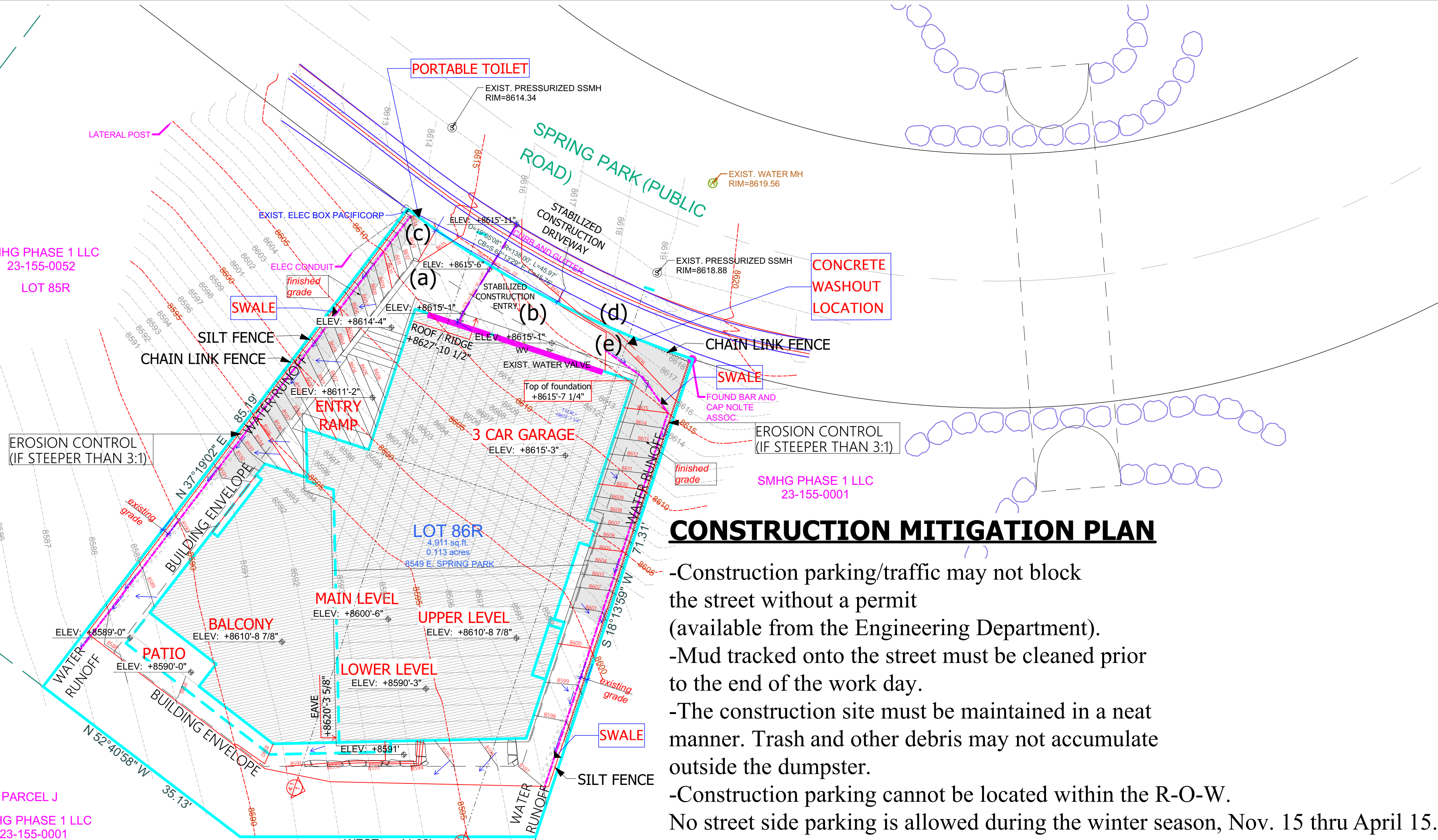


SMHG PHASE 1 LLC
23-155-001
LOT 84R

SMHG PHASE 1 LLC
