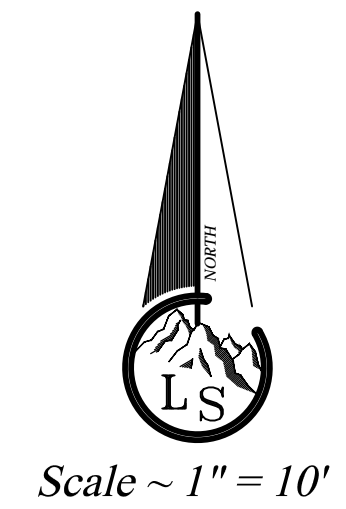
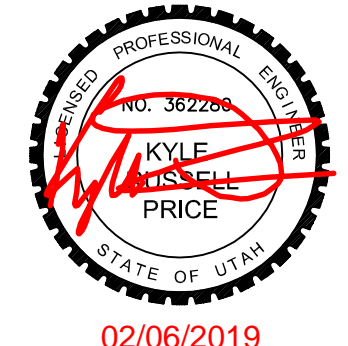


	SITE DESIGN AREA
Total Parcel area:	165,533 s.f.
Existing Asphalt:	8,916± s.f.
Proposed Asphalt:	17,295± s.f.
Existing Buildings:	5,525± s.f.
New Building:	8,077 s.f.
Existing Concrete:	4,910± s.f.
Proposed Concrete:	2,854 s.f.
Total Hardscape:	47,577 s.f. 28.7%
Total Landscape:	117,956 s.f. 71.5%



**LEGEND:**

	PROPERTY LINE		EXISTING ELEVATION
	FENCE LINE		PROPOSED ELEVATION
	EDGE OF PAVEMENT		EXISTING CONTOUR
	WATER LINE		PROPOSED CONTOUR
	SANITARY SEWER		
	STORM DRAIN		
	GAS LINE		
	POWER LINE		
	EXISTING PAVEMENT		
	EXISTING CURB AND GUTTER TO BE REMOVED		
	PROPOSED PAVEMENT		

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4646 South 3500 West - #A-3  
 West Haven, UT 84401  
 801-731-4075

**CLIENT: Horseshoe LLC**

**PRELIMINARY**

Parcel ID No  
 SE 1/4 of Section 34,  
 Township 7 North, Range 1 East, Salt Lake Base and Meridian.

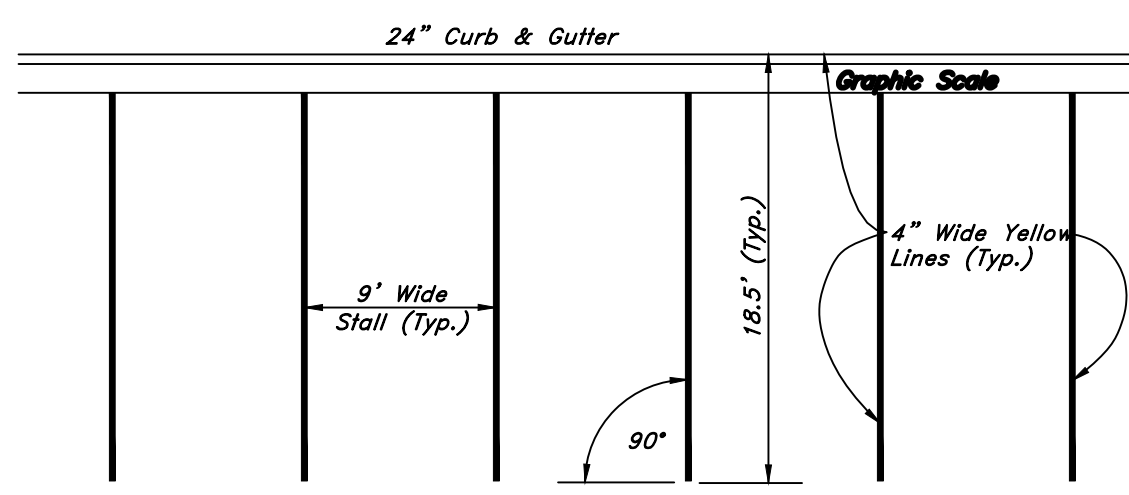
Revisions:

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 CHECKED BY: TDK  
 DATE: 6/26/2018  
 FILE: 3801 SHEET 1

