



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and/or action on a conditional use permit for Longfellow Bed & Breakfast Dwelling.
Agenda Date: Tuesday, December 22, 2020
Applicant: Dennis & Kathy Longfellow, Owners
File Number: ~~CUP 2020-20~~ **CUP 2020-16**

Property Information

Approximate Address: 4427 Powder Mountain Road, Eden, UT, 84310
Project Area: 1 acres
Zoning: Forest Valley - 3 Zone (FV-3)
Existing Land Use: Residential
Proposed Land Use: Bed and breakfast dwelling
Parcel ID: 22-117-0010
Township, Range, Section: T7N, R1E, Section 15 SW

Adjacent Land Use

North: Residential	South: Residential
East: Residential	West: Residential

Staff Information

Report Presenter: **Scott Perkes**
sperkes@co.weber.ut.us
801-399-8772
Report Reviewer: SB

Applicable Ordinances

- Weber County Land Use Code Title 101 Chapter 1 General Provisions, Section 7 Definitions
- Weber County Land Use Code Title 104 Chapter 14 (FV-3 Zone)
- Weber County Land Use Code Title 108 Chapter 4 (Conditional Uses)

Summary and Background

The applicant is requesting approval of a conditional use permit for the Longfellow Bed and Breakfast Dwelling located in the FV-3 zone at 4427 Powder Mountain Road in Eden (see **Exhibit A**). The FV-3 Zone allows a “bed and breakfast dwelling” as a conditional use. The bed and breakfast dwelling is proposed to occupy the basement of an existing single family dwelling. Access to the proposed B&B dwelling will be provided through an entrance located at the rear of the structure.

Analysis

General Plan: As a conditional use, this operation is allowed in the FV-3 Zone. With the establishment of appropriate conditions as determined by the Planning Commission, this operation will not negatively impact any of the goals and policies of the General Plan.

Zoning: The subject property is located within the Forest Valley (FV-3) Zone. The purpose of the FV-3 Zone can be further described in LUC §104-14-1 as follows:

The purpose of the FV-3 zone is to provide area for residential development in a forest setting at a low density, as well as to protect as much as possible the naturalistic environment of the development.

A Bed and Breakfast Dwelling is listed as a conditional use in the FV-3 zone.

A bed and breakfast dwelling is defined by LUC §101-2-3 as follows:

The term "bed and breakfast dwelling" means an owner-occupied dwelling in which not more than two rooms are rented out by the day, offering overnight lodgings to travelers, and where one or more meals are provided by the host family, the price of which may be included in the room rate.

The FV-3 Zone has specific standards identified in LUC §104-14-3 (b), that shall be met as part of the development process. The seven applicable standards for a bed and breakfast dwelling are listed below. Staff analysis of the proposed bed and breakfast dwelling per these standards is provided as *Italicized text* following each standard:

- 1) Two parking spaces shall be provided for the host family plus one space for each guest room;**
*In addition to the garage and driveway parking already established for the primary single-family dwelling (at least 4 parking spaces), the applicant is providing **two dedicated parking spaces** for the bed and breakfast dwelling within the side yard setback off of Snowflake Dr. Both of these dedicated spaces are located outside of the adjacent ROW. A sidewalk is proposed to connect these dedicated parking spaces with the bed and breakfast dwelling entrance to the rear of the structure (see **Exhibit B**). Per the proposed floor plan and approved building plans (see **Exhibit C & D**), the bed and breakfast dwelling will include two sleeping rooms, thus requiring a minimum of two dedicated parking spots.*
- 2) Proprietor or owner shall occupy the property;**
The owner intends to occupy the primary dwelling unit as their primary residence.
- 3) Meals shall only be served to overnight guests;**
The owner intends to utilize the included kitchen within the bed and breakfast dwelling to stock continental breakfast items for guests.
- 4) Signs are limited to a nameplate identification sign not exceeding two square feet in area per dwelling;**
The owner is not proposing to include signage as part of their application.
- 5) Not more than two guests sleeping rooms per dwelling;**
Per the proposed floor plan, only two sleeping rooms will be provided as part of the bed and breakfast dwelling.
- 6) Allowed only in existing dwellings with no exterior additions nor change in residential character;**
The proposed bed and breakfast dwelling will occupy the basement of the existing single-family dwelling. No exterior additions or alterations in residential character are proposed.
- 7) Business license shall be obtained.**
The applicant will be required to obtain a business license as a condition of conditional use permit approval.

Conditional Use Review: A review process has been outlined in LUC §108-4-3 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects. Thus far, the applicant has received conditional approval from the Weber Fire District, for the proposal.

The following is an analysis of the proposal reviewed against the conditional use standards:

- (1) Standards relating to safety for persons and property.**
The proposal is not anticipated or expected to negatively impact this property, surrounding properties, or persons. The Weber Fire District has conditioned their approval on the following:
 - a) The basement dwelling shall have functioning egress windows in the bedrooms.*
 - b) Smoke and CO detectors must be properly installed and working.*
 - c) Total occupancy load shall be kept at 10 or less including homeowners.*
- (2) Standards relating to infrastructure, amenities, and services.**
The proposal is not anticipated or expected to negatively impact any existing infrastructure, amenities, or services in the area.
- (3) Standards relating to the environment.**
The proposal is not anticipated or expected to negatively impact the environment.
- (4) Standards relating to the current qualities and characteristics of the surrounding area and compliance with the intent of the general plan.**
The proposal is not anticipated to substantially impact the surrounding area. As a conditional use, this operation is allowed in the FV-3 Zone. With the establishment of appropriate conditions as determined by the Planning Commission, this operation is not anticipated to negatively impact the surrounding areas or be at odds with any of the goals and policies of the General Plan.

Design Review: Design review is required for Bed and Breakfast Inns and Hotels. Bed and Breakfast Dwellings, due to their limited scale, are not required to be reviewed per the design review standards listed in LUC §108-7 (Design Review) or LUC §108-2 (Architectural, Landscape, & Screening Design Standards).

Exhibit A – Application

weber County Conditional Use Permit Application			
Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401			
Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
Property Owner Contact Information			
Name of Property Owner(s) DENNIS & CATHY LONGFELLOW		Mailing Address of Property Owner(s) 4427 POWDER MOUNTAIN ROAD EDEN UT 84310	
Phone 801 628 1235	Fax		
Email Address (required) nu4561@yahoo.com		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Authorized Representative Contact Information			
Name of Person Authorized to Represent the Property Owner(s) DENNIS LONGFELLOW		Mailing Address of Authorized Person 4427 POWDER MOUNTAIN ROAD EDEN UT 84310	
Phone 801 628 1235	Fax		
Email Address nu4561@yahoo.com		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Property Information			
Project Name BED & BREAKFAST		Total Acreage 1 ACRE	Current Zoning
Approximate Address 4427 POWDER MOUNTAIN ROAD EDEN UT 84310		Land Serial Number(s) PARCEL # 22-117-0010	
Proposed Use BED & BREAKFAST IN BASEMENT			
Project Narrative A BED & BREAKFAST DWELLING LOCATED IN BASEMENT OF DENNIS and CATHY LONGFELLOWS RESIDENTIAL HOME			

Property Owner Affidavit

I (We), _____, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.



(Property Owner)



(Property Owner)

Subscribed and sworn to me this 25 day of NOVEMBER, 20 20

(Notary)

Authorized Representative Affidavit

I (We), _____, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), _____, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

(Property Owner)

(Property Owner)

Dated this _____ day of _____, 20 _____, personally appeared before me _____, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.

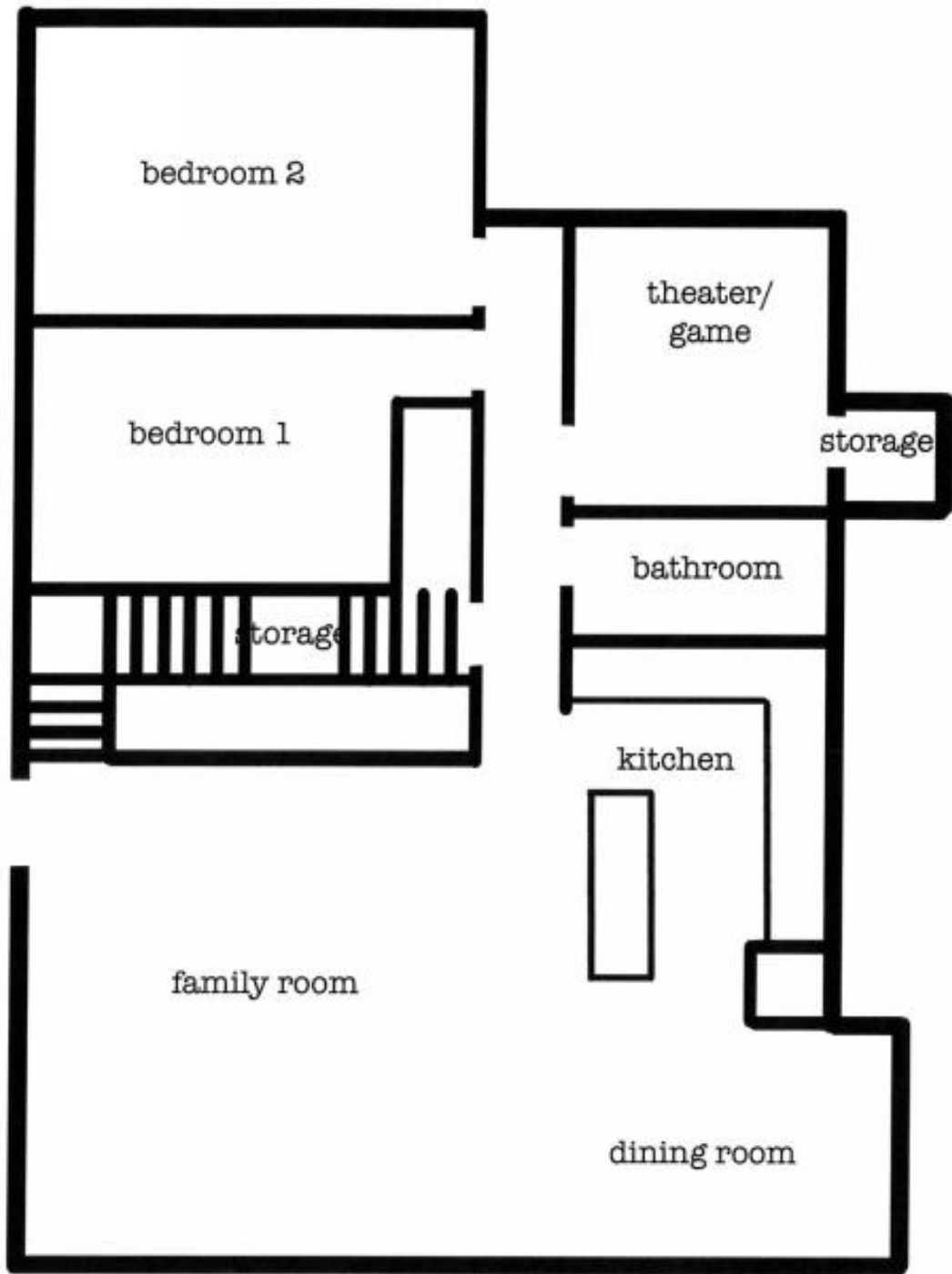
(Notary)

Exhibit B - Site Plan



sidewalk to entrance
2 parking stalls

Exhibit C - Floor Plan



Longfellow Bed and Breakfast

REVIEWED FOR CODE COMPLIANCE
WEBER COUNTY BUILDING INSPECTIONS

Stanley C. Berniche

COPYRIGHT NOTICE:
THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC. NO PART SHALL BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.

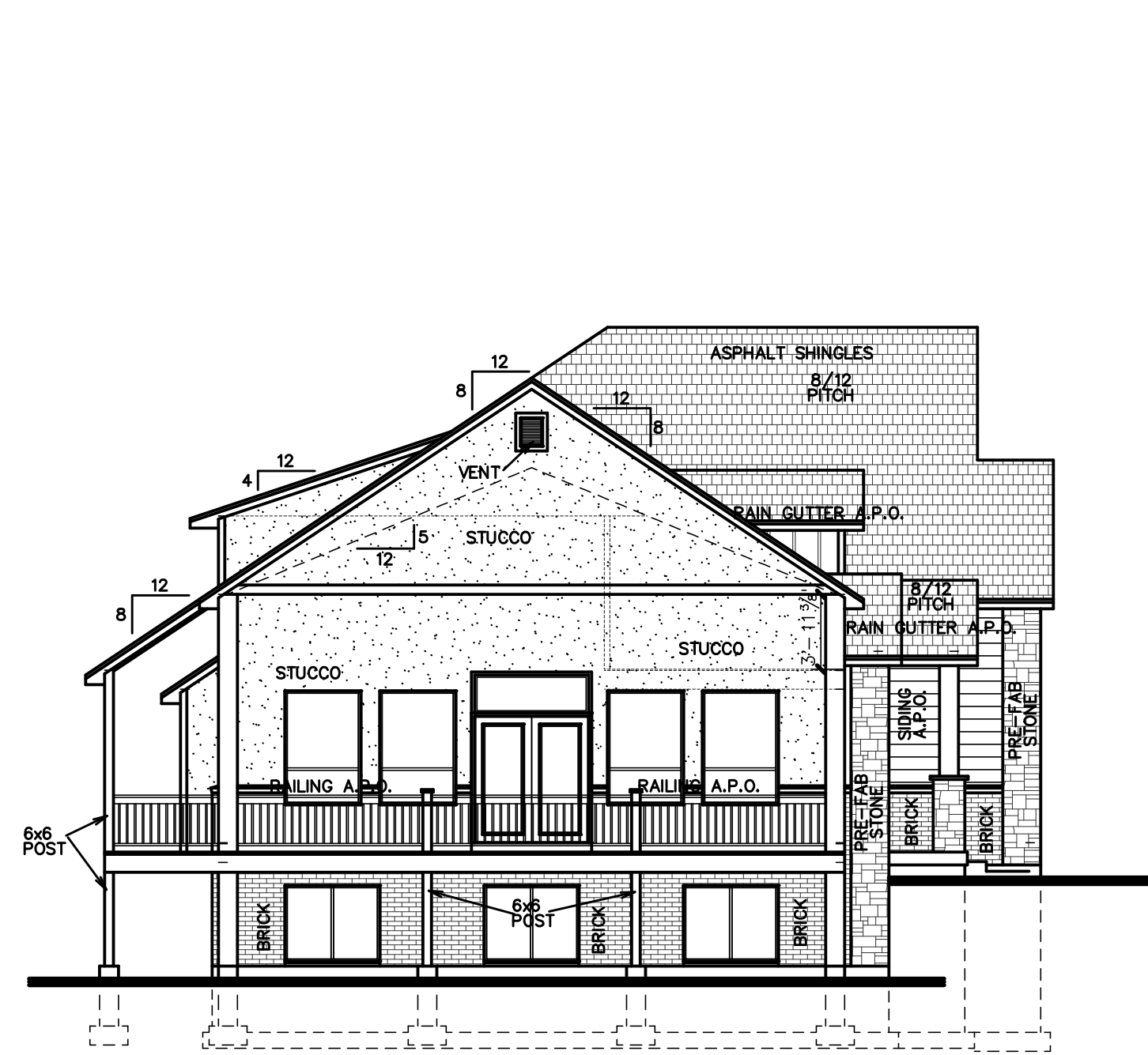
FOR: DENNIS & CATHY LONGFELLOW
LOT 11, SNOFLAKE SUBDIVISION NO. 2
4427 N. POWDER MOUNTAIN ROAD
EDEN, UTAH 84310

304 WEST PLEASANT VIEW DR.
OGDEN, UTAH 84414
PHONE: (801)-782-0484
FAX: (801)-782-8631
WWW.LOMONDVIEW.COM

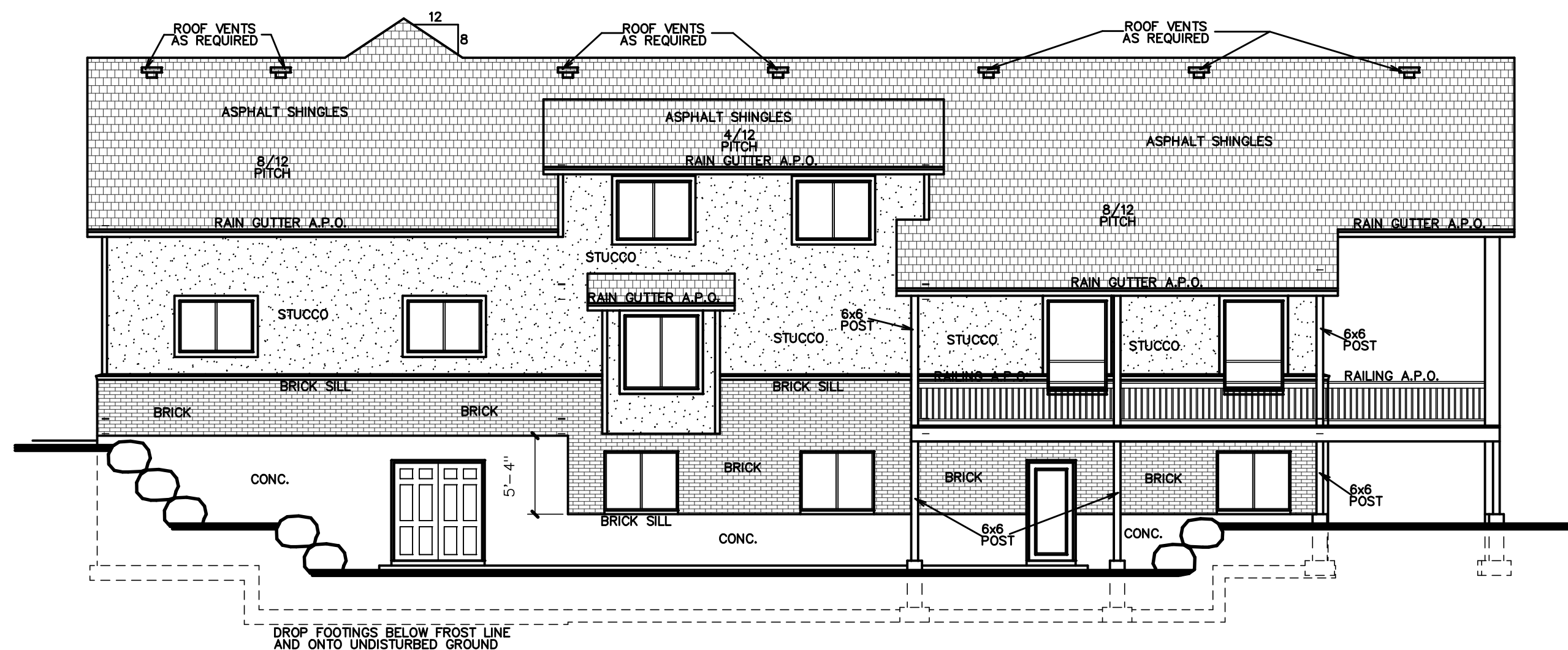


ELEVATIONS
DRAWN: CWH/BRH
TYPE: ORIGINAL DRAWING
DATE: 3/13/2019
JOB NO.: 19012
PLAN NO.: 1-2-1641/3-1-940 TWO-STORY

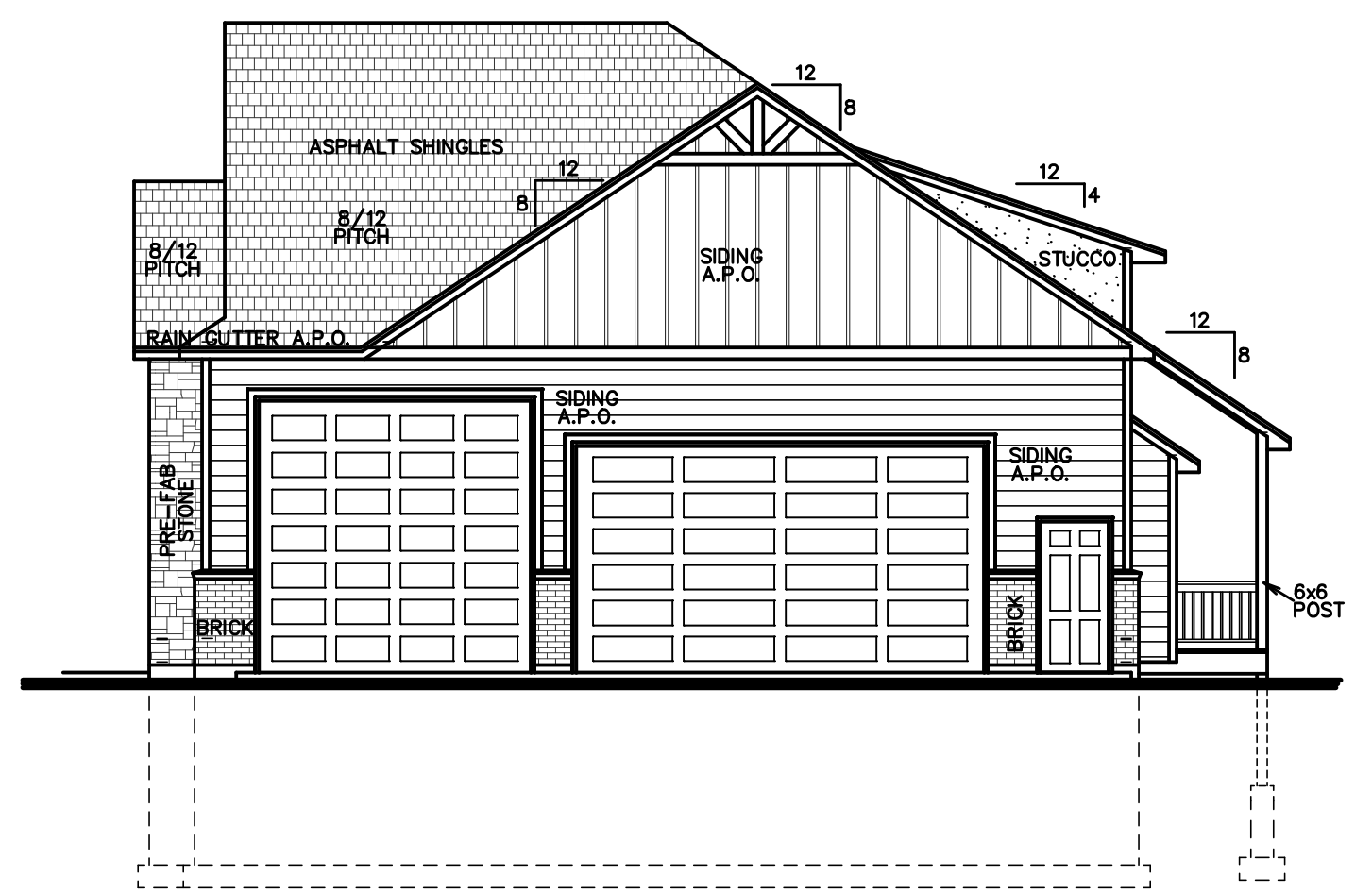
SHEET TITLE:
S2.1



LEFT ELEVATION
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"



RIGHT ELEVATION
SCALE 1/8"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"

DESIGN LOADS	
ROOF:	SNOW - 55 psf
	DEAD - 17 psf
FLOOR:	LIVE - 40 psf
	DEAD - 12 psf
DECK:	LIVE - 60 psf
	DEAD - 12 psf
GROUND SNOW LOAD - 79 psf	
ULTIMATE DESIGN WIND SPEED, V _{ult} - 115 mph	
NOMINAL DESIGN WIND SPEED, V _{nd} - 90 mph	
SEISMIC DESIGN CATEGORY 'D'	
SITE CLASS 'D'	
SOIL BEARING PRESSURE - 1500 psf	
CONTRACTOR/OWNER SHALL VERIFY ACCURACY OF SNOW LOADS WITH BUILDING OFFICIAL. GYP-CRETE OR LIGHTWEIGHT CONC. HAS BEEN INCLUDED IN THE FLOOR DESIGN.	

NOTICE AND WARNING
THESE DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.
THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:
LOT # 11
SUBDIVISION: SNOFLAKE SUBDIVISION NO. 2
ADDRESS: 4427 N. POWDER MOUNTAIN ROAD
CITY: EDEN STATE: UTAH
ANY OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY FORBIDDEN AND VIOLATORS WILL BE PROSECUTED.
DATE: 3/13/2019

THESE PLANS, DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS AND I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES FOR ANY OTHER PROJECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO ME AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES FOR ANY OTHER PROJECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO ME AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

REVIEWED FOR CODE COMPLIANCE
WEBER COUNTY BUILDING INSPECTIONS

Stanley C. Berniche

NOTES TO PLAN:

- SEE GENERAL STRUCTURAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- FOOTINGS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOOTING SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FC2.0 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING INTERIOR WOOD BEARING WALLS SHALL BE A FC1.5 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING A COV. PATIO/DECK POST SHALL BE A FS3.0 FOOTING UNLESS NOTED OTHERWISE. SEE DETAILS 9/S4.1 AND 9/S4.1 FOR FOOTING STEPS, CORNERS, AND INTERSECTIONS.
- FOUNDATION WALLS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOUNDATION WALL SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. REINFORCING FOR WALLS ON THE FOUNDATION WALL HEIGHT AS DESIGNATED IN THE SCHEDULE. CONTACT THE DESIGNER FOR FOUNDATION WALL HEIGHTS (HEIGHT BETWEEN LOW AND HIGH GRADE) GREATER THAN THAT SHOWN IN THE SCHEDULE. SEE DETAIL 4/S4.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE FLOORS ARE PROPERLY INSTALLED TO PROVIDE ADEQUATE BRACING. SOIL USED FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
- ANCHOR BOLTS: SEE THE GENERAL STRUCTURAL NOTES AND SHEAR WALL SCHEDULE ON SHEET S1.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
- HOLDOWNS: SEE THE METAL HOLDOWN SCHEDULE ON SHEET S1.1 AND DETAILS 5/S4.2 FOR ADDITIONAL INFORMATION. PROVIDE HOLDOWNS AS NOTED ON THE DRAWINGS. USE RIM JOIST VERSION OF STRAP WHEN LOCATED AT RIM JOIST FOR MISSED OR MISPLACED HOLDOWNS. USE AN ALTERNATE HOLDOWN STRAP AS NOTED IN THE COMMENTS COLUMN OF THE METAL HOLDOWN SCHEDULE.
- RETAINING WALLS: SEE DETAILS 1/S4.1 AND 2/S4.1 FOR RETAINING WALL CONSTRUCTION INFORMATION FOR LANDSCAPE RETAINING WALLS ONLY. CONTACT THE DESIGNER FOR RETAINING WALLS EXCEEDING THE HEIGHT SHOWN IN THE DETAILS OR AREAS WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF THE WALL OR WALL INTERSECTIONS.
- DECK FOOTINGS: PLASTIC CONCRETE SPOT FOOTING FORMS WITH EQUIVALENT OR GREATER FOOTING FOOTPRINT AND REINFORCING MAY BE USED IN PLACE OF TRADITIONALLY FORMED FOOTINGS.
- CONCRETE PORCH SLABS: PROVIDE REINFORCING FOR SELF SUSPENDED CONCRETE PORCH SLABS AS SHOWN IN DETAIL 4/S5.2.
- CONCRETE SLABS OVER BACKFILL: PROVIDE REBAR DOWELS FROM CONCRETE SLAB TO ADJACENT CONCRETE FOUNDATION WALLS OVER BACKFILL AREAS AS SHOWN IN DETAIL 3/S5.2.
- CONCRETE SLAB CONTROL JOINTS: SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS PROVIDED AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION. INSTALL JOINTS SO THE LENGTH TO WIDTH RATIO BETWEEN THE JOINTS IS NOT MORE THAN 1.25 TO 1. INSTALL CONTROL JOINTS WITHIN 24 HOURS OF CONCRETE PLACEMENT BY SAW CUTTING TO A DEPTH OF THE THICKNESS OF THE SLAB. ALL DISCONTINUOUS CONTROL OR CONSTRUCTION JOINTS SHALL BE REINFORCED WITH (2) #4 x 48" REBAR. SEE DETAILS.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3/17" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5/8" THICKNESS. ALL SHEAR AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- EXTERIOR WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE A SW2 TYPE SHEAR WALL UNLESS NOTED OTHERWISE. TO RESIST SEISMIC WIND LOADS, ALL EXTERIOR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THROUGH S4.3, U.N.O. WALLS NOTED AS "BRACED WALLS" SHALL BE A SW1 SHEAR WALL TYPE.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THROUGH S4.3, U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWING, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- FLOOR FRAMING: ALL FLOOR JOISTS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S5.1 THRU S5.2. DUAL FLOOR JOISTS THAT RUN PARALLEL TO EXTERIOR BEARING WALLS AND/OR SHEAR WALLS SHALL HAVE SOLID BLOCKING PROVIDED BY ONE OF THE METHODS SHOWN IN DETAILS 2, 3, 5, 6, 8, OR 9/S5.1, WHERE POSSIBLE, ALL FLOOR FRAMING SHALL BE CONTINUOUS OVER INTERMEDIATE BEARING SUPPORTS.
- FLOOR FRAMING PERFORMANCE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEEDS THE MINIMUM CODE REQUIREMENTS AND REPRESENT A STANDARD FLOOR PERFORMANCE. HOWEVER, DUE TO VARIATIONS IN AN INDIVIDUAL'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE, THE OWNER/CONTRACTOR SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM IS ACCEPTABLE TO THE OWNER'S EXPECTATIONS BEFORE BEGINNING FLOOR CONSTRUCTION.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE METAL POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 900 POUNDS UPLIFT. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST 1" STANDOFF BASE. WHERE POSTS ARE INSTALLED ON CONC. PIERS OR FOOTINGS SEE DETAILS 9/S4.1, 10/S4.1, AND 8/S4.2 FOR ADDITIONAL INFORMATION.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- DECK FLOORS: ALL DECK FLOORS SHALL BE HORIZONTALLY TIED TO INTERIOR FLOORS TO RESIST SEISMIC FORCES. SEE DETAIL 11/S5.1.
- TIE UPPER FLOOR WALLS TO LOWER FLOOR WALLS WITH SIMPSON M548 STRAP WHERE NOTED ON PLANS. SEE METAL CONNECTOR SCHEDULE AND DETAIL 8.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILINGS, RAISED CEILINGS, ETC.), NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS, RAFTER, AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S6.1 THRU S6.3, U.N.O. AT ROOF OVERBUILD AREAS, PROVIDE OVERBUILD TRUSSES OR STICK FRAME AS SHOWN IN DETAIL 6/S6.2.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.

EXPOSED GLUE LAMINATED BEAMS SHALL BE PRESSURE TREATED WITH PRESERVATIVE OR BE MANUFACTURED FROM NATURALLY DURABLE OR PRESERVATIVE TREATED WOOD PER THE 2015 IRC, SECTION R317.1.5

FLOOR FRAMING PERFORMANCE NOTE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEEDS THE MINIMUM CODE REQUIREMENTS AND REPRESENT A STANDARD FLOOR PERFORMANCE. HOWEVER, DUE TO VARIATIONS IN AN INDIVIDUAL'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE, THE OWNER/CONTRACTOR SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM IS ACCEPTABLE TO THE OWNER'S EXPECTATIONS BEFORE BEGINNING FLOOR CONSTRUCTION.

OPENING PROTECTION PER SECTION R302.5.1 OF THE 2015 IRC.

FIRE PROTECT STAIRS PER SECTION R302.5 OF THE 2015 IRC.

OWNER OR CONTRACTOR SHALL VERIFY WITH THE WINDOW SUPPLIER THAT THE WINDOW CLEAR OPENING WITHIN THE ANNUAL AREA FOR EMERGENCY EGRESS WINDOWS MEET THE 2015 IRC SECTION R310.2.1 REQUIREMENTS.

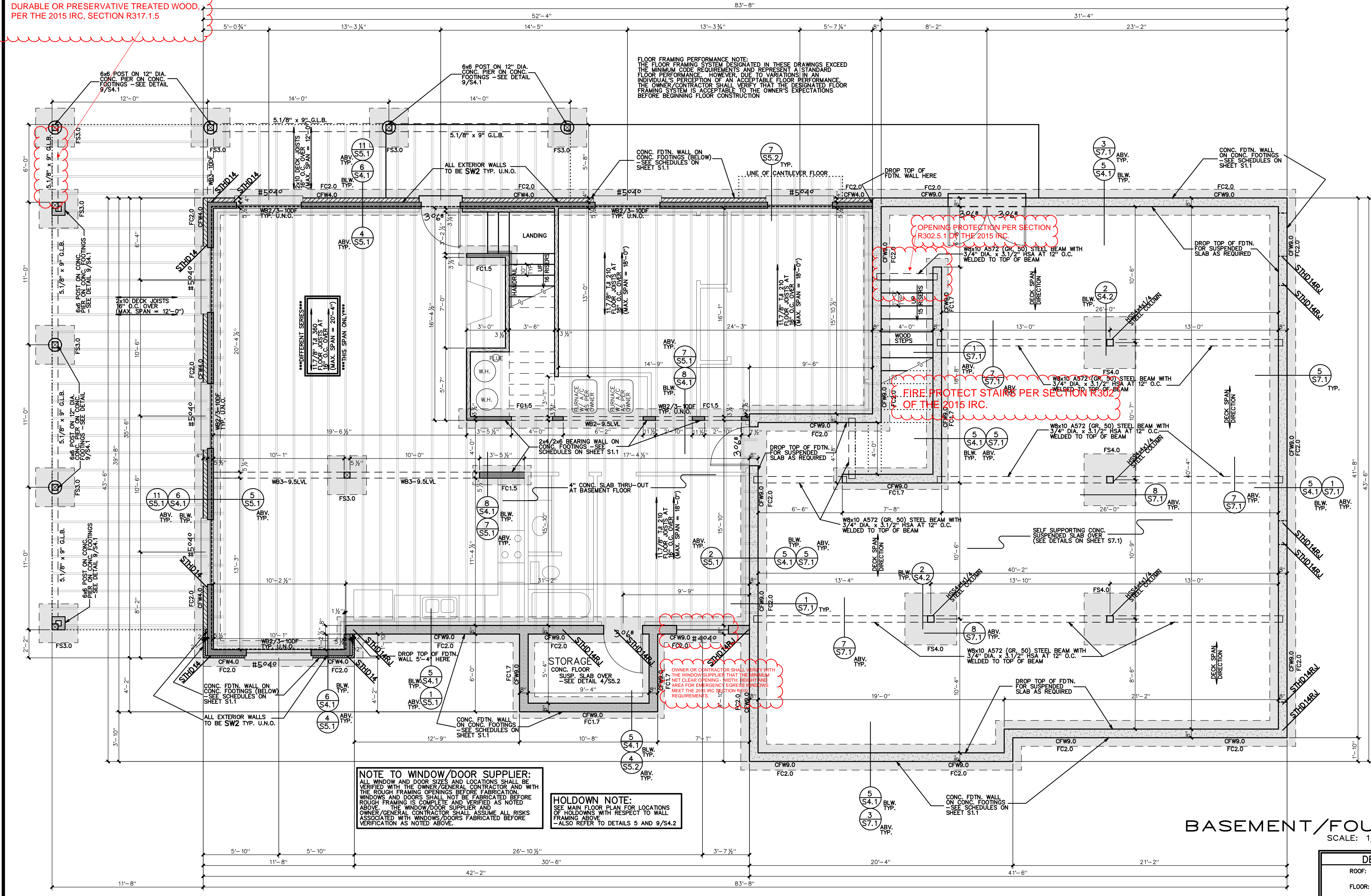
NOTE TO WINDOW/DOOR SUPPLIER: ALL WINDOW AND DOOR SIZES AND LOCATIONS SHALL BE VERIFIED WITH THE OWNER/GENERAL CONTRACTOR AND WITH THE ROUGH FRAMING OPENINGS BEFORE FABRICATION. WINDOWS AND DOORS SHALL NOT BE FABRICATED BEFORE ROUGH FRAMING IS COMPLETE AND VERIFIED AS NOTED ABOVE. THE WINDOW/DOOR SUPPLIER SHALL ASSUME ALL RISKS ASSOCIATED WITH WINDOW/DOORS FABRICATED BEFORE VERIFICATION AS NOTED ABOVE.

HOLDOWN NOTE: SEE MAIN FLOOR PLAN FOR LOCATIONS OF HOLDOWNS WITH RESPECT TO WALL FRAMING. ALSO REFER TO DETAILS 5 AND 9/S4.2

FOOTINGS ARE TO BEAR ON SUITABLE NATURAL SOIL OR PROPERLY COMPACTED AND TESTED STRUCTURAL FILL. IF BEARING ON FILL, COMPACTION TEST AND SOILS REPORT ARE REQUIRED.

STEP FOOTINGS AS NECESSARY TO MAINTAIN THE MINIMUM REQUIRED FROST DEPTH. CONTACT ENGINEER OF RECORD FOR APPROVAL PRIOR TO MAKING ANY FOOTING/ FOUNDATION CHANGES.

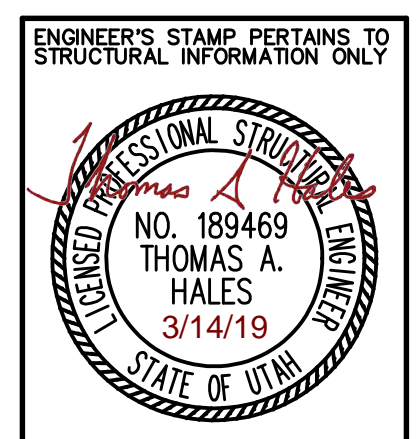
MINIMUM FROST DEPTH FOR ALL EXTERIOR CONTINUOUS AND SPOT FOOTINGS SHALL BE 40" BELOW FINISHED GRADE.



BASEMENT/FOUNDATION PLAN
SCALE: 1/4"=1'-0"

DESIGN LOADS	
ROOF:	SNOW - 55 paf
	DEAD - 17 paf
FLOOR:	LIVE - 40 paf
	DEAD - 12 paf
DECK:	LIVE - 60 paf
	DEAD - 12 paf
GROUND SNOW LOAD - 79 paf	
ULTIMATE DESIGN WIND SPEED, V _{ult} - 115 mph	
NOMINAL DESIGN WIND SPEED, V _{des} - 90 mph	
SEISMIC DESIGN CATEGORY 'D'	
SITE CLASS 'D'	
SOIL BEARING PRESSURE - 1500 paf	

NOTICE AND WARNING
THESE DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.
THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:
LOT # 11
SUBDIVISION SNOWFLAKE SUBDIVISION NO. 2
ADDRESS 4427 N. POWDER MOUNTAIN ROAD
CITY: EDEN STATE: UTAH
ANY OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY FORBIDDEN AND VIOLATORS WILL BE PROSECUTED.
DATE: 3/13/2019



CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

COPYRIGHT NOTICE:
THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.

FOR: DENNIS & CATHY LONGFELLOW
LOT 11, SNOWFLAKE SUBDIVISION NO. 2
4427 N. POWDER MOUNTAIN ROAD
EDEN, UTAH 84310

304 WEST PLEASANT VIEW DR.
ODEN, UTAH 84414
PHONE: (801)-782-0484
FAX: (801)-782-8631
WWW.LOMONDVIEW.COM

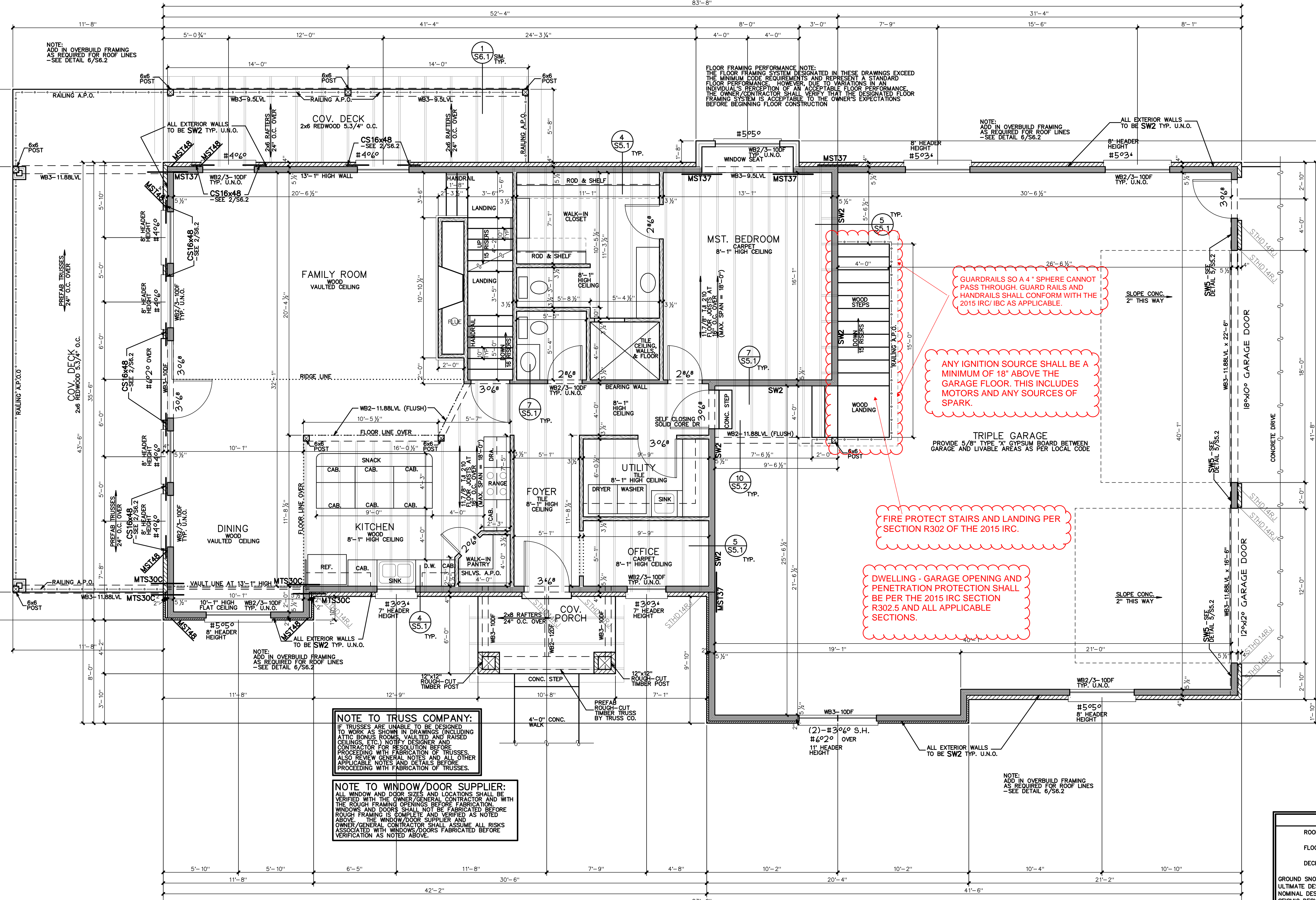


BASEMENT/FOUNDATION PLAN
DRAWN: CWH/BRH
TYPE: ORIGINAL DRAWING
DATE: 3/13/2019
JOB NO.: 19012
PLAN NO.: 1-2, 1641/3-1-940 TWO-STORY
SHEET: S2.2

REVIEWED FOR CODE COMPLIANCE
WEBER COUNTY BUILDING INSPECTIONS
 Stanley C. Berniche

NOTES TO PLAN:

- SEE GENERAL STRUCTURAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- FOOTINGS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOOTING SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FC-0 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING INTERIOR WOOD BEARING WALLS SHALL BE A FC-15 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING A COV. PATIO/DECK SHALL BE A FC-30 FOOTING UNLESS NOTED OTHERWISE. SEE DETAILS 1/54.1 AND 4/54.1 FOR FOOTING STEPS, CORNERS, AND INTERSECTIONS.
- FOUNDATION WALLS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOUNDATION WALL SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. REINFORCING SHALL BE BASED ON THE FOUNDATION WALL HEIGHT AS DESIGNATED IN THE SCHEDULE. CONTACT THE DESIGNER FOR FOUNDATION WALLS WITH HEIGHTS (HEIGHT BETWEEN LOW AND HIGH GRADES) GREATER THAN THAT SHOWN IN THE SCHEDULE. SEE DETAIL 4/54.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE FLOORS ARE PROPERLY INSTALLED TO PROVIDE ADEQUATE BRACING. SOIL USED FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
- ANCHOR BOLTS: SEE THE GENERAL STRUCTURAL NOTES AND SHEAR WALL SCHEDULE SHEET S1.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
- HOLD-DOWNS: SEE THE METAL HOLD-DOWN SCHEDULE ON SHEET S1.1 AND DETAILS 5 & 9/54.2 FOR ADDITIONAL INFORMATION. PROVIDE HOLD-DOWNS AS NOTED ON THE DRAWINGS. USE RIM JOIST VERSION OF STRAP WHEN LOCATED AT RIM JOIST FOR WOOD OR MISPLACED HOLD-DOWNS USE ANCHOR STRAP AND DOWN STRAP AS NOTED IN THE COMMENTS COLUMN OF THE METAL HOLD-DOWN SCHEDULE.
- RETAINING WALLS: SEE DETAILS 1/54.1 AND 2/54.1 FOR RETAINING WALL CONSTRUCTION INFORMATION FOR WALLS RETAINING LAND AND ONLY. CONTACT THE DESIGNER FOR RETAINING WALLS EXCEEDING THE HEIGHT SHOWN IN THE DETAIL OR AREAS WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF TOP OF WALL.
- DECK FOOTINGS: PLASTIC CONCRETE SPOT FOOTING FORMS WITH EQUIVALENT OR GREATER FOOTING FOOTPRINT AND REINFORCING MAY BE USED IN PLACE OF TRADITIONALLY FORMED FOOTINGS.
- CONCRETE PORCH SLABS: PROVIDE REINFORCING FOR SELF-SUSPENDED CONCRETE PORCH SLABS AS SHOWN IN DETAIL 4/55.2.
- CONCRETE SLABS OVER BACKFILL: PROVIDE REBAR DOWELS FROM CONCRETE TO CONCRETE WALLS OVER BACKFILL AREAS AS SHOWN IN DETAIL 3/55.2.
- CONCRETE SLAB CONTROL JOINTS: SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS PROVIDED AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION. INSTALL JOINTS SO THE LENGTH TO WIDTH RATIO BETWEEN THE JOINTS IS NOT MORE THAN 1.25 TO 1. INSTALL CONTROL JOINTS WITHIN 24 HOURS OF CONCRETE PLACEMENT BY SAW CUTTING TO THE DEPTH OF THE THICKNESS OF THE SLAB. DISCONTINUOUS CONTROL OR CONSTRUCTION JOINTS SHALL BE REINFORCED WITH (2) #4 x 48" REBAR. SEE DETAILS.
- WALLS: 2-4 WALLS ARE SHOWN WITH A 3/12" THICKNESS AND 2-6 WALLS ARE SHOWN WITH A 5/12" THICKNESS. ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- SHEAR WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. EXTERIOR WALLS SHALL BE A SW2 TYPE SHEAR WALL UNLESS NOTED OTHERWISE. TO RESIST SEISMIC FORCES, ALL BEARING WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS S4.1 THRU S6.3 U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS S4.1 THRU S6.3 U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWINGS, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- FLOOR FRAMING: ALL FLOOR JOISTS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S5.1 THRU S5.2. U.N.O. FLOOR JOISTS THAT RUN PARALLEL TO EXTERIOR BEARING WALLS OR SHEAR WALLS SHALL HAVE SOLID BLOCKING PROVIDED BY ONE OF THE METHODS SHOWN IN DETAILS 2, 3, 5, 6, 8, OR 9/55.2 WHERE POSSIBLE. ALL FLOOR FRAMING SHALL BE CONTINUOUS OVER INTERMEDIATE BEARING.
- FLOOR FRAMING PERFORMANCE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEEDS THE MINIMUM CODE REQUIREMENTS AND REPRESENTS AN INDIVIDUAL'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE. THE CIVIL CONTRACTOR SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM IS ACCEPTABLE TO THE OWNER'S EXPECTATIONS BEFORE BEGINNING FLOOR CONSTRUCTION.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE METAL POST CAPS AND BEARER CONNECTORS INSTALLED FOR AT LEAST 900 POUNDS OF WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST 1" STANDOFF BASE WHERE POSTS ARE INSTALLED ON CONC. PIERS OR FOOTINGS. SEE DETAILS 9/54.1, 10/54.1, AND 8/54.2 FOR ADDITIONAL INFORMATION.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- DECK FLOORS: ALL DECK FLOORS SHALL BE HORIZONTALLY TIED TO INTERIOR FLOORS TO RESIST SEISMIC FORCES. SEE DETAIL 11/55.1.
- THE UPPER FLOOR WALLS TO LOWER FLOOR WALLS WITH SIMPSON MST48 STRAP WHERE NOTED ON PLANS. SEE METAL CONNECTOR SCHEDULE AND DETAIL 6/55.2.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILING, RAISED CEILING, ETC.) NOTIFY THE FABRICATOR AND CONTRACTOR FOR RESOLUTION BEFORE FABRICATION. PROVIDE OVERBUILD TRUSSES OR STICK FRAME AS SHOWN IN DETAIL 6/56.2.
- TRUSS, RAFTER AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S5.1 THRU S6.3 U.N.O. CONTACT THE FABRICATOR AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.



GUARDRAILS SO A 4" SPHERE CANNOT PASS THROUGH. GUARD RAILS AND HANDRAILS SHALL CONFORM WITH THE 2015 IRC/IBC AS APPLICABLE.

ANY IGNITION SOURCE SHALL BE A MINIMUM OF 18" ABOVE THE GARAGE FLOOR. THIS INCLUDES MOTORS AND ANY SOURCES OF SPARK.

FIRE PROTECT STAIRS AND LANDING PER SECTION R302 OF THE 2015 IRC.

DWELLING - GARAGE OPENING AND PENETRATION PROTECTION SHALL BE PER THE 2015 IRC SECTION R302.5 AND ALL APPLICABLE SECTIONS.

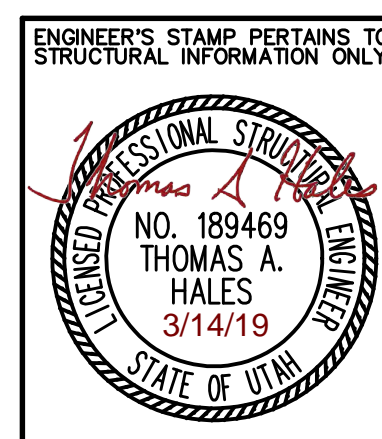
NOTE TO TRUSS COMPANY:
 IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK AS SHOWN IN DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED AND RAISED CEILING, ETC.) NOTIFY DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE FABRICATION. PROVIDE OVERBUILD TRUSSES OR STICK FRAME AS NOTED ABOVE. THE WINDOW/DOOR SUPPLIER AND OWNER/GENERAL CONTRACTOR SHALL ASSUME ALL RISKS ASSOCIATED WITH WINDOWS/DOORS FABRICATED BEFORE VERIFICATION AS NOTED ABOVE.

NOTE TO WINDOW/DOOR SUPPLIER:
 ALL WINDOW AND DOOR SIZES AND LOCATIONS SHALL BE VERIFIED WITH THE OWNER/GENERAL CONTRACTOR AND WITH THE ROUGH FRAMING OPENINGS BEFORE FABRICATION. WINDOWS AND DOORS SHALL NOT BE FABRICATED BEFORE ROUGH FRAMING IS COMPLETE AND VERIFIED AS NOTED ABOVE. THE WINDOW/DOOR SUPPLIER AND OWNER/GENERAL CONTRACTOR SHALL ASSUME ALL RISKS ASSOCIATED WITH WINDOWS/DOORS FABRICATED BEFORE VERIFICATION AS NOTED ABOVE.

MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 MAIN FLOOR AREA = 1641 SQ. FT.
 UPPER FLOOR AREA = 940 SQ. FT.
 TOTAL AREA = 2581 SQ. FT.
 GARAGE AREA = 1580 SQ. FT.
 COV. PORCH AREA = 54 SQ. FT.
 DECK AREA = 616 SQ. FT.

DESIGN LOADS	
ROOF:	SNOW - 55 pcf
	DEAD - 17 pcf
FLOOR:	LIVE - 40 pcf
	DEAD - 12 pcf
DECK:	LIVE - 60 pcf
	DEAD - 12 pcf
GROUND SNOW LOAD - 79 pcf	
ULTIMATE DESIGN WIND SPEED, V _W - 115 mph	
NOMINAL DESIGN WIND SPEED, V _{WD} - 90 mph	
SEISMIC DESIGN CATEGORY 'D'	
SITE CLASS 'D'	
SOIL BEARING PRESSURE - 1500 pcf	
CONTRACTOR/OWNER SHALL VERIFY ACCURACY OF SNOW LOADS WITH BUILDING OFFICIAL AND CIVIL ENGINEER OR LIGHTWEIGHT CONC. HAS BEEN INCLUDED IN THE FLOOR DESIGN.	

