRACTOR SHALL NOT IMPEDE DRAINAGE IN ANY WAY. THE CONTRACTOR SHALL ALWAYS MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING, WALLS, ETC.
10. THE CONTRACTOR SHALL MAINTAIN ALL WORK UNTIL ALL WORK IS COMPLETE AND ACCEPTED BY THE OWNER. UPON COMPLETION OF LANDSCAPE WORK AN INSPECTION FOR ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT FOR SCHEDULING OF INSPECTION AT LEAST SEVEN (7) DAYS IN ADVANCE.
11. THE CONTRACTOR SHALL MAINTAIN AND GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. REPLACEMENT PLANTS SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS. MAINTENANCE SHALL INCLUDE MOWING, WEEDING, FERTILIZING, CLEANING, INSECTICIDES, HERBICIDES, ETC.
12. NATIVE GRASS SEEDING AREAS TO BE A MIXTURE OF:
40% BIG HORN BLUE HARD FESCUE
40% DEFIANT HARD FESCUE
20% JAMESTOWN 4 CHEWINGS FESCUE
SEEDING RATE: 35 LBS PLS/ACRE
13. ALL DISTURBED AREAS OUTSIDE MULCHED LANDSCAPE BEDS ARE TO BE SEEDING WITH NATIVE GRASS MIXTURE.
14. ALL LANDSCAPE BEDS TO BE MULCHED WITH A MINIMUM 3" SHREDDED BARK.

IRRIGATION NOTE:

1. ALL PLANT MATERIALS SHOWN ON THE DRAWING SHALL BE SERVICED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. ALL SHRUB BED AREAS, INCLUDING TREES SHALL BE IRRIGATED WITH A LOW PRESSURE DRIP IRRIGATION SYSTEM. ALL GRASS AREAS, EITHER NATIVE OR MANICURED SHALL BE IRRIGATED WITH A BROADCAST IRRIGATION SYSTEM.
2. THE CONTRACTOR IS TO HAVE A QUALIFIED IRRIGATION SYSTEM SPECIALIST PREPARE A DESIGN FOR AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM AND SUBMIT DRAWINGS TO THE ENGINEER FOR APPROVAL AT LEAST 30 DAYS PRIOR TO THE SYSTEM INSTALLATION.
3. UNDERGROUND IRRIGATION SYSTEM DRAWINGS SHALL BE PREPARED ON 24"X 36" SHEETS, NEATLY DRAWN AND VERY LEGIBLE. DRAWINGS ARE TO INCLUDE HEAD SPACING, TYPES OF HEADS, PIPING WITH SIZES, VALVES, FITTINGS AND ALL OTHER ITEMS REQUIRED FOR PROPER INSTALLATION OF THE SYSTEM.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL IRRIGATION SLEEVES PRIOR TO PLACEMENT OF HARD IMPROVEMENTS. COORDINATE WITH THE GENERAL CONTRACTOR.
5. THE UTILITY CONTRACTOR IS TO PROVIDE AN IRRIGATION SYSTEM CONNECTION TO EITHER THE CULINARY OR SECONDARY WATER LINE WITH A BACK FLOW PREVENTION DEVICE, AS APPLICABLE, WITHIN STATE AND LOCAL JURISDICTIONAL CODES. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO COORDINATE THIS ITEM WITH THE UTILITY CONTRACTOR. IF SECONDARY WATER IS USED, THE SYSTEM SHALL BE FILTERED WITH A CLEANABLE FILTER SYSTEM.
6. THE IRRIGATION CONTROL BOX SHALL BE LOCATED AT THE DIRECTION OF THE PROJECT MANAGER/OWNER.

SCALE	*****
DATE	05-05-21
DESIGN	RC
DRAWN	LZ
CHECKED	RC

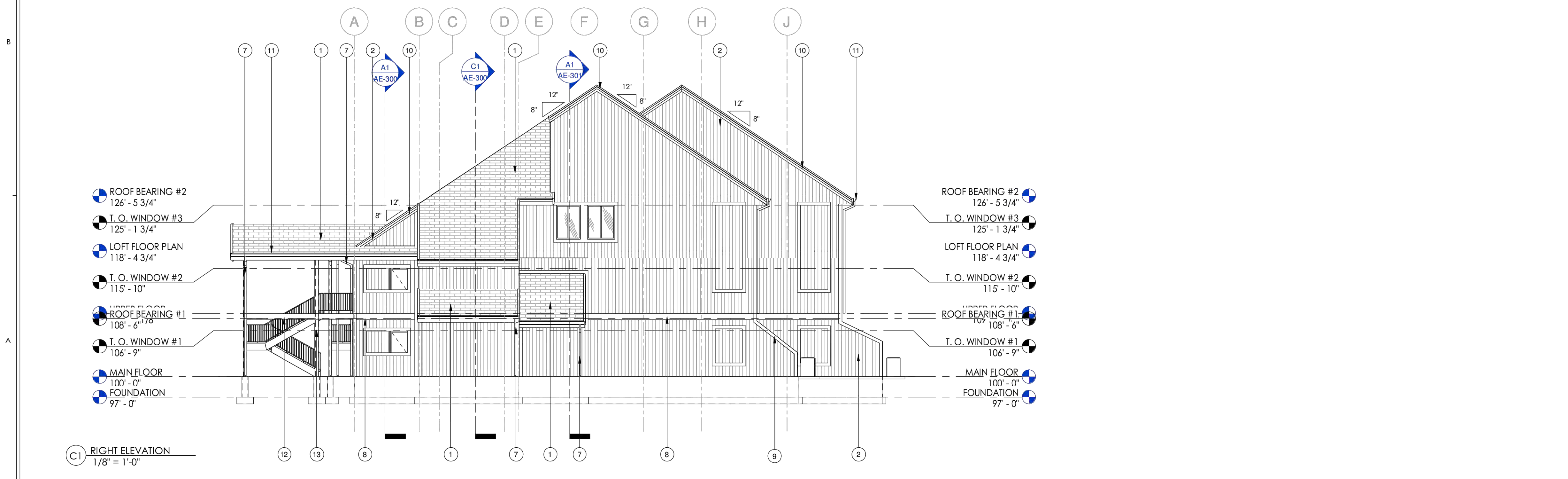
REVISIONS	DESCRIPTION
DATE	

LANDSCAPING DETAILS
THE POINTE
3718 WOLF CREEK DR
WEBER COUNTY, UTAH

GARDNER ENGINEERING
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MUNICIPAL - LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066



D1 FRONT ELEVATION
1/8" = 1'-0"



C1 RIGHT ELEVATION
1/8" = 1'-0"

GENERAL NOTES

- A. REFER TO STRUCTURAL DRAWINGS FOR FOOTING AND FOUNDATION SIZES.
- B. PROVIDE FLASHING AND COUNTERFLASHING FOR ALL WINDOWS, DOORS, AND PENETRATIONS TO ROOF AND WALLS.
- C. FIELD VERIFY ALL WINDOW AND DOOR OPENINGS.
- D. PROVIDE FOUNDATION WATERPROOFING AT ALL CONCRETE BELOW GRADE.
- E. REFER TO OPENING SCHEDULE ON UNIT TYPE PLANS FOR DOOR AND WINDOW REQUIREMENTS.
- F. REFER TO GRADING PLAN FOR FINISH GRADE ELEVATION.
- G. PROVIDE MOCK-UP OF ALL EXTERIOR FINISHES PRIOR TO INSTALLATIONS FOR ARCHITECTS APPROVAL. FINISHES ARE NOT TO BE INSTALLED WITHOUT APPROVAL.

KEYED NOTES

- 1 ARCHITECTURAL 60 YEAR ASPHALT SHINGLES OVER 30# FELT. PROVIDE ICE & WATER SHIELD OVER ENTIRE ROOF.
- 2 PRE-FINISHED LP SIDING, COORDINATE COLOR WITH ARCHITECT
- 3 PRE-FINISHED LP TRIM AROUND WINDOWS & DOORS. COORDINATE COLOR WITH ARCHITECT
- 4 PRE-FINISHED METAL RAILING, TYP. REFER TO DETAIL D1/AE-111
- 5 6" X 10" STEEL TUBE TRUSS. REFER TO STRUCTURAL
- 6 POWDER COATED STEEL HANDRAIL. COORDINATE FINAL DESIGN WITH ARCHITECT
- 7 PRE-FINISHED METAL DOWNSPOUT, CONNECT TO LAND DRAIN SYSTEM, TYP.
- 8 PRE-FINISHED BELLY BAND TRIM, COORDINATE COLOR WITH ARCHITECT
- 9 PRE-FINISHED LP TRIM, COORDINATE COLOR WITH ARCHITECT
- 10 PRE-FINISHED LP TWO-TIER LP FASCIA, COORDINATE COLOR WITH ARCHITECT
- 11 PRE-FINISHED METAL GUTTER, TYP.
- 12 6" X 10" X 1/4" STEEL TUBE
- 13 6" X 6" X 1/4" STEEL TUBE COLUMN

BERTOLDI ARCHITECTS
ARCHITECTURE • PLANNING • INTERIORS
2726 HARRISON BLVD. OGDEN, UTAH 84403 TEL: 801.476.6339 FAX: 801.476.6335
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THE POINT CONDOMINIUMS
Project Address



NOT FOR CONSTRUCTION
11/2019

REV.	DATE

PROJECT # 1913
DATE: 09/04/19
TITLE: EXTERIOR ELEVATIONS

SHEET:
AE-200

SCALE: #/XXXXX
DATE: 5-5-21
DESIGN: RC
DRAWN: LZ
CHECKED: RC

REVISIONS	DESCRIPTION

DATE: _____
DWG: 191301 - LEWIS HOMES\1902-THE POINT\DESIGN\DWG\THE POINT - SITE_CURRENT.MAN.DWG

EXTERIOR ELEVATION
THE POINTE
3718 WOLF CREEK DR
EDEN, WEBER, UTAH

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5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066



C1 BACK ELEVATION
1/8" = 1'-0"

GENERAL NOTES

- A. REFER TO STRUCTURAL DRAWINGS FOR FOOTING AND FOUNDATION SIZES.
- B. PROVIDE FLASHING AND COUNTERFLASHING FOR ALL WINDOWS, DOORS, AND PENETRATIONS TO ROOF AND WALLS.
- C. FIELD VERIFY ALL WINDOW AND DOOR OPENINGS.
- D. PROVIDE FOUNDATION WATERPROOFING AT ALL CONCRETE BELOW GRADE.
- E. REFER TO OPENING SCHEDULE ON UNIT TYPE PLANS FOR DOOR AND WINDOW REQUIREMENTS.
- F. REFER TO GRADING PLAN FOR FINISH GRADE ELEVATION.
- G. PROVIDE MOCK-UP OF ALL EXTERIOR FINISHES PRIOR TO INSTALLATIONS FOR ARCHITECT'S APPROVAL. FINISHES ARE NOT TO BE INSTALLED WITHOUT APPROVAL.