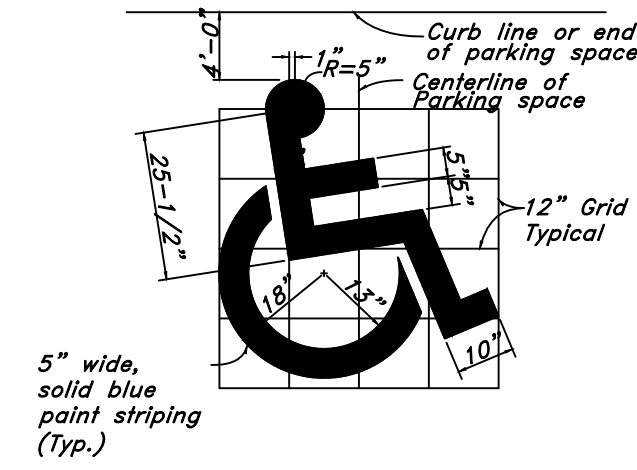
**Site, Utility Plan**

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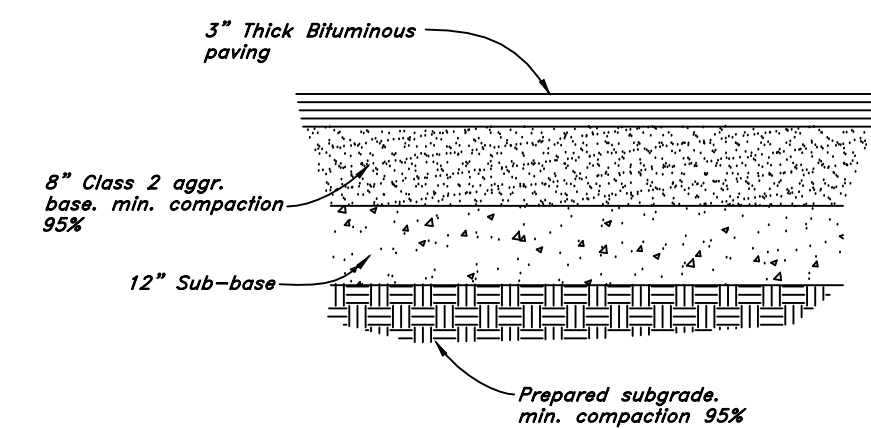
1 Typical Parking Lot Striping Plan

