
(This SWPPP Template is for the **Common Plan** Permit Only, and
does **NOT** address SWPPP requirements found in the CGP.)

Common Plan SWPPP for

Hernandez Residence

6095 s Osmond

S. Ogden, Utah

Signature Homes 4107 n 1100 w Pleasant View, Utah 84414

Date

10/9/2018



1. Project Information

Project Name: Hernandez

6095 s Osmond

S. Ogden

State: UT

Zip: 84401

Latitude: Degrees, Decimal Minutes

Longitude: Degrees, Decimal Minutes

UPDES Permit Tracking Number: *utph 84413*

Owner: Signature Homes

Contact Person: Nathan Nelson

Address: 4107 n 1100 w

City: Pleasant View
Telephone Number: 801-644-0312
Email Address: signature03.nn@gmail.com

State: Utah

Zip: 84414

General Contractor: Signature H0mes
Contact Person: Nathan Nelson
Address: 4107 n 1100 w
City: Pleasant View
Telephone Number: 801-644-0312
Email Address: signature03.nn@gmail.com

State: Ut

Zip: 84414

2. Pollution Sources/Best Management Practices

Answer yes or no whether the following features are located at your site. If yes, select the BMP(s) that will be used to protect each feature. If no, continue to the next question. Attach necessary illustrated details for proper installation in Appendix L, and show locations of all controls on Site Map in Appendix B.

- 2.1 Is there a SWPPP sign on site?** (see permit part 1.10) Yes No
The sign must include the UPDES tracking number, the owner or general contractor name, phone number and email, and if the SWPPP is on-line, instructions on how to view it.
- 2.2 Will there be non-stormwater discharges on the site?** (see permit part 1.3) Yes No
Construction Dewatering (if discharged offsite) must be covered by UPDES Permit UTG070000 (see permit part 2.7). Further, cleaning of tools and equipment must be contained in a plastic lined pit (see permit part 2.4.5 & 2.9).
- 2.3 Are wetlands, sensitive areas, or UIC wells located on or adjacent to the site?** (see permit part 2.2) Yes No
BMP(s): Vegetative Buffers Berms Wattles
 Boundary Fence Silt Fence
 Other: Click here to enter text.
- 2.4 Will there be stockpiles on the site?** Yes No
Note: Select "Contained by other BMP" if another BMP on your site will contain runoff from the stockpiles CANNOT be placed in the street. (see permit part 2.1.1)
BMP(s): Silt Fence Staked Straw Wattle Covering
 Other: Click here to enter text.
 Contained by other BMP. Explain: Click here to enter text.

- 2.5 Are surface waters located within 30 feet of your project's earth disturbances?** Yes No
Is there a SWPPP sign on site? (see permit part 1.10)
Note: A 30' natural vegetative buffer **MUST** be used if possible. If a buffer less than 30' is used, you must demonstrate that the additional controls offer the same protection as a 30' natural vegetative buffer, and select the reason for exemption below. (see permit part 2.3.5)
BMP(s): 30' Natural Vegetative Buffer Less than 1 acre Disturbance
 2 Silt Fence Barrier 2 Straw Wattle Barriers (Fiber Roll)
 Less than 30' Natural Vegetative Buffer. Additional Controls: [Click here to enter text.](#)
- 2.6 Does your site have steep slopes (greater than 70%)?** (see permit part 2.3.2) Yes No
BMP(s): Erosion Control Blanket Minimum Disturbance Seeding
 Hydroseed Mulch Takifiers
 Other: [Click here to enter text.](#)
- 2.7 What perimeter and sediment controls will be used on the site?** (see permit part 2.1.2 & 2.3)
BMP(s): Silt Fence Straw Wattles (Fiber Rolls) Sediment Trap
 Sediment Basin Swales Berms
 Vegetative Buffer Cut-Back-Curb
 Other: [Click here to enter text.](#)
- 2.8 What storm drain inlet protection will be used on this site?** (see permit part 2.1.3)
Where is/are the nearest downstream inlet(s): [Click here to enter text.](#)
BMP(s): Rock/Sand-filled Bags Drop Inlet Bags Inlet Wattles
 Filter Fabric
 Other: [Click here to enter text.](#)
- 2.9 Will curb ramps be used at the site?** Yes No
Note: If curb ramps are used it must be done with material that will not wash away in stormwater. (see permit part 2.4.2)
BMP(s): Crushed Rock Wood Dunnage
 Other: [Click here to enter text.](#)
- 2.10 What dust control BMP(s) will be used?**
BMP(s): Wetting with Water
 Other: [Click here to enter text.](#)
- 2.11 What track out control will be used on the site?** (see permit part 2.4.1)
BMP(s): Track Out Pad Cobble Gravel
 Rumble Strips Wash Down Pad Delivery Pad
 Limited Site Access Selective Access During Dry Weather
 Other: [Click here to enter text.](#)
- 2.12 How will solid waste be dealt with on the site?** (see permit part 2.4.3)
BMP(s): Bag Lightweight Trash Leak Proof Dumpsters Receptacles with Lids
 Other: [Click here to enter text.](#)
- 2.13 How will non-aqueous liquid waste (oil, solvent, fuel) be dealt with on the site?**
BMP(s): Contained and Removed from the site. Collected for Reuse
 Other: [Click here to enter text.](#)
- 2.14 How will spoils (extra or left over dirt) be contained/managed?**
BMP(s): Cover Erodible Material Runoff Containment Haul Off Policy
 Other: [Click here to enter text.](#)

- 2.15 How will sanitary waste be handled on the site?** (see permit part 2.4.4)
BMP(s): Portable Toilet(s) (*must be staked down & 10' from curb*)
 Onsite or Adjacent Indoor Bathrooms
 Portable Toilet Secondary Containment
 Other: Click here to enter text.
- 2.16 How will concrete wash water be contained on the site?** (see permit part 2.4.5 & 2.9.1)
BMP(s): Lined Depression Steel Dumpster
 Regional Washout (per development)
 Other: Click here to enter text.
- 2.17 What controls will be used for construction materials stored on site?**
BMP(s): Covering Erodible or Liquid Materials Secondary Containment
 Strategic Storage and Staging
 Other: Click here to enter text.
- 2.18 What controls will be in place for equipment fueling, maintenance, and washing?**
BMP(s): Fueling w/Mobile Track w/Spill Kit Offsite O+M
 Other: Click here to enter text.
- 2.19 How will sediment be contained on site until home owner completes landscaping?**
BMP(s): Landscaping Swales Rock Filters
 Perimeter Controls Vegetated Buffer Native Vegetative Barriers
 Cut-Back-Curb Leave Front-Yard Lower than Sidewalk
 Other: Click here to enter text.