KEYED NOTES

- 1 ARCHITECTURAL 60 YEAR ASPHALT SHINGLES OVER 3/8" FELT. PROVIDE ICE & WATER SHIELD OVER ENTIRE ROOF.
- 2 PRE-FINISHED METAL DOWNSPOUT, CONNECT TO LAND DRAIN SYSTEM, TYP.
- 3 PRE-FINISHED LP TRIM, COORDINATE COLOR WITH ARCHITECT
- 4 PRE-FINISHED LP SIDING, COORDINATE COLOR WITH ARCHITECT
- 5 PRE-FINISHED METAL FASCIA, COORDINATE COLOR WITH ARCHITECT
- 6 PRE-FINISHED BELLY BAND TRIM, COORDINATE COLOR WITH ARCHITECT
- 7 CONDENSING UNITS
- 8 PRE-FINISHED METAL CAP
- 9 PRE-FINISHED LP TWO-TIER LP FASCIA, COORDINATE COLOR WITH ARCHITECT
- 10 PRE-FINISHED METAL GUTTER, TYP.
- 11 6" X 10" X 1/4" STEEL TUBE
- 12 6" X 6" X 1/4" STEEL TUBE COLUMN
- 13 PRE-FINISHED METAL RAILING, TYP. REFER TO DETAIL D1/AE-111

BERTOLDI ARCHITECTS
ARCHITECTURE • PLANNING • INTERIORS
2726 HARRISON BLVD. OGDEN, UT 84403 TEL: 801.766.6330 FAX: 801.776.6335
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THE POINT CONDOMINIUMS
Project Address



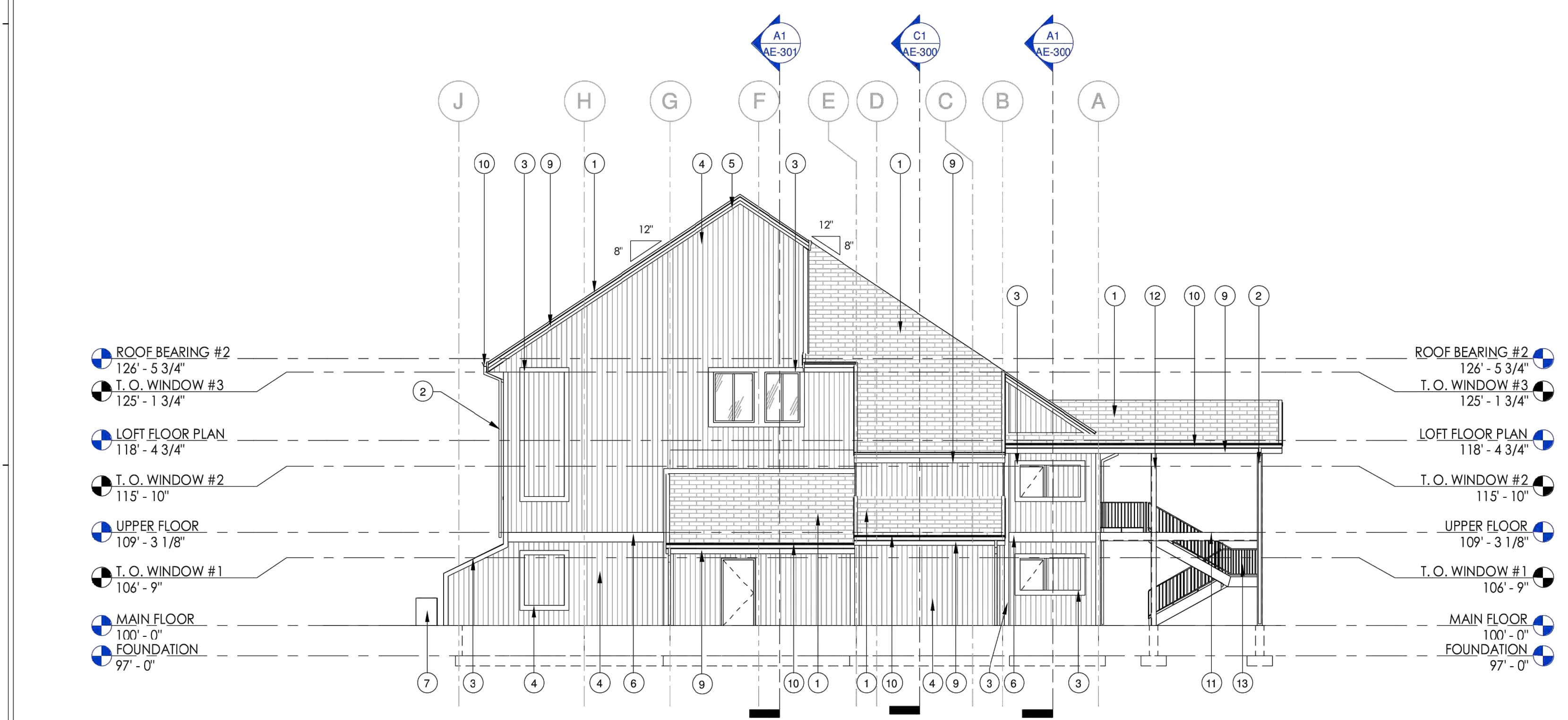
NOT FOR CONSTRUCTION
09/19/2019

REV.	DATE

PROJECT # 1913
DATE: 09/04/19
TITLE: EXTERIOR ELEVATIONS

ANY CHANGES OR MODIFICATIONS TO THE DESIGN OF THE PROJECT IS TO BE PRESENTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTORS ARE TO BE FAMILIAR WITH ALL PORTIONS OF THE WORK. IT IS TO BE NOTED THAT SUBCONTRACTORS WORK IS NOT LIMITED TO SPECIFIC SHEETS AND THAT ALL OF THE DRAWINGS MAY BE PART OF THEIR SCOPE OF WORK AND/OR COORDINATION.

SHEET:
AE-201



A1 LEFT ELEVATION
1/8" = 1'-0"

SCALE: #/XXXXXX
DATE: 5-5-21
DESIGN: RC
DRAWN: LZ
CHECKED: RC

REVISIONS	DESCRIPTION

DATE: _____
DWG: 191201 - LEWIS HOMES 1902-THE POINT-DESIGN-DWG-THE POINT - SITE-CURRENT-PLAN-DWG

EXTERIOR ELEVATION
THE POINTE
3718 WOLF CREEK DR
EDEN, WEBER, UTAH

GARDNER ENGINEERING
CIVIL • LAND PLANNING
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5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

G
AE
201



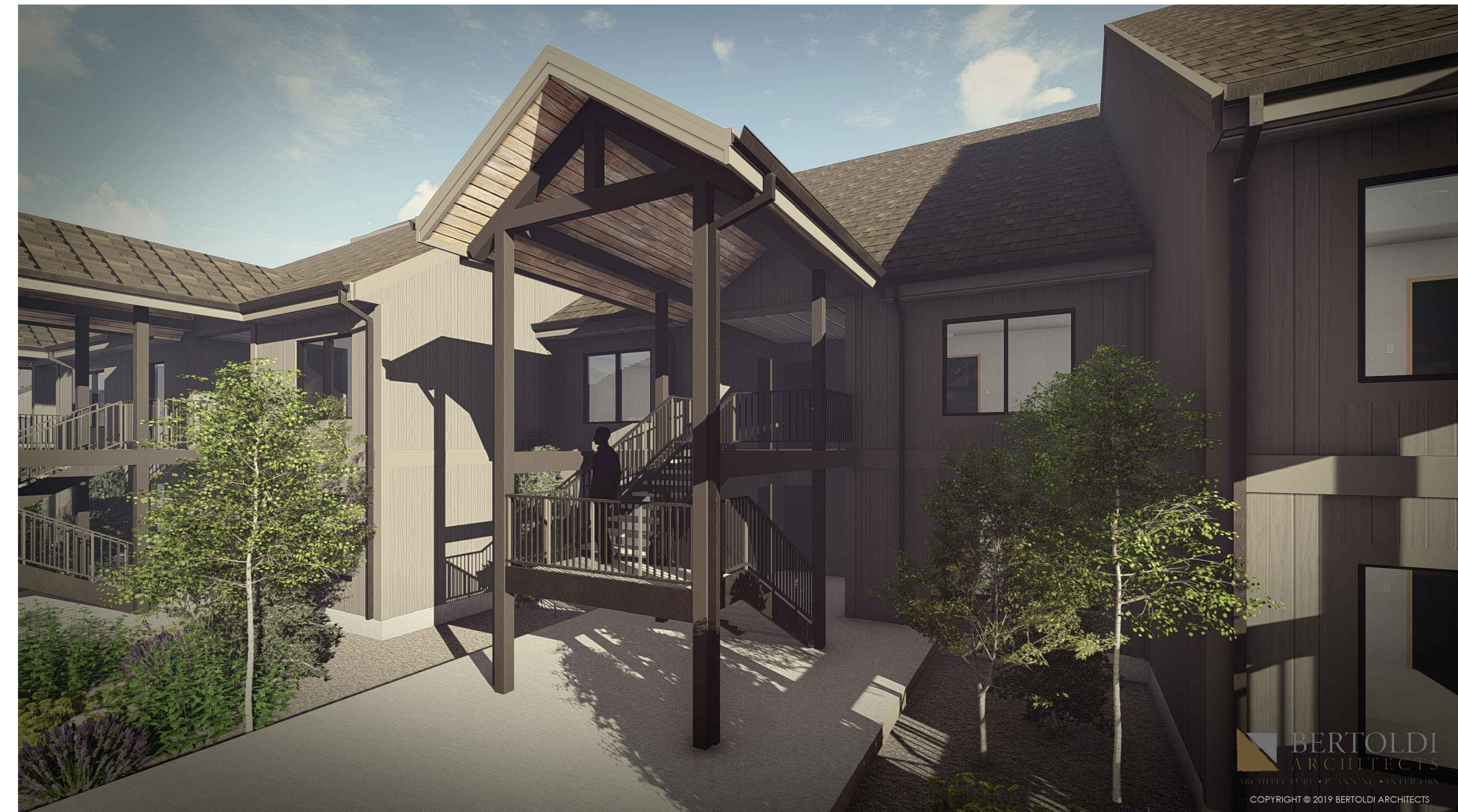
FRONT



SIDE



REAR



FRONT

REVISIONS	DATE	DESCRIPTION

SCALE: #/####
 DATE: 5-5-21
 DESIGN: RC
 DRAWN: LZ
 CHECKED: RC

RENDERINGS
 THE POINTE
 3718 WOLF CREEK DR
 EDEN, WEBER, UTAH

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 5150 SOUTH 375 EAST OGDEN, UT
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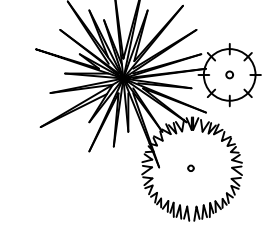
KEY NOTES:

- ① 24" STANDARD CURB AND GUTTER (SEE DETAIL ON SHEET C5)
- ② PROPOSED ASPHALT PAVING (3" ASPHALT / 8" BASE COURSE)
- ③ TYPICAL PARKING STRIPING TO BE 4" WHITE
- ④ TYPICAL "NO PARKING" STRIPING
- ⑤ ADA PARKING SYMBOL
- ⑥ EXISTING 30" STANDARD CURB AND GUTTER
- ⑦ PROPOSED SIDEWALK/CONCRETE
- ⑧ RETAINING WALL
- ⑨ EXISTING BOUNDARY
- ⑩ PROPOSED BOUNDARY
- ⑪ BOAT/TRAILER PARKING
- ⑫ TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS)
- ⑬ SAW CUT
- ⑭ EXISTING TRASH ENCLOSURE
- ⑮ TRAIL
- ⑯ MONUMENT

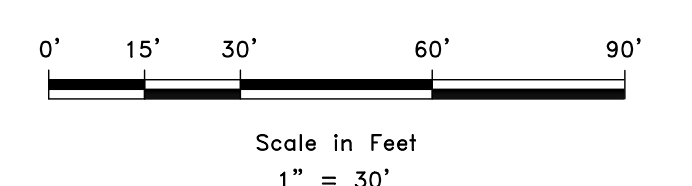
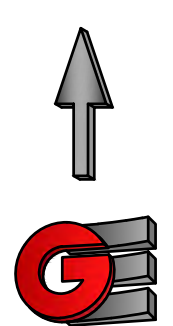
SITE INFORMATION

BUILDING	24,260 SF	17.13%
ASPHALT/CONCRETE	55,924 SF	39.48%
LANDSCAPING/GRAVEL	46,654 SF	32.93%
STAIRS/PATIOS/OTHER	14,823 SF	10.46%
TOTAL SITE AREA:	141,661	100.0%
	3.25 ACRES	
PARKING STALLS PROVIDED:	103 SPACES	
(INCLUDES 6 HANDICAP STALLS)		
(INCLUDES 8 BOAT/TRAILER PARKING)		

