

WEBER INDUSTRIAL PARK - PLAT "B"-2ND AMENDMENT

AMENDING LOTS 31, 32 AND 33

A SUBDIVISION LOCATED IN THE EAST HALF OF SECTION 36, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, WEBER COUNTY, UTAH

SURVEYOR'S CERTIFICATE

I, **JASON T. FELT** DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. **4224283** IN ACCORDANCE WITH TITLE 50 CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT IN THE STATE OF UTAH, AND DO HEREBY CERTIFY THAT IN ACCORDANCE WITH SECTION 17-23-11, AND BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, BASED ON APPLICABLE DATA COMPILED FROM OFFICIAL RECORDS, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HEREAFTER TO BE KNOWN AS:

WEBER INDUSTRIAL PARK - PLAT "B" - 2ND AMENDMENT

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET FRONTAGE WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

TENTATIVE

BOUNDARY DESCRIPTION

ALL OF LOTS 31, 32, AND 33, WEBER INDUSTRIAL PARK - PLAT "B" AS RECORDED WITH THE WEBER COUNTY RECORDER, BEING A PART OF THE EAST HALF OF SECTION 36, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, WEBER COUNTY, UTAH.

BEGINNING AT A POINT ON THE NORTHERLY LINE OF 2150 NORTH STREET, BEING 769.19 FEET NORTH 65°08'31" EAST ALONG THE CENTER LINE OF SAID 2150 NORTH STREET, AND 35.00 FEET NORTH 24°51'24" WEST FROM THE BRASS CAP MONUMENT AT THE INTERSECTION OF SAID 2150 NORTH STREET AND RULON WHITE BOULEVARD; THENCE NORTH 24°51'24" WEST 875.96 FEET ALONG THE EASTERLY LINE OF LOT 34, SAID WEBER INDUSTRIAL PARK - PLAT "B", TO THE SOUTHERLY LINE OF UNION PACIFIC RIGHT-OF-WAY; THENCE NORTH 54°42'31" EAST 610.08 FEET ALONG SAID SOUTHERLY LINE; THENCE SOUTH 24°51'30" EAST 986.44 FEET ALONG THE WESTERLY LINE OF LOT 30, SAID WEBER INDUSTRIAL PARK - PLAT "B", TO SAID NORTHERLY LINE OF 2150 NORTH STREET; THENCE SOUTH 65°08'31" WEST 600.00 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING.

CONTAINS: 12.826 ACRES

NARRATIVE

BRASS CAP MONUMENTS WERE FOUND ALONG THE CENTERLINE OF RULON WHITE BOULEVARD AT ITS NORTH STREET, AT 2150 NORTH STREET, AND HEMMINGWAY STREET AS SHOWN HEREON. BRASS CAP MONUMENTS WERE FOUND FOR THE NORTH QUARTER CORNER AND NORTHWEST CORNER OF SECTION 36, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN.

A LINE BEARING SOUTH 24°51'24" EAST BETWEEN SAID BRASS CAP MONUMENTS AT THE INTERSECTION OF RULON WHITE BOULEVARD AND 2150 NORTH STREET AND THE INTERSECTION OF RULON WHITE BOULEVARD AND HEMMINGWAY STREET (2350 NORTH STREET) PER THE ORIGINAL PLAT OF RECORD FOR WEBER INDUSTRIAL PARK - PLAT "B".

OWNER'S DEDICATION

I (WE), THE UNDERSIGNED OWNER(S) OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME TRACT INTO LOTS AS SHOWN ON THIS PLAT, AND ASSIGN THE LANDS INCLUDED IN THIS PLAT THE NAME OF WEBER INDUSTRIAL PARK - PLAT "B" - 2ND AMENDMENT.

SIGNED THIS ____ DAY OF _____ 2019.

ACKNOWLEDGMENT

STATE OF UTAH }
COUNTY OF WEBER } ss

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2019 BY _____

RESIDING AT: _____ NOTARY PUBLIC (PRINT NAME)

COMMISSION NUMBER: _____

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC SIGNATURE

WEBER INDUSTRIAL PARK - PLAT "B"-2ND AMENDMENT

A SUBDIVISION, LOCATED IN THE EAST HALF OF SECTION 36, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, WEBER COUNTY, UTAH

WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC RIGHTS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH.