23-155-002
LOT 85R

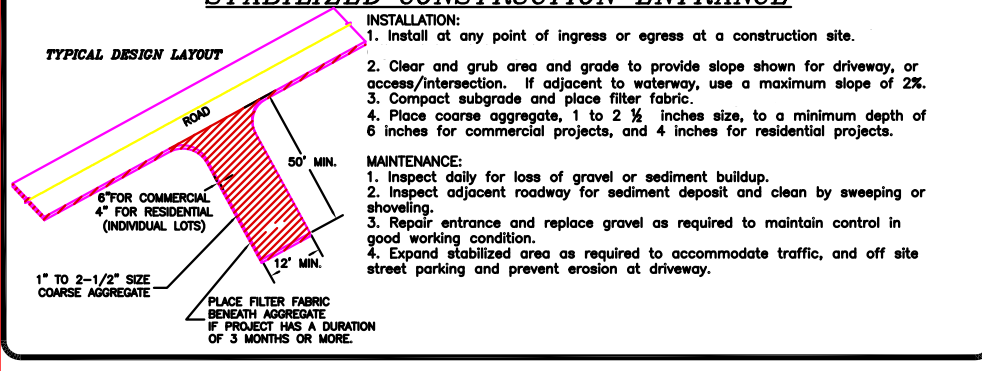
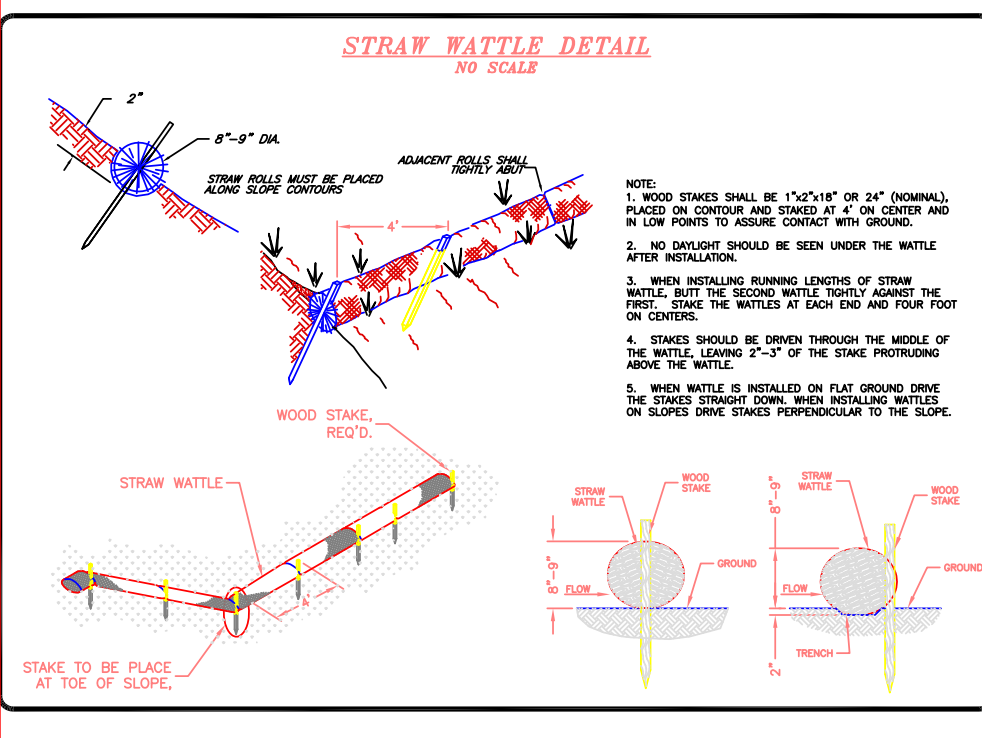