	BUILDING
	SIDEWALK
	TBC
	ASPHALT
	PARKING STRIP
	EX. SIDEWALK
	EX. TBC
	EX. ASPHALT
	SETBACK LINE
	ADJOINER
	EASEMENT
	PARKING EASEMENT
	BOUNDARY LINE
	BOUNDARY LINE ADDITION
	ZONING EXCHANGE
	22,885 SF
	NEW ASPHALT 40,445 SF
	NEW CONCRETE 8,433 SF
	LANDSCAPING 44,874 SF
	ASPHALT PATCH



PROPOSED TREES

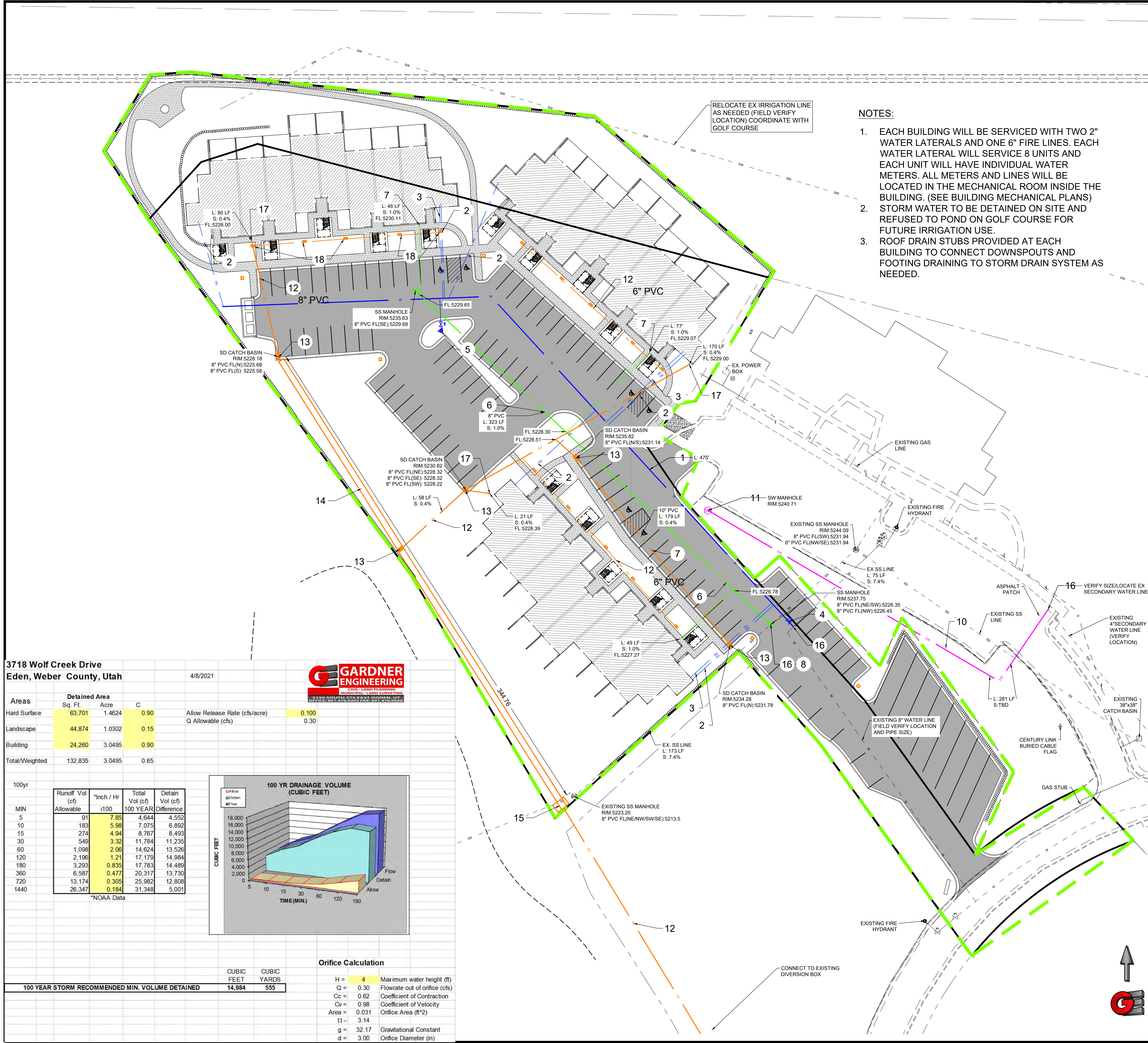


SCALE: 1" = 30'	DATE: 05-05-21	DESIGN: RC	DRAWN: LZ	CHECKED: RC
REVISIONS	DESCRIPTION	DATE		

PRELIMINARY SITE PLAN
 THE POINTE
 3718 WOLF CREEK DR
 WEBER COUNTY, UTAH

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CE1-01



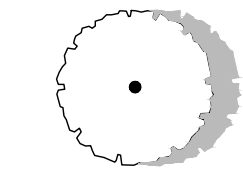
- KEY NOTES:**
- 8" C900 DR-18 PVC WATER LINE (PER DISTRICT STANDARDS)
 - 2" WATER LATERAL (SEE NOTE 1) (PER DISTRICT STANDARDS)
 - 6" FIRE LINE (SEE NOTE 1)
 - GATE VALVE (PER DISTRICT STANDARDS)
 - INSTALL FIRE HYDRANT ASSEMBLY (PER DISTRICT STANDARDS)
 - 8" PVC SDR-35 SEWER LINE (PER DISTRICT STANDARDS)
 - 6" PVC SEWER LATERAL (COORDINATE WITH BUILDING PLANS)
 - 4" SEWER MANHOLE (PER DISTRICT STANDARDS)
 - SEWER CLEANOUT (PER DISTRICT STANDARDS)
 - 4" SECONDARY WATER LINE (SIZE PER LANDSCAPING PLAN) (PER DISTRICT STANDARDS)
 - (") SECONDARY WATER METER (SIZE PER LANDSCAPING PLAN) (PER DISTRICT STANDARDS)
 - (") PVC SDR-35 STORM DRAIN LINE (PER DISTRICT STANDARDS)
 - STORM DRAIN CATCH BASIN (SEE DETAIL)
 - STORM DRAIN DETENTION (SEE DETAIL) (SEE NOTE 2)
 - STORM DRAIN CONTROL BOX (SEE DETAIL)
 - CONNECT TO EXISTING
 - ROOF DRAIN STUB (COORDINATE WITH BUILDING PLAN) (SEE NOTE 3)
 - 12" YARD BOXES

- NOTES:**
- EACH BUILDING WILL BE SERVICED WITH TWO 2" WATER LATERALS AND ONE 6" FIRE LINES. EACH WATER LATERAL WILL SERVICE 8 UNITS AND EACH UNIT WILL HAVE INDIVIDUAL WATER METERS. ALL METERS AND LINES WILL BE LOCATED IN THE MECHANICAL ROOM INSIDE THE BUILDING. (SEE BUILDING MECHANICAL PLANS)
 - STORM WATER TO BE DETAINED ON SITE AND REFUSED TO POND ON GOLF COURSE FOR FUTURE IRRIGATION USE.
 - ROOF DRAIN STUBS PROVIDED AT EACH BUILDING TO CONNECT DOWNSPOUTS AND FOOTING DRAINING TO STORM DRAIN SYSTEM AS NEEDED.

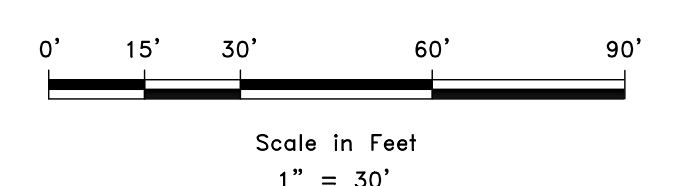
RELOCATE EX IRRIGATION LINE AS NEEDED (FIELD VERIFY LOCATION) COORDINATE WITH GOLF COURSE

LEGEND

- WATER
- WATER LATERAL
- EX. WATER
- SEWER
- SEWER LATERAL
- EX. SEWER
- STORM DRAIN
- EX. STORM DRAIN
- SECONDARY WATER
- EX. SECONDARY WATER
- EX. GAS
- BUILDING
- SIDEWALK
- TBC
- ASPHALT
- PARKING STRIP
- EX. SIDEWALK
- EX. TBC
- EX. ASPHALT
- SETBACK LINE
- ADJOINER
- EASEMENT
- BOUNDARY LINE
- BOUNDARY LINE ADDITION
- ZONING EXCHANGE
- 22,885 SF
- NEW ASPHALT 40,445 SF
- NEW CONCRETE 8,433 SF
- LANDSCAPING 44,874 SF



PROPOSED TREE

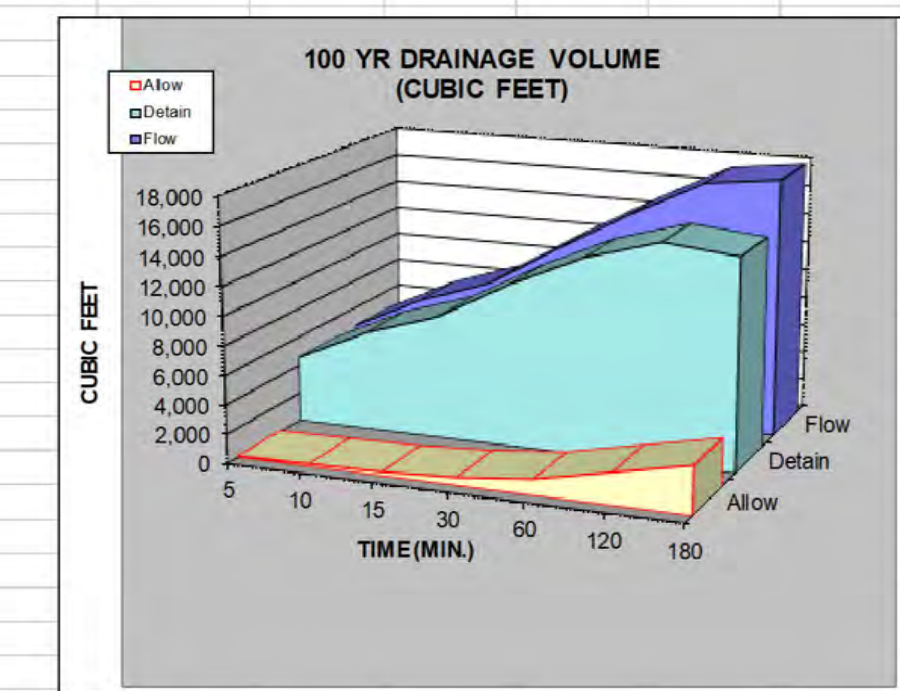


3718 Wolf Creek Drive
Eden, Weber County, Utah

4/8/2021



Areas	Detained Area		C
	Sq. Ft.	Acre	
Hard Surface	63,701	1.4624	0.90
Landscape	44,874	1.0302	0.15
Building	24,260	3.0495	0.90
Total/Weighted	132,835	3.0495	0.65



100yr	Runoff Vol (cf)	*Inch / Hr	Total Vol (cf)	Detain Vol (cf)
MIN	Allowable	i100	100 YEAR	Difference
5	91	7.85	4,644	4,552
10	183	5.98	7,075	6,892
15	274	4.94	8,767	8,493
30	549	3.32	11,784	11,235
60	1,098	2.06	14,624	13,526
120	2,196	1.21	17,179	14,984
180	3,293	0.835	17,783	14,489
360	6,587	0.477	20,317	13,730
720	13,174	0.305	25,982	12,808
1440	26,347	0.184	31,348	5,001

*NOAA Data

Orifice Calculation

H = 4	Maximum water height (ft)
Q = 0.30	Flowrate out of orifice (cfs)
Cc = 0.62	Coefficient of Contraction
Cv = 0.98	Coefficient of Velocity
Area = 0.031	Orifice Area (ft ²)
II = 3.14	
g = 32.17	Gravitational Constant
d = 3.00	Orifice Diameter (in)

