

SPE 02-2020

Weber County Cluster Subdivision Sketch Plan Endorsement Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Agenda Date June 2nd 2020	Parcel Number(s) 200050021	Zoning FV-3	Project Acreage 136.22 AC
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Applicant Contact Information

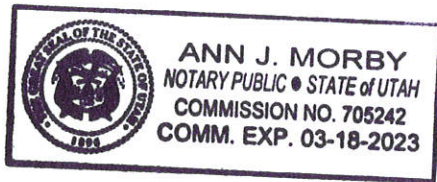
Name of Property Owner or Authorized Representative Steve Fenton and Kevin Deppe	Staff Member Providing Consultation Steve Burton
Email Address Crimsonridgeutah.steven@gmail.com Crimsonridgeutah.kevin@gmail.com	
Project Address 1250 North 5200 East, Ogden Valley	

Project Information

Approximately No. of Lots (Not including Bonus Lots) 40	Approximate Length and Width of Proposed Road Right of Way 5,981 LF, 50' Right of Way
Approximate No. of Bonus Lots (that may be requested at preliminary phase) 0	Approximate Road Area 190,109F (4.36 AC) Road, Right of Way = 310,018 SF (7.11 AC)
Approximate No. of Total Lots (including Bonus Lots) 40	Approximate Open Space Area 3,611,113 SF (82.90 AC)
Average Lot Size or Range of Lot Sizes Average lot size = 1.11 Acre. (Lots range from 3.14 to 0.211 Acre)	Existing Adjacent Land Uses (Example: from, neighborhood, etc.) N: residential S: residential E: US forest service W: USFS

Applicant Narrative (Including plans related to proposed use(s) and improvements within open space parcels)

Please explain your request.
Open space parcels are to be preserved as natural vegetation areas for the upper eastern portion of this development and areas adjacent to the ephemeral stream. The lower portion open space will have underground piping for the sewer drain field and trench field expansion connected to the existing trench field within the existing opens space from the initial development. New storm water detention ponds will also be located within open space areas as shown on the plans and as required for storm drainage required volumes. Additional detention pond volume just to the north of the existing detention pond will be expanded to control storm water runoff (within Lot 206 and SR-158). The disturbed land areas requiring the installation of piping and storm drain detention ponds will be reseeded with a native seed mix to re-establish a natural looking appearance. An additional water tank will also be added to the development within the common area. These open space areas will be green spaces for the development. See sheet C1 showing site overall Utility Plan depicting locations.



Ann J. Morby
5.5.2020

Steve Fenton

Signature

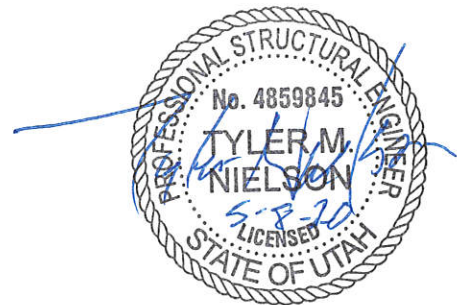
I certify that I am signing this application form as the owner or authorized representative of the subject property and that all information submitted is true and correct to the best of my knowledge. Further, I understand and acknowledge that a sketch plan endorsement from the Planning Commission does not constitute a subdivision approval and does not vest or grant entitlements beyond those that currently exist under current zoning.

Engineering Statements regarding section 106-1-5 Preliminary Plan / Plat Requirements and Approval Procedure:

(8) Road connectivity plan showing how future roads can connect to provide circulation to future neighborhoods.

Currently all properties that border us on the north side have an access from 1450 North. The property on the north that is furthest west has an access further north from SR-158 and the portion that is adjacent to developer's property is very steep and heavily vegetated and is not developable.

(11) Regarding the width and type of the proposed pavement, we are matching the existing pavement width for phase 1 of Crimson Ridge along Whispering Pines Lane with a 50 foot right of way. It was also discussed by the county engineer in the preapplication meeting that due to the steepness of the existing terrain that the 50' right of way section seemed appropriate so that the cuts and fills for the side slopes could be minimized. See sheet PP1 for proposed roadway section and associated plan and profiles. It is proposed that the trail be 9.5' wide to keep the trail within the 50' right of way width.