Note that any maintenance required to ensure proper BMP functioning must be done within 72 hours of becoming aware of compromised BMP.

3. Site Map

On a blank page (or include a page from the architectural drawings that show site layout and dimensions), please draw a chart (and place this chart in Appendix B) showing the layout of the site including locations of:

1. boundaries of project/property
2. boundaries of disturbance (including areas outside of property boundaries)
3. show slopes on site
4. location of structures/facilities
5. locations of :
 - a. stockpiles for soils and materials
 - b. construction supplies
 - c. portable toilets
 - d. garbage/trash containers
 - e. egress points/track out pads
 - f. concrete washout pits or containers
6. water bodies, wetlands, natural vegetative buffers
7. placement of all BMPs, perimeter, erosion control, sediment control, inlet, etc.
8. storm water inlets and storm water discharge points (where storm water drains off the site)
9. areas that will be temporarily or permanently stabilized on the site

4. Spill Prevention and Response Plan

Describe the spill prevention and control plan to include ways to reduce the chance of spills, stop the source of spills, contain and cleanup spills, dispose of materials contaminated by spills, and train personnel responsible for spill prevention and control. Additionally, fill in all **BLUE** fields below.

Spill Plan:

Ensure all hazardous substances are properly labeled. Store, dispense, and/or use hazardous substances in a way that prevents releases. Provide secondary containment when storing hazardous substances in bulk quantities. Maintain good housekeeping practices for all chemical materials at the facility. Routine/Daily checks in the hazardous substance storage area to be performed by. The general spill response procedure, is to stop the source of the spill, contain any spilled material and clean up the spill in a timely manner to prevent accidental injury or other damage.

Keep info on site, in charge personnel to be trained in the proper protocol and emergency numbers listed below.

Any discharges in 24 hours equal to or in excess of the reportable quantities listed in 40 CFR 117, 40 CFR 110, and 40 CFR 302 will be reported to the National Response Center and the Division of Water Quality (DWQ) as soon as practical after knowledge of the spill is known to the permittee. The permittee shall submit within 14 calendar days of knowledge of the release a written description of: the release (including the type and estimate of the amount of material released), the date that such release occurred, the circumstances leading to the release, and measures taken and/or planned to be taken to the Division of Water Quality (DWQ), 288 North 1460 West, P.O. Box 144870, Salt Lake City, Utah 84114-4870. The Storm Water Pollution Prevention Plan must be modified within 14 calendar days of knowledge of the release to provide a description of the release, the circumstances leading to the release, and the date of the release. In addition, the plan must be reviewed to identify measures to prevent the reoccurrence of such releases and to respond to such releases, and the plan must be modified where appropriate.

Agency	Phone Number
National Response Center	(800) 424-8802
Division of Water Quality (DWQ) 24-Hr Reporting	(801) 538-6146; (801) 536-4123
Utah Department of Health Emergency Response	(801) 580-6681
Weber County Fire Department	(801) 782-3580

Minimum spill quantities requiring reporting:

Material	Media Released To	Reportable Quantity
Engine oil, fuel, hydraulic & brake fluid	Land	25 gallons
Paints, solvents, thinners	Land	100 lbs (13 gallons)
Engine oil, fuel, hydraulic & brake fluid	Water	Visible Sheen
Refrigerant	Air	1 lb

Antifreeze, battery acid, gasoline, engine degreasers	Air, Land, Water	100 lbs (13 gallons)
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Emphasis to:

- 1st Priority: Protect all people (including onsite staff)
- 2nd Priority: Protect equipment and property
- 3rd Priority: Protect the environment

1. Make sure the spill area is safe to enter and that it does not pose an immediate threat to health or safety of any person.
2. Check for hazards (flammable material, noxious fumes, cause of spill) – if flammable liquid, turn off engines and nearby electrical equipment. If serious hazards are present leave area and call 911. LARGE SPILLS ARE LIKELY TO PRESENT A HAZARD.
3. Stop the spill source and contain flowing spills immediately with spill kits, dirt or other material that will achieve containment.
4. Call co-workers and supervisor for assistance and to make them aware of the spill and potential dangers
5. If spilled material has entered a storm sewer, regardless of containment; contact the City Stormwater Division.
6. Cleanup all spills (flowing or non-flowing) immediately following containment. Clean up spilled material according to manufacturer specifications, for liquid spills use absorbent materials AND DO NOT FLUSH AREA WITH WATER.
7. Properly dispose of cleaning materials and used absorbent material according to manufacturer specifications.
8. Report the reportable quantity to the Saratoga Springs City Stormwater Division.

Emergency Numbers

Utah Hazmat Response Officer 24 hrs	(801)-538-3745
Police Department	(801) 622-2800
City Engineering Division	<u>(801) 399-8374</u>

5. SWPPP, Inspections and Corrective Action Reports

Inspection Schedule and Procedures: The permit requires inspections once a week (see permit Part 3). You must list and provide details of your BMPs in Appendix L. Inspection reports require reporting on BMPs and how effective they are. You may be required to maintain, modify, remove, or apply/install more or different BMPs to control pollutants on the site. Please number your BMPs in Appendix L and refer to those numbers on your inspection reports and corrective action reports when you inspect or report on them.

Describe the general procedures for correcting problems when they are identified. Include responsible staff and time frames for making corrections:

Identify the problem, assess situation, if there is a leak, stop the leak , and proceed with the proper clean up methods.

Any corrections needed should be corrected immediately, by site supervisor, and reported to Authorized Representative.