100 YEAR STORM RECOMMENDED MIN. VOLUME DETAINED	CUBIC FEET	CUBIC YARDS
	14,984	555

SCALE	DATE	DESIGN	DRAWN	CHECKED
1" = 30'	05-05-21	RC	LZ	RC

REVISIONS	DESCRIPTION
DATE	

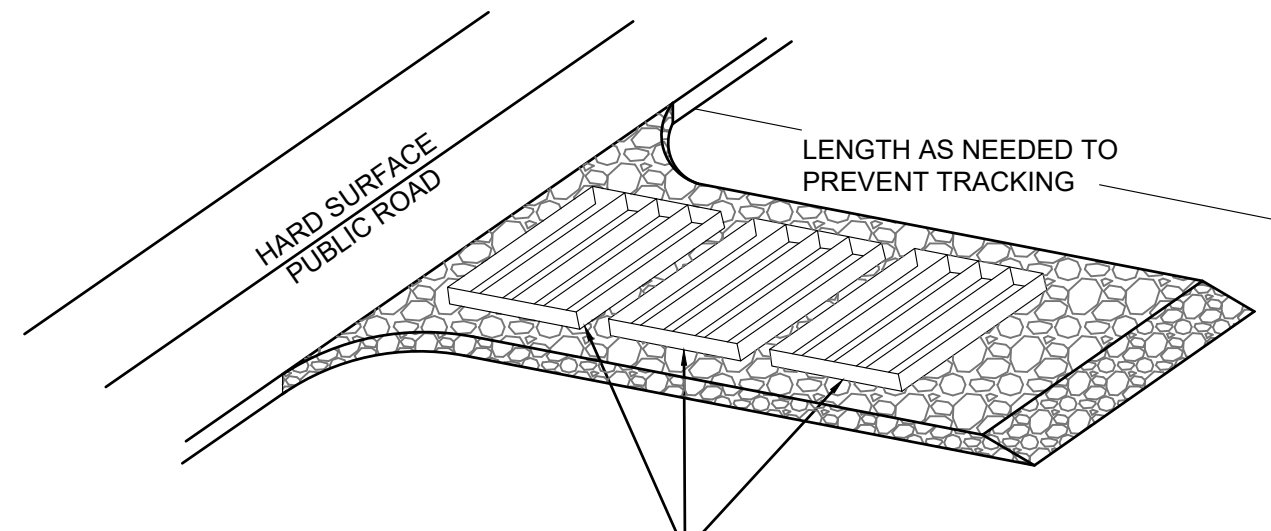
UTILITY PLAN
THE POINTE
3718 WOLF CREEK DR
WEBER COUNTY, UTAH



CE1-02

EROSION CONTROL NOTES:

1. SANDBAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH THE INLET PROTECTION.
2. AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE AREAS.
3. STORM WATER WILL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM. EXISTING LINES SHALL BE INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY AND CLEANED IF NECESSARY.
4. THE STORM WATER POLLUTION PREVENTION PLAN SHALL CONFORM TO ALL STATE DIVISION OF ENVIRONMENTAL PROTECTION REGULATIONS.



A SERIES OF STEEL PLATES (3 OR MORE) WITH RUMBLE STRIPS OR MIN. 3" COARSE AGGREGATE.

ENTRANCE STABILIZATION NOTES:

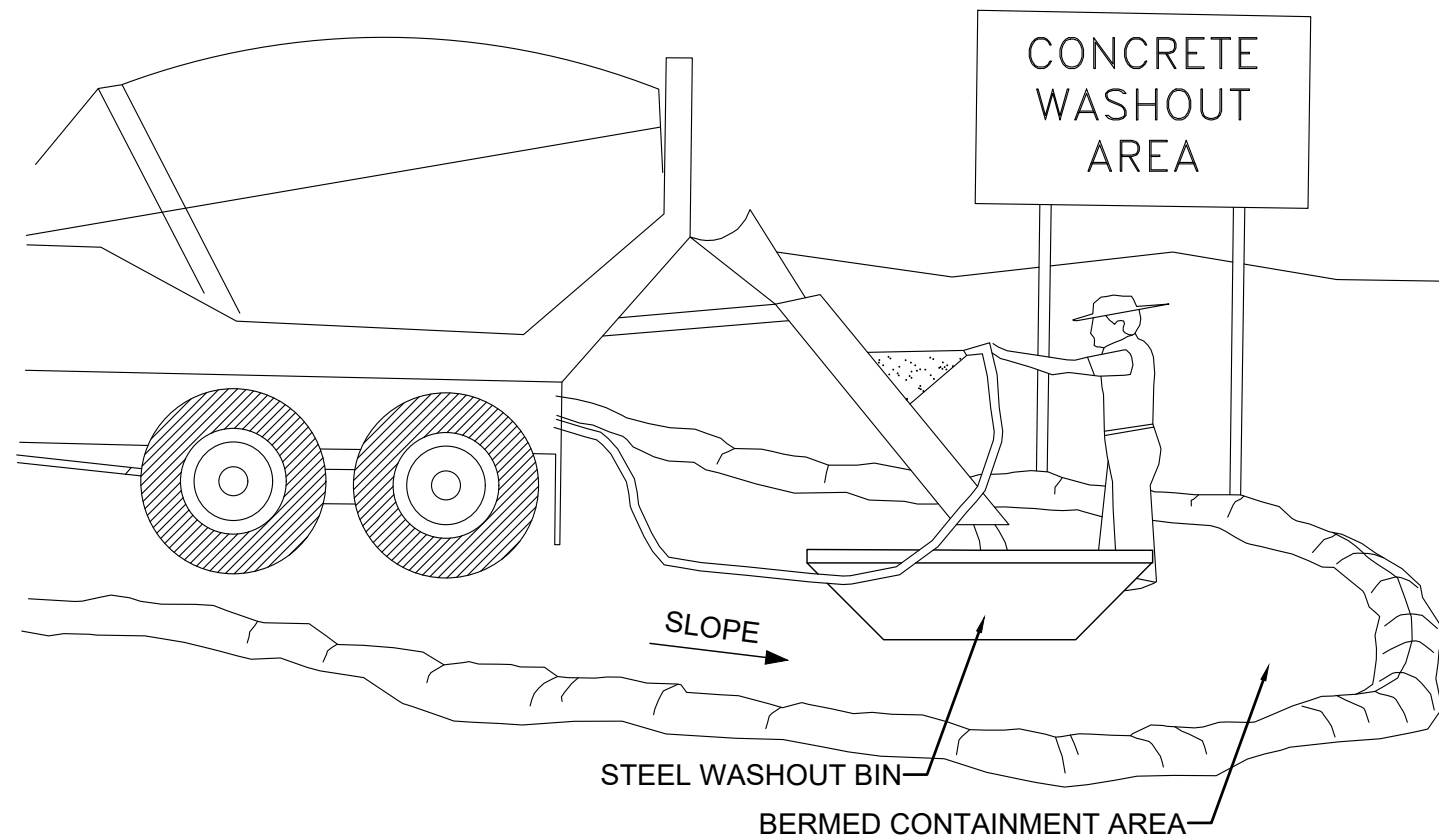
1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
 - a. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND SIDEWALK OR PARKING AREA.
 - b. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 3" COARSE AGGREGATE WITH LENGTH, WIDTH AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

STREET MAINTENANCE NOTES:

1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

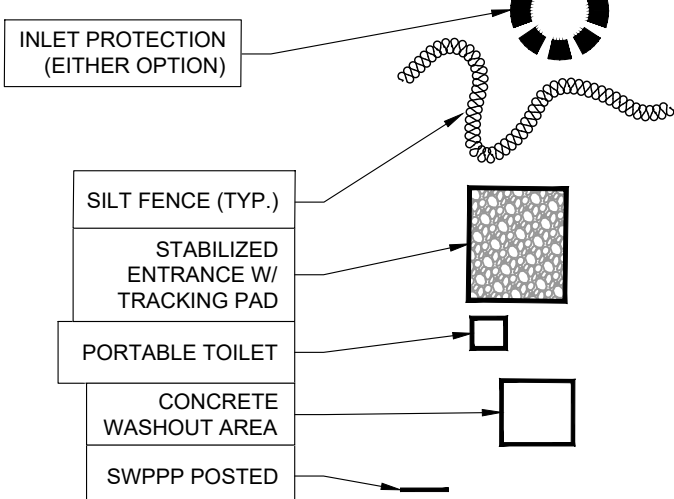
NOTE:

CONTRACTOR SHALL COMPLETE AND SUBMIT A STATE NOTICE OF INTENT (NOI) AND A STORM WATER POLLUTION PREVENTION PLAN BOOKLET



NOTES:

1. EXCESS AND WASTE CONCRETE SHALL BE DISPOSED OF OFF SITE OR AT DESIGNATED AREAS ONLY.
2. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
3. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS ONSITE, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED.
4. ONSITE CONCRETE WASHOUT CONTAINMENT FACILITY SHALL BE A STEEL BIN OR APPROVED ALTERNATE.
5. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.



1B INLET PROTECTION - OPTION 2

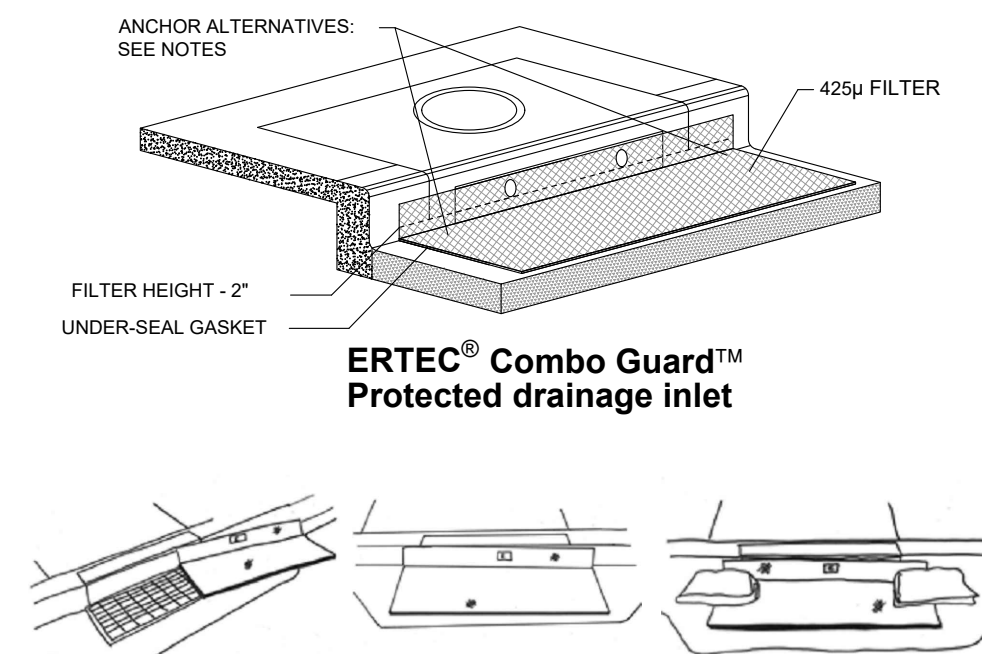
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1A INLET PROTECTION - OPTION 1