NOTICE AND WARNING
 THESE DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.
 THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:
 LOT # 11
 SUBDIVISION SNOFLAKE SUBDIVISION NO. 2
 ADDRESS 4427 N. POWDER MOUNTAIN ROAD
 CITY: EDEN STATE: UTAH
 ANY OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY FORBIDDEN AND VIOLATORS WILL BE PROSECUTED.
 DATE: 3/13/2019



CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

COPYRIGHT NOTICE:
 THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.
 FOR: DENNIS & CATHY LONGFELLOW
 LOT 11, SNOFLAKE SUBDIVISION NO. 2
 4427 N. POWDER MOUNTAIN ROAD
 EDEN, UTAH 84414
 304 WEST PLEASANT VIEW DR.
 EDEN, UTAH 84414
 PHONE: (801)-782-0484
 FAX: (801)-782-8631
 WWW.LOMONDVIEW.COM

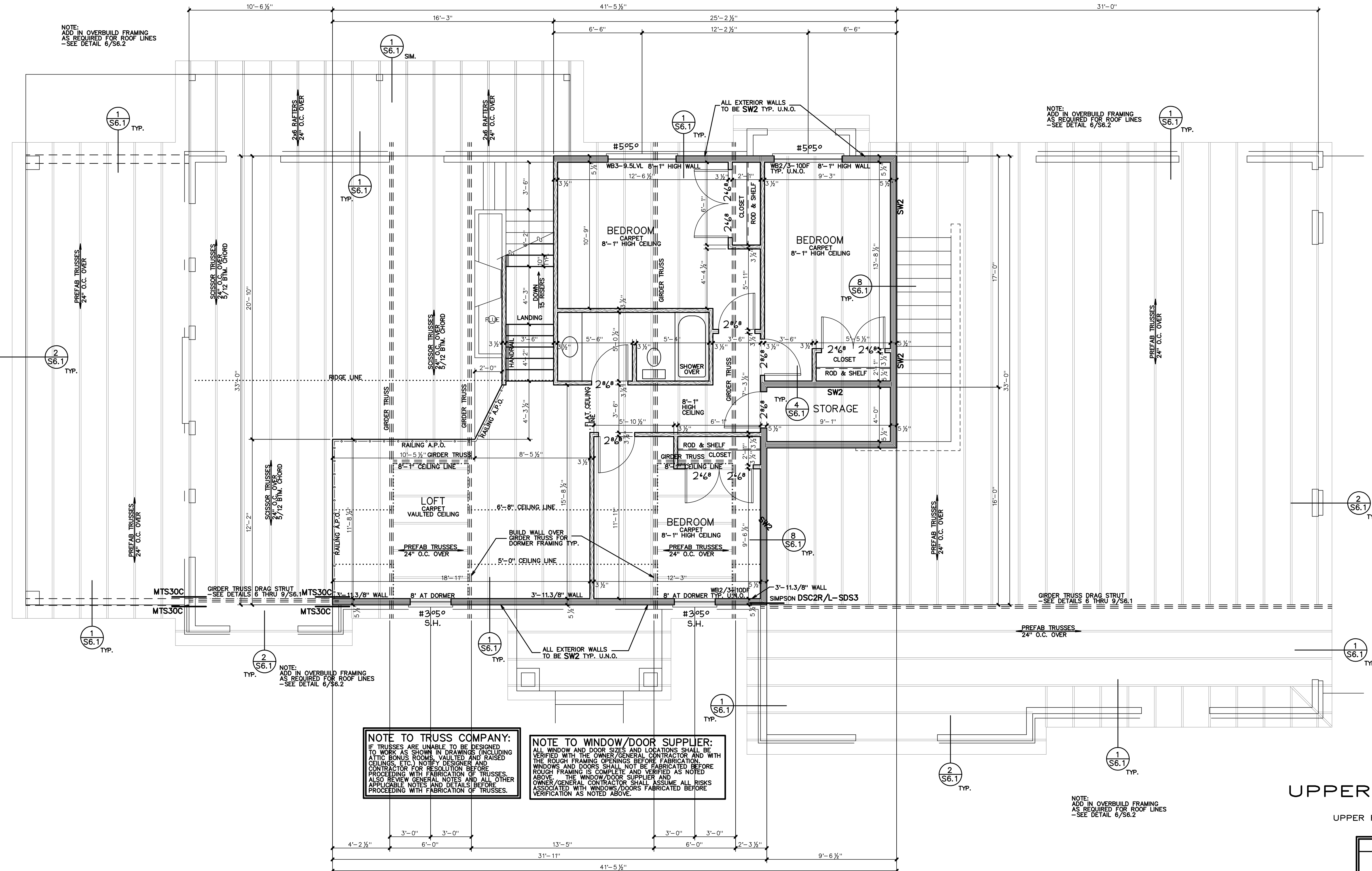
MAIN FLOOR PLAN
 DRAWN: CWH/BRH
 TYPE: ORIGINAL DRAWING
 DATE: 3/13/2019
 JOB NO.: 19012
 PLAN NO.: 1-2-1641/3-1-940 TWO-STORY
 SHEET: S2.3

REVIEWED FOR CODE COMPLIANCE
WEBER COUNTY BUILDING INSPECTIONS

Stanley C. Berniche

NOTES TO PLAN:

1. SEE GENERAL STRUCTURAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
2. FOOTINGS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOOTING SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FC2.0 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING INTERIOR WOOD BEARING WALLS SHALL BE A FC1.5 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING A COV. PATIO/DECK POST SHALL BE A FS3.0 FOOTING UNLESS NOTED OTHERWISE. SEE DETAILS 3/S4.1 AND 4/S4.1 FOR FOOTING STEPS, CORNERS, AND INTERSECTIONS.
3. FOUNDATION WALLS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOUNDATION WALL SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. REINFORCING SHALL BE BASED ON THE FOUNDATION WALL HEIGHT AS DETERMINED IN THE SCHEDULE. CONTACT THE DESIGNER FOR FOUNDATION WALL HEIGHTS. HEIGHT BETWEEN LOW AND HIGH GRADE) GREATER THAN THAT SHOWN IN THE SCHEDULE. SEE DETAIL 4/S4.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE FLOORS ARE PROPERLY INSTALLED TO PROVIDE ADEQUATE BRACING. USE FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
4. ANCHOR BOLTS: SEE THE GENERAL STRUCTURAL NOTES AND SHEAR WALL SCHEDULE ON SHEET S1.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
5. HOLDOWNS: SEE THE METAL HOLDOWN SCHEDULE ON SHEET S1.1 AND DETAILS 5 & 7/S4.2 FOR ADDITIONAL INFORMATION. PROVIDE HOLDOWNS AS NOTED ON THE DRAWINGS. USE RIM JOIST VERSION OF STRAP WHEN LOCATED AT RIM JOIST. FOR MISSED OR MISPLACED HOLDOWNS USE AN ALTERNATE HOLDOWN STRAP AS NOTED IN THE COMMENTS COLUMN OF THE METAL HOLDOWN SCHEDULE.
6. RETAINING WALLS: SEE DETAILS 1/S4.1 AND 2/S4.1 FOR RETAINING WALL CONSTRUCTION INFORMATION FOR WALLS RETAINING LANDSCAPE AREAS ONLY. CONTACT THE DESIGNER FOR RETAINING WALLS EXCEEDING THE HEIGHT SHOWN IN THE DETAILS OR AREAS WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF TOP OF WALL.
7. DECK FOOTINGS: PLASTIC CONCRETE SPOT FOOTING FORMS WITH EQUIVALENT OR GREATER FOOTING FOOTPRINT AND REINFORCING MAY BE USED IN PLACE OF TRADITIONAL FORMS.
8. CONCRETE PORCH SLABS: PROVIDE REBAR DOWELS FOR SELF SUSPENDED CONCRETE PORCH SLABS AS SHOWN IN DETAIL 4/S5.2.
9. CONCRETE SLABS OVER BACKFILL: PROVIDE REBAR DOWELS FROM CONCRETE SLABS TO ADJACENT CONCRETE FOUNDATION WALLS OVER BACKFILL AREAS AS SHOWN IN DETAIL 3/S5.2.
10. CONCRETE SLAB CONTROL JOINTS: SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS PROVIDED AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION. INSTALL JOINTS SO THE LENGTH TO WIDTH RATIO BETWEEN THE JOINTS IS NOT MORE THAN 1.25 TO 1. INSTALL CONTROL JOINTS WITHIN 4" OF THE METHOD SHOWN IN THE DETAILS OR SAW CUTTING TO A DEPTH OF 1/4 THE THICKNESS OF THE SLAB. ALL DISCONTINUOUS CONTROL OR CONSTRUCTION JOINTS SHALL BE REINFORCED WITH (2)-#4 x 48" REBAR. SEE DETAILS.
11. WALLS: 2x4 WALLS ARE SHOWN WITH A 3.1/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5.1/2" THICKNESS. ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
12. SHEAR WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE A SW2 TYPE SHEAR WALL UNLESS NOTED OTHERWISE. TO HELP RESIST SEISMIC/WIND FORCES, ALL SHEAR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS OR SHEETS S4.1 THRU S6.3, U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
13. BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS OR SHEETS S4.1 THRU S6.3, U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
14. WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWINGS, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
15. FLOOR FRAMING: ALL FLOOR JOISTS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S6.1 THRU S6.2, U.N.O. FLOOR JOISTS THAT RUN PARALLEL TO EXTERIOR BEARING AND/OR SHEAR WALLS SHALL HAVE SOLID BLOCKING PROVIDED BY ONE OF THE METHODS SHOWN IN DETAILS 2, 3, 5, 6, 8, 9, OR 9/S5.1 WHERE POSSIBLE. ALL FLOOR FRAMING SHALL BE CONTINUOUS OVER INTERMEDIATE BEARING SUPPORTS.
16. FLOOR FRAMING PERFORMANCE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEEDS THE MINIMUM CODE REQUIREMENTS AND REPRESENT A STANDARD FLOOR PERFORMANCE. HOWEVER, DUE TO VARIATIONS IN AN INDIVIDUAL'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE, THE OWNER (CONTRACTOR) SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM IS ACCEPTABLE TO THE OWNER'S EXPECTATIONS BEFORE BEGINNING FLOOR CONSTRUCTION.
17. WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE METAL POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 900 POUNDS LIFT. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST A 1" STANDOFF BEHIND WALLS. WOOD POSTS ARE INSTALLED ON CONC. PIERS OR FOOTINGS. SEE DETAILS 8/S4.1, 10/S4.1, AND 8/S4.2 FOR ADDITIONAL INFORMATION.
18. METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
19. DECK FLOORS: ALL DECK FLOORS SHALL BE HORIZONTALLY TIED TO INTERIOR FLOORS TO RESIST SEISMIC FORCES. SEE DETAIL 11/S5.1.
20. TIE UPPER FLOOR WALLS TO LOWER FLOOR WALLS WITH SIMPSON M548 STRAP WHERE NOTED ON PLANS. SEE METAL CONNECTOR SCHEDULE AND DETAIL 6/S5.2.
21. TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE BONDED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILING, AND RAISED CEILING), NOTIFY THE DESIGNER AND THE CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
22. TRUSS, RAFTER, AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S6.1 THRU S6.3, U.N.O. AT ROOF OVERBUILD AREA, PROVIDE OVERBUILD TRUSSES OR STICK FRAMING AS SHOWN IN DETAIL 6/S6.2.
23. TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A ZONE II MIN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.



NOTE TO TRUSS COMPANY:
IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK AS SHOWN IN DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED AND RAISED CEILING, ETC.) NOTIFY DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES. ALSO REVIEW GENERAL NOTES AND ALL OTHER APPLICABLE NOTES AND DETAILS BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.

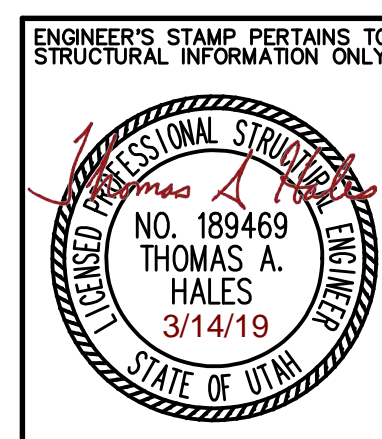
NOTE TO WINDOW/DOOR SUPPLIER:
ALL WINDOW AND DOOR SIZES AND LOCATIONS SHALL BE VERIFIED WITH THE OWNER/GENERAL CONTRACTOR AND WITH THE ROUGH FRAMING OPENINGS BEFORE FABRICATION. WINDOWS AND DOORS SHALL NOT BE FABRICATED BEFORE ROUGH FRAMING IS COMPLETE. NOTIFY DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE FABRICATION. THE WINDOW/DOOR SUPPLIER AND OWNER/GENERAL CONTRACTOR SHALL ASSUME ALL RISKS ASSOCIATED WITH WINDOWS/DOORS FABRICATED BEFORE VERIFICATION AS NOTED ABOVE.

UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"
UPPER FLOOR AREA = 940 SQ. FT.

DESIGN LOADS	
ROOF:	SNOW - 55 psf
	DEAD - 17 psf
FLOOR:	LIVE - 40 psf
	DEAD - 12 psf
DECK:	LIVE - 60 psf
	DEAD - 12 psf
GROUND SNOW LOAD - 79 psf	
ULTIMATE DESIGN WIND SPEED, V _{ult} - 115 mph	
NOMINAL DESIGN WIND SPEED, V _{nd} - 90 mph	
SEISMIC DESIGN CATEGORY 'D'	
SITE CLASS 'D'	
SOIL BEARING PRESSURE - 1500 psf	
CONTRACTOR/OWNER SHALL VERIFY ACCURACY OF SNOW LOADS WITH BUILDING OFFICIAL AND QTY./DEPTH OR LIGHTWEIGHT CONC. HAS BEEN INCLUDED IN THE FLOOR DESIGN.	

NOTICE AND WARNING
THESE DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.
THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:
LOT # 11
SUBDIVISION SNOWFLAKE SUBDIVISION NO. 2
ADDRESS 4427 N. POWDER MOUNTAIN ROAD
CITY: EDEN STATE: UTAH
ANY OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY FORBIDDEN AND VIOLATORS WILL BE PROSECUTED.
DATE: 3/13/2019



CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

COPYRIGHT NOTICE:
THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.

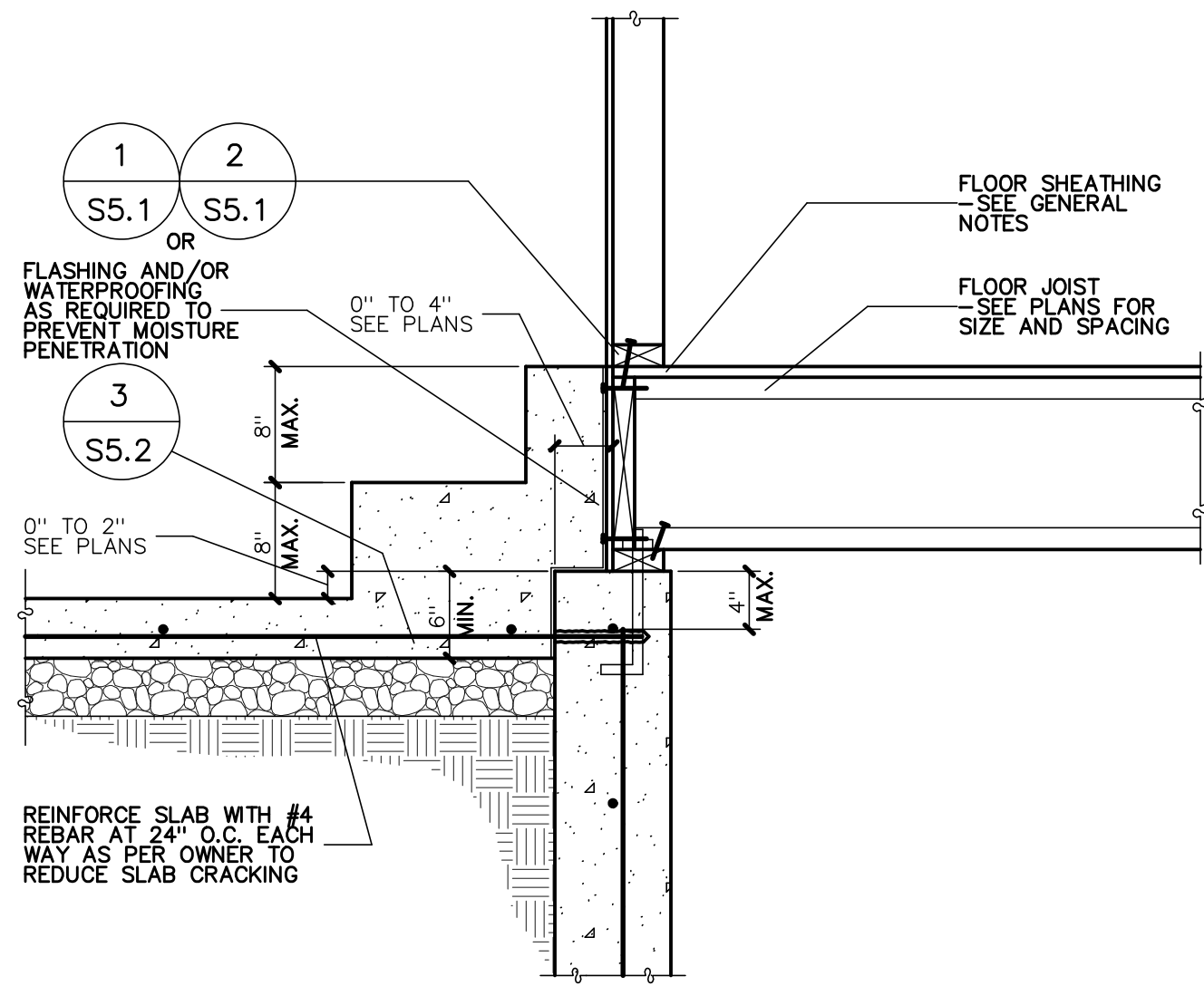
FOR: DENNIS & CATHY LONGFELLOW
LOT 11, SNOWFLAKE SUBDIVISION NO. 2
4427 N. POWDER MOUNTAIN ROAD
EDEN, UTAH 84310

304 WEST PLEASANT VIEW DR.
EDEN, UTAH 84414
PHONE: (801)-782-0484
FAX: (801)-782-8631
WWW.LOMONDVIEW.COM

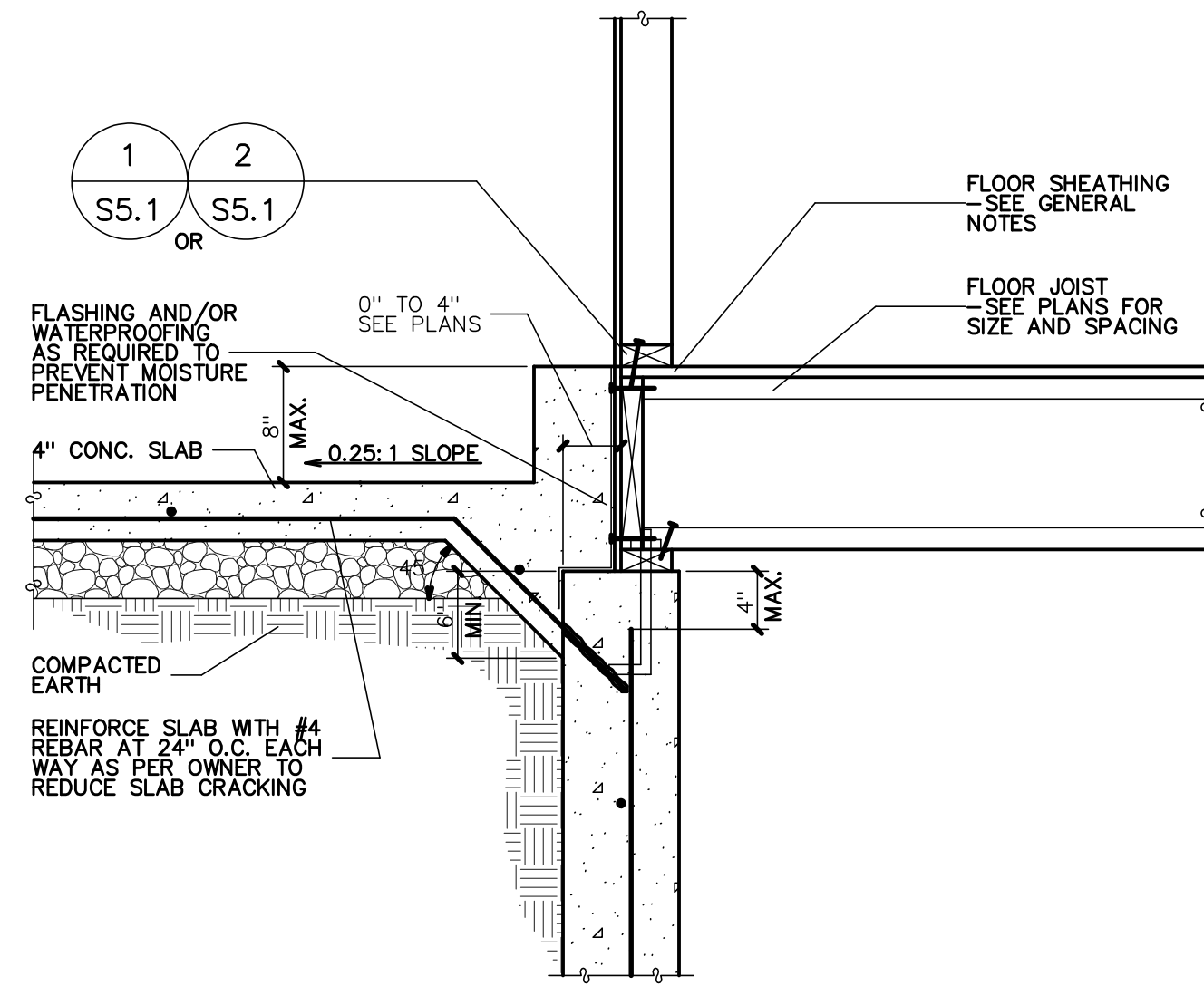


UPPER FLOOR PLAN
DRAWN: CWH/BRH
TYPE: ORIGINAL DRAWING
DATE: 3/13/2019
JOB NO.: 19012
PLAN NO.: 1-2-1641/3-1-940 TWO-STORY

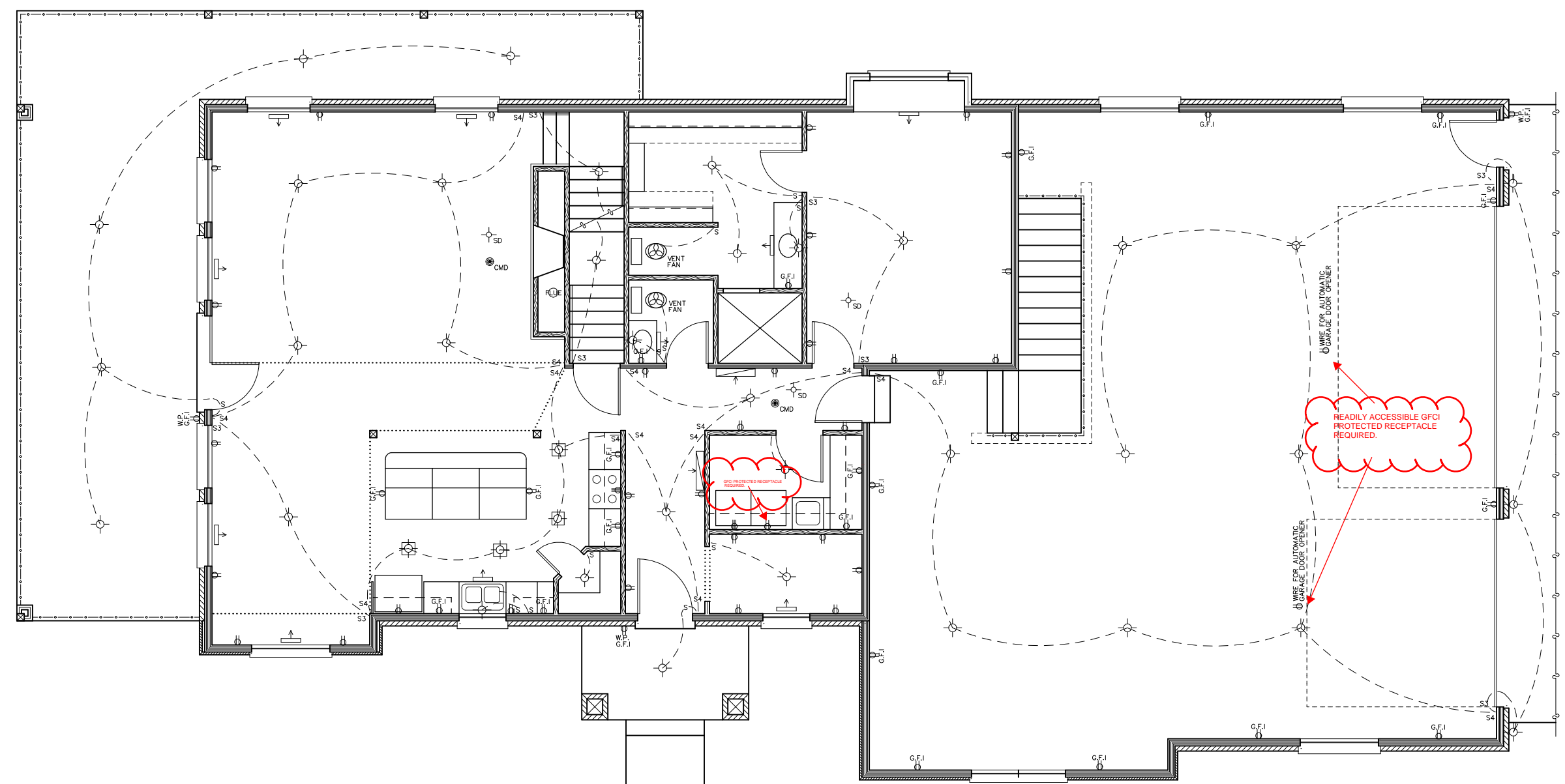
SHEET
S2.4



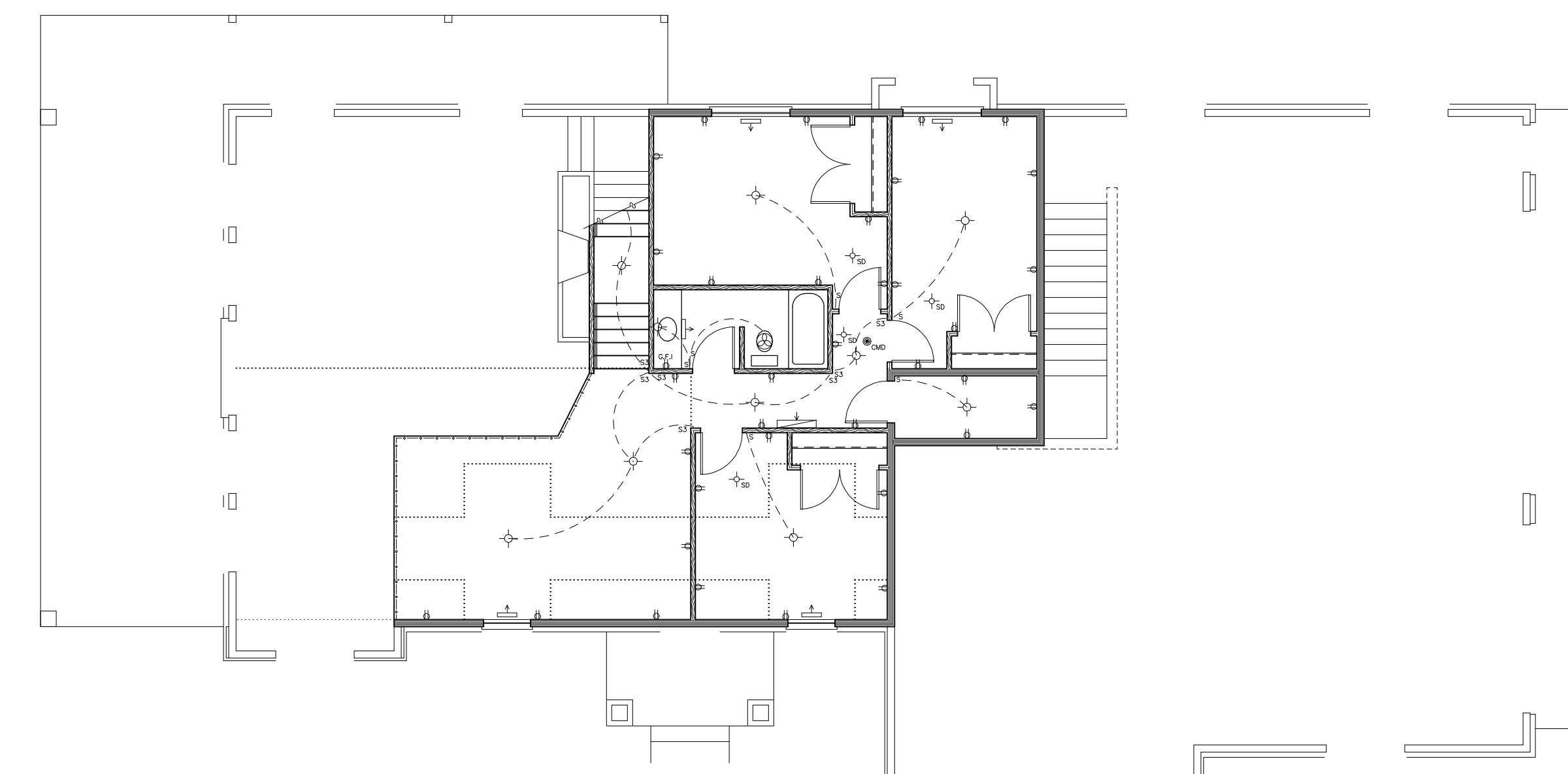
RAISED PATIO SLAB FOR STAIRS DETAIL
NO SCALE



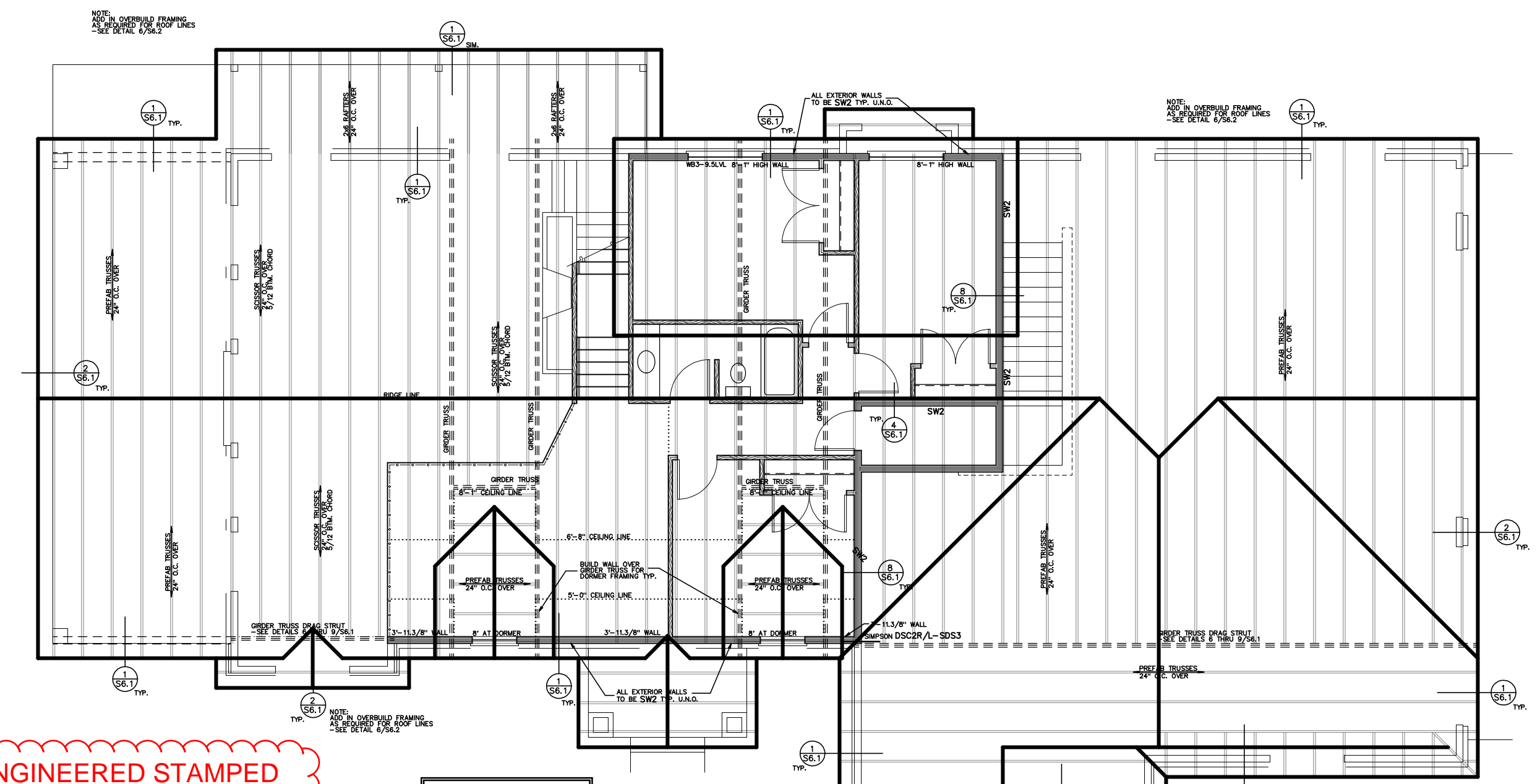
RAISED PATIO SLAB DETAIL
NO SCALE



MAIN FLOOR ELEC./H.V.A.C. LAYOUT
SCALE: 1/8" = 1'-0"

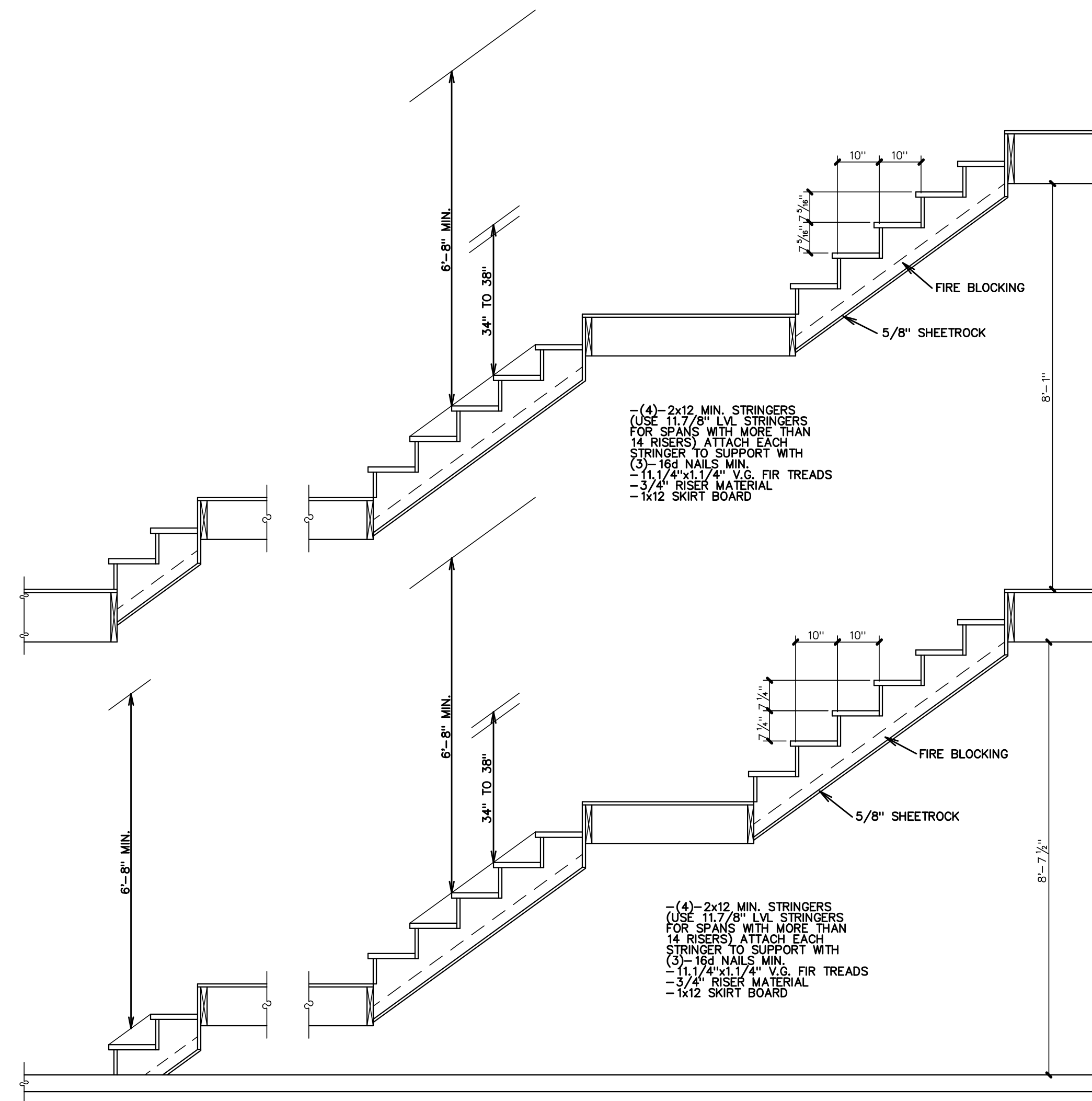


UPPER FLOOR ELEC./H.V.A.C. LAYOUT
SCALE: 1/8" = 1'-0"



ROOF LAYOUT
SCALE: 1/8" = 1'-0"

PROVIDE ENGINEERED STAMPED TRUSS SHEETS AT THE ROUGH INSPECTION.



STAIR DETAIL
SCALE: 1/2" = 1'-0"

REVIEWED FOR CODE COMPLIANCE
WEBER COUNTY BUILDING INSPECTIONS

Stanley C. Berniche

GENERAL NOTES

- I. ROOF NOTES
 1. PROVIDE ICE AND WATER SHIELD ON ROOF FROM ALL EAVE EDGES TO 24" INSIDE THE EXTERIOR WALL. ROOFS WITH SLOPES LESS THAN 4/12 SHALL HAVE ICE AND WATER SHIELD INSTALLED ON ENTIRE ROOF PLANE.
 2. PROVIDE INSULATION DEPTH MARKERS EVERY 300 SQ. FT. OF ATTIC SPACE
 3. PROVIDE ATTIC VENTILATION AND ATTIC ACCESS AS PER LOCAL CODE.
 4. ATTIC VENTILATION: TOTAL SQ. FT./300x144 = TOTAL SQ. IN.
 - PROVIDE 50% ATTIC VENTS AND 50% SOFFIT VENTS
 - BAFFLE TRUSS CAVITIES AT EXTERIOR WALLS
- II. ELECTRICAL NOTES
 1. THE ELECTRICAL PLAN SHOWN ONLY REPRESENTS A BASIC ELECTRICAL LAYOUT. ALL ELECTRICAL SHALL BE COORDINATED WITH THE OWNER AND SHALL MEET THE APPLICABLE ELECTRICAL CODES.
 2. SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS NEXT TO A FURNACE AND WATER HEATER, AND ON EACH ADDITIONAL STORY OF THE DWELLING AS PER LOCAL ELECTRICAL CODES.
 3. CARBON MONOXIDE DETECTORS (CMD) SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES AS PER LOCAL CODE.
 4. ARC-FAULT CIRCUIT INTERRUPTERS SHALL BE INSTALLED IN ALL BEDROOMS AS PER LOCAL ELECTRICAL CODES.
 5. GROUND-FAULT CIRCUIT INTERRUPTERS SHALL BE INSTALLED IN ALL OUTDOOR OUTLETS AND OUTLET CIRCUITS IN KITCHENS, BATHROOMS, GARAGES, AND WHERE OUTLETS ARE CLOSE TO A WATER SOURCE AS PER LOCAL ELECTRICAL CODES.
- III. MISCELLANEOUS NOTES
 1. ADDITIONS: CONTRACTOR SHALL COORDINATE AND ADJUST FOUNDATION AND OTHER WALL HEIGHTS AS NEEDED TO ALLOW FLOOR LEVELS TO BE FLUSH BETWEEN NEW AND EXISTING FLOORS. ALSO, THE HVAC SYSTEM INTO EXISTING HVAC SYSTEM, OR PROVIDE NEW AS PER LOCAL CODES.
 2. POISON SOIL FOR TERMITE CONTROL AS PER LOCAL CODE REQUIREMENTS
 3. PROVIDE 5/8" TYPE "X" FIRE RATED GYPSUM BOARD AT AREAS AS REQUIRED BY LOCAL FIRE CODE.
 4. WINDOW FRAMING: ALL OPENABLE WINDOWS THAT HAVE A WINDOW SILL LOCATED MORE THAN 72" ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW SHALL BE PLACED SO THAT THE WINDOW SILL IS AT LEAST 24" ABOVE THE INTERIOR FINISHED FLOOR OR SHALL HAVE A WINDOW GUARD PROVIDED AS PER CODE. ALL WINDOWS USED FOR EGRESS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISHED FLOOR.
 5. PROVIDE R-13 INSULATION MINIMUM IN 2x4 EXTERIOR WALLS, AND R-19 INSULATION MINIMUM IN 2x6 EXTERIOR WALLS. PROVIDE R-38 INSULATION MINIMUM AT ALL INTERIOR TRUSS ATTIC SPACES AND RAFTER FRAMING.
 6. CRAWL SPACE VENTS: PROVIDE CRAWL SPACE VENTS AS PER LOCAL CODE REQUIREMENTS FOR ALL CRAWL SPACE AREAS.

THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED WITH THE ASSUMPTION THAT THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ALL OTHER AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION REGARDING THE EXISTING CONDITIONS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE PROJECT.

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

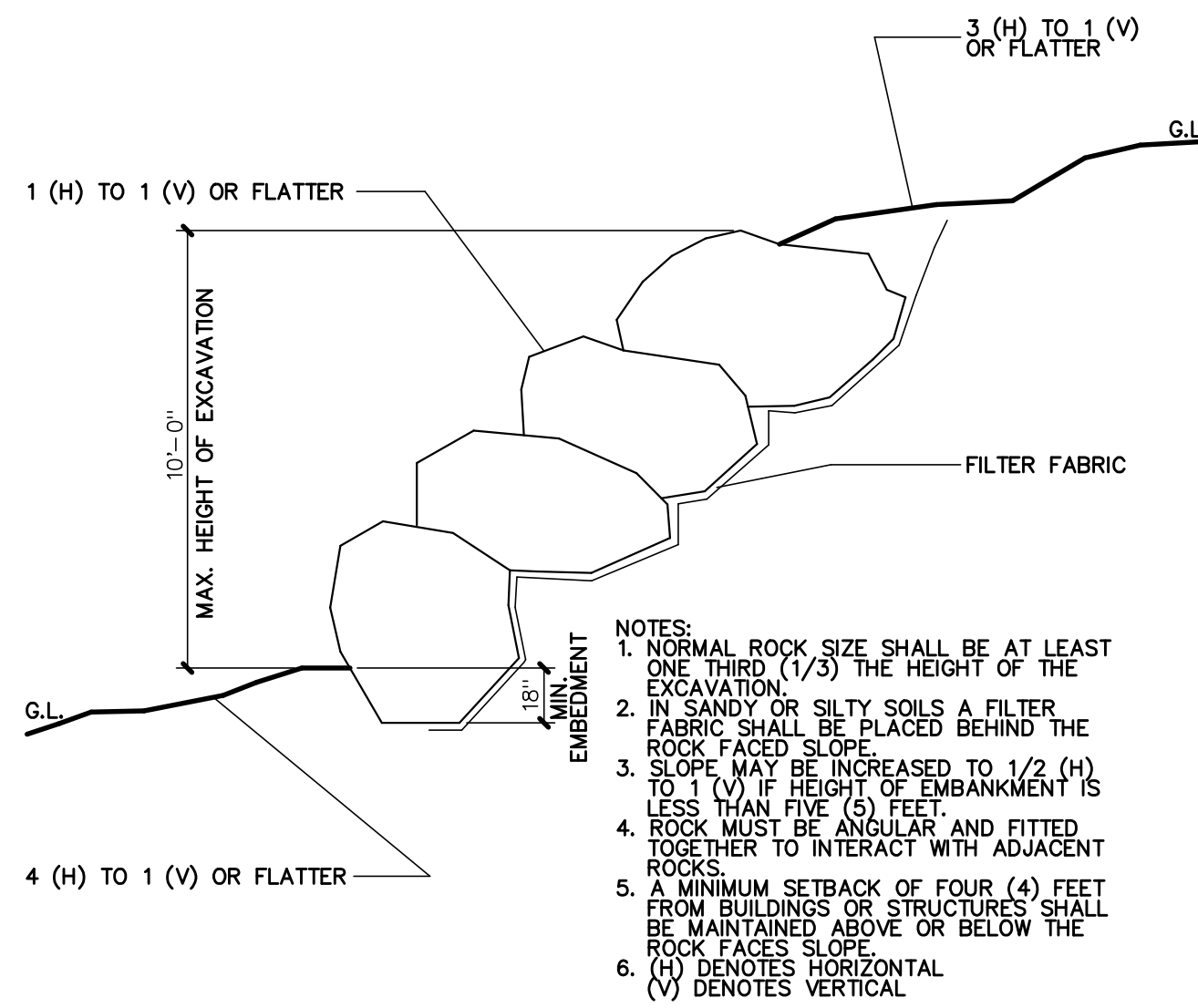
SHEET TITLE: ROOF LAYOUT, STAIR DETAIL, AND ELECTRICAL PLAN
 DATE: 3/13/2019
 DRAWN: CWH/BRH
 TYPE: ORIGINAL DRAWING
 JOB NO.: 19012
 PLAN NO.: 1-2, 164173-1-940 TWO-STORY
 SHEET NO.: S3.1

FOR: DENNIS & CATHY LONGFELLOW
 304 WEST PLEASANT VIEW DR.
 OGDEN, UTAH 84414
 PHONE: (801)-782-0484
 FAX: (801)-782-8631
 WWW.LOMONDVIEW.COM
 LOT 11, SNOWLAKE SUBDIVISION NO. 2
 4427 N. POWDER MOUNTAIN ROAD
 EDEN, UTAH 84510

COPYRIGHT NOTICE:
 THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.

REVIEWED FOR CODE COMPLIANCE
WEBER COUNTY BUILDING INSPECTIONS

Stanley C. Berniche

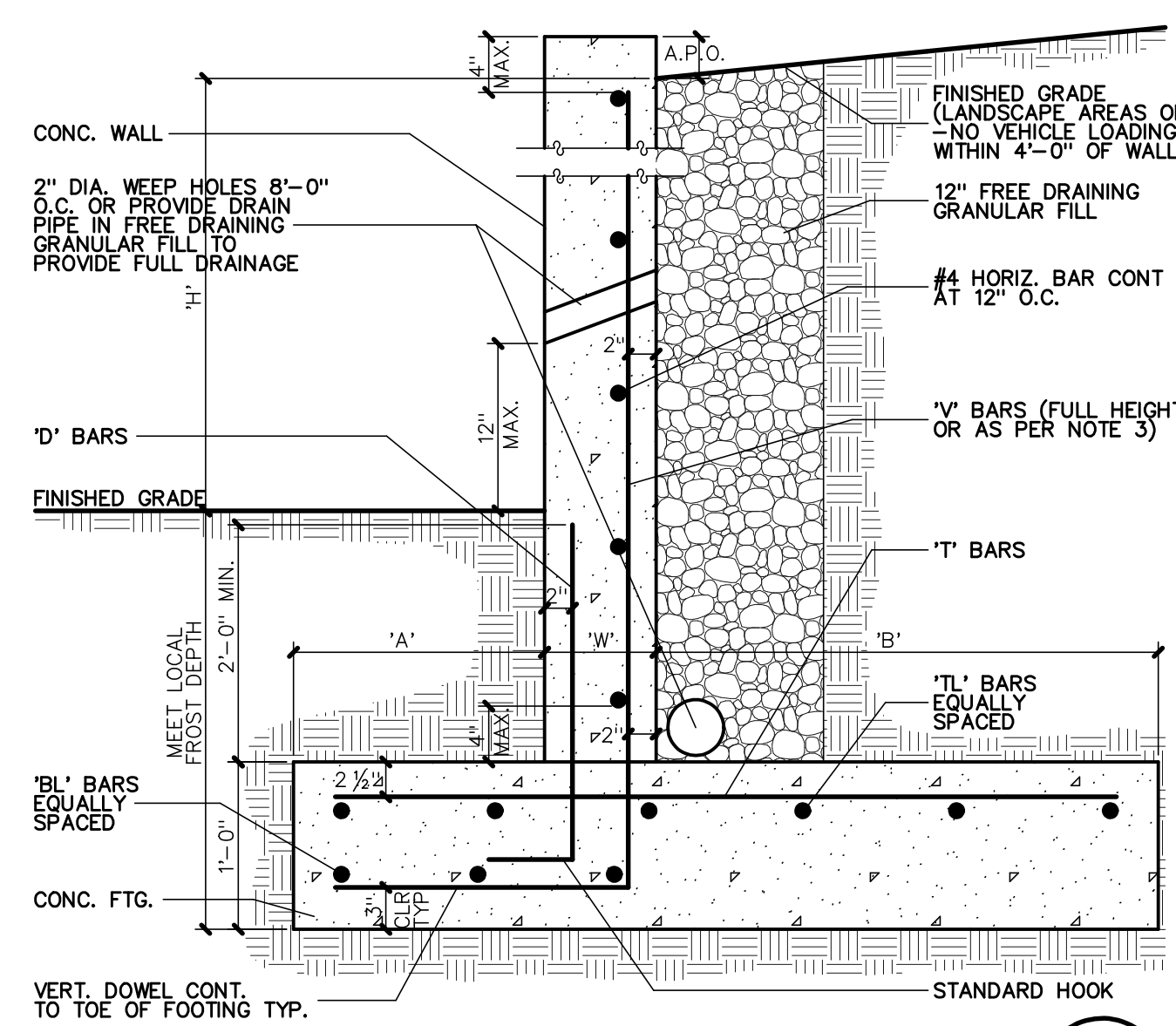


ROCK RETAINING WALL UP TO 10'-0" HEIGHT
NO SCALE **1** S4.1

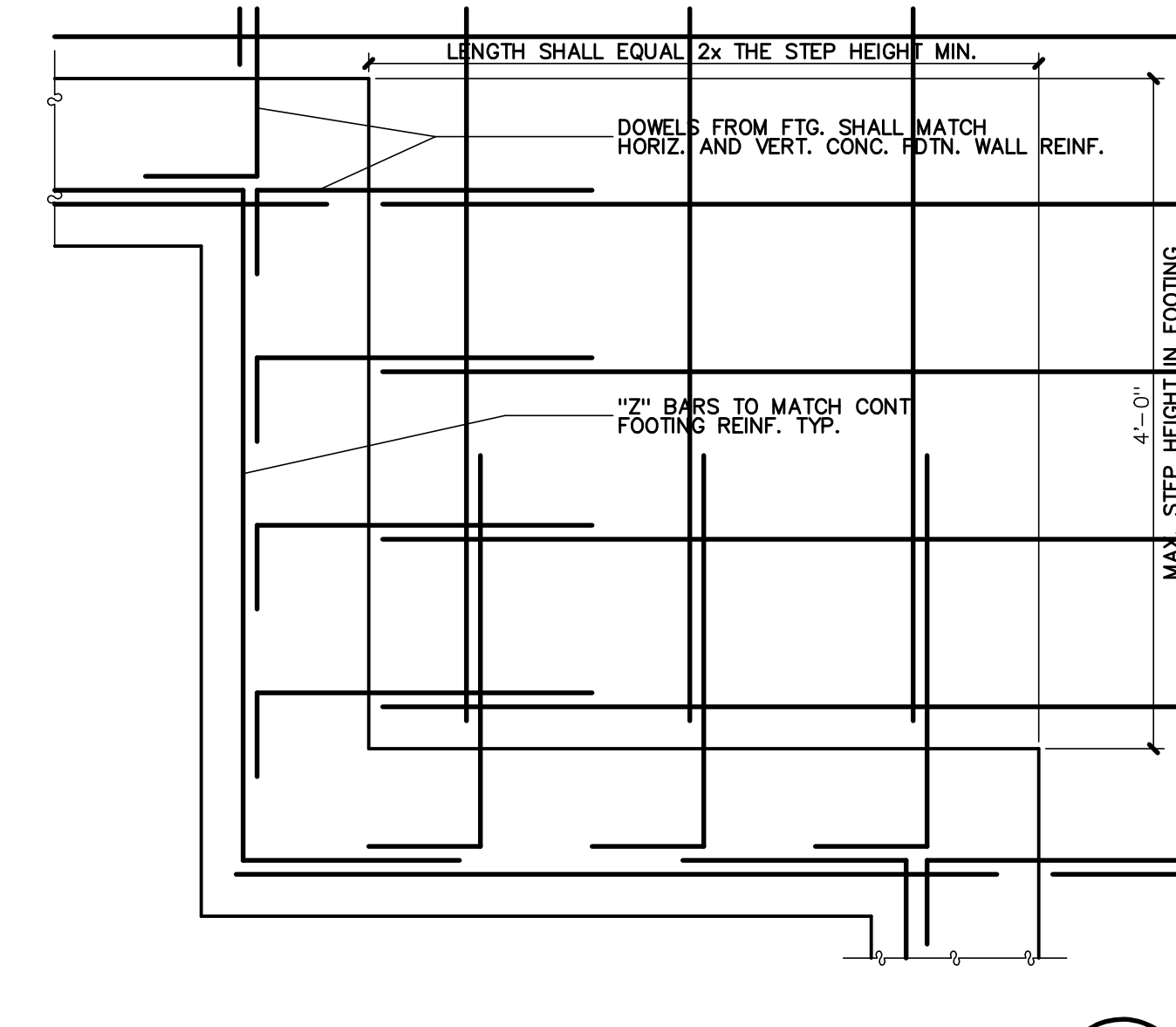
CONCRETE RETAINING WALL SCHEDULE^{1,4}

MARK	'W'	'H' ²	'A'		'B'		'V' BARS ³		'D' BARS		'T' BARS		'TL' BARS		'BL' BARS	
			SIZE	SPACE	SIZE	SPACE	SIZE	SPACE	SIZE	SPACE	SIZE	NO.	SIZE	NO.		
CRW2.0	8" MIN.	TO 2'-0"	8"	8"	#4	18"	N/A	N/A	#4	18"	#4	3	#4	2		
CRW4.0	8" MIN.	TO 4'-0"	1'-0"	1'-8"	#4	12"	N/A	N/A	#4	12"	#4	4	#4	2		
CRW6.5	8" MIN.	TO 6'-6"	1'-0"	3'-0"	#5	12"	N/A	N/A	#4	12"	#4	5	#4	2		
CRW8.0	8" MIN.	TO 8'-0"	1'-3"	3'-6"	#5	10"	#4	24"	#4	10"	#4	6	#4	3		
CRW9.5	8" MIN.	TO 9'-6"	1'-6"	4'-6"	#6	10"	#4	24"	#4	8"	#4	7	#4	3		

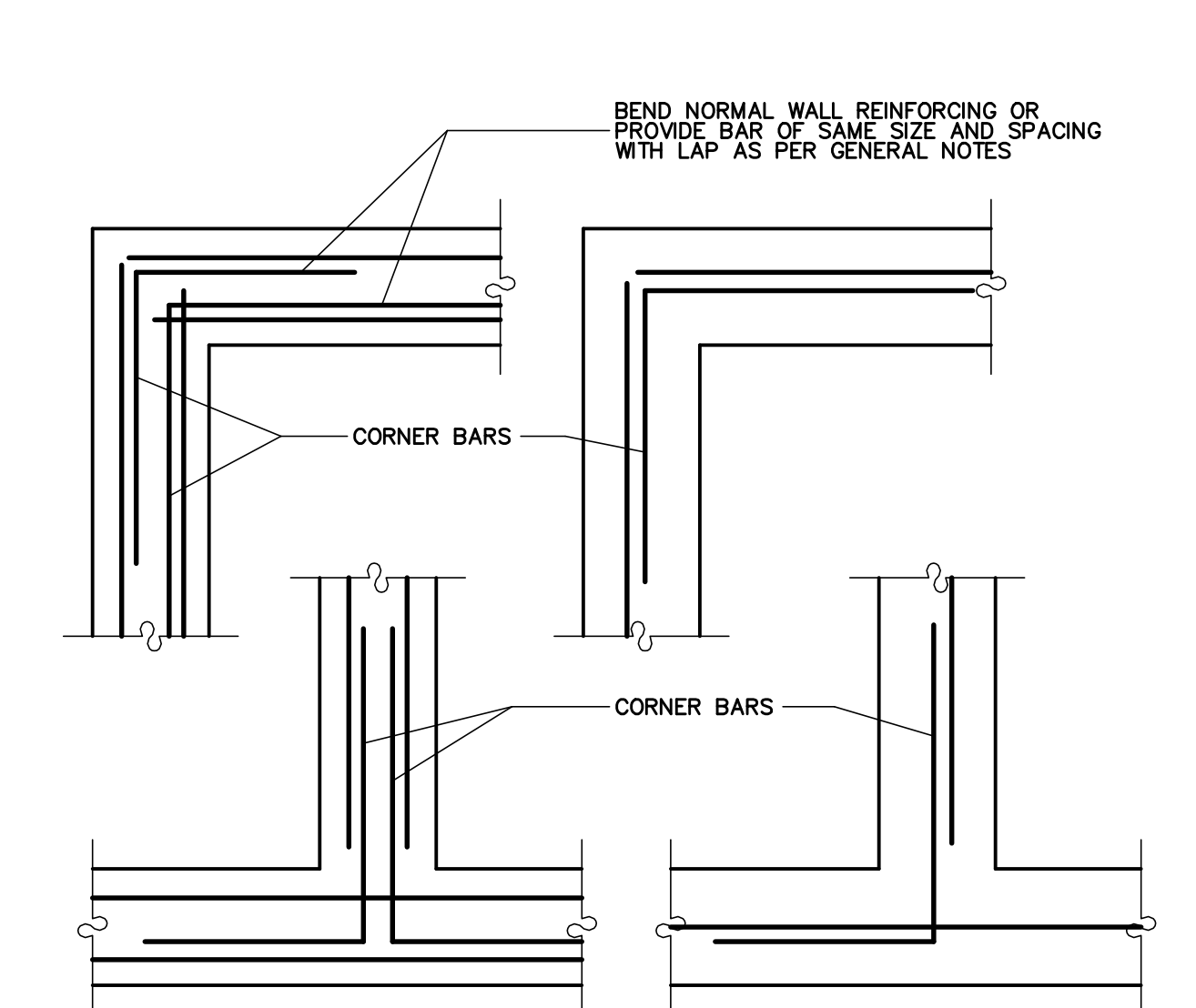
CONC. RETAINING WALL NOTES:
1. LOCATE A HORIZONTAL BAR WITHIN 4" OF TOP AND BOTTOM OF WALL.
2. WALL HEIGHT MAY BE INCREASED AS NEEDED WHERE FOOTINGS NEED TO BE DROPPED FOR FROST PROTECTION OR SOIL CONDITIONS AS LONG AS THE UNBALANCED FILL HEIGHT (H)-HEIGHT BETWEEN LOW AND HIGH GRADE) DOES NOT EXCEED THAT SHOWN. ADD ADDITIONAL HORIZONTAL REBAR AS NEEDED TO NOT EXCEED THAT SHOWN.
3. 'V' BARS SHALL NOT BE SPLICED BELOW MID-HEIGHT OF WALL.
4. THIS SCHEDULE IS FOR RETAINING LANDSCAPE AREAS ONLY. DO NOT USE WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF TOP OF WALL.