Corrective Actions: All corrective actions must be logged using the "Correction Action Log" attached in Appendix F. The log should be filled out completely for each corrective action.

6. Changes to the SWPPP

All changes to this SWPPP must be logged in the "Amendment Log" in Appendix G. The log should be filled out completely for each amendment to the SWPPP.

7. Record Keeping

The following items should be kept at the project site available for inspectors to review:

1. Dates of grading, construction activity, and stabilization
2. A copy of the construction general permit (Appendix C)
3. The signed and certified NOI form (Appendix D)
4. Inspection reports (Appendix E)

8. Delegation of Authority (if any)

Duly Authorized Representatives or Positions:

Company/Organization: Mac Builders

Name: Nathan nelson

Position: Owner

Address: 4107 n 1100 w

City: Pleasant View

State: Ut Zip: 84414

Telephone: 801-6440312

Fax/Email: Signature03.nn@gmail.com

Note: Any additional information (i.e. memoranda, agreements, etc.) should be attached in Appendix H.

9. Discharge Information

Does your project/site discharge storm water into a Municipal Separate Storm Sewer System (MS4)?

Yes No

MS4 receiving the discharge from the construction project: [Click here to enter text.](#)

Receiving Waters (look up to identify your receiving water body)

Enter the name(s) of the first surface water(s) that receives stormwater directly from your site and/or from the MS4 listed above. **Note:** *multiple rows provided in the case that your site has more than one point of discharge in which each flows to different surface waters.*

1. **Weber River**
2. [Click here to enter name of receiving waters.](#)
3. [Click here to enter name of receiving waters.](#)
4. [Click here to enter name of receiving waters.](#)

Impaired Waters (refer to <http://wq.deq.utah.gov> in the left hand column to determine status of receiving water body).

Select any impaired surface water(s) that your site will discharge to, either directly or through the MS4 selected above.

Impaired Surface Water	Is this surface water impaired?	Pollutant(s) causing the impairment	Has a TMDL been completed?	Pollutant(s) for which there is a TMDL
Click here to enter text.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Click here to enter text.	<input type="checkbox"/> Yes <input type="checkbox"/> No	Click here to enter text.
Click here to enter text.	<input type="checkbox"/> Yes <input type="checkbox"/> No	Click here to enter text.	<input type="checkbox"/> Yes <input type="checkbox"/> No	Click here to enter text.

10. Certification and Notification

I, Nathan Nelson, certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Nathan Nelson

This SWPPP should be signed and certified by the construction operator(s). Attach certifications in Appendix H.

GENERAL NOTES:
 1. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.
 2. THE ARCHITECT'S DESIGN IS BASED ON THE ASSUMPTION THAT THE CLIENT WILL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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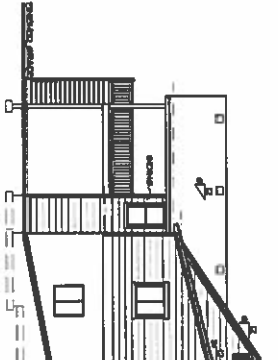
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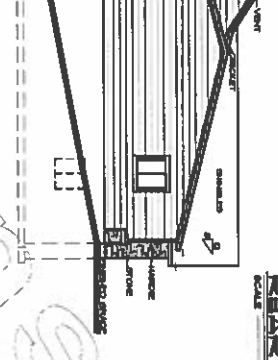
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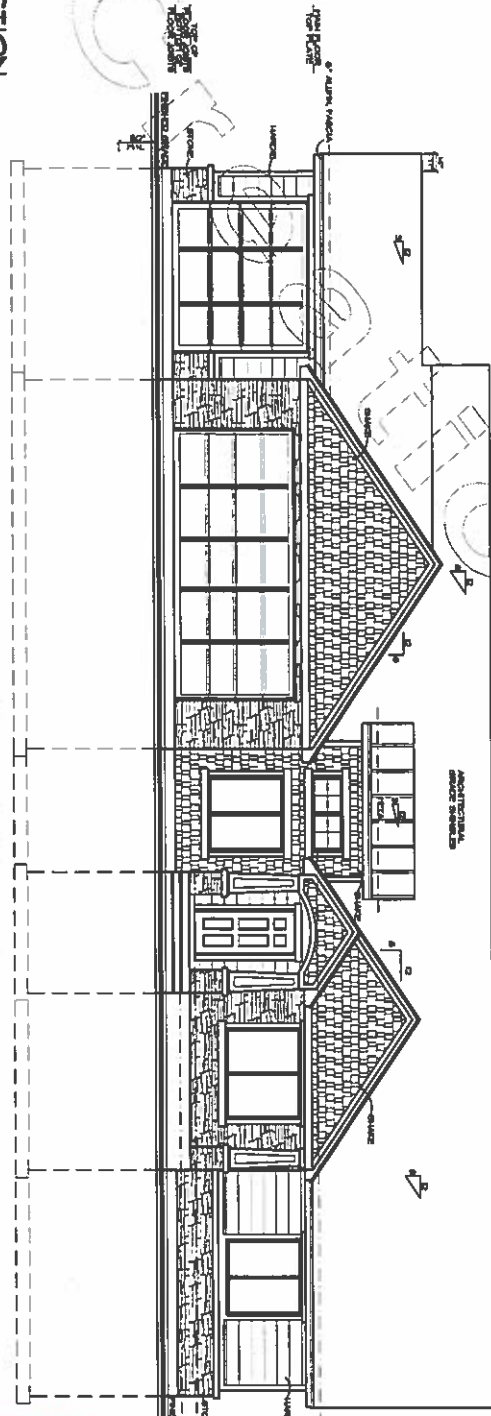
REAR ELEVATION
SCALE 1/8" = 1'-0"



LEFT ELEVATION
SCALE 1/8" = 1'-0"



RIGHT ELEVATION
SCALE 1/8" = 1'-0"



FRONT ELEVATION
SCALE 1/8" = 1'-0"

TYP. SECTION
SCALE 1/8" = 1'-0"