Not to Scale



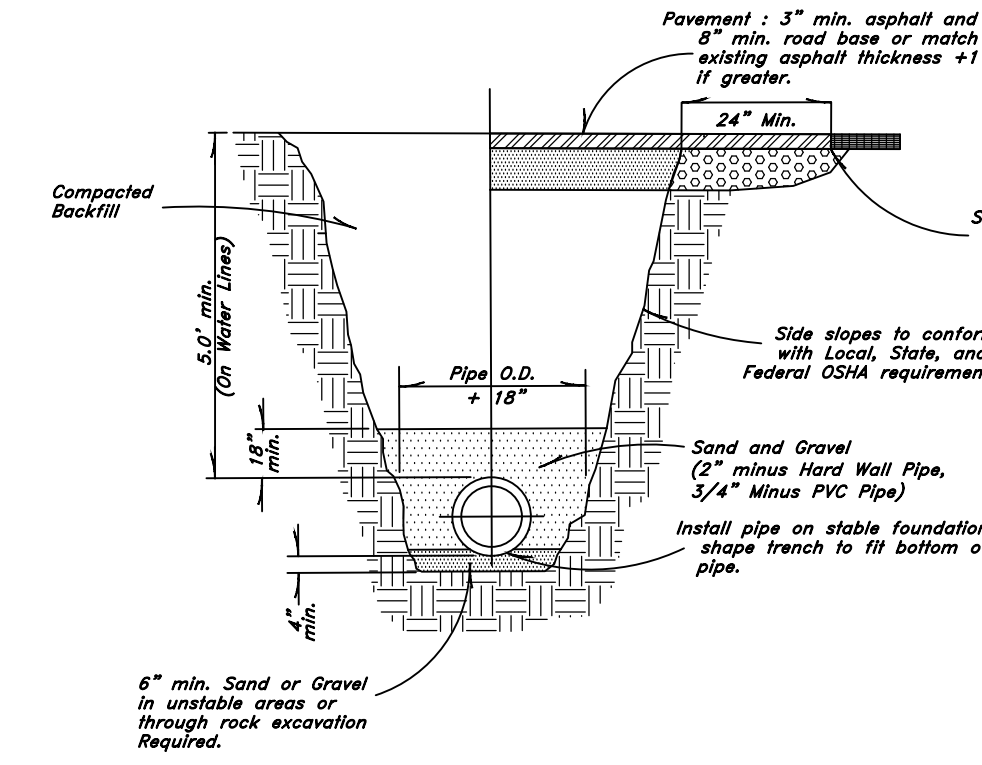
2 Handicap Symbol

Not to Scale



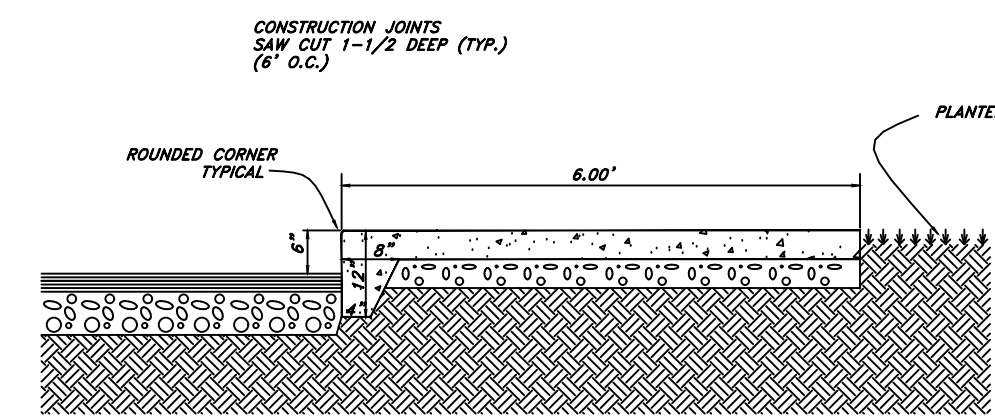
3 Typical Bituminous Pavement Section Light Traffic Areas