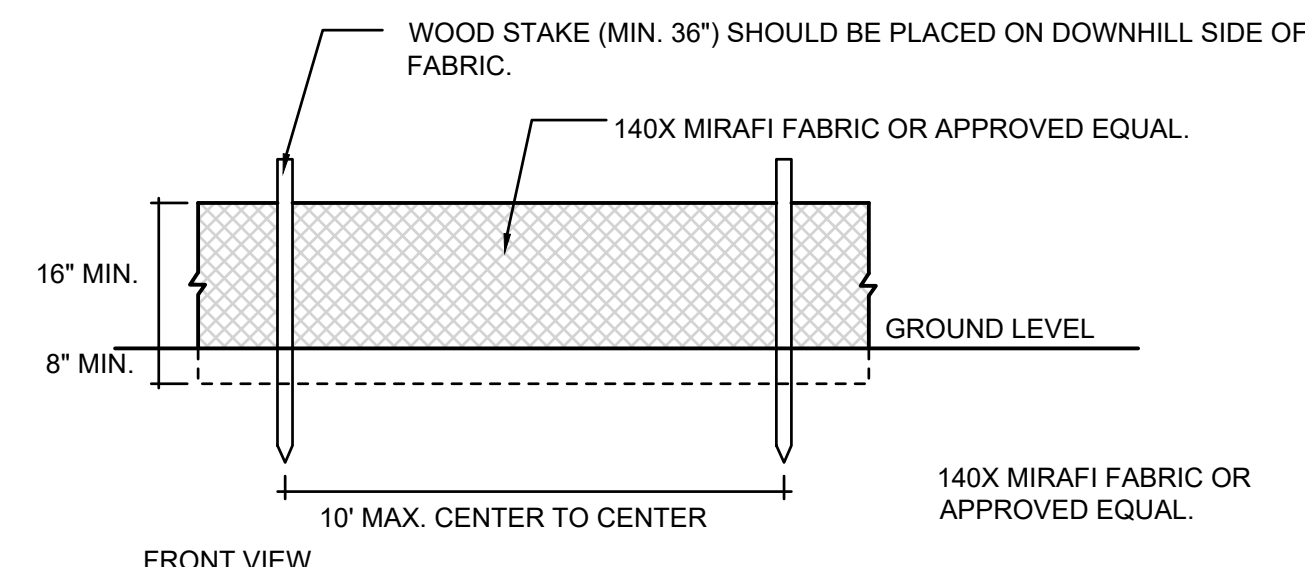
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INSTALLATION NOTES

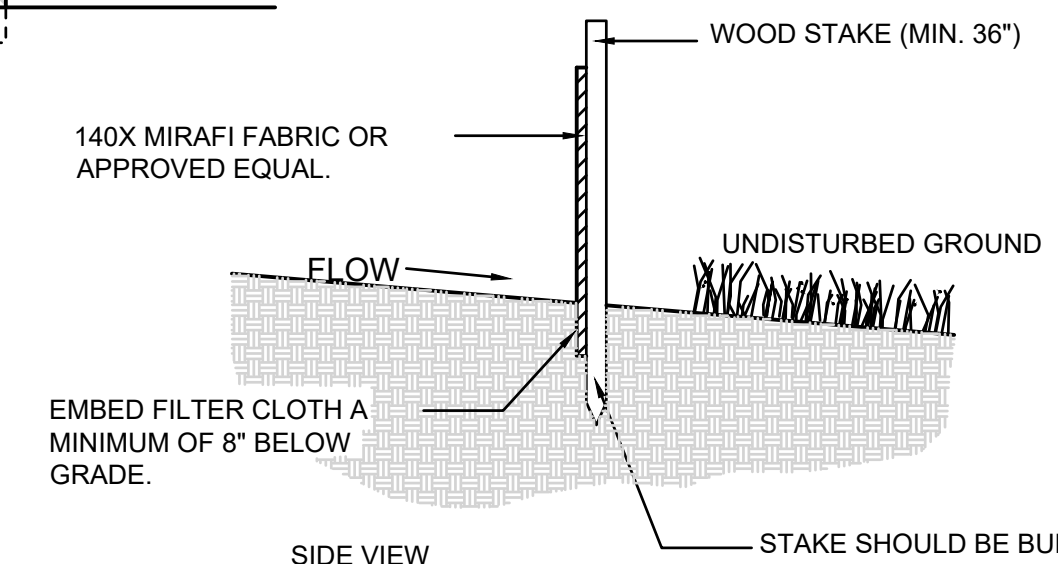
1. PLACEMENT: PLACE CG TIGHTLY AGAINST CURB OPENING AND COVER ENTIRE GRATE. CG SHOULD EXTEND AT LEAST 2 INCHES PAST GRATE TOWARDS STREET.
2. OVERLAP FOR LONG OPENINGS: OVERLAP CG UNITS AT LONGER OPENINGS.
3. ANCHOR: ANCHOR CG SO THAT WATER CANNOT FLOW BEHIND IT.
4. ALTERNATE ANCHOR METHODS: A) INSTALL GRAVEL BAGS AT EACH SIDE OF CG - HALF-ON AND HALF-OFF THE EDGES. USE HALF-FILLED GRAVEL BAGS (15 OR 20 LBS), ROUND ROCK IS RECOMMENDED. OR B) ATTACH WITH 16 GAUGE TIE-WIRE. CUT WIRE TO 18" LENGTH. AT EACH CORNER OF CG, FEED ONE END OF WIRE DOWN THRU CG, AROUND GRATE BAR, AND BACK UP THRU CG. ABOVE GROUND, TWIST WIRES SEVERAL TIMES, CUT-OFF EXCESS. OR C) FASTEN WITH CONCRETE ANCHORS/NAILS AT THE OUTSIDE EDGES OF CG.



ERTEC® Combo Guard™ Protected drainage inlet



FRONT VIEW



SIDE VIEW

Scale in Feet
1" = 40"

Scale: NTS

2 SILT FENCE



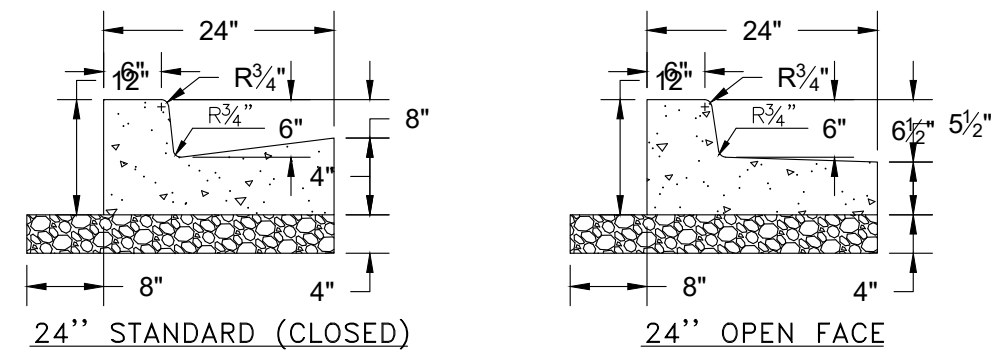
REVISIONS	DESCRIPTION
DATE	

SCALE: 1" = 40'
DATE: 05-05-21
DESIGN: LZ
DRAWN: LZ
CHECKED: PC

SWPPP
THE POINTE
3718 WOLF CREEK DR
EDEN, WEBER COUNTY, UTAH

GARDNER ENGINEERING
CIVIL-LAND PLANNING
MUNICIPAL-LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801-476-0202 FAX: 801-476-0066

CE1-03



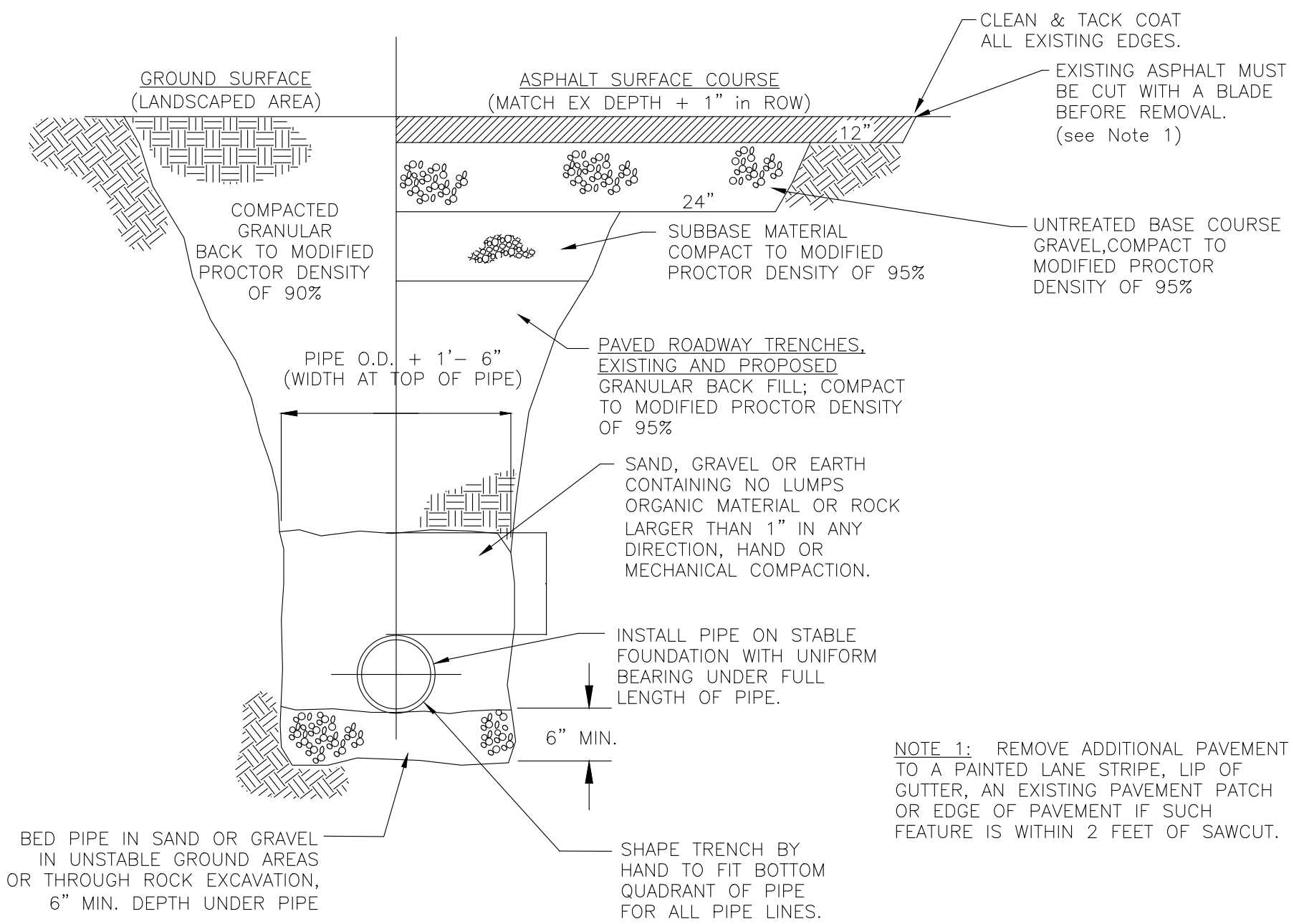
TYPICAL 24' CURB AND GUTTER
NOT TO SCALE

CURB AND GUTTER CONSTRUCTION NOTES:

1. OPEN FACE GUTTER SHALL BE CONSTRUCTED WHERE DRAINAGE IS DIRECTED AWAY FROM CURB.
2. OPEN FACE CURB & GUTTER LOCATIONS ARE INDICATED BY HATCHING AND NOTES ON THE GRADING PLAN.
3. IT IS THE RESPONSIBILITY OF THE SURVEYOR TO ADJUST TOP OF CURB GRADES AT THE TIME OF CONSTRUCTION STAKING.
4. REFER TO THE TYPICAL DETAILS FOR STANDARD (CLOSED) AND OPEN FACE CURB AND GUTTER FOR DIMENSIONS.
5. TRANSITIONS BETWEEN OPEN FACE AND STANDARD (CLOSED) CURB AND GUTTER ARE TO BE SMOOTH. HAND FORM THESE AREAS IF NECESSARY.