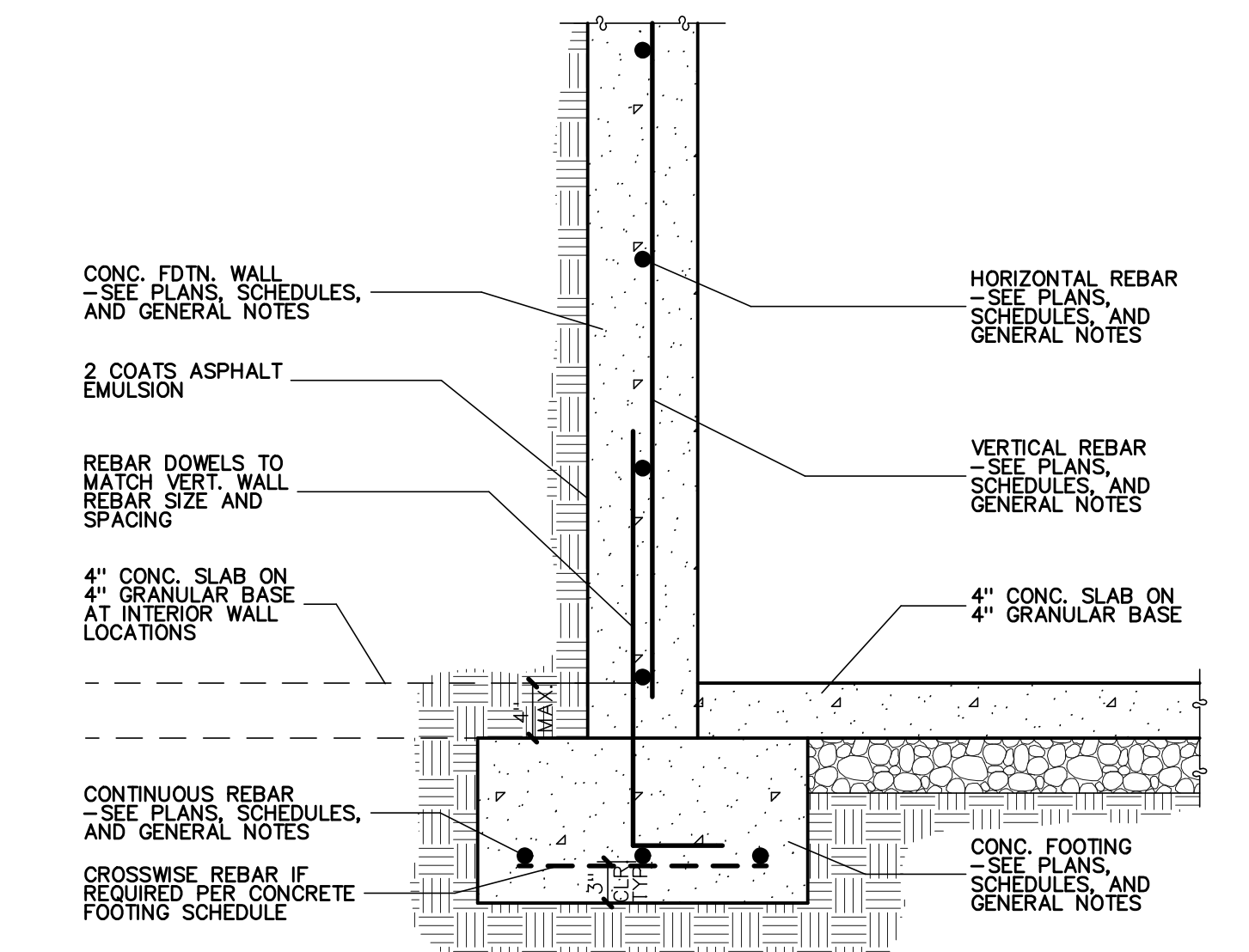
CONCRETE RETAINING WALL
NO SCALE **2** S4.1



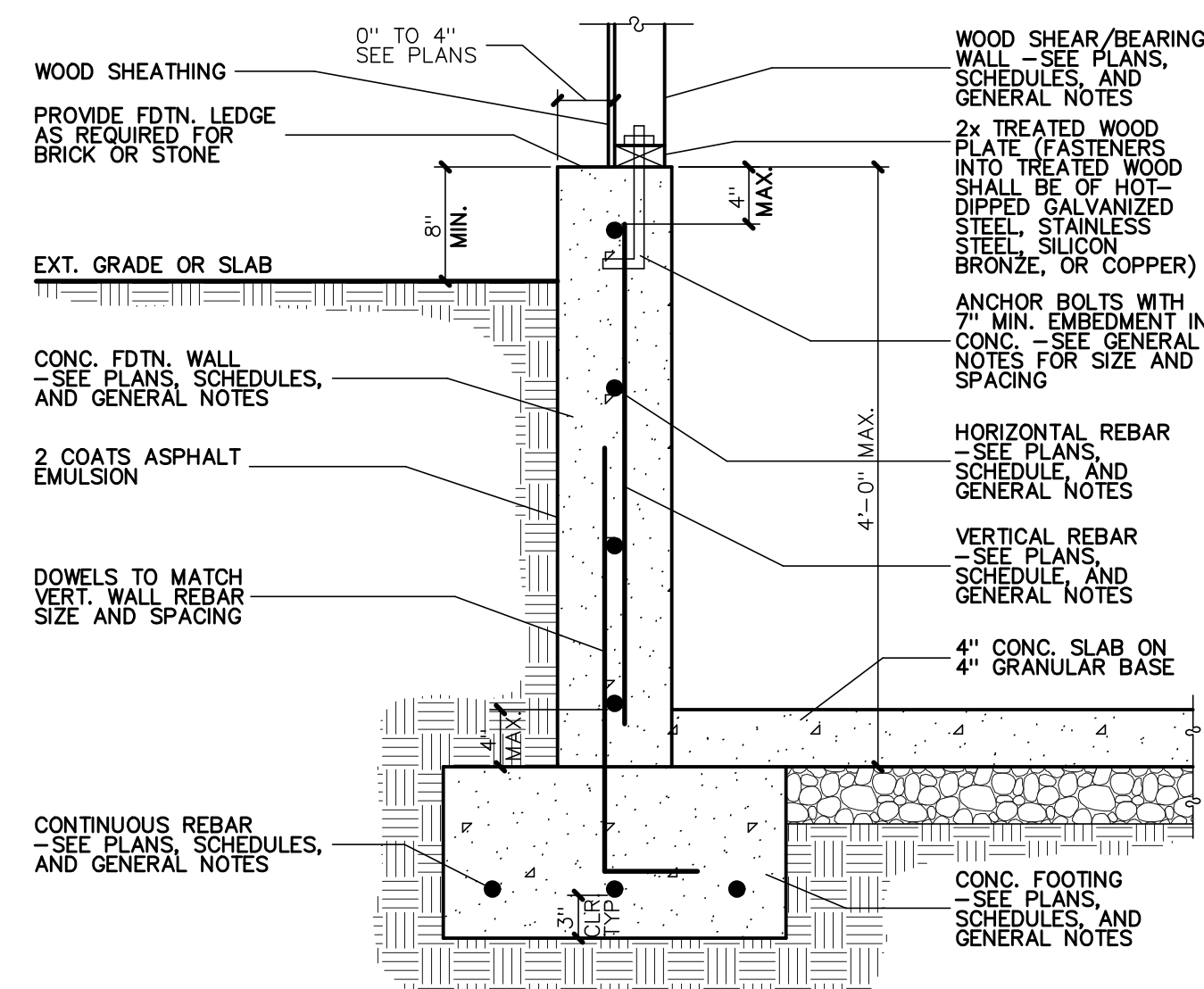
STEPPED FOOTING DETAIL
NO SCALE **3** S4.1



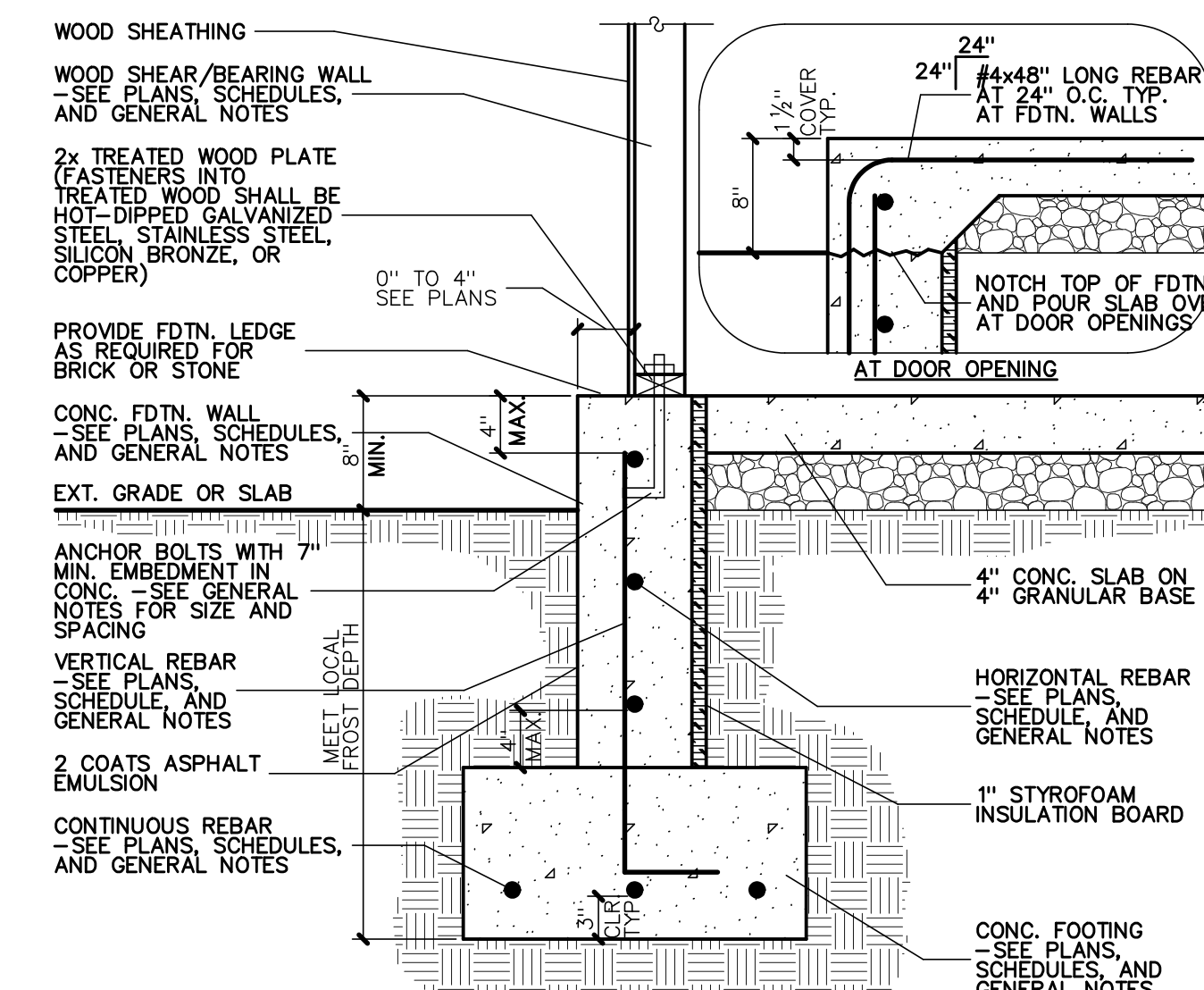
CONC. FOUNDATION WALL/FOOTING CORNERS AND INTERSECTION
NO SCALE **4** S4.1



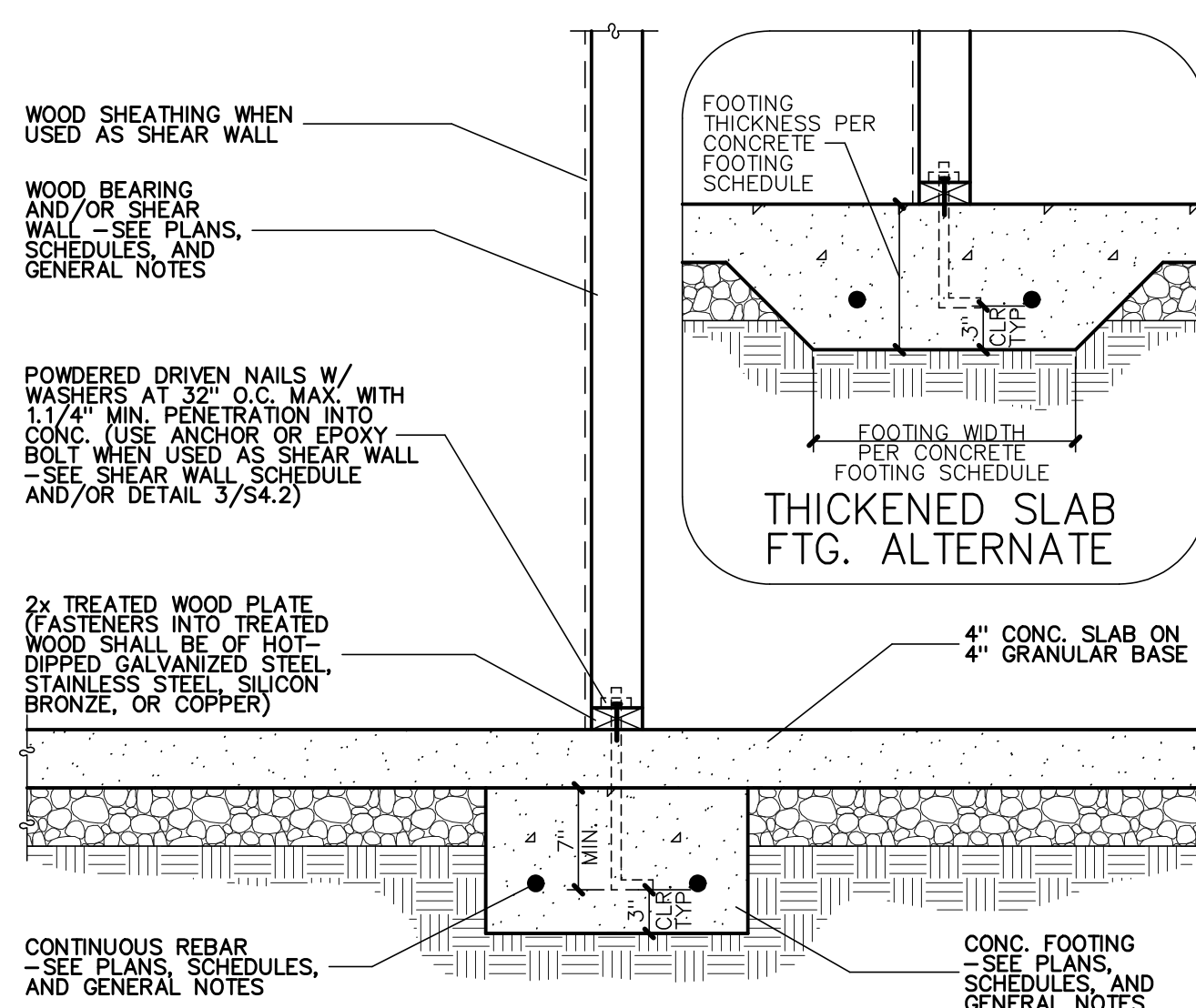
FOUNDATION WALL ON FOOTING
NO SCALE **5** S4.1



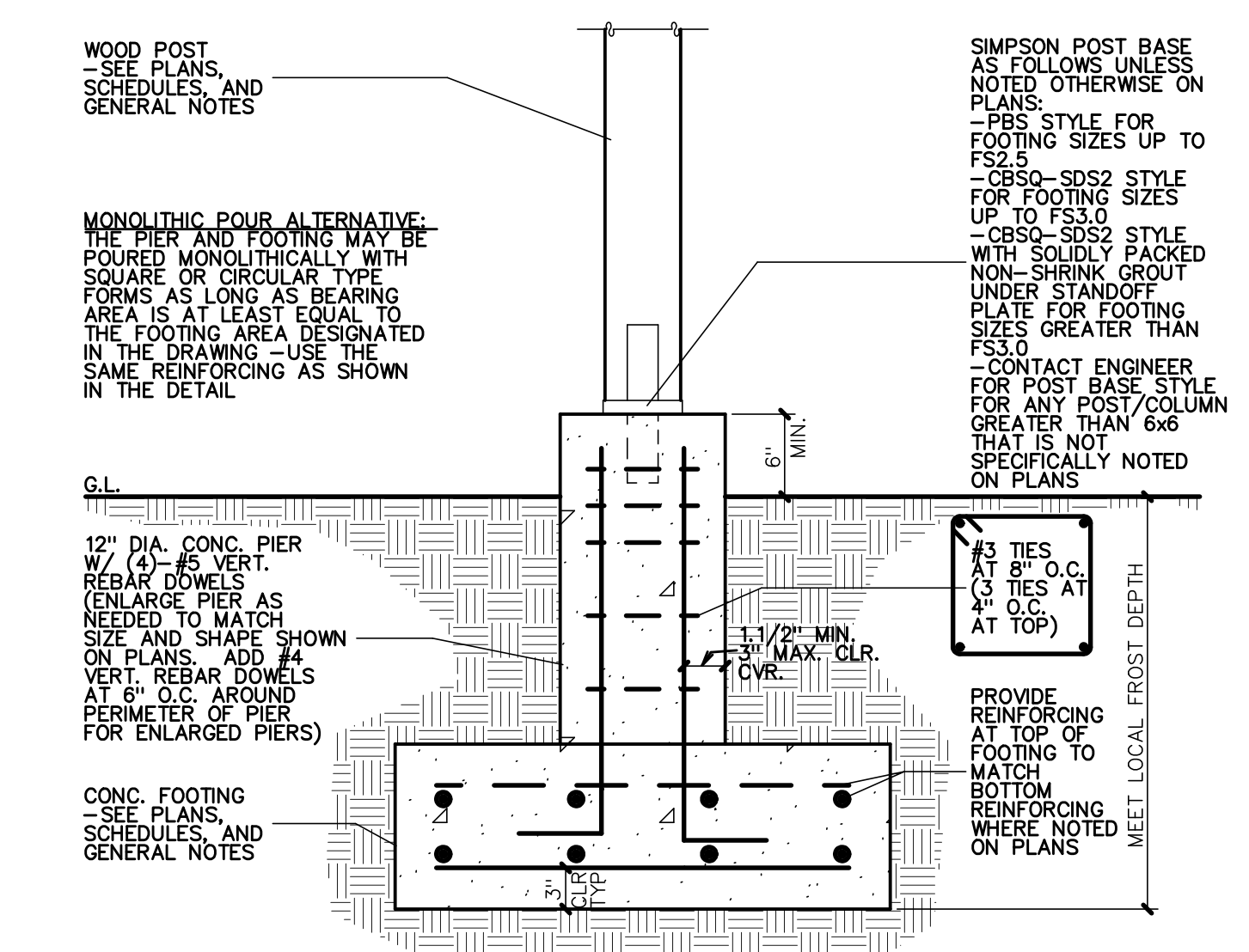
4'-0" FOUNDATION WALL ON FOOTING
NO SCALE **6** S4.1



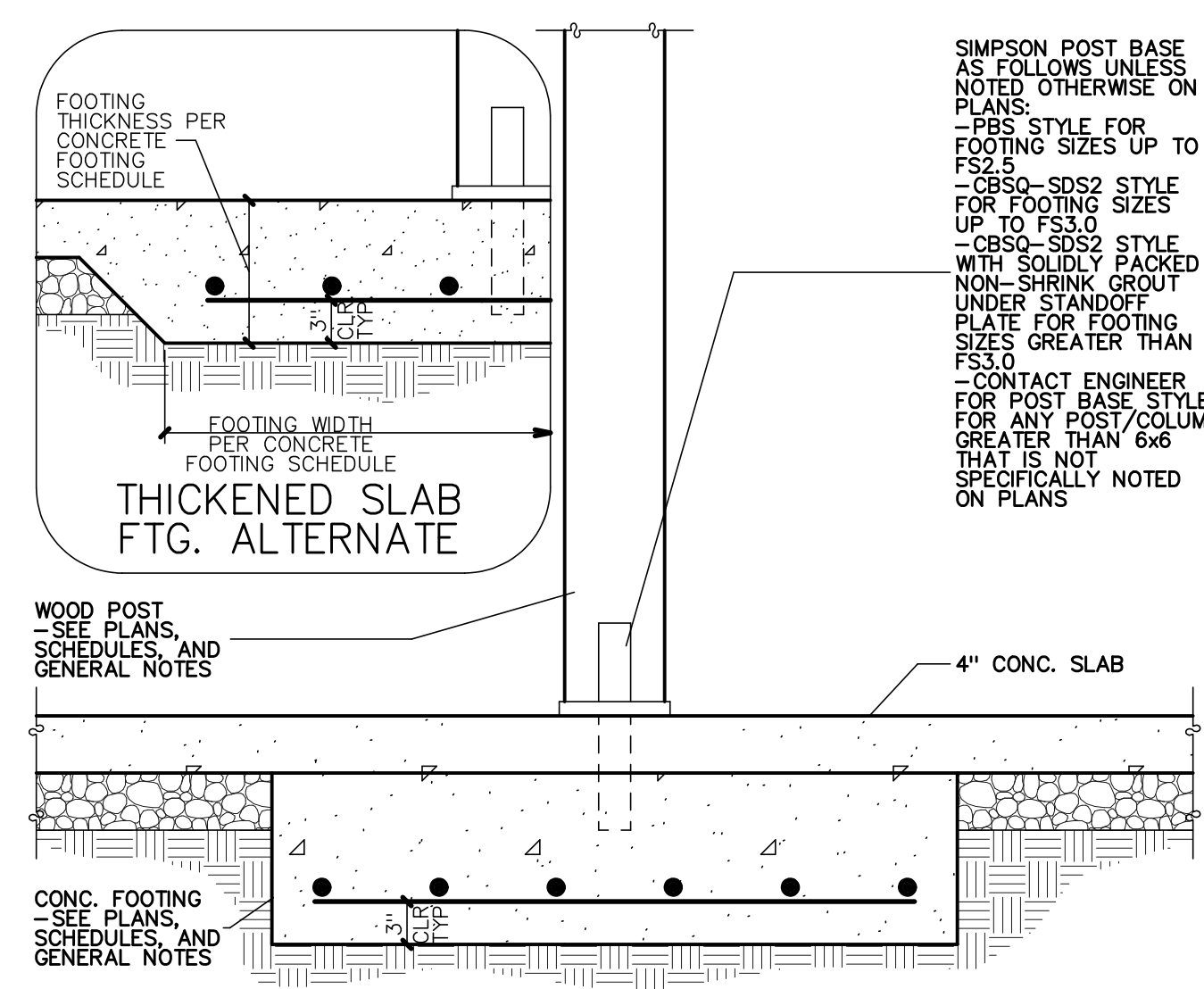
FOUNDATION WALL ON FOOTING
NO SCALE **7** S4.1



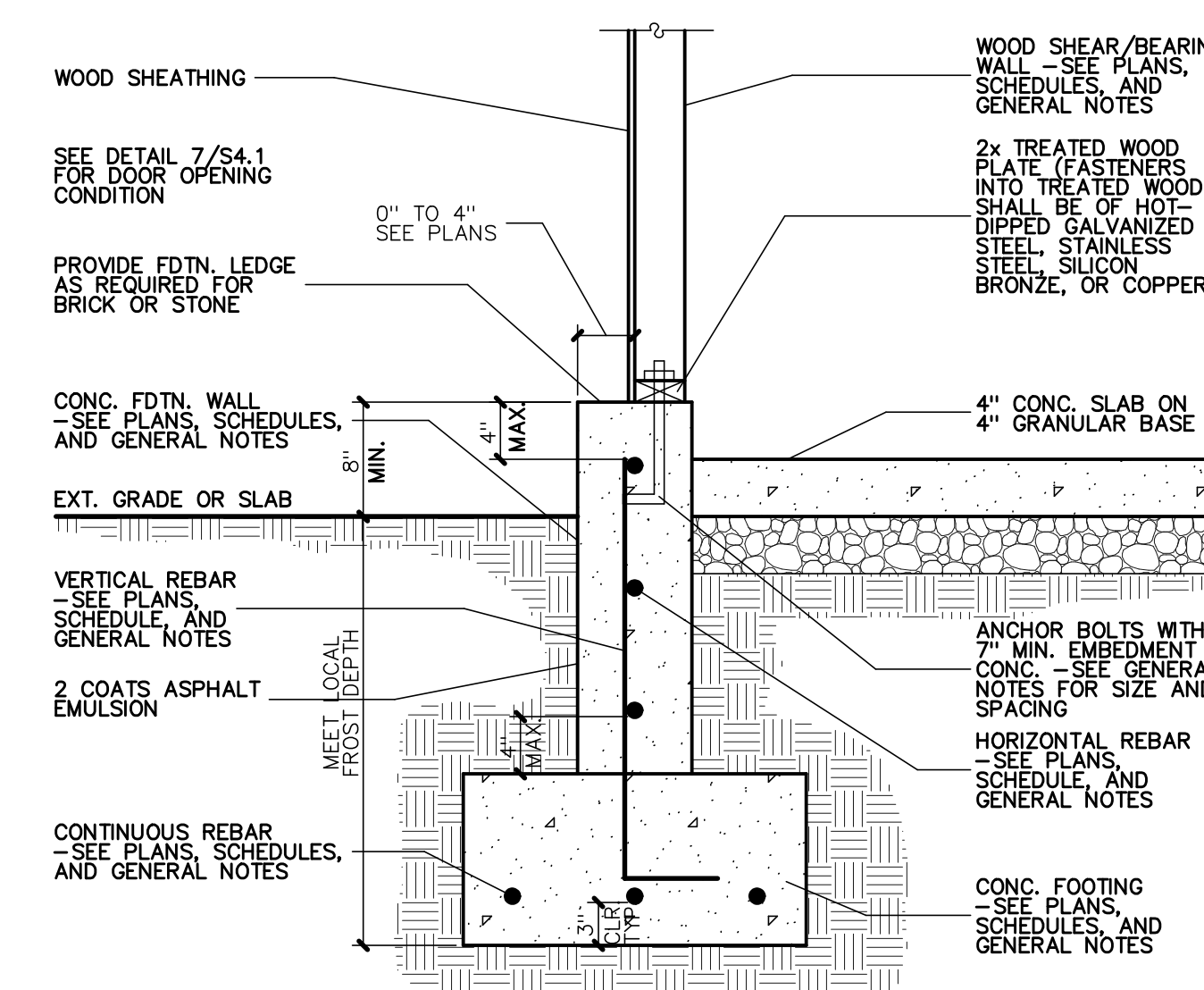
INTERIOR BEARING AND/OR SHEAR WALL ON CONC. FOOTING
NO SCALE **8** S4.1



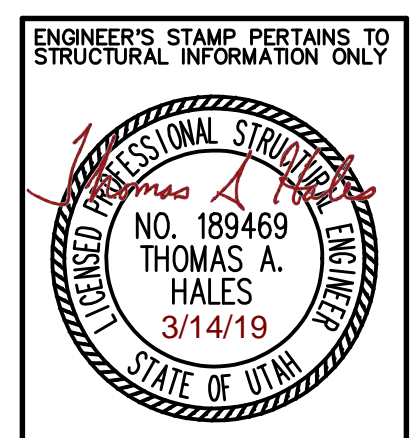
EXTERIOR WOOD POST ON CONC. PIER/FOOTING
NO SCALE **9** S4.1



INTERIOR WOOD POST ON CONC. FOOTING
NO SCALE **10** S4.1



FOUNDATION WALL ON FOOTING
NO SCALE **11** S4.1



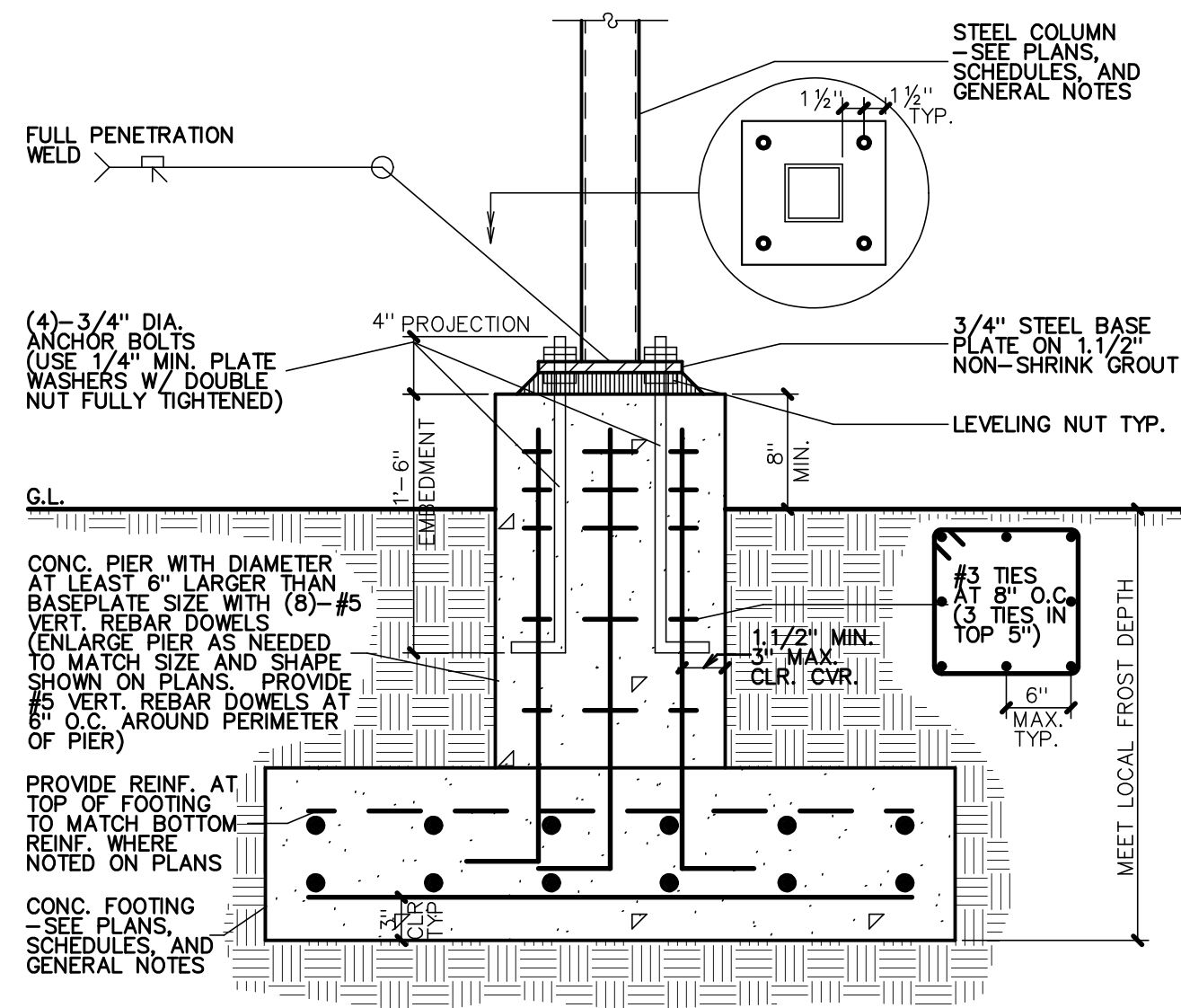
NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB -- SEE PLAN SHEETS FOR REFERENCES TO DETAILS

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

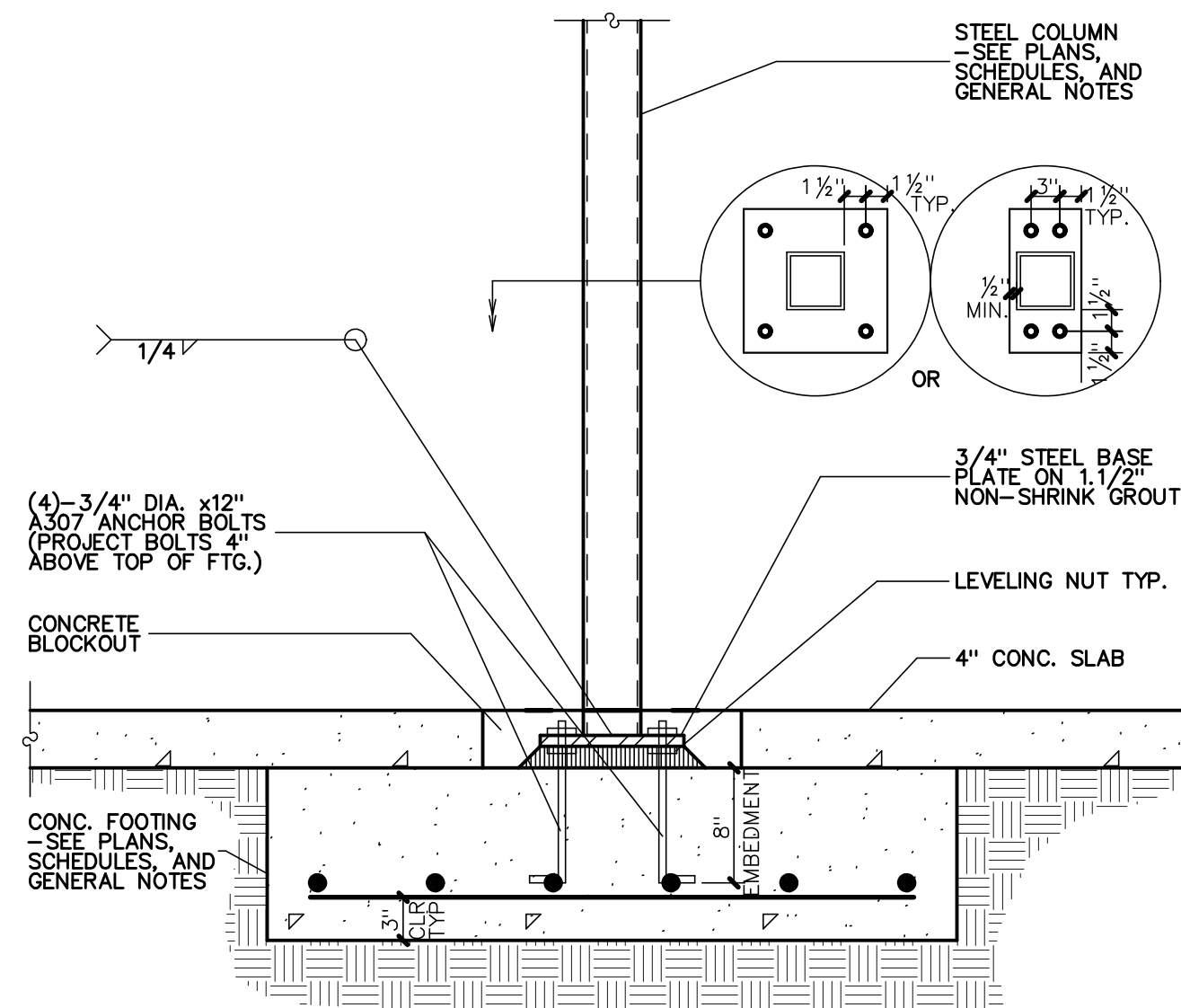
COPYRIGHT NOTICE:
THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC. NO PART SHALL BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.
FOR: DENNIS & CATHY LONGFELLOW
LOT 11, SNOWFLAKE SUBDIVISION NO. 2
4427 N. EDEN, UTAH 84310
304 WEST PLEASANT VIEW DR.
ODEN, UTAH 84414
PHONE: (801)-782-0484
WWW.LOMONDVIEW.COM

FOOTING AND FOUNDATION DETAILS
DRAWN: CWH/BRH
TYPE: ORIGINAL DRAWING
DATE: 3/13/2019
JOB NO.: 19012
PLAN NO.: 1-2-1641/3-1-940 TWO-STORY

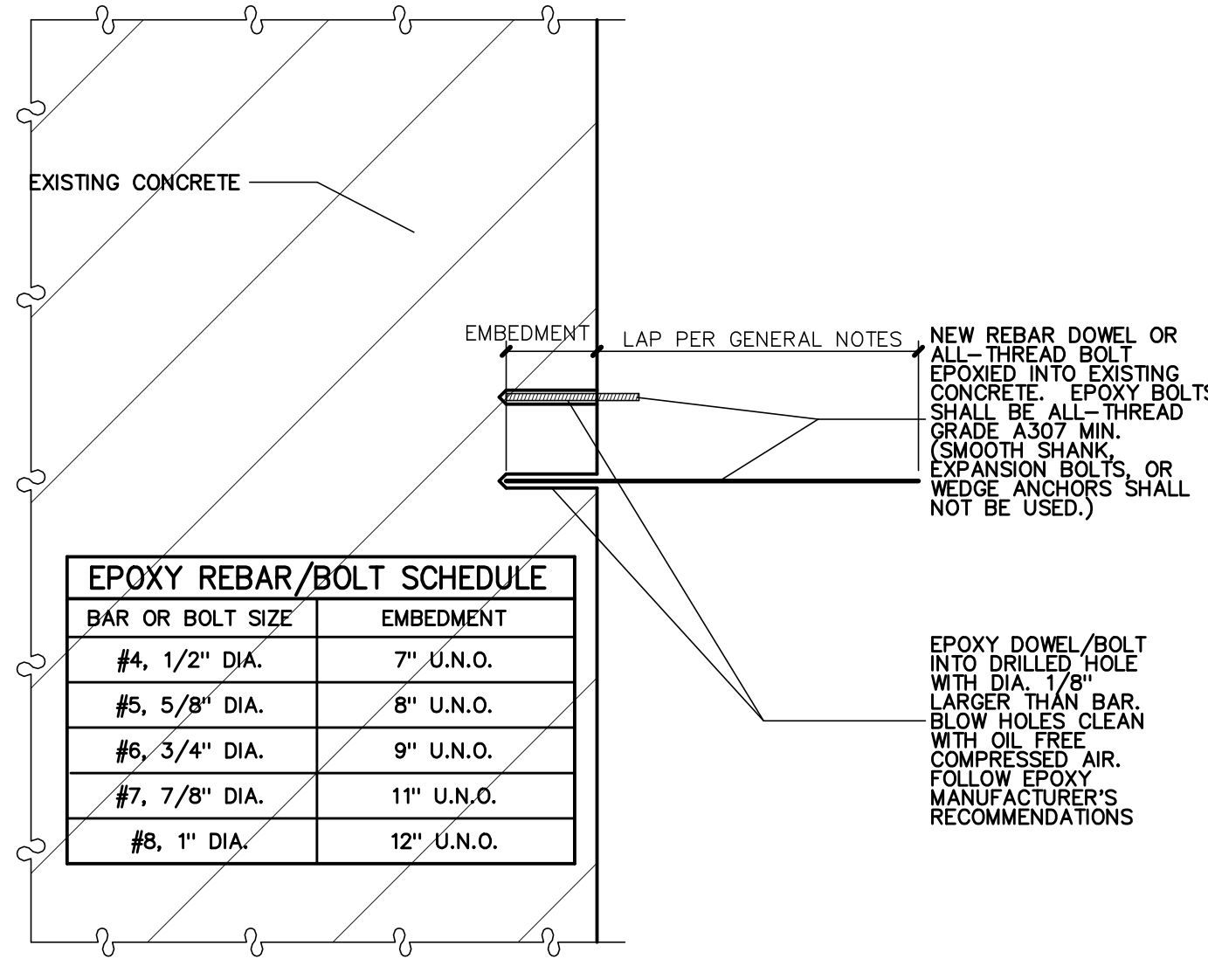
SHEET **S4.1**



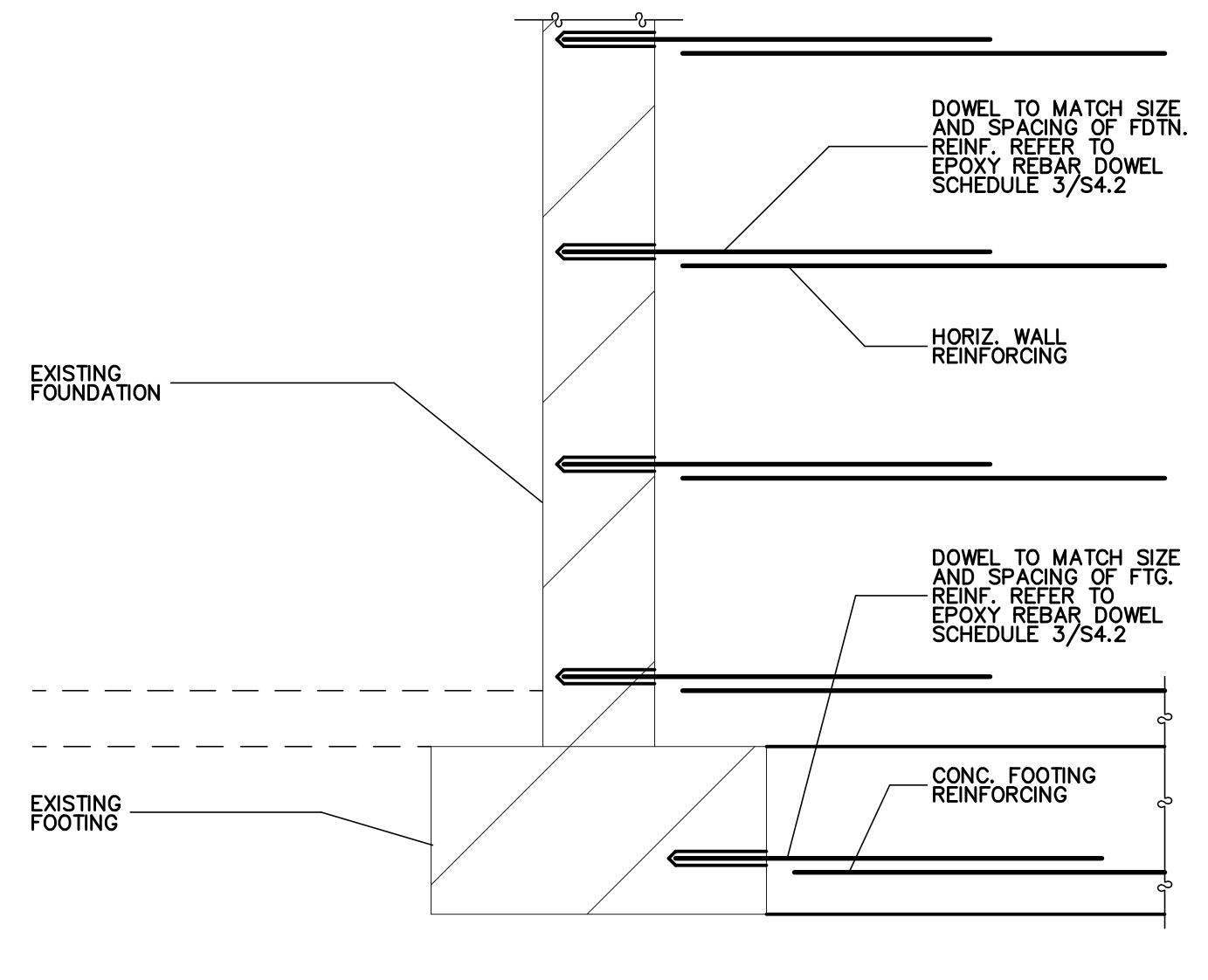
1 EXTERIOR STEEL POST ON CONC. FOOTING
NO SCALE
S4.2



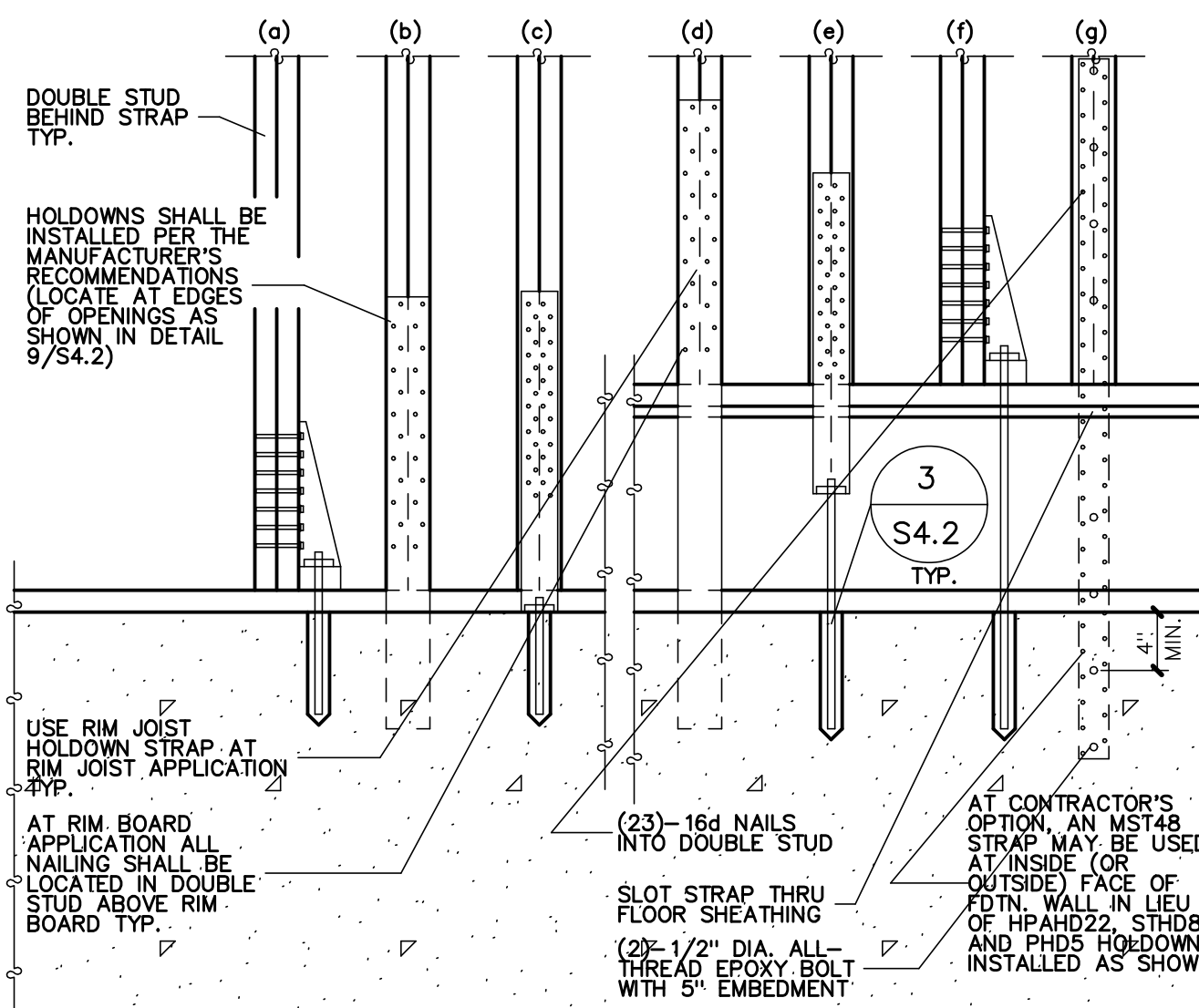
2 INTERIOR STEEL POST ON CONC. FOOTING
NO SCALE
S4.2



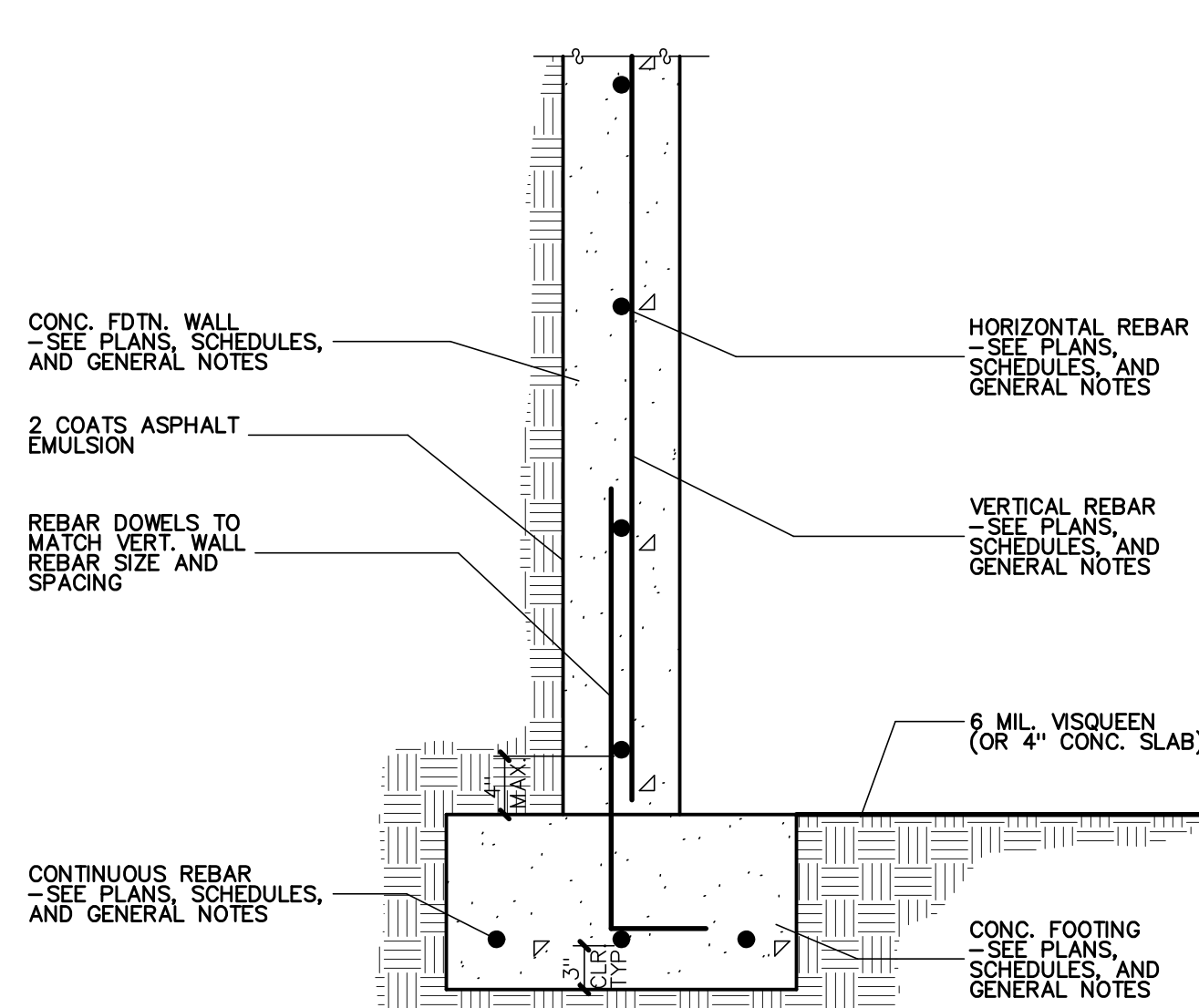
3 EPOXY REBAR/BOLT SCHEDULE
NO SCALE
S4.2



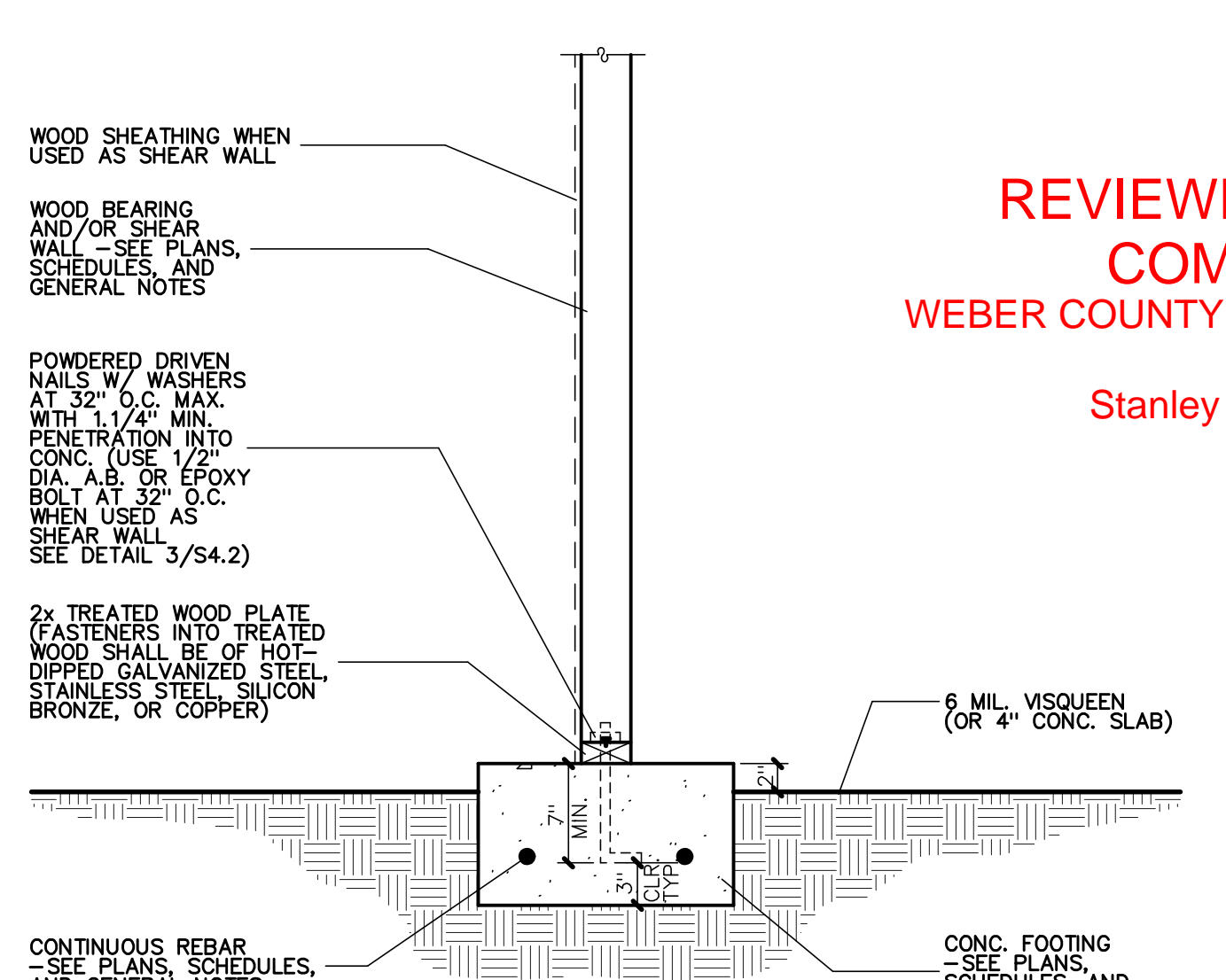
4 CONC. FDTN. WALL/FOOTING CONNECTION TO EXIST. CONC. FDTN. WALL/FOOTING
NO SCALE
S4.2