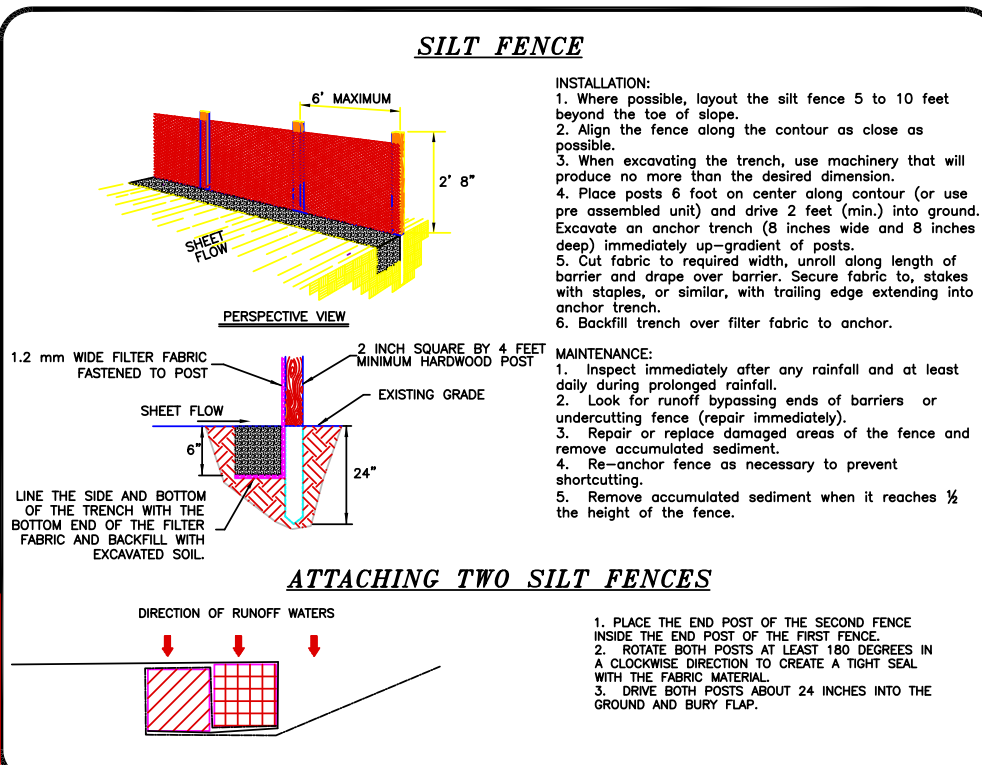
PARCEL J
SMHG PHASE 1 LLC
23-155-0001