Not to Scale



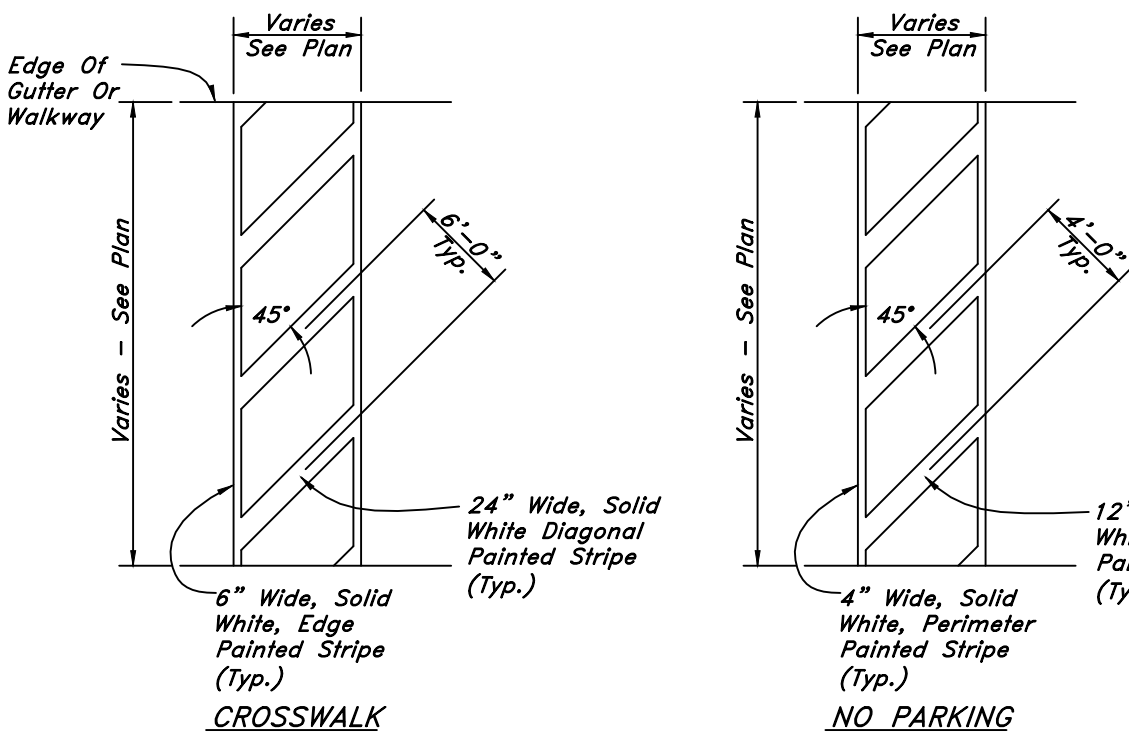
4 Typical Trench Detail

Not to Scale



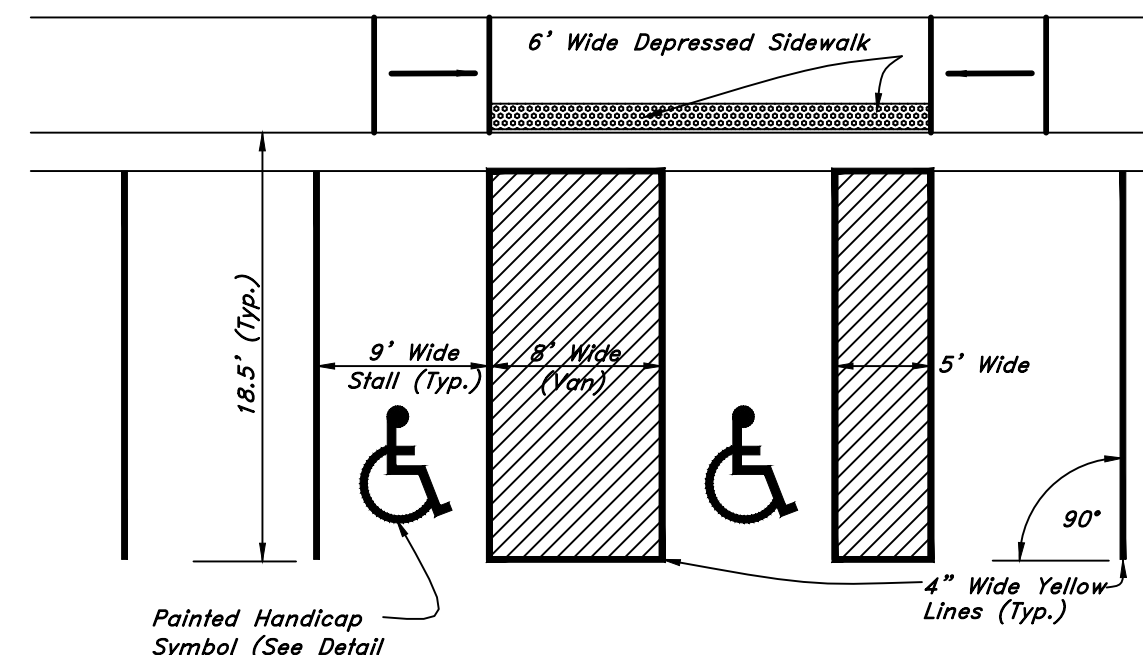
5 Thickened Edge Walk

Not to Scale



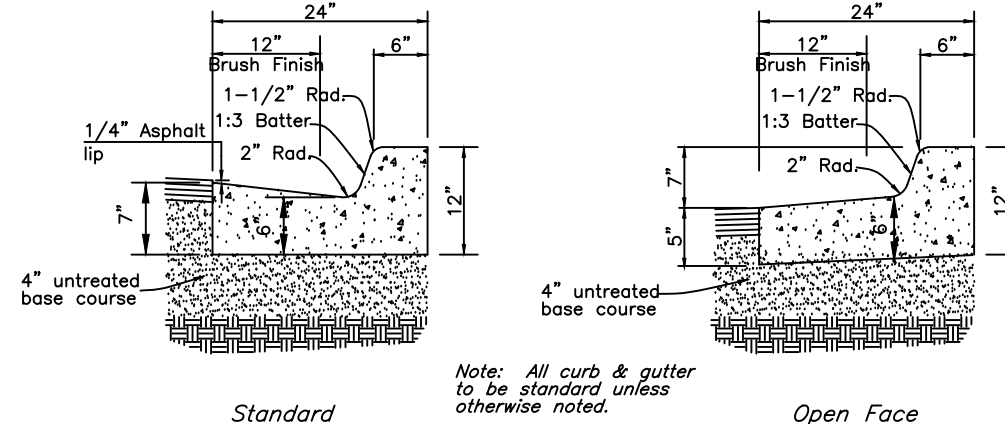
6 Striping