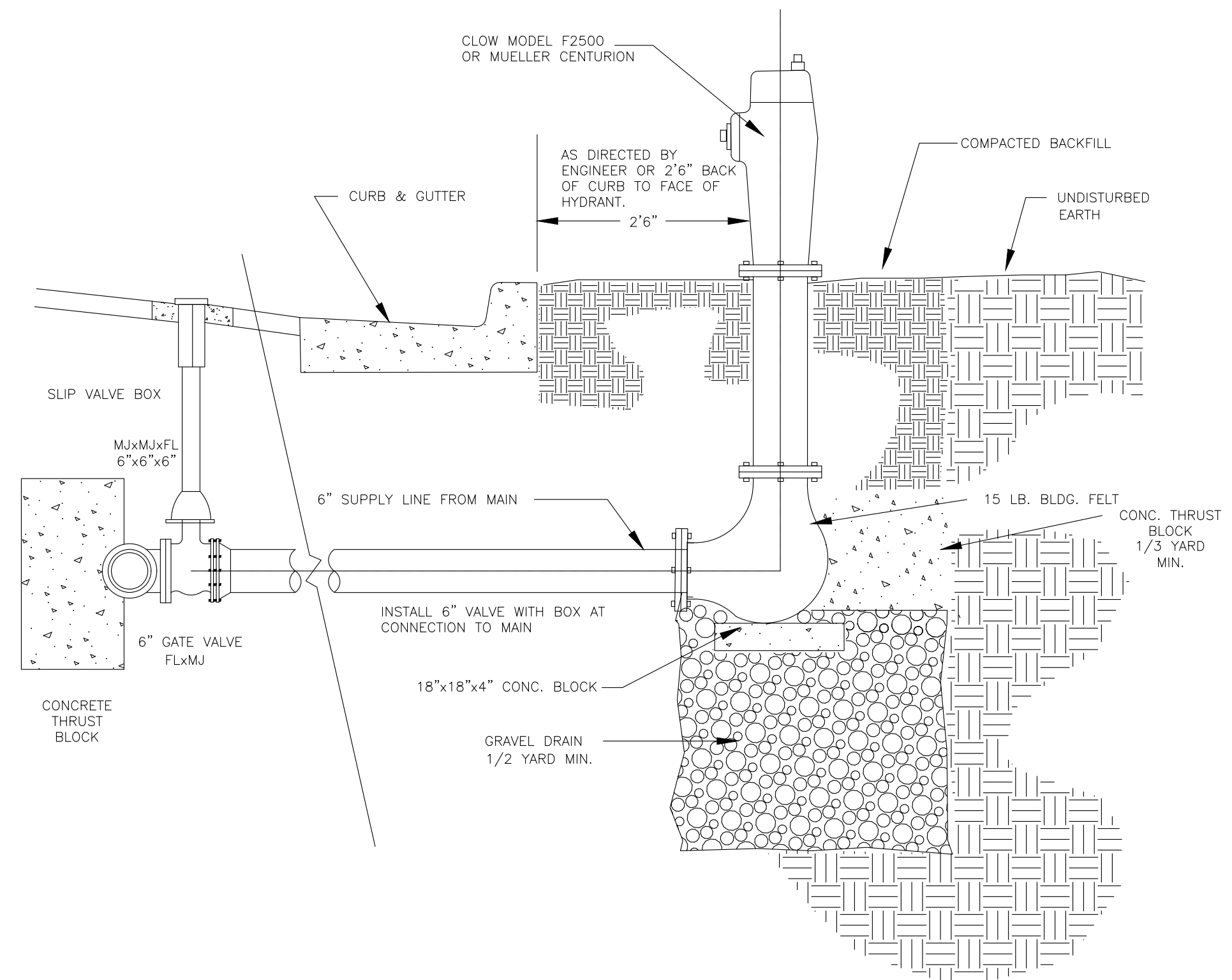
1 TYPICAL 24' CURB AND GUTTER

Scale: NTS



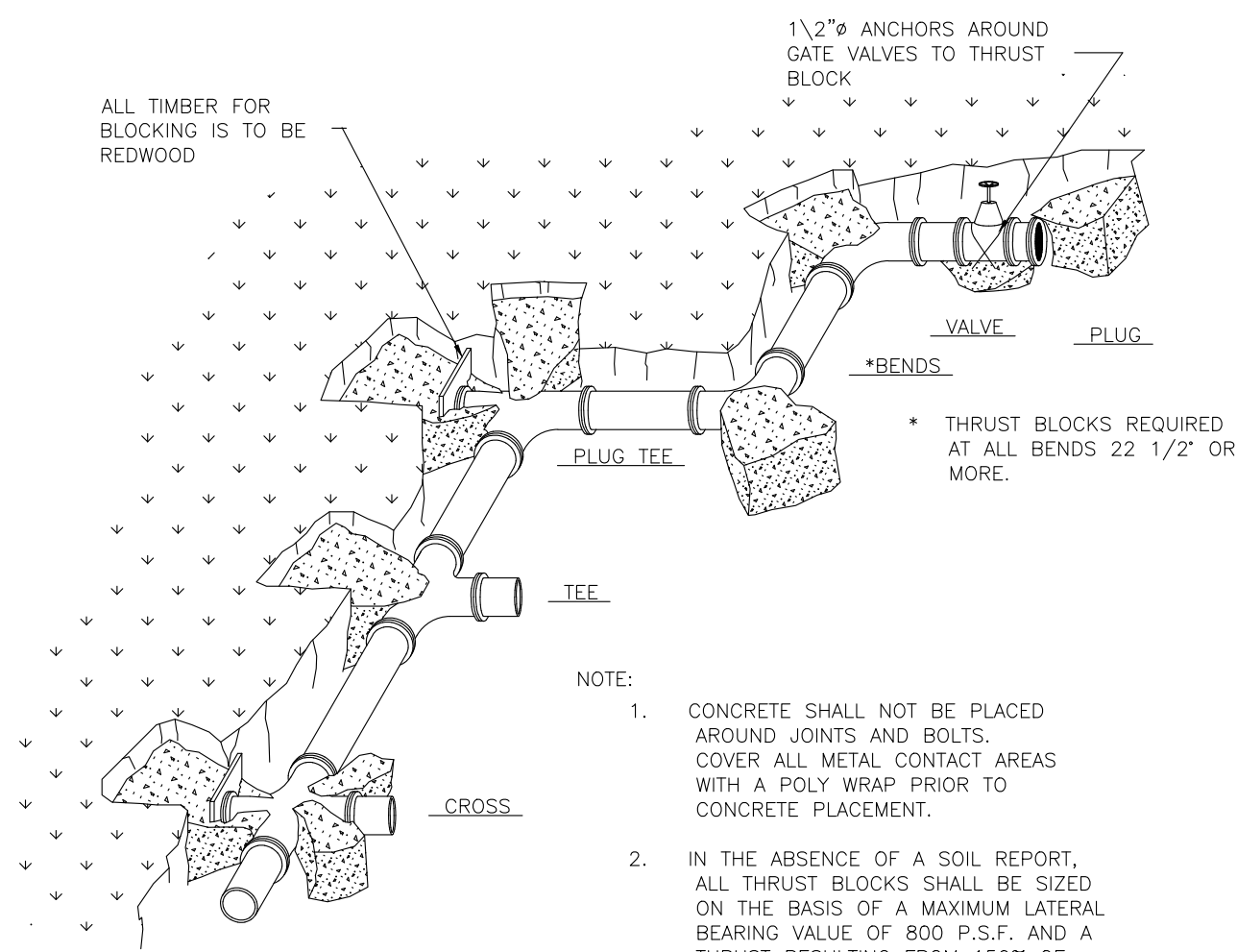
2 TYPICAL TRENCH SECTION

Scale: NTS



3 TYPICAL WATER HYDRANT INSTALLATION DETAIL

Scale: NTS



4 TYPICAL THRUST BLOCK DETAIL
APPLIES TO ALL PRESSURE PIPE

Scale: NTS

SIZE	BENDS			TEES	GATE VALVES	DEAD ENDS	CROSS BRANCHED PLUGGED	CROSSW/2 BRAN. PLUGGED
	90°	45°	22 1/2°					
3	1.0	0.0	0.3	0	0.7	0.5	0.7	0.7
4	1.8	1.0	0.5	0	1.3	0.5	1.3	1.3
6	4.0	2.2	1.1	0	2.8	0.7	2.8	2.8
8	7.1	3.8	2.0	1.0	5.0	2.4	5.0	5.0
10	11.1	6.0	3.0	1.5	7.8	4.5	7.8	7.8
12	16.0	8.6	4.4	2.2	11.3	7.3	11.3	11.3
14	21.7	11.8	6.0	3.0	15.4	10.0	15.4	15.4
15	25.0	13.5	7.0	3.5	17.6	11.6	17.6	17.6
16	28.4	15.3	8.0	4.0	20.0	13.3	20.0	20.0
18	36.0	19.4	10.0	5.0	25.4	16.7	25.4	25.4
20	44.2	24.0	12.2	6.1	31.4	20.0	31.4	31.4
21	49.0	26.5	13.5	6.8	34.6	22.0	34.6	34.6
22	54.0	29.0	14.8	7.4	38.0	24.0	38.0	38.0
24	64.0	34.5	17.7	8.8	45.0	28.0	45.0	45.0
30	100.0	54.0	27.6	13.8	71.0	44.0	71.0	71.0
36	144.0	78.0	40.0	20.0	102.0	60.0	102.0	102.0

*SIZE IS BRANCH SIZE.

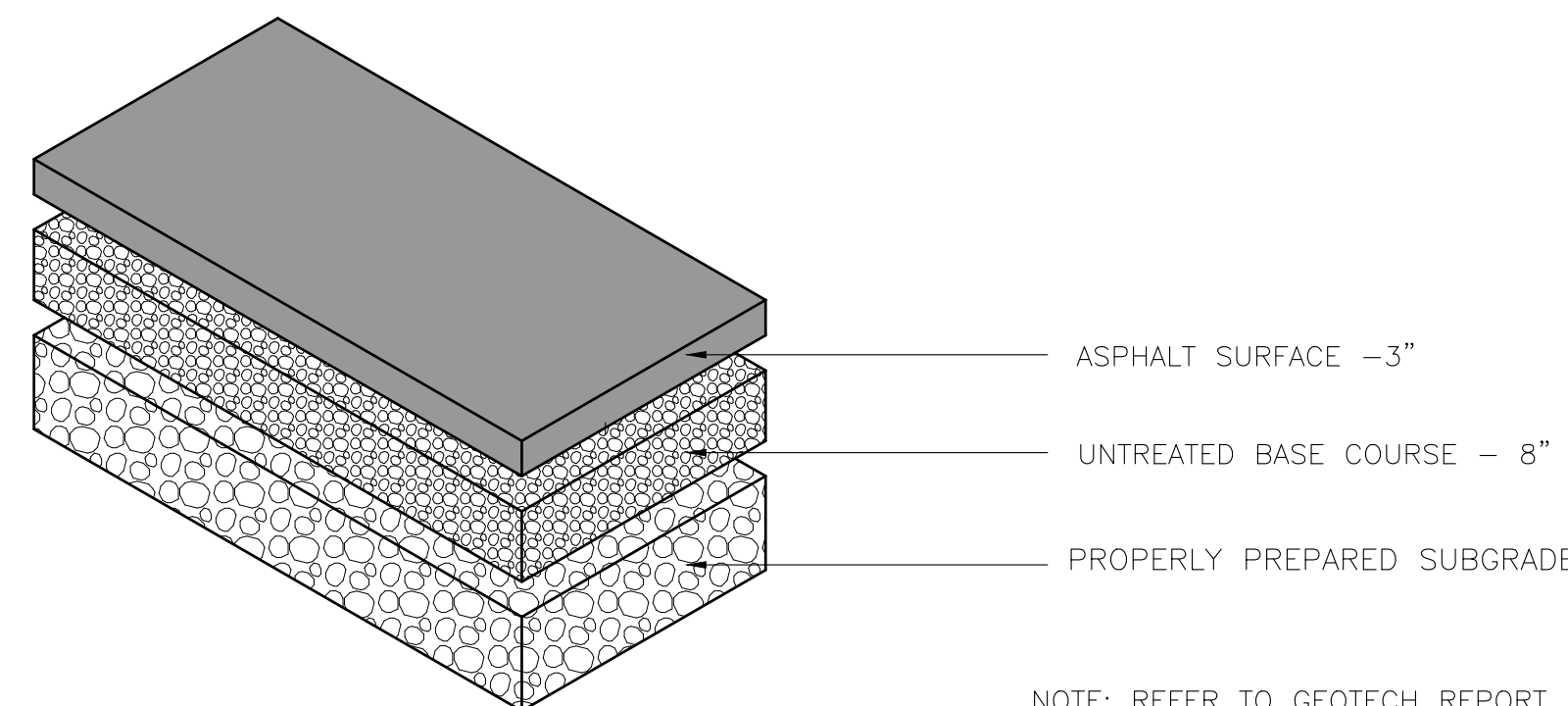
FOR 100 P.S.I. INTERNAL STATIC PRESSURE AND 1000 LBS.PER SQ. FT. SOIL BEARING CAPACITY.