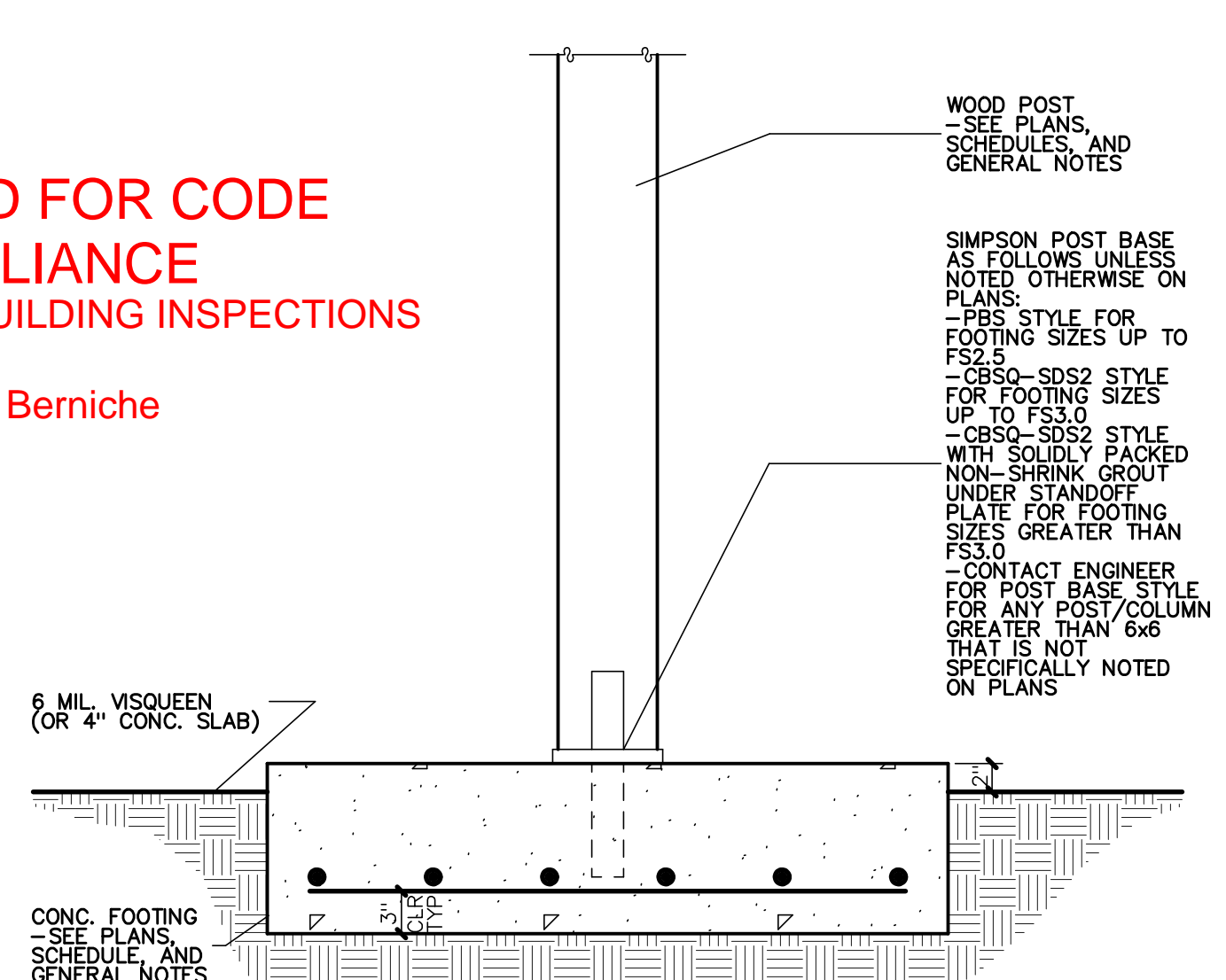
5 VARIOUS HOLDDOWN INSTALLATION CONFIGURATIONS
NO SCALE
S4.2



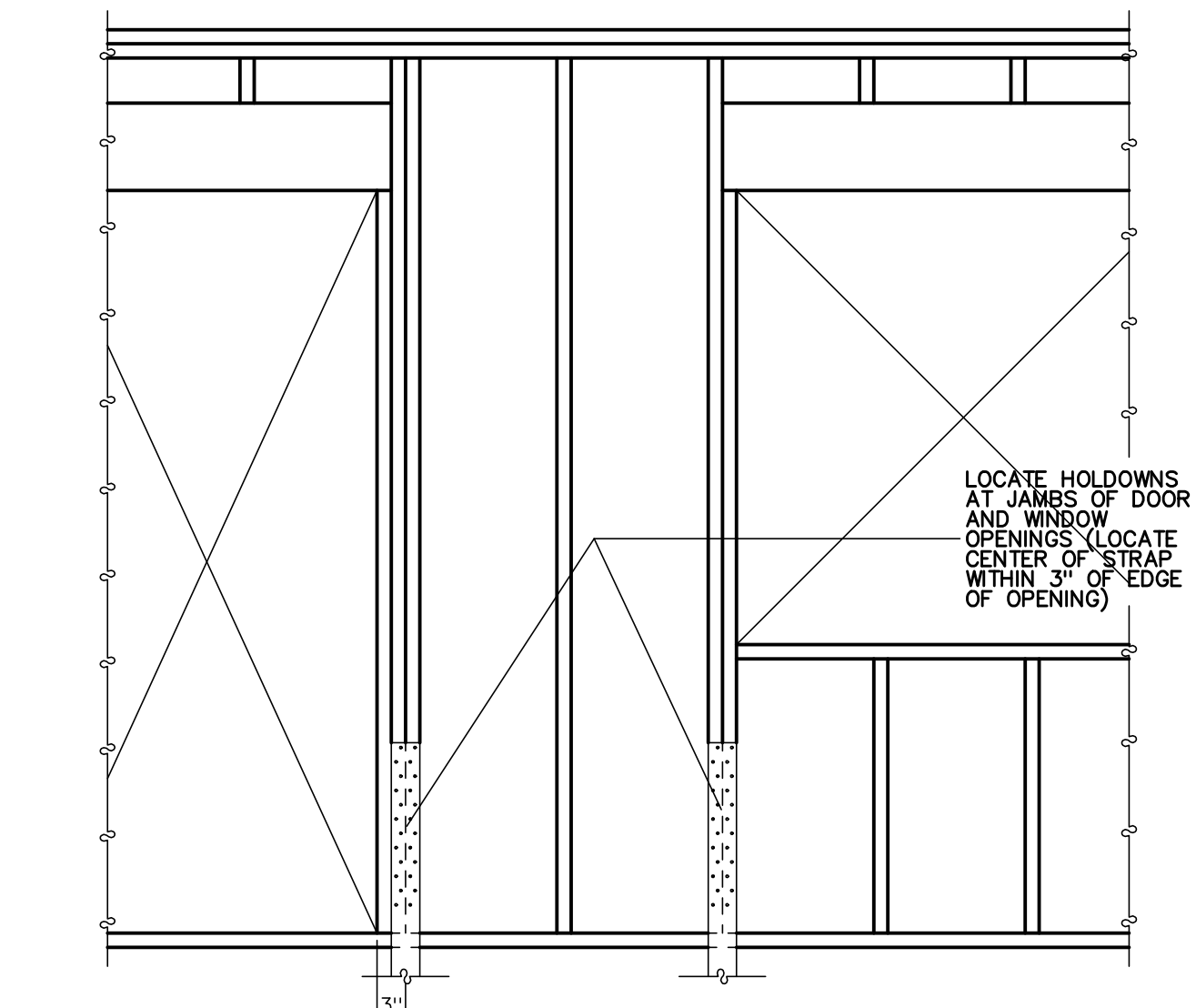
6 CRAWL SPACE CONC. FDTN. WALL ON CONC. FOOTING
NO SCALE
S4.2



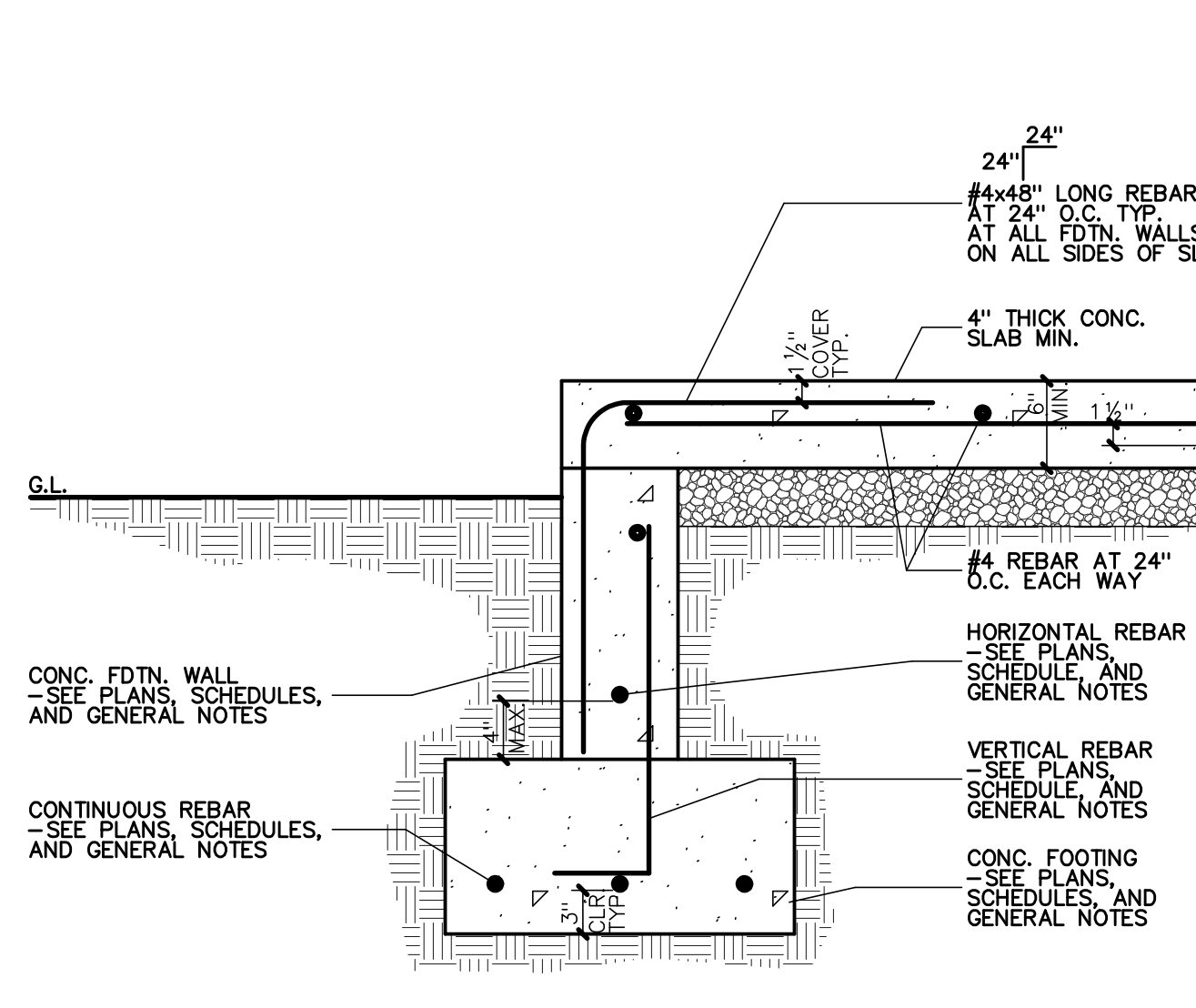
7 CRAWL SPACE INTERIOR BEARING AND/OR SHEAR WALL ON CONC. FOOTING
NO SCALE
S4.2



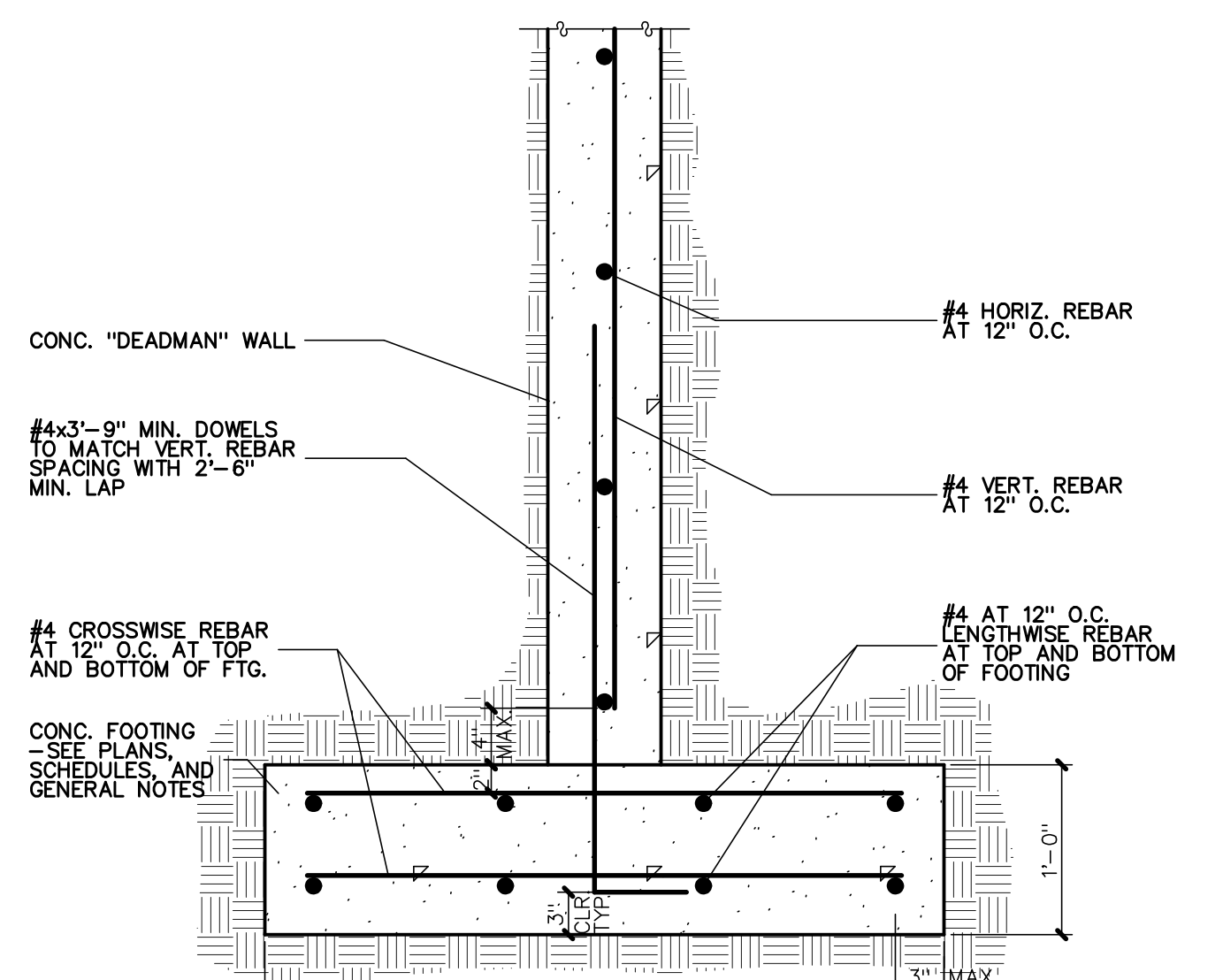
8 CRAWL SPACE INTERIOR WOOD POST ON CONC. FOOTING
NO SCALE
S4.2



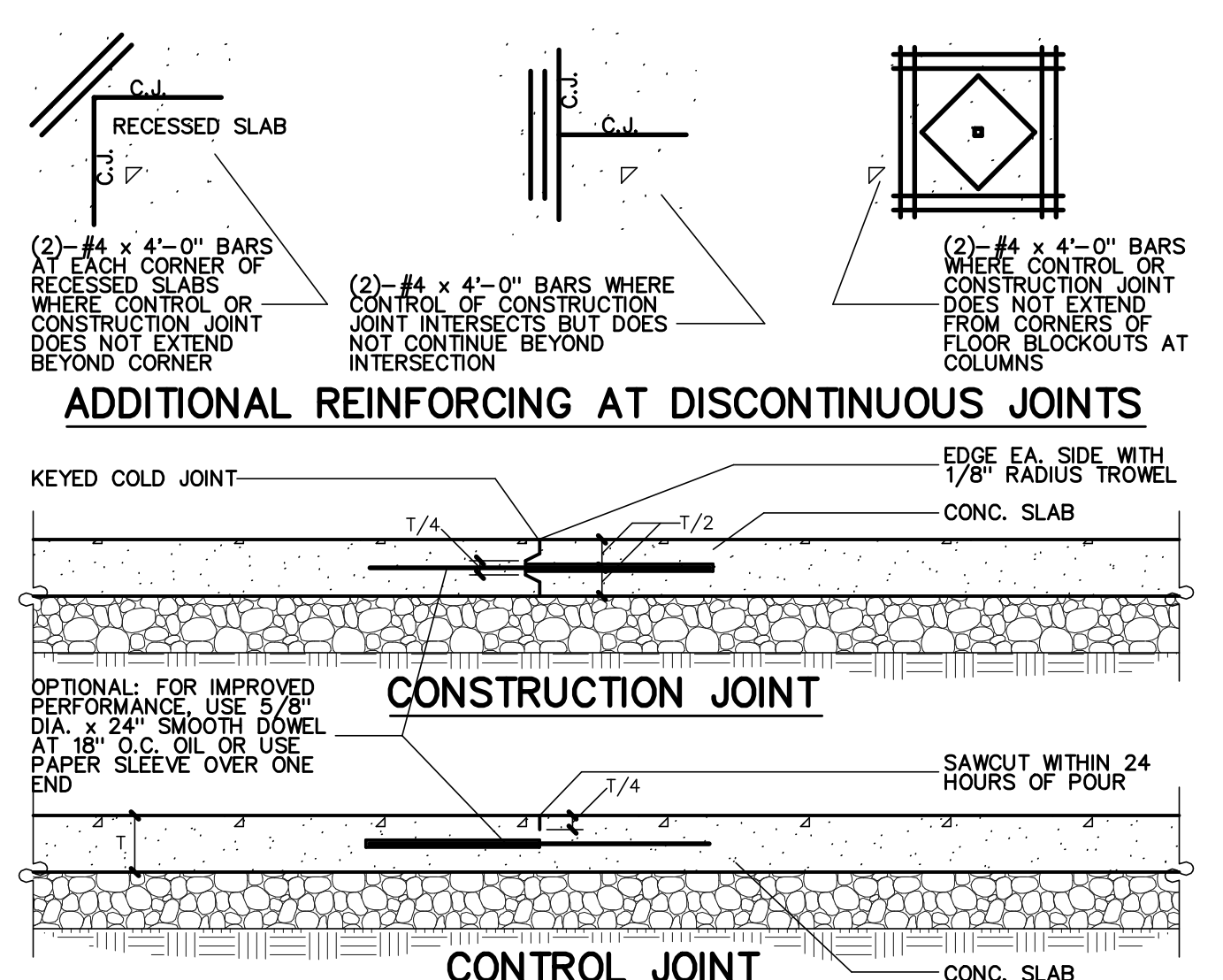
9 HOLDDOWN LOCATION
NO SCALE
S4.2



10 CONC. PORCH SLAB-ON-GRADE
NO SCALE
S4.2

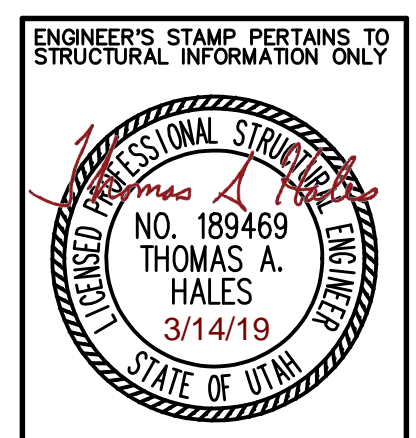


11 FOOTING AT "DEADMAN" WALL
NO SCALE
S4.2



12 TYPICAL SLAB-ON-GRADE JOINTS
NO SCALE
S4.2

REVIEWED FOR CODE COMPLIANCE
WEBER COUNTY BUILDING INSPECTIONS
Stanley C. Berniche



COPYRIGHT NOTICE:
THESE PLANS, DRAWINGS & DESIGNATIONS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC. NO PART SHALL BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.

FOR: DENNIS & CATHY LONGFELLOW
LOT 11, SNOWFLAKE SUBDIVISION NO. 2
4427 N. POWDER MOUNTAIN ROAD
EDEN, UTAH 84310

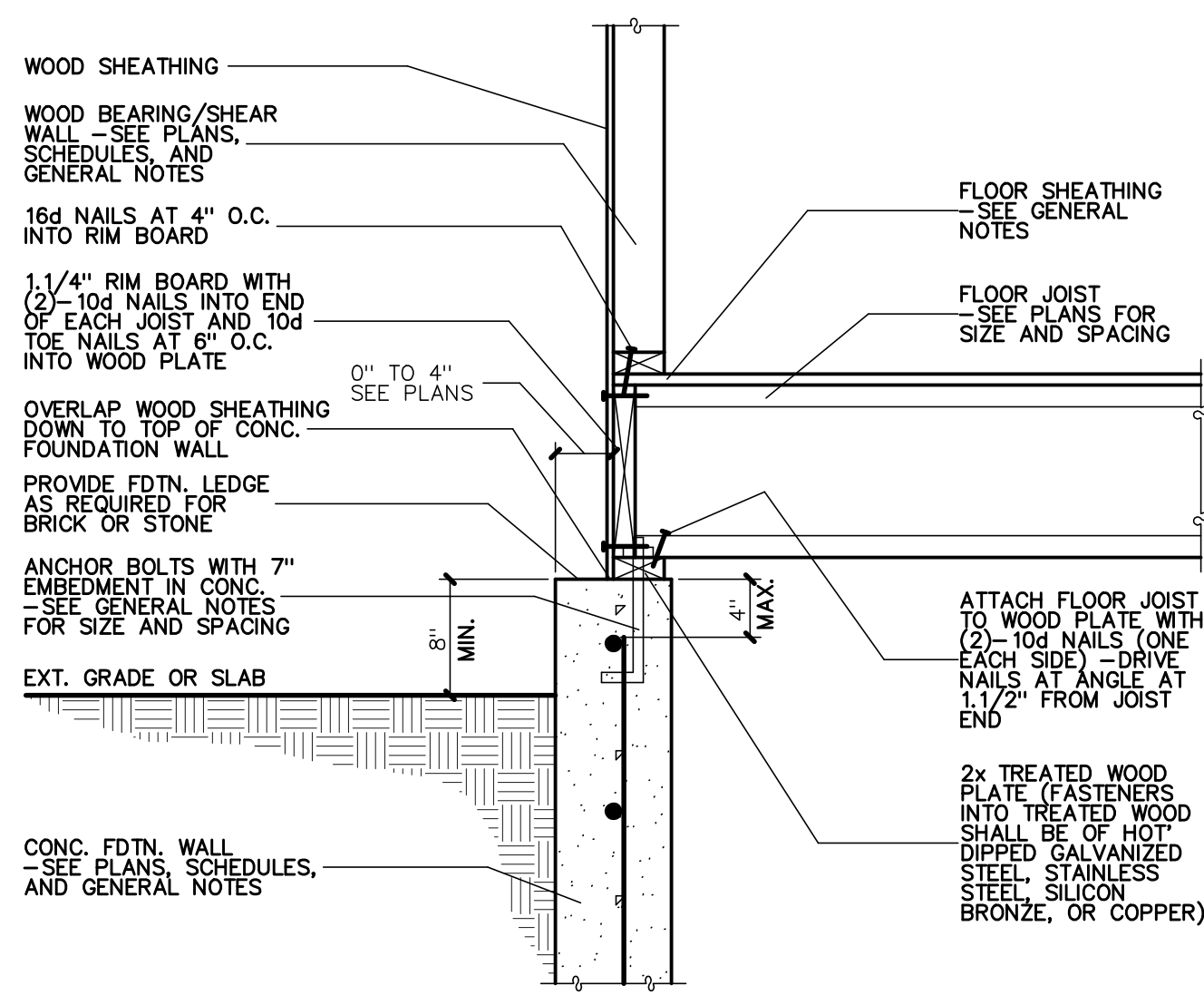
304 WEST PLEASANT VIEW DR.
EDEN, UTAH 84414
PHONE: (801)-782-0484
FAX: (801)-782-8631
WWW.LOMONDVIEW.COM

EDEN, UTAH

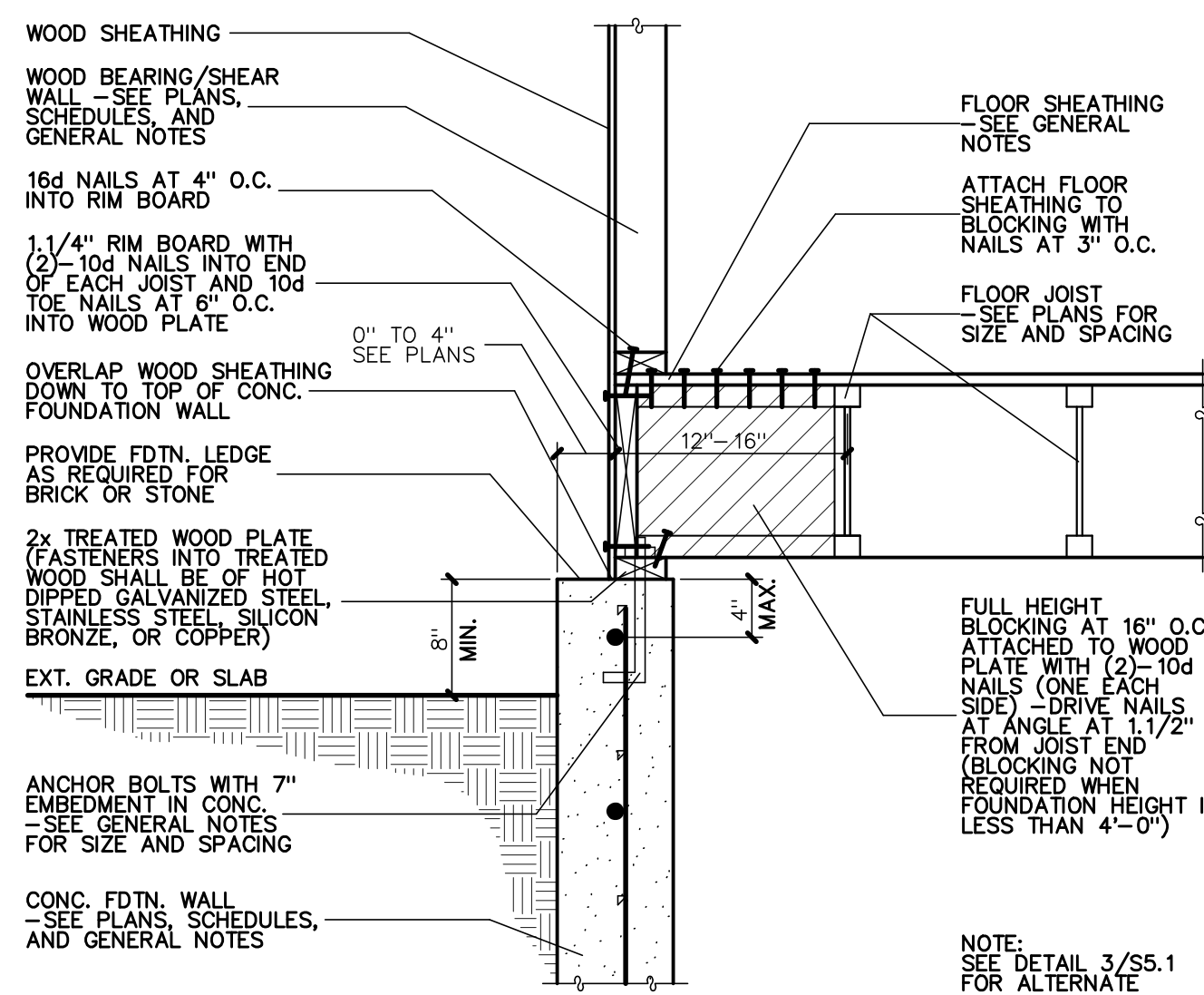
FOOTING AND FOUNDATION DETAILS
DRAWN: CWH/BRH
TYPE: ORIGINAL DRAWING
DATE: 3/13/2019
JOB NO.: 19012
PLAN NO.: 1-2-164173-1-940 TWO-STORY

NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB -- SEE PLAN SHEETS FOR REFERENCES TO DETAILS

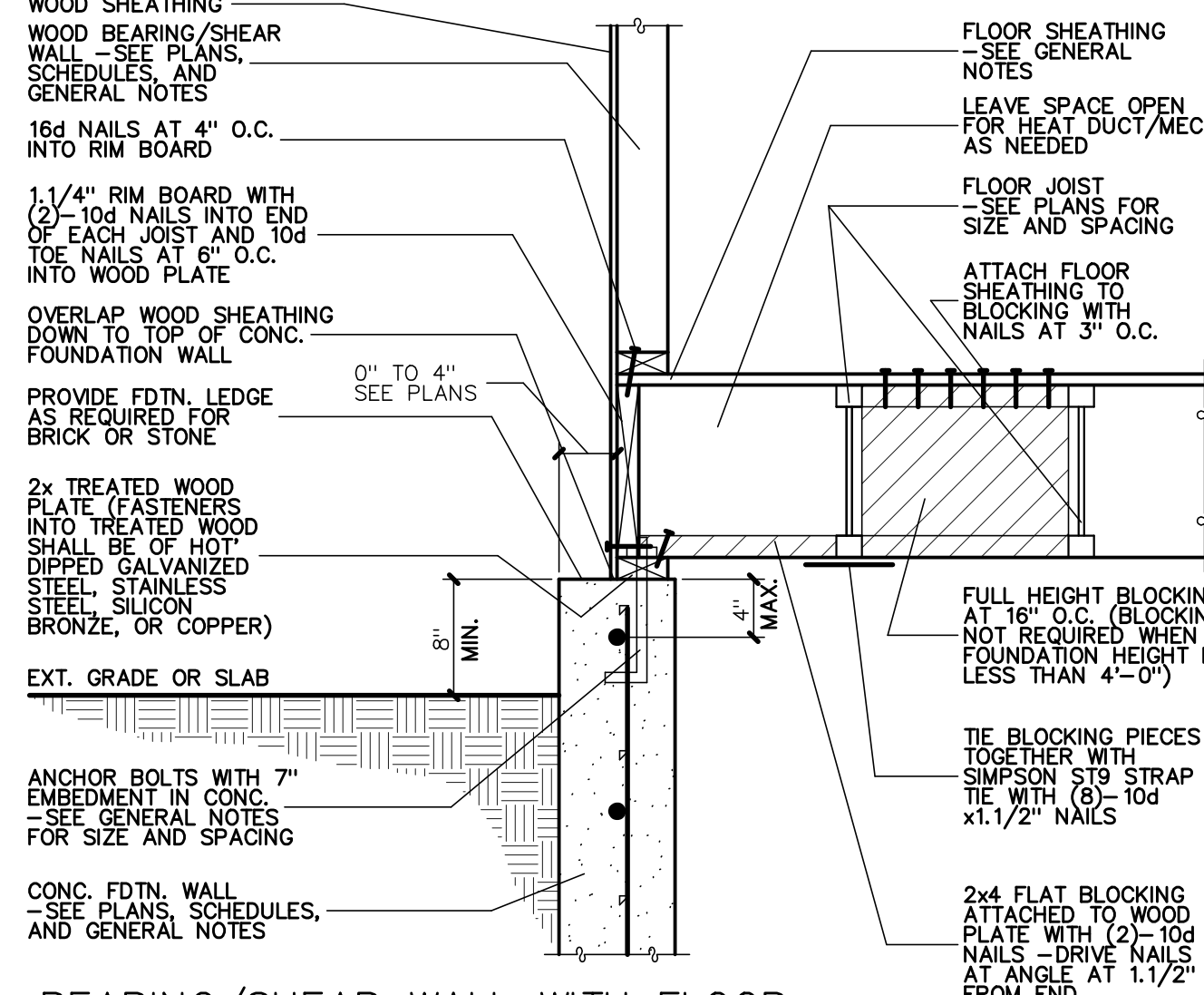
CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.



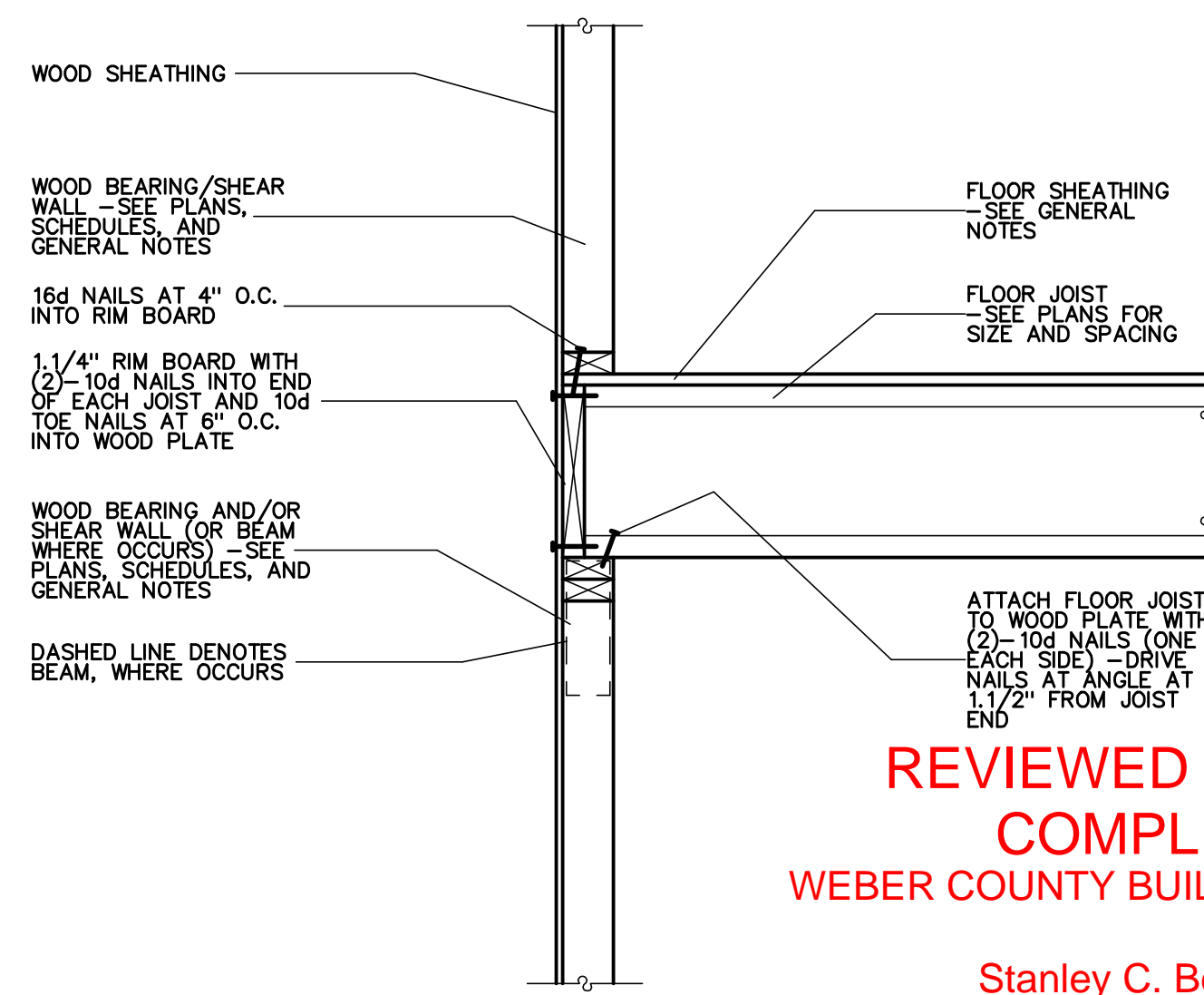
1
S5.1
BEARING/SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR TO CONC. FDTN. WALL
NO SCALE



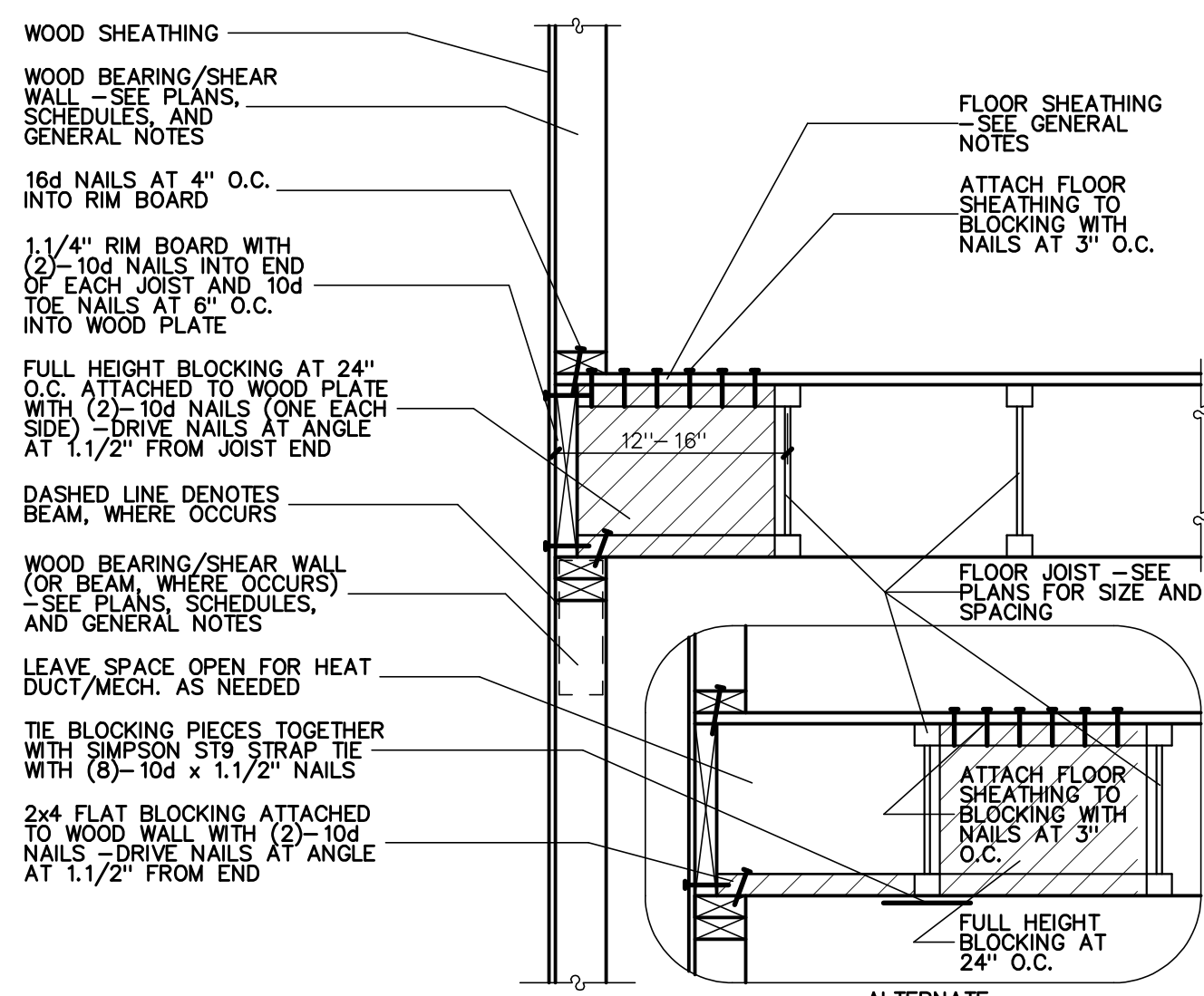
2
S5.1
BEARING/SHEAR WALL WITH FLOOR JOISTS JOISTS PARALLEL TO CONC. FDTN. WALL
NO SCALE



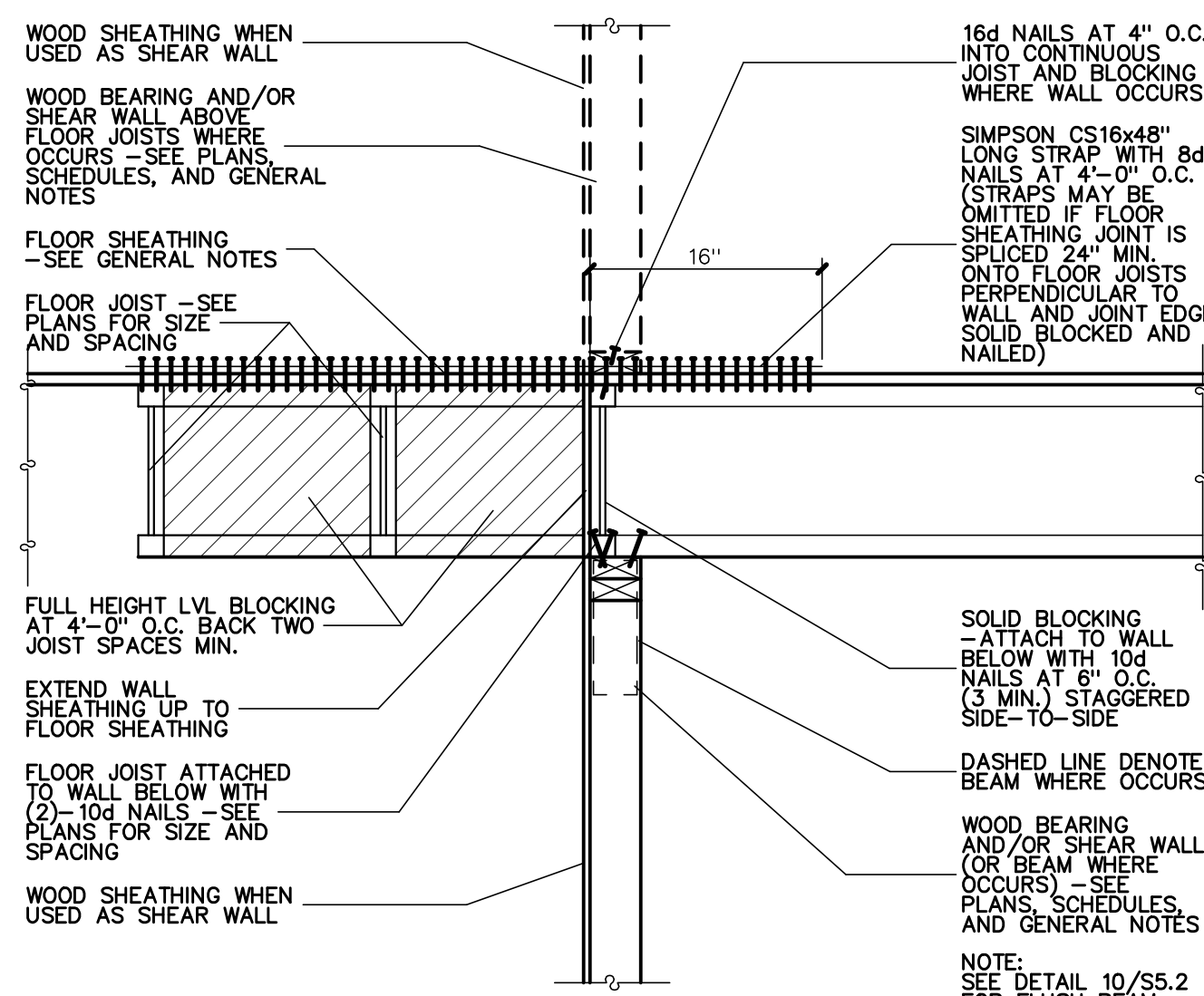
3
S5.1
BEARING/SHEAR WALL WITH FLOOR JOISTS PARALLEL TO CONCRETE FOUNDATION WALL (ALTERNATE)
NO SCALE



