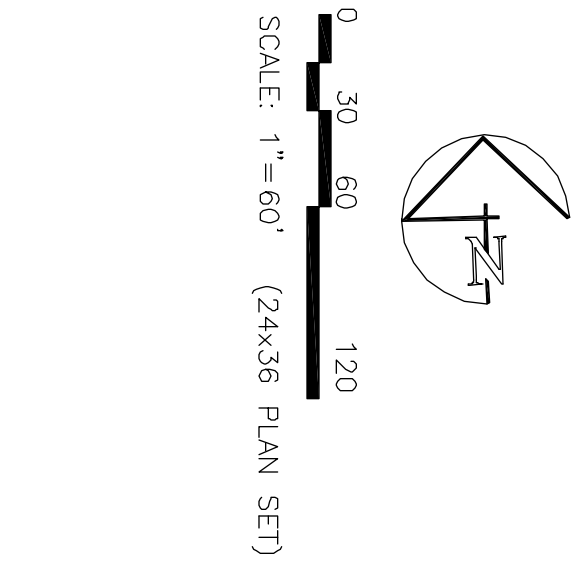
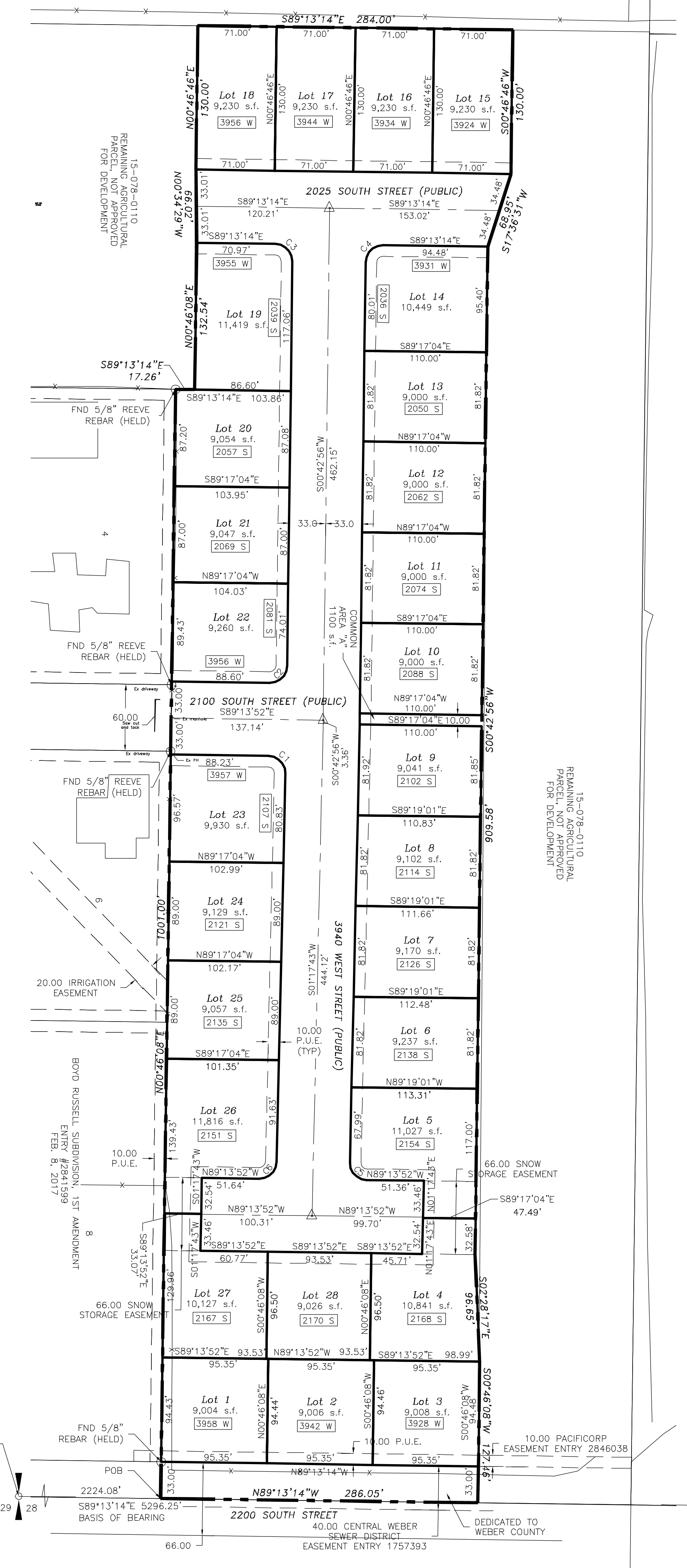