Not to Scale



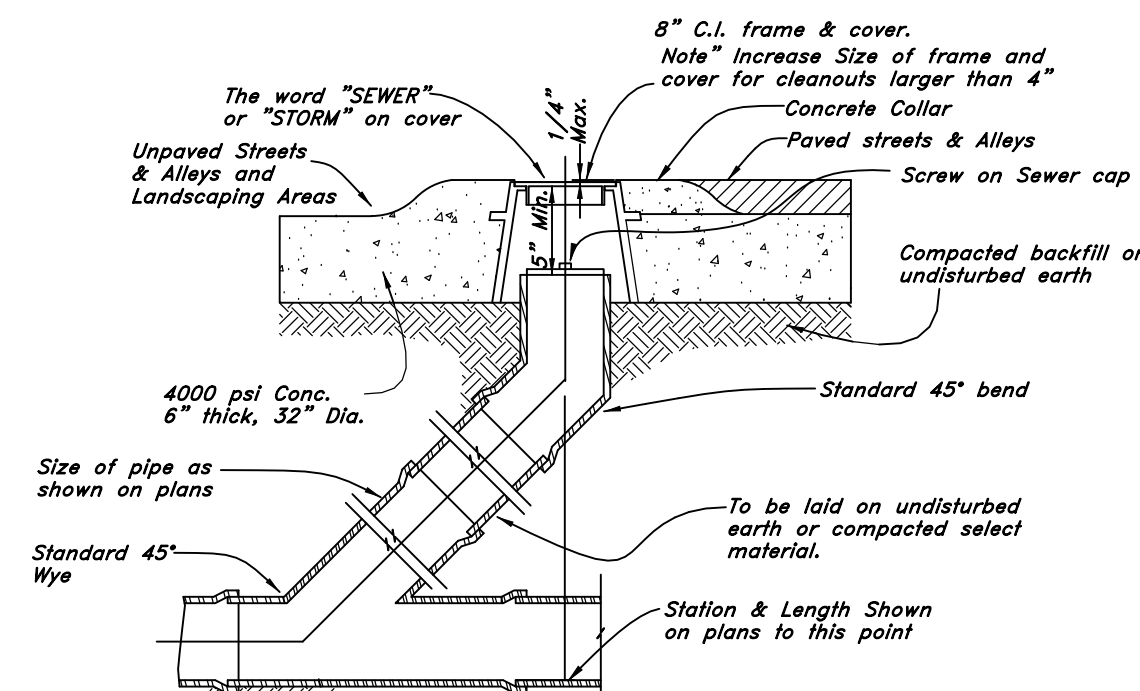
7 Typical ADA Parking Striping Plan

Not to Scale



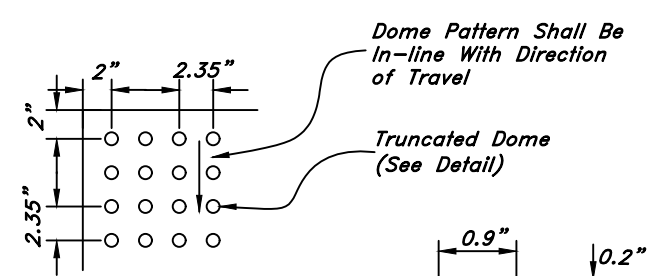
8 Typical Section - 24" Curb & Gutter

Not to Scale

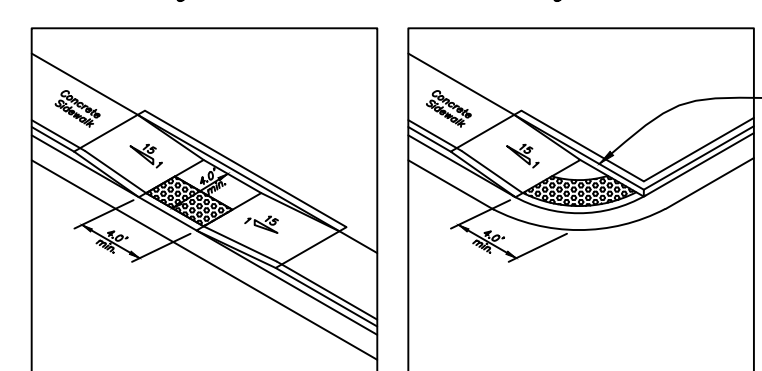