Receipt

Receipt Number	134352
Receipt Date	05/08/2020
Receipt Time	10:44:58
Payment Method	CHECK

Received From:

Clerk: Morby, Ann

ITEM NO.	DESCRIPTION	AMOUNT
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Bill Number: 134352

1	ZONING FEES	\$150.00
	GL Account:25410000-432016-	-\$150.00
	GL Account:POOL-100101-	\$150.00

PAYMENT TYPE	QUANTITY	REFERENCE	AMOUNT
CHECK	1	215 B & H Investment Properties LLC	\$150.00

Previous Balance	\$150.00
Total Remitted	\$150.00
Adjustments	\$0.00
New Balance	\$0.00



Weber County

Incoming Application Processing Form

Project Name: The Reserve at Crimson Ridge Cluster Subdivision Ph. 2 & 3

Date Submitted: _____ Zoning: _____ Received by: _____

Culinary Water Provider: _____ Secondary Water Provider: _____ Waste Water Provider: _____

Project Type:

- Alternative Access
- Board of Adjustment
- Building Parcel Designation
- Conditional Use Permit
- Design Review
- Hillside Review
- Land Use Permit

- Subdivisions:
 - Subdivision (Small/Amendment)
 - Subdivision-(Prelim/Final)
 - Subdivision-Cluster
 - Zoning Text Amendment
 - Zoning Map Amendment
 - Zoning Development Agreement
 - Vacation
 - Other _____
- Sketch Plan Endorsement*

Project Description: Sketch Plan Endorsement for Phases 2 + 3 of the Reserve at Crimson Ridge consisting of 40 lots. Cluster Subdivision

Applicable Ordinances:

- | | | |
|--|--|---|
| <input type="checkbox"/> Accessory Apartments | <input type="checkbox"/> Nonconforming Buildings, Uses and Parcels | <input type="checkbox"/> Petitioner Requirements-Rezoning Procedure Development Agreement |
| <input type="checkbox"/> Airport Zones and Height Regulations | <input type="checkbox"/> Ogden Valley Architectural, Landscape and Screening Standards | <input type="checkbox"/> Planned Residential Unit Development |
| <input checked="" type="checkbox"/> Cluster Subdivision | <input type="checkbox"/> Ogden Valley Lighting | <input type="checkbox"/> Public Buildings and Public Utility Substations and Structures |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Ogden Valley Pathways | <input type="checkbox"/> Signs |
| <input type="checkbox"/> Drinking Water Source Protection | <input type="checkbox"/> Ogden Valley Sensitive Lands Overlay District | <input checked="" type="checkbox"/> Standards for Single Family Dwellings |
| <input type="checkbox"/> Hillside Development Review and Procedures and Standards | <input type="checkbox"/> Ogden Valley Signs | <input checked="" type="checkbox"/> Supplementary & Qualifying Reg |
| <input type="checkbox"/> Home Occupation | <input type="checkbox"/> Parking and Loading Space, Vehicle Traffic and Access Regulations | <input type="checkbox"/> Time Share |
| <input type="checkbox"/> Land Use Permit, Building Permit and Certificate of Occupancy | | <input checked="" type="checkbox"/> Zones & Districts |
| <input checked="" type="checkbox"/> Natural Hazards Overlay Districts | | |

