

UTRH88503

(This SWPPP Template is for the **Common Plan** Permit Only, and  
does **NOT** address SWPPP requirements found in the CGP.)

## Common Plan SWPPP for Beardall Residence

**5787 East 2500 North**

Eden, UT 84310

---

Steve Flint Custom Homes, Inc.  
1410 North Hill Field Road, Suite 1  
Layton, UT 84041

---

**Steven Flint**

1410 North Hill Field Road, Suite 1  
Layton, UT 84041

---

**Date**

08/27/2018



## 1. Project Information

**Project Name:** Beardall Residence

**Address:** 5787 E 2500 N

**City:** Eden, UT 84310

**State:** UT

**Zip:** 84310

**Latitude:** 41.303287

**Longitude:** -111.808517

**UPDES Permit Tracking Number:** UTRH88503

**Owner:** Jason & Melissa Beardall

**Contact Person:** Jason Beardall

**Address:** 1169 S Preakness Dr

**City:** Kaysville

**State:** UT

**Zip:** 84037

**Telephone Number:** 801-499-6053

**Email Address:** jasonbeardall@yahoo.com

**General Contractor:** Steve Flint Custom Homes, Inc.

**Contact Person:** Steven Flint

**Address:** 1410 North Hill Field Road, Suite 1

**City:** Layton

**State:** UT

**Zip:** 84041

**Telephone Number:** 801-779-1807

**Email Address:** steve@flintcustom.com

### 1.5

**Unknown Features** (although this may be a law under another program, it's not a permit requirement). **Discovery of Historical, Archaeological or Paleontological Objects, Features, Sites, or Human Remains**

- A. Immediately suspend construction operations in the vicinity (100-foot minimum buffer) of the discovery.
- B. Verbally notify the Public Works Department and provide them the exact location.
- C. Protect the discovery and provide written confirmation of the discovery to the City and State Historic Departments within two calendar days.
- D. Contractor and City follow State mitigation laws.

## 2. Best Management Practices

### 2.1 SWPPP Sign

Description of construction board is filed in Appendix L

### 2.2 Sensitive Features Control

#### 2.2.1 Wetlands

NONE

#### 2.2.2 Water Bodies within or 30' from Disturbance Boundary

No water bodies within 30' of disturbance boundary

## **2.3 Sediment Control**

### **2.3.1 Trap/Filter Sediment at Property Boundary**

Cut swells on downhill side property line.

### **2.3.2 Inlet Protection**

Place gravel bag in roadside swell

### **2.3.3 Steep Slopes**

No steep slope on property

### **2.3.4 Street Maintenance**

Gravel track pad will be provided to minimize tracking into to the street. In the event there is any tracking into the street, cleanup will be done by scraping and sweeping.

## **2.4 Top Soil Preservation**

Top soil in the area is not worth the expense to save and will be used for back fill. New top soil will be imported for landscaping at the end of the construction.

## **2.5 Dust Control**

Wet area of dust creation as needed.

## **2.6 Egress Control**

### **2.6.1 Track Out**

Gravel track pad will be provided from the street to the house.

Our site policy is that no vehicles are allow off the road except when using the track pad. Violators are required to sweep any track out or pay us to do it for them.

## **2.7 Waste Management Control**

### **2.7.1 Solid Waste**

Construction dumpster will be provided, and all subs are required to clean up after themselves daily, disposing of all trash into the dumpster.

### **2.7.2 Construction Spoil**

No haul off of spoils is anticipated. Soil from excavation will be stored on the lot. At backfill, all excavated dirt will be spread onsite

**2.7.3 Sanitary Waste**

Portable restroom facility with weekly maintenance will be provided.

**2.7.4 Cement Product Operations**

Plastic lined concrete washout pit will be provided

**2.7.5 Concrete Cutting Operations**

NONE. No concrete cutting is anticipated

**2.7.6 Non-Aqueous Waste**

Aqueous wastes will be disposed of in the lined concrete washout area.

**2.7.7 Construction Wastewater**

None. Excavation will not go to ground water, so no ground water issues to deal with.

**2.8 Management of Construction Materials Control**

**2.8.1 Storage of Construction Materials)**

Construction materials that may cause harm to the soil or pass through boundary controls will be covered and stored well away from the street and side property lines. When possible, these materials will be stored inside the house.

**2.8.2 Construction Staging (backfill**

Soil from excavation will be stored on the Lot away from side yards. Wide front & rear setbacks will help with preventing excavated soil from migrating off the property.

**2.8.3 Construction Staging (Landscaping**

Any landscaping materials will be stage well off the street and away from the side property lines. Anything that can erode by water or wind will be covered.

## **2.9 Final Stabilization**

### **2.9.1 Landscaping Plan**

Final landscaping will be done as soon as possible after construction activities cease.

### **2.9.2 Temporary Containment of Sediment**

Cut side yard swell that will be left in place until final landscaping is commenced. It's anticipated that landscaping will start as soon as construction activities on the exterior of the home are completed.

### 3. Spill Prevention and Response Plan

No fueling of vehicles will be allowed onsite.

No storing of chemical materials will be allowed onsite, except paint & thinners and those will be stored inside the house.

Any minimal spills will be cleaned immediately using the most effective method for the situation. This may include absorbent products, dirt, sand, plastic bags, shovels, and brooms.

Any major spills will be reported as directed below to the proper agency.

Description of Spill control Plan, details and policy are filed in Appendix L.

**Any discharges in 24 hours equal to or in excess of the reportable quantities listed in 40 CFR 117, 40 CFR 110, and 40 CFR 302 will be reported to the National Response Center and the Division of Water Quality (DWQ) as soon as practical after knowledge of the spill is known to the permittee.** The permittee shall submit within 14 calendar days of knowledge of the release a written description of: the release (including the type and estimate of the amount of material released), the date that such release occurred, the circumstances leading to the release, and measures taken and/or planned to be taken to the Division of Water Quality (DWQ), 288 North 1460 West, P.O. Box 144870, Salt Lake City, Utah 84114-4870. The Storm Water Pollution Prevention Plan must be modified within 14 calendar days of knowledge of the release to provide a description of the release, the circumstances leading to the release, and the date of the release. In addition, the plan must be reviewed to identify measures to prevent the reoccurrence of such releases and to respond to such releases, and the plan must be modified where appropriate.

Agency	Phone Number
National Response Center	(800) 424-8802
Division of Water Quality ( DWQ) 24-Hr Reporting	(801) 538-6146; (801) 536-4123
Utah Department of Health Emergency Response	(801) 580-6681
UFA	911

Minimum spill quantities requiring reporting:

Material	Media Released To	Reportable Quantity
Engine oil, fuel, hydraulic & brake fluid	Land	25 gallons
Paints, solvents, thinners	Land	100 lbs (13 gallons)
Engine oil, fuel, hydraulic & brake fluid	Water	Visible Sheen
Refrigerant	Air	1 lb
Antifreeze, battery acid, gasoline, engine degreasers	Air, Land, Water	100 lbs (13 gallons)

Emphasis to:

- 1<sup>st</sup> Priority: Protect all people (including onsite staff)
- 2<sup>nd</sup> Priority: Protect equipment and property
- 3<sup>rd</sup> Priority: Protect the environment

1. Make sure the spill area is safe to enter and that it does not pose an immediate threat to health or safety of any person.
2. Check for hazards (flammable material, noxious fumes, cause of spill) – if flammable liquid, turn off engines and nearby electrical equipment. If serious hazards are present leave area and call 911. LARGE SPILLS ARE LIKELY TO PRESENT A HAZARD.
3. Stop the spill source and contain flowing spills immediately with spill kits, dirt or other material that will achieve containment.
4. Call co-workers and supervisor for assistance and to make them aware of the spill and potential dangers
5. If spilled material has entered a storm sewer, regardless of containment; contact the Municipal Storm Water Division.
6. Cleanup all spills (flowing or non-flowing) immediately following containment. Clean up spilled material according to manufacturer specifications, for liquid spills use absorbent materials AND DO NOT FLUSH AREA WITH WATER.
7. Properly dispose of cleaning materials and used absorbent material according to manufacturer specifications.
8. Report the reportable quantity to the Municipal Storm Water Division.

**Emergency Numbers**

Utah Hazmat Response Officer 24 hrs	(801)-538-3745
Weber County Sheriff Department	(801)-778-6600
Weber County Storm Water Management	(801)-399-8374

## 4. Site Map(s)

The SWPPP site maps are filed in Appendix B

## 5. Record Keeping

See the appendices in Appendix A-K.

### SWPPP Inspections-Maintenance-Correction

Inspections are required every 7 calendar days

Repair or replace BMPs prior to need or by end of week whichever comes first. Update the Inspection-Maintenance-Correction Report weekly.

Section 3.2.2 requires daily maintenance of pavements and site grounds.

See the Inspection-Maintenance-Correction Reports in Appendix E

### Changes to the SWPPP

See the Amendment Log in Appendix F.

### Training

Training Logs and Documents are filed in Appendix H.

## 6. Discharge Information

Receiving Waters (look up <http://wq.deq.utah.gov> to identify your receiving water body)

1. [Gertsen Creek](#)

Impaired Waters (refer to <http://wq.deq.utah.gov> in the left hand column to determine status of receiving water body).

Impaired Surface Water	Is this surface water impaired?	Pollutant(s) causing the impairment	Has a TMDL been completed?	Pollutant(s) for which there is a TMDL
<a href="#">Gertsen Creek</a>	x Yes <input type="checkbox"/> No	<a href="#">Dissolved Oxygen</a>	<input type="checkbox"/> Yes    x No	<a href="#">See web site above</a>



## **7. Certification, Notification and Delegation**

**Owner Certification:** See documents filed in Appendix G.

**Operator Certification:** See documents filed in Appendix G.

**Delegation of Authority:**

Steve Flint Custom Homes, Inc.

Scott Birch

Construction Manager

1410 North Hill Field Road

Layton, UT 84041

**Subcontractor Certification:** See documents filed in Appendix G.

**Notice of Permit Transfer Requirements:** NOT USED

## **SWPPP Appendices**

**Appendix A: General Location Map**

**Appendix B: SWPPP Site Maps**

**Appendix C: UPDES Permit(UTRH88503)**

**Appendix D: Permits; NOI, MS4**

**Appendix E: Inspection-Maintenance-Correction Report**

**Appendix F: SWPPP Amendment Log**

**Appendix G: Certifications, Agreements, Delegation of Authority**

**Appendix H: Training Log**

**Appendix I: Construction Plans**

**Appendix J: Additional Information** [Not Used](#)

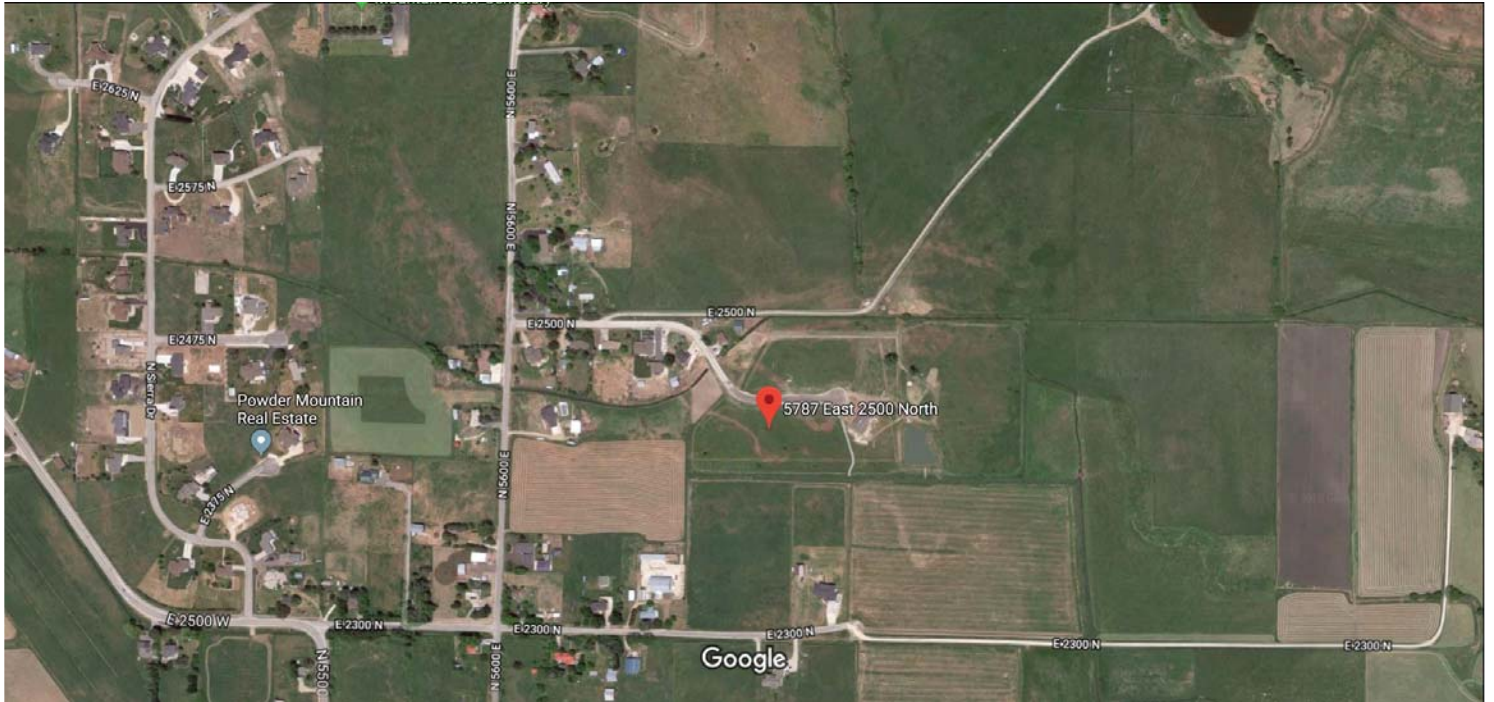
**Appendix K: BMP Specifications and Details**