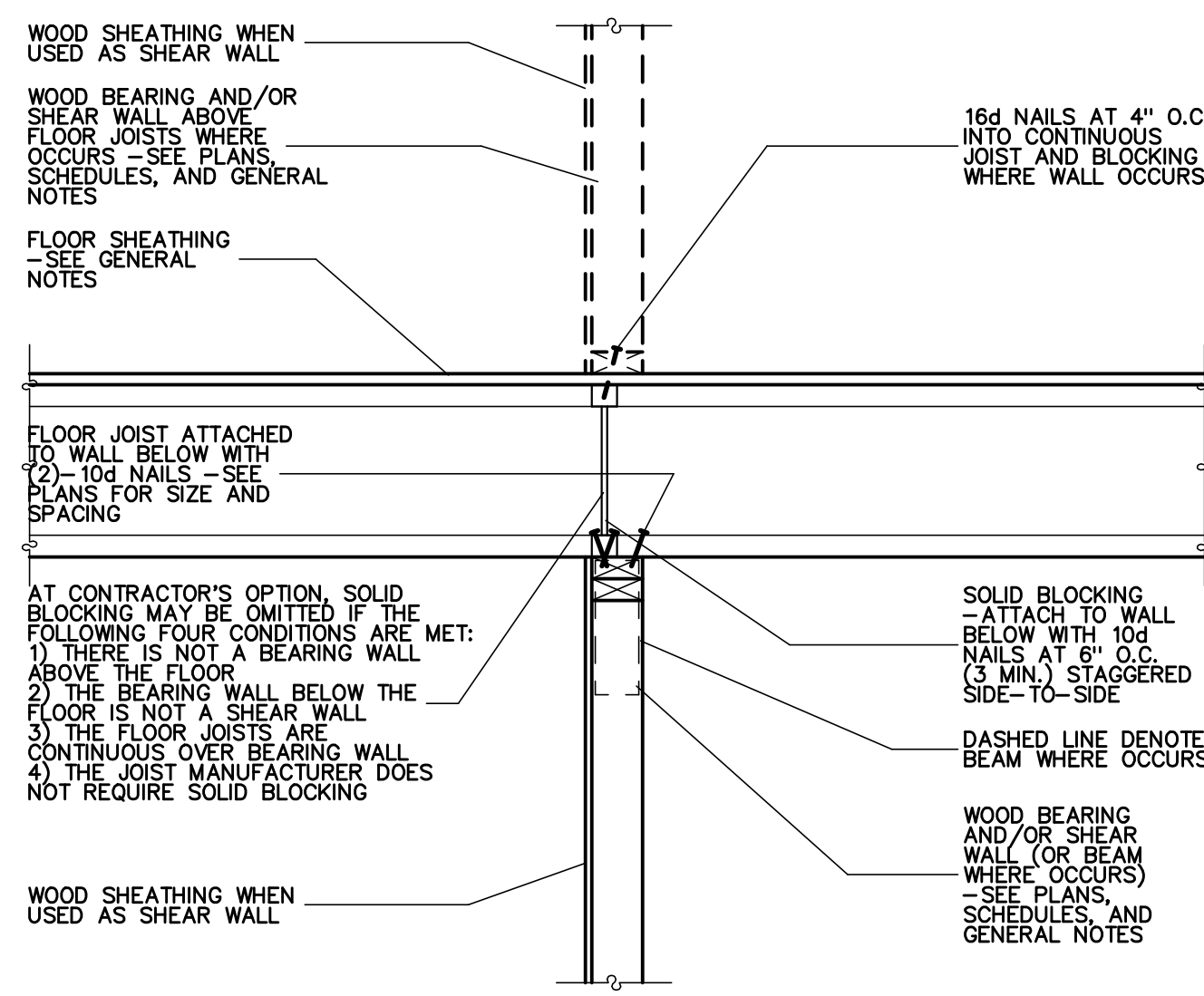
4
S5.1
BEARING/SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR TO WOOD WALL
NO SCALE



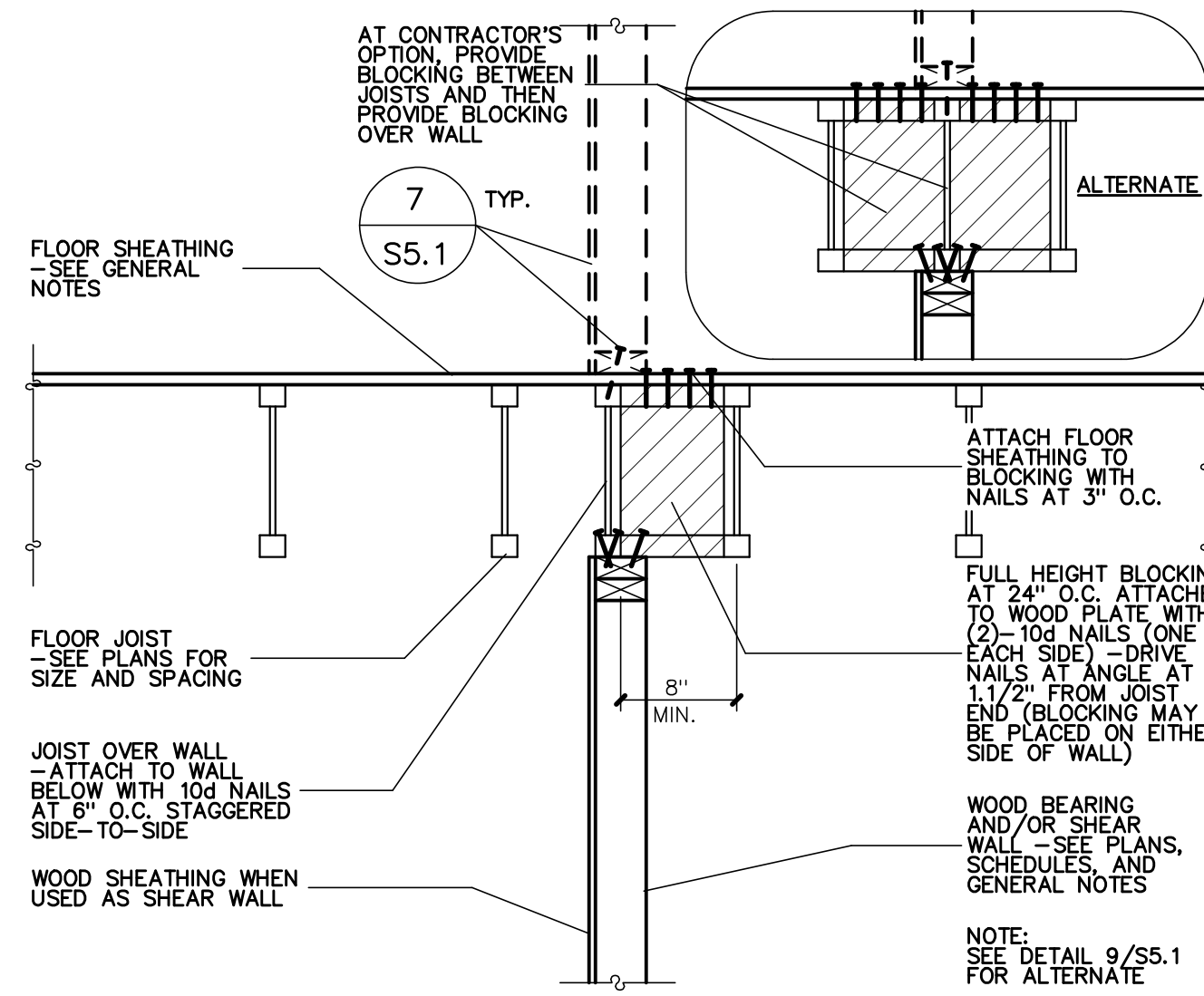
5
S5.1
BEARING/SHEAR WALL WITH FLOOR JOISTS PARALLEL TO WOOD WALL
NO SCALE



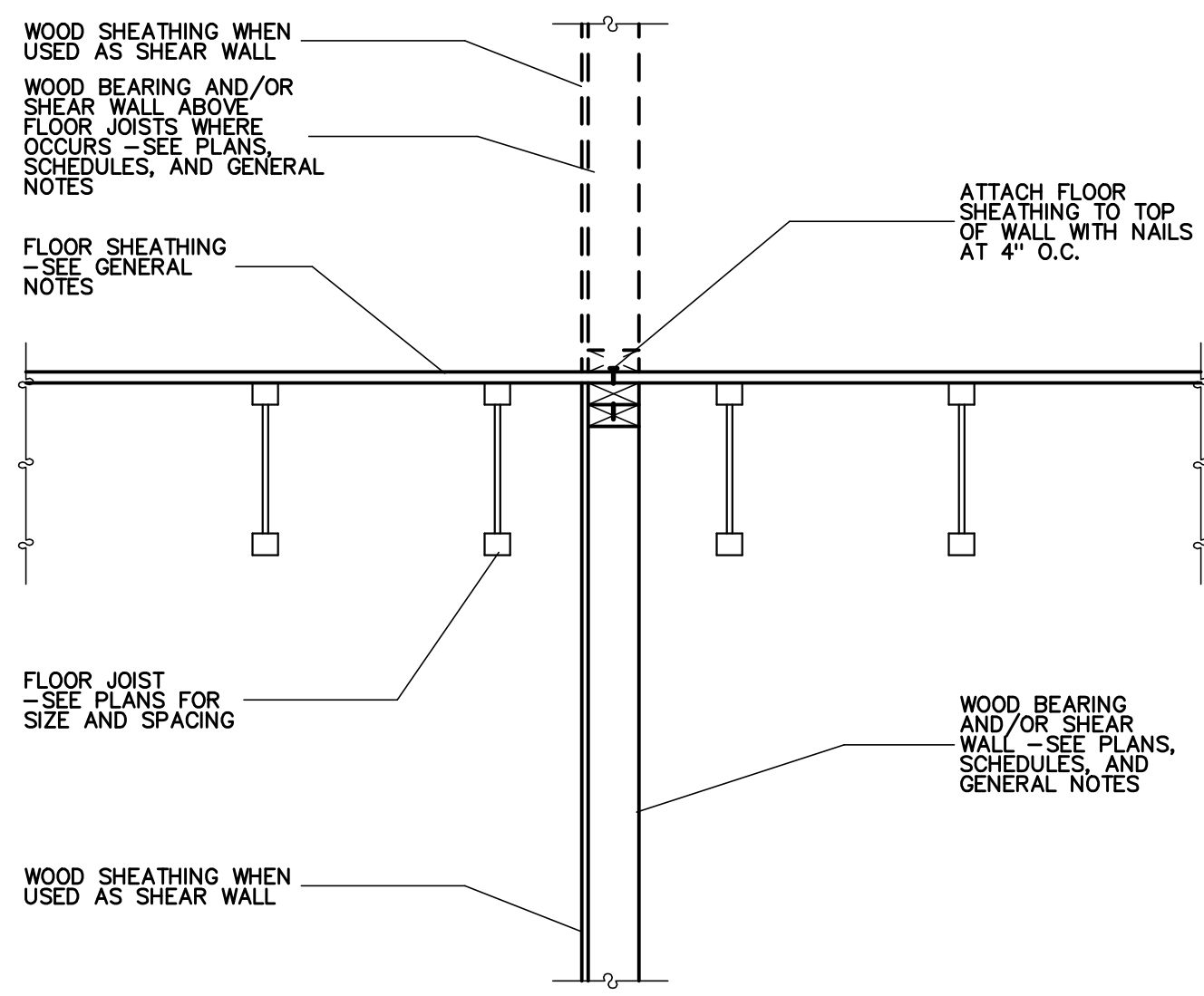
6
S5.1
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR AND PARALLEL TO WALL
NO SCALE



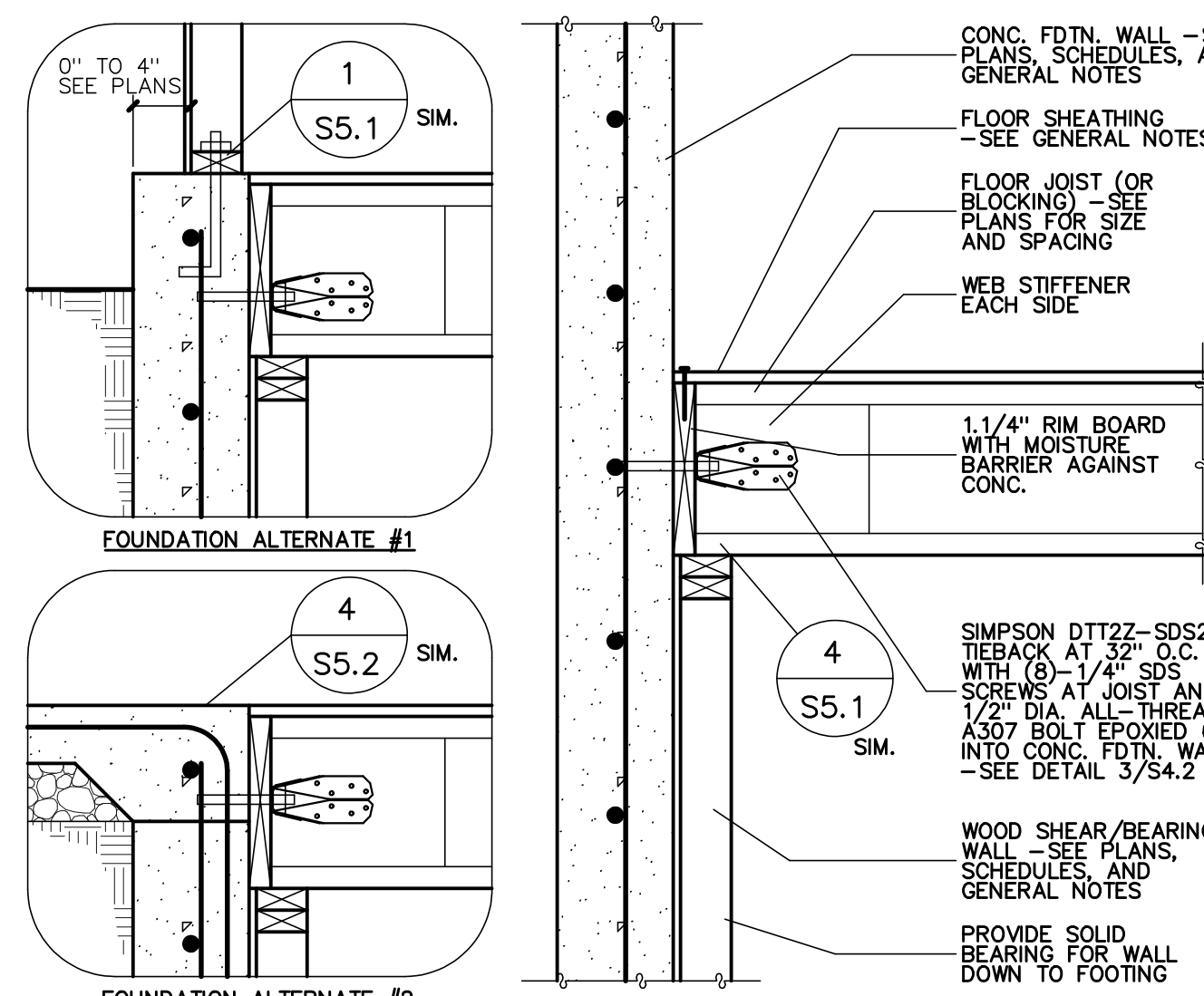
7
S5.1
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR TO WALL
NO SCALE



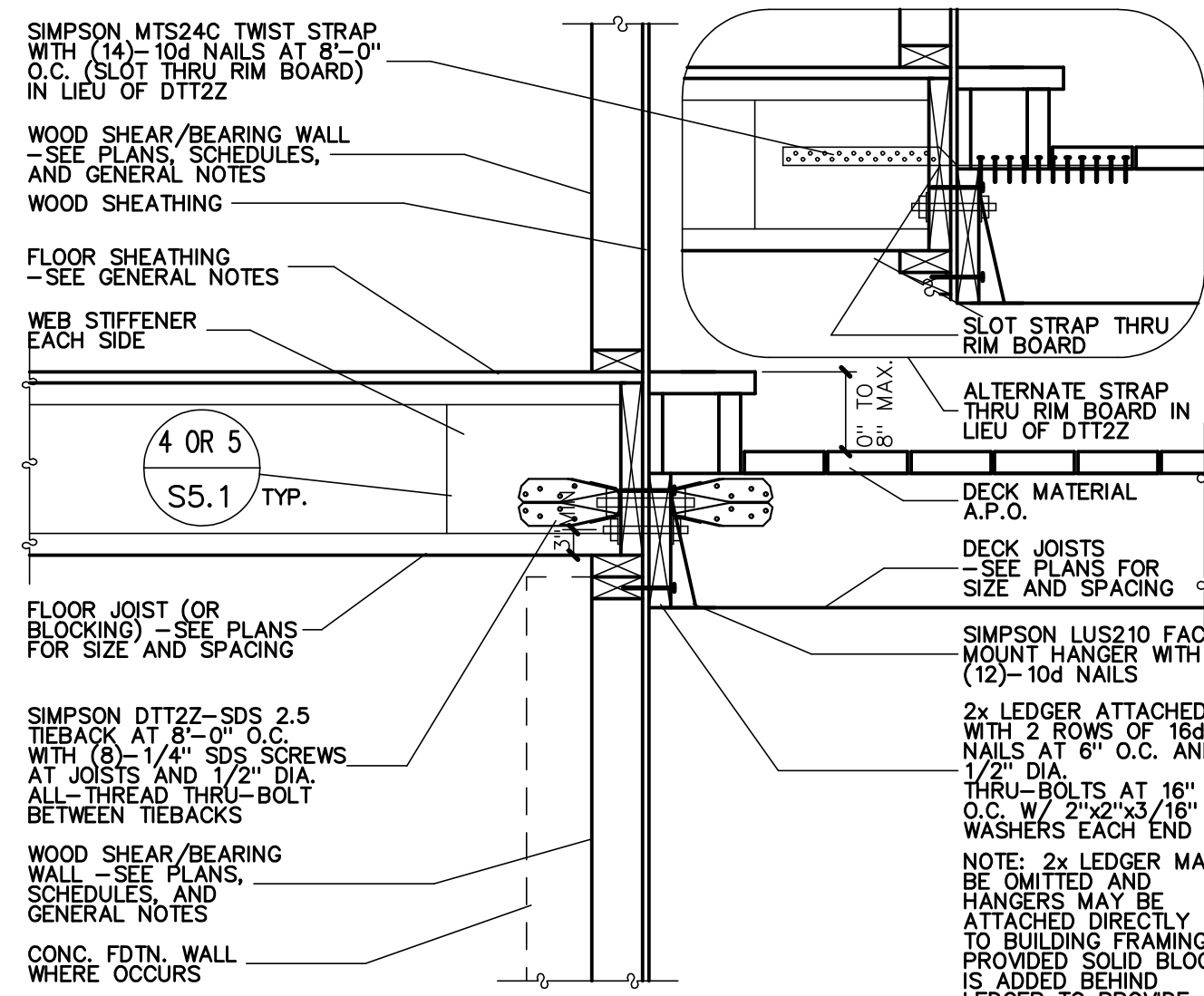
8
S5.1
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PARALLEL TO WALL
NO SCALE



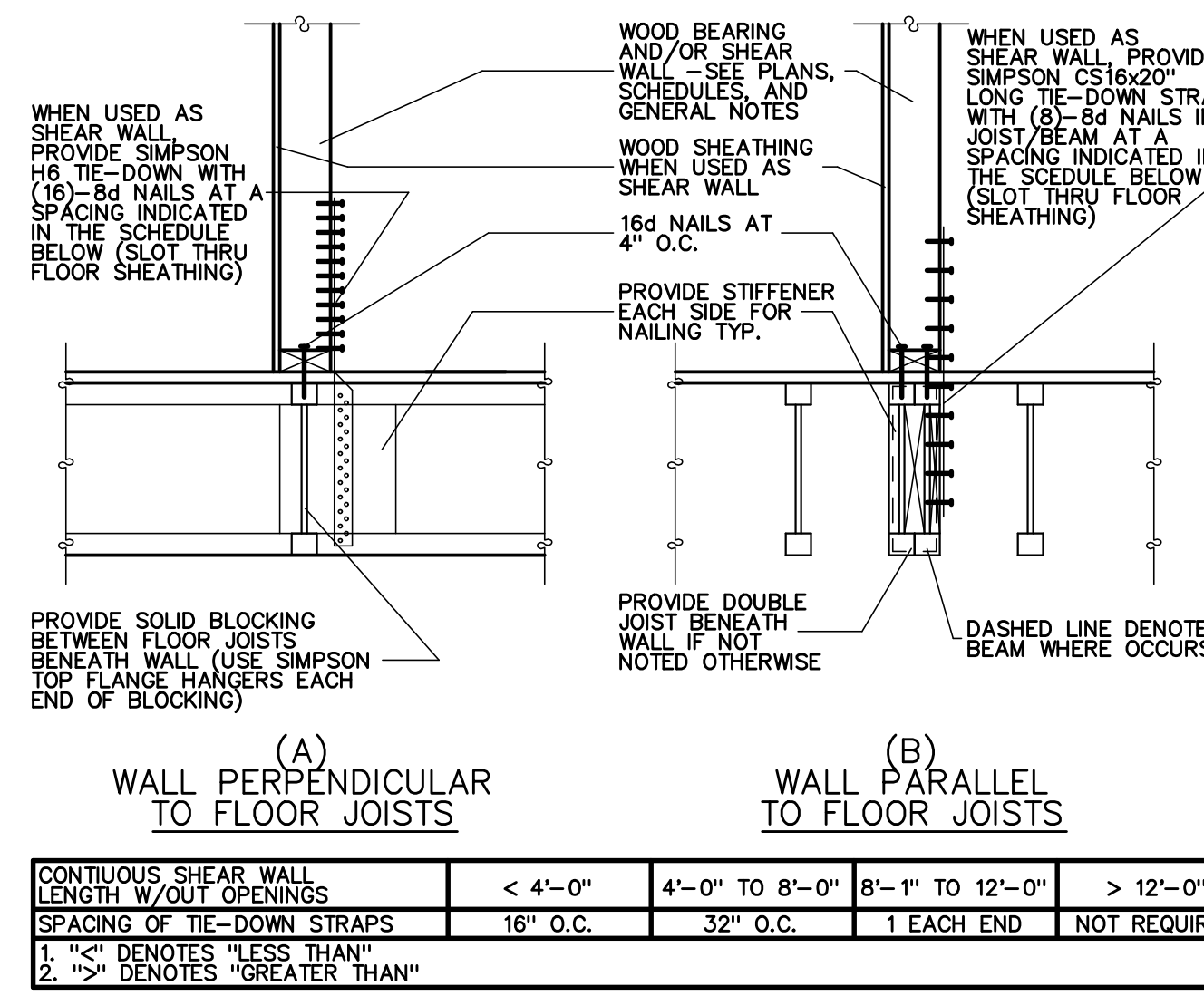
9
S5.1
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PARALLEL TO WALL
NO SCALE



10
S5.1
FLOOR JOIST TO FACE OF FOUNDATION WALL
NO SCALE



11
S5.1
DECK FRAMING TIE-BACK AT EXTERIOR WALL
NO SCALE



12
S5.1
BEARING AND/OR SHEAR WALL WITHOUT BEARING AND/OR SHEAR WALL DIRECTLY BELOW
NO SCALE

CONTINUOUS SHEAR WALL LENGTH W/OUT OPENINGS	< 4'-0"	4'-0" TO 8'-0"	8'-1" TO 12'-0"	> 12'-0"
SPACING OF TIE-DOWN STRAPS	16" O.C.	32" O.C.	1 EACH END	NOT REQUIRED

1. "C" DENOTES "LESS THAN"
2. "S" DENOTES "GREATER THAN"

REVIEWED FOR CODE COMPLIANCE
WEBER COUNTY BUILDING INSPECTIONS
Stanley C. Berniche

COPYRIGHT NOTICE:
THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC. NO PARTS SHALL BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.

FOR: DENNIS & CATHY LONGFELLOW
LOT 11, SNOWFLAKE SUBDIVISION NO. 2
EDEN, UTAH 84414
4427 N. POWDER MOUNTAIN ROAD, EDEN, UTAH 84310

304 WEST PLEASANT VIEW DR. EDEN, UTAH 84414
PHONE: (801)-782-0484
FAX: (801)-782-8631
WWW.LOMONDVIEW.COM

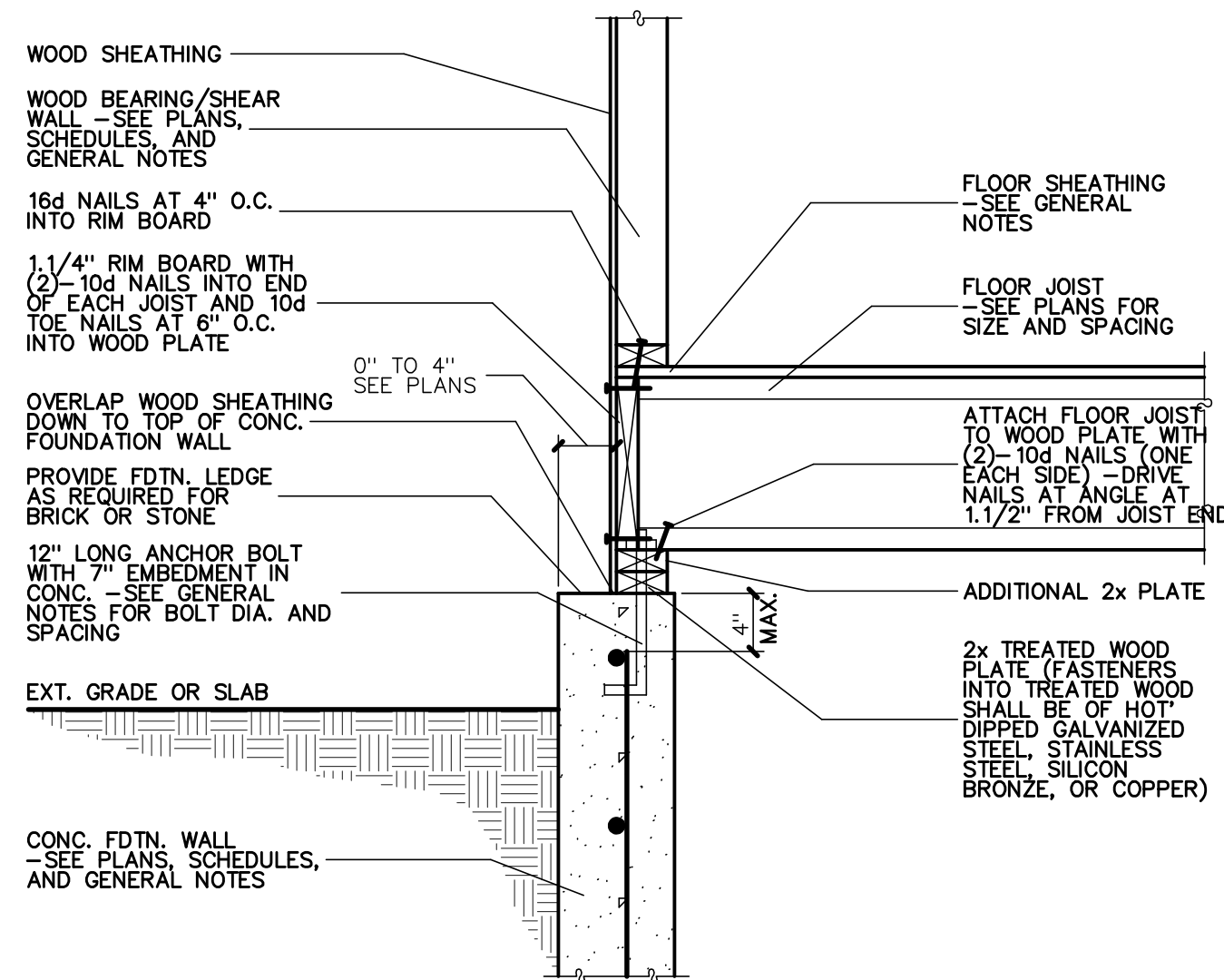
Lomond View
DESIGN & CONSTRUCTION

FLOOR FRAMING DETAILS
DRAWN: CWH/BRH
TYPE: ORIGINAL DRAWING
DATE: 3/13/2019
JOB NO.: 19012
PLAN NO.: 1-2, 1641/3-1-940 TWO-STORY

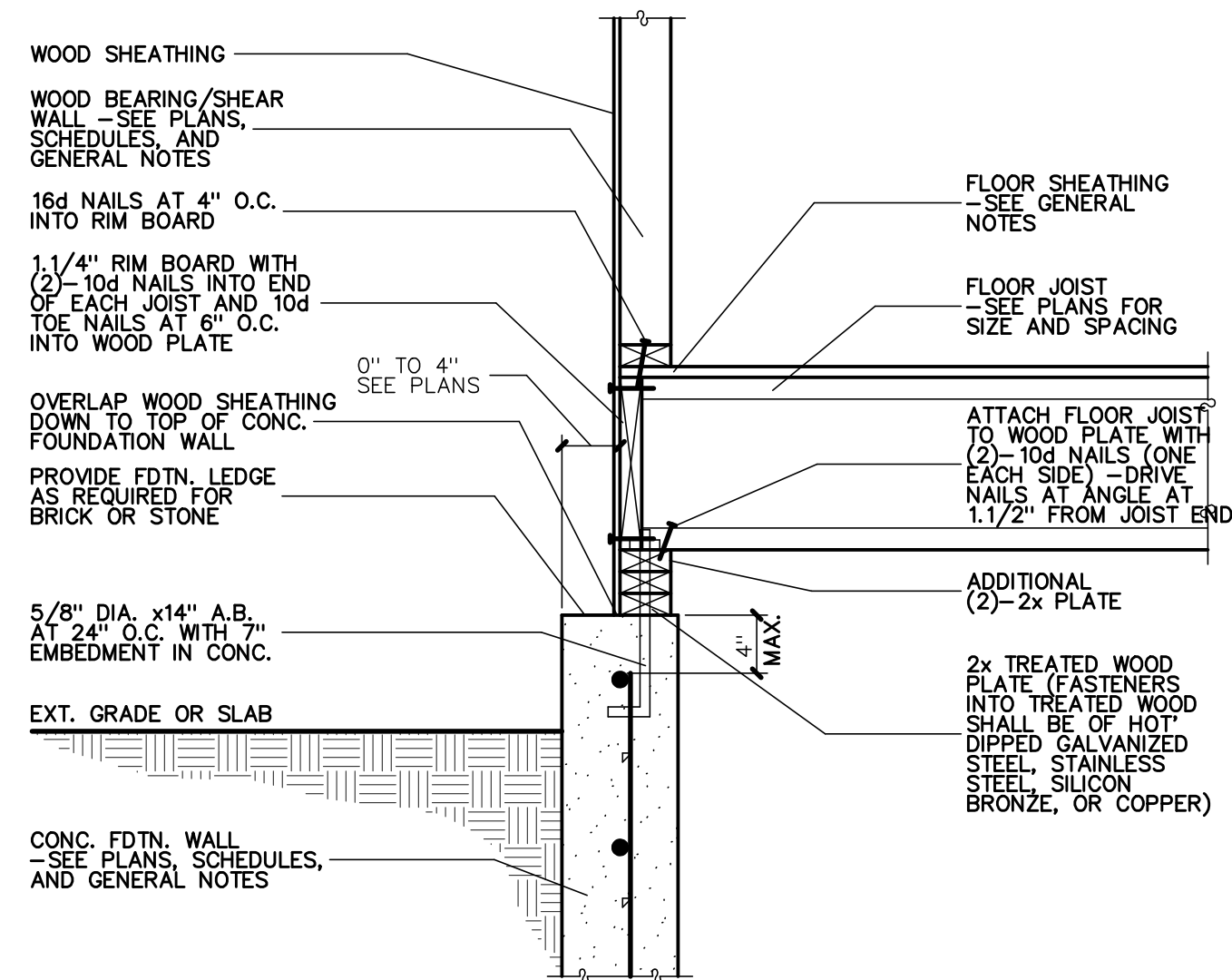
ENGINEER'S STAMP PERTAINS TO STRUCTURAL INFORMATION ONLY
NO. 189469
THOMAS A. HALES
3/14/19
STATE OF UTAH

SHEET 5.1

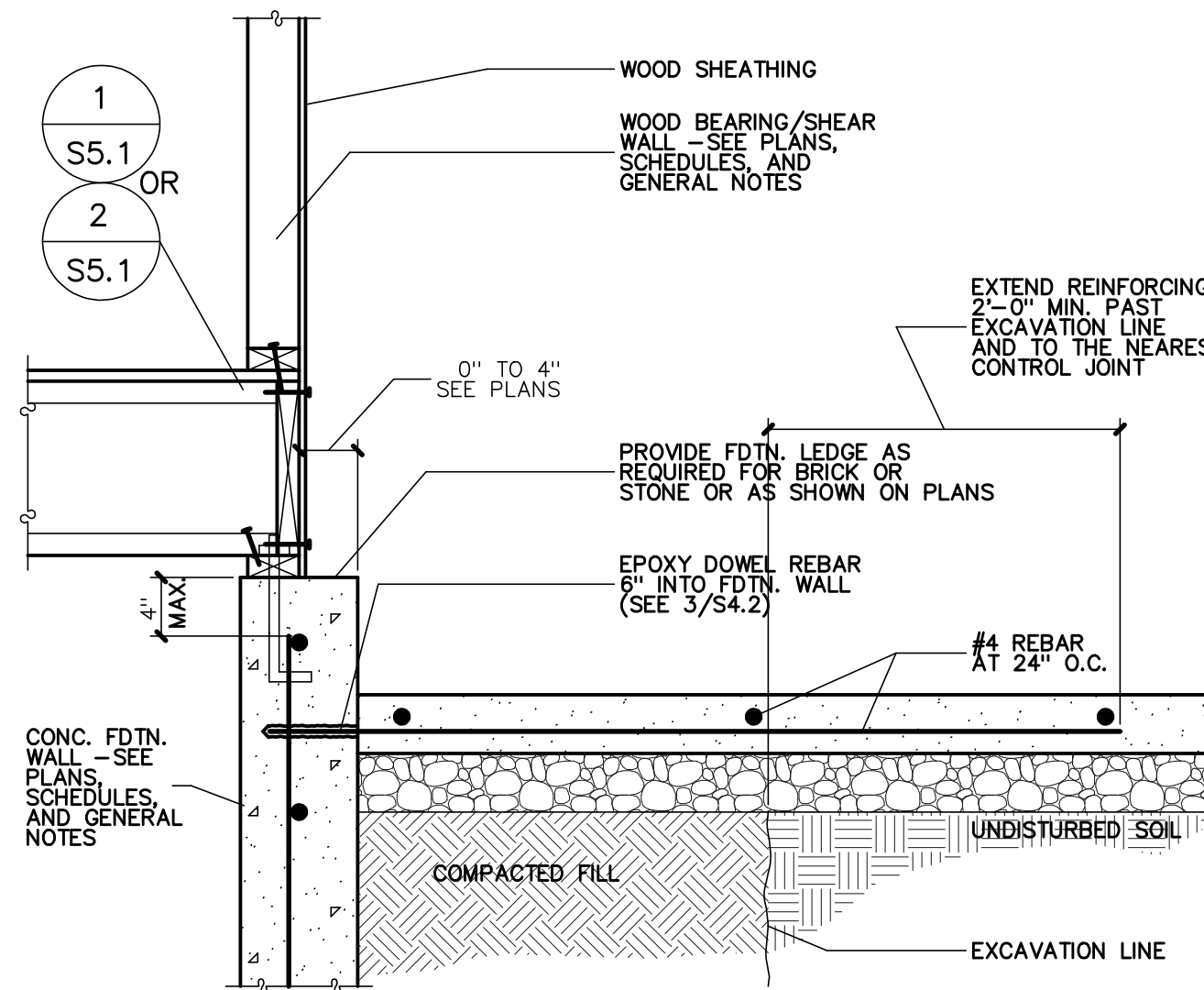
NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB --- SEE PLAN SHEETS FOR REFERENCES TO DETAILS



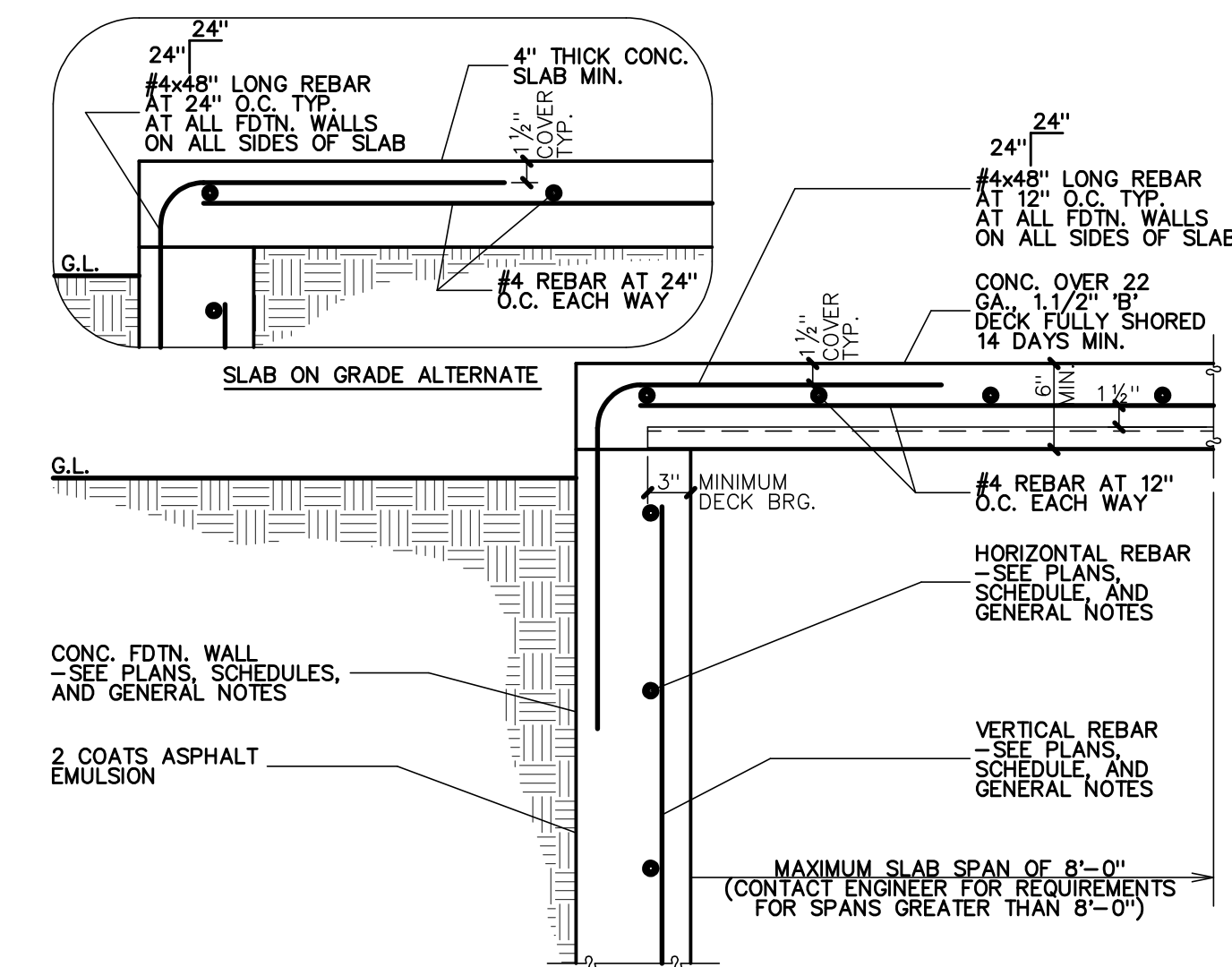
1
FDN. WALL WITH DOUBLE PLATE OPTION
NO SCALE
S5.2



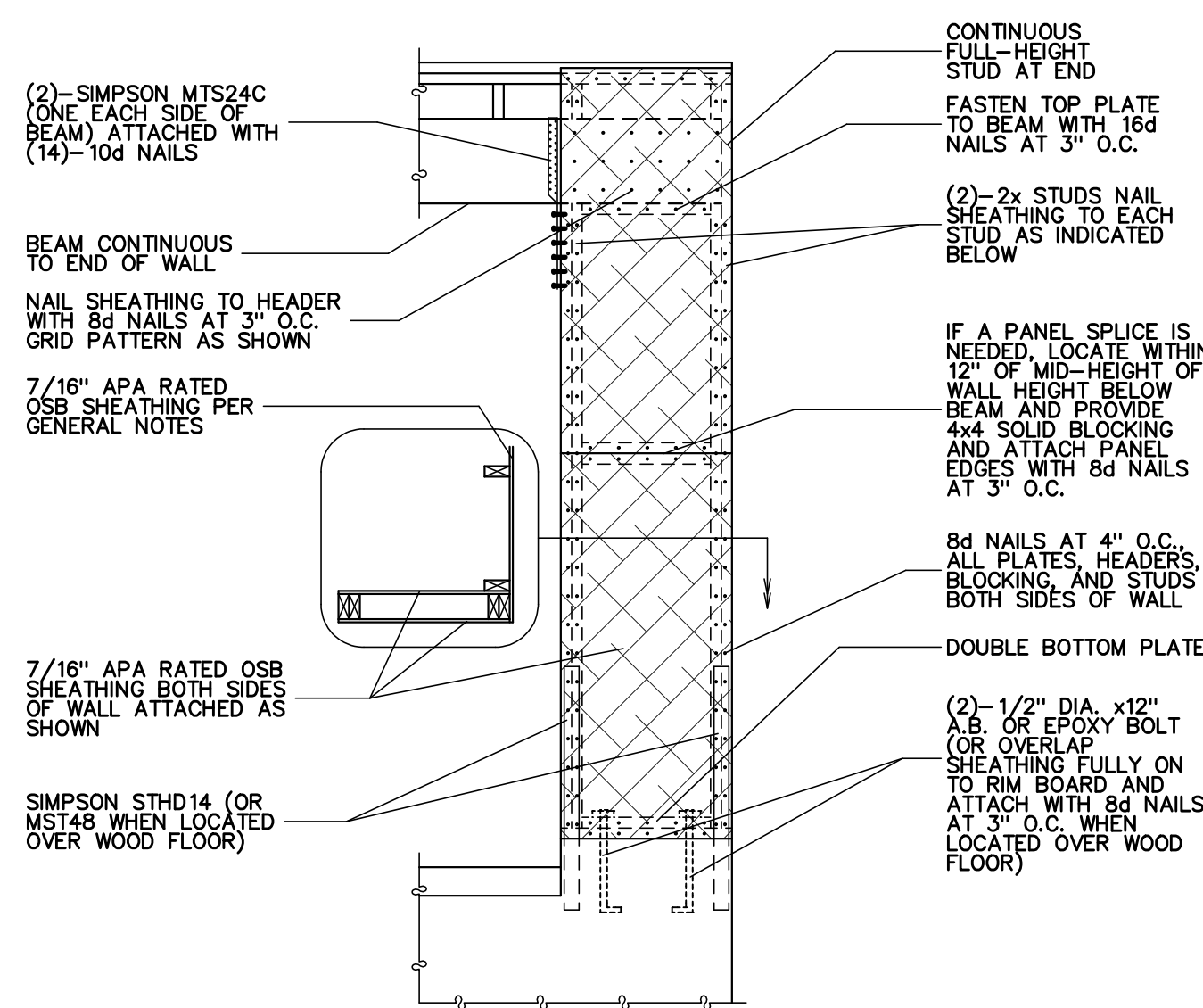
2
FDN. WALL WITH TRIPLE PLATE OPTION
NO SCALE
S5.2



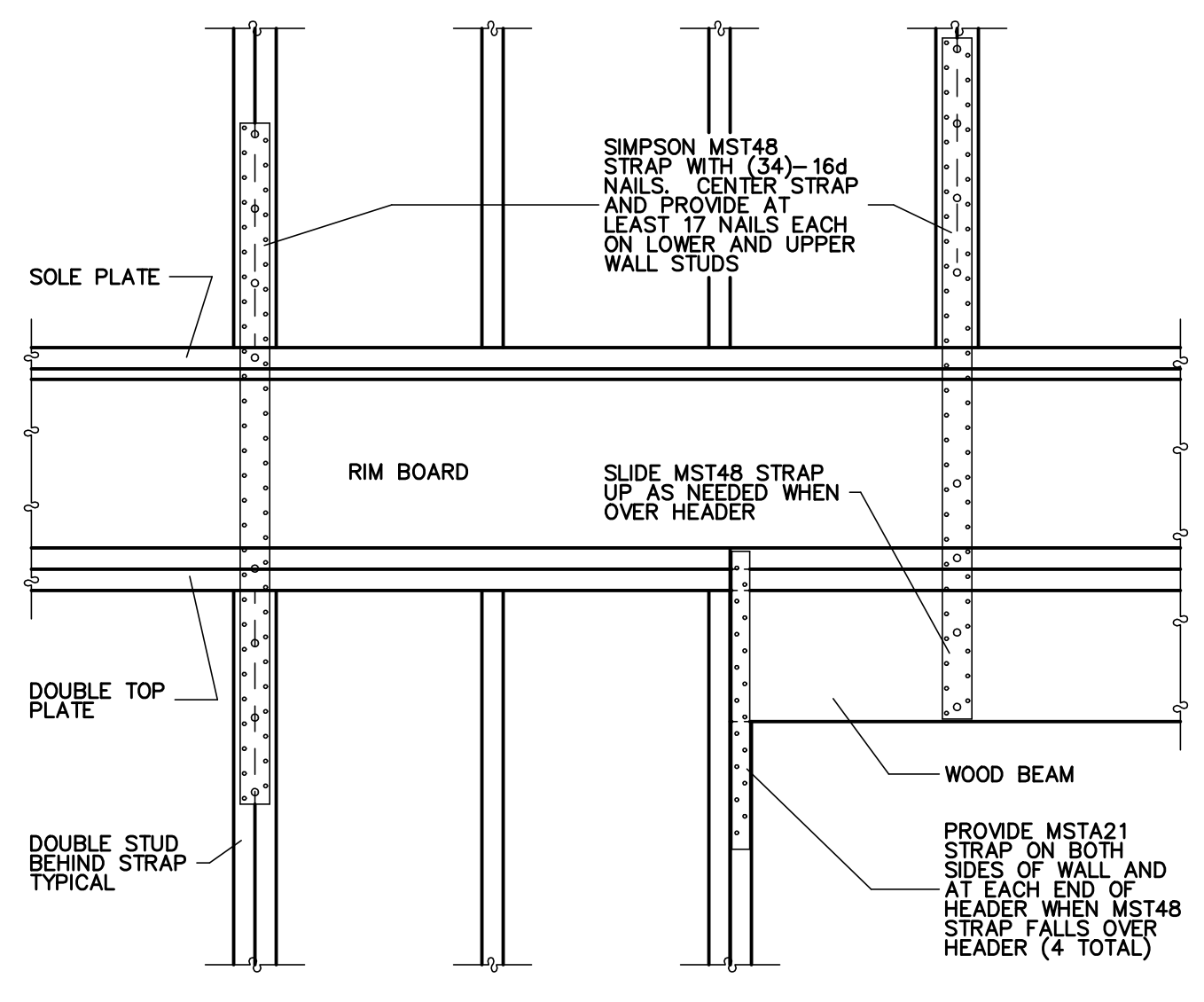
3
REBAR DOWELS FOR CONC. SLAB AT CONC. FDN.
NO SCALE
S5.2



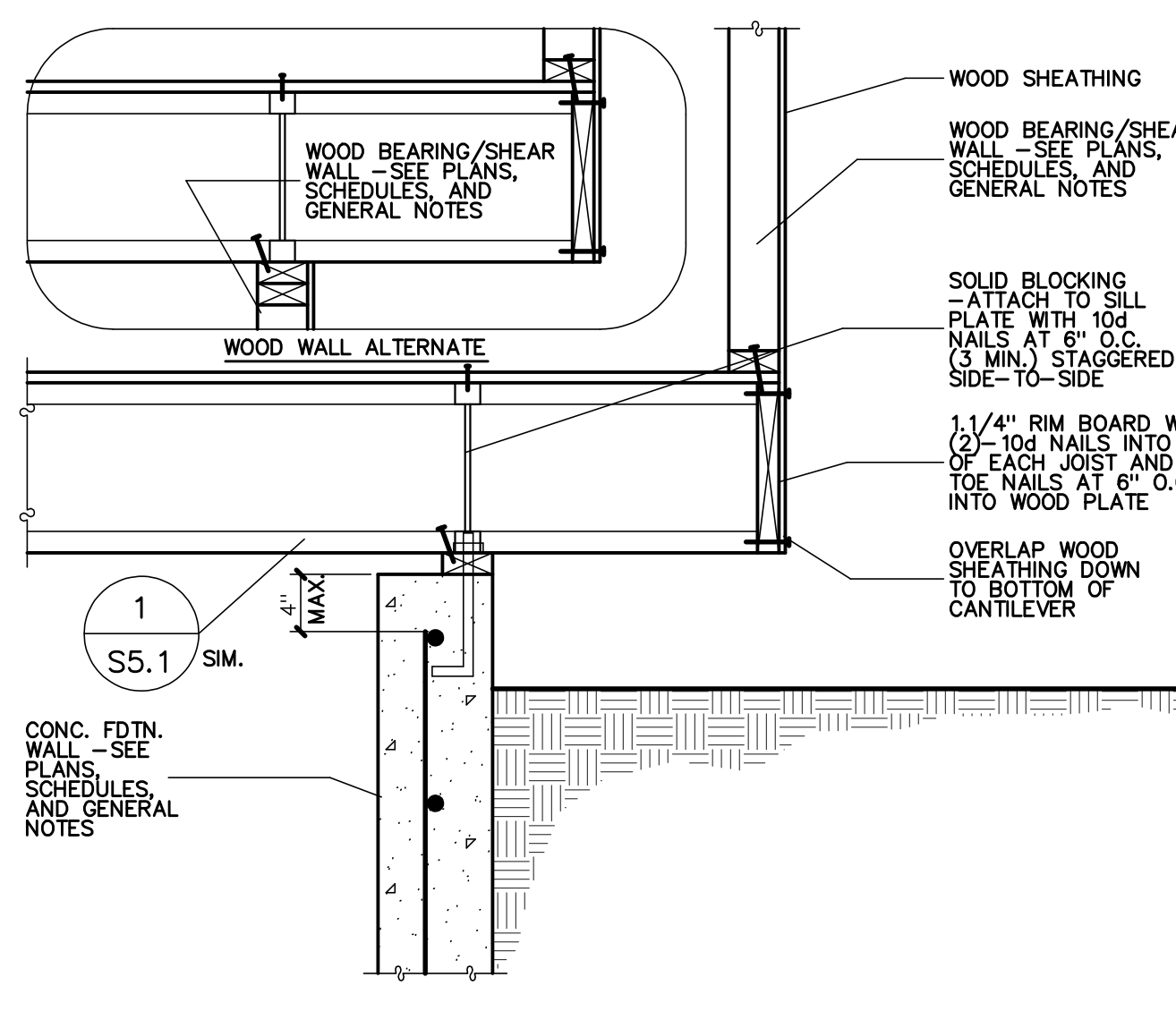
4
CONC. PORCH SUSPENDED SLAB
NO SCALE
S5.2



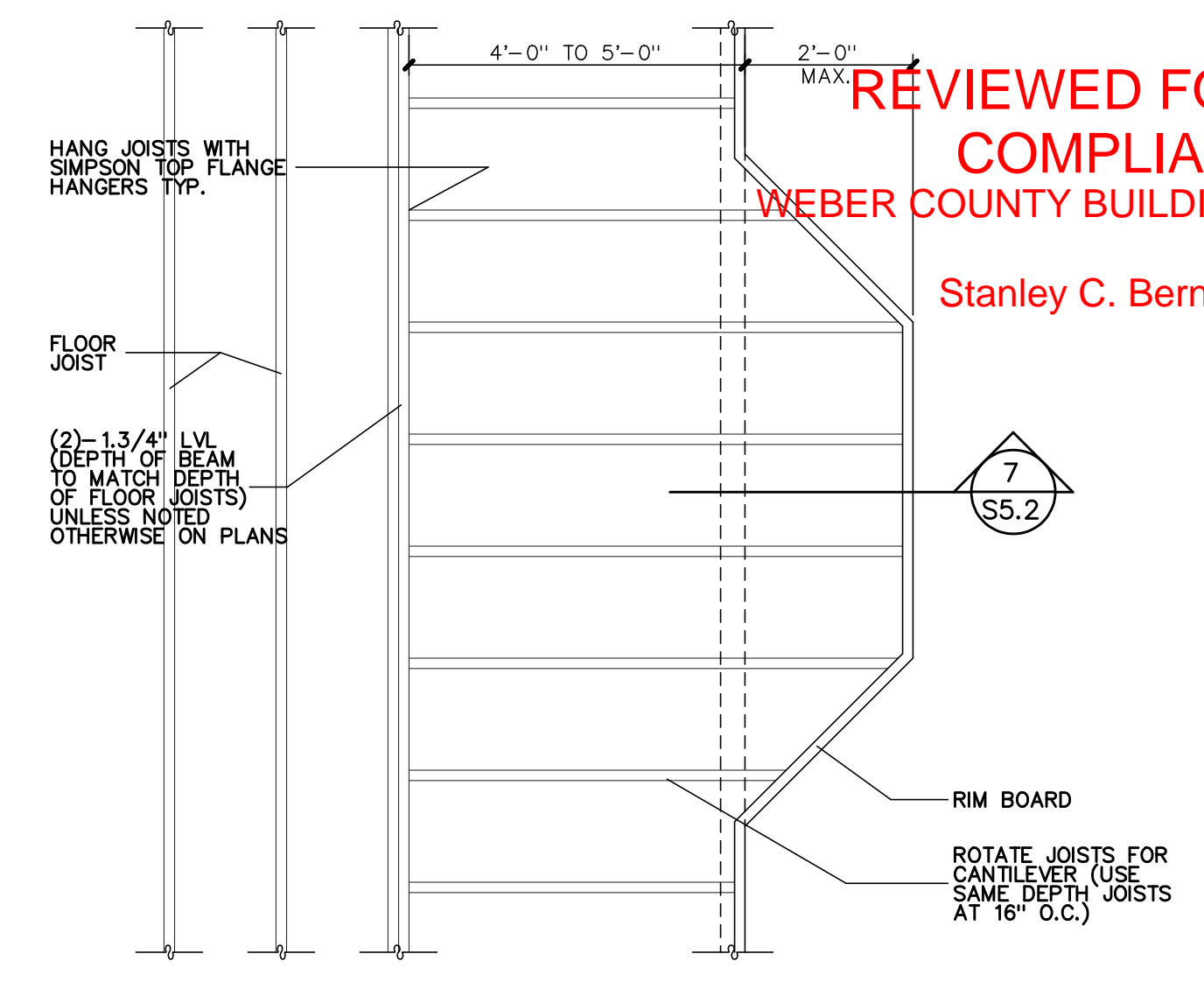
5
SW5 SHEAR WALL CONSTRUCTION
NO SCALE
S5.2



