



Weber County

Weber County Planning Division
www.co.weber.ut.us/planning
2380 Washington Blvd., Suite 240
Ogden, Utah 84401-1473
Voice: (801) 399-8791
Fax: (801) 399-8862

Conditional Use Permit Application

A conditional use application is required for conditional uses listed in the Weber County Zoning Ordinance zone regulations. This Conditional Use application identifies submittal requirements and processes for each desired conditional use.

22C-2. Conditional Use Permit

A Conditional Use Permit shall be required for all uses listed as Conditional Uses in the zoning regulations.

The applicant of a conditional use proposal shall be the recorded owner(s) or an authorized agent. The applicant must demonstrate that the contemplated use is compatible with the zoning ordinance standards and that the use would be essential or desirable to the public convenience or welfare in that area, that it will not impair the integrity and character of the surrounding property, or that the use can be made compatible by imposing conditions. These conditions may include, but are not limited to, the size, shape, location and topography of the site, the hours and days of operation, how to minimize environmental impacts such as noise and air pollution, location of vehicle access points, outdoor lighting, landscaping standards, fencing, water and wildlife protection, etc.

A pre-application meeting is required prior to application submittal; please call (801) 399-8791 to make an appointment. Date of pre-application review meeting: _____ Time: _____

- **Staff member assigned to process application:** _____

APPLICATION DEADLINE: Thirty (30) days prior to the applicable Planning Commission meeting

The Western Weber County Township Planning Commission holds their meetings on the 2nd Tuesday of the month.

The Ogden Valley Township Planning Commission holds their meetings on the 4th Tuesday of the month.

Application Submittal Checklist

The Planning Division will only accept complete applications with supporting documents as outlined below. Submitting an application does not guarantee that this application will be placed on the next Planning Commission agenda.

The following is required as part of the application form submittal:

- Complete Application Form
- A non-refundable fee made payable to Weber County (See *Fee Schedule*)
- Obtain signature of the owner(s) on the application and any authorized representatives
- All documents submitted in the application shall be accompanied by a PDF file of the respective document. All plans (including but not limited to site plans, architectural elevations/renderings, etc), and subsequent submittals and revisions, shall be accompanied by a full scale set of PDF files of the respective plans.



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- A site plan showing details and other requirements as outlined in the Weber County Zoning Ordinance Chapter 22C (Conditional Uses) Chapter 36 (Design Review), Chapter 24 (Parking and Loading Spaces), Chapter 25 (Motor Vehicle Access) Chapter 18C (Architectural, Landscape and Screening Design Standards).
- Written information demonstrating how the proposed conditional use permit meets the criteria found in 22C-4 and other review criteria (see *Review Criteria*).
- ~~Culinary water and waste water letter~~ *see attached letter*

Fee Schedule

Property Zoning MV-1 Fee Required _____

- Conditional Use Permit (Buildings less than 5,000 sq. ft.) in any Forest, Shoreline, Agricultural, Residential, Mobile Home Park, Gravel, Commercial, or Manufacturing Zone \$225
- Conditional Use Permit (Buildings 5,000 sq. ft. or greater) in any Forest, Shoreline, Agricultural, Residential, Mobile Home Park, Gravel, Commercial, or Manufacturing Zone \$225 + \$15 per 1,000 sq. ft.
- Conditional Use Permit for Planned Residential Unit Development (P.R.U.D.) \$500
- Conditional Use Amendments \$125

Purpose and Intent of Conditional Uses

The purpose and intent of Conditional Uses is to provide for additional review of uses to ensure compatible integration with the surrounding area.

Review Criteria

The Planning Commission shall approve, approve with conditions, or deny an application for a conditional use based on findings of fact with respect to each of the following criteria found in the Weber County Zoning Ordinance 22C-5-1-5 as follows:

22C-4. Criteria for Issuance of Conditional Use Permit

The Planning Commission shall not authorize a Conditional Use Permit unless evidence is presented to establish:

1. Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise.
2. That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.



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Appeal Process

The decision of the Planning Commission may be appealed to the County Commission by filing such appeal within 15 days after the date of the decision of the Planning Commission.

The County Commission may uphold or reverse the decision of the Planning Commission and impose any additional conditions that it may deem necessary in granting an appeal. The decision of the County Commission shall be final.