TAYLOR LANDING PHASE 1A

A CLUSTER SUBDIVISION FINAL PLAT DECEMBER 2020



PART OF THE NORTHWEST QUARTER OF SECTION 28,
TOWNSHIP 6 NORTH, RANGE 2 WEST,
SALT LAKE BASIN AND MERIDIAN,
WEBER COUNTY, UTAH



CURVE TABLE

| CURVE | LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|--------|--------|-------------|---------------|--------------|
| C1 | 24.49 | 15.50 | 90°31'35" | N4°58'05"W | 22.02 |
| C2 | 24.36 | 15.50 | 90°03'12" | N4°44'32"E | 21.93 |
| C3 | 24.33 | 15.50 | 89°56'10" | N4°41'09"W | 21.91 |
| C4 | 24.36 | 15.50 | 90°03'50" | S4°44'51"W | 21.93 |
| C5 | 24.28 | 15.50 | 89°44'35" | S4°42'35"E | 21.82 |
| C6 | 24.20 | 15.50 | 89°28'25" | N4°01'55"E | 21.82 |

WEBER COUNTY ATTORNEY

I have examined the financial guarantee and other documents...
Signed this _____ day of _____, 2020.

WEBER COUNTY SURVEYOR

I hereby certify that the Weber County Surveyor's Office has reviewed this plat and all conditions for approval by this office have been met...
Signed this _____ day of _____, 2020.

WEBER COUNTY ENGINEER

I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and amount of the financial guarantee is sufficient for the installation of these improvements.
Signed this _____ day of _____, 2020.

WEBER COUNTY COMMISSION ACCEPTANCE

This is to certify that this subdivision plat, the dedication of streets and the proposed improvements thereon are hereby approved and accepted by the Commissioners of Weber County, Utah this _____ day of _____, 2020.

Chairman, Weber County Commission
Attest: _____

WEBER COUNTY PLANNING COMMISSION APPROVAL

This is to certify that this subdivision plat was duly approved by the Weber County Planning Commission on the _____ day of _____, 2020.

Chairman, Weber County Planning Commission
Attest: _____

WEBER COUNTY SURVEYOR'S NOTES

1. The purpose of this survey was to subdivide part of parcel 15-078-0110 into 27 lots. The survey was requested by Jay Russell, recorded as Subdivision 2015-03-29-0001, Township 6 North, Range 2 West, Salt Lake Basin and Meridian, Section 28, Township 6 North, Range 2 West, Salt Lake Basin and Meridian, Weber County, Utah. The south line was established along the south line of the subdivision shown on the plat. This line lines up with the right of way line of the Boyd Russell Subdivision. 1st Amendment recorded in the Recorder's Office under Entry 2841599 on February 8, 2020. The north line of the subdivision is shown on the plat as the east line of the Boyd Russell Subdivision. 1st Amendment, Boyd Russell Subdivision was established using section control and found rebar as shown.

GENERAL NOTES

1. All Public Utility Easements shown as dashed lines shall be 10.00 foot wide unless otherwise indicated.
2. All fire hydrant projections along streets. Curb pins to be set 10.00 feet from the curb line. The subdivision is subject to the requirements of Section 108-16 "Outdoor Lighting" of the Weber County Land Use Code.
3. Street trees of a species determined by Weber County Policy are required every 50 feet on both sides of the street within the subdivision boundary. In the event, infrastructure or a driveway approach makes a tree's placement infeasible, that tree shall be located as close to 50-foot clear view triangle as defined in Section 108-7-7 of Weber County Land Use Code.