CONSTRUCTION MITIGATION PLAN

- Construction parking/traffic may not block the street without a permit (available from the Engineering Department).
- Mud tracked onto the street must be cleaned prior to the end of the work day.
- The construction site must be maintained in a neat manner. Trash and other debris may not accumulate outside the dumpster.
- Construction parking cannot be located within the R-O-W. No street side parking is allowed during the winter season, Nov. 15 thru April 15.

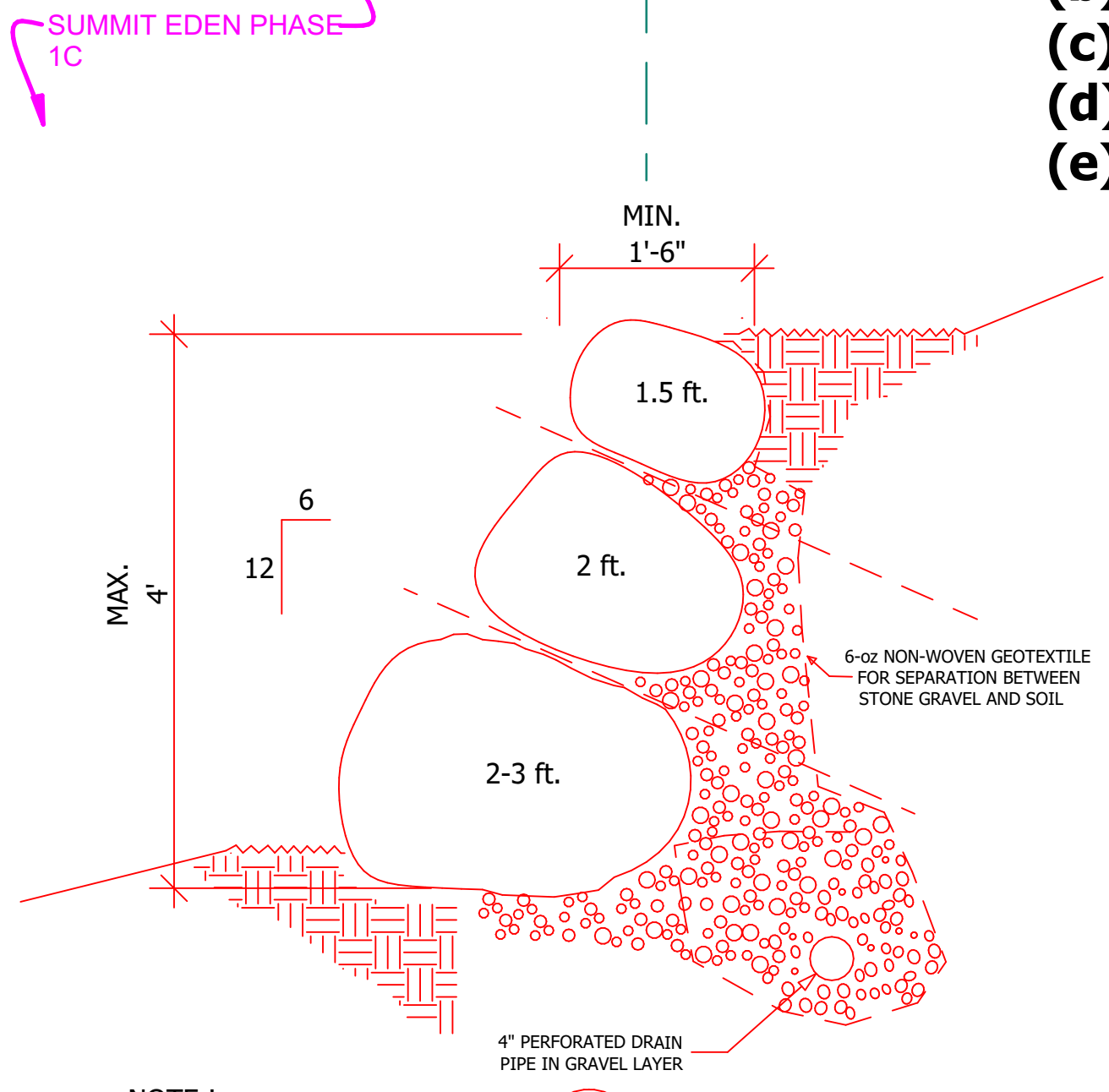
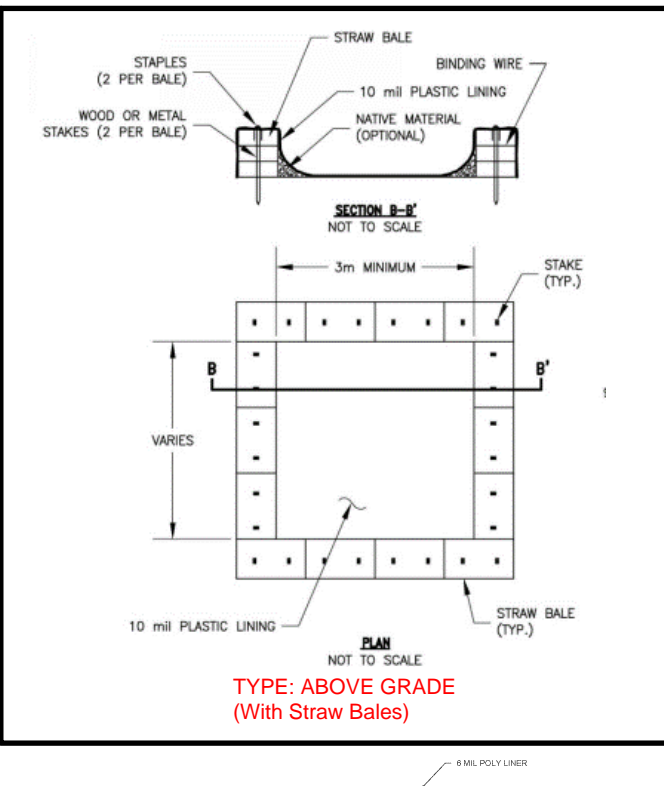
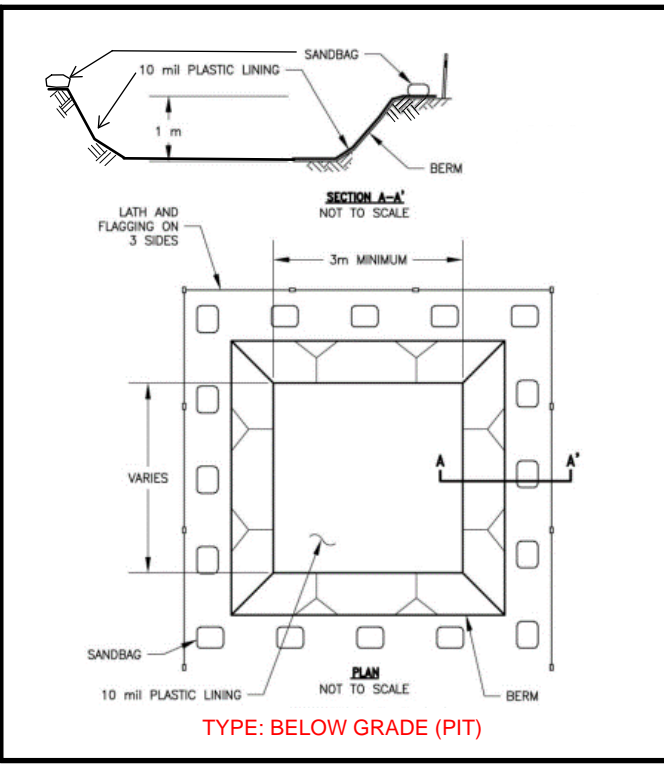
- (a) = TRASH RECEPTACLE (COVERED DUMPSTER)
- (b) = STORAGE AREA
- (c) = PORTABLE TOILET
- (d) = PARKING AREA
- (e) = CONCRETE WASHOUT