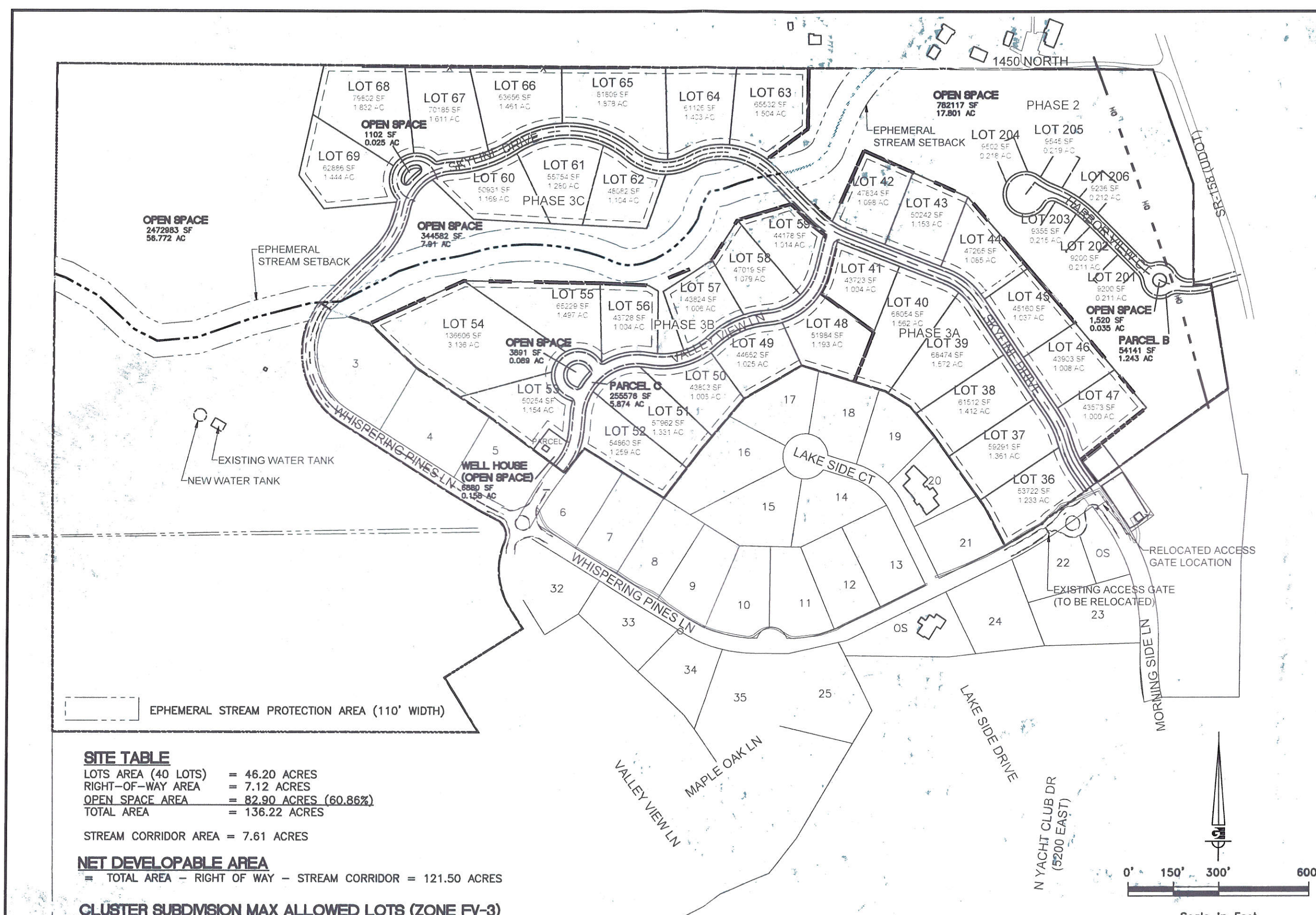
Weber County Review Agencies:

- | | | |
|---|--|---|
| <input type="checkbox"/> Weber-Morgan Health Department-Drinking Water Division | <input type="checkbox"/> Weber County Economic Development Partnership | <input type="checkbox"/> Weber County School District-Transportation Division |
| <input type="checkbox"/> Weber-Morgan Health Department-Waste Water Division | <input checked="" type="checkbox"/> Weber County Engineering Division | <input type="checkbox"/> Weber County Sheriff |
| <input type="checkbox"/> Weber County Addressing Official | <input type="checkbox"/> Weber County GIS | <input type="checkbox"/> Weber County Special Events |
| <input type="checkbox"/> Weber County Animal Services | <input type="checkbox"/> Weber County CED | <input type="checkbox"/> Weber County Surveyor's Office |
| <input type="checkbox"/> Weber County Assessor's Office | <input checked="" type="checkbox"/> Weber County Planning Division | <input type="checkbox"/> Weber County Treasurer's Office |
| <input type="checkbox"/> Weber County Board of Adjustment | <input type="checkbox"/> Weber County Recorder's Office | <input type="checkbox"/> Weber Fire District |
| <input type="checkbox"/> Weber County Building Inspection | <input type="checkbox"/> Weber County Recreation Facilities | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Weber County Commission | <input type="checkbox"/> Weber County Roads Division | |