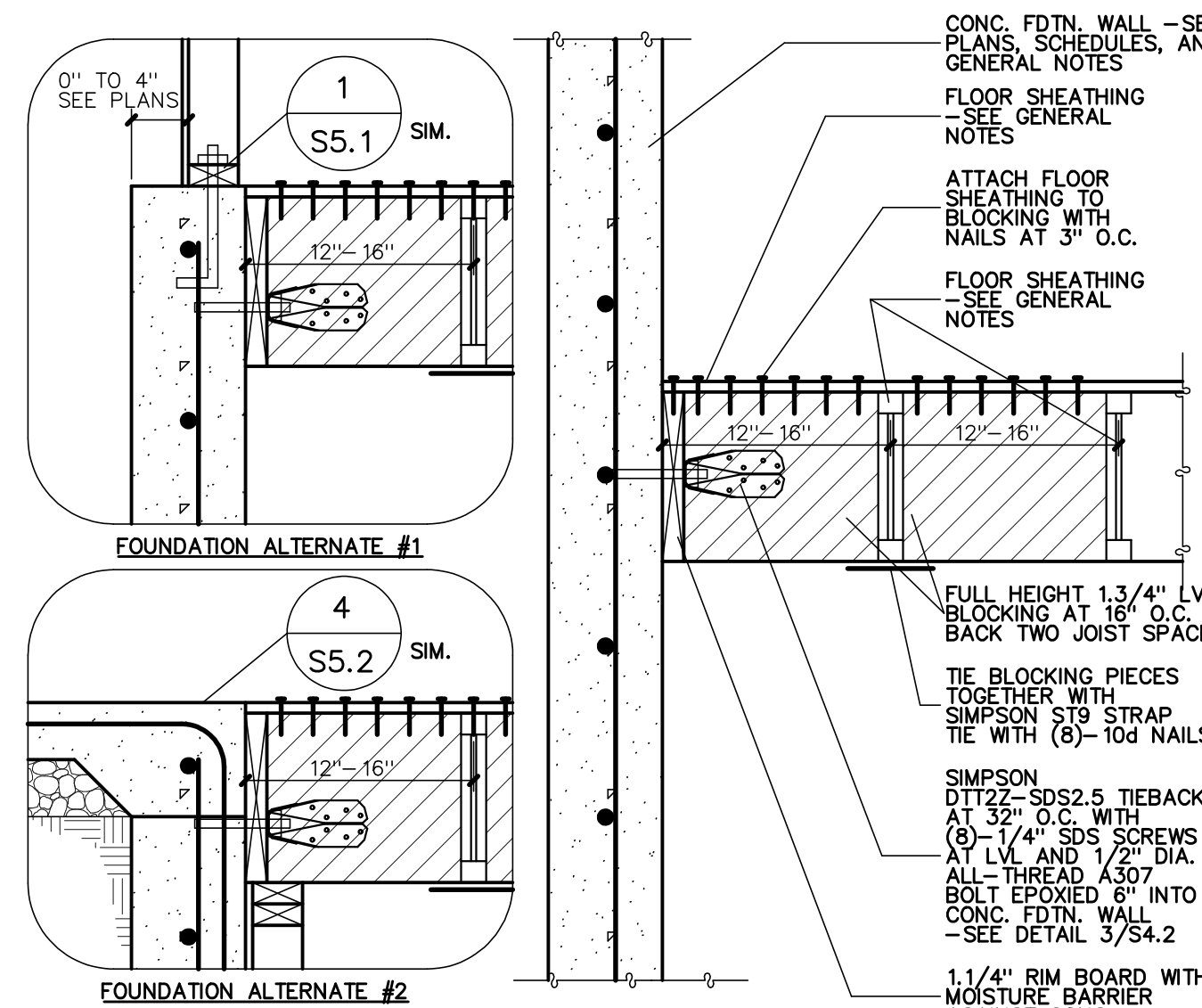
6
MST48 AND MST21 FLOOR-TO-FLOOR ATTACHMENT
NO SCALE
S5.2



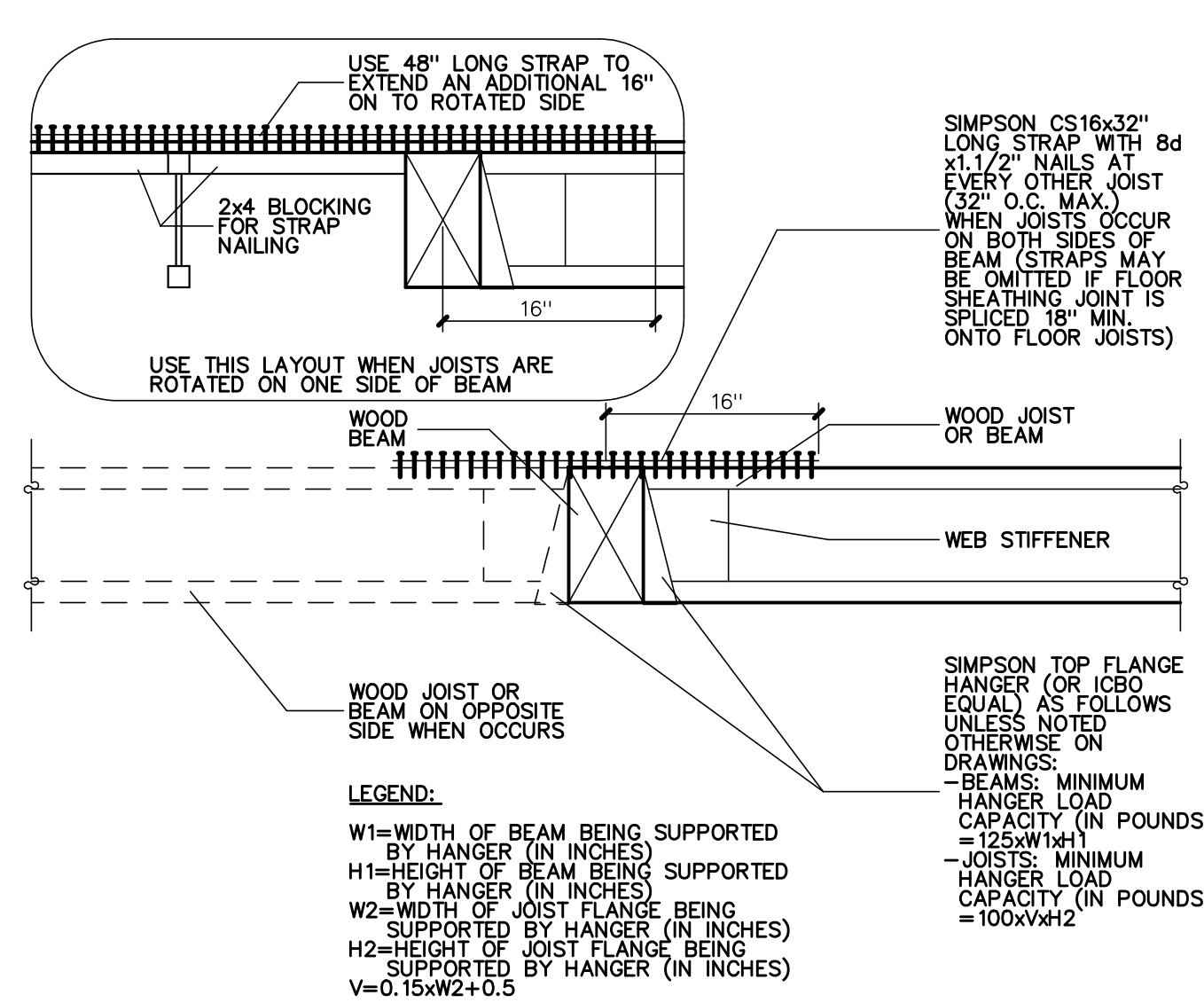
7
CANTILEVERED FLOOR
NO SCALE
S5.2



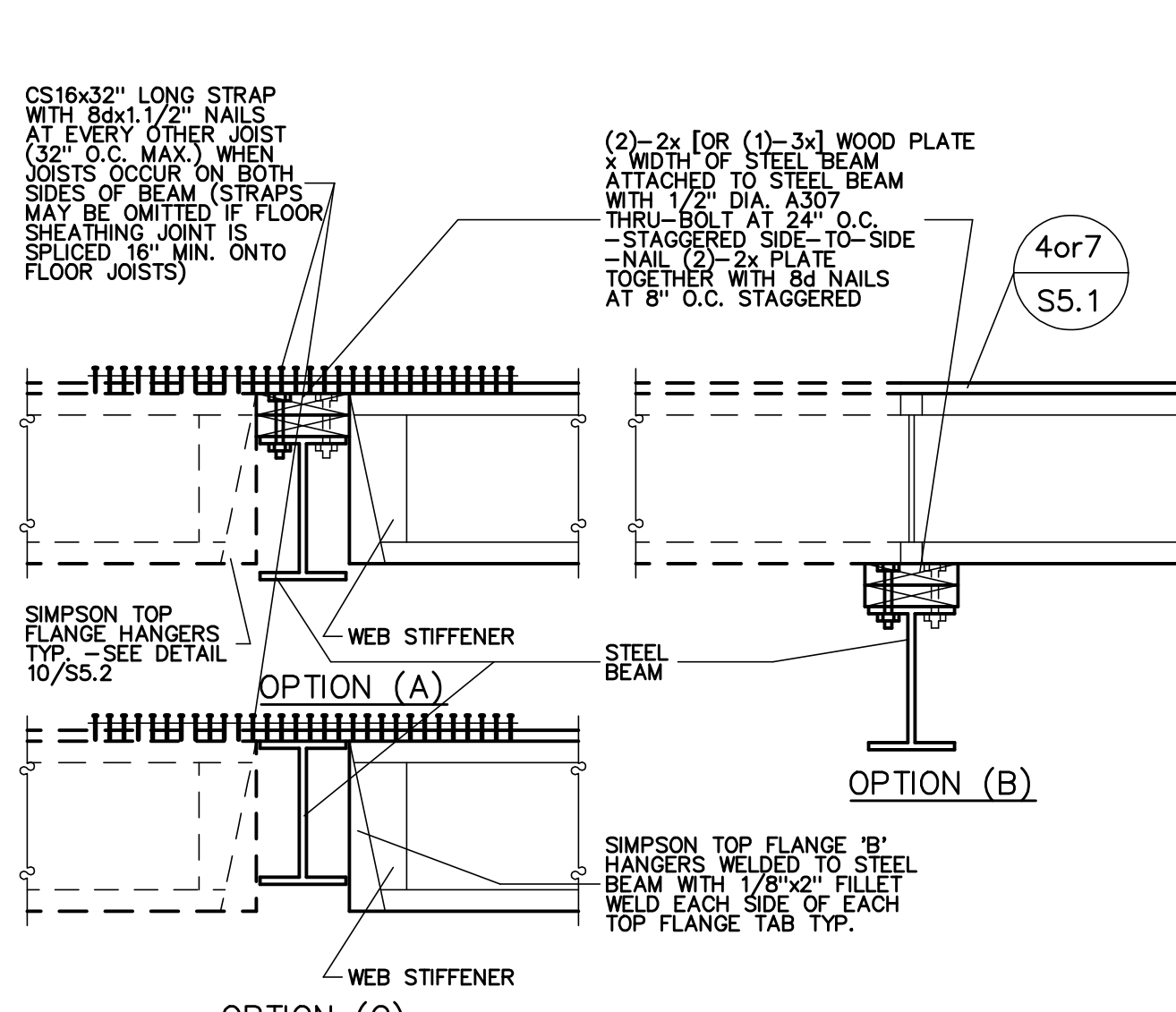
8
CANTILEVERED FLOOR LAYOUT WHEN PERPENDICULAR TO FLOOR JOISTS
NO SCALE
S5.2



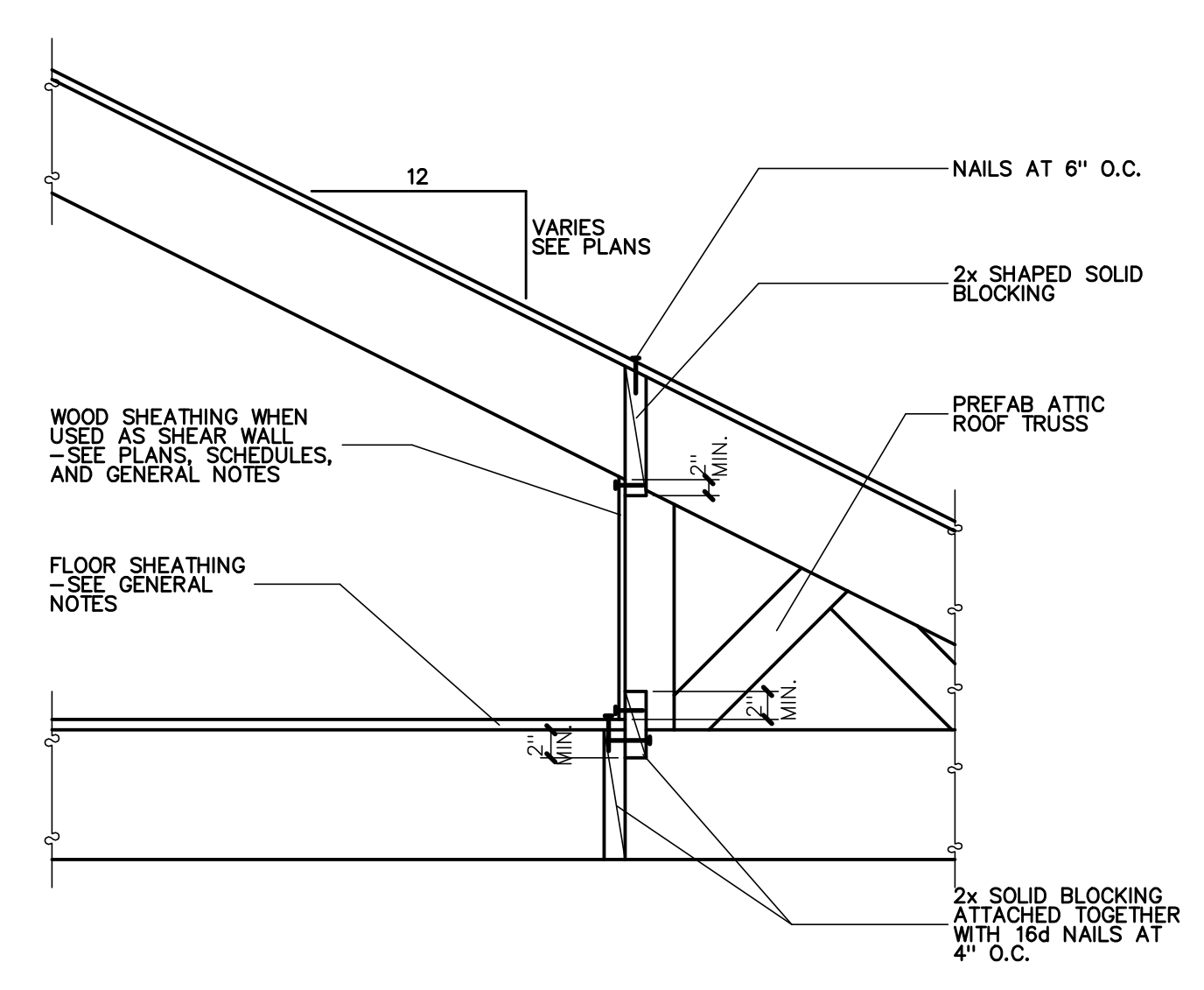
9
FLOOR JOIST TO FACE OF FOUNDATION WALL
NO SCALE
S5.2



10
WOOD JOIST OR BEAM TO WOOD BEAM CONNECTION
NO SCALE
S5.2



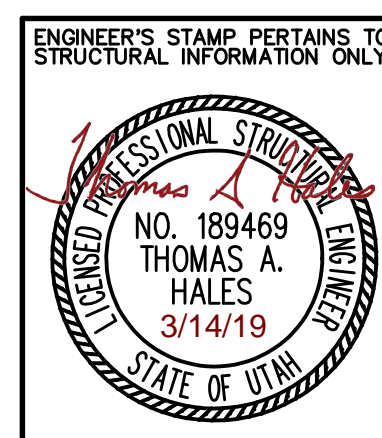
11
FLOOR JOIST SUPPORT AT STEEL BEAM
NO SCALE
S5.2



12
INTERIOR DIAPHRAGM ATTACHMENT AT ATTIC TRUSS FLOOR
NO SCALE
S5.2

THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC. NO PART OF THESE PLANS, DRAWINGS OR DESIGNS SHALL BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

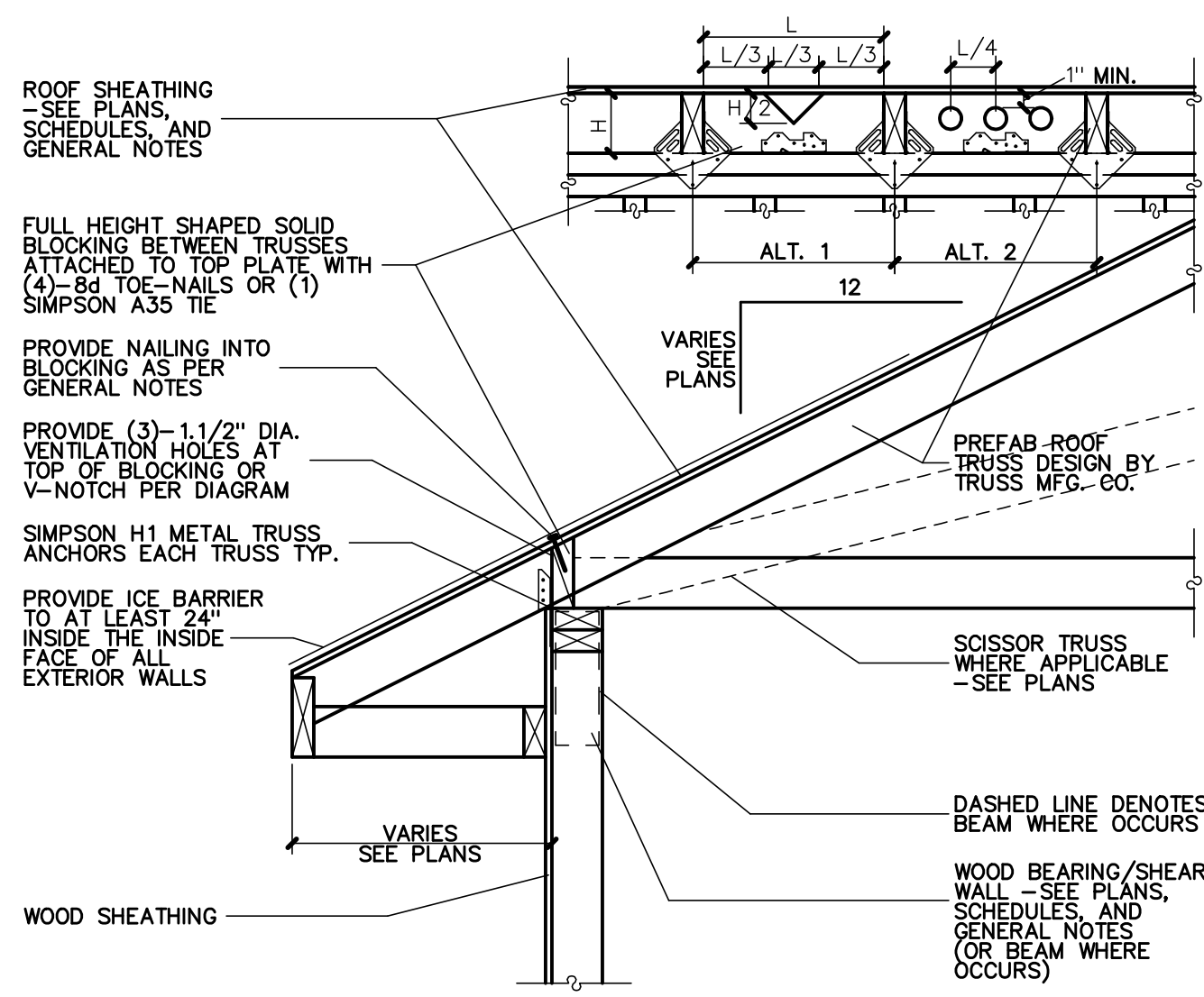


COPYRIGHT NOTICE:
 THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC. NO PART OF THESE PLANS, DRAWINGS OR DESIGNS SHALL BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.
 FOR: DENNIS & CATHY LONGFELLOW
 LOT 11, SNOWFLAKE SUBDIVISION NO. 2
 4427 N. POWDER MOUNTAIN ROAD
 EDEN, UTAH 84310
 304 WEST PLEASANT VIEW DR.
 ORDEN, UTAH 84414
 PHONE: (801)-782-0484
 FAX: (801)-782-8631
 WWW.LOMONDVIEW.COM
 Lomond View
 ARCHITECTS

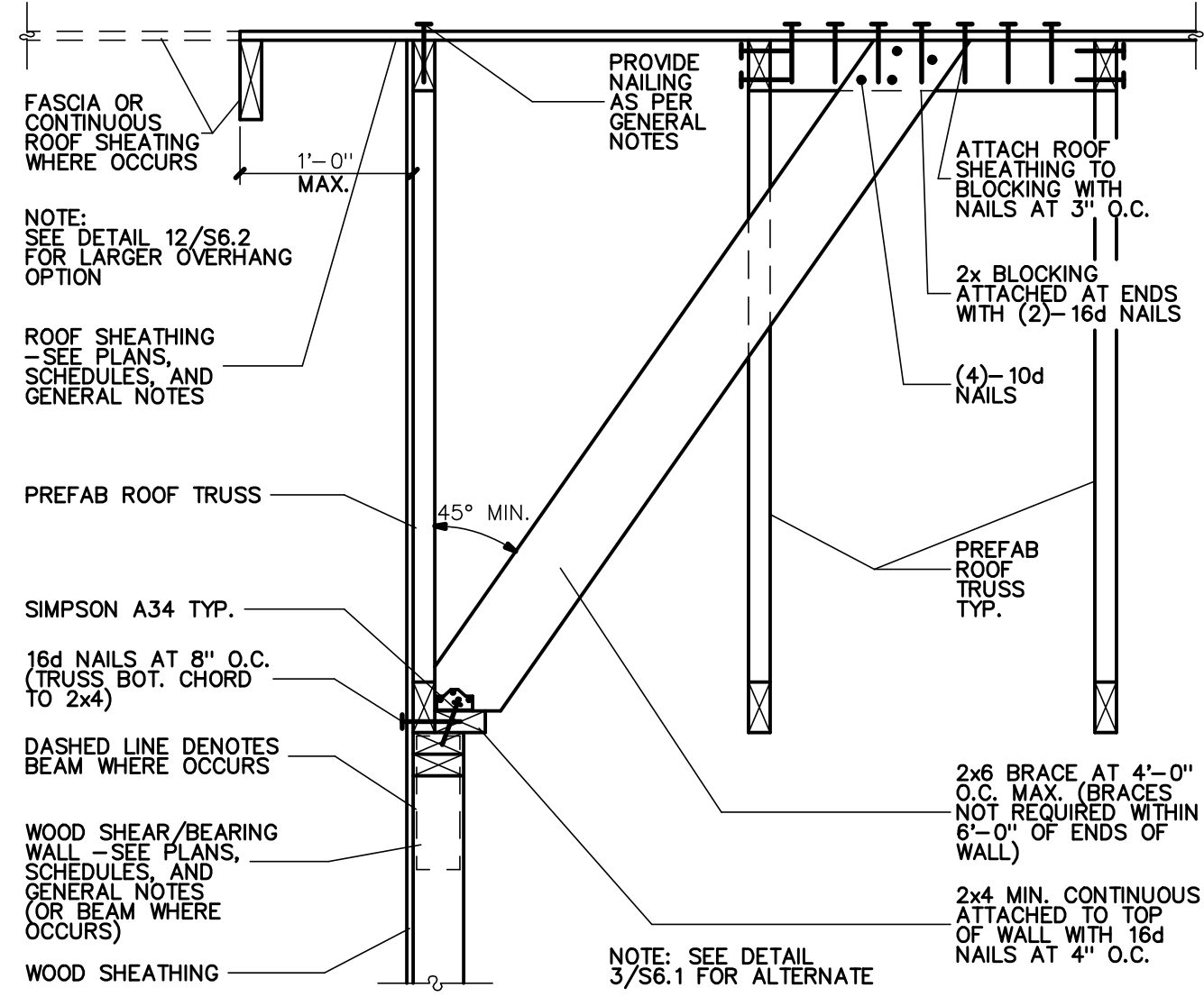
FLOOR FRAMING DETAILS
 DRAWN: CWH/BRH
 TYPE: ORIGINAL DRAWING
 DATE: 3/13/2019
 JOB NO.: 19012
 PLAN NO.: 1-2, 1641/3-1, 940 TWO-STORY

SHEET
S5.2

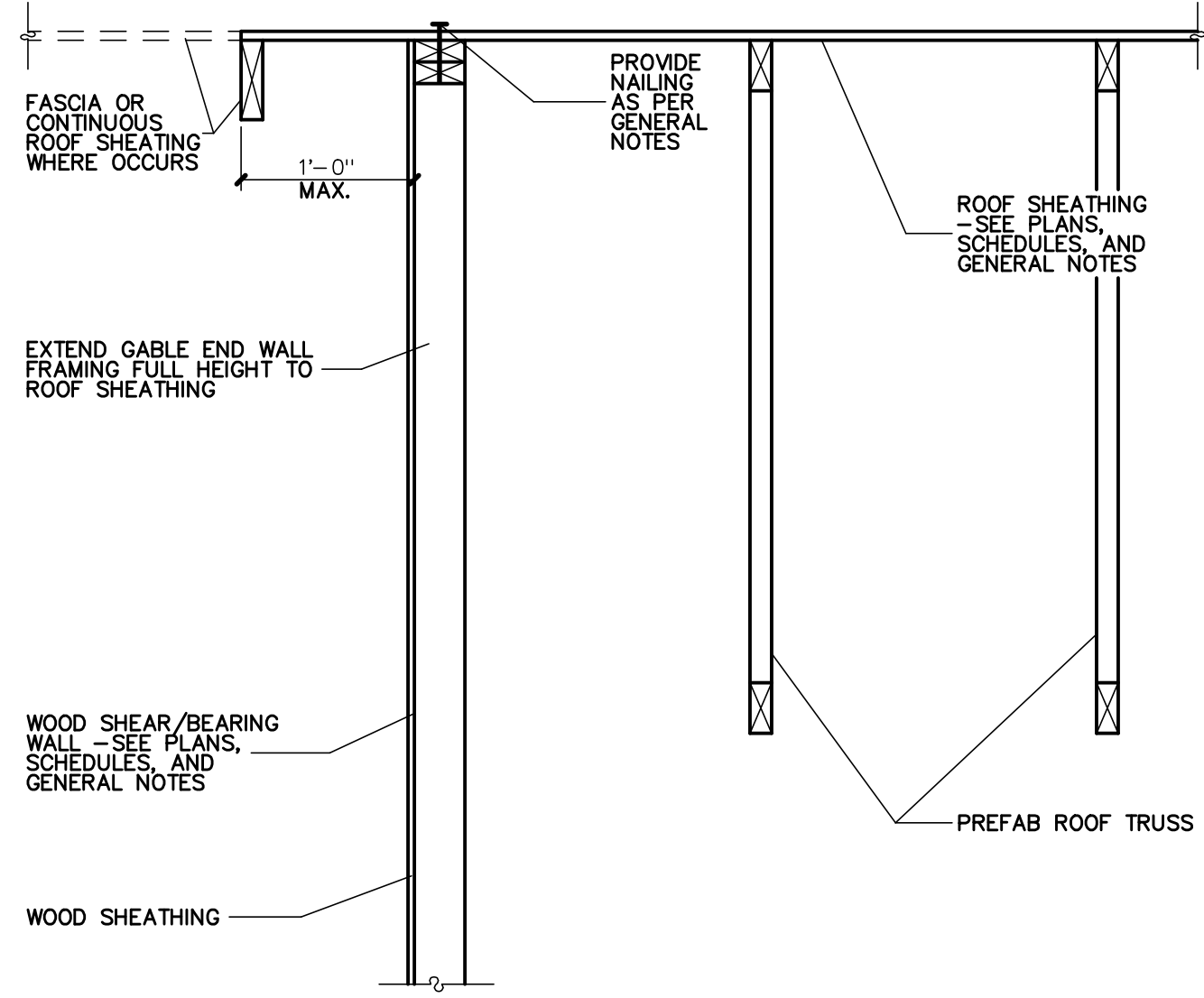
NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB --- SEE PLAN SHEETS FOR REFERENCES TO DETAILS



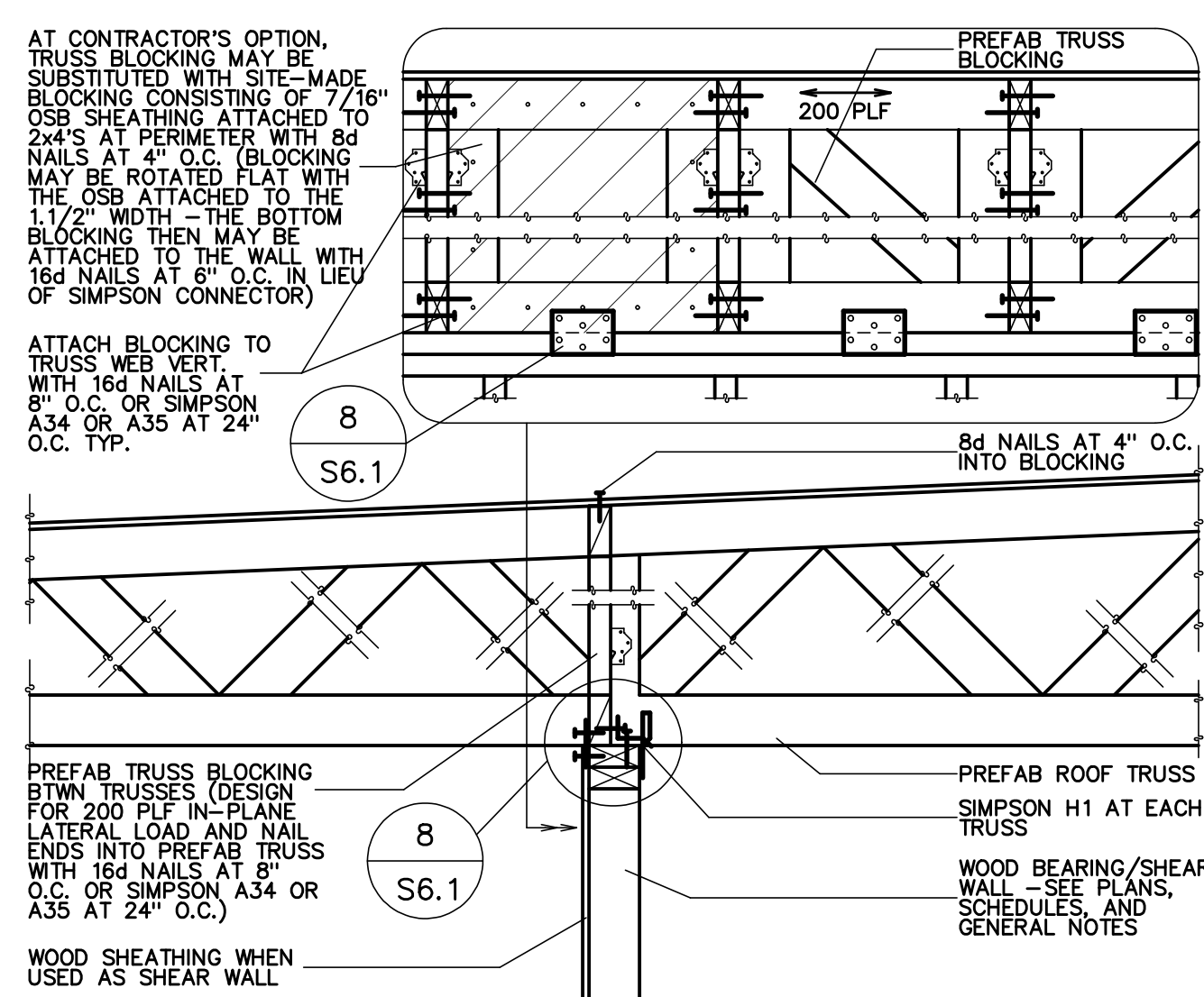
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE



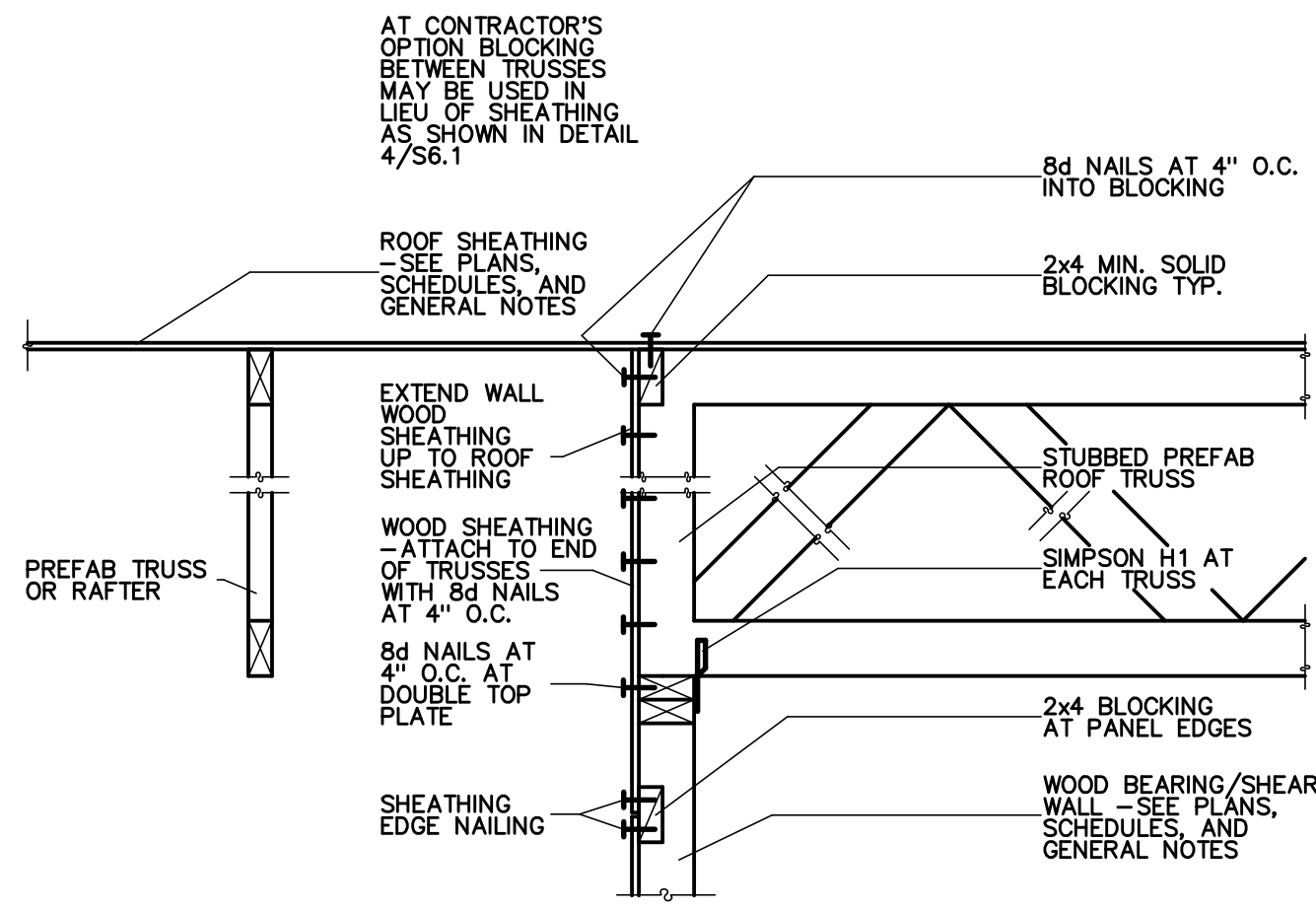
GABLE END AND/OR SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



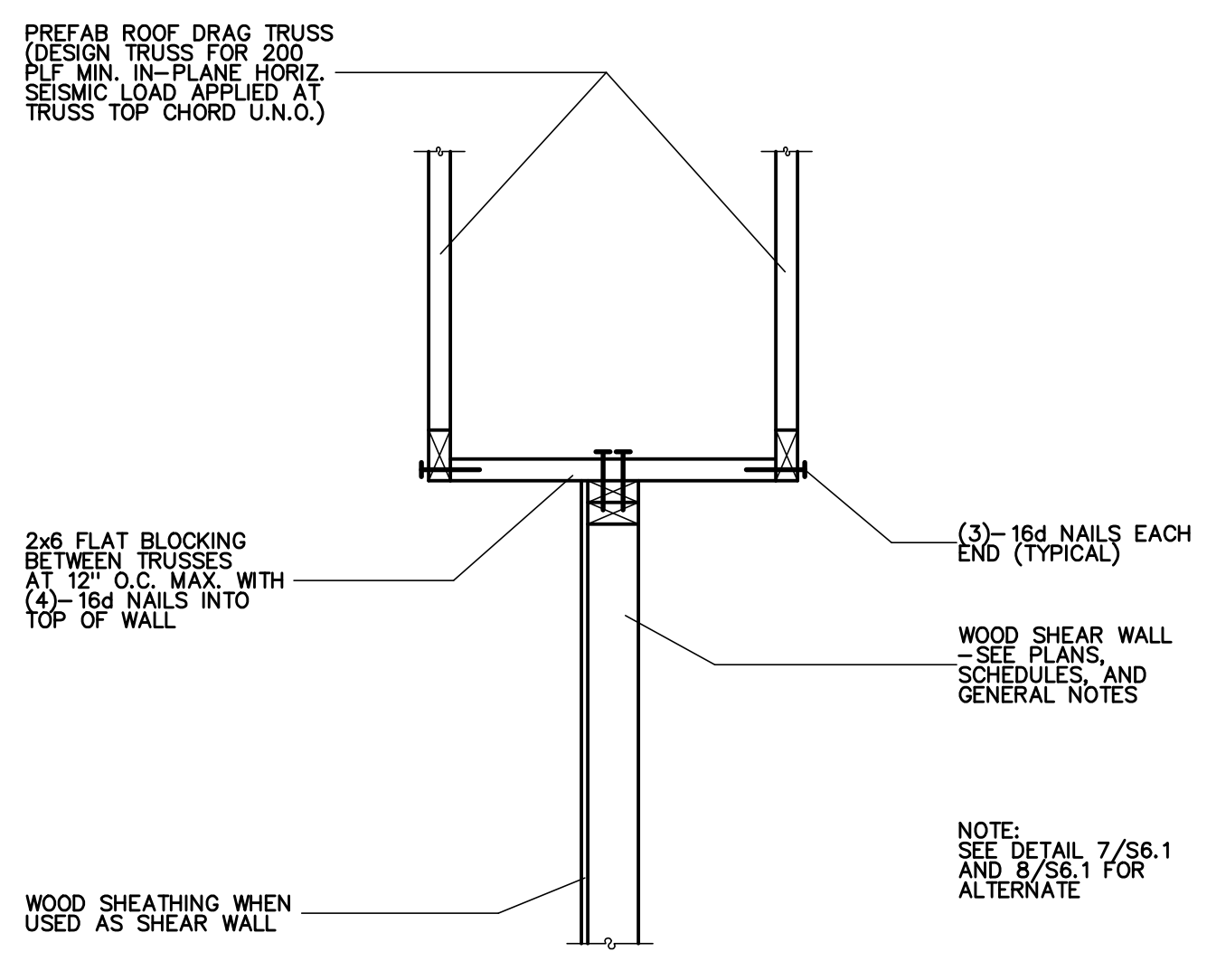
GABLE END AND/OR SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



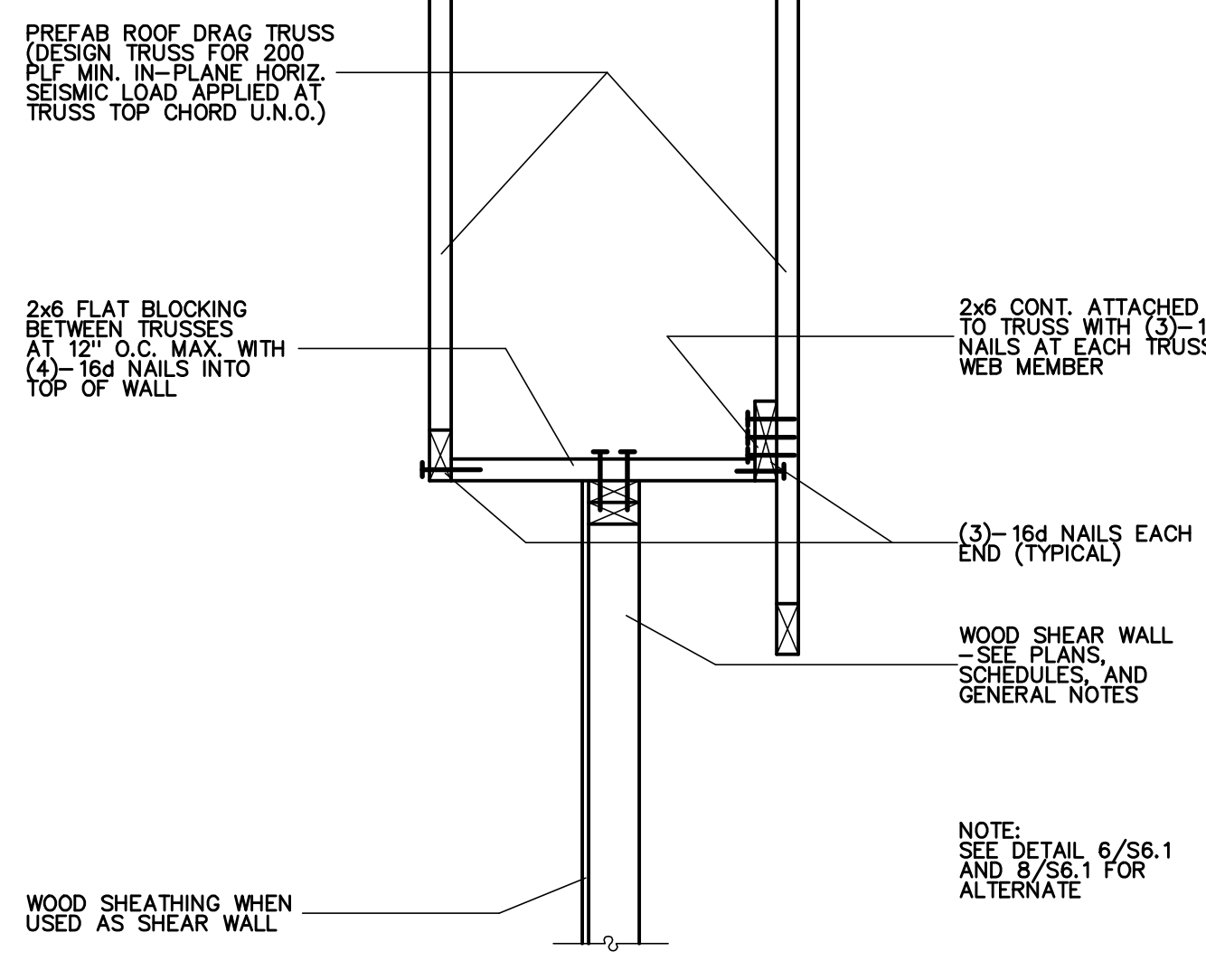
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE



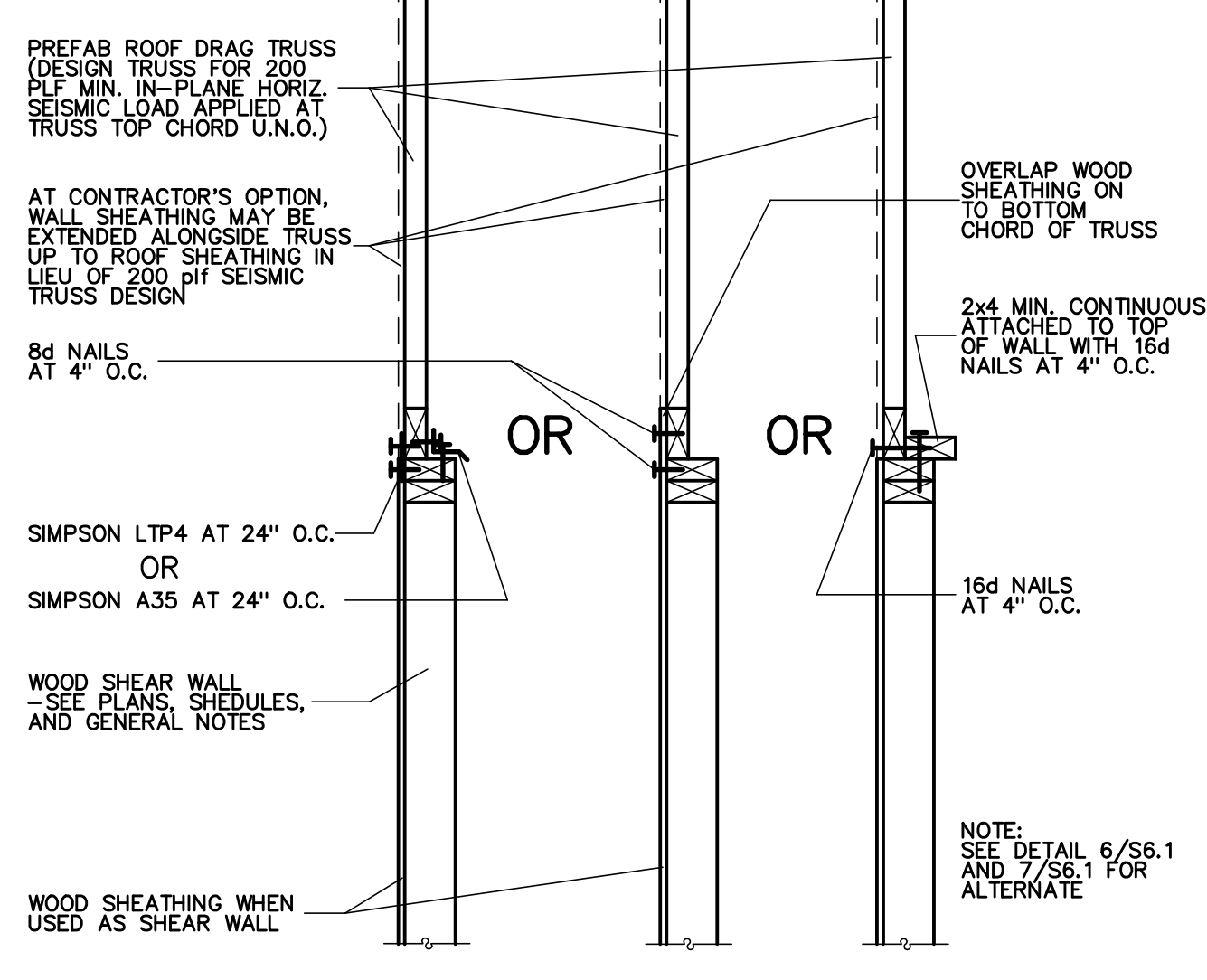
BEARING/SHEAR WALL AT STUBBED ROOF TRUSSES
NO SCALE



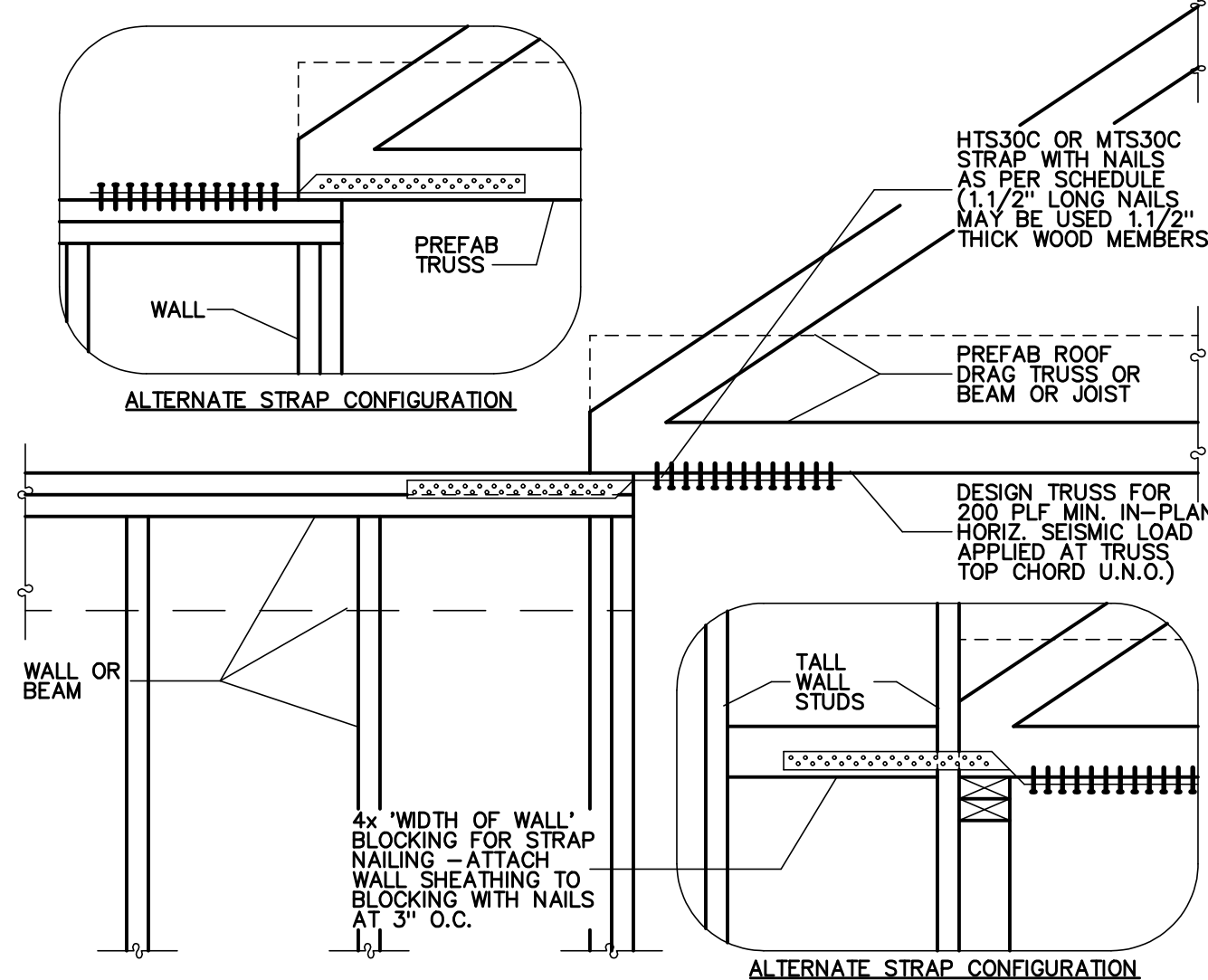
SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



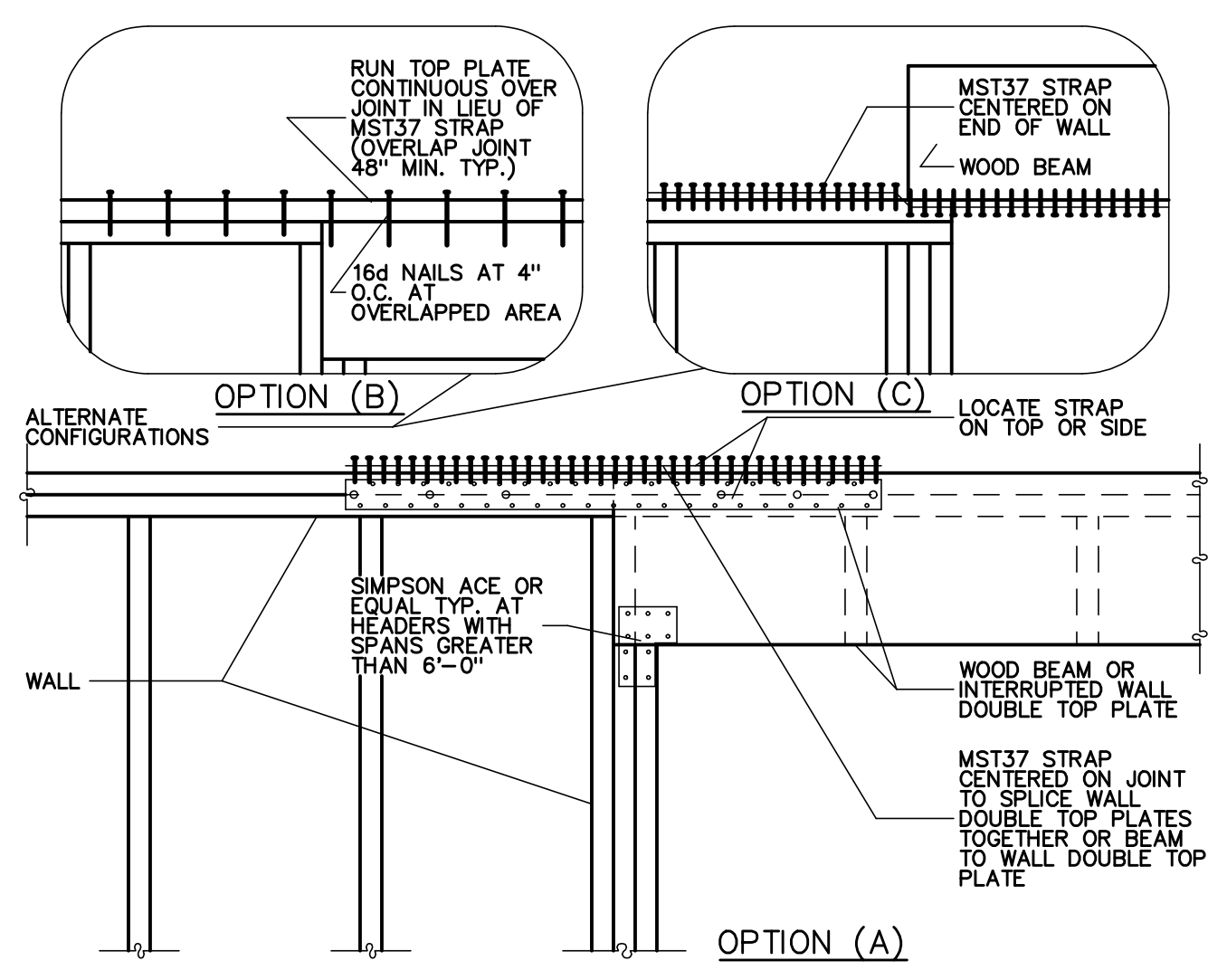
SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