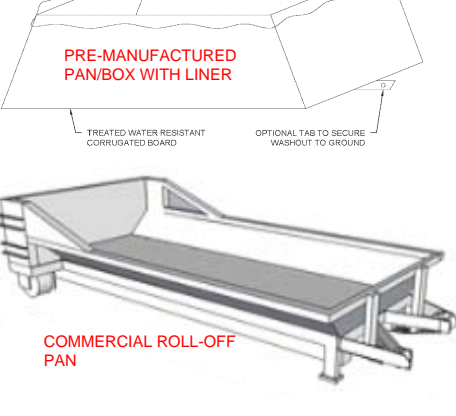
Required Inspections Table

NOTE: Exact listing will be required where all handoffs or more than 25% of the dust work is outside of the thermal envelope.

Inspection	Description/Requirements	Contact
Driveway Site Staking	Required prior to issuance of a Building Permit. Locater stake the driveway at the street and at the road right of way/property line and locate all other property corners.	Engineering
Rough Grading	Required prior to scheduling a Footing Inspection. Site Erosion Control measures must be installed and driveway must be roughly graded according to plan.	Engineering
Footing	Schedule after steel is in place and before concrete is poured.	Building
Foundation	Schedule after steel is in place and before concrete is placed.	Building
Under Slab Plumbing & Heating	Before concrete is poured in plumbing has been backfilled.	Building
Certificate of Erosion Control	Performed by a licensed surveyor. Required prior to scheduling a Floor Framing Inspection. See requirements below.	Building
Floor Framing Inspection	Required prior to placing floor sheathing and includes Footing, Drain Inspection.	Building
Shear Wall	After the building is up to the "square" and all shear walls have been nailed and all tie rods and shear wall connections have been installed.	Building
Fire Sprinklers	Required prior to low-way inspections, when required by the local Fire District.	Building
Four Way	This inspection is performed after all rough electrical, plumbing, and mechanical has been installed. All framing is complete, show walls previously inspected, and floor specifications are on the job for the inspector to read. Plumbing shall have either an air or water pressure test on them when the inspector arrives.	Building
Weather Barrier/Sheets Lath	Weather barrier shall be inspected prior to applying veneer. Approved stone I.C.C. research reports on site.	Building
Gas Meter Set	Required before gas meter clearance is given to Quorum.	Building
Masonry wall/beam	Steel in masonry and before concrete is poured.	Building
Insulation	The Sheetrock insulation certificate required.	Building
Driveway Sealing	This is done before driveway is sealed.	Building
Power to Panel	Building must be up with permanent roof installed.	Building
Driveway pre-surfacing	Site Erosion Control measures must be installed and driveway graded to it's final configuration.	Engineering
Final Driveway and Site Inspection	Required prior to Certificate of Occupancy and/or Final Release. Driveway must be surfaced and site must be revegetated (suspections may be schedule separately). If the site is not revegetated, the erosion control measures must be in place and installed correctly.	Engineering
Flood Plain Elevation Certificate	FEMA Elevation Certificate (if applicable) required prior to Certificate of Occupancy. Form must be filed with FEMA and a copy provided to the Engineering Department.	Engineering
Final	All work is done and building complete. Final clearances from the water district for sewer, County Health Department for septic, and fire district for sprinkler systems must be on the project for this inspection. Required for Certificate of Occupancy.	Building
Certificate of Occupancy	Required prior to anyone occupying the structure. A Certificate of Occupancy will be issued once the final clearances have been obtained by the builder and brought to the Building Department's office as a Condition of Occupancy. Final letter from Engineering Department, Final letter from Snyderville Basin Water Reclamation District, Final water concurrency letter from appropriate water company, Final from Park City Fire District (in required subdivisions).	Building
ICP Final Release Inspection	Required to verify that the site has been fully stabilized (revegetated). Inspection is required prior to applicant receiving a release of their Erosion Control Bond. Applicant must provide a written request for the release of the bond.	Engineering



NOTE: 1 BOULDERS ARE TO BE SELECTED & STACKED TO PROVIDE MAX. CONTACT. BOULDER WALLS ARE DESIGNED TO BE LESS THAN 4 FEET IN HEIGHT. IF THEY EXCEED 4 FEET, THEY WILL BE ENGINEERED. 12" - 18" MIN. ROUND BOULDER SIZE.



Construction Mitigation Plan Notes

- Show location for dumpster, portable toilets, materials storage, parking
- Construction parking/traffic may not block the street without a permit (available from the Engineering Department)
- Mud tracked onto the street must be cleaned prior to the end of the work day
- The construction site must be maintained in a neat manner. Trash and other debris may not accumulate outside the dumpster.
- Roadside parking is not allowed from November 15 to April 15

Construction parking cannot be located within the R-O-W. No street side parking is allowed during the winter season, Nov. 15 thru April 15.

- Perform washout of concrete trucks offsite or in designated concrete washout areas only.
- Do not wash out concrete trucks onto the ground, or into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped onsite, except in designated concrete washout areas.
- Concrete washout areas may be prefabricated concrete washout containers, or self-installed structures (above-grade or below-grade).
- Prefabricated containers are most resistant to damage and protect against spills and leaks. Companies may offer delivery service and provide regular maintenance and disposal of solid and liquid waste.
- If self-installed concrete washout areas are used, below-grade structures are preferred over above-grade structures because they are less prone to spills and leaks.
- Self-installed above-grade structures should only be used if excavation is not practical.

SCANDINAVIAN
LLC

ARCHITECTURAL OFFICE
Company Name
Scandinavian LLC
Address
6410 N. Business
Park Loop Rd. Unit E
Phone
435-513-0355
Fax
Project No.
Cad File
Drawn
Checked