SURVEYOR'S NOTES NARRATIVE

1. The purpose of this survey was to subdivide part of parcel 15-078-0110 into 27 lots. The survey was requested by Jay Russell, recorded as Subdivision 2015-03-29-0001, Township 6 North, Range 2 West, Salt Lake Basin and Meridian, Section 28, Township 6 North, Range 2 West, Salt Lake Basin and Meridian, Weber County, Utah. The south line was established along the south line of the subdivision shown on the plat. This line lines up with the right of way line of the Boyd Russell Subdivision. 1st Amendment recorded in the Recorder's Office under Entry 2841599 on February 8, 2020. The north line of the subdivision is shown on the plat as the east line of the Boyd Russell Subdivision. 1st Amendment, Boyd Russell Subdivision was established using section control and found rebar as shown.

OWNER'S DEDICATION

Know all by these presents that we the undersigned owners of the above-described tract of land, having caused the same to be surveyed and divided into lots and streets to hereafter be known as TAYLOR LANDING PHASE 1A A CLUSTER SUBDIVISION. Do hereby dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares, and dedicated to public use, upon and subject to the easements and covenants hereon set forth, as follows:
To be used for the installation, maintenance and operation of public utility service lines, storm drainage facilities, irrigation canals for the perpetual preservation of water resources, and other public facilities, any and all buildings or structures being erected within such easements.
To be used for recreational and open space purposes for the benefit of each lot owner association member in common with all other lot owners and the public.
To be used for public parking spaces, open space, and other purposes.
To be used for the installation, maintenance and operation of public utility service lines, storm drainage facilities, irrigation canals for the perpetual preservation of water resources, and other public facilities, any and all buildings or structures being erected within such easements.
To be used for recreational and open space purposes for the benefit of each lot owner association member in common with all other lot owners and the public.
To be used for public parking spaces, open space, and other purposes.
To be used for the installation, maintenance and operation of public utility service lines, storm drainage facilities, irrigation canals for the perpetual preservation of water resources, and other public facilities, any and all buildings or structures being erected within such easements.
To be used for recreational and open space purposes for the benefit of each lot owner association member in common with all other lot owners and the public.
To be used for public parking spaces, open space, and other purposes.

BOUNDARY DESCRIPTION

Part of the East Half of the Northwest Quarter of Section 28, Township 6 North, Range 2 West of the Salt Lake Basin and Meridian described as follows:
Commencing at the West Quarter Corner of Section 28, Township 6 North, Range 2 West of the Salt Lake Basin and Meridian; thence North 13°14'41.00" East 284.00 feet to a point on the south line of the Boyd Russell Subdivision, 1st Amendment; thence North 89°13'14.00" East 284.00 feet to the POINT OF BEGINNING and running thence N 00°45'08" E 1,001.00 feet along the east line of Boyd Russell Subdivision, 1st Amendment and its extension thereof; thence S 89°13'14" E 172.26 feet; thence N 00°45'08" E 132.54 feet; thence N 00°34'29" W 66.02 feet; thence S 89°13'14" E 284.00 feet; thence S 00°46'46" E 130.00 feet; thence S 00°46'46" W 130.00 feet; thence S 17°36'31" W 68.95 feet; thence S 00°42'56" W 90.95 feet; thence S 02°28'17" E 96.65 feet; thence S 00°46'08" W 127.46 feet to the south line of the Northwest Quarter of said Section 28, Township 6 North, Range 2 West of the Salt Lake Basin and Meridian; containing 832 acres, more or less.