Appendix L: SWPPP Sign



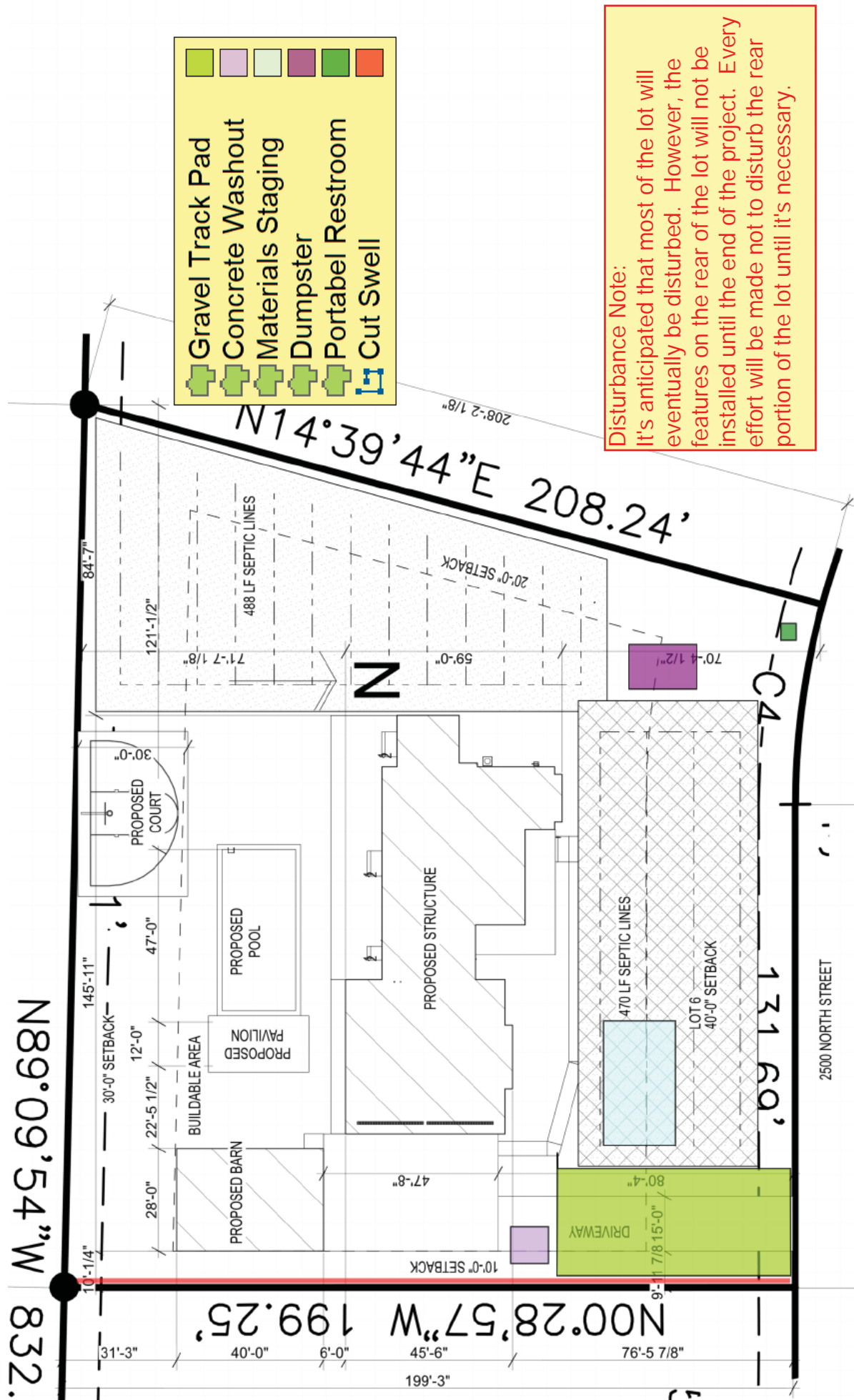
5787 E 2500 N

Beardall Residence Location



Imagery ©2018 Google, Map data ©2018 Google 200 ft

**APPENDIX A - LOCATION MAP**



APPENDIX B - SWPPP SITE PLAN

**STATE OF UTAH, DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF WATER QUALITY**  
 195 North 1950 West, P.O. Box 144870, Salt Lake City, Utah 84114-4870 (801) 536-4300

**NOI**

Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under the UPDES General Permit UTRH88503  
SEE REVERSE FOR INSTRUCTIONS

Submission of this Notice of Intent constitutes notice that the party(s) identified in Section I of this form intends to be authorized by UPDES General Permit No. UTRH88503 issued for storm water discharges associated with construction activity in the State of Utah. Becoming a permittee obligates such discharger to comply with the terms and conditions of the permit. ALL NECESSARY INFORMATION MUST BE PROVIDED ON THIS FORM.

<b>PERMIT PERIOD</b>	Permit Start Date: 08/26/2018      Permit Expiration Date: 06/30/2019
<b>PERMIT TYPE</b>	Construction General Permit (CGP, this permit covers any construction project): ..... <input type="checkbox"/> Common Plan Permit (this only covers single lot residential construction disturbing less than an acre): ..... <input checked="" type="checkbox"/>

Is this NOI seeking continuation for previously expired permit coverage at the same site?    Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	If yes, what is the number of the previous permit coverage? Permit No. UTR
---	--

**I. OWNER INFORMATION**  
 Owner Name: Jason Beardall      Phone: 801-499-6053  
 Address: 1169 S Preakness Dr.      Status of Owner: PRIVATE  
 City: KAYSVILLE      State: UT      Zip: 84037  
 Contact Person: steven flint      Phone: 801-779-1807

**GENERAL CONTRACTOR:** steven flint      Phone: 801-779-1807  
 Address: 1410 n hill field road, Suite 1      Status of General Contractor: PRIVATE  
 City: LAYTON      State: UT      Zip: 84041  
 Contact Person: steven flint      Phone: 801-779-1807

<b>II. FACILITY SITE / LOCATION INFORMATION</b> Name: Beardall Residence Project No. (if any): #6 Sandhill Crane  Address: 5787 E 2500 N City: EDEN Latitude: 41.3028954      Longitude: -111.8087668 Method (check one): <input type="checkbox"/> USGS Topo Map, Scale <input type="checkbox"/> EPA Web site <input type="checkbox"/> GPS <input checked="" type="checkbox"/> Other	Is the facility located in Indian Country? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
	County: WEBER
	State: UT      Zip: 84310

**III. SITE INFORMATION**  
 Municipal Separate Storm Sewer System (MS4) Operator Name: Weber County  
 Receiving Water Body: Gertsen Creek known      this is known  this is a guess  (see <http://wq.deq.utah.gov/>)  
 Estimate of distance to the nearest water body? 600 ft      ft.       miles.   
 Is the receiving water an impaired or high quality water body (see <http://wq.deq.utah.gov/>)?    Yes     No   
 List the Number of any other UPDES permits at the site:

**IV. THIS SECTION IS ONLY FOR PROJECTS INVOLVED IN DEVELOPMENT OF A SUBDIVISION.**  
 List the lots proposed for the development (please add another sheet of paper if there is not enough room to list all lots).  
  
 6

# INSTRUCTIONS

## Notice Of Intent (NOI) For Permit Coverage Under the UPDES General Permit For Storm Water Discharges From Construction Activities

**Who Must File A Notice Of Intent (NOI) Form** State law at UAC R317-8-3.9 prohibits point source discharges of storm water from construction activities to a water body(ies) of the State without a Utah Pollutant Discharge Elimination System (UPDES) permit. The owner and the general contractor of a construction activity that has such a storm water discharge must submit a NOI to obtain coverage under the UPDES Storm Water General Permit. If you have questions about whether you need a permit under the UPDES Storm Water program, or if you need information as to whether a particular program is administered by EPA or a state agency, contact the storm water coordinator at (801) 536-4300.

**Where To File NOI Form** The preferred method of submitting an NOI to apply for the construction general storm water permit (CGP) is electronically on-line at <http://www.waterquality.utah.gov/UPDES/stormwatercon.htm>. The fee can be submitted on line also. If on-line is not an option for you send a paper form of the NOI to the following address:

Department of Environmental Quality  
Division of Water Quality  
P.O. Box 144870  
Salt Lake City, UT 84114-4870

**Beginning of Coverage** CGP coverages are issued immediately after submitting an NOI with the permit fee. The permittee should be aware that though you may not have a permit in hand, if you have submitted a completed NOI with the permit fee you are covered by the conditions in the permit and will be expected to comply with permit conditions. You can print a copy of the CGP from the DWQ web site.

**Permit Fees.** The permit fee is \$150.00 per year. The fee is paid by Visa/Master Card on-line when an NOI is filed (by check if submitted with a paper NOI). If the project continues for more than one year the fee must be submitted again in a renewal process on-line. CGP coverage will not be issued until the fee is paid.

**Length of Coverage:** CGP coverage starts the day that the NOI and fee is received at DWQ and expires a year from issuance. All CGP coverages must be renewed within 60-days after the yearly expiration date, or be terminated with a notice of termination (NOT) before the expiration date. To terminate the permit the site must meet the permit conditions for final stabilization (see permit definitions), or must continue under a different permit holder. In most cases the DWQ or municipality of jurisdiction will perform a final inspection when a CGP coverage submits an NOT. If the site passes the final inspection the permit is terminated.

The Storm Water General Permit for Construction Activities UTRC00000 will expire on June 30, 2019 – UTRH00000 expires on September 30, 2020. The Clean Water Act requires that all UPDES permits be renewed every 5 years. If a project extends beyond the expiration date of the Permit it must renew the permit and continue coverage under the renewed permit that will subsequently be developed to continue the same or similar permit coverage for construction activity.

**SECTION I - FACILITY OPERATOR INFORMATION** Supply the legal name(s) of the person(s), firm(s), public organization(s), or any other entity(ies) that qualifies as the owner of the project (see permit definitions). Do the same for the general contractor that conducts the construction operation at the facility or site to be permitted. The owner and the general contractor of the project may be the same.

Enter the complete address and telephone number of the owner and general contractor and a contact person and number for each. Enter the appropriate letter to indicate the legal status of the operator of the facility.  
**F = Federal M = Public (other than Fed or State) S = State P = Private**

**SECTION II - FACILITY/SITE LOCATION INFORMATION** Enter the facility name or legal name and project number (if any) of the site and complete street address, including city, state and ZIP code. The latitude and longitude of the facility must be included to the approximate centroid of the site, and the method of how the Lat/Long was obtained (USGS maps, GPS, Internet Map sites [such as Google Earth], or other).

Indicate whether the facility is located in Indian Country. If the facility is located in Indian Country, do not complete this NOI, instead submit an application for coverage under a storm water permit to EPA Region VIII except for facilities on the Navajo Reservation or on the Goshute Reservation which should submit an application to EPA Region IX.

**SECTION III - SITE ACTIVITY INFORMATION** If the storm water discharges to a municipal separate storm sewer system (MS4), enter the name of

the operator of the MS4 (e.g., the name of the City or County of jurisdiction) and the receiving water of the discharge from the MS4 if it is known (if it is not known look it up at <http://wq.deq.utah.gov>). (An MS4 is defined as a conveyance or system of conveyances (including roads with drainage systems, municipal streets, catch basins, curbs, gutters, ditches, man-made channels, or storm drains) that is owned or operated by a state, city, town, county, district, association or other public body which is designed or used for collecting or conveying storm water).

**For Impaired Waters:** Go to <http://wq.deq.utah.gov> and identify the water body that will receive the storm water discharge from the permitted site, on the map provided at the web site (zoom in for easier resolution). On the left hand side of the page you will see “2010 Assessment” or “2013 Assessment” depending on the year you refer to the web site (the assessment is done every 3 years). The **20XX Assessment** will indicate if the water is impaired. If there is nothing after **20XX Assessment** or the narrative after does not include the word “impaired”, your receiving water is not impaired.

**For High Quality Waters:** On the web page referred to in the paragraph above on the left hand side of the page you will see “Anti-Degradation Category”. Under **Anti-Degradation Category** you will see the category of the water body. Only categories 1 and 2 are high quality water bodies. Some waters may be both categories 1 and 3. If your water body is both category 1 and 3 it means the headwaters of your water body is within Forest Service boundaries, and because it is within Forest Service boundaries it is category 1. If your **project** is within Forest Service boundaries then your water body is category 1 and it is “high quality”. If your **project** is **not** within Forest Service boundaries then your water body is category 3 and is not “high quality”. Again, category 1 waters are high quality waters, category 3 waters are not high quality waters.

**SECTION IV – LISTING LOTS FOR SUBDIVISIONS** For the sake of tracking lots that are sold (if a developer chooses to sell lots to another party before the building construction for the lot is completed), and permitted under a different owner (which requires a different permit), developers must list lot numbers.

**SECTION V - TYPE OF CONSTRUCTION** Check each type of construction that applies to this application.

**SECTION VI - BEST MANAGEMENT PRACTICES** Check each type of best management practice that will be used to control storm water runoff at the job site.

**SECTION VII – GOOD HOUSEKEEPING PRACTICES** Check each type of good housekeeping practice that you will use on the site any time during construction activities.

**SECTION VIII – ADDITIONAL** Provide an estimate of the total number of acres of the site on which soil will be disturbed (to the nearest hundredth of an acre). An email address is required of the best contact associated with the project for the communication needs.

**SECTION IX – CERTIFICATION** State statutes provide for severe penalties for submitting false information on this application form. State regulations require this application to be signed as follows:

*For a corporation:* by a responsible corporate officer, which means: (i) president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision making functions, or (ii) the manager of one or more manufacturing, production, or operating facilities employing more than 250 persons or having gross annual sales or expenditures exceeding \$25 million (in second quarter 1980 dollars), if authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures;

*For a partnership or sole proprietorship:* by a general partner or the proprietor; or

*For a municipality, state, Federal, or other public facility:* by either a principal executive officer or ranking elected official.

**POLLUTION PREVENTION PLAN** A storm water pollution prevention plan (SWPP3) is required to be in hand before the NOI can be submitted. It is important to know SWPPP requirements (contained in the permit) even during the design portion of the project. A copy of the permit can be obtained from the Division of Water Quality’s storm water construction web site. Guidance material for developing a SWPPP can be obtained from the Division of Water Quality’s storm water construction web site.









---

## Appendix G – *Beardall Residence* Subcontractor Certifications/Agreements

### SUBCONTRACTOR CERTIFICATION STORMWATER POLLUTION PREVENTION PLAN

Project Number: [Lot #6 Sandhill Crane](#)

Project Title: [Beardall Residence](#)

Operator(s): [Steven Flint & Scott Birch](#)

As a subcontractor, you are required to comply with the Stormwater Pollution Prevention Plan (SWPPP) for any work that you perform on-site. Any person or group who violates any condition of the SWPPP may be subject to substantial penalties or loss of contract. You are encouraged to advise each of your employees working on this project of the requirements of the SWPPP. A copy of the SWPPP is available for your review at our office or by contacting Scott Birch.

Each subcontractor engaged in activities at the construction site that could impact stormwater must be identified and sign the following certification statement:

**I certify under the penalty of law that I have read and understand the terms and conditions of the SWPPP for the above designated project and agree to follow the BMPs and practices described in the SWPPP.**

This certification is hereby signed in reference to the above-named project:

Company: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Type of construction service to be provided: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

## Appendix G – *Beardall Residence* Delegation of Authority Form

### Delegation of Authority

I, Steven Flint, hereby designate the person or specifically described position below to be a duly authorized representative for the purpose of overseeing compliance with environmental requirements, including the Construction General Permit, at the Cox Residence construction site. The designee is authorized to sign any reports, stormwater pollution prevention plans and all other documents required by the permit.

Scott Birch \_\_\_\_\_ (name of person or position)  
Steve Flint Custom Homes, Inc. \_\_\_\_\_ (company)  
1410 N Hill Field Road, Suite 1 \_\_\_\_\_ (address)  
Layton, UT 84040 \_\_\_\_\_ (city, state, zip)  
801-779-1807 \_\_\_\_\_ (phone)

By signing this authorization, I confirm that I meet the requirements to make such a designation as set forth in (Reference **UTRH88053**), and that the designee above meets the definition of a “duly authorized representative” as set forth in (Reference **UTRH88053**).