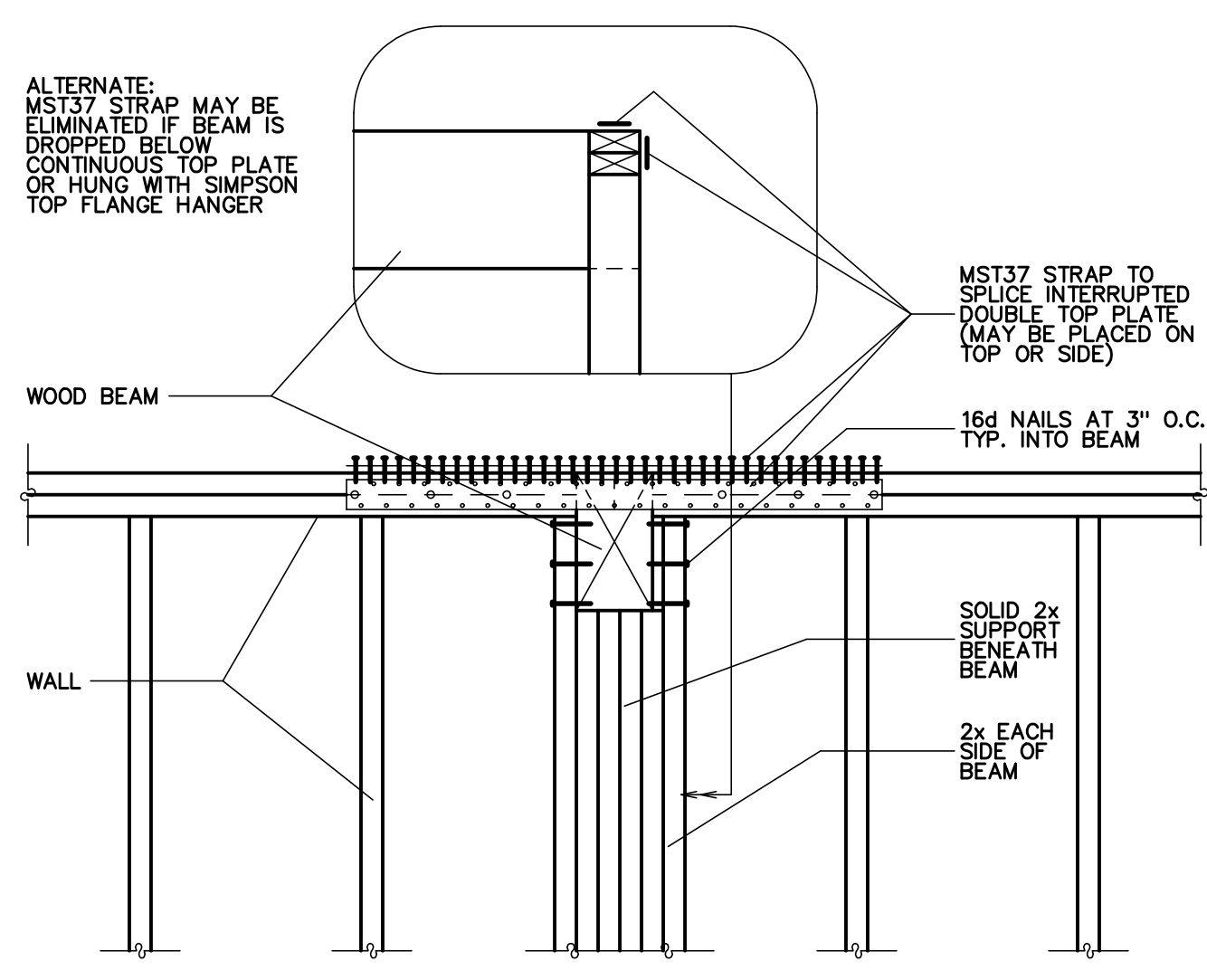
SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



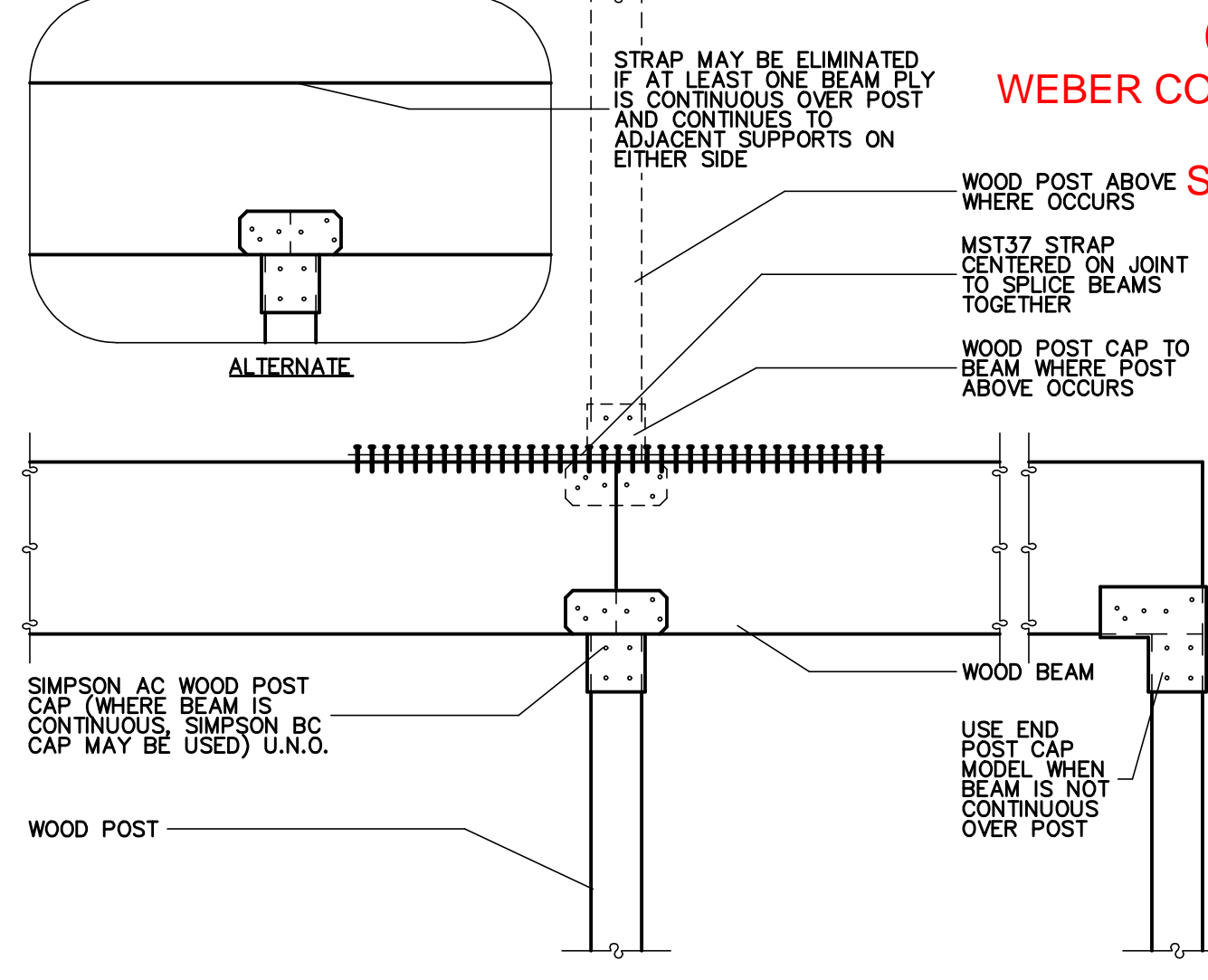
HTS30C/MTS30C STRAP INSTALLATION
NO SCALE



MST37 STRAP INSTALLATION AND HEADER DETAIL
NO SCALE

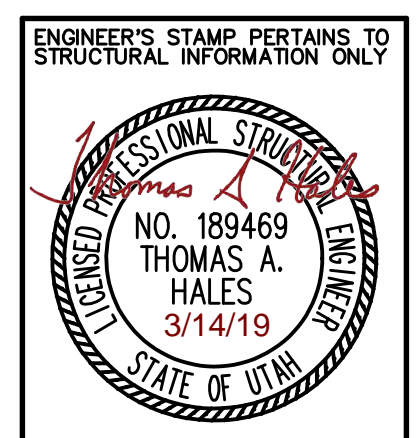


WOOD BEAM POCKET IN WALL
NO SCALE



WOOD BEAM TO POST AND MST37 STRAP INSTALLATION
NO SCALE

REVIEWED FOR CODE COMPLIANCE
WEBER COUNTY BUILDING INSPECTIONS
Stanley C. Berniche



CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB -- SEE PLAN SHEETS FOR REFERENCES TO DETAILS

COPYRIGHT NOTICE:
THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGN, LLC. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.
FOR: DENNIS & CATHY LONGFELLOW
LOT 11, SNOWFLAKE SUBDIVISION NO. 2
4427 N. POWDER MOUNTAIN ROAD
EDEN, UTAH 84310
304 WEST PLEASANT VIEW DR.
EDEN, UTAH 84414
PHONE: (801)-782-0484
FAX: (801)-782-8631
WWW.LOMONDVIEW.COM

ROOF FRAMING DETAILS
DRAWN: CWH/BRH
TYPE: ORIGINAL DRAWING
DATE: 3/13/2019
JOB NO.: 19012
PLAN NO.: 1-2-1641/3-1-940 TWO-STORY

S6.1

REVIEWED FOR CODE COMPLIANCE
WEBER COUNTY BUILDING INSPECTIONS

Stanley C. Berniche

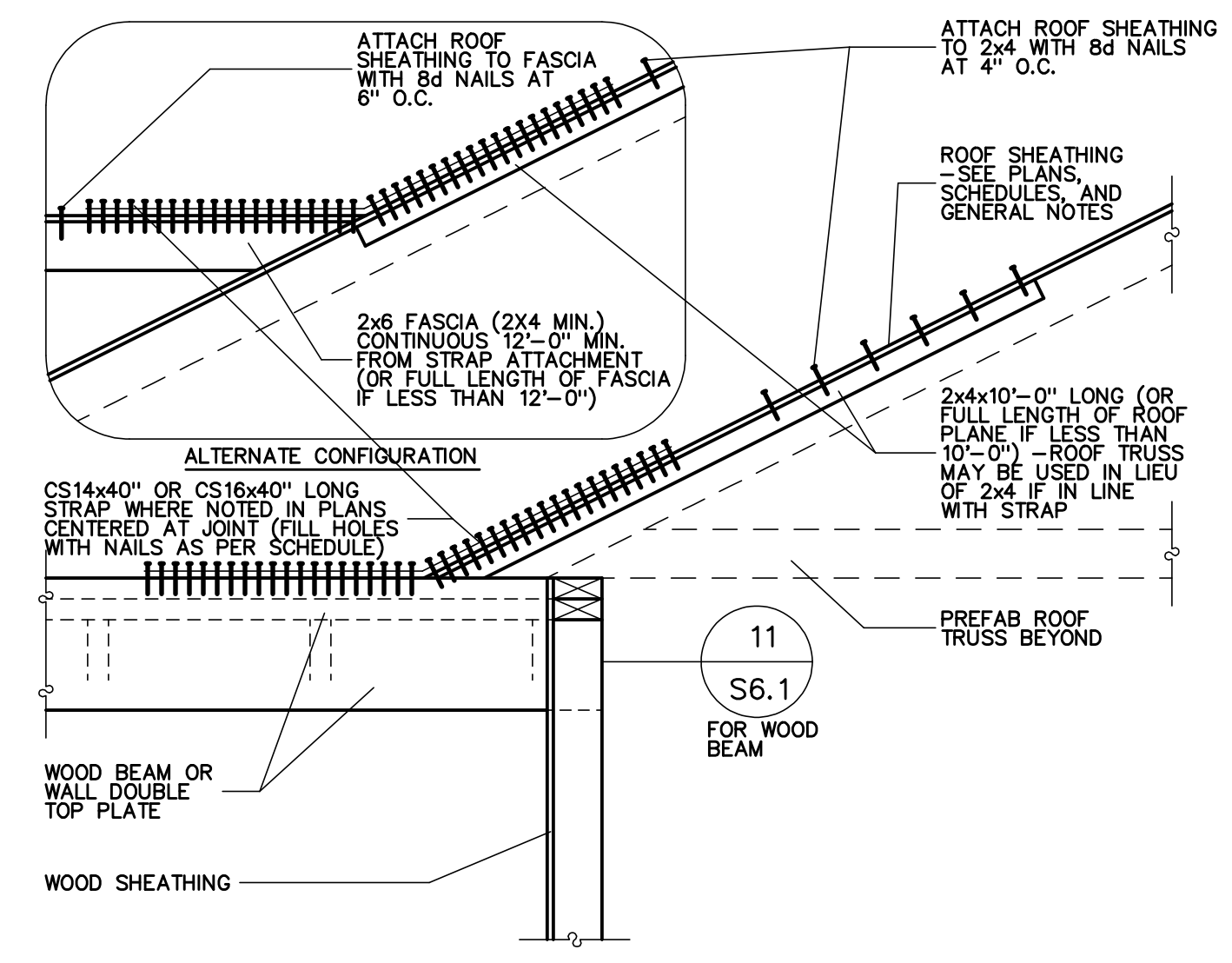
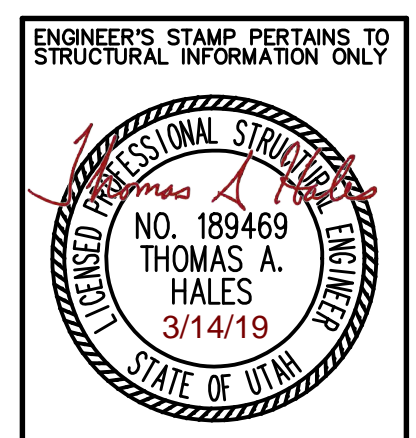
COPYRIGHT NOTICE:
THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGN, LLC. NO PART OF THESE PLANS, DRAWINGS OR DESIGNS MAY BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.

FOR: DENNIS & CATHY LONGFELLOW
LOT 11, SNOWFLAKE SUBDIVISION NO. 2
4427 N. POWDER MOUNTAIN ROAD
EDEN, UTAH 84310

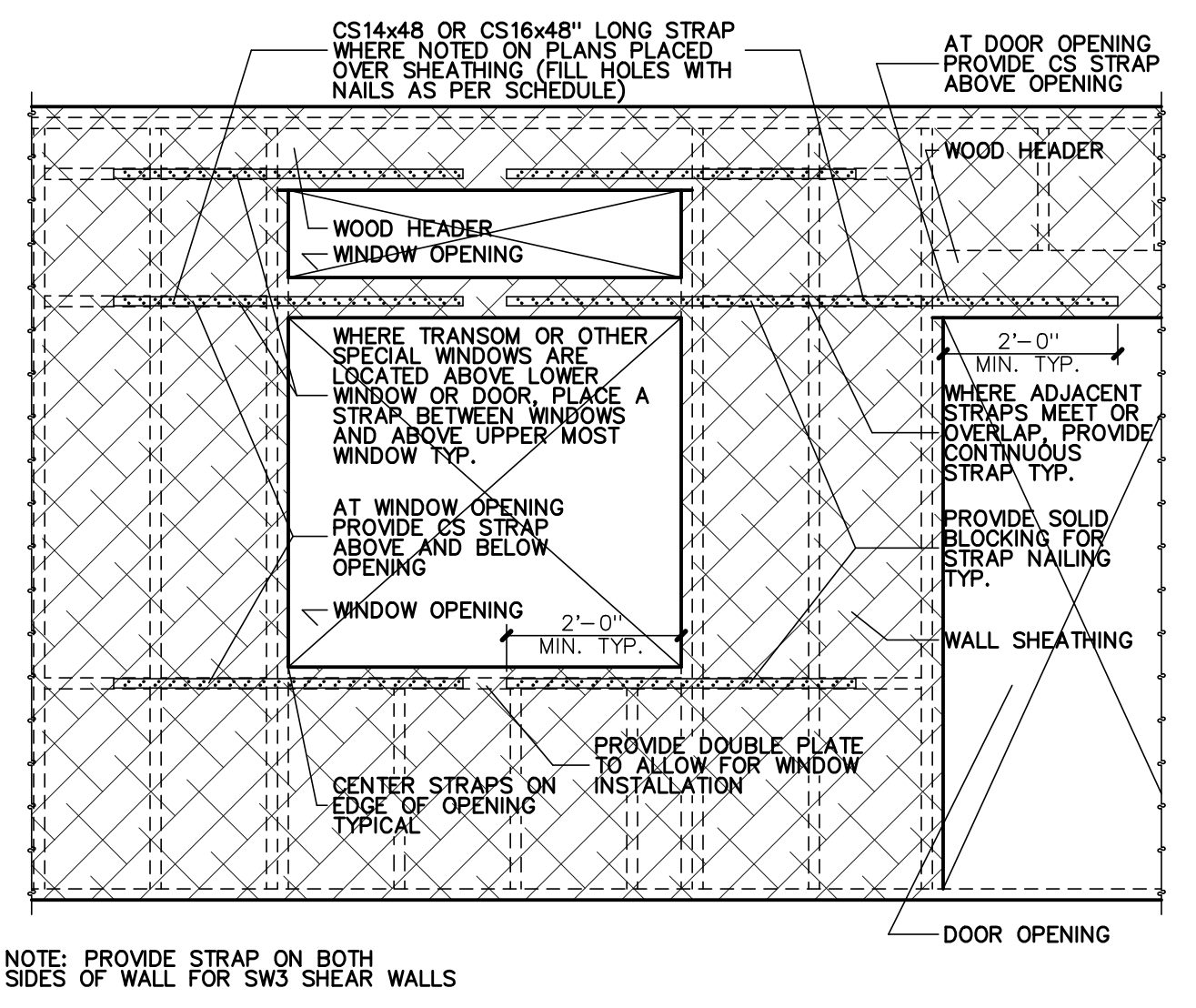
304 WEST PLEASANT VIEW DR.
EDEN, UTAH 84414
PHONE: (801)-782-0484
FAX: (801)-782-8631
WWW.LOMONDVIEW.COM



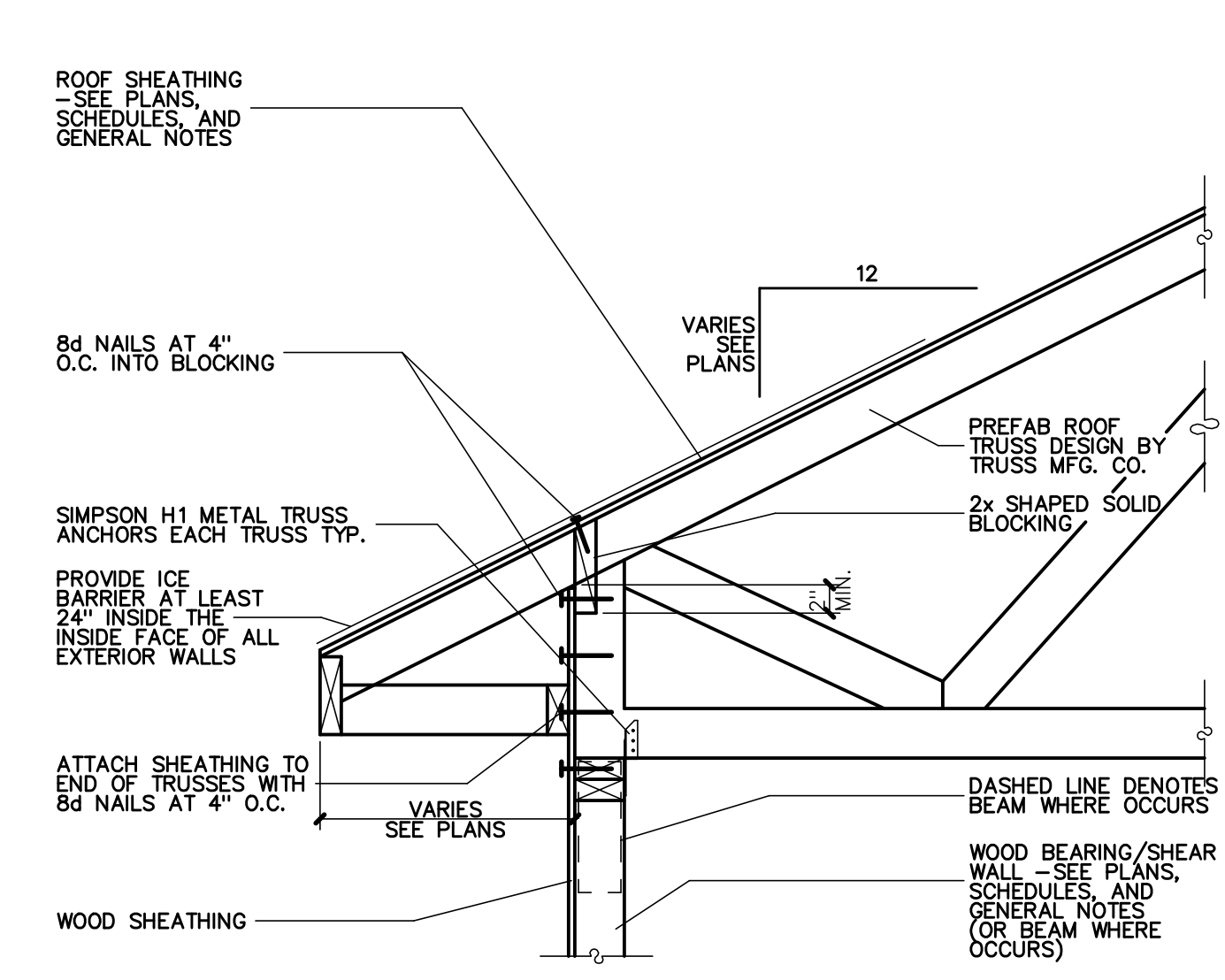
ROOF FRAMING DETAILS
DRAWN: CWH/BRH
DATE: 3/13/2019
JOB NO.: 19012
TYPE: ORIGINAL DRAWING
PLAN NO.: 1-2-1641/3-1-940 TWO-STORY



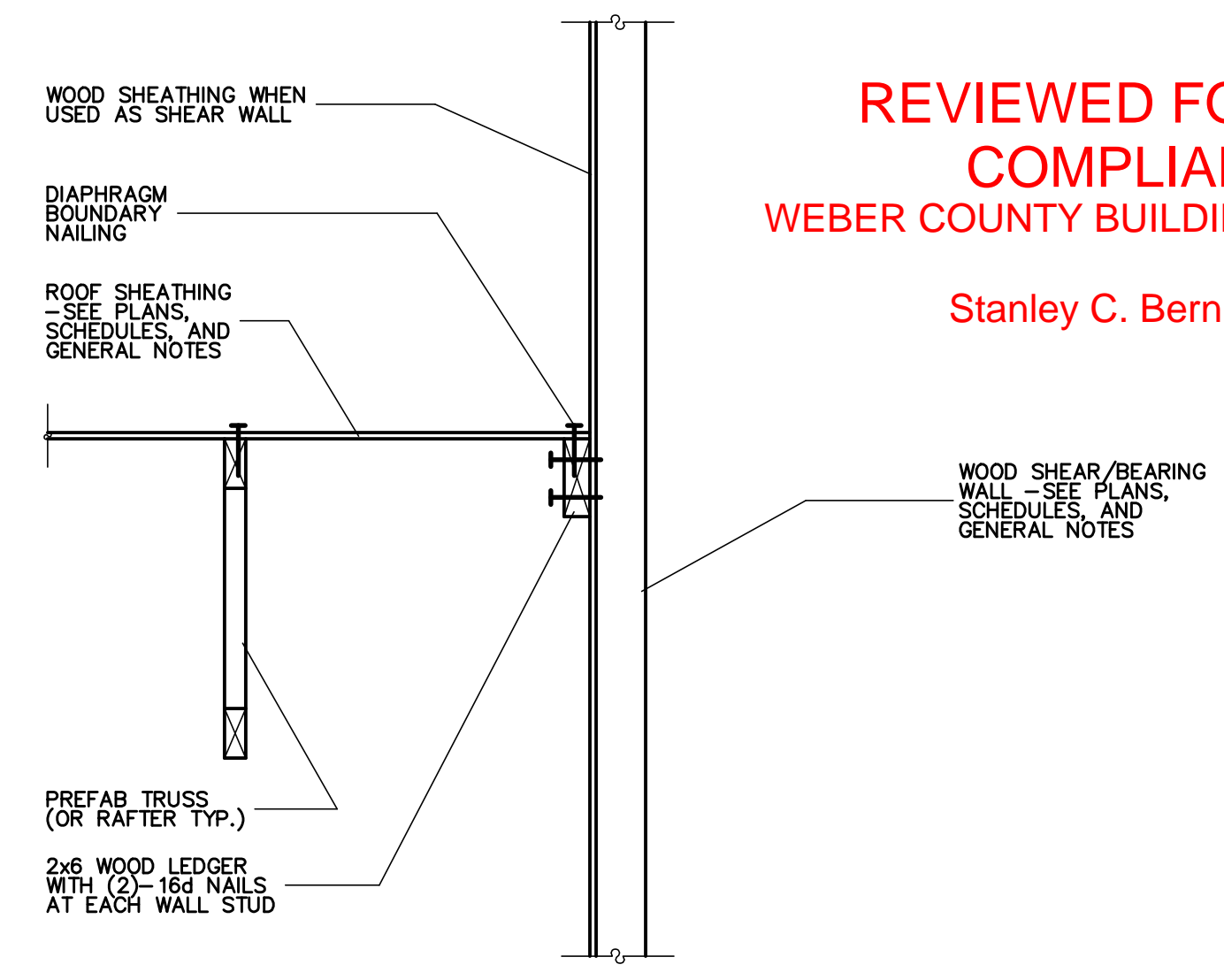
CS16x40 STRAP INSTALLATION
NO SCALE
1
S6.2



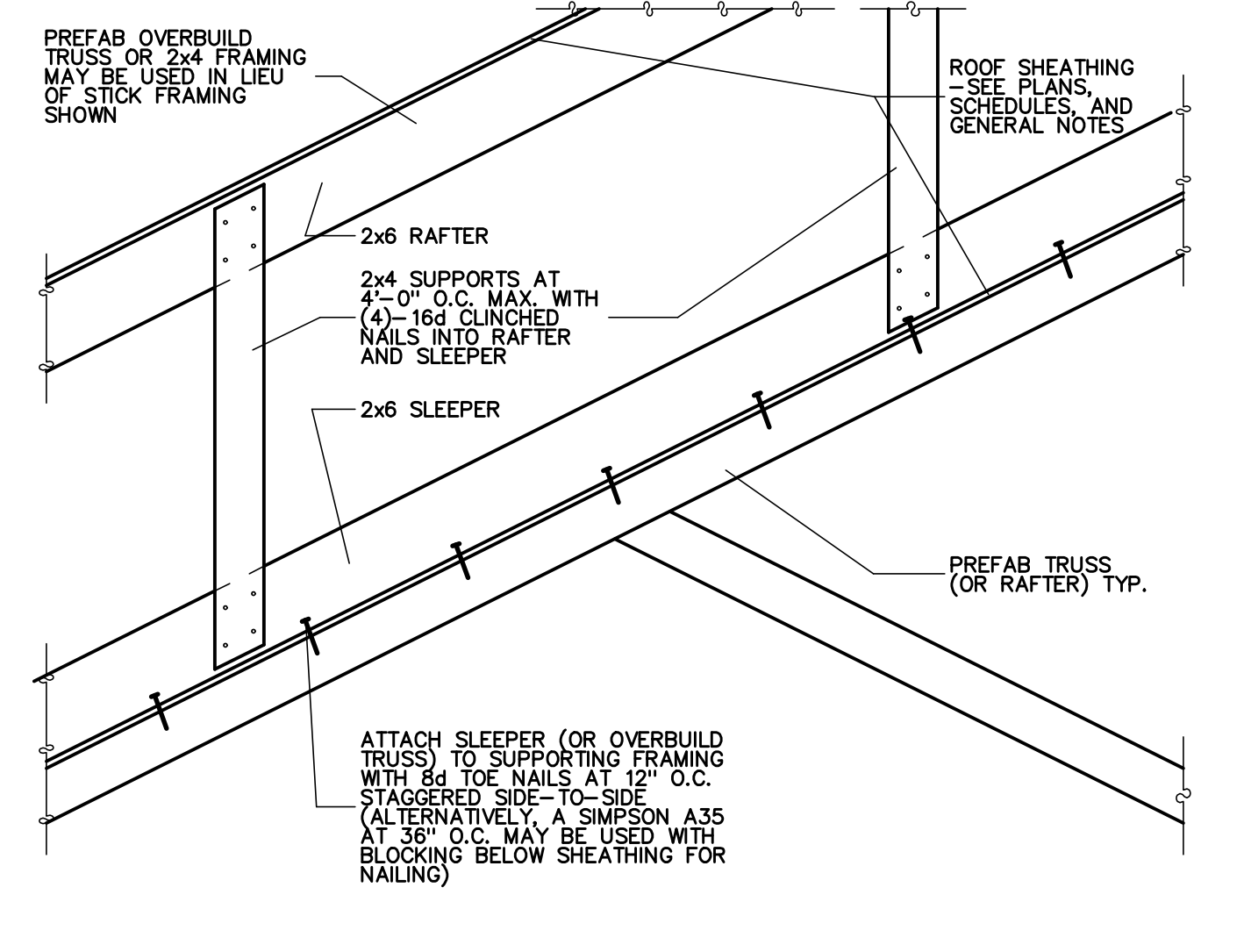
CS16x48 STRAP ATTACHMENT
NO SCALE
2
S6.2



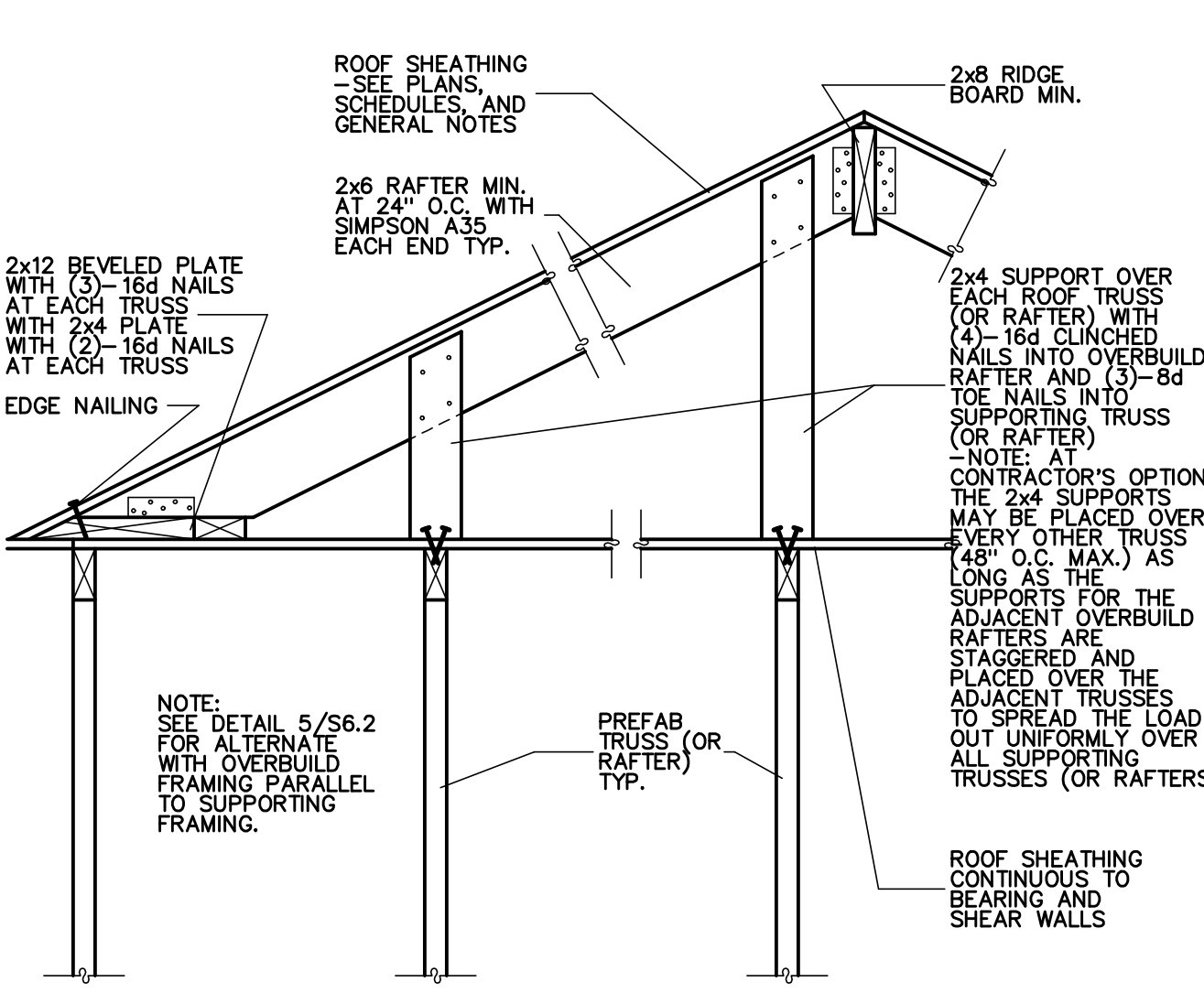
BEARING/SHEAR WALL AT RAISED-HEEL ROOF TRUSSES
NO SCALE
3
S6.2



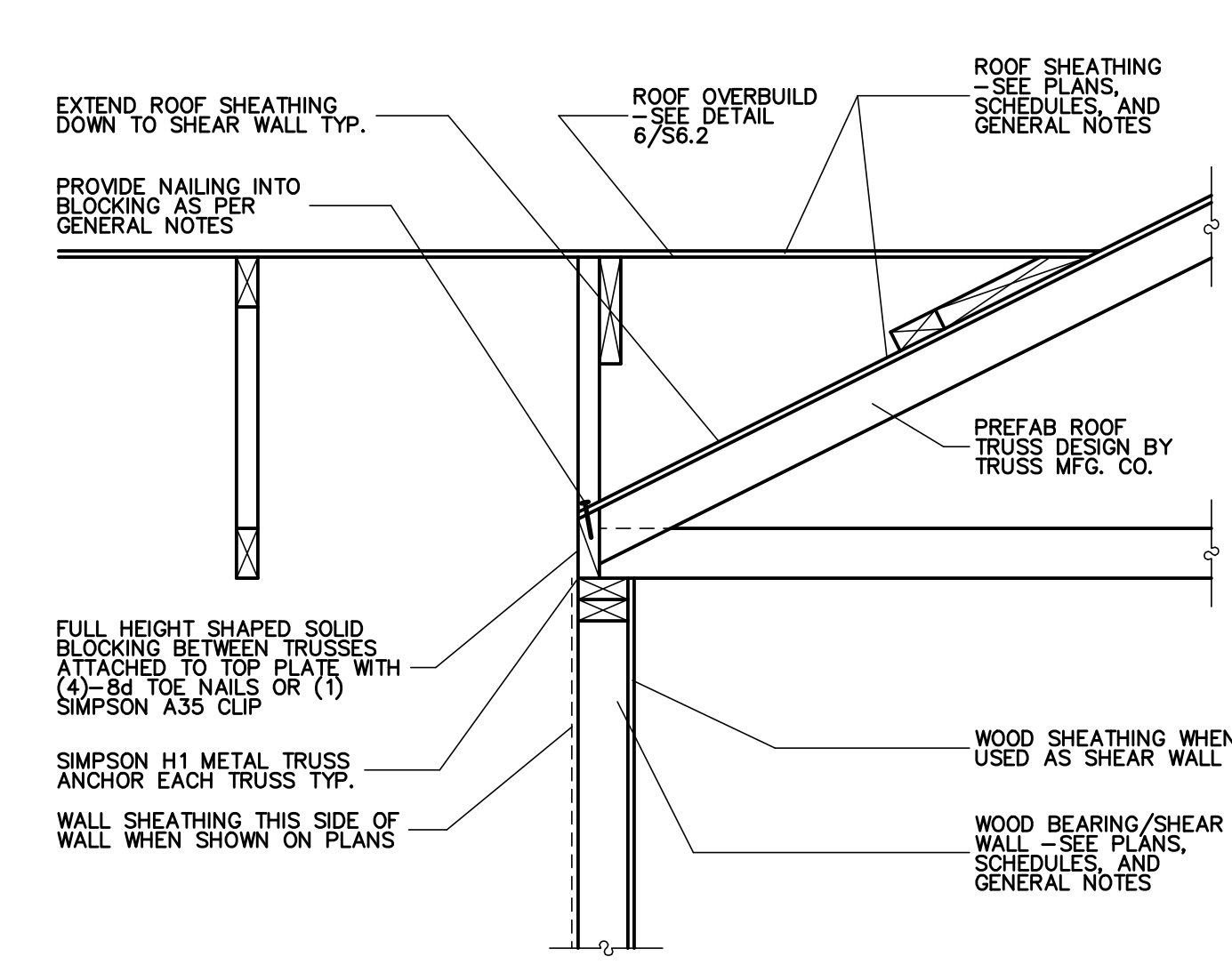
TRUSSES PARALLEL TO BEARING/SHEAR WALL
NO SCALE
4
S6.2



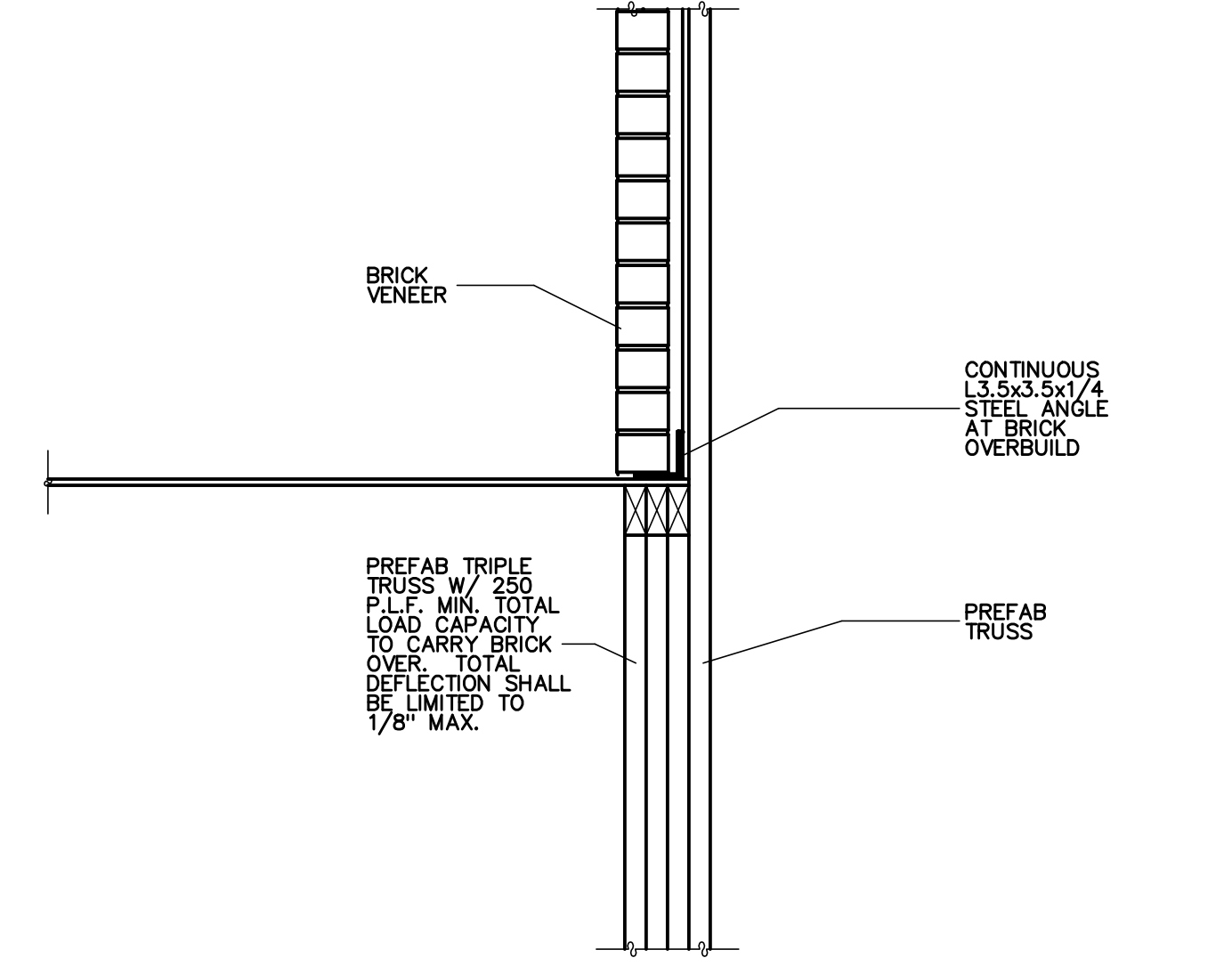
ROOF FRAMING OVERBUILD (OVERBUILD FRAMING PARALLEL TO SUPPORTING FRAMING)
NO SCALE
5
S6.2



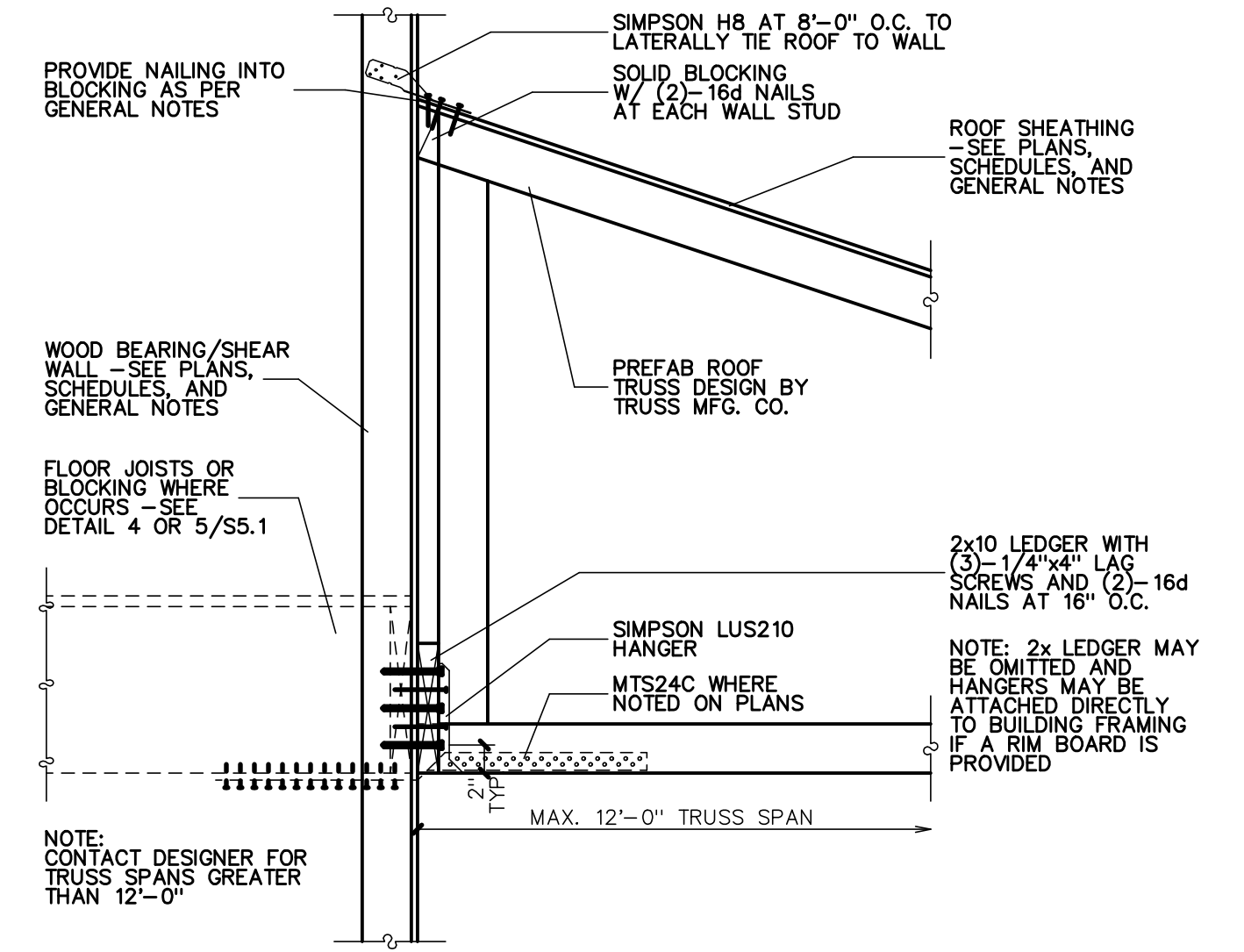
ROOF FRAMING OVERBUILD
NO SCALE
6
S6.2



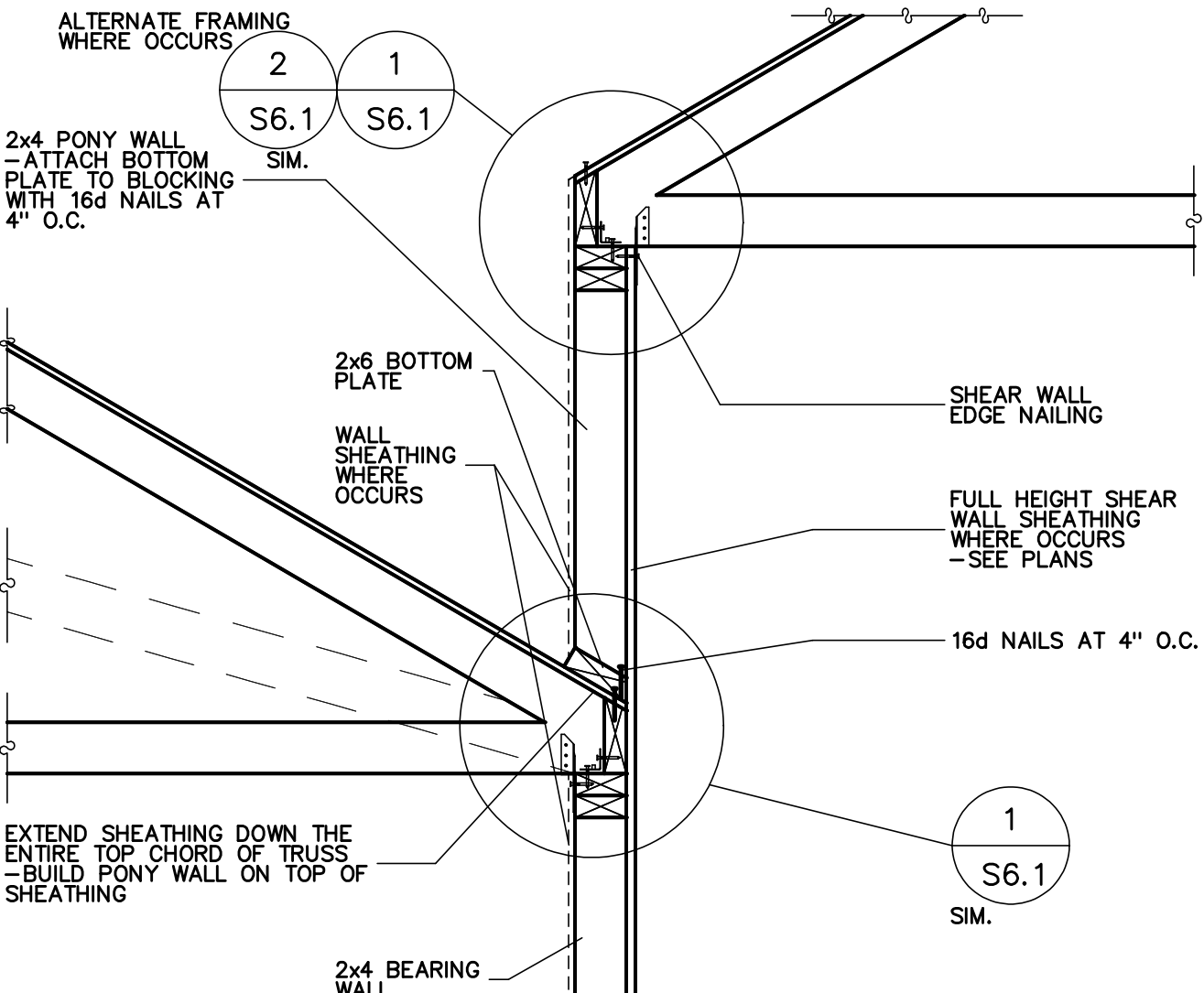
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE
7
S6.2