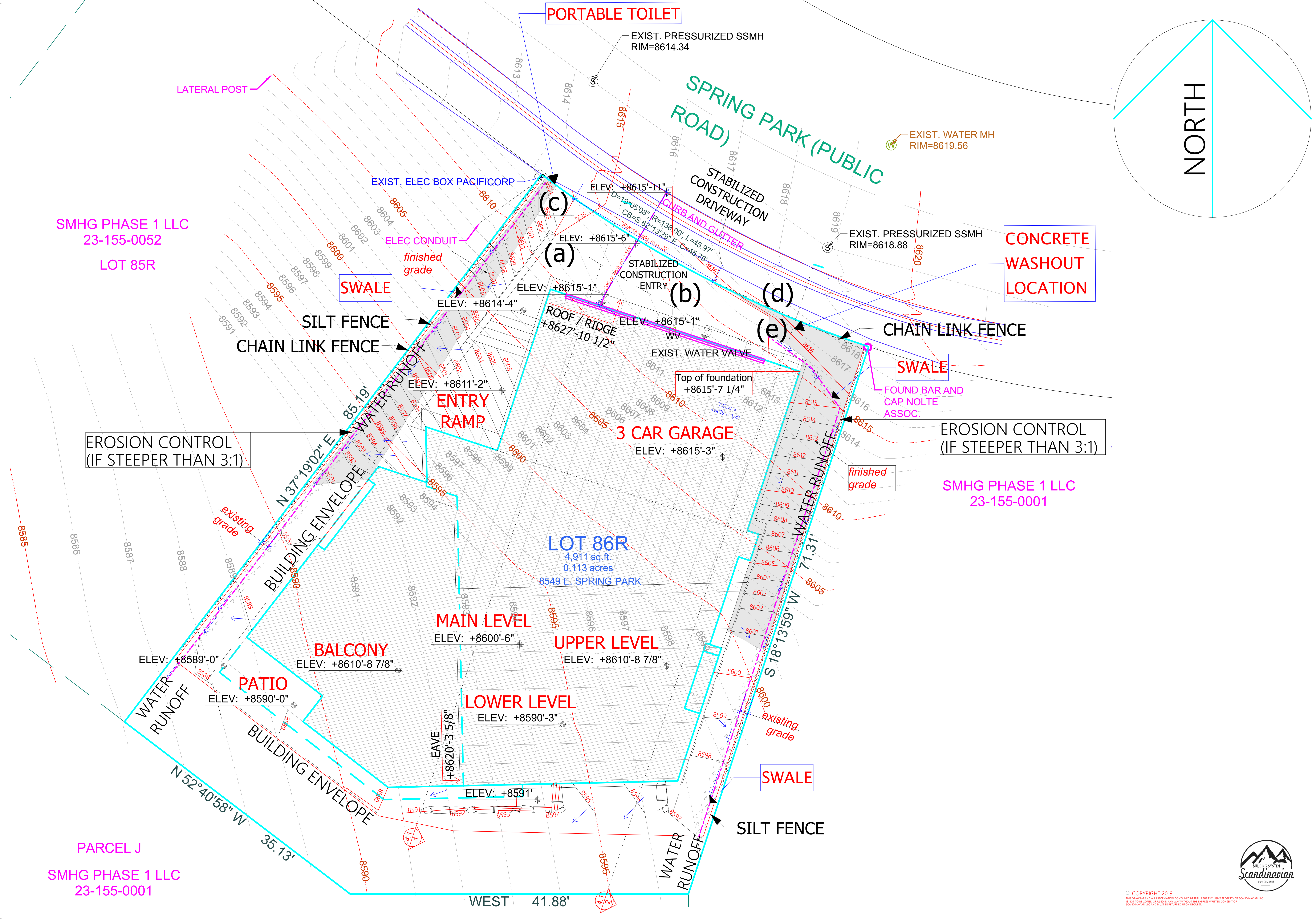
A New Residence:
BLAKE KINGSBURY
Summit Powder Mountain, Lot # 86R
8549 E. Spring Park, Weber County, Utah

BUILDER
Company Name
Address
Park City, Utah 84098
Phone
Fax

Drawing Date 10-21-2019
Scale 1" = 10'-0"
SITE PLAN
BUILDER/DEALER'S APPROVAL:
Signature and Date



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SMHG PHASE 1 LLC
23-155-0052
LOT 85R

EROSION CONTROL
(IF STEEPER THAN 3:1)