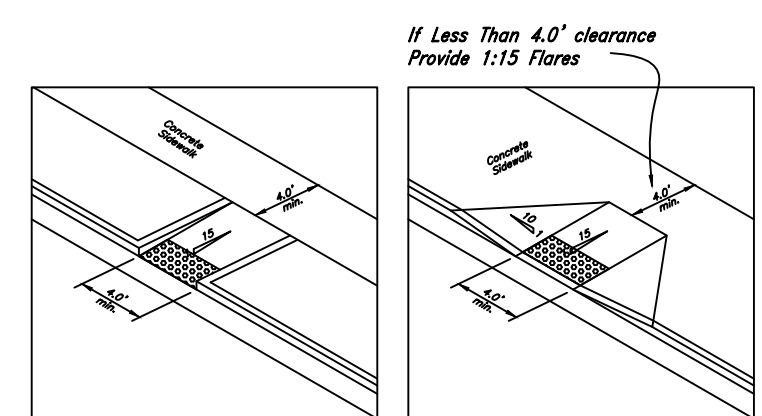


9 Sewer, Storm, and Roof Drain Cleanout Detail

Not to Scale



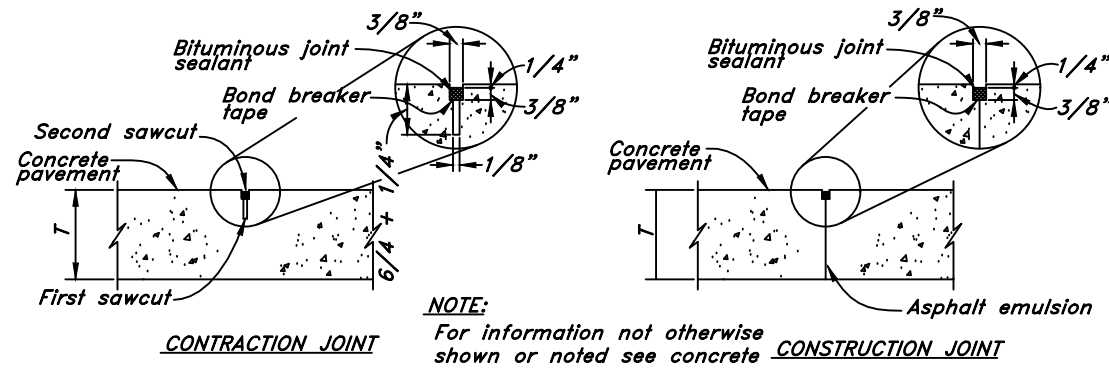
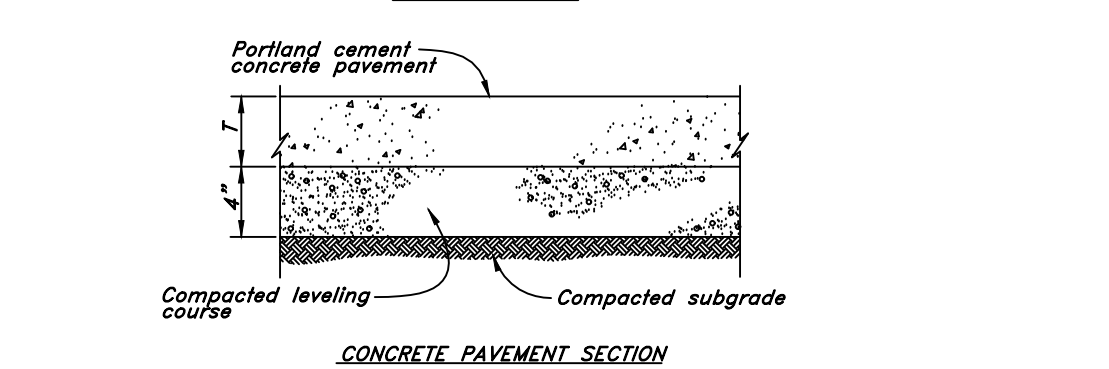
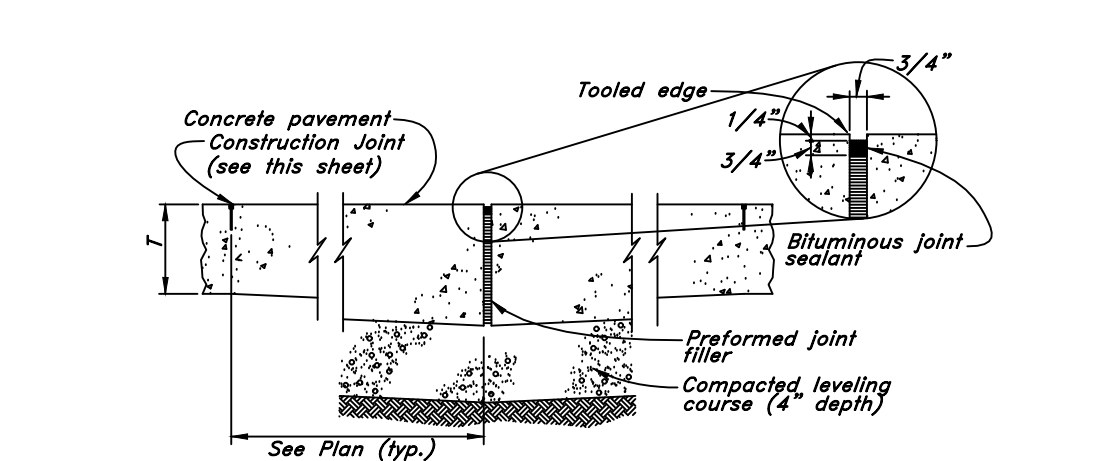
All Sidewalk Curb Ramps Shall Have Detectable Warning Surfaces That Extend The Full Width Of Curb Ramp and 2' Deep. Ramp shall be different color, 20% minimum different shade, than rest of sidewalk. Use Cast Iron for Truncated Domes.