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PLANNED FOR
HERNANDEZ
 6095 S. OSBORN DR.
 SOUTH OGDEN, UTAH

1424 Legend Hills Dr. South Jordan Utah 84091 Ammon Idaho 83406
 Suite # 120 Clearfield, Utah 84015 801.582.6700 801.582.9555
 801.585.6700
 plans@creationswest.com

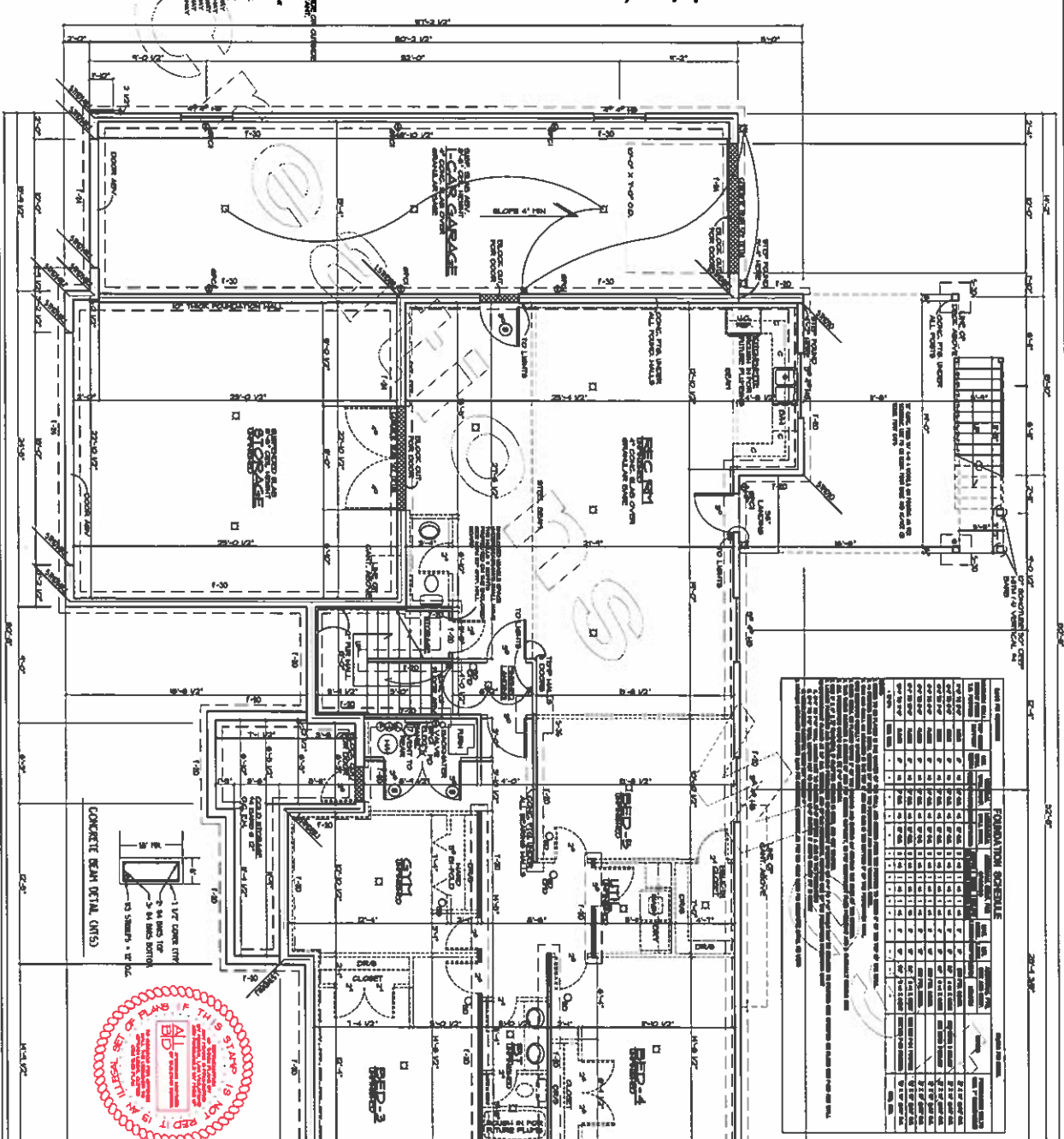
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R-2172-18UE

NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WALLS ARE 12" THICK UNLESS NOTED OTHERWISE.
3. ALL DOORS ARE 3'0" X 7'0" UNLESS NOTED OTHERWISE.
4. ALL WINDOWS ARE 4'0" X 6'0" UNLESS NOTED OTHERWISE.
5. ALL CEILING ARE 8'0" UNLESS NOTED OTHERWISE.
6. ALL FLOORS ARE 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE.
7. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.
8. ALL EXTERIOR WALLS ARE 2" RIGID INSULATION ON EXTERIOR SIDE.
9. ALL INTERIOR WALLS ARE 5/8" GYPSUM BOARD ON BOTH SIDES.
10. ALL CEILING ARE 5/8" GYPSUM BOARD ON BOTH SIDES.
11. ALL FLOORS ARE 3/4" GYPSUM BOARD ON TOP OF CONCRETE.
12. ALL STAIRS ARE 8" CONCRETE ON 4" GRAVEL.
13. ALL ROOF ARE 2" RIGID INSULATION ON TOP OF ROOF DECK.
14. ALL ROOF ARE 1" ASPHALT/FLYSH ON TOP OF INSULATION.
15. ALL ROOF ARE 1" GYPSUM BOARD ON TOP OF ASPHALT/FLYSH.
16. ALL ROOF ARE 1" POLYURETHANE FOAM ON TOP OF GYPSUM BOARD.
17. ALL ROOF ARE 1" METAL ON TOP OF POLYURETHANE FOAM.
18. ALL ROOF ARE 1" AIR SPACE ON TOP OF METAL.
19. ALL ROOF ARE 1" POLYURETHANE FOAM ON TOP OF AIR SPACE.
20. ALL ROOF ARE 1" METAL ON TOP OF POLYURETHANE FOAM.