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

**Name:** Steven Flint

**Company:** Steve Flint Custom Homes, Inc.

**Title:** Pres/CEO

**Signature:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Steven  
Flint**

Digitally signed by Steven Flint  
DN: cn=Steven Flint, o=Steve  
Flint Custom Homes, Inc., ou,  
email=steve@flintcustom.cpom  
, c=US  
Date: 2018.08.27 11:19:35  
-06'00'

---

## Appendix H – *Beardall Residence* SWPPP Training Log

### Stormwater Pollution Prevention Training Log

Project Name: **Beardall Residence**

Project Location: **5787 East 2500 North, Eden, UT**

Instructor's Name(s): **Scott Birch**

Instructor's Title(s): **Registered Storm Water Inspector**

Course Location: \_\_\_\_\_ Date: \_\_\_\_\_

Course Length (hours): \_\_\_\_\_

Stormwater Training Topic: *(check as appropriate)*

- Erosion Control BMPs
- Emergency Procedures
- Sediment Control BMPs
- Good Housekeeping BMPs
- Non-Stormwater BMPs

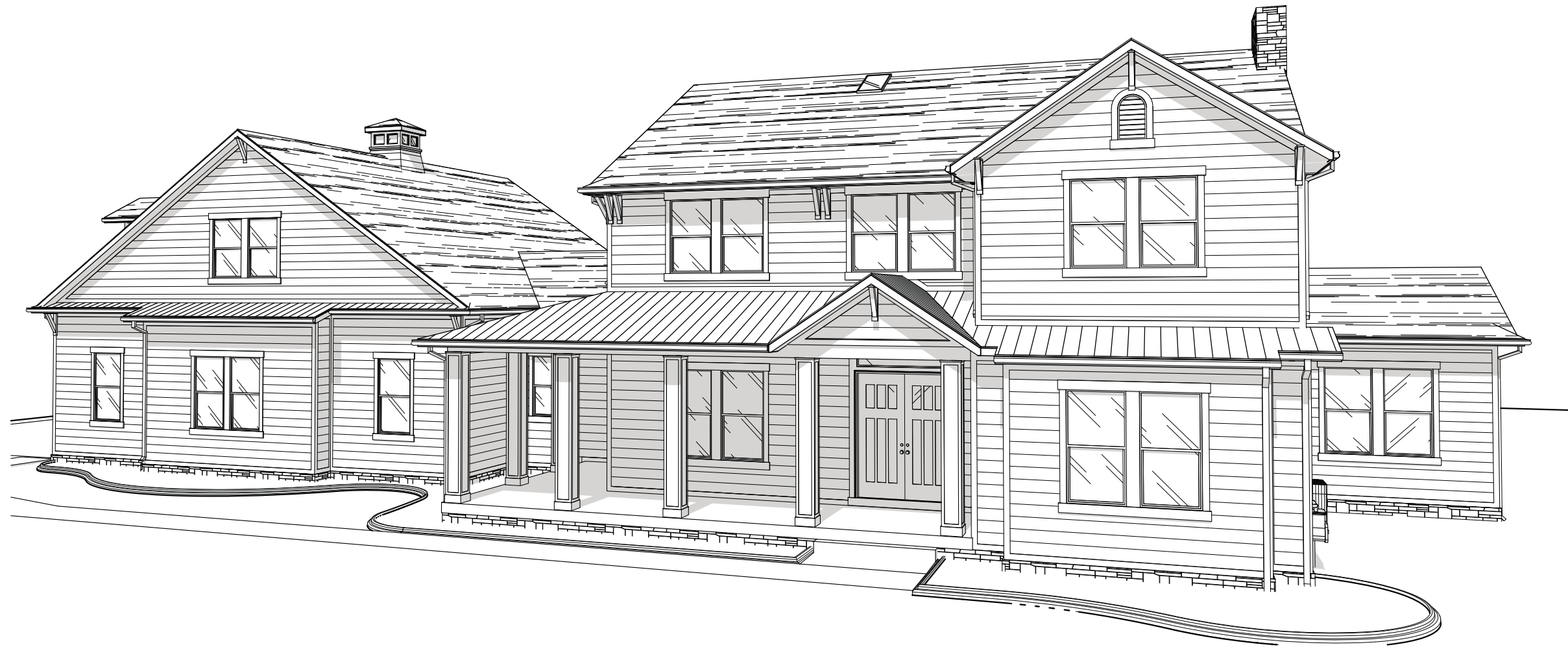
Specific Training Objective: \_\_\_\_\_

---

Attendee Roster: *(attach additional pages as necessary)*

No.	Name of Attendee	Company
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

# APPENDIX I - CONST PLANS



## SHEET INDEX

- AA01 COVER SHEET
- AA02 GENERAL NOTES
- AA03 SITE PLAN
- AA04 FRONT & REAR ELEVATIONS
- AA05 RIGHT & LEFT ELEVATIONS
- AA06 POOL & PAVILION ELEVATIO...
- AA07 FOUNDATION PLAN HOUSE
- AA08 FOUNDATION PLAN BARN & ...
- AA09 CRAWLSPACE PLAN
- AA10 MAIN FLOOR JOIST
- AA11 MAIN FLOOR PLAN HOUSE
- AA12 MAIN FLOOR PLAN BARN & ...
- AA13 UPPER FLOOR JOIST
- AA14 UPPER FLOOR PLAN
- AA15 ROOF PLAN HOUSE
- AA16 ROOF PLAN BARN & PAVILION
- AA17 CRAWLSPACE ELECTRICAL
- AA18 MAIN ELECTRICAL HOUSE
- AA19 MAIN ELECTRICAL BARN & ...
- AA20 UPPER ELECTRICAL
- AA21 MAIN FLOORING
- AA22 UPPER FLOORING
- AA23 WALL SECTION
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS
- SD3 STRUCTURAL DETAILS

PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2800 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

PROJECT NAME:  
FCH-CUSTOM-BEARDALL



GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER

COVER SHEET

## SQUARE FOOTAGES

UNFINISHED SQUARE FOOTAGE		FINISHED SQUARE FOOTAGE		TOTAL SQUARE FOOTAGE		GARAGE SLAB SQUARE FOOTAGE	
(1) COLD STORAGE	372.25	(1) CRAWLSPACE FINIS...	86.53	1 - UNFINISHED	2,770.14	4 CAR GARAGE	1,842.99
(1) CRAWLSPACE UNFIN...	2,397.89	(2) MAIN FINISHED	2,463.19	2 - FINISHED	5,368.38	BARN	1,114.34
	<b>2,770.14 sq ft</b>	(3) BONUS FINISHED	1,046.99		<b>8,138.52 sq ft</b>		2,957.33 sq ft
		(3) UPPER FINISHED	1,771.67				
			<b>5,368.38 sq ft</b>				

## GENERAL NOTES

THE GENERAL CONTRACTOR ASSUMES FULL RESPONSIBILITY TO VERIFY THE CONDITIONS, DIMENSIONS, AND STRUCTURAL DETAILS OF THE BUILDING. THE CONTRACTOR ASSUMES FULL LIABILITY FOR ANY PROBLEMS THAT MAY ARISE DUE TO POSSIBLE ERRORS ON THESE PLANS. USE OF THESE PLANS CONSTITUTES COMPLIANCE WITH THE ABOVE TERMS.

WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED AND THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES TO EXPEDITE THE JOB IN A SMOOTH AND CONTINUOUS PROCESS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE 2015 INTERNATIONAL RESIDENTIAL CODE

UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE.

ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND THE SAFETY IN AND AROUND THE JOB SITE AND OF ADJACENT PROPERTIES.

THE GENERAL CONTRACTOR AND/OR OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE LIMITS OF THE DESIGN BOTH DURING AND AFTER CONSTRUCTION.

COMPLIANCE WITH CODES AND ORDINANCES GOVERNING THE WORK SHALL BE MADE AND ENFORCED BY THE GENERAL CONTRACTOR.

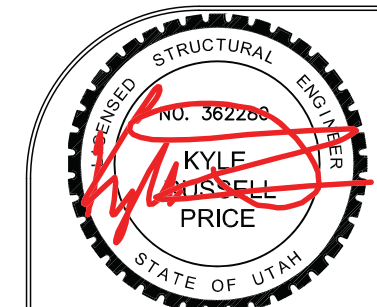
NOTE THAT ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF MATERIALS SHALL BE FOLLOWED.

## CEILING HEIGHTS

(3) UPPER CEILINGS	9'-1 1/8"
(2) MAIN CEILINGS	10'-1 1/8"
(1) CRAWLSPACE CEILINGS	6'-9 1/2"

SEWER/SEPTIC

SEPTIC



08/03/2018

DATE: 8/3/18

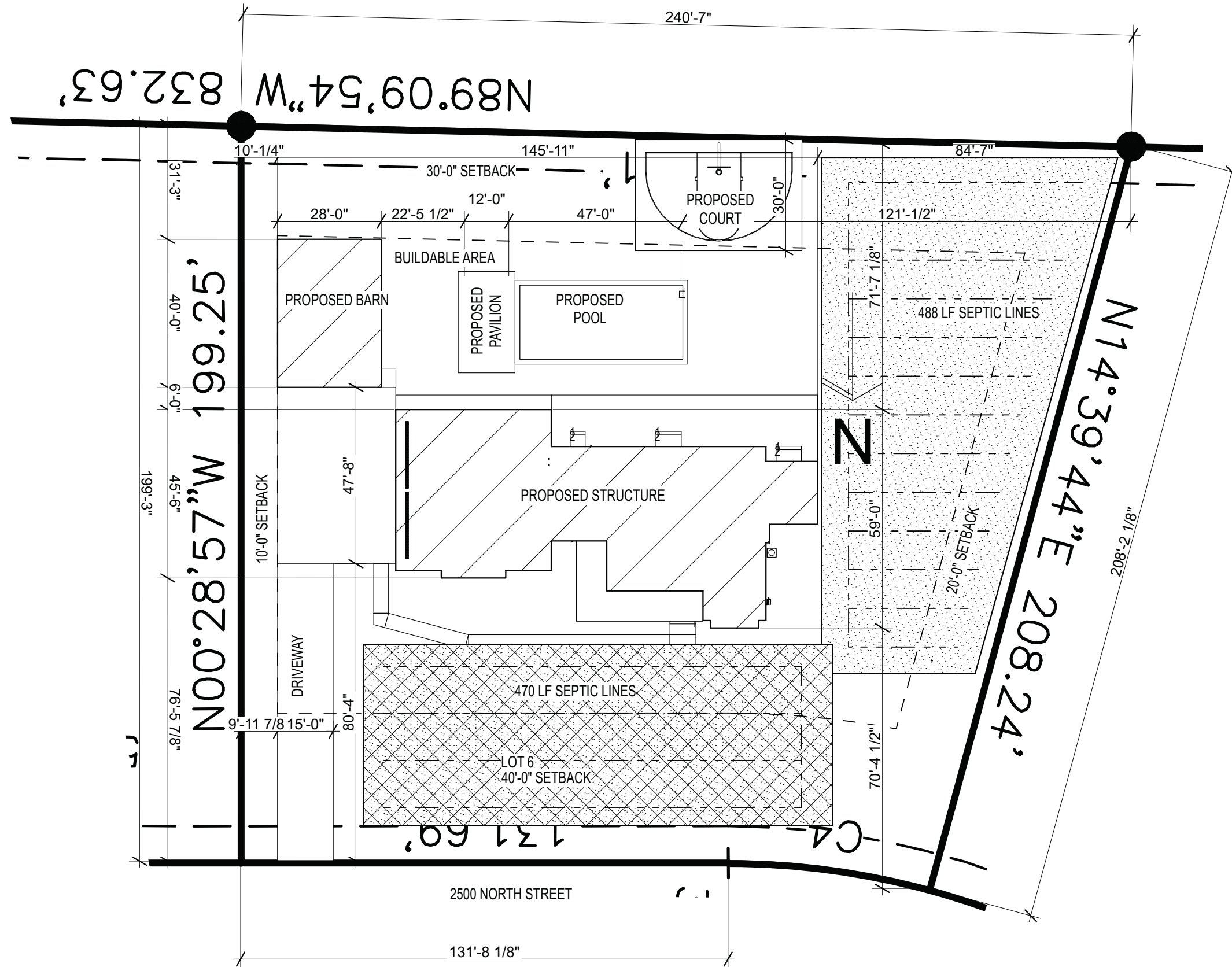
REVISION: R-7E

SCALE: N/A

# AA01

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITH OUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. OR SENECA DESIGN L.L.C. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY, AND WILL DIFFER FROM THE FINAL PRODUCT.

# APPENDIX I - CONST PLANS



DATE: 8/3/18  
 REVISION: R-7E  
 SCALE: 1" = 30'

## AA03



GENERAL CONTRACTOR:  
 FLINT CUSTOM HOMES

ENGINEER:  
 ENGINEERING COMPANY  
 PHONE NUMBER

SITE PLAN

PROJECT NAME:  
 FCH-CUSTOM-BEARDALL

CLIENT:  
 BEARDALL

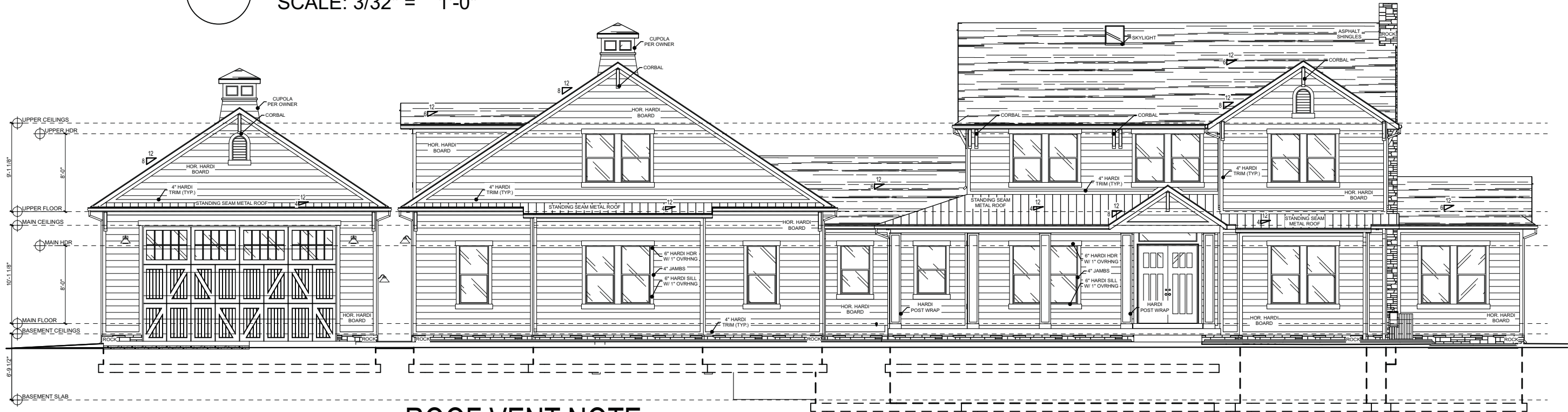
PROJECT ADDRESS  
 SANDHILL CRANE CLUSTER  
 LOT #6  
 5787 EAST 2500 NORTH  
 WEBER COUNTY, UT

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY, AND WILL DIFFER FROM THE FINAL PRODUCT. DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW.