Truncated Domes Texture @ All Hazardous Routes. Note: Curb Height Varies. See Civil Plans For Elevations.

Typical ADA Ramp Detail

Not to Scale

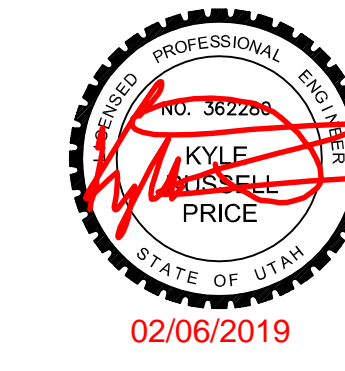


NOTE: For information not otherwise shown or noted see concrete CONSTRUCTION JOINT pavement section.

11 Portland Cement Concrete Pavement

Not to Scale

- GENERAL NOTES:**
- EXISTING IMPROVEMENTS ARE SHOWN AS ACCURATELY AS POSSIBLE ACCORDING TO AVAILABLE INFORMATION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
  - SHOULD IT BE NECESSARY TO CUT, BREAK, REMOVE, OR DAMAGE ANY OF THE EXISTING IMPROVEMENTS THE CONTRACTOR SHALL REPAIR, REPLACE, OR CONSTRUCT NEW IMPROVEMENTS IN ACCORDANCE WITH WEBER COUNTY REQUIREMENTS.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WEBER COUNTY STANDARDS AND SPECIFICATIONS. ANY DEVIATION FROM THOSE STANDARDS SHALL BE APPROVED IN ADVANCE OF CONSTRUCTION BY THE WEBER COUNTY ENGINEER.
  - AT THE TIME OF CONSTRUCTION, WEBER COUNTY MAY DETERMINE, BASED ON PROFESSIONAL EXPERIENCE AND JUDGMENT AND/OR AT ITS SOLE DISCRETION, THE NEED FOR THE OWNER/DEVELOPER TO PAY FOR, REMOVE, AND REPLACE ANY EXISTING SUBSTANDARD IMPROVEMENTS WHERE THE NEW IMPROVEMENTS TIE TO THE EXISTING IMPROVEMENTS.
  - SECONDARY WATER:
    - ALL CONSTRUCTION OF SECONDARY WATER LINES SHALL BE IN ACCORDANCE WITH PINEVIEW WATER STANDARDS AND SPECIFICATIONS.
    - SECONDARY WATER LINES, VALVES, OR OTHER NECESSARY INFRASTRUCTURE ARE SHOWN AND DETAILED. ANY DEVIATIONS SHALL BE APPROVED BY THE WATER COMPANY.
  - TRENCHING:
    - TRENCHING AND CONNECTION WITHIN THE EXISTING ROADWAY(S) WILL ONLY BE ALLOWED DURING DAYLIGHT HOURS. THE WORK AREA MUST BE SECURED BACKFILLED AND CLEANED PRIOR TO REMOVAL OF ANY TRAFFIC OR PEDESTRIAN CONTROL DEVICES.
  - POWER:
    - POWER SERVICE INSTALLATION IS NOT PART OF THIS SET OF DESIGN DRAWINGS. ANY POWER SERVICE INSTALLATION SHALL BE DONE UNDER THE DIRECTION OF ROCKY MOUNTAIN POWER.
  - GAS:
    - GAS SERVICE INSTALLATION IS NOT PART OF THIS SET OF DESIGN DRAWINGS. ANY GAS SERVICE INSTALLATION SHALL BE DONE UNDER THE DIRECTION OF QUESTAR GAS COMPANY.
  - CULINARY WATER:
    - ALL WORK ON CULINARY WATER SYSTEMS SHALL BE IN ACCORDANCE WITH THE GOVERNING DISTRICT and WEBER COUNTY STANDARDS AND REQUIREMENTS.
    - TESTING AND DECONTAMINATION OF WATER AND SEWER LINES SHALL BE FURNISHED BY CONTRACTOR IN ACCORDANCE WITH THE GOVERNING DISTRICT and WEBER COUNTY STANDARDS AND REQUIREMENTS.
    - IT IS ASSUMED THAT THE CULINARY WATER LINE IS LOCATED AS SHOWN ON THESE PLANS. HOWEVER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THE WATER SERVICE LINES TO ENSURE PROPER CONNECTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS FROM THE DESIGN.
  - SEWER:
    - ALL WORK ON SEWER SYSTEMS SHALL BE IN ACCORDANCE WITH DESIGN DOCUMENTS SUBMITTED TO WEBER COUNTY AND WEBER-MORGAN HEALTH DEPARTMENT STANDARDS AND REQUIREMENTS.
    - IT IS ASSUMED THAT THE SEWER LINE RUNS IN A STRAIGHT LINE AND AT CONSTANT GRADE BETWEEN THE EXISTING SEWER MANHOLES, HOWEVER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THE LINE AS NEEDED TO PROPERLY TIE TO THE EXISTING LINES OR MANHOLES.
    - SEWER LATERALS SHALL BE INSTALLED AT A MINIMUM OF 2% GRADE FROM THE MAIN LINE TO THE TERMINA POINT AT THE BACK OF THE PROPERTY LINE AS SHOWN AND AT A MINIMUM OF 11 FEET AWAY FROM THE WATER LATERALS AND WATER METER LOCATION AS SHOWN.
  - PIPE CROSSINGS:
    - WHERE CULINARY WATER AND SECONDARY WATER SYSTEMS CROSS THE SEWER LINE THERE SHALL BE A MINIMUM SEPARATION OF 18" BETWEEN PIPES, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
    - WHERE THE WATER AND SEWER LINES CROSS NO WATER PIPE JOINT IS ALLOWED WITHIN 10 FEET OF THE SEWER LINE. THE JOINTS IMMEDIATELY EACH SIDE OF THE CROSSING SHALL BE SECURED WITH "MEGALUG" TYPE OR APPROVED EQUAL JOINT LOCKS.
  - GRADING & DRAINAGE:
    - IMPORT MATERIAL SHALL BE OBTAINED FROM, AND EXPORT MATERIAL SHALL BE DISPOSED OF AT, AN APPROVED SITE.
    - SAW CUT THE EXISTING ASPHALT AS NECESSARY TO PROVIDE A STRAIGHT EDGE FOR CONNECTIONS TO THE EXISTING ASPHALT AS REQUIRED.
    - ELEVATIONS OF NEW ASPHALT ALONG EXISTING FEATURES, ie BUILDINGS, SIDEWALKS, ect. SHALL MATCH CURRENT ELEVATIONS.



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**CLIENT: Horseshoe LLC**

**PRELIMINARY**

Parcel ID No SE 1/4 of Section 34, Township 7 North, Range 1 East, Salt Lake Base and Meridian.

Revisions:

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CHECKED BY: TDK  
DATE: 6/26/2018  
FILE: 3801 SHEET 2

**Construction Details**