FOUND. PLAN

CREATIONS WEST
EVEN THE BEST DREAMS NEED A PLAN
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1494 Legend Hills Dr. Suite # 130 Clearfield, Utah 84014 801.525.6700

South Jordan Utah 84091 801.525.6700

Ammon Idaho 83406 208.525.9655

plans@creationswest.com

HERNANDEZ
4095 S. OSWALD DR.
SOUTH OGDEN, UTAH

FOUNDATION SCHEDULE

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
2	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
3	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
4	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
5	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
6	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
7	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
8	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
9	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
10	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
11	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
12	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
13	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
14	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
15	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
16	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
17	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
18	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
19	FOUNDAION WALL	1	LINEAL FOOT	12" THICK
20	FOUNDAION WALL	1	LINEAL FOOT	12" THICK

NOTE: ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

FOUND. PLAN

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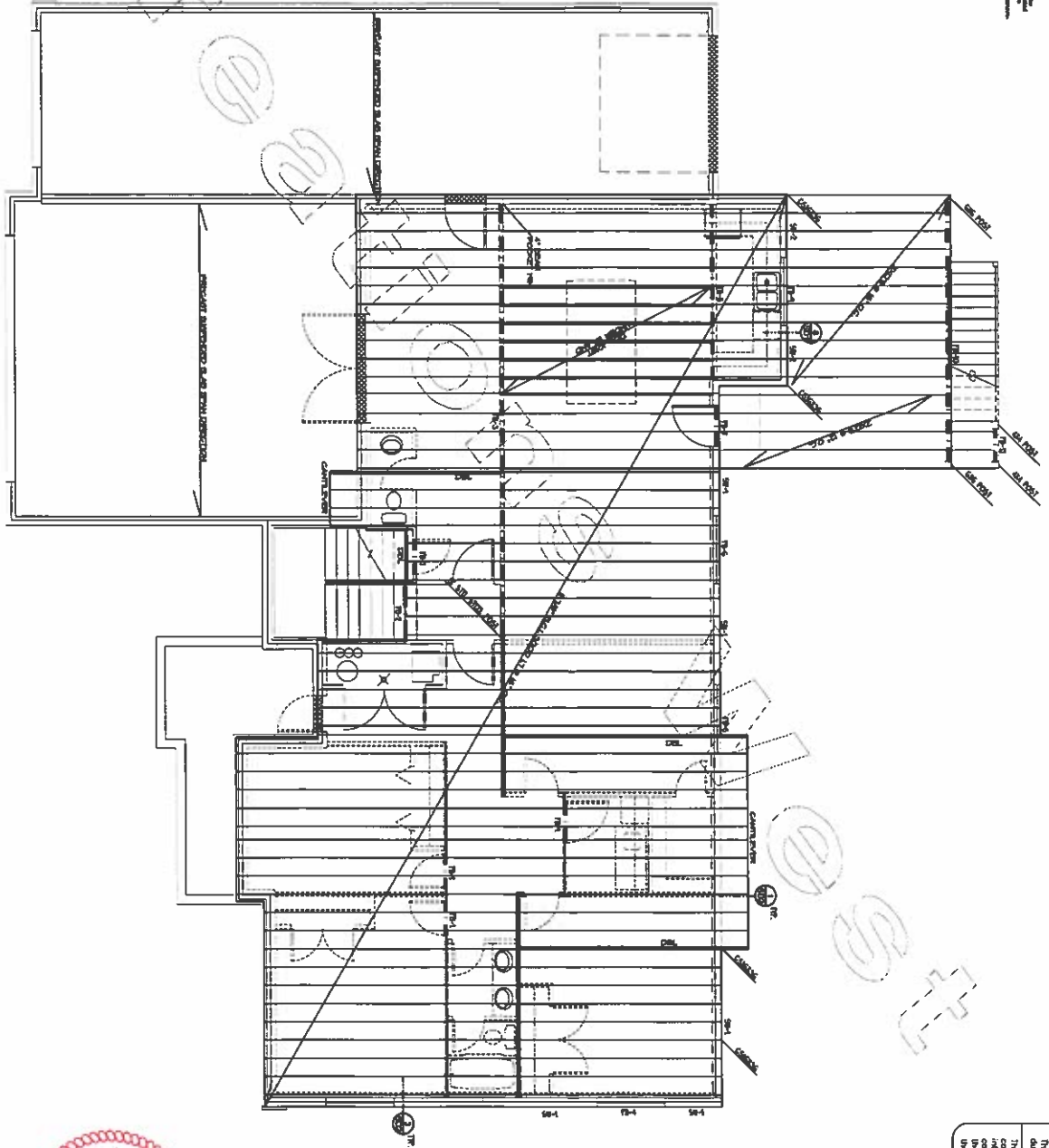
The holder/general contractor (architect/professional) must verify the accuracy of the information provided in this plan. The contractor shall be responsible for the construction. Creations West shall be held liable for the design of the construction. Creations West is not responsible for the construction of the building and the safety of the structure. Creations West is not responsible for the safety of the structure.

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FINISHES AND MATERIALS

ALL SURFACES SHALL BE FINISHED TO THE FINISHES AND MATERIALS LISTED BELOW. THE FINISHES AND MATERIALS LISTED BELOW ARE THE STANDARD FINISHES AND MATERIALS FOR THIS TYPE OF CONSTRUCTION. THE FINISHES AND MATERIALS LISTED BELOW ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE FINISHES AND MATERIALS LISTED BELOW ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE FINISHES AND MATERIALS LISTED BELOW ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE FINISHES AND MATERIALS LISTED BELOW ARE SUBJECT TO CHANGE WITHOUT NOTICE.