# APPENDIX I - CONST PLANS

AA

FRONT ELEVATION  
SCALE: 3/32" = 1'-0"

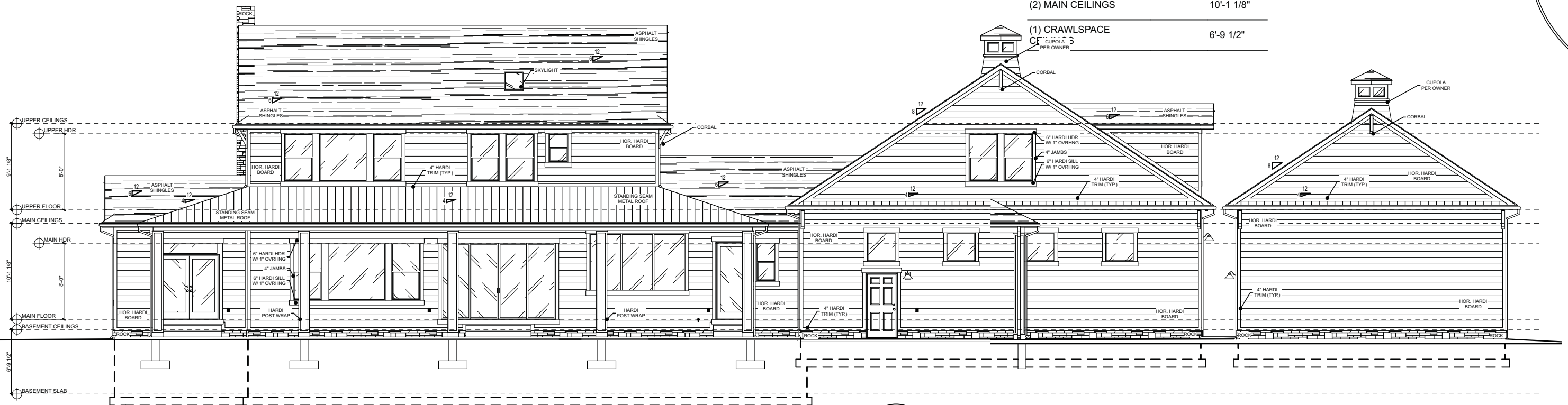


## ROOF VENT NOTE:

SEE PAGE A02, LIGHT AND VENTILATION NOTES,  
PARAGRAPH #9

### CEILING HEIGHTS

(3) UPPER CEILINGS	9'-1 1/8"
(2) MAIN CEILINGS	10'-1 1/8"
(1) CRAWLSPACE	6'-9 1/2"



AA

REAR ELEVATION  
SCALE: 3/32" = 1'-0"

DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

AA04

PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2500 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

PROJECT NAME:  
FCH-CUSTOM-BEARDALL



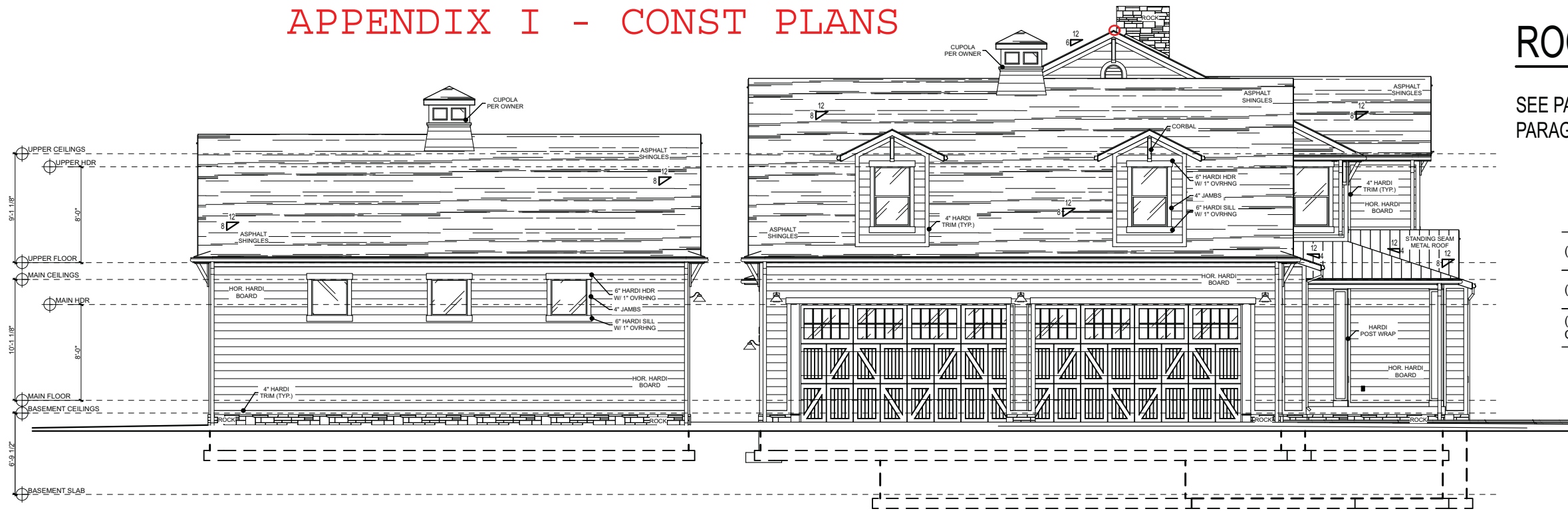
GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER

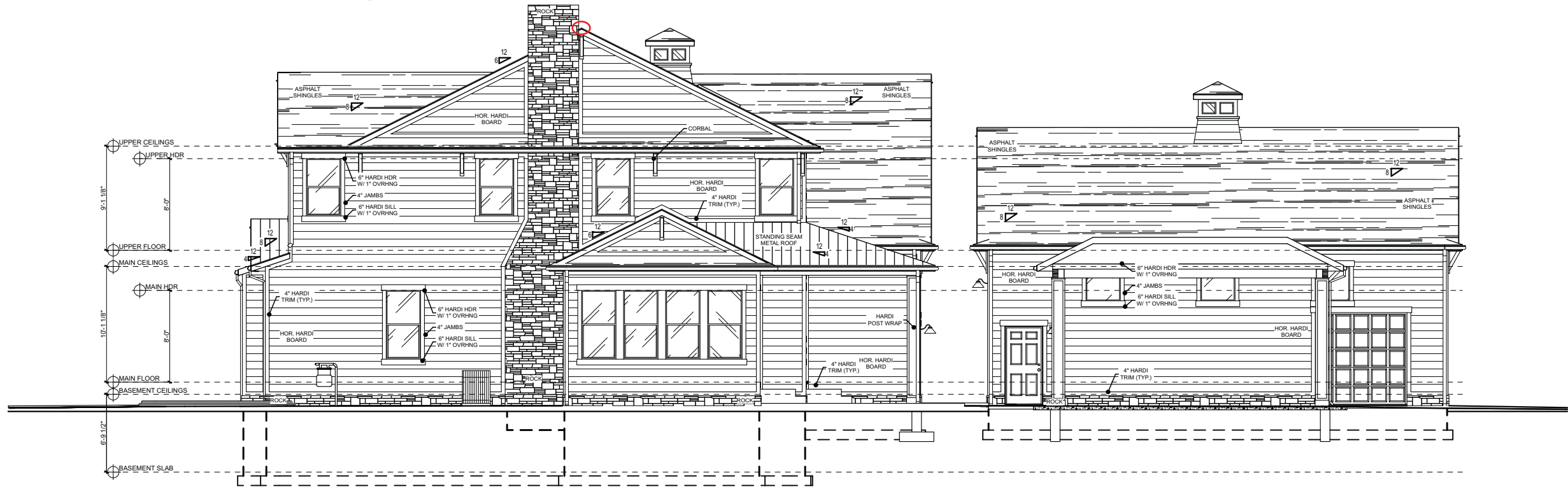
FRONT & REAR ELEVATIONS

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN, L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN, L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITH OUT THE EXPRESS PERMISSION OF SENECA DESIGN, L.L.C. OR SENECA DESIGN, L.L.C. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY, AND WILL DIFFER FROM THE FINAL PRODUCT.

# APPENDIX I - CONST PLANS



AA LEFT ELEVATION  
SCALE: 3/32" = 1'-0"



AA RIGHT ELEVATION  
SCALE: 3/32" = 1'-0"

## ROOF VENT NOTE:

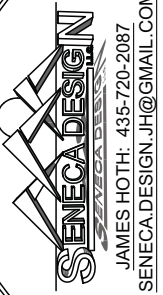
SEE PAGE A02, LIGHT AND VENTILATION NOTES, PARAGRAPH #9

CEILING HEIGHTS	
(3) UPPER CEILINGS	9'-1 1/8"
(2) MAIN CEILINGS	10'-1 1/8"
(1) CRAWLSPACE CEILINGS	6'-9 1/2"

PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2500 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

PROJECT NAME:  
FCH-CUSTOM-BEARDALL



JAMES HOTTH: 435-720-2087  
SENECA.DESIGN.JH@GMAIL.COM

GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER

RIGHT & LEFT ELEVATIONS

DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

# AA05

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITH OUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. SENECA DESIGN L.L.C. PERMITS THE REPRODUCTION OF THIS DRAWING FOR THE PROJECT SHOWN ONLY. ANY OTHER REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. IS STRICTLY PROHIBITED. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY AND WILL DIFFER FROM THE FINAL PRODUCT. DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW.



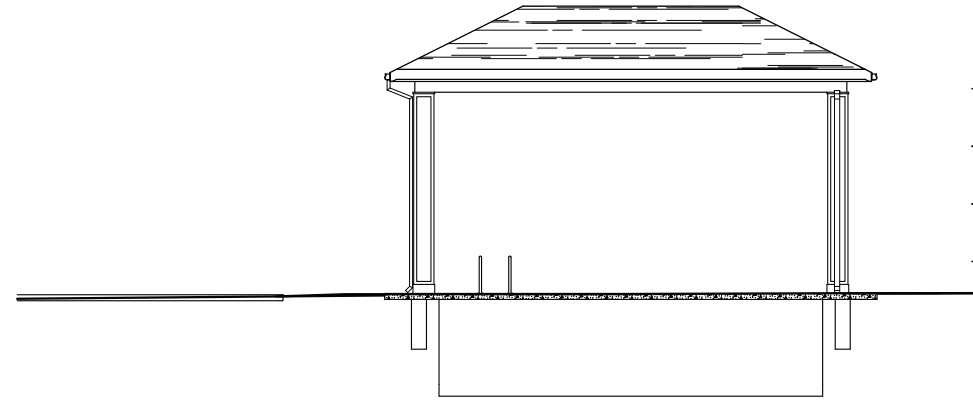
# APPENDIX I - CONST PLANS

## ROOF VENT NOTE:

SEE PAGE A02, LIGHT AND VENILATION NOTES, PARAGRAPH #9



AA FRONT POOL & PAVILION ELEVATION  
SCALE: 3/32" = 1'-0"

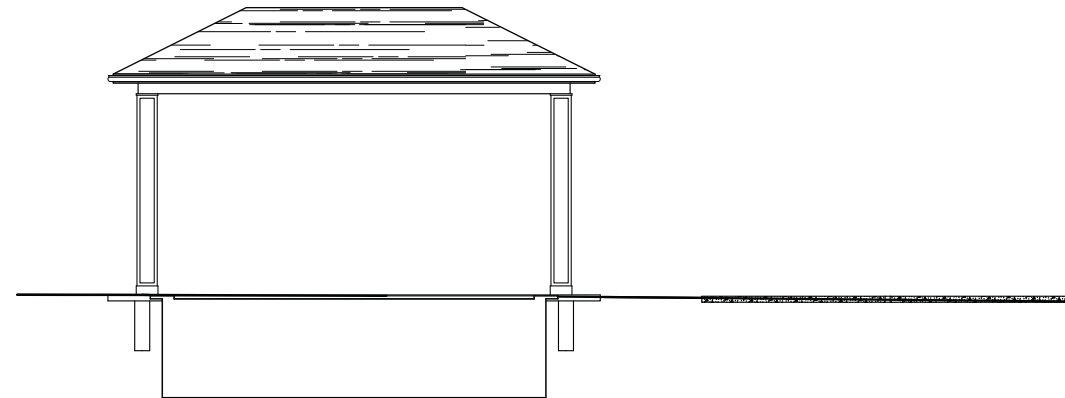


AA LEFT POOL & PAVILION ELEVATION  
SCALE: 3/32" = 1'-0"

CEILING HEIGHTS	
(3) UPPER CEILINGS	9'-1 1/8"
(2) MAIN CEILINGS	10'-1 1/8"
(1) CRAWLSPACE CEILINGS	6'-9 1/2"



AA REAR POOL & PAVILION ELEVATION  
SCALE: 3/32" = 1'-0"



AA RIGHT POOL & PAVILION ELEVATION  
SCALE: 3/32" = 1'-0"

PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2800 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

PROJECT NAME:  
FCH-CUSTOM-BEARDALL



JAMES HOTTH: 435-720-2087  
SENECA.DESIGN.JH@GMAIL.COM

GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER

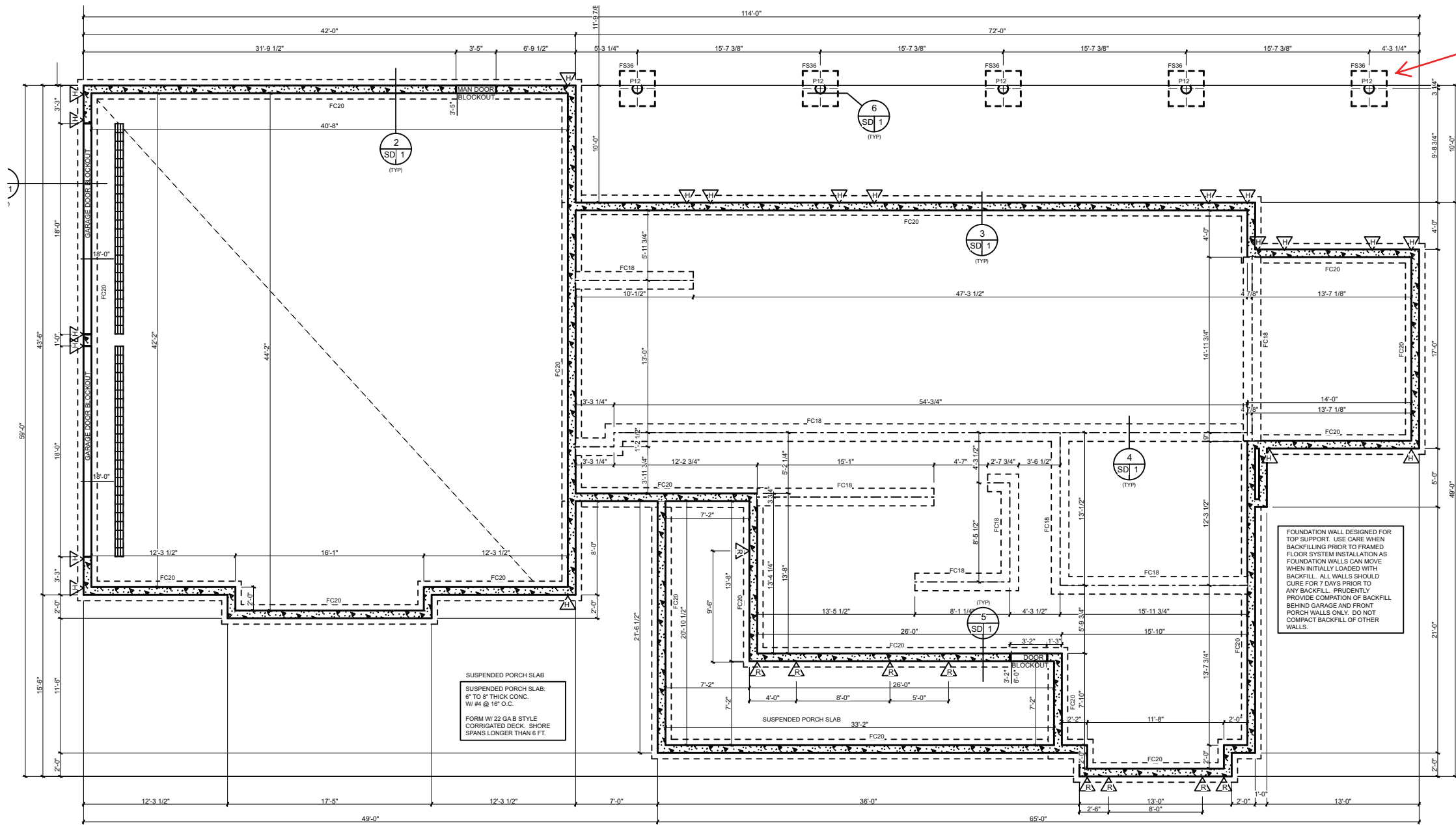
POOL & PAVILION ELEVATIONS

DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

**AA06**

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITH OUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. OR SENECA DESIGN L.L.C. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY, AND WILL DIFFER FROM THE FINAL PRODUCT. DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW.