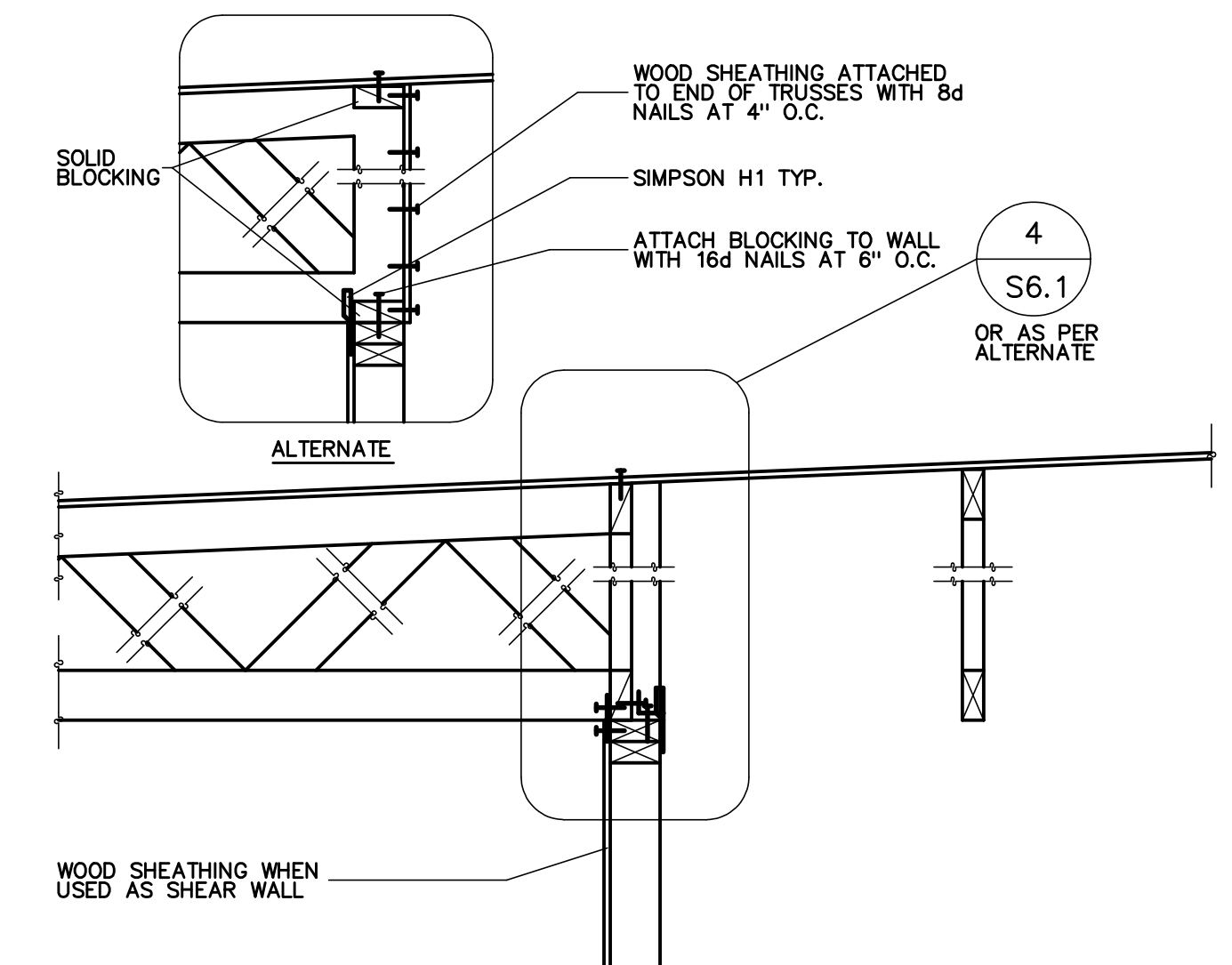
BRICK OVER ROOF SUPPORT
NO SCALE
8
S6.2



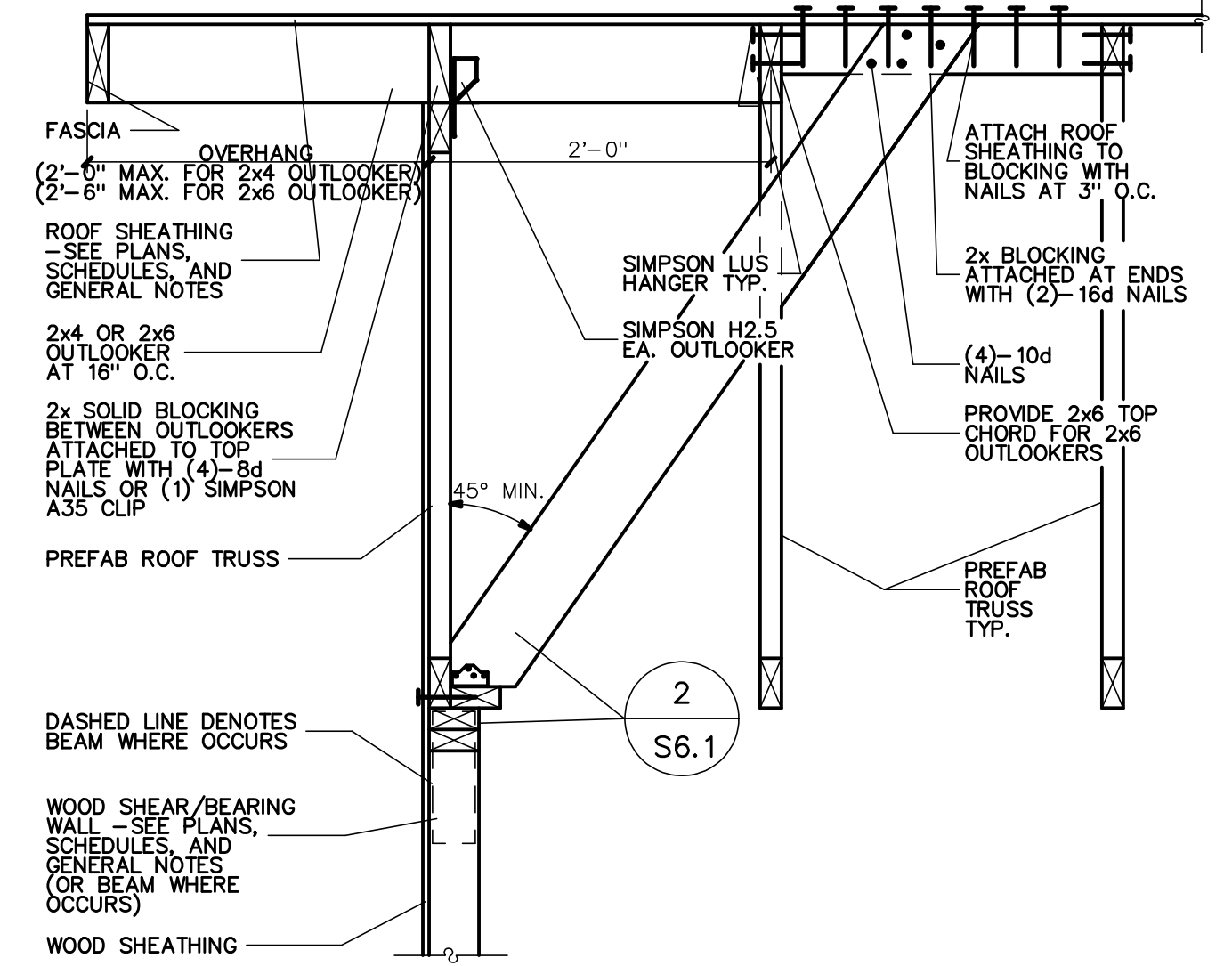
ROOF TRUSS BEARING AT SIDE OF WALL (UP TO 12\"/>



TRUSS TO BEARING/SHEAR WALL
NO SCALE
10
S6.2



BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE
11
S6.2

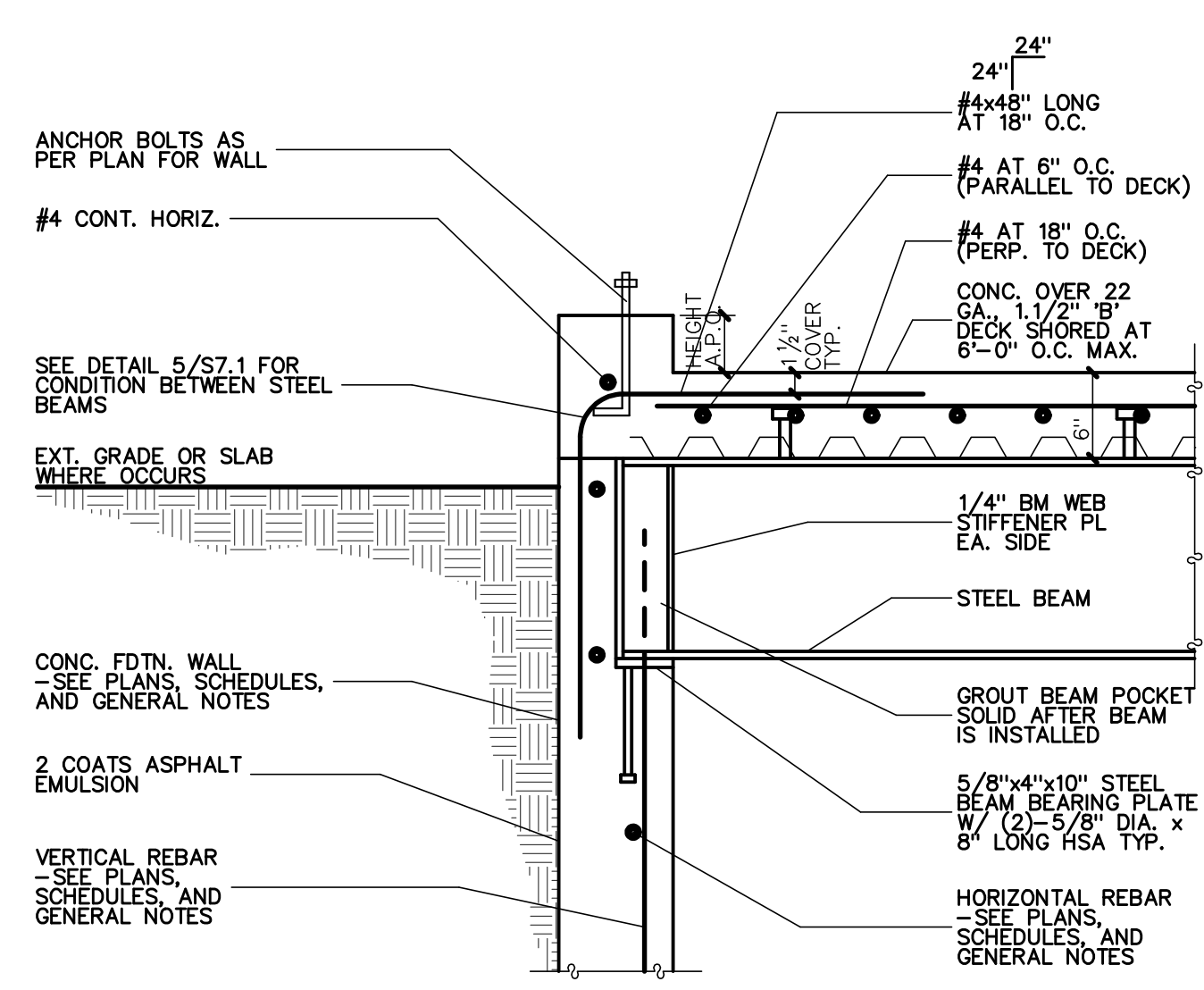


GABLE END WALL WITH EXTENDED GABLE OVERHANG
NO SCALE
12
S6.2

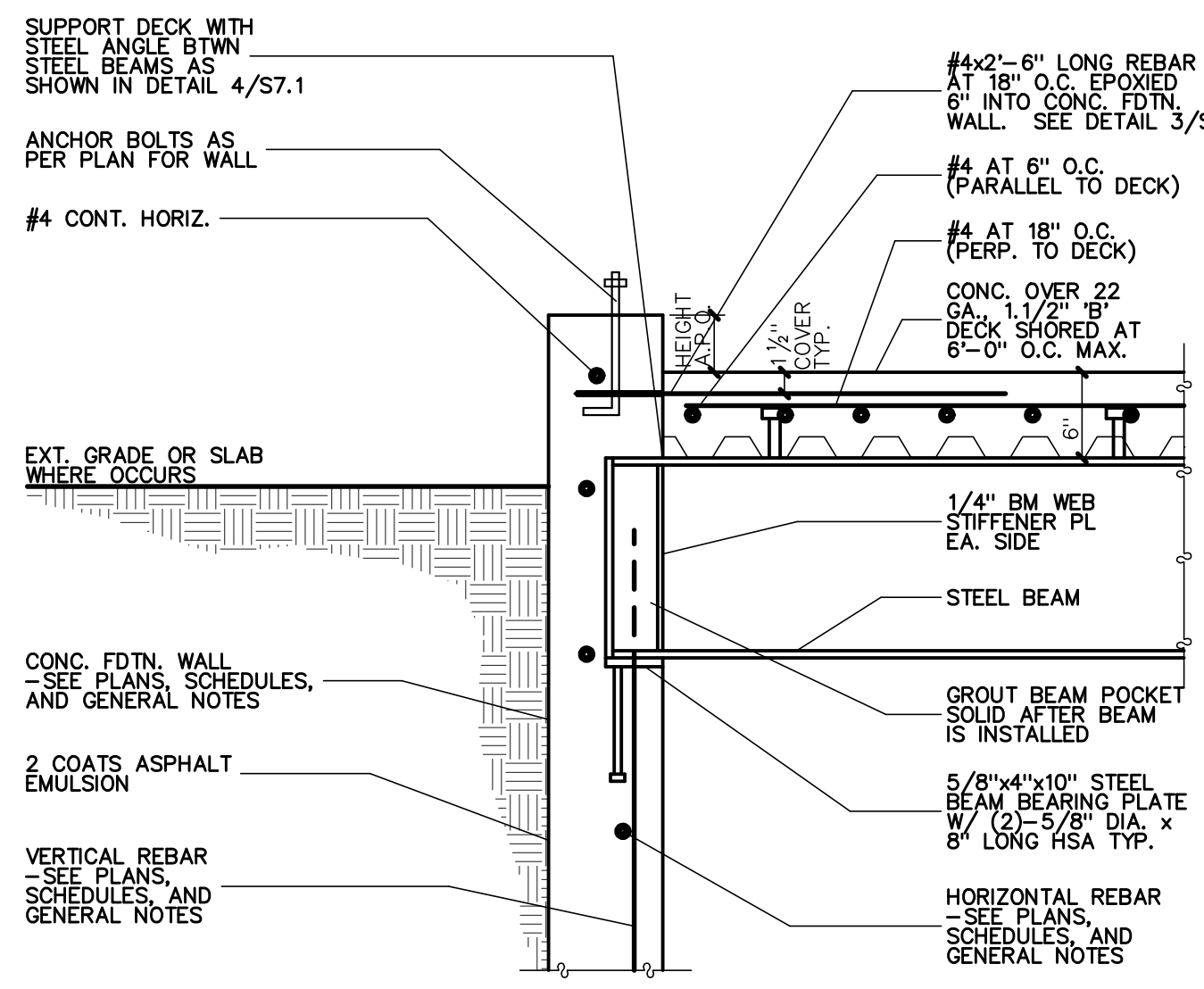
THESE PLANS, DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, COUNTY AND STATE REQUIREMENTS AND I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES.

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

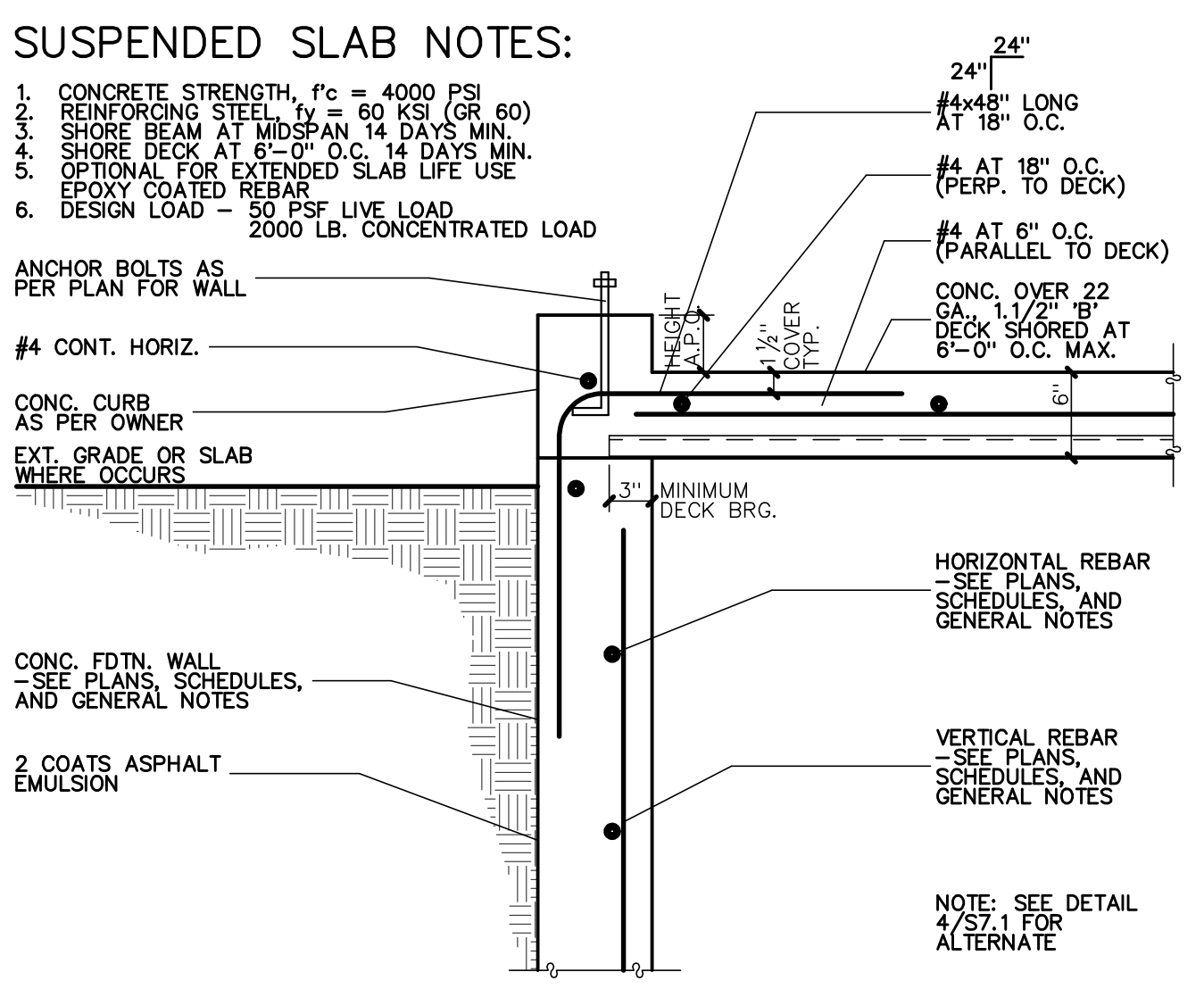
NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB --- SEE PLAN SHEETS FOR REFERENCES TO DETAILS



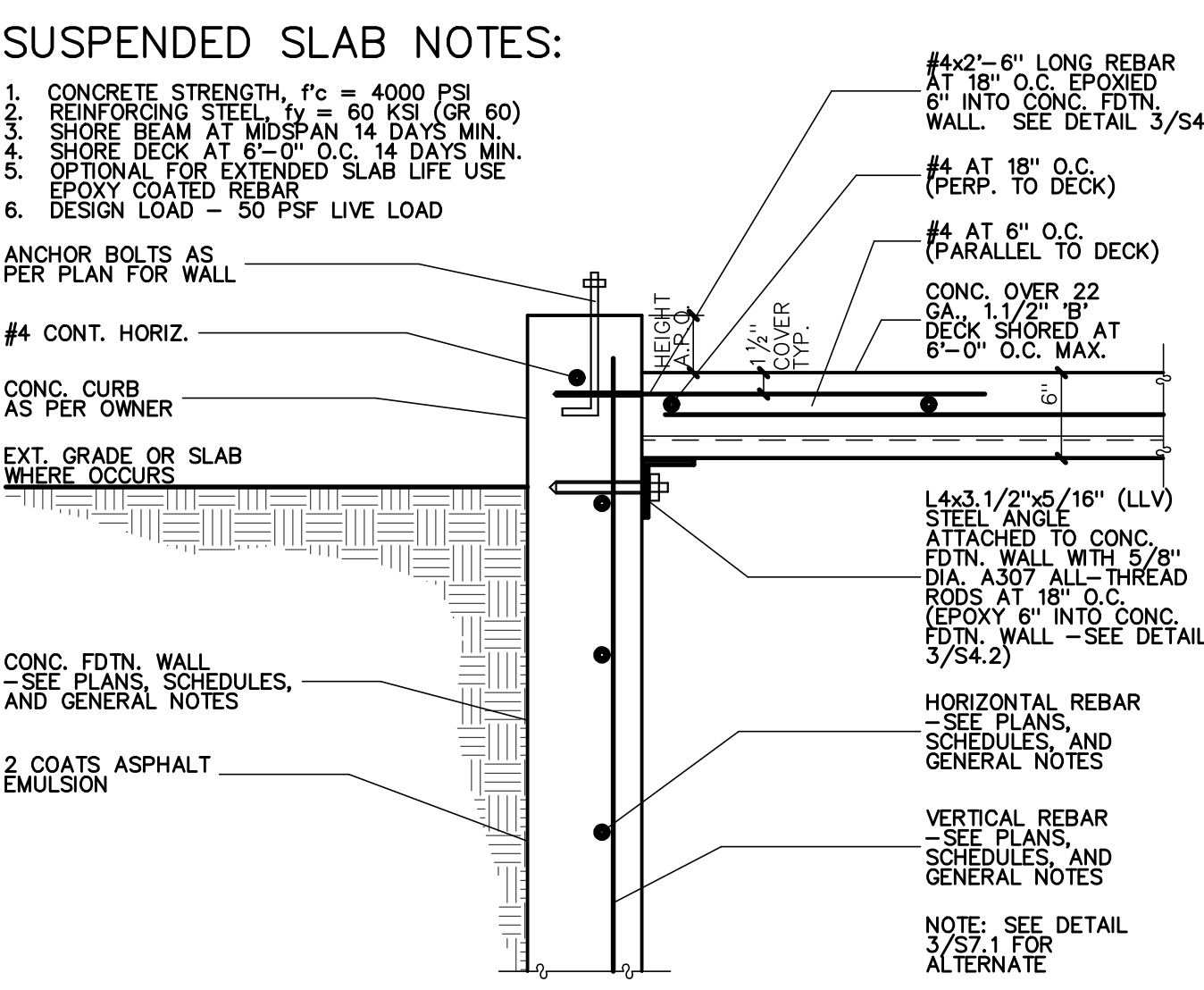
STEEL BEAM TO FDTN. WALL
NO SCALE



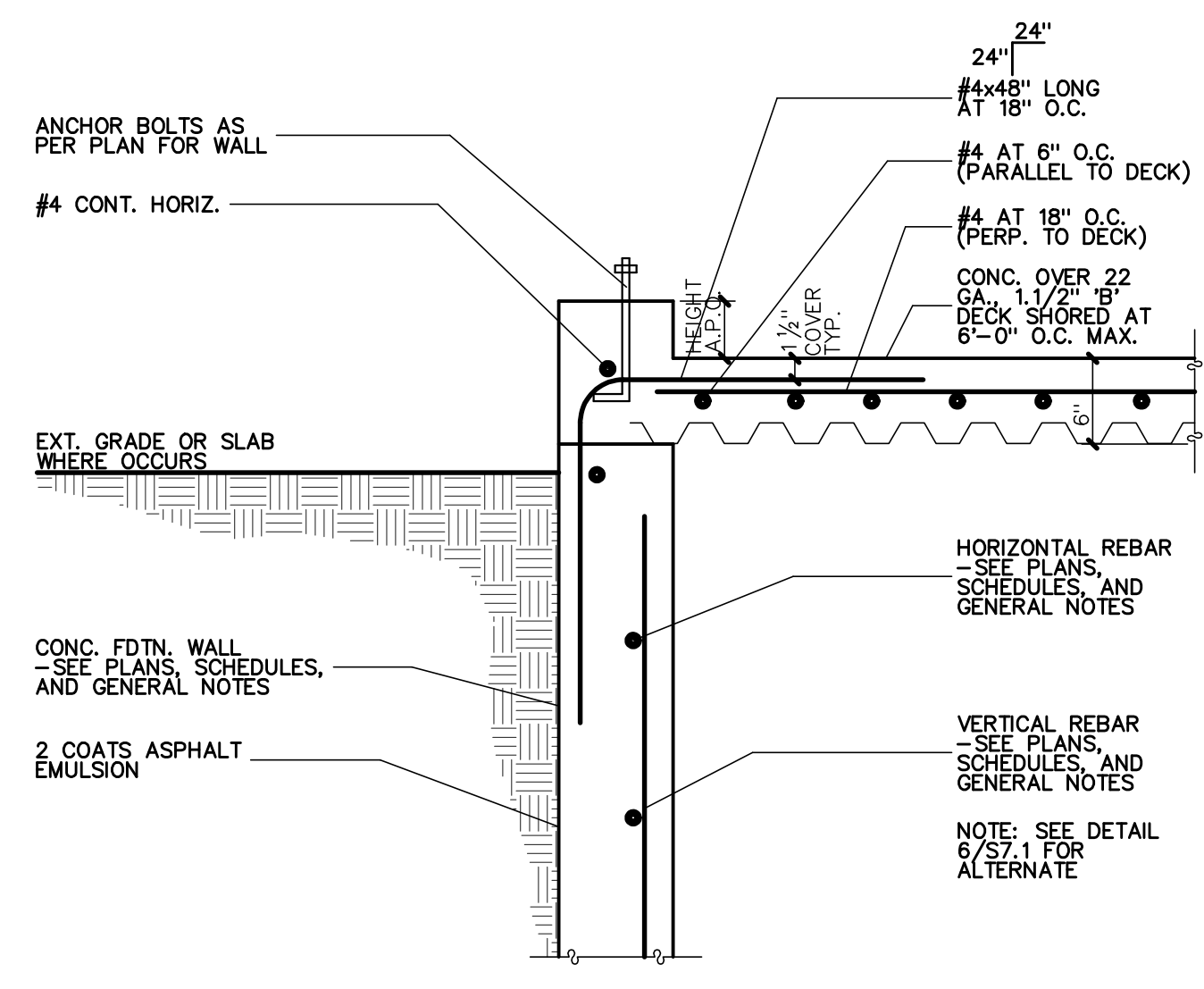
STEEL BEAM TO FDTN. WALL
NO SCALE



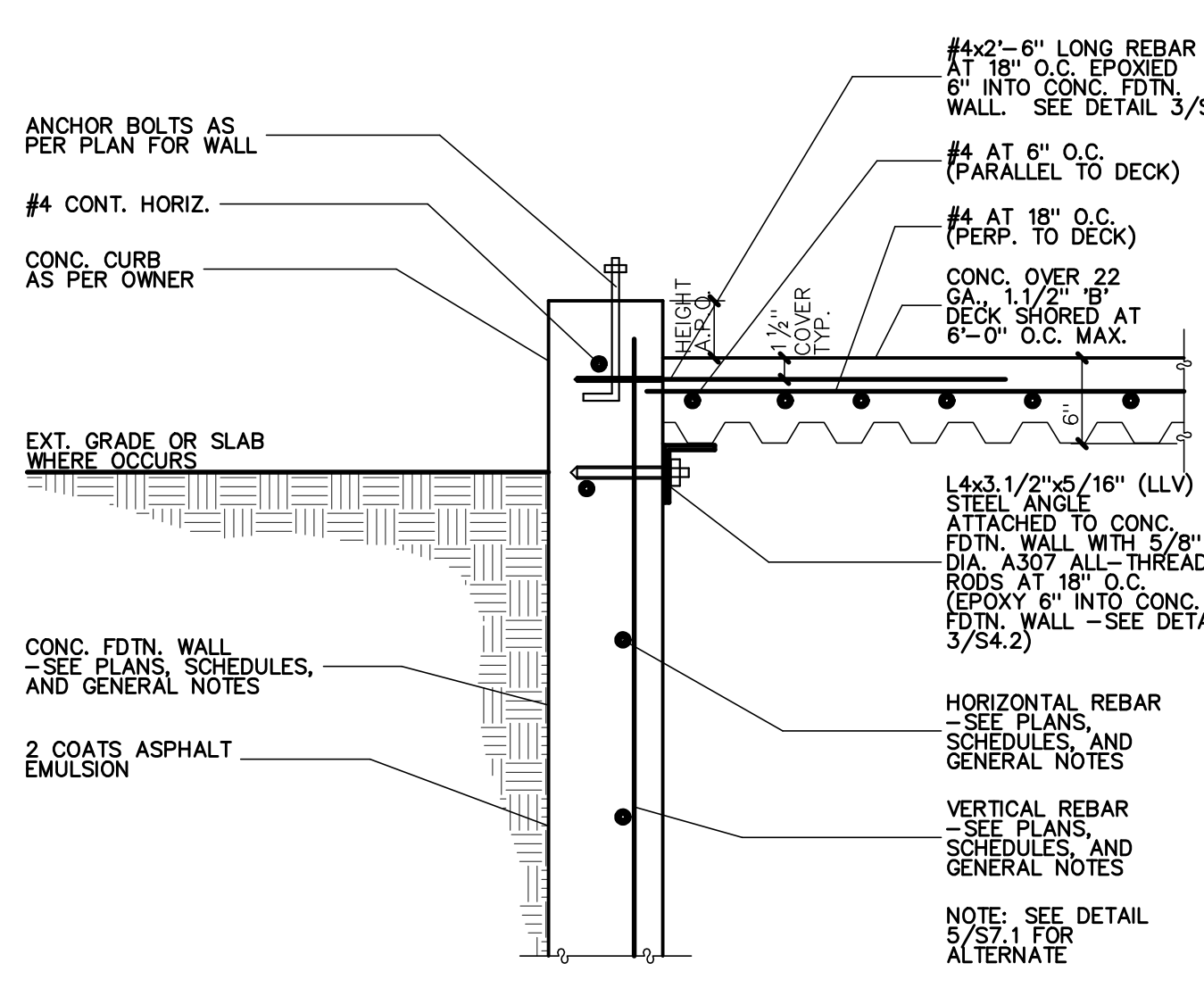
SUSP. SLAB AT FDTN. WALL
NO SCALE



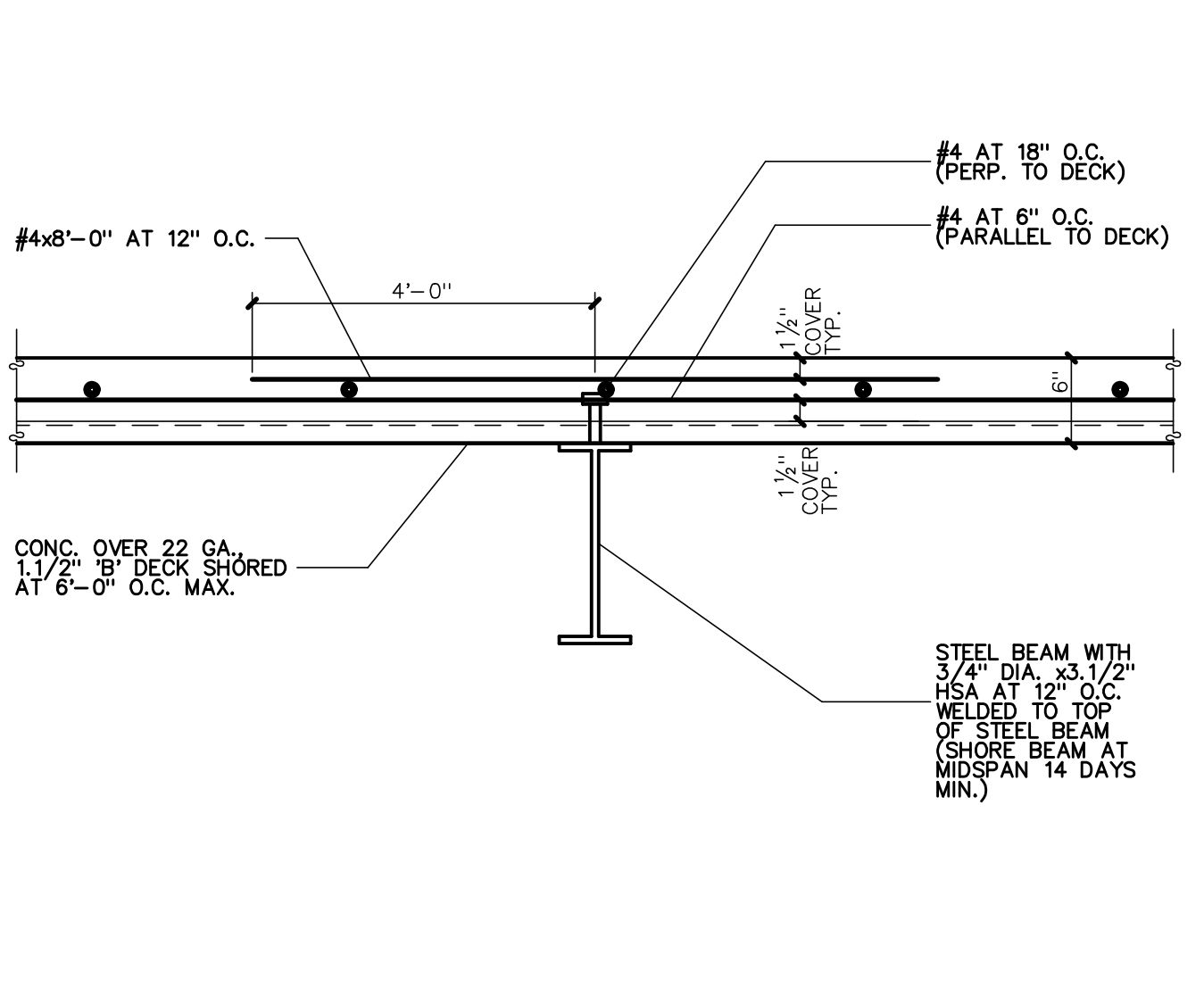
SUSP. SLAB AT FDTN. WALL
NO SCALE



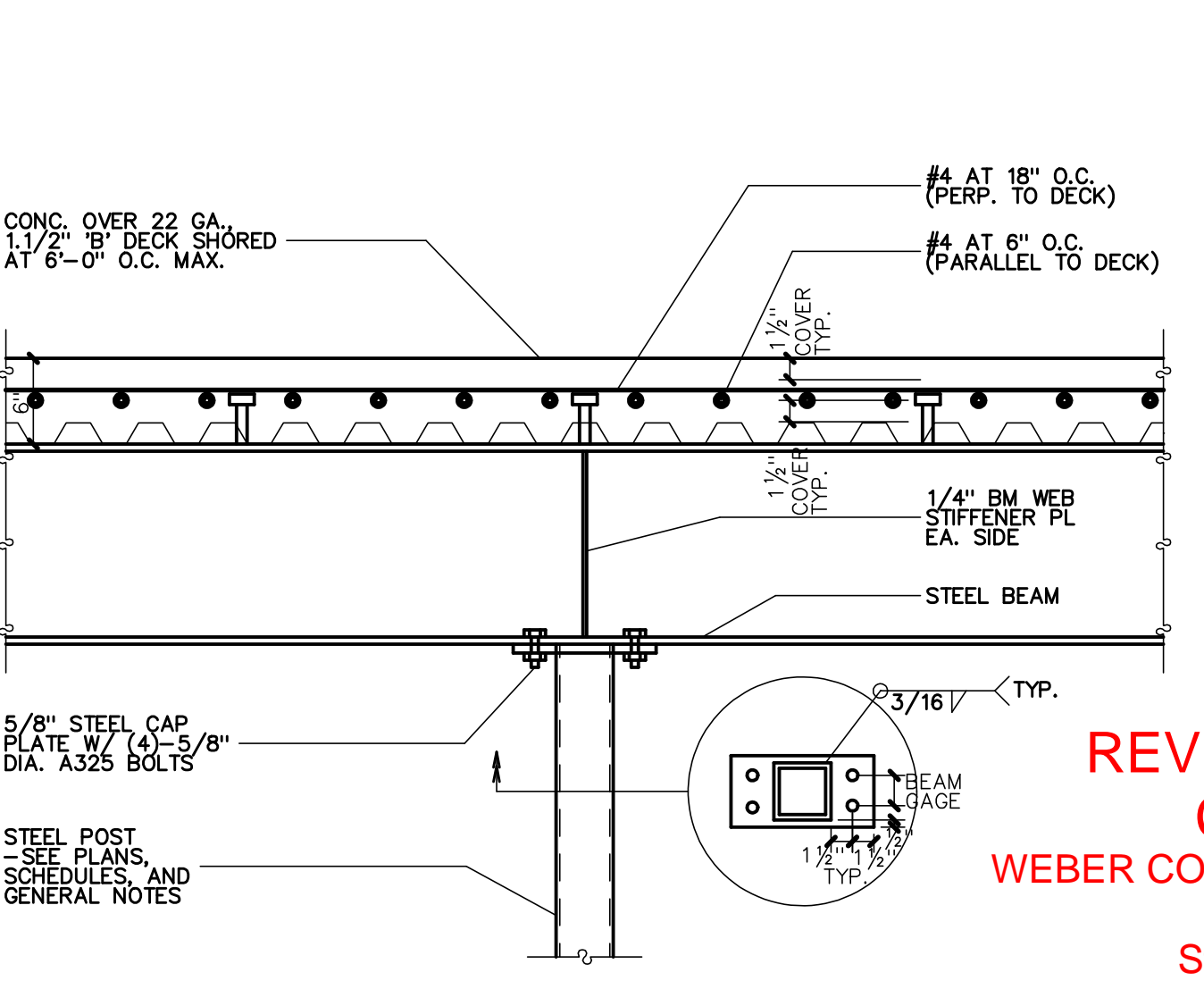
SUSP. SLAB AT FDTN. WALL
NO SCALE



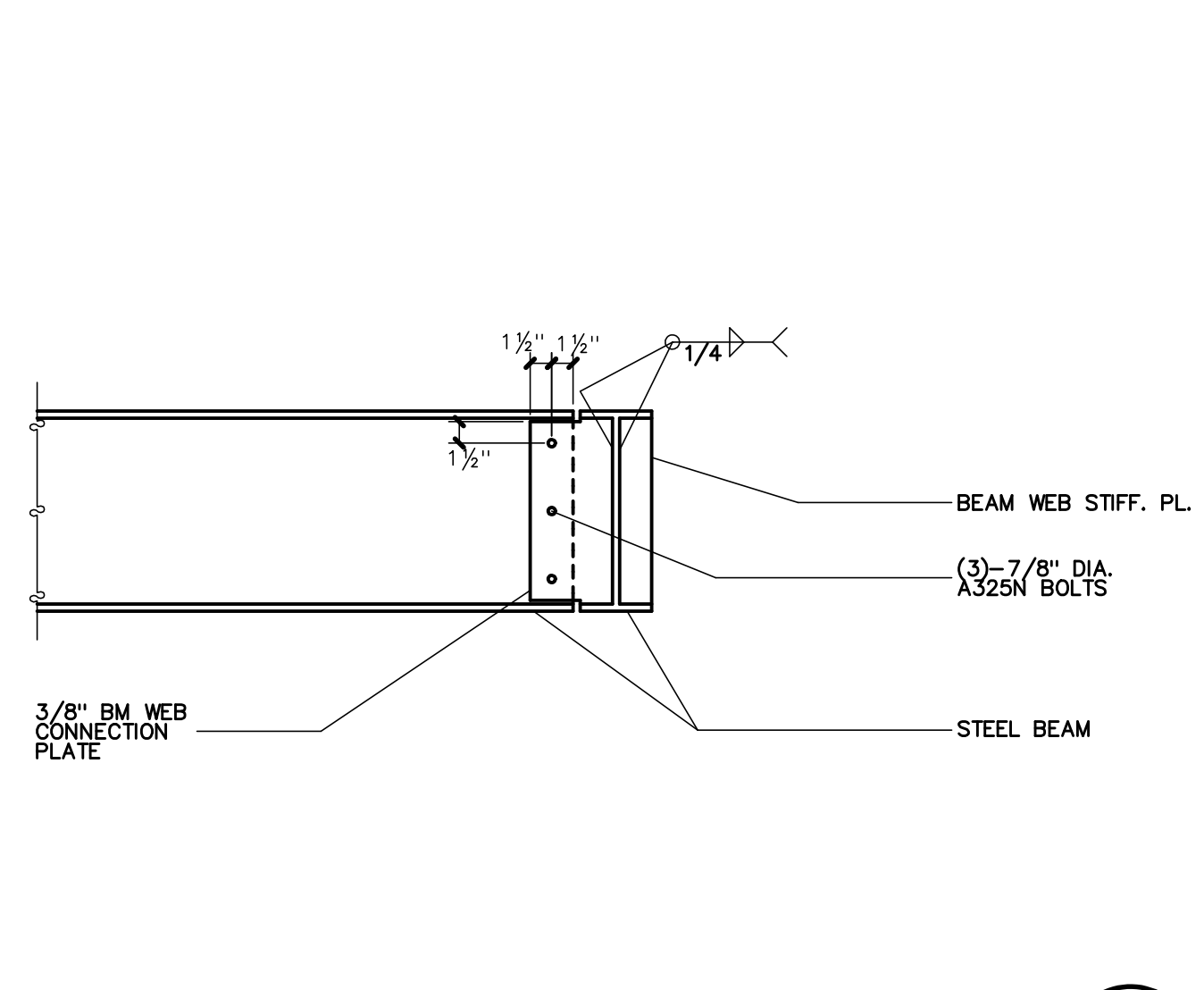
SUSP. SLAB AT FDTN. WALL
NO SCALE



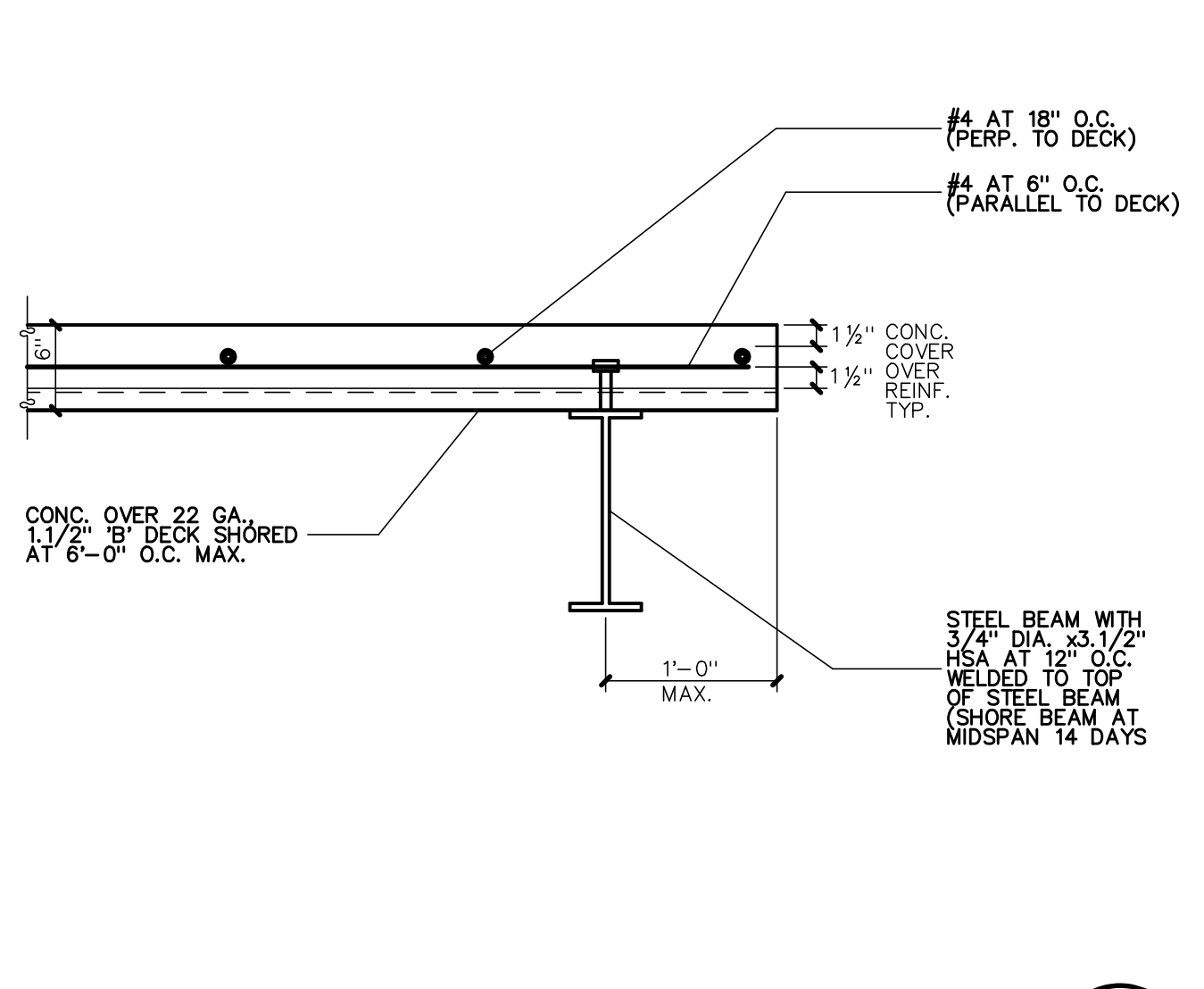
SUSP. SLAB AT STEEL BEAM
NO SCALE



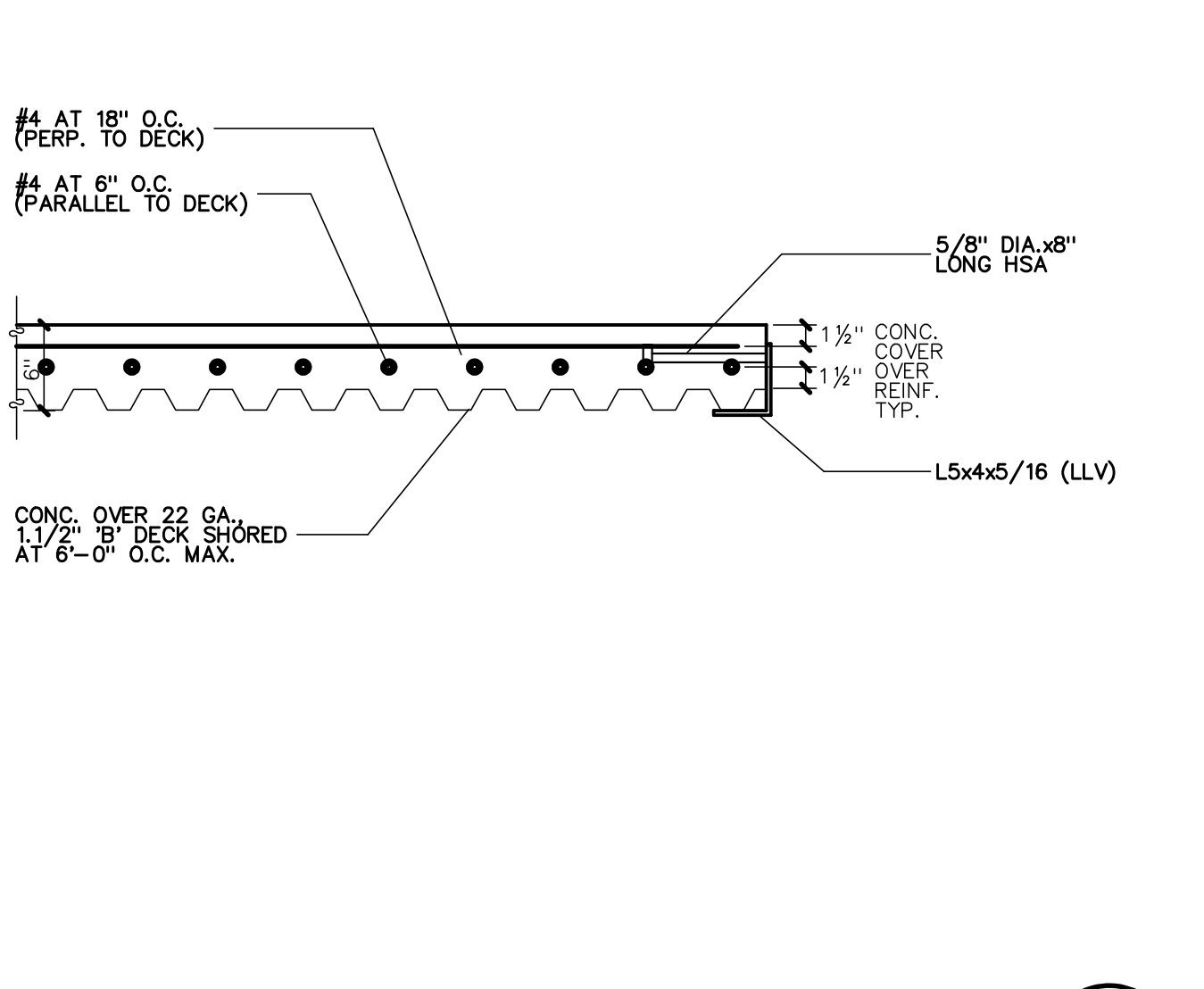
STEEL BEAM ON STEEL POST
NO SCALE



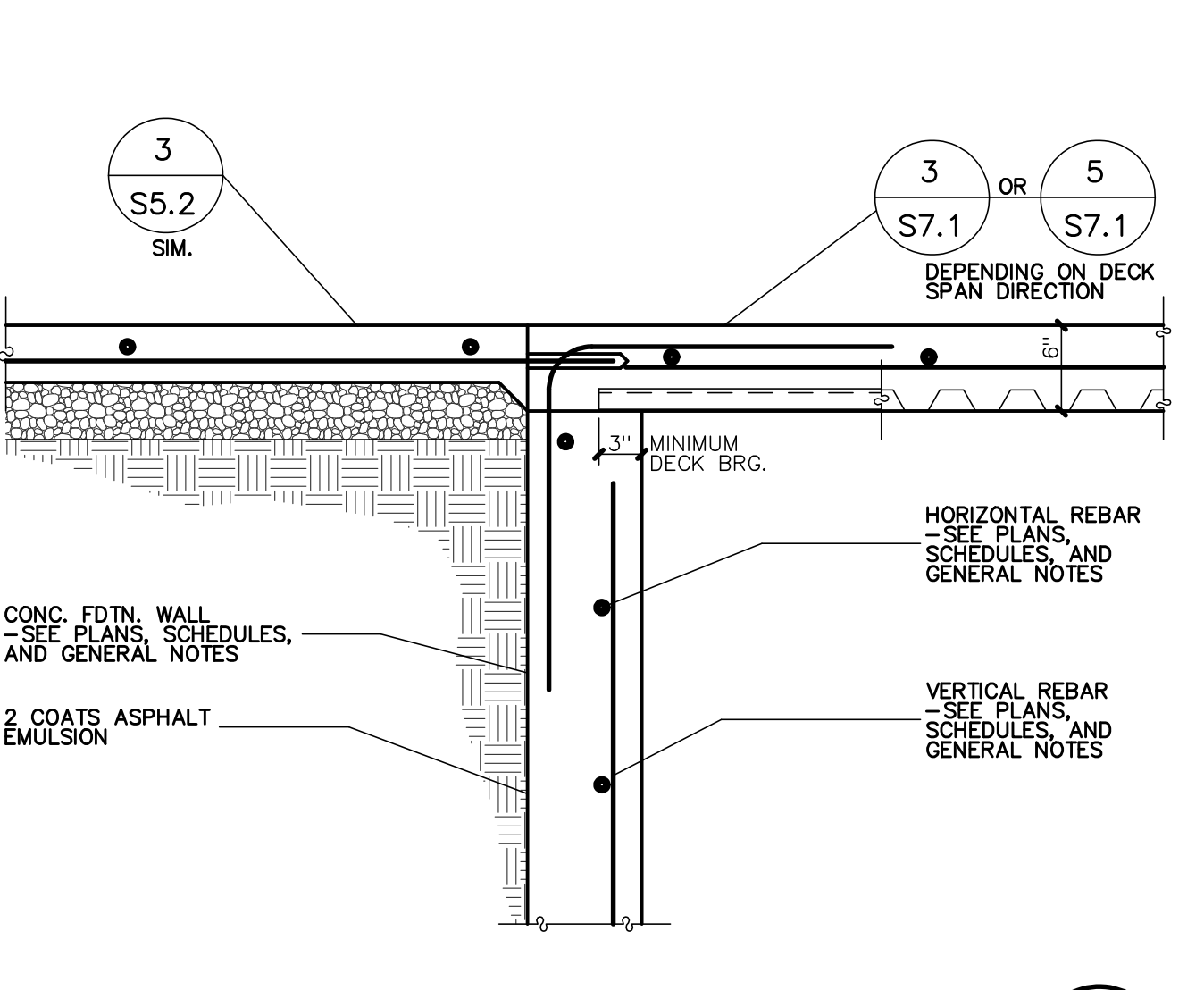
STEEL BEAM TO BEAM CONNECTION
NO SCALE



OVERHANG AT STEEL BEAM
NO SCALE



STEEL ANGLE SLAB EDGE
NO SCALE



SUSP. SLAB AT SLAB ON GRADE
NO SCALE

SUSPENDED SLAB NOTES:

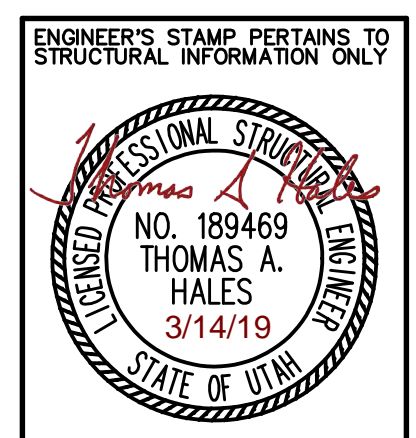
1. CONCRETE STRENGTH, $f'c = 4000$ PSI
2. REINFORCING STEEL $f_y = 60$ KSI (GR 60)
3. SHORE BEAM AT MIDSPAN 14 DAYS MIN.
4. SHORE DECK AT 6'-0" O.C. 14 DAYS MIN.
5. OPTIONAL FOR EXTENDED SLAB LIFE USE EPOXY COATED REBAR
6. DESIGN LOAD - 50 PSF LIVE LOAD 2000 LB. CONCENTRATED LOAD

SUSPENDED SLAB NOTES:

1. CONCRETE STRENGTH, $f'c = 4000$ PSI
2. REINFORCING STEEL $f_y = 60$ KSI (GR 60)
3. SHORE BEAM AT MIDSPAN 14 DAYS MIN.
4. SHORE DECK AT 6'-0" O.C. 14 DAYS MIN.
5. OPTIONAL FOR EXTENDED SLAB LIFE USE EPOXY COATED REBAR
6. DESIGN LOAD - 50 PSF LIVE LOAD

REVIEWED FOR CODE COMPLIANCE
WEBER COUNTY BUILDING INSPECTION

Stanley C. Berniche



CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB --- SEE PLAN SHEETS FOR REFERENCES TO DETAILS

COPYRIGHT NOTICE:
THESE PLANS, DRAWINGS & DESIGNS ARE THE PROPERTY OF LOMOND VIEW DESIGNS, LLC. NO PART OF THESE PLANS, DRAWINGS OR DESIGNS MAY BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.

FOR: DENNIS & CATHY LONGFELLOW
LOT 11, SNOWFLAKE SUBDIVISION NO. 2
4427 N. EDEN, UTAH 84310

WEST PLEASANT VIEW DR.
ORDEN, UTAH 84414
PHONE: (801)-782-0484
FAX: (801)-782-8631
WWW.LOMONDVIEW.COM

Lomond View
L O M O N D V I E W D E S I G N S L L C

FLOOR SUSPENDED SLAB FRAMING DETAILS
DRAWN: CWH/BRH
TYPE: ORIGINAL DRAWING
DATE: 3/13/2019
JOB NO.: 19012
PLAN NO.: 1-2-1641/3-1-940 TWO-STORY

SHEET
S7.1