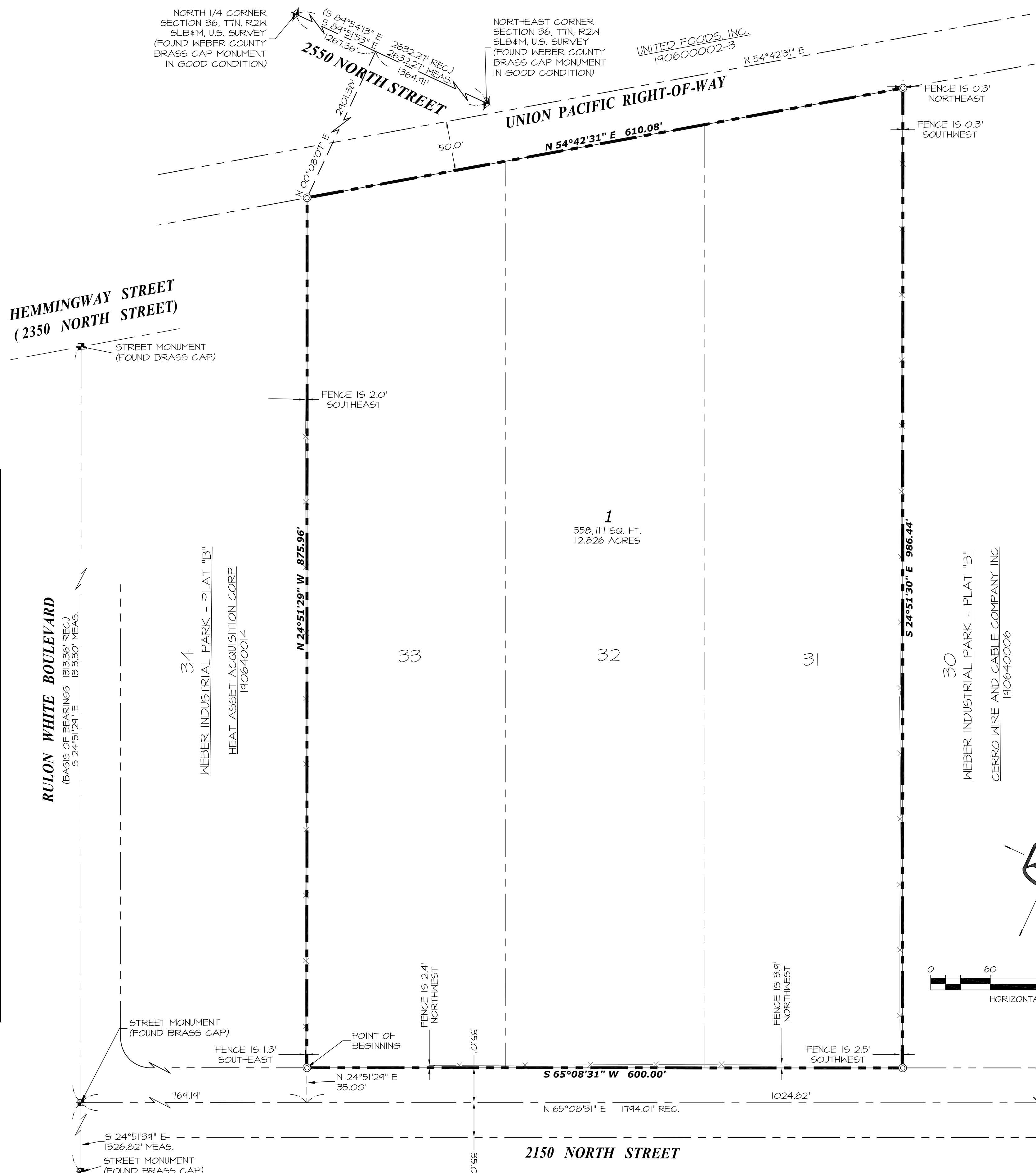
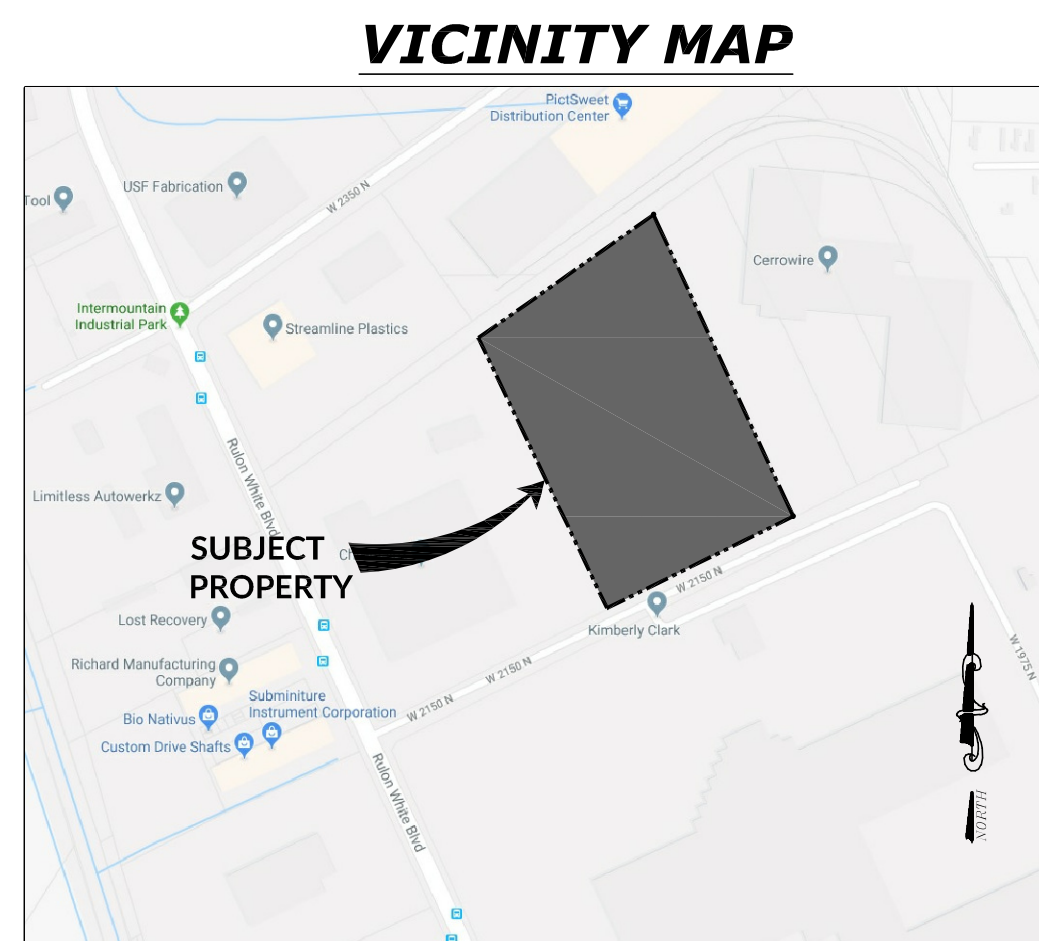
THIS ____ DAY OF _____ 2019.

CHAIRMAN, WEBER COUNTY COMMISSION

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____ FILED FOR RECORD AND RECORDED _____, 2019 AT _____ IN BOOK _____ OF OFFICIAL RECORDS PAGE _____ RECORDED FOR _____ CITY.

WEBER COUNTY RECORDER
BY: _____ DEPUTY



WEBER COUNTY SURVEYOR

I CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND FOR HARMONY WITH LINES AND MONUMENT ON RECORD IN COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.

SIGNED THIS ____ DAY OF _____ 2019.

WEBER COUNTY SURVEYOR

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOT IN FORCE AND AFFECT.

SIGNED THIS ____ DAY OF _____ 2019.

WEBER COUNTY ATTORNEY

WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION.

SIGNED THIS ____ DAY OF _____ 2019.

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

SIGNED THIS ____ DAY OF _____ 2019.

WEBER COUNTY ENGINEER

SILVERPEAK ENGINEERING

177 E. ANTELOPE DR. STE. B
LAYTON, UT 84041
PHONE: (801) 499-5054
FAX: (801) 499-5065