Top of Columns to be Just Under Patio Slab



# APPENDIX I - CONST PLANS

## SPOT FOOTING NOTE:

ALL SPOT FOOTINGS ARE DIMENSIONED TO THE CENTER OF THE FOOTING.

ALL SPOT FOOTING DIMENSIONS ARE TO BE PULLED FROM THE FINISHED FRAMING (EXTERIOR SHEATHING) NOT THE FOUNDATION

## FOUNDATION BOLTS NOTE:

FOR BRICK AND STONE PLACEMENT SEE ELEVATIONS AND FLOOR PLAN

**BRICK**  
BOLTS ON INSIDE OF FOUNDATION WALL

**STONE**  
BOLTS CENTERED IN FOUNDATION WALL

**NO BRICK OR STONE**  
IF THERE IS NO BRICK OR STONE PLACE BOLTS ON THE OUTSIDE OF THE FOUNDATION WALL.

FOOTING SCHEDULE				
SPEC	CONTINUOUS SECTION SIZE	REINFORCEMENT		
	DEPTH	WIDTH	CONTINUOUS	TRANSVERSE
FC18	18"	18"	(2) #4	NONE
FC20	10"	20"	(2) #4	NONE
FC30	54"	30" (DIA)	(2) #4 EA WAY BOTTOM	
SPEC	SPOT SIZE, 10" DEPTH	REINFORCEMENT		
	LENGTH	WIDTH	LONGWISE	SHORTWISE
FS36	36"	36"	(4) #4	(4) #4

NOTES

1. PROVIDE REINF. STEEL 3" FROM BOTTOM OF FOOTINGS.
2. PROVIDE CONT. BENT STEEL AROUND CORNERS AND LAP WALL STEEL 24" MIN.
3. PROVIDE A 24" MIN. LAP FOR ALL STEEL.
4. FOOTINGS NEED NOT BE CONTINUOUS THRU FOUNDATION STEPS U.N.O.
5. SCHEDULE SHOWN APPLICABLE TO APPLIED PLAN ONLY.
6. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS: PROVIDE "HOOKED" VERTICAL REINFORCEMENT EMBEDDED IN FOOTING 6" AND EXTENDING OUT OF FOOTING 24" TO LAP FOUNDATION WALL REINFORCEMENT. VERTICAL EMBEDDED REINFORCEMENT TO MATCH FOUNDATION WALL VERTICAL SPACING SPECIFICATION

PIER SCHEDULE			
SPEC	CONTINUOUS SECTION SIZE	REINFORCEMENT	
	DIA.	SQUARE OPTION	VERTICAL TIES
P12	12"	12" X 12" MIN.	(4) #4 #3 @ 12" O.C.

NOTES

1. EMBED VERTICAL REINFORCEMENT INTO PIER FOOTING 5" MIN.
2. ALL VERTICAL REINFORCEMENT WITH TIES. TIES SHALL WRAP THE OUTSIDE OF VERTICAL REINFORCEMENT ONCE AND WITH EACH END WRAPPING WITH A 270 DEGREE BEND AND TERMINATING ON THE SAME VERTICAL BAR.

FOUNDATION WALL SCHEDULE				
SPEC	DESCRIPTION			
	FND8 8" THICK CONTINUOUS (TYPICAL U.N.O.)			
HEIGHTS	REINFORCEMENT (O.C.)	OPENING LINTELS		
	VERTICAL	HORIZONTAL	MAX SPAN	MIN DEPTH
2'-0"	#4 @ 32"	(2) #4	2'-0"	6"
3'-0"	#4 @ 32"	(3) #4	2'-0"	6"
4'-0"	#4 @ 32"	(3) #4	2'-0"	6"
4'-0"	#4 @ 24"	(3) #4	3'-0"	6"
5'-0"	#4 @ 24"	(5) #4	3'-0"	12"
5'-0"	#4 @ 18"	(7) #4	3'-0"	12"
10'-0"	#4 @ 10"	#4 @ 10"	6'-0"	12"

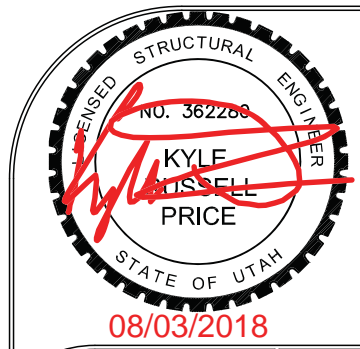
NOTES

1. PROVIDE REINF. STEEL WITHIN 4" OF TOP & BOTTOM OF WALL AND WITHIN 2" OF OPENINGS.
2. PROVIDE (2) #4 ABOVE OPENINGS, AND (1) #4 EACH SIDE AND BELOW.
3. PROVIDE 3" OF MIN. CONC. COVER FOR ALL REINF. STEEL.
4. PROVIDE CONT. BENT STEEL AROUND CORNERS AND LAP WALL STEEL PER SCHEDULE #4 - 18" MIN. #5 - 20" MIN.)
5. PROVIDE A 24" MIN. LAP FOR ANY STEEL IF NOT NOTED.
6. ALL STEEL IS CENTERED WITHIN THE WALL THICKNESS U.N.O. OR ON DETAILING
7. EMBEDDED PIPES SHOULD HAVE A MAX. DIA. OF 2-1/2"
8. DO NOT BACKFILL FOUNDATION WALL UNTIL CONC. FLOOR SLAB IS IN PLACE AND CURED FOR 7 OR MORE DAYS.
9. SCHEDULE SHOWN APPLICABLE TO APPLIED PLAN ONLY.

ANCHOR BOLTS & HOLDOWNS	
ANCHOR BOLTS U.N.O.	
1/2" DIA. X 10" L, A307 1/2" BOLTS @ 32" O.C. U.N.O. PROVIDE AN EMBEDMENT OF 7"	
PROVIDE (2) A.B. MIN. PER WALL W/ (1) EA. FOUND. WALL END MIN. (2 PER CORNER).	
PROVIDE 3" X 3" X 1/4" (MIN.) PLATE WASHERS EA. BOLT. WASHERS W/ 1-3/4" LONG SLOTTED HOLES ARE PERMITTED IF IT IS TOPPED WITH A SECOND STANDARD WASHER.	
HOLDOWN CAST IN STRAPS OR POST INSTALLED TIES:	
	SIMPSON RLSTHD14(R) CAST IN PLACE. (22 TYP)
	SIMPSON #HTS (ALTERNATIVE TO STRAP ABOVE) W/ 5/8" DIA. THREADED ROD EMBEDDED & EPOXIED 16" DEEP INTO TOP OF CONCRETE FOUNDATION AND WITHIN 6" OF A VERTICAL FOUNDATION #4 REBAR. PROVIDE SIMPSON SET-XP EPOXY. PROVIDE (2) 2X4 MINIMUM TIE POST. (13 TYP)

ALL FOUNDATION WALLS ARE FND8 U.N.O.	
ALL CONTINUOUS FOUNDATION WALL FOOTINGS ARE FC20 U.N.O.	
ALL CONTINUOUS INTERIOR FOOTINGS ARE FC18 U.N.O.	
30"	MINIMUM FROST DEPTH
6"	MINIMUM FINISH GRADE TO TOP OF FOUND.

SEE SHEET SDS FOR CONCRETE & REINFORCEMENT SPECIFICATIONS, AND SOIL DESIGN ASSUMPTIONS



DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

# AA07

PROJECT ADDRESS: SANDHILL CRANE CLUSTER LOT #6 5787 EAST 2600 NORTH WEBER COUNTY, UT

CLIENT: BEARDALL

PROJECT NAME: FCH-CUSTOM-BEARDALL

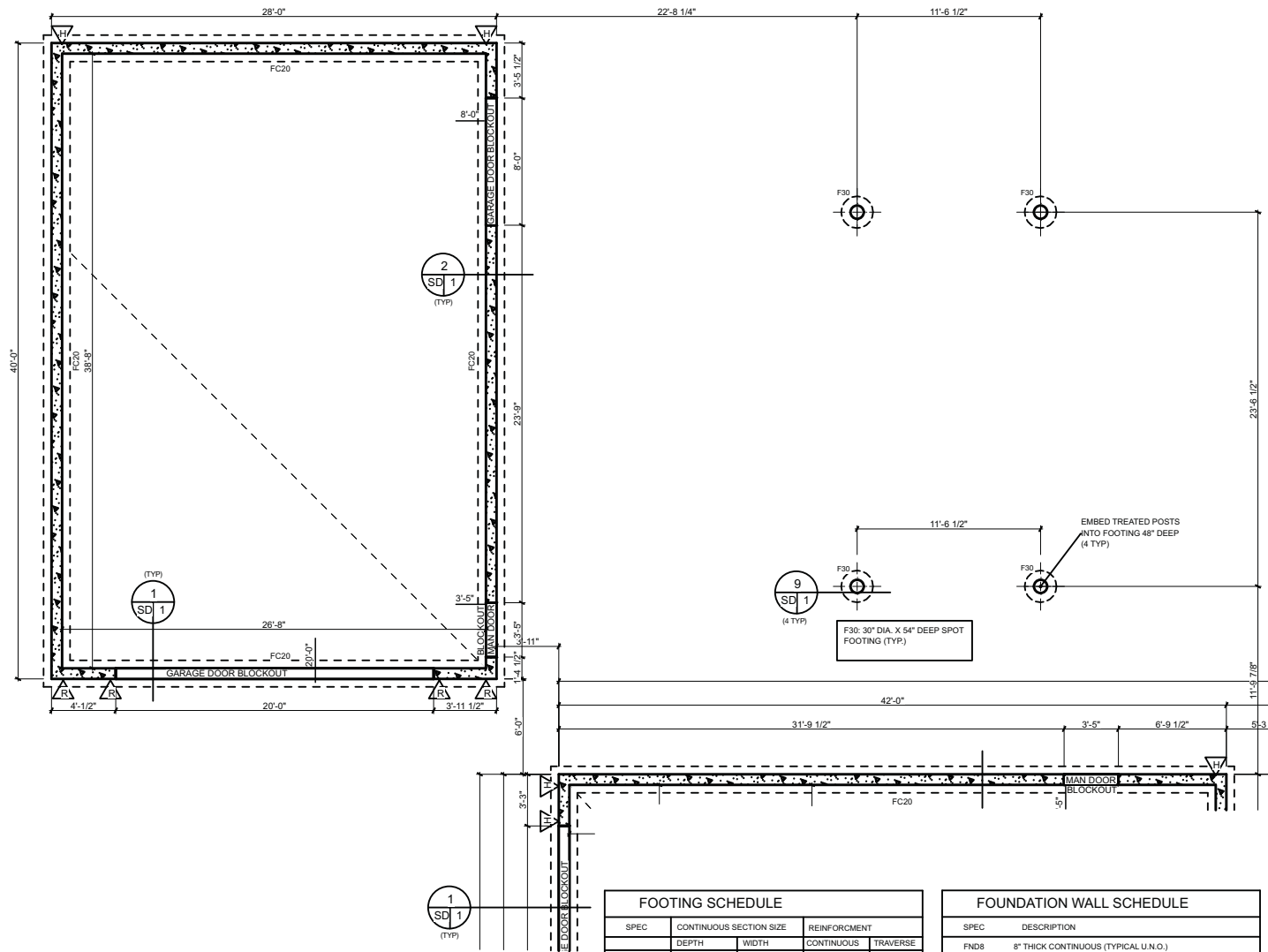
GENERAL CONTRACTOR: FLINT CUSTOM HOMES

ENGINEER: ENGINEERING COMPANY PHONE NUMBER

FOUNDATION PLAN HOUSE

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. ANY REVISIONS OR CHANGES TO THESE DESIGNS AND DRAWINGS SHALL BE MADE BY SENECA DESIGN L.L.C. ONLY. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY AND WILL DIFFER FROM THE FINAL PRODUCT. DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW.

# APPENDIX I - CONST PLANS



## FOUNDATION BOLTS NOTE:

FOR BRICK AND STONE PLACEMENT SEE ELEVATIONS AND FLOOR PLAN

**BRICK**  
BOLTS ON INSIDE OF FOUNDATION WALL

**STONE**  
BOLTS CENTERED IN FOUNDATION WALL

**NO BRICK OR STONE**  
IF THERE IS NO BRICK OR STONE PLACE BOLTS ON THE OUTSIDE OF THE FOUNDATION WALL.

## SPOT FOOTING NOTE:

ALL SPOT FOOTINGS ARE DIMENSIONED TO THE CENTER OF THE FOOTING.

ALL SPOT FOOTING DIMENSIONS ARE TO BE PULLED FROM THE FINISHED FRAMING (EXTERIOR SHEATHING) NOT THE FOUNDATION

**FOOTING SCHEDULE**

SPEC	CONTINUOUS SECTION SIZE		REINFORCEMENT	
	DEPTH	WIDTH	CONTINUOUS	TRAVERSE
FC18	10"	18"	(2) #4	NONE
FC20	10"	20"	(2) #4	NONE
F30	54"	30" (DIA)	(2) #4 EA WAY BOTTOM	

SPEC	SPOT SIZE, 10" DEPTH		REINFORCEMENT	
	LENGTH	WIDTH	LONGWISE	SHORTWISE
FS36	36"	36"	(4) #4	(4) #4

- NOTES**
1. PROVIDE REINF. STEEL 3" FROM BOTTOM OF FOOTINGS.
  2. PROVIDE CONT. BENT STEEL AROUND CORNERS AND LAP WALL STEEL 24" MIN.
  3. PROVIDE A 24" MIN. LAP FOR ALL STEEL.
  4. FOOTINGS NEED NOT BE CONTINUOUS THRU FOUNDATION STEPS U.N.O.
  5. SCHEDULE SHOWN APPLICABLE TO APPLIED PLAN ONLY.
  6. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS: PROVIDE "HOOKED" VERTICAL REINFORCEMENT EMBEDDED IN FOOTING 6" AND EXTENDING OUT OF FOOTING 24" TO LAP FOUNDATION WALL REINFORCEMENT. VERTICAL EMBEDDED REINFORCEMENT TO MATCH FOUNDATION WALL VERTICAL SPACING SPECIFICATION

**PIER SCHEDULE**

SPEC	CONTINUOUS SECTION SIZE		REINFORCEMENT	
	DIA.	SQUARE OPTION	VERTICAL	TIES
P12	12"	12" X 12" MIN.	(4) #4	#3 @ 12" O.C.

- NOTES**
1. EMBED VERTICAL REINFORCEMENT INTO PIER FOOTING 5" MIN.
  2. ALL VERTICAL REINFORCEMENT WITH TIES: TIES SHALL WRAP THE OUTSIDE OF VERTICAL REINFORCEMENT ONCE AND WITH EACH END WRAPPING WITH A 270 DEGREE BEND AND TERMINATING ON THE SAME VERTICAL BAR.