ALL VALVES, TEES, CROSSES AND BENDS GREATER THAN 22.5" SHALL ALSO BE FITTED WITH MECHANICAL RESTRAINTS, SUCH AS MEGA LUGS OR APPROVED EQUAL.

AREAS GIVEN IN TABLE ARE BASED UPON AN INTERNAL STATIC PRESSURE OF 100 P.S.I AND A SOIL BEARING CAPACITY OF 1000 LBS PER SQ. FT. BEARING AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING THE TABULATED VALUES BY A CORRECTION FACTOR "F".

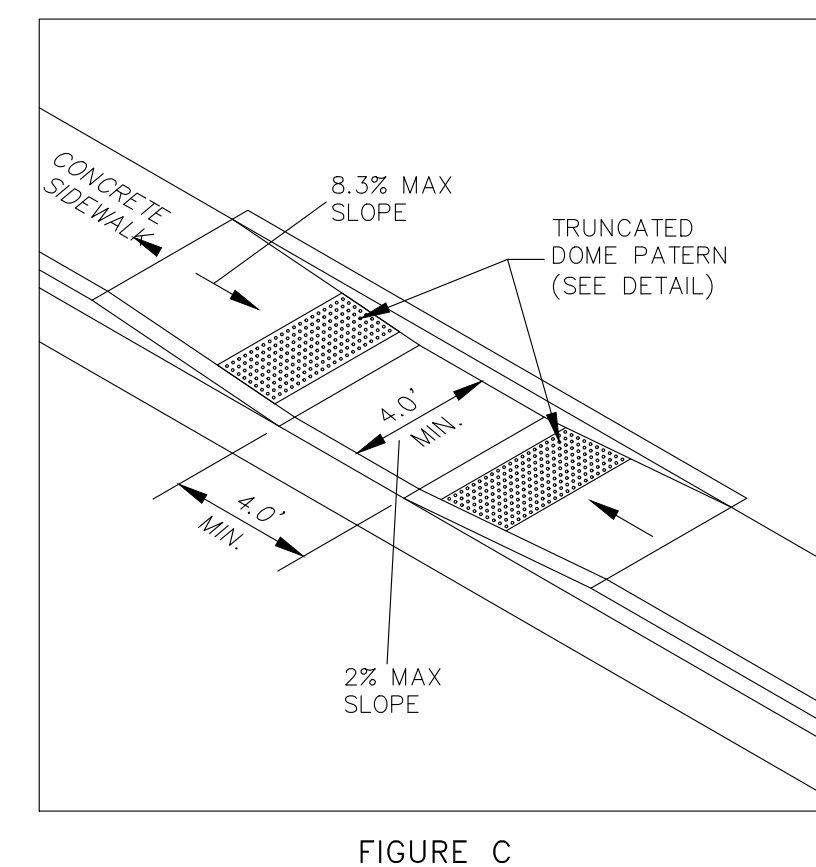
$F = \frac{\text{ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS/SQ. IN.}}{\text{ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.}}$

EXAMPLE: TO FIND BEARING AREA FOR 8"-90° BEND WITH A STATIC INTERNAL PRESSURE OF 1500 P.S.I AND WITH A SOIL BEARING CAPACITY OF 3000 LBS. PER SQ. FT.
 $F = 1.5 / 3 = 0.5$ TABULATED VALUE = 7.1 SQ. FT.
 $0.5 \times 7.1 = 3.56 \approx 4$ SQ. FT. (~OR 2FT. LONG BY 2FT. HIGH.)