GENERAL NOTES
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 2. ALL WALLS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
 3. ALL FLOORS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
 4. ALL CEILING SHALL BE DRYWALL UNLESS OTHERWISE NOTED.
 5. ALL ROOFS SHALL BE ASPH/FLY UNLESS OTHERWISE NOTED.
 6. ALL EXTERIOR WALLS SHALL BE BRICK UNLESS OTHERWISE NOTED.
 7. ALL EXTERIOR FLOORS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
 8. ALL EXTERIOR ROOFS SHALL BE ASPH/FLY UNLESS OTHERWISE NOTED.
 9. ALL EXTERIOR WALLS SHALL BE BRICK UNLESS OTHERWISE NOTED.
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 15. ALL EXTERIOR WALLS SHALL BE BRICK UNLESS OTHERWISE NOTED.
 16. ALL EXTERIOR FLOORS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
 17. ALL EXTERIOR ROOFS SHALL BE ASPH/FLY UNLESS OTHERWISE NOTED.
 18. ALL EXTERIOR WALLS SHALL BE BRICK UNLESS OTHERWISE NOTED.
 19. ALL EXTERIOR FLOORS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
 20. ALL EXTERIOR ROOFS SHALL BE ASPH/FLY UNLESS OTHERWISE NOTED.



MAIN FLOOR FRAMING PLAN



NO.	DESCRIPTION
1	12" CONC. SLAB
2	12" CONC. SLAB
3	12" CONC. SLAB
4	12" CONC. SLAB
5	12" CONC. SLAB
6	12" CONC. SLAB
7	12" CONC. SLAB
8	12" CONC. SLAB
9	12" CONC. SLAB
10	12" CONC. SLAB
11	12" CONC. SLAB
12	12" CONC. SLAB
13	12" CONC. SLAB
14	12" CONC. SLAB
15	12" CONC. SLAB
16	12" CONC. SLAB
17	12" CONC. SLAB
18	12" CONC. SLAB
19	12" CONC. SLAB
20	12" CONC. SLAB
21	12" CONC. SLAB
22	12" CONC. SLAB
23	12" CONC. SLAB
24	12" CONC. SLAB
25	12" CONC. SLAB
26	12" CONC. SLAB
27	12" CONC. SLAB
28	12" CONC. SLAB
29	12" CONC. SLAB
30	12" CONC. SLAB
31	12" CONC. SLAB
32	12" CONC. SLAB
33	12" CONC. SLAB
34	12" CONC. SLAB
35	12" CONC. SLAB
36	12" CONC. SLAB
37	12" CONC. SLAB
38	12" CONC. SLAB
39	12" CONC. SLAB
40	12" CONC. SLAB
41	12" CONC. SLAB
42	12" CONC. SLAB
43	12" CONC. SLAB
44	12" CONC. SLAB
45	12" CONC. SLAB
46	12" CONC. SLAB
47	12" CONC. SLAB
48	12" CONC. SLAB
49	12" CONC. SLAB
50	12" CONC. SLAB

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R-2172-18UE

5



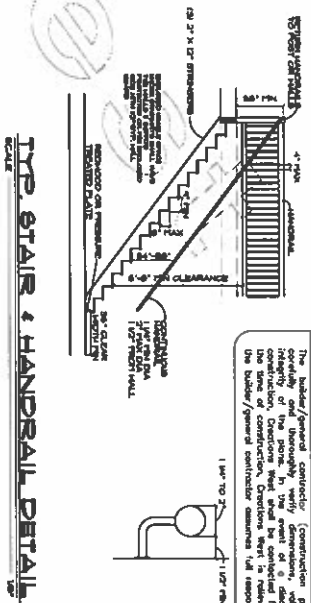
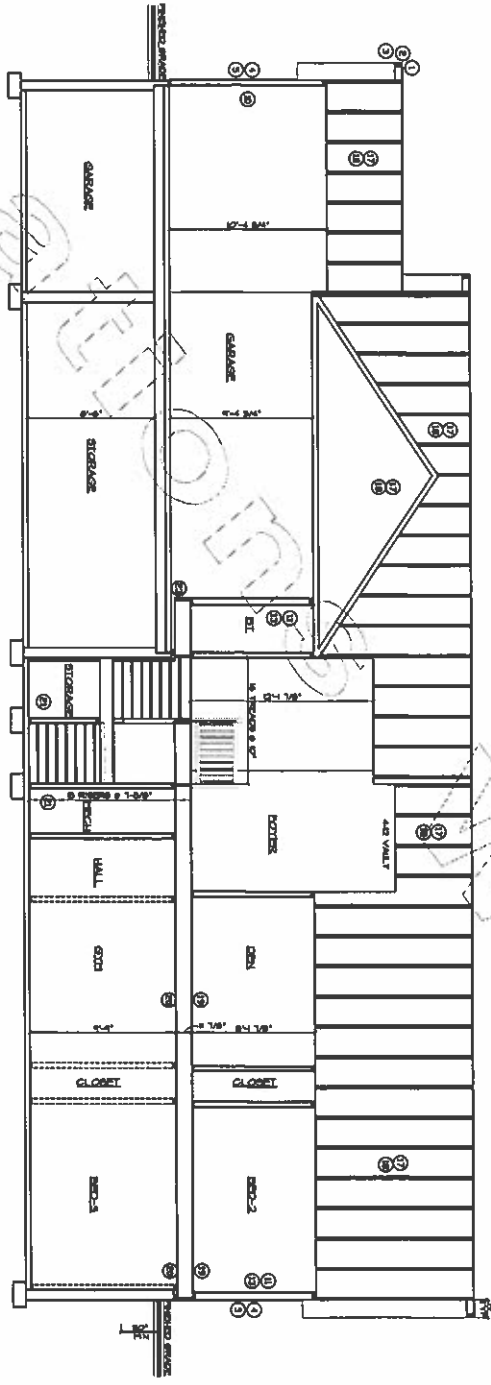
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 Ammon Utah #4091 805.625.8265
 plaza@creationswest.com

DESIGNED FOR
HERNANDEZ
 6095 S. OSBORN DR.
 SOUTH OGDEN, UTAH

GENERAL NOTES:

1. All work shall be in accordance with the 2018 International Residential Code (IRC) and the 2018 International Building Code (IBC).
2. The contractor shall be responsible for obtaining all necessary permits and inspections.
3. All materials shall be of good quality and shall meet or exceed the minimum requirements of the applicable codes.
4. The contractor shall be responsible for protecting all existing work and utilities.
5. The contractor shall be responsible for maintaining access to all adjacent properties.
6. The contractor shall be responsible for the safety of all workers and the public.
7. The contractor shall be responsible for the cleanup of all construction debris.
8. The contractor shall be responsible for the final inspection and sign-off.