**FOUNDATION WALL SCHEDULE**

SPEC	DESCRIPTION		OPENING LINTELS	
	HEIGHTS	REINFORCEMENT (O.C.)	MAX SPAN	MIN DEPTH
FND8	8" THICK CONTINUOUS (TYPICAL U.N.O.)	VERTICAL		
		HORIZONTAL		
2'-0"	#4 @ 32"	(2) #4	2'-0"	6"
3'-0"	#4 @ 32"	(3) #4	2'-0"	6"
4'-0"	#4 @ 24"	(4) #4	3'-0"	6"
6'-0"	#4 @ 24"	(5) #4	3'-0"	6"
8'-0"	#4 @ 24"	(6) #4	5'-0"	12"
9'-0"	#4 @ 16"	(7) #4	6'-0"	12"
10'-0"	#4 @ 10"	#4 @ 10"	6'-0"	12"

- NOTES**
1. PROVIDE REINF. STEEL WITHIN 4" OF TOP & BOTTOM OF WALL AND WITHIN 2" OF OPENINGS.
  2. PROVIDE (2) #4 ABOVE OPENINGS, AND (1) #4 EACH SIDE AND BELOW.
  3. PROVIDE 3" OF MIN. CONC. COVER FOR ALL REINF. STEEL.
  4. PROVIDE CONT. BENT STEEL AROUND CORNERS AND LAP WALL STEEL PER SCHEDULE (#4 - 16" MIN, #5 - 20" MIN)
  5. PROVIDE A 24" MIN. LAP FOR ANY STEEL IF NOT NOTED.
  6. ALL STEEL IS CENTERED WITHIN THE WALL THICKNESS U.N.O. OR ON DETAILING
  7. EMBEDDED PIPES SHOULD HAVE A MAX. DIA. OF 2'-1/2"
  8. DO NOT BACKFILL FOUNDATION WALL UNTIL CONC. FLOOR SLAB IS IN PLACE AND CURED FOR 7 OR MORE DAYS.
  9. SCHEDULE SHOWN APPLICABLE TO APPLIED PLAN ONLY.

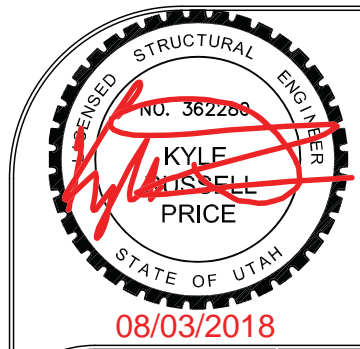
**ANCHOR BOLTS & HOLDOWNS**

- ANCHOR BOLTS U.N.O.
- 1/2" DIA. X 10" L307 "J" BOLTS @ 32" O.C. U.N.O.  
PROVIDE AN EMBEDMENT OF 7"  
PROVIDE (2) A.B. MIN. PER WALL W/ (1) EA. FOUND. WALL END MIN. (2 PER CORNER)  
PROVIDE 3" X 3" X 1/4" (MIN.) PLATE WASHERS EA. BOLT.  
WASHERS W/ 1-3/4" LONG SLOTTED HOLES ARE PERMITTED IF IT IS TOPPED WITH A SECOND STANDARD WASHER.
- HOLDOWN CAST IN STRAPS OR POST INSTALLED TIES:
- ▽ SIMPSON #LSTHD14(RJ) CAST IN PLACE (22 TYP.)
  - ▽ SIMPSON #HTTS (ALTERNATIVE TO STRAP ABOVE) W/ 5/8" DIA THREADED ROD EMBEDDED & EPOWKED 16" DEEP INTO TOP OF CONCRETE FOUNDATION AND WITHIN 6" OF VERTICAL FOUNDATION #4 REBAR. PROVIDE SIMPSON SET-XP EPOXY. PROVIDE (2) 2X4 MINIMUM TIE POST. (13 TYP.)

ALL FOUNDATION WALLS ARE FND8 U.N.O.  
ALL CONTINUOUS FOUNDATION WALL FOOTINGS ARE FC20 U.N.O.  
ALL CONTINUOUS INTERIOR FOOTINGS ARE FC18 U.N.O.

30"	MINIMUM FROST DEPTH
6"	MINIMUM FINISH GRADE TO TOP OF FOUND.

SEE SHEET SD3 FOR CONCRETE & REINFORCEMENT SPECIFICATIONS, AND SOIL DESIGN ASSUMPTIONS



DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

# AA08

**PROJECT ADDRESS:**  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2500 NORTH  
WEBER COUNTY, UT

**CLIENT:**  
BEARDALL

**PROJECT NAME:**  
FCH-CUSTOM-BEARDALL

**GENERAL CONTRACTOR:**  
FLINT CUSTOM HOMES

**ENGINEER:**  
ENGINEERING COMPANY  
PHONE NUMBER

**FOUNDATION PLAN BARN & PAVILION**

**SENeca DESIGN**  
JAMES HOTTH: 435-720-2087  
SENeca.DESIGN.JH@GMAIL.COM

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENeca DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENeca DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITH OUT THE EXPRESS PERMISSION OF SENeca DESIGN L.L.C. OR SENeca DESIGN L.L.C. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY, AND WILL DIFFER FROM THE FINAL PRODUCT.

# SQUARE FOOTAGES

UNFINISHED SQUARE FOOTAGE	FINISHED SQUARE FOOTAGE	TOTAL SQUARE FOOTAGE	GARAGE SLAB SQUARE FOOTAGE
(1) COLD STORAGE 372.25	(1) CRAWLSPACE FINIS... 86.53	1 - UNFINISHED 2,770.14	4 CAR GARAGE 1,842.99
(1) CRAWLSPACE UNFIN... 2,397.89	(2) MAIN FINISHED 2,463.19	2 - FINISHED 5,368.38	BARN 1,114.34
<b>2,770.14 sq ft</b>	(3) BONUS FINISHED 1,046.99	<b>8,138.52 sq ft</b>	2,957.33 sq ft
	(3) UPPER FINISHED 1,771.67		
	<b>5,368.38 sq ft</b>		

## CEILING HEIGHTS

(3) UPPER CEILINGS	9'-1 1/8"
(2) MAIN CEILINGS	10'-1 1/8"
(1) CRAWLSPACE CEILINGS	6'-9 1/2"

SEWER/SEPTIC      SEPTIC

## DIMENSION NOTE:

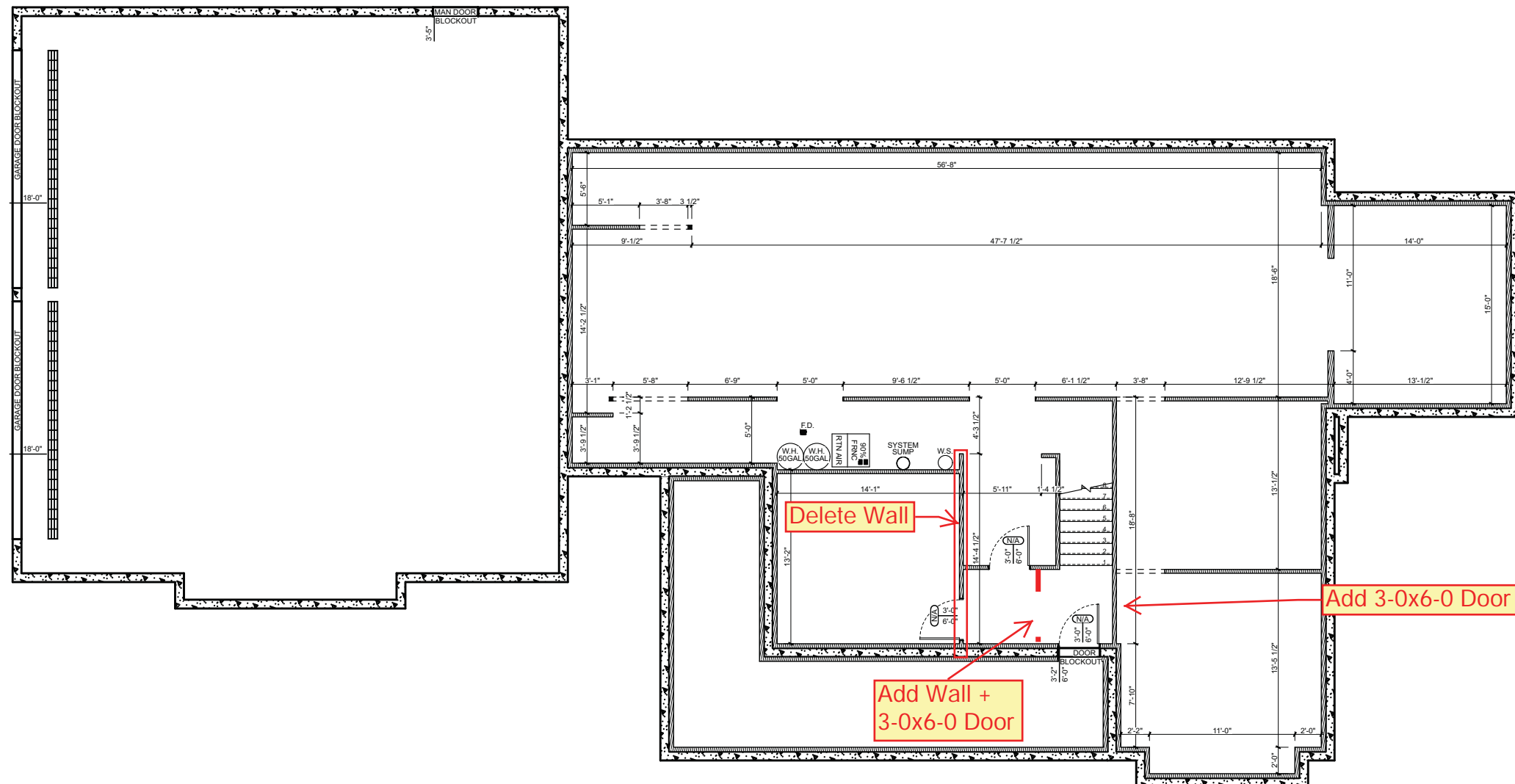
ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF STUD WALL. NOT THE OUTSIDE OF THE SHEATHING.

**WINDOW TYPE NOTE**  
ALL SLIDERS AND SINGLE HUNG WINDOWS ARE ASSUMED TO OPEN 50% UNLESS NOTED OTHERWISE INDICATED

### KEY TO TYPE

SH = SINGLE HUNG      S = SLIDER  
C = CASEMENT      F = FIXED  
SH2 = SINDGLE HUNG (x2)      A = AWNING

## APPENDIX I - CONST PLANS



PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2800 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

PROJECT NAME:  
FCH-CUSTOM-BEARDALL



GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER

CRAWLSPACE PLAN

DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

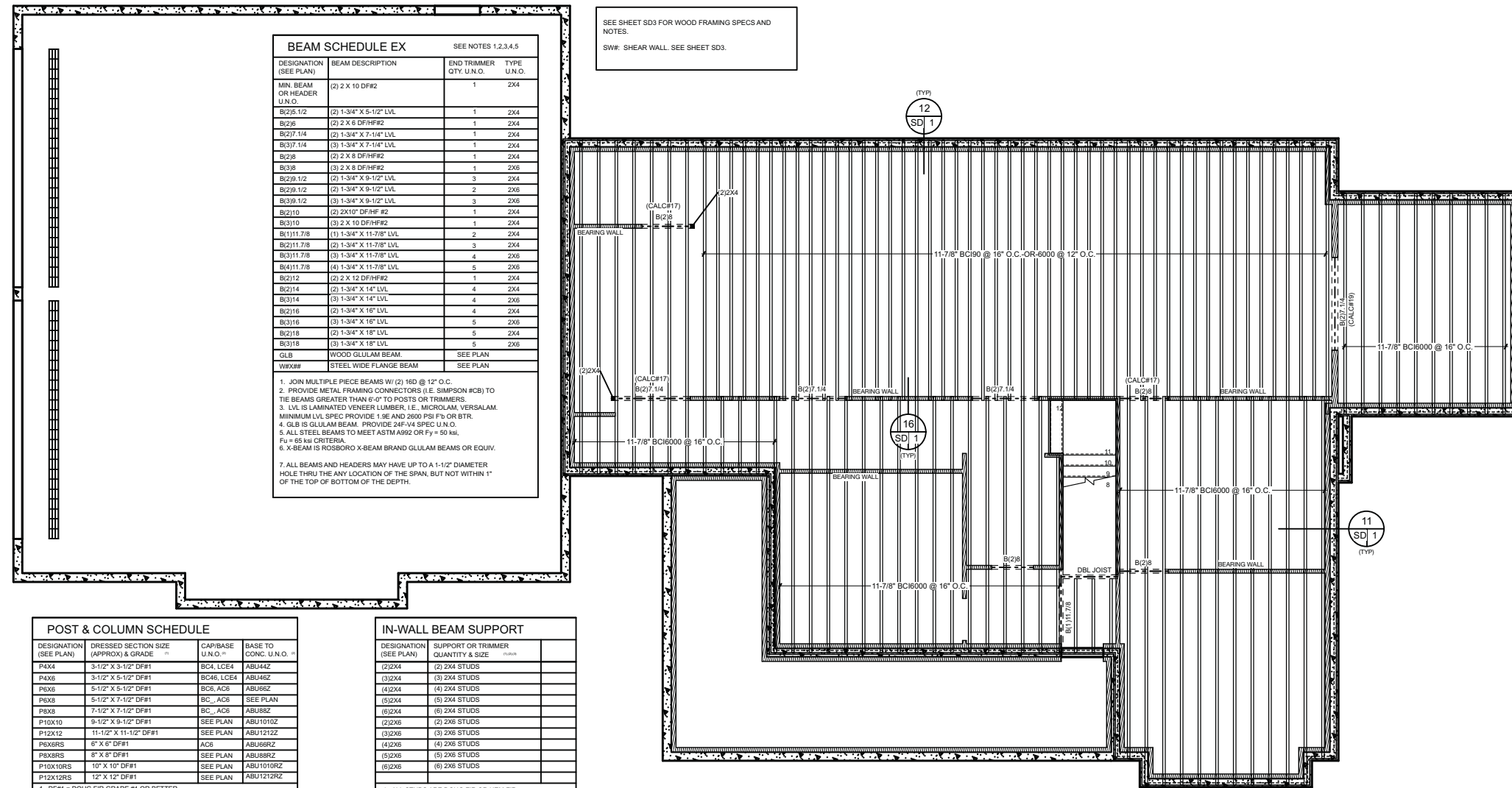
**AA09**

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY, AND WILL DIFFER FROM THE FINAL PRODUCT.

# FLOOR JOIST PLUMBING NOTE:

ALL FLOOR JOIST TO BE SPACED TO MISS PLUMBING AND DRAINS. IF A DISTANCE IS SPECIFIED ON THE PLAN YOU MUST START THE JOISTS FROM THE DESIGNATED START POINT WITH THE FIRST JOIST PLACED AT THE DESIGNATED DISTANCE.