LIMITED LIABILITY ACKNOWLEDGEMENT

Doug Nozler, Manager
3900 WEST/TAYLOR PARTNER, LLC

STATE OF UTAH
COUNTY OF _____ } ss

On this _____ day of _____, A.D. 2020, personally appeared before me Doug Nozler who being by me duly sworn did say, that he is the Manager of 3900 WEST/TAYLOR PARTNER, LLC, a Utah Limited Liability Company, and that the said Limited Liability Company was organized on behalf of said Limited Liability Companies.

MY COMMISSION EXPIRES: _____
COUNTY RECORDER _____
NOTARY PUBLIC _____
RESIDING AT _____

State of Utah, County of Weber, recorded and filed at the request of _____ Date: _____ Time _____ Fee _____

Index _____
Filed in: File of plats _____
County Recorder _____

WEBER COUNTY ATTORNEY

I have examined the financial guarantee and other documents...
Signed this _____ day of _____, 2020.

WEBER COUNTY SURVEYOR

I hereby certify that the Weber County Surveyor's Office has reviewed this plat and all conditions for approval by this office have been met...
Signed this _____ day of _____, 2020.

WEBER COUNTY ENGINEER

I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and amount of the financial guarantee is sufficient for the installation of these improvements.
Signed this _____ day of _____, 2020.

WEBER COUNTY COMMISSION ACCEPTANCE

This is to certify that this subdivision plat, the dedication of streets and the proposed improvements thereon are hereby approved and accepted by the Commissioners of Weber County, Utah this _____ day of _____, 2020.

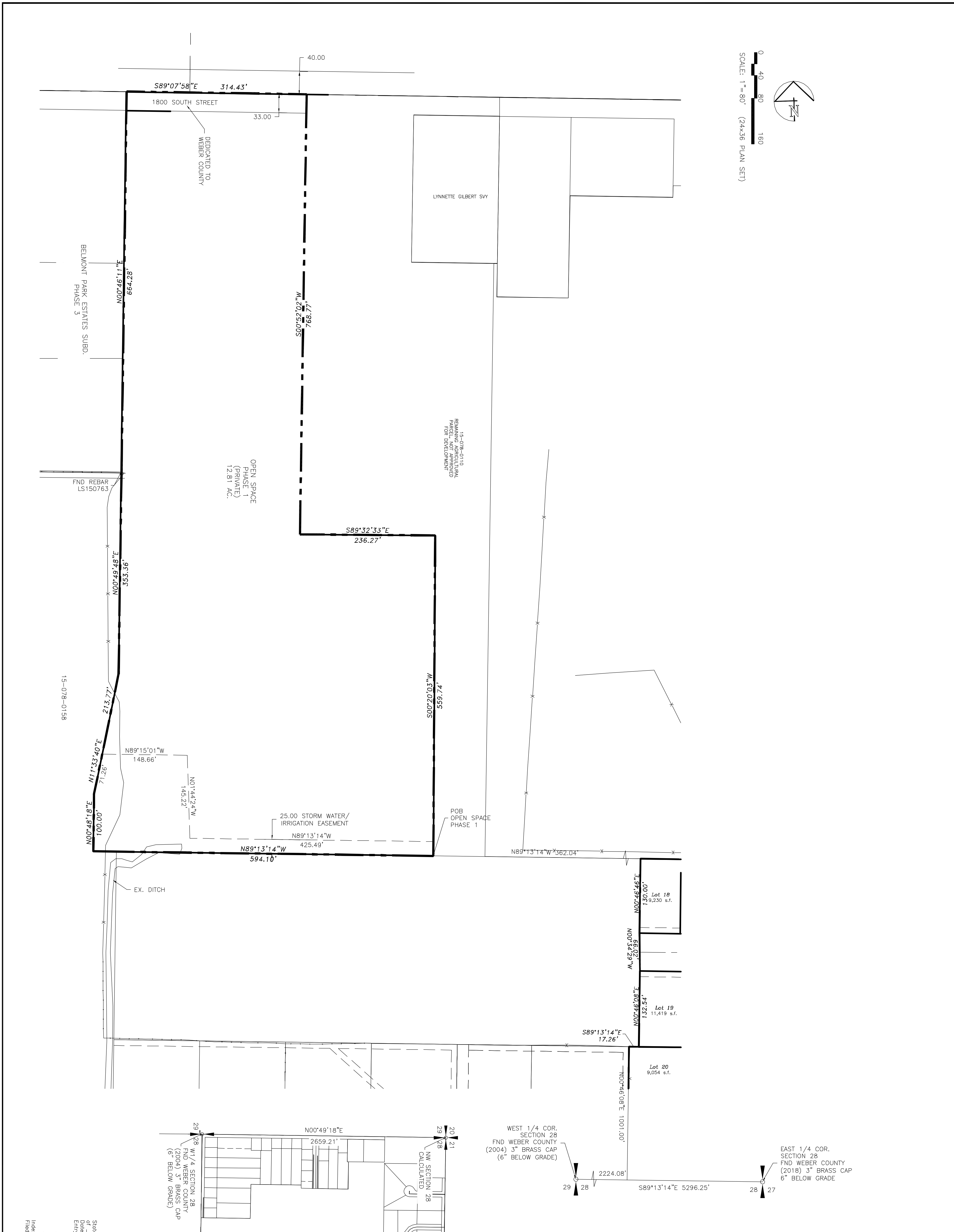
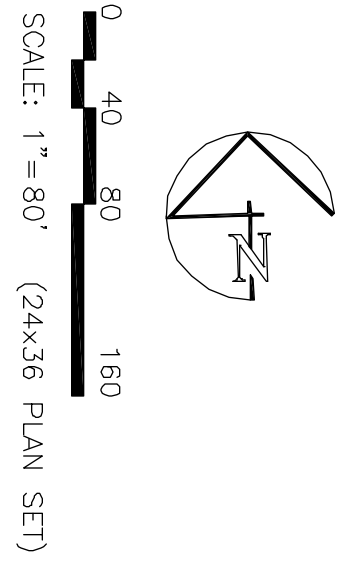
Chairman, Weber County Commission
Attest: _____