NOTES:

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BUILDING SECTION



R-2172-18UE

7

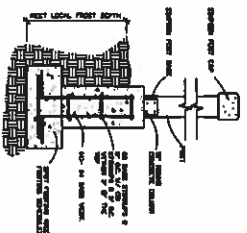


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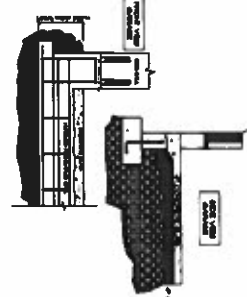
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South Jordan Utah 84091 801.282.6700
Aurinton Idaho 83406 208.525.0225
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HERNANDEZ
4096 S. OSBORN DR.
SOUTH OGDEN UTAH

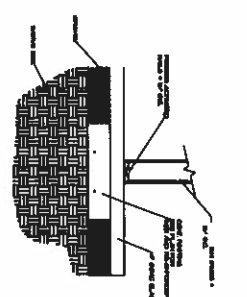
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The builder/general contractor (construction professional) must maintain the integrity of the plans in the event of a discrepancy, prior to construction. Creations West shall be contacted for clarification. It is the builder/general contractor's ultimate responsibility.



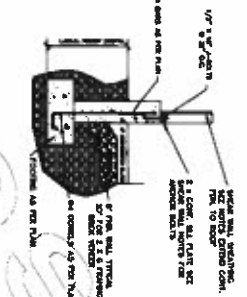
1 DETAIL OF MASONRY WALL CONNECTION
TYPICAL, SEE PLAN AND SECTION



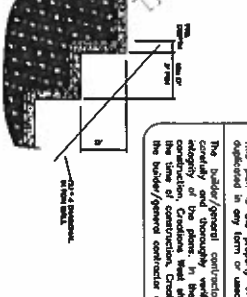
2 WINDOW AND DOOR TO MASONRY CONNECTION
TYPICAL, SEE PLAN AND SECTION



3 MASONRY TERMINATION WALL
TYPICAL, SEE PLAN AND SECTION



4 MASONRY WALL CONNECTION
TYPICAL, SEE PLAN AND SECTION



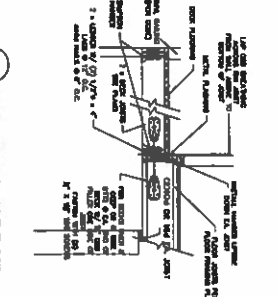
5 WINDOW AND DOOR TO MASONRY CONNECTION
TYPICAL, SEE PLAN AND SECTION

BEARING WALLS TO BE CONSTRUCTED AS FOLLOWS:

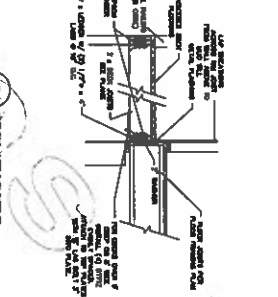
HEIGHT	STUD FRAMING
0' TO 12'	2x4's @ 16" O.C.
10' TO 12'	2x4's @ 12" O.C.
12' TO 14'	2x6's @ 16" O.C.
14' TO 16'	2x6's @ 12" O.C.
16' TO 20'	2x6 LVL's @ 12" O.C.

WALLS TALLER THAN 20' AND/OR OPENINGS GREATER THAN 6' HIDE TO BE SPECIFIED BY ENGINEER. USE DUAL KING STUDS ON ALL WALLS 12' HIGH, USE 2X6 STUDS FOR ALL WALLS SUPPORTING OVER TWO LOADS.

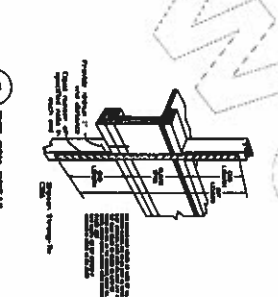
6 STUD FRAMING
TYPICAL, SEE PLAN AND SECTION



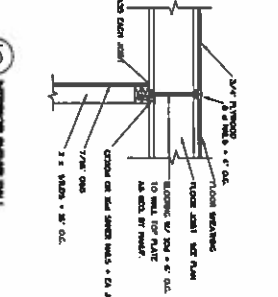
7 WINDOW AND DOOR TO MASONRY CONNECTION
TYPICAL, SEE PLAN AND SECTION



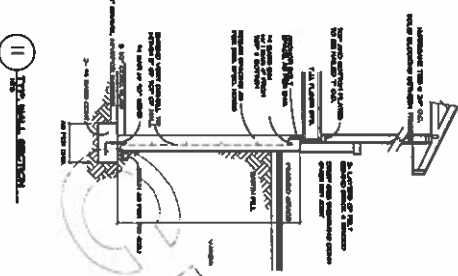
8 MASONRY WALL CONNECTION
TYPICAL, SEE PLAN AND SECTION



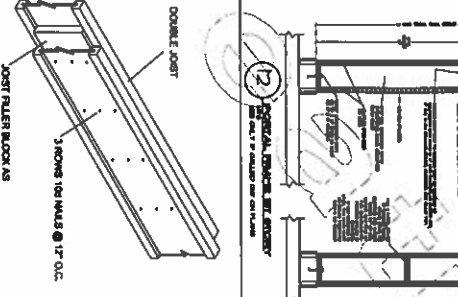
9 WINDOW AND DOOR TO MASONRY CONNECTION
TYPICAL, SEE PLAN AND SECTION



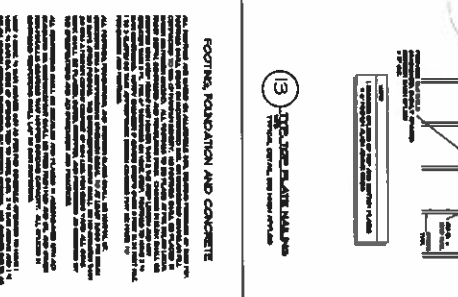
10 MASONRY WALL CONNECTION
TYPICAL, SEE PLAN AND SECTION



11 WINDOW AND DOOR TO MASONRY CONNECTION
TYPICAL, SEE PLAN AND SECTION



12 WINDOW AND DOOR TO MASONRY CONNECTION
TYPICAL, SEE PLAN AND SECTION



13 WINDOW AND DOOR TO MASONRY CONNECTION
TYPICAL, SEE PLAN AND SECTION



14 WINDOW AND DOOR TO MASONRY CONNECTION
TYPICAL, SEE PLAN AND SECTION

FOOTING, FOUNDATION AND CONCRETE

ALL FOUNDATIONS SHALL BE CONSTRUCTED TO THE FOLLOWING MINIMUM REQUIREMENTS:

1. ALL FOUNDATIONS SHALL BE CONSTRUCTED TO THE FOLLOWING MINIMUM REQUIREMENTS:

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18. ALL FOUNDATIONS SHALL BE CONSTRUCTED TO THE FOLLOWING MINIMUM REQUIREMENTS:

19. ALL FOUNDATIONS SHALL BE CONSTRUCTED TO THE FOLLOWING MINIMUM REQUIREMENTS:

20. ALL FOUNDATIONS SHALL BE CONSTRUCTED TO THE FOLLOWING MINIMUM REQUIREMENTS:

DOUBLE JOIST

JOIST FILTER BLOCKS PER MANUFACTURER

3 ROWS 10' WALLS @ 12" O.C.

PORTAL JOIST CONNECTION

TYPICAL, SEE PLAN AND SECTION

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The holder/general contractor (construction professional) must comply and thoroughly verify dimensions, quality, and overall accuracy of the plans in the event of a discrepancy, prior to the start of construction. Creations West is relieved of liability and the holder/general contractor assumes full responsibility.

PLANNED FOR

HERNANDEZ
5095 S. OLIVINO DR.
SOUTH OGDEN, UTAH

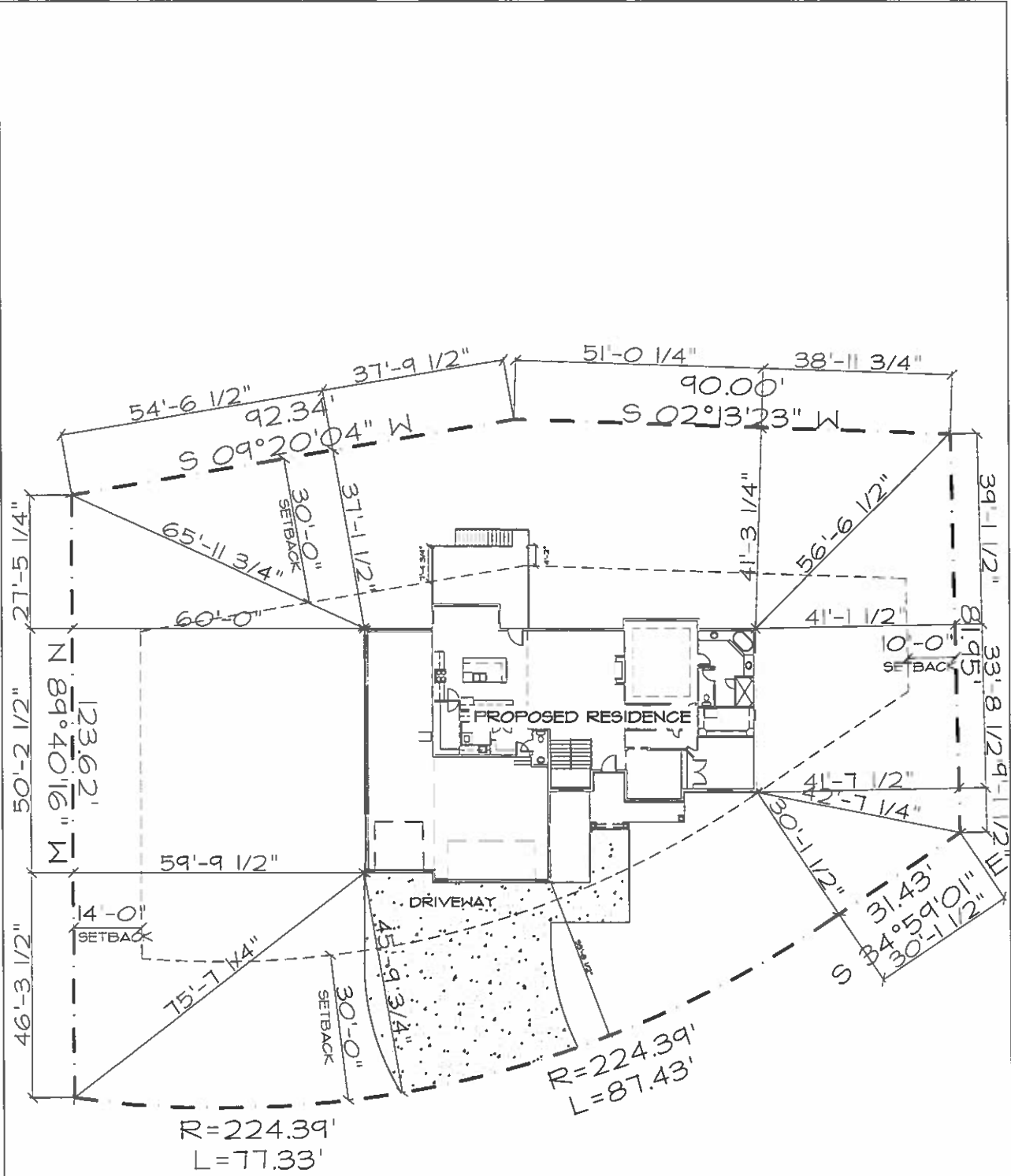
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PLAN NO. R-2172-18UE



WEBER COUNTY
 LAND USE
 108-7-2 SUB-SECTION
 (A) LINE 4



HERNANDEZ
 6095 S. OSMOND
 S. OGDEN, UTAH

SCALE : 1" = 20'