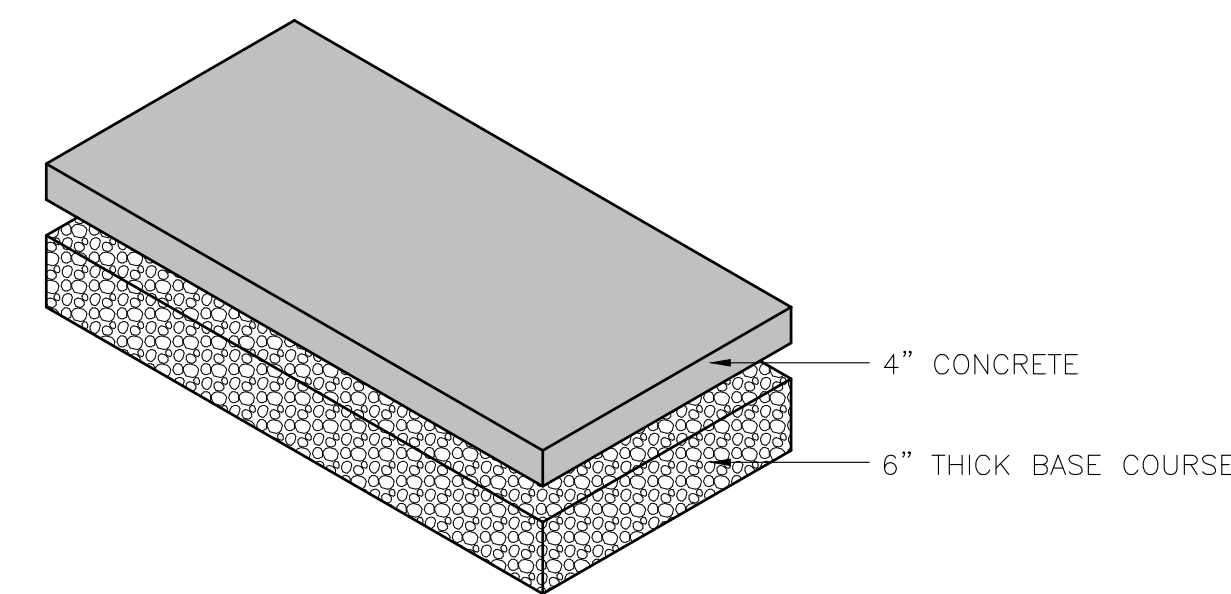
7 TYPICAL REGULAR ASPHALT PAVING

Scale: NTS



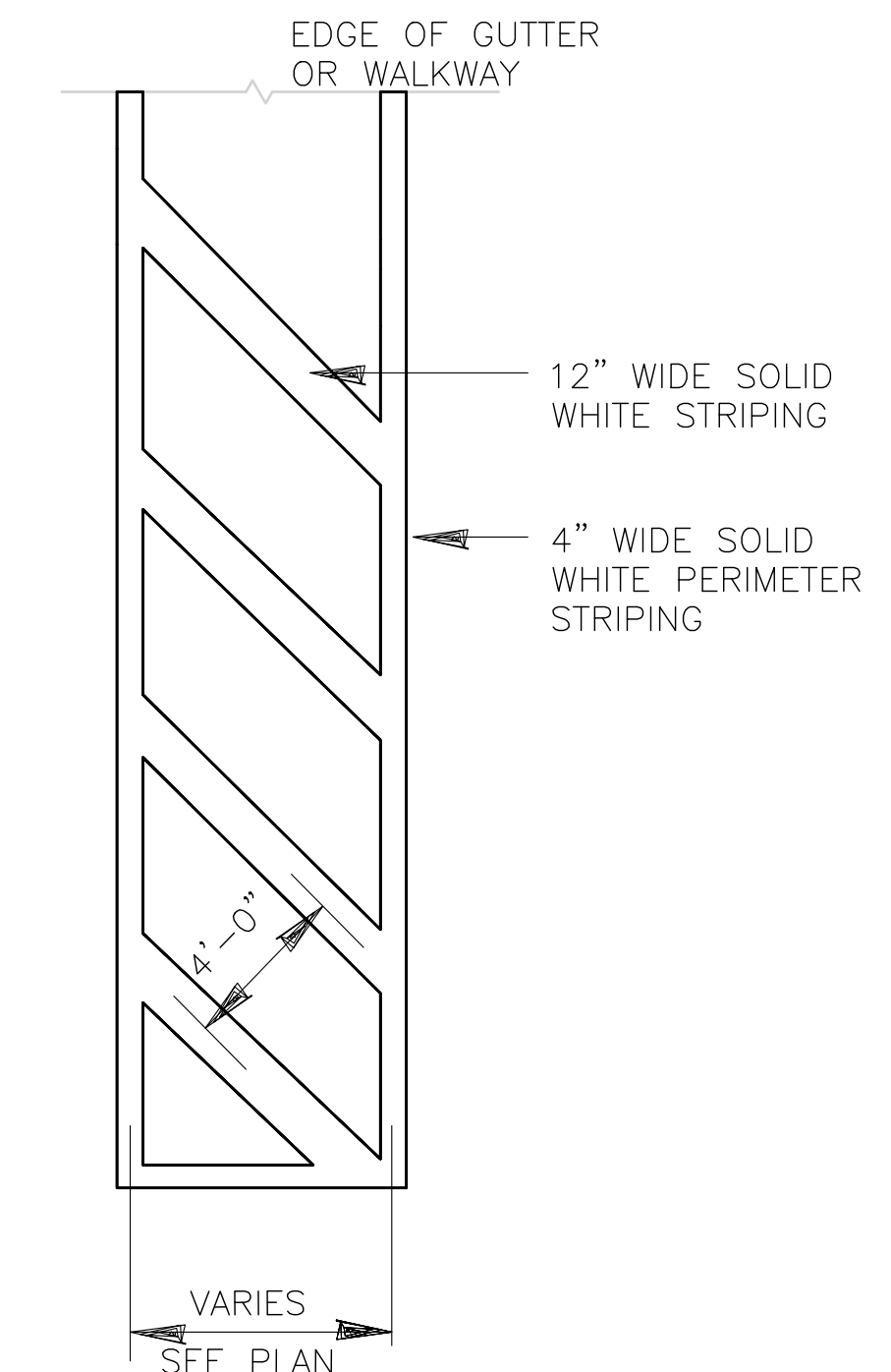
5 TYPICAL ADA RAMP

Scale: NTS



6 CONCRETE SIDEWALK SECTION

Scale: NTS



8 TYPICAL "NO PARING" STRIPING

Scale: NTS

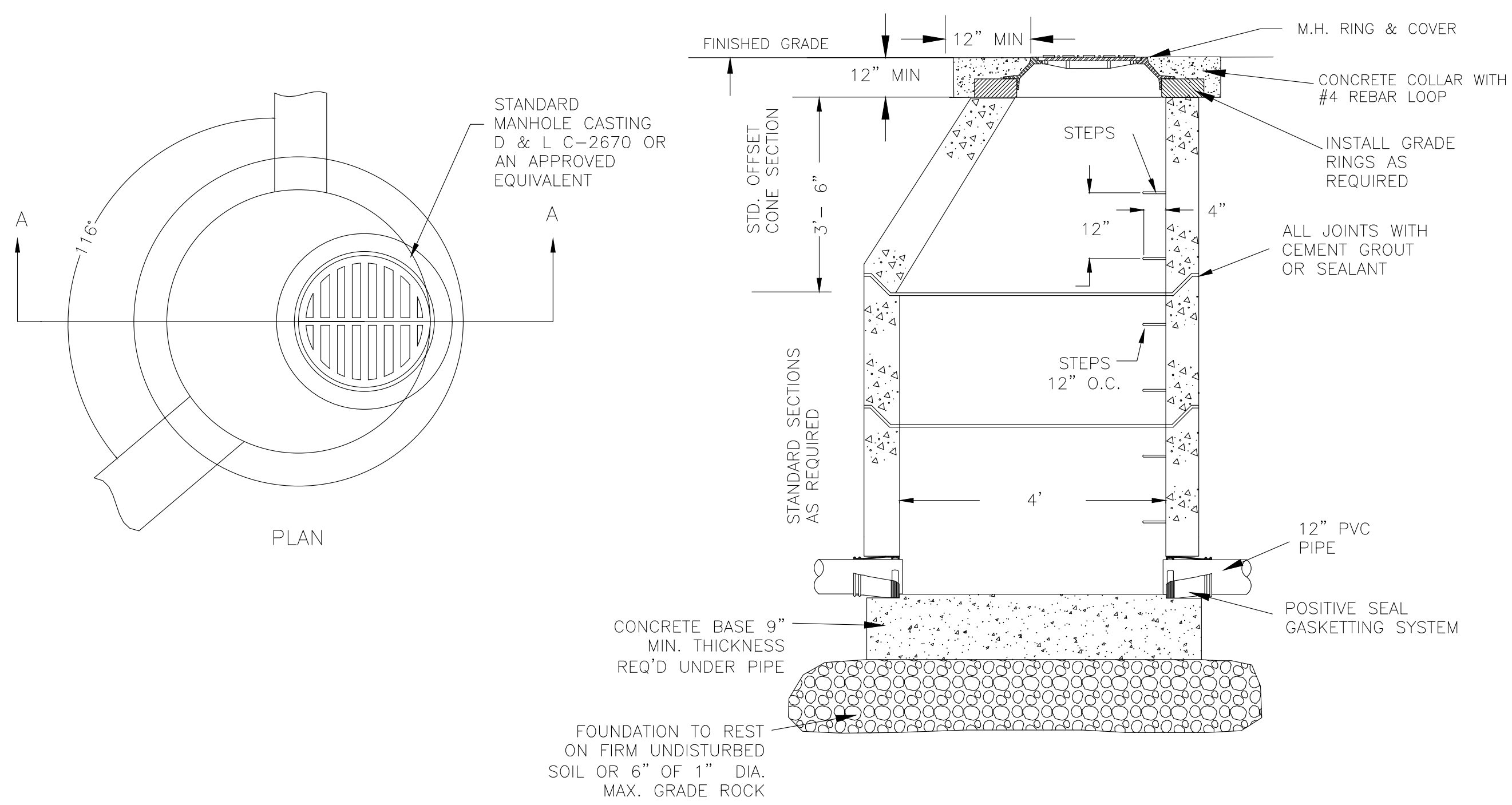
REVISIONS	DATE	DESCRIPTION

SCALE: NTS	DATE: 05-05-21
DESIGN: LZ	DRAWN: LZ
CHECKED: RC	DATE:

DATE:	DESCRIPTION:
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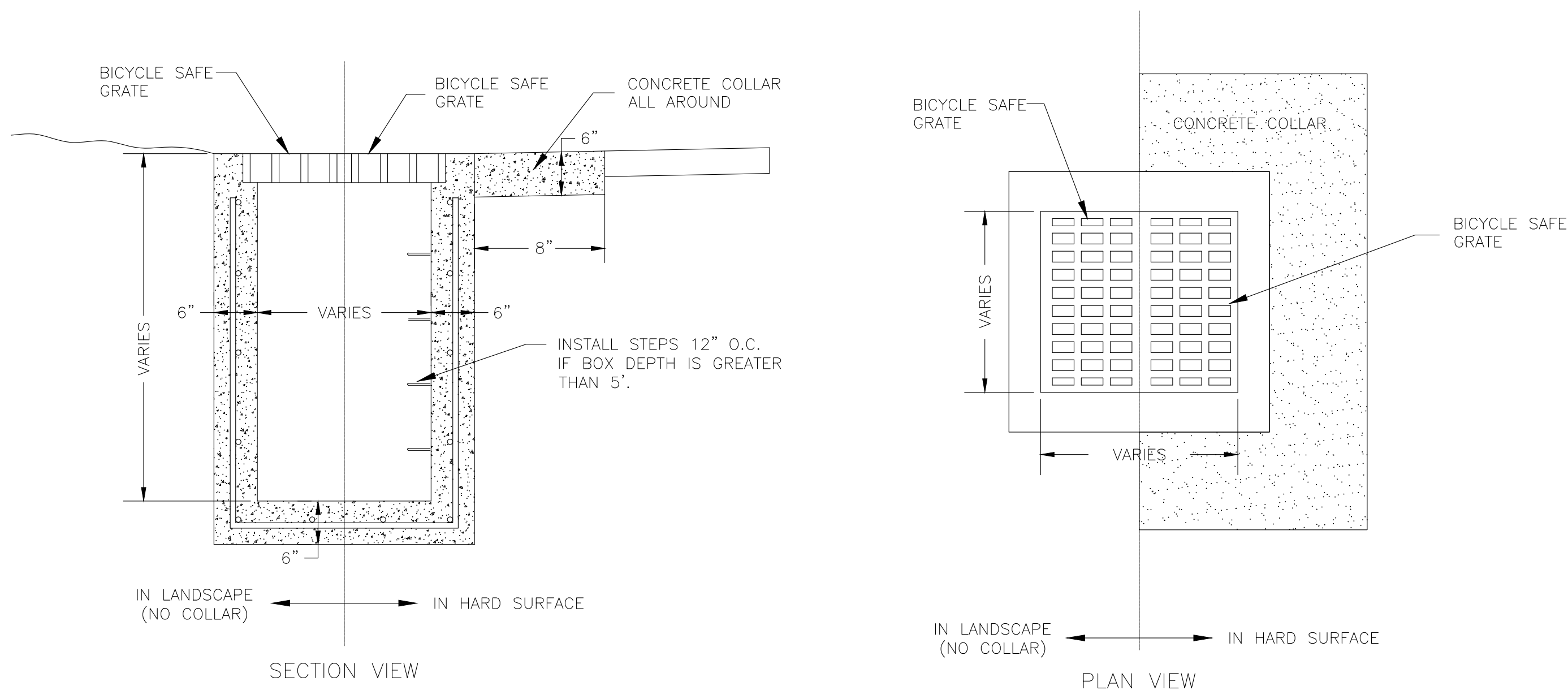
STANDARD DETAILS
 THE POINTE
 3718 WOLF CREEK DR
 EDEN, WEBER COUNTY, UTAH

GARDNER ENGINEERING
 CIVIL - LAND PLANNING
 MUNICIPAL - LAND SURVEYING
 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0066



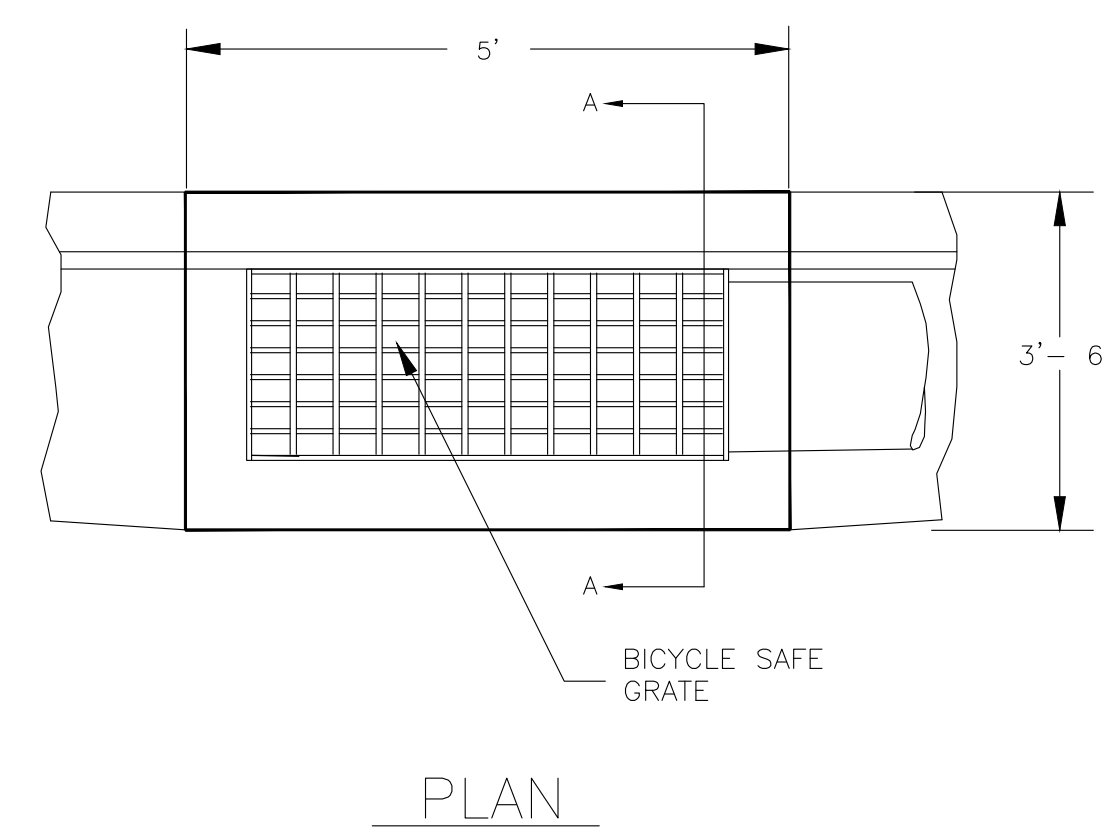
8 TYPICAL MANHOLE DETAIL

Scale: NTS

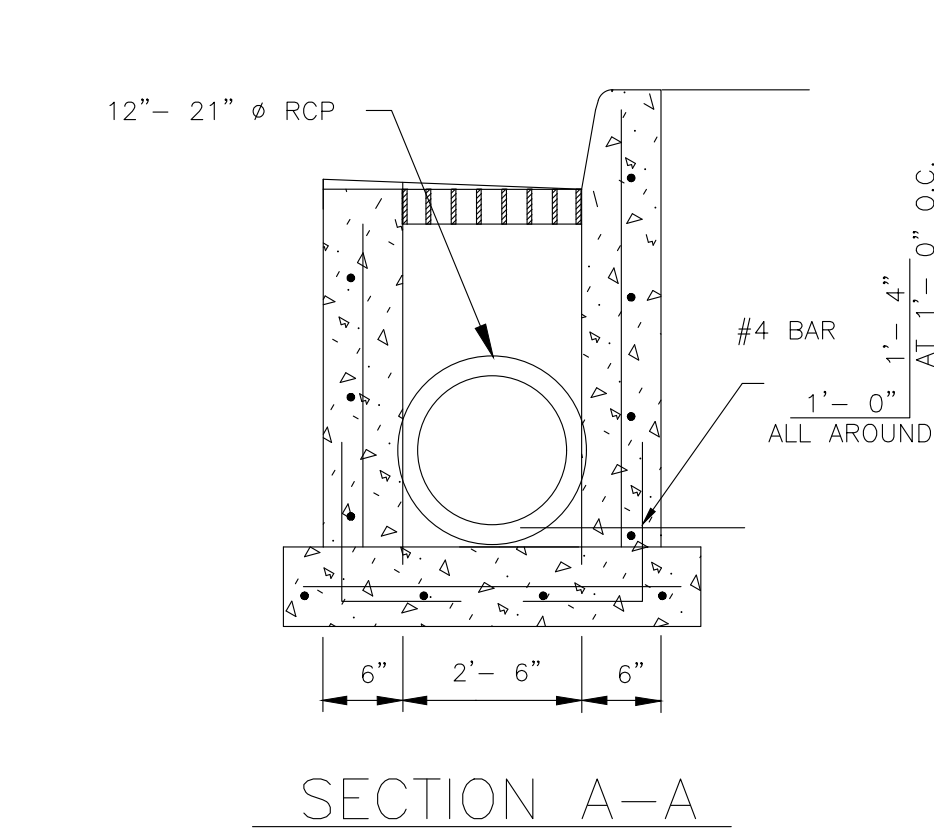


10 TYPICAL STORM DRAIN BOX

Scale: NTS



9 TYPICAL 2'-6" X 4' CATCH BASIN



Scale: NTS

SCALE: NTS	DATE: 05-05-21	DESIGN: LZ	DRAWN: LZ	CHECKED: PC
REVISIONS	DESCRIPTION			
DATE				

DATE				
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CE1-05