## APPENDIX I - CONST PLANS



BEAM SCHEDULE EX		SEE NOTES 1,2,3,4,5	
DESIGNATION (SEE PLAN)	BEAM DESCRIPTION	END TRIMMER QTY. U.N.O.	TYPE U.N.O.
MIN. BEAM OR HEADER U.N.O.	(2) 2 X 10 DF#2	1	2X4
BQ25.1/2	(2) 1-3/4" X 5-1/2" LVL	1	2X4
BQ26	(2) 2 X 6 DF/HF#2	1	2X4
BQ27.1/4	(2) 1-3/4" X 7-1/4" LVL	1	2X4
BQ37.1/4	(3) 1-3/4" X 7-1/4" LVL	1	2X4
BQ28	(2) 2 X 8 DF/HF#2	1	2X4
BQ38	(3) 2 X 8 DF/HF#2	1	2X6
BQ29.1/2	(2) 1-3/4" X 9-1/2" LVL	3	2X4
BQ29.1/2	(2) 1-3/4" X 9-1/2" LVL	2	2X6
BQ39.1/2	(3) 1-3/4" X 9-1/2" LVL	3	2X6
BQ210	(2) 2X10 DF/HF#2	1	2X4
BQ310	(3) 2 X 10 DF/HF#2	1	2X4
BQ111.7/8	(1) 1-3/4" X 11-7/8" LVL	2	2X4
BQ211.7/8	(2) 1-3/4" X 11-7/8" LVL	3	2X4
BQ311.7/8	(3) 1-3/4" X 11-7/8" LVL	4	2X6
BQ411.7/8	(4) 1-3/4" X 11-7/8" LVL	5	2X6
BQ212	(2) 2 X 12 DF/HF#2	1	2X4
BQ214	(2) 1-3/4" X 14" LVL	4	2X4
BQ314	(3) 1-3/4" X 14" LVL	4	2X6
BQ216	(2) 1-3/4" X 16" LVL	4	2X4
BQ316	(3) 1-3/4" X 16" LVL	5	2X6
BQ218	(2) 1-3/4" X 18" LVL	5	2X4
BQ318	(3) 1-3/4" X 18" LVL	5	2X6
GLB	WOOD GLULAM BEAM.	SEE PLAN	
WFLX#	STEEL WIDE FLANGE BEAM	SEE PLAN	

- JOIN MULTIPLE PIECE BEAMS W/ (2) 16D @ 12" O.C.
- PROVIDE METAL FRAMING CONNECTORS (I.E. SIMPSON #CB) TO THE BEAMS GREATER THAN 6'-0" TO POSTS OR TRIMMERS.
- LVL IS LAMINATED VENEER LUMBER, I.E. MICRO-LAM, VERSALAM. MINIMUM LVL SPEC PROVIDE 1.9E AND 2600 PSI F<sub>b</sub> OR BTR.
- GLB IS GLULAM BEAM. PROVIDE 24F-V4 SPEC U.N.O.
- ALL STEEL BEAMS TO MEET ASTM A992 OR Fy = 50 ksi. Fu = 65 ksi CRITERIA.
- X-BEAM IS ROSBORO X-BEAM BRAND GLULAM BEAMS OR EQUIV.
- ALL BEAMS AND HEADERS MAY HAVE UP TO A 1-1/2" DIAMETER HOLE THRU THE ANY LOCATION OF THE SPAN, BUT NOT WITHIN 1" OF THE TOP OF BOTTOM OF THE DEPTH.

POST & COLUMN SCHEDULE			
DESIGNATION (SEE PLAN)	DRESSED SECTION SIZE (APPROX. & GRADE)	CAP/BASE U.N.O.	BASE TO CONC. U.N.O.
PA44	3-1/2" X 3-1/2" DF#1	BC4, LCE4	ABU44Z
PA46	3-1/2" X 5-1/2" DF#1	BC4, LCE4	ABU46Z
PA66	5-1/2" X 5-1/2" DF#1	BC6, AC6	ABU66Z
PA68	5-1/2" X 7-1/2" DF#1	BC, AC6	SEE PLAN
PA68	7-1/2" X 7-1/2" DF#1	BC, AC6	ABU68Z
PI10X10	9-1/2" X 9-1/2" DF#1	SEE PLAN	ABU1010Z
PI12X12	11-1/2" X 11-1/2" DF#1	SEE PLAN	ABU1212Z
PI6X6RS	6" X 6" DF#1	ACS	ABU66RZ
PI6X6RS	6" X 6" DF#1	SEE PLAN	ABU66RZ
PI10X10RS	10" X 10" DF#1	SEE PLAN	ABU1010RZ
PI12X12RS	12" X 12" DF#1	SEE PLAN	ABU1212RZ

- DF#1 = DOUG FIR GRADE #1 OR BETTER
- CONNECTOR MODEL NUMBERS RELATE TO SIMPSON STRONG TIE

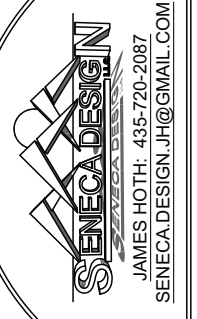
IN-WALL BEAM SUPPORT	
DESIGNATION (SEE PLAN)	SUPPORT OR TRIMMER QUANTITY & SIZE
(2)2X4	(2) 2X4 STUDS
(3)2X4	(3) 2X4 STUDS
(4)2X4	(4) 2X4 STUDS
(5)2X4	(5) 2X4 STUDS
(6)2X4	(6) 2X4 STUDS
(2)2X6	(2) 2X6 STUDS
(3)2X6	(3) 2X6 STUDS
(4)2X6	(4) 2X6 STUDS
(5)2X6	(5) 2X6 STUDS
(6)2X6	(6) 2X6 STUDS

- ALL STUDS ARE DOUG FIR OR HEM FIR (WHITE PINE) STUD DOUG OR BTR

PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2600 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

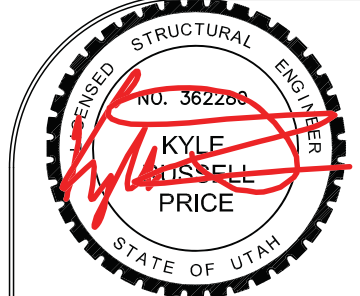
PROJECT NAME:  
FCH-CUSTOM-BEARDALL



GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER

MAIN FLOOR JOIST



DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

AA10

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN, L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN, L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITH OUT THE EXPRESS PERMISSION OF SENECA DESIGN, L.L.C. ANY ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY, AND WILL DIFFER FROM THE FINAL PRODUCT. DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW.

# SQUARE FOOTAGES

UNFINISHED SQUARE FOOTAGE	FINISHED SQUARE FOOTAGE	TOTAL SQUARE FOOTAGE	GARAGE SLAB SQUARE FOOTAGE
(1) COLD STORAGE 372.25	(1) CRAWLSPACE FINIS... 86.53	1 - UNFINISHED 2,770.14	4 CAR GARAGE 1,842.99
(1) CRAWLSPACE UNFIN... 2,397.89	(2) MAIN FINISHED 2,463.19	2 - FINISHED 5,368.38	BARN 1,114.34
<b>2,770.14 sq ft</b>	(3) BONUS FINISHED 1,046.99	<b>8,138.52 sq ft</b>	2,957.33 sq ft
	(3) UPPER FINISHED 1,771.67		
	<b>5,368.38 sq ft</b>		

### CEILING HEIGHTS

(3) UPPER CEILINGS	9'-1 1/8"
(2) MAIN CEILINGS	10'-1 1/8"
(1) CRAWLSPACE CEILINGS	6'-9 1/2"

## WINDOW TYPE NOTE

ALL SLIDERS AND SINGLE HUNG WINDOWS ARE ASSUMED TO OPEN 50% UNLESS NOTED OTHERWISE INDICATED

### KEY TO TYPE

SH = SINGLE HUNG S = SLIDER  
 C = CASEMENT F = FIXED  
 SH2 = SINDGLE HUNG (x2) A = AWNING

## DIMENSION NOTE:

ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF STUD WALL. NOT THE OUTSIDE OF THE SHEATHING.

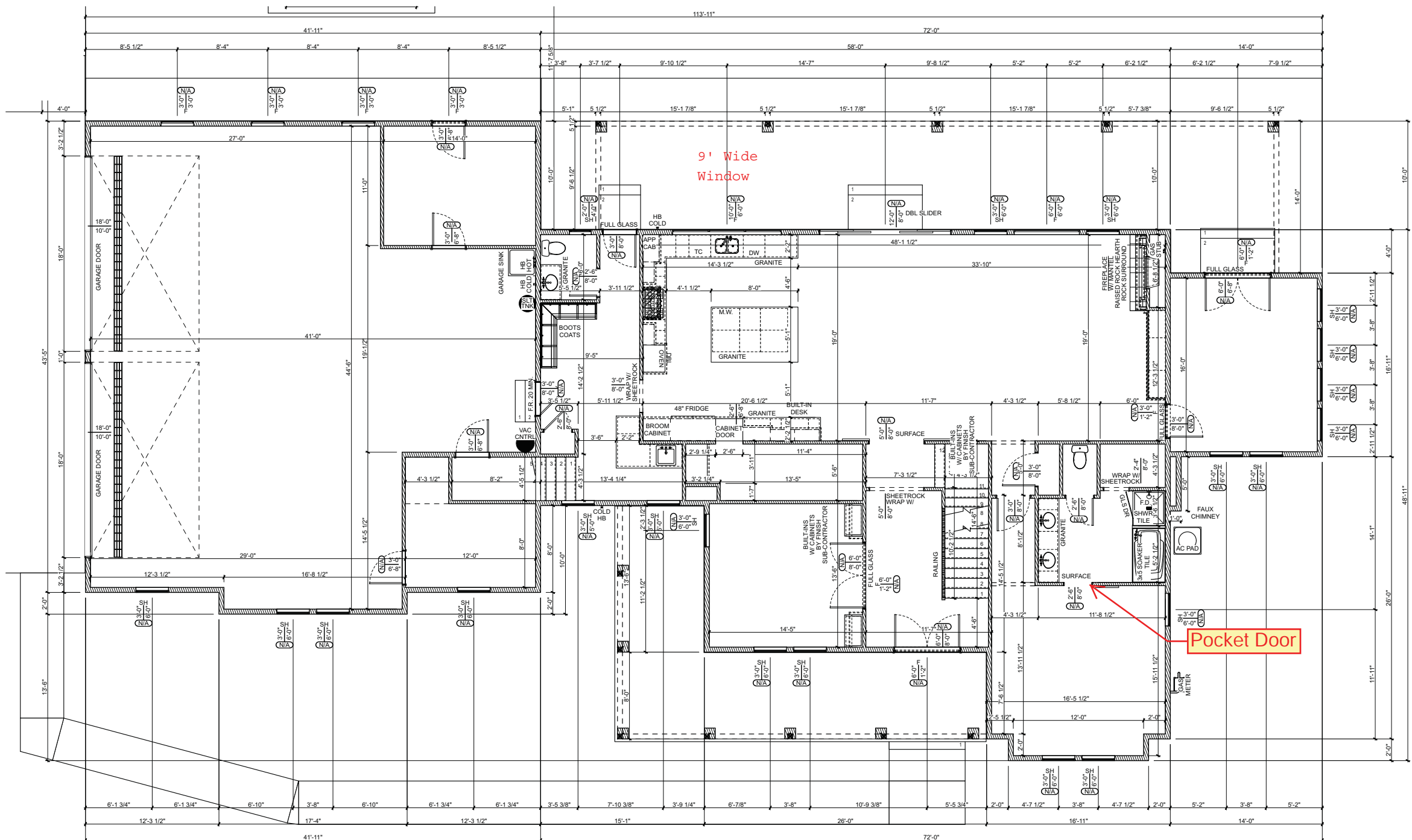
### MAIN HOSE BIBS

Object Name	Quantity	2D Symbol
HB - COLD	3	HB COLD
HB - HOT	1	HB HOT

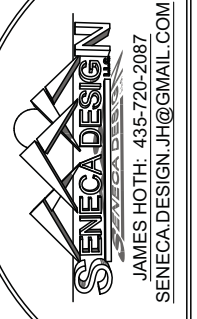
### MAIN GAS STUBS (NOT INCLUDING FURN. OR W.H.)

Object Name	Quantity	2D Symbol
GAS STUB	1	GAS STUB

# APPENDIX I - CONST PLANS



SEWER/SEPTIC SEPTIC



PROJECT ADDRESS  
 SANDHILL GRANE CLUSTER  
 LOT #6  
 5787 EAST 2800 NORTH  
 WEBER COUNTY, UT

CLIENT:  
 BEARDALL

PROJECT NAME:  
 FCH-CUSTOM-BEARDALL

GENERAL CONTRACTOR:  
 FLINT CUSTOM HOMES

ENGINEER:  
 ENGINEERING COMPANY  
 PHONE NUMBER

MAIN FLOOR PLAN HOUSE

DATE: 8/3/18  
 REVISION: R-7E  
 SCALE: 3/32" = 1'-0"

# AA11

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITH OUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. SENECA DESIGN L.L.C. © SENECA DESIGN L.L.C. ALL RIGHTS RESERVED. DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY AND WILL DIFFER FROM THE FINAL PRODUCT.

# SQUARE FOOTAGES

UNFINISHED SQUARE FOOTAGE		FINISHED SQUARE FOOTAGE		TOTAL SQUARE FOOTAGE		GARAGE SLAB SQUARE FOOTAGE	
(1) COLD STORAGE	372.25	(1) CRAWLSPACE FINIS...	86.53	1 - UNFINISHED	2,770.14	4 CAR GARAGE	1,842.99
(1) CRAWLSPACE UNFIN...	2,397.89	(2) MAIN FINISHED	2,463.19	2 - FINISHED	5,368.38	BARN	1,114.34
	<b>2,770.14 sq ft</b>	(3) BONUS FINISHED	1,046.99		<b>8,138.52 sq ft</b>		2,957.33 sq ft
		(3) UPPER FINISHED	1,771.67				
			<b>5,368.38 sq ft</b>				

**WINDOW TYPE NOTE**  
 ALL SLIDERS AND SINGLE HUNG WINDOWS ARE ASSUMED TO OPEN 50% UNLESS NOTED OTHERWISE INDICATED

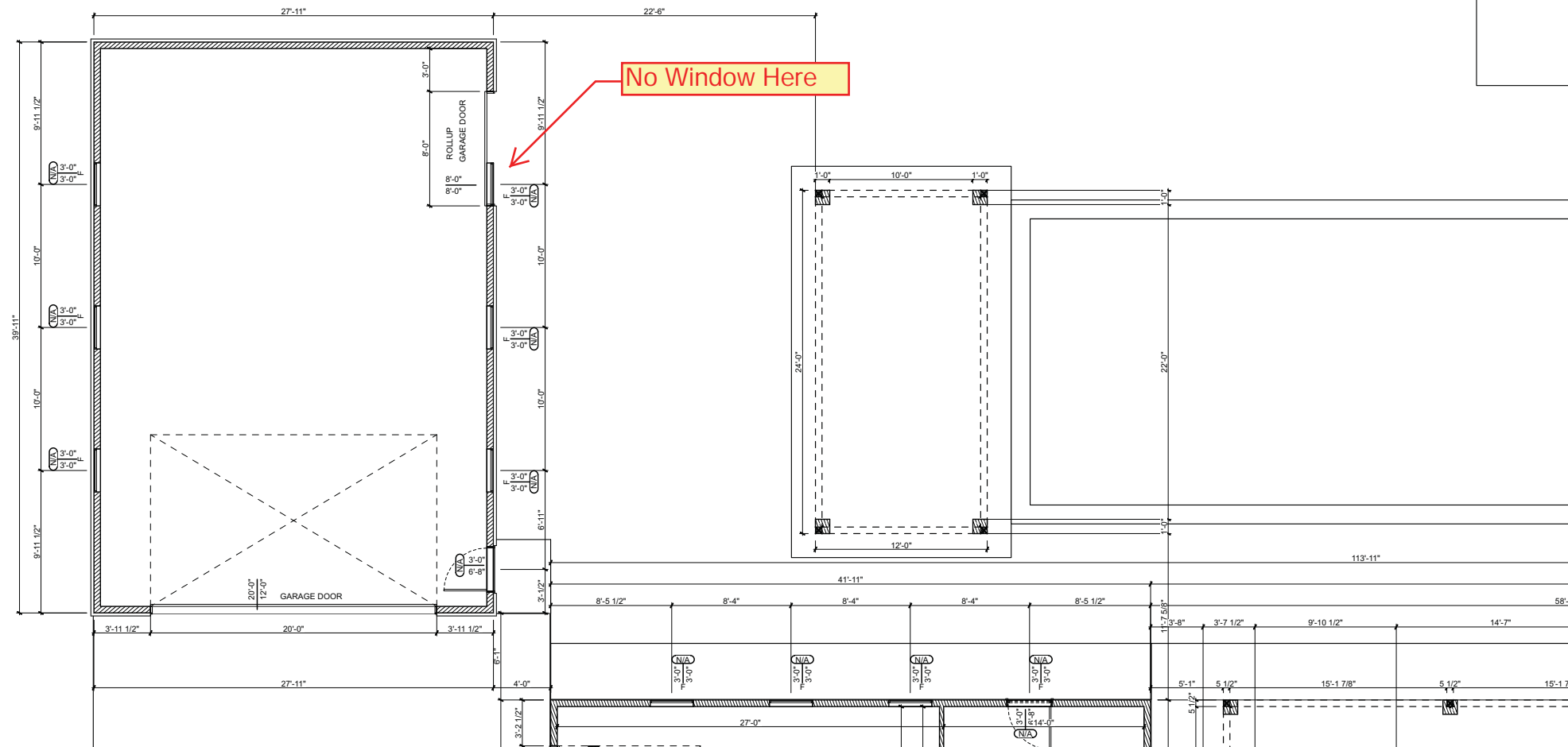
**KEY TO TYPE**

SH = SINGLE HUNG      S = SLIDER  
 C = CASEMENT        F = FIXED  
 SH2 = SINDGLE HUNG (x2)    A = AWNING

## DIMENSION NOTE:

ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF STUD WALL. NOT THE OUTSIDE OF THE SHEATHING.