For Your Information

Other Weber County Zoning Ordinance chapter requirements may apply to this Conditional Use as determined in the pre-application meeting.

Unless there is substantial action under a Conditional Use permit within a maximum period of one (1) year of its issuance, the Conditional Use Permit shall expire. The Planning Commission may grant a maximum extension of six (6) months under exceptional circumstances. Upon expiration of any extension of time granted by the Planning Commission, or failure to complete all conditions and requirements of the Conditional Use Permit within an eighteen (18) month period of time, the approval for the Conditional Use Permit shall expire and become null and void.

When an approved Conditional Use has been discontinued and/or abandoned for a period of one (1) year, the Conditional Use Permit becomes null and void. In order to restore the Conditional Use, a new application shall be filed for review and consideration by the Planning Commission.

This application can be filled out online at the following Planning Division web site: www.co.weber.ut.us/planning. Copies of the applicable Weber County Zoning Ordinances and other helpful information are also available at this web site.

Weber County Conditional Use Permit Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed 6/6/2017	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
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Property Owner Contact Information

Name of Property Owner(s) Ray Bowden AKA: KPC Leasing	Mailing Address of Property Owner(s) 5393 East Eden, UT 3850 North 84310
Phone 801 725-1517	Fax
Email Address (required) A.pumping@readytech.net	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail

Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s) Chandra Barrang	Mailing Address of Authorized Person PO Box 111 Eden, UT 84310
Phone 801 391 6446	Fax 801 745 2653
Email Address c.barrang@hotmail.com	Preferred Method of Written Correspondence <input type="checkbox"/> Email <input type="checkbox"/> Fax <input checked="" type="checkbox"/> Mail

Property Information

Project Name High Altitude Kids	Total Acreage .69	Current Zoning MV-1
Approximate Address 4786 East 2600 North Eden, UT 84310	Land Serial Number(s) 22-159-0002	

Proposed Use
Daycare and recreation facility

Project Narrative
High Altitude Kids is a tumbling and Karate facility that also offers adult exercise (classes). It is also a preschool and provides before/after school care, ski care, guitar classes and more.

Basis for Issuance of Conditional Use Permit

Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise.

Our business will not have any detrimental effects such as noise, light, dust, smoke, odor, vibration or any other negative effects that we know of.

That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.

Our proposed use is already a Conditional Use that is approved in this zone. We believe that it complies with all regulations and conditions in this zone. The one exception is fencing and we currently have an application in to change the fencing ordinance. This statement will only be accurate if the fencing ordinance is changed.

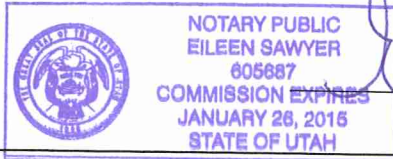
Property Owner Affidavit

I (We), Ray Bowden, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

Ray Bowden
(Property Owner)

Ray Bowden
(Property Owner)

Subscribed and sworn to me this 12 day of June, 20 12



Eileen Sawyer
(Notary)

Authorized Representative Affidavit

I (We), Ray Bowden, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), Chandra Barrang, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

Ray Bowden
(Property Owner)

(Property Owner)

Dated this 12th day of June, 20 12, personally appeared before me Ray Bowden, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.

Margaret Bish
Notary Public
MARGARET BISH
Commission Number 577324
My Commission Expires
December 22, 2012
State of Utah
(Notary)

September 27, 2012

To Whom It May Concern;

Please note that our septic tank is large enough for the capacity of our business. However, the drain field does need to be expanded. The drain field is being expanded the week of October 1st. We will furnish documentation to the county as soon as the expansion is complete and Weber County's health department has approved it. Prior to the approval of our conditional use application hearing.

Sincerely,

Chandra Barrong

Written Information Regarding Criteria 22C-4

Due to the nature of High Altitude Kids business we believe there will be no detrimental effects or negative impacts to the area such as odor, vibration, light, dust, smoke, or noise. High Altitude operates adult fitness classes, karate, tumbling, dance, guitar and music lessons, preschool, after-school care and daycare. The majority of our time is spent inside of our building. During spring, summer and fall months we do spend approximately 1 hour outside between the hours of 9 and Noon, 1 hour outside between the hours of 1 and 4pm and sometimes 1 more hour outside between the hours of 4 and 6pm.

We believe our proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.



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