| | |
|--|------------------------------------|
| PROJECT TITLE TAYLOR LANDING PHASE 1A A CLUSTER SUBDIVISION PART OF THE NORTH HALF OF SECTION 28, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASIN AND MERIDIAN WEBER COUNTY, TAYLOR, UTAH | DRAWING TITLE FINAL PLAT |
| DATE: JAN 5, 2021 | DRAWING NO: 1 of 2 |

| | |
|---|--------------------|
| Developer: Heritage Land Development 470 North 2450 West Tremonton, Utah 84337 | DATE: _____ |
| REVIEWED: _____ | DRAWN: _____ |
| CAD FILE: _____ | PROJECT NO.: _____ |

| | | |
|--|-----------------------|------|
| AE ALLIANCE CONSULTING ENGINEERS 150 EAST 200 NORTH SUITE P LOGAN, UTAH 84321 (435)755-5121 alliance@allianceconsulting.com | REVISIONS/SUBMISSIONS | DATE |
| | | |

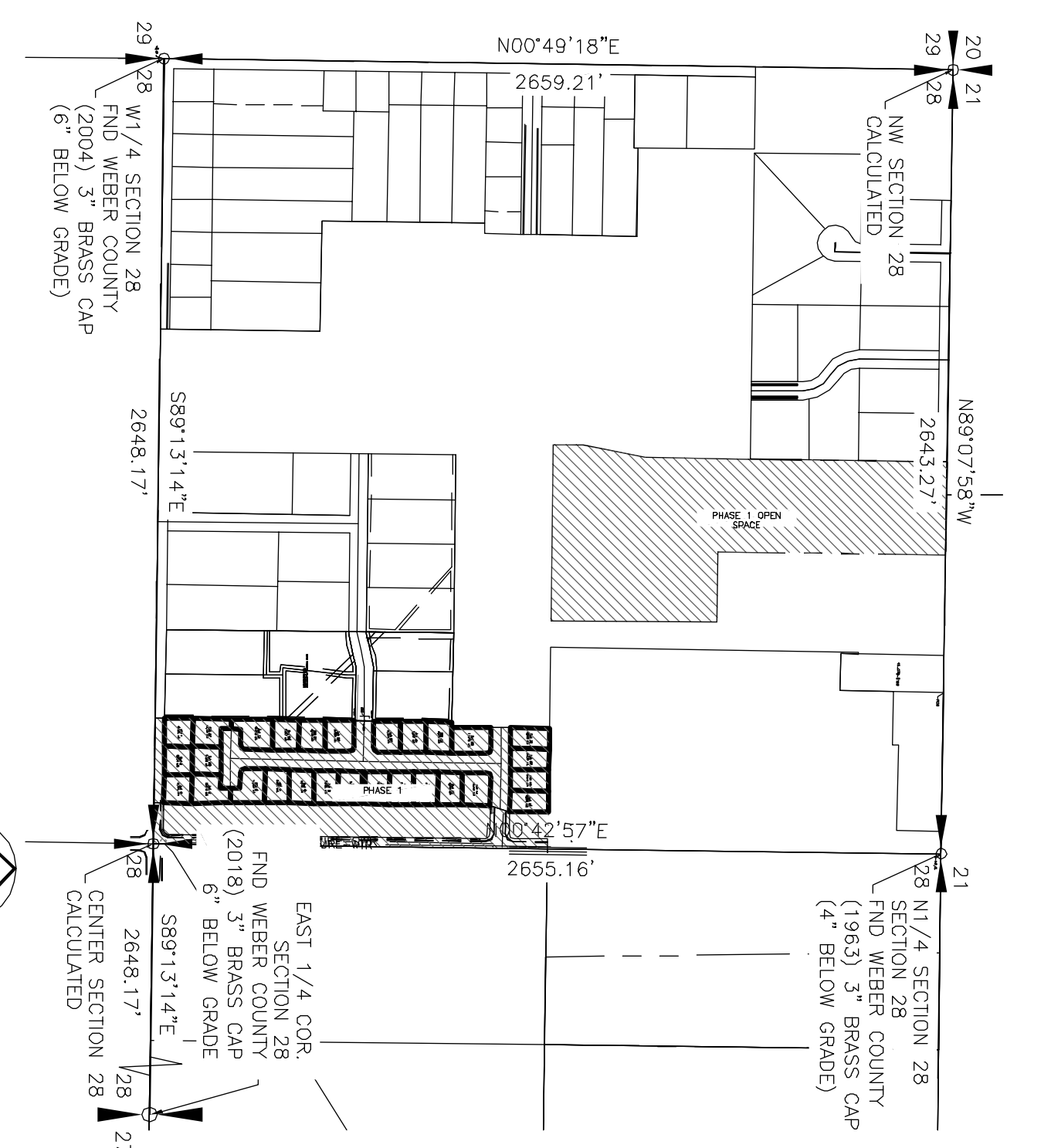
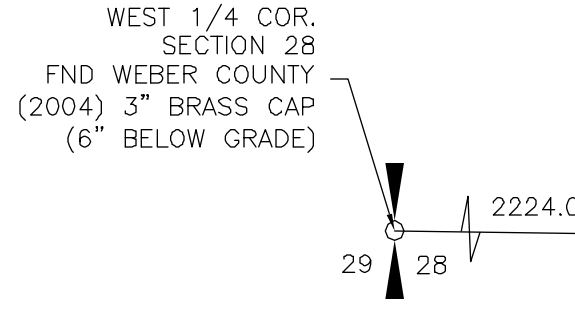
| | |
|---|--|
| SURVEYOR'S CERTIFICATE | |
| I, Brian G. Lyon, a Registered Land Surveyor, hold Certificate No. 2275617, in the State of Utah in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Act; and I have completed a survey of the property described on this plat in accordance with the provisions of Title 58, Chapter 22, and have prepared the subdivision map hereon, and have placed monuments as represented on this plat, and have hereby subdivided said tract into twenty-eight (28) lots, known hereafter as TAYLOR LANDING PHASE 1A, A CLUSTER SUBDIVISION, recorded as Subdivision 2020-12-01-0001, Township 6 North, Range 2 West of the Salt Lake Basin and Meridian, Weber County, Utah, and have caused the same to be recorded in the Recorder's Office and have caused the same to be recorded in the Recorder's Office and have caused the same to be recorded in the Recorder's Office and have caused the same to be recorded in the Recorder's Office. | |
| BOUNDARY DESCRIPTION | |
| Part of the East Half of the Northwest Quarter of Section 28, Township 6 North, Range 2 West of the Salt Lake Basin and Meridian described as follows: Commencing at the West Quarter Corner of Section 28, Township 6 North, Range 2 West of the Salt Lake Basin and Meridian; thence North 13°14'41.00" East 284.00 feet to a point on the south line of the Boyd Russell Subdivision, 1st Amendment; thence North 89°13'14.00" East 284.00 feet to the POINT OF BEGINNING and running thence N 00°45'08" E 1,001.00 feet along the east line of Boyd Russell Subdivision, 1st Amendment and its extension thereof; thence S 89°13'14" E 172.26 feet; thence N 00°45'08" E 132.54 feet; thence N 00°34'29" W 66.02 feet; thence S 89°13'14" E 284.00 feet; thence S 00°46'46" E 130.00 feet; thence S 00°46'46" W 130.00 feet; thence S 17°36'31" W 68.95 feet; thence S 00°42'56" W 90.95 feet; thence S 02°28'17" E 96.65 feet; thence S 00°46'08" W 127.46 feet to the south line of the Northwest Quarter of said Section 28, Township 6 North, Range 2 West of the Salt Lake Basin and Meridian; containing 832 acres, more or less. | |