Outside Review Agencies:

- | | | |
|--|---|--|
| <input type="checkbox"/> Bona Vista Water Improvement District | <input type="checkbox"/> Ogden Valley Starry Nights | <input type="checkbox"/> Utah Department of Transportation |
| <input type="checkbox"/> Causey Estates Lot Owners Assoc. | <input type="checkbox"/> Powder Mountain Water & Sewer District | <input type="checkbox"/> Utah Division of Air Quality |
| <input type="checkbox"/> Central Weber Sewer Improvement | <input type="checkbox"/> Dominion Energy | <input type="checkbox"/> Utah Division of Drinking Water |
| <input type="checkbox"/> Cole Canyon Water Company | <input type="checkbox"/> Rocky Mountain Power | <input type="checkbox"/> WC3 |
| <input type="checkbox"/> Centurylink | <input type="checkbox"/> State of Utah Dept of Ag & Food | <input type="checkbox"/> Weber Pathways |
| <input type="checkbox"/> Eden Irrigation Company | <input type="checkbox"/> Taylor Geotechnical | <input type="checkbox"/> West Warren-Warren Water & Sewer |
| <input type="checkbox"/> Hooper Irrigation Company | <input type="checkbox"/> Taylor-West Weber Water District | <input type="checkbox"/> Wolf Creek Water and Sewer Improvement District |
| <input type="checkbox"/> Hooper Water Improvement District | <input type="checkbox"/> Uintah Highlands Water & Sewer Dist | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Nordic Mountain Water Inc. | <input type="checkbox"/> US Forest Service | |

R:\0086_B24H_Improvement_Crimson_Ridge\3D\CRIMSON RIDGE.dwg, 1 - CONCEPTUAL SKETCH PLAN, 5/7/2020 9:52:13 PM, ANSII full bleed B (11.00 x 17.00 Inches), 1:1



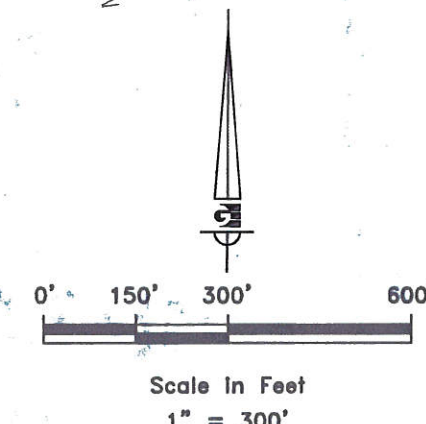
SITE TABLE

LOTS AREA (40 LOTS)	= 46.20 ACRES
RIGHT-OF-WAY AREA	= 7.12 ACRES
OPEN SPACE AREA	= 82.90 ACRES (60.86%)
TOTAL AREA	= 136.22 ACRES

STREAM CORRIDOR AREA = 7.61 ACRES

NET DEVELOPABLE AREA
 = TOTAL AREA - RIGHT OF WAY - STREAM CORRIDOR = 121.50 ACRES

CLUSTER SUBDIVISION MAX ALLOWED LOTS (ZONE FV-3)
 = NET DEVELOPABLE AREA / 3AC PER LOT = 40.50 LOTS (40 LOTS)



Revisions	Date	Description	Date
Path: \\server\user\jerry\my\work\0802\0802.dwg User: jerry			
Date: 2020 Scale: 1" = 300' Design: DESIGN Draft: DRAWN Check: CHECKED			
ONCEPTUAL SKETCH PLAN		THE RESERVE AT CRIMSON RIDGE	
CLUSTER SUBDIVISION PHASE 2		OGDEN VALLEY, WEBER COUNTY, UTAH	
CIVIL • LAND PLANNING MUNICIPAL • LAND SURVEYING			
1			1