PARCEL J
SMHG PHASE 1 LLC
23-155-0001

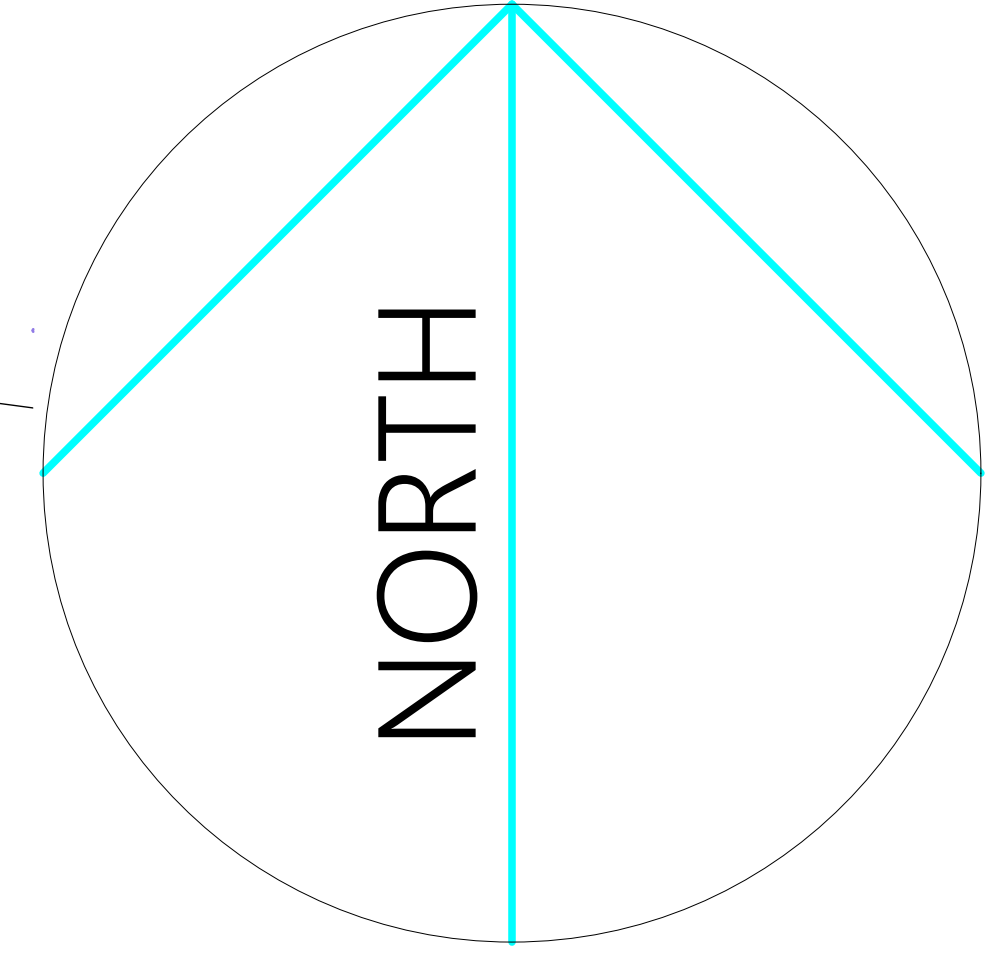
PORTABLE TOILET

EXIST. PRESSURIZED SSMH
RIM=8614.34

SPRING PARK (PUBLIC ROAD)

EXIST. WATER MH
RIM=8619.56

CONCRETE
WASHOUT
LOCATION



ARCHITECTURAL OFFICE
Company Name: Scandinavian LLC
Address: 6410 N. Business Park Loop Rd. Unit E
Phone: 435-513-0355
Project No.:
Cad File:
Drawn:
Checked:

A New Residence:
BLAKE KINGSBURY
Summit Powder Mountain, Lot # 86R
8549 E. Spring Park, Weber County, Utah

BUILDER
Company Name:
Address:
Park City, Utah 84098
Phone:
Fax:

Drawing Date: 10-21-2019
Scale: 1" = 5'-0"
Title No.: LANDSCAPE
BUILDER/DEALER'S APPROVAL:
Signature and Date:



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