| OWNER'S DEDICATION | |
| Know all by these presents that we the undersigned owners of the above-described tract of land, having caused the same to be surveyed and divided into lots and streets to hereafter be known as TAYLOR LANDING PHASE 1A A CLUSTER SUBDIVISION. Do hereby dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares, and dedicated to public use, upon and subject to the easements and covenants hereon set forth, as follows: To be used for the installation, maintenance and operation of public utility service lines, storm drainage facilities, irrigation canals for the perpetual preservation of water resources, and other public facilities, any and all buildings or structures being erected within such easements. To be used for recreational and open space purposes for the benefit of each lot owner association member in common with all other lot owners and the public. To be used for public parking spaces, open space, and other purposes. To be used for the installation, maintenance and operation of public utility service lines, storm drainage facilities, irrigation canals for the perpetual preservation of water resources, and other public facilities, any and all buildings or structures being erected within such easements. To be used for recreational and open space purposes for the benefit of each lot owner association member in common with all other lot owners and the public. To be used for public parking spaces, open space, and other purposes. To be used for the installation, maintenance and operation of public utility service lines, storm drainage facilities, irrigation canals for the perpetual preservation of water resources, and other public facilities, any and all buildings or structures being erected within such easements. To be used for recreational and open space purposes for the benefit of each lot owner association member in common with all other lot owners and the public. To be used for public parking spaces, open space, and other purposes. | |
| LIMITED LIABILITY ACKNOWLEDGEMENT | |
| Doug Nozler, Manager 3900 WEST/TAYLOR PARTNER, LLC | |
| STATE OF UTAH COUNTY OF _____ } ss | |
| On this _____ day of _____, A.D. 2020, personally appeared before me Doug Nozler who being by me duly sworn did say, that he is the Manager of 3900 WEST/TAYLOR PARTNER, LLC, a Utah Limited Liability Company, and that the said Limited Liability Company was organized on behalf of said Limited Liability Companies. | |
| MY COMMISSION EXPIRES: _____ COUNTY RECORDER _____ NOTARY PUBLIC _____ RESIDING AT _____ | |
| State of Utah, County of Weber, recorded and filed at the request of _____ Date: _____ Time _____ Fee _____ | |
| Index _____ Filed in: File of plats _____ County Recorder _____ | |




TAYLOR LANDING PHASE 1A
A CLUSTER SUBDIVISION
 PART OF THE NORTHWEST QUARTER OF SECTION 28,
 TOWNSHIP 6 NORTH, RANGE 2 WEST,
 SALT LAKE BASELINE AND MERIDIAN
 WEBER COUNTY, UTAH
FINAL PLAT

OPEN SPACE PHASE I BOUNDARY DESCRIPTION
 Part of the East Half of the Northwest Quarter of Section 28,
 Township 6 North, Range 2 West of the Salt Lake Base and
 Meridian described as follows:
 Commencing at the West Quarter Corner of Section 28, Township 6
 North, Range 2 West of the Salt Lake Base and Meridian
 monumented with a Brass Cap; thence S 89°13'14" E 2224.08 feet
 along the south line of the Northwest Quarter of said Section 28;
 thence N0°46'11" E 100.00 feet; thence S 89°32'33" E 236.27 feet
 to the POINT OF BEGINNING and running
 thence N 89°13'14" W 594.10 feet;
 thence N 00°49'18" E 100.00 feet;
 thence N 11°33'40" E 213.77 feet;
 thence N 00°49'48" E 353.36 feet to the Southeast Corner of
 Belmont Park Estates Subdivision, Phase 3;
 thence N 00°46'11" E 664.28 feet to the north line of the
 Northwest Quarter of said Section 28;
 thence S 89°07'58" E 314.43 feet along said north line;
 thence S 00°52'02" W 768.77 feet;
 thence S 89°32'33" E 236.27 feet;
 thence S 00°20'03" W 559.74 feet to the point of beginning,
 containing 12.81 acres, more or less.

NOTES:
 TAYLOR LANDING OVERALL SUBDIVISION
 TOTAL AREA: 109.83 ACRES
 PUBLIC AREA: 12.81 ACRES
 NET DEVELOPABLE GROUND: 96.08 ACRES
 NET OPEN SPACE: 58.97 ACRES (58.25%)
 PHASE 1 (INCLUDES PH1A AND FUTURE PH1B)
 PUBLIC AREA: 12.81 ACRES
 NET DEVELOPABLE GROUND: 9.18 ACRES
 NET OPEN SPACE: 12.81 ACRES (58.25%)



SECTION CONTROL MAP
 SCALE: 1"=500'
COUNTY RECORDER
 State of Utah, County of Weber, recorded and filed at the request
 of _____ Date _____ Time _____ Fee _____
 Index _____
 Filed in _____
 County Recorder _____

| DATE: JAN 2021 DRAWING NO: 2 2 of 2 | PROJECT TITLE TAYLOR LANDING PHASE 1A A CLUSTER SUBDIVISION PART OF THE NORTH HALF OF SECTION 28, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASELINE AND MERIDIAN WEBER COUNTY, TAYLOR, UTAH DRAWING TITLE FINAL PLAT | <table border="1"> <thead> <tr> <th>No.</th> <th>REVISIONS/ SUBMISSIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> REVIEWED: _____ CAD FILE: _____ DRAWN: _____ PROJECT NO.: _____ | No. | REVISIONS/ SUBMISSIONS | DATE | | | | Developer: Heritage Land Development 470 North 45th West Tremonton, Utah 84337 |  ALLIANCE CONSULTING ENGINEERS 150 EAST 200 NORTH SUITE P LOGAN, UTAH 84321 (435)755-5121 alliancelogan@yahoo.com | |
|---|--|--|-----|------------------------|------|--|--|--|---|---|--|
| No. | REVISIONS/ SUBMISSIONS | DATE | | | | | | | | | |
| | | | | | | | | | | | |