## APPENDIX I - CONST PLANS



**CEILING HEIGHTS**

(3) UPPER CEILINGS	9'-1 1/8"
(2) MAIN CEILINGS	10'-1 1/8"
(1) CRAWLSPACE CEILINGS	6'-9 1/2"

SEWER/SEPTIC      SEPTIC

**PROJECT ADDRESS**  
 SANDHILL CRANE CLUSTER  
 LOT #6  
 5787 EAST 2600 NORTH  
 WEBER COUNTY, UT

**CLIENT:**  
 BEARDALL

**PROJECT NAME:**  
 FCH-CUSTOM-BEARDALL



**GENERAL CONTRACTOR:**  
 FLINT CUSTOM HOMES

**ENGINEER:**  
 ENGINEERING COMPANY  
 PHONE NUMBER

**MAIN FLOOR PLAN BARN & PAVILION**

DATE: 8/3/18  
 REVISION: R-7E  
 SCALE: 3/32" = 1'-0"

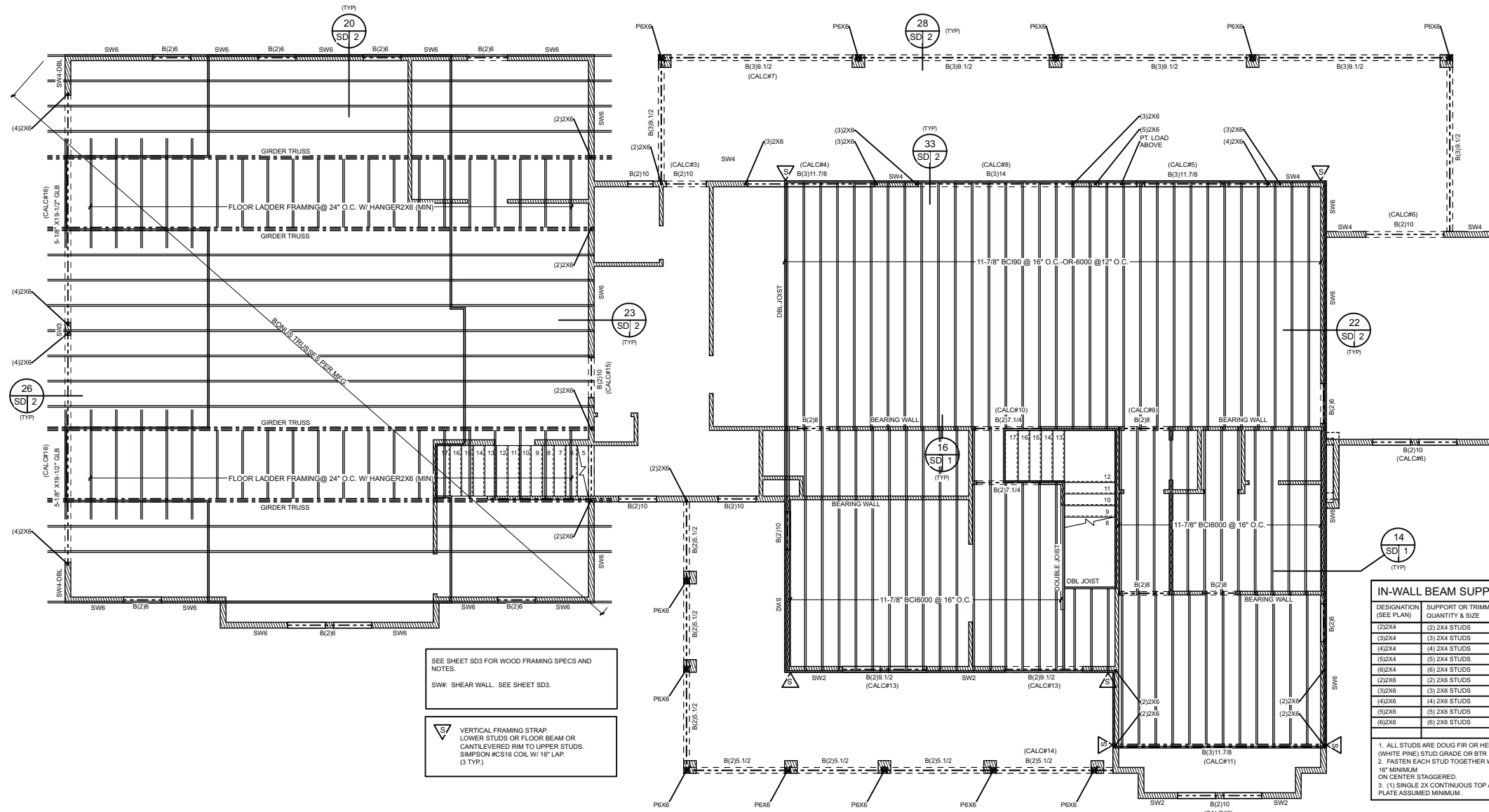
**AA12**

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITH OUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. SENECA DESIGN L.L.C. © SENECA DESIGN L.L.C.  
 DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY, AND WILL DIFFER FROM THE FINAL PRODUCT.

# FLOOR JOIST PLUMBING NOTE:

ALL FLOOR JOIST TO BE SPACED TO MISS PLUMBING AND DRAINS. IF A DISTANCE IS SPECIFIED ON THE PLAN YOU MUST START THE JOISTS FROM THE DESIGNATED START POINT WITH THE FIRST JOIST PLACED AT THE DESIGNATED DISTANCE.

# APPENDIX I - CONST PLANS



DESIGNATION (SEE PLAN)	BEAM DESCRIPTION	END TRIMMER QTY. U.N.O.	TYPE U.N.O.
MIN. BEAM OR HEADER U.N.O.	(2) 2 X 10 DF#2	1	2X4
B(2)5.1/2	(2) 1-3/4" X 5-1/2" LVL	1	2X4
B(2)6	(2) 2 X 8 DF#F#2	1	2X4
B(2)7.1/4	(2) 1-3/4" X 7-1/4" LVL	1	2X4
B(3)7.1/4	(3) 1-3/4" X 7-1/4" LVL	1	2X4
B(2)8	(2) 2 X 8 DF#F#2	1	2X4
B(2)9.1/2	(2) 1-3/4" X 9-1/2" LVL	3	2X4
B(2)9.1/2	(2) 1-3/4" X 9-1/2" LVL	2	2X4
B(3)9.1/2	(3) 1-3/4" X 9-1/2" LVL	3	2X4
B(2)10	(2) 2X10' DF#F#2	1	2X4
B(3)10	(3) 2 X 10 DF#F#2	1	2X4
B(1)11.7/8	(1) 1-3/4" X 11-7/8" LVL	2	2X4
B(2)11.7/8	(2) 1-3/4" X 11-7/8" LVL	3	2X4
B(3)11.7/8	(3) 1-3/4" X 11-7/8" LVL	4	2X4
B(4)11.7/8	(4) 1-3/4" X 11-7/8" LVL	5	2X4
B(2)12	(2) 2 X 12 DF#F#2	1	2X4
B(2)14	(2) 1-3/4" X 14" LVL	4	2X4
B(3)14	(3) 1-3/4" X 14" LVL	4	2X4
B(2)16	(2) 1-3/4" X 16" LVL	4	2X4
B(3)16	(3) 1-3/4" X 16" LVL	5	2X4
B(2)18	(2) 1-3/4" X 18" LVL	5	2X4
B(3)18	(3) 1-3/4" X 18" LVL	5	2X4
GLB	WOOD GLULAM BEAM		SEE PLAN
WXX#	STEEL WIDE FLANGE BEAM		SEE PLAN

1. JOIN MULTIPLE PIECE BEAMS W/ (2) 16D @ 12" O.C.
2. PROVIDE METAL FRAMING CONNECTORS (I.E. SIMPSON #63) TO THE BEAMS GREATER THAN 6" TO POSTS OR TRIMMERS
3. LVL IS LAMINATED VENEER LUMBER, I.E. MICROLAM, VERSALAM, MINIMUM LVL SPEC PROVIDE 1.3E AND 2600 PSI F<sub>y</sub> OR BTR.
4. GLB IS GLULAM BEAM. PROVIDE 24F-V4 SPEC U.N.O.
5. ALL STEEL BEAMS TO MEET ASTM A992 OR F<sub>y</sub> = 50 ksi, F<sub>u</sub> = 65 ksi CRITERIA.
6. X-BEAM IS ROSSBORO X-BEAM BRAND GLULAM BEAMS OR EQUIV.
7. ALL BEAMS AND HEADERS MAY HAVE UP TO A 1-1/2" DIAMETER HOLE THRU THE ANY LOCATION OF THE SPAN, BUT NOT WITHIN 1" OF THE TOP OR BOTTOM OF THE DEPTH.

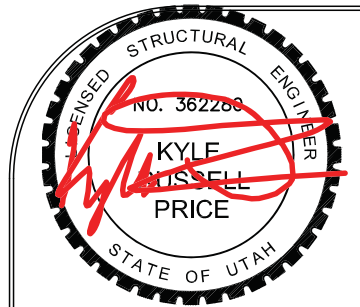
DESIGNATION (SEE PLAN)	SUPPORT OR TRIMMER QUANTITY & SIZE
(2)2X4	(2) 2X4 STUDS
(3)2X4	(3) 2X4 STUDS
(4)2X4	(4) 2X4 STUDS
(5)2X4	(5) 2X4 STUDS
(6)2X4	(6) 2X4 STUDS
(2)2X6	(2) 2X6 STUDS
(3)2X6	(3) 2X6 STUDS
(4)2X6	(4) 2X6 STUDS
(5)2X6	(5) 2X6 STUDS
(6)2X6	(6) 2X6 STUDS

DESIGNATION (SEE PLAN)	DRESSED SECTION SIZE (APPROX) & GRADE	CAP/BASE U.N.O.	BASE TO CONC. U.N.O.
P4X4	3-1/2" X 3-1/2" DF#1	BC4, LCE4	ABU44Z
P4X6	3-1/2" X 5-1/2" DF#1	BC46, LCE4	ABU46Z
P6X6	5-1/2" X 5-1/2" DF#1	BC6, AC6	ABU6Z
P6X8	5-1/2" X 7-1/2" DF#1	BC, AC6	SEE PLAN
P8X8	7-1/2" X 7-1/2" DF#1	BC, AC6	ABU8Z
P10X10	9-1/2" X 9-1/2" DF#1	SEE PLAN	ABU1010Z
P12X12	11-1/2" X 11-1/2" DF#1	SEE PLAN	ABU1212Z
P6X8RS	6" X 8" DF#1	AC6	ABU68RZ
P8X8RS	8" X 8" DF#1	SEE PLAN	ABU88RZ
P10X10RS	10" X 10" DF#1	SEE PLAN	ABU1010RZ
P12X12RS	12" X 12" DF#1	SEE PLAN	ABU1212RZ

1. ALL STUDS ARE DOUG FIR OR HEM FIR (WHITE PINE) STUD GRADE OR BTR.
2. FASTEN EACH STUD TOGETHER WITH 16D @ 16" MINIMUM ON CENTER STAGGERED.
3. (1) SINGLE 2X CONTINUOUS TOP AND BOTTOM PLATE ASSUMED MINIMUM.

1. DF#1 = DOUG FIR GRADE #1 OR BETTER
2. CONNECTOR MODEL NUMBERS RELATE TO SIMPSON STRONG TIE OR USP (MTEK) BRAND WHERE APPLICABLE. OTHER CONNECTOR MODEL NUMBERS ACCEPTABLE IF ALL RATED CAPACITIES EXCEED THOSE LISTED. (LCE\_) & (AC\_) MODELS ARE INSTALLED IN PAIRS.
3. (1) SINGLE 2X CONTINUOUS TOP AND BOTTOM PLATE ASSUMED MINIMUM.

SEE SHEET SD3 FOR WOOD FRAMING SPECS AND NOTES.  
 SW# SHEAR WALL. SEE SHEET SD3.  
 VERTICAL FRAMING STRAP LOWER STUDS OR FLOOR BEAM OR CANTILEVERED RIM TO UPPER STUDS. SIMPSON #CS16 COL W/ 16" LAP. (3 TYP)



DATE: 8/3/18

REVISION: R-7E  
 SCALE: 3/32" = 1'-0"

AA13

PROJECT ADDRESS: SANDHILL GRANE CLUSTER, LOT #6, 5787 EAST 2500 NORTH, WEBER COUNTY, UT

CLIENT: BEARDALL

PROJECT NAME: FCH-CUSTOM-BEARDALL

GENERAL CONTRACTOR: FLINT CUSTOM HOMES

ENGINEER: ENGINEERING COMPANY, PHONE NUMBER

UPPER FLOOR JOIST

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. OR SENECA DESIGN L.L.C. DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY AND WILL DIFFER FROM THE FINAL PRODUCT.



# SQUARE FOOTAGES

UNFINISHED SQUARE FOOTAGE	FINISHED SQUARE FOOTAGE	TOTAL SQUARE FOOTAGE	GARAGE SLAB SQUARE FOOTAGE
(1) COLD STORAGE 372.25	(1) CRAWLSPACE FINIS... 86.53	1 - UNFINISHED 2,770.14	4 CAR GARAGE 1,842.99
(1) CRAWLSPACE UNFIN... 2,397.89	(2) MAIN FINISHED 2,463.19	2 - FINISHED 5,368.38	BARN 1,114.34
<b>2,770.14 sq ft</b>	(3) BONUS FINISHED 1,046.99	<b>8,138.52 sq ft</b>	2,957.33 sq ft
	(3) UPPER FINISHED 1,771.67		
	<b>5,368.38 sq ft</b>		

**WINDOW TYPE NOTE**  
ALL SLIDERS AND SINGLE HUNG WINDOWS ARE ASSUMED TO OPEN 50% UNLESS NOTED OTHERWISE INDICATED

KEY TO TYPE

SH = SINGLE HUNG      S = SLIDER  
C = CASEMENT        F = FIXED  
SH2 = SINDGLE HUNG (x2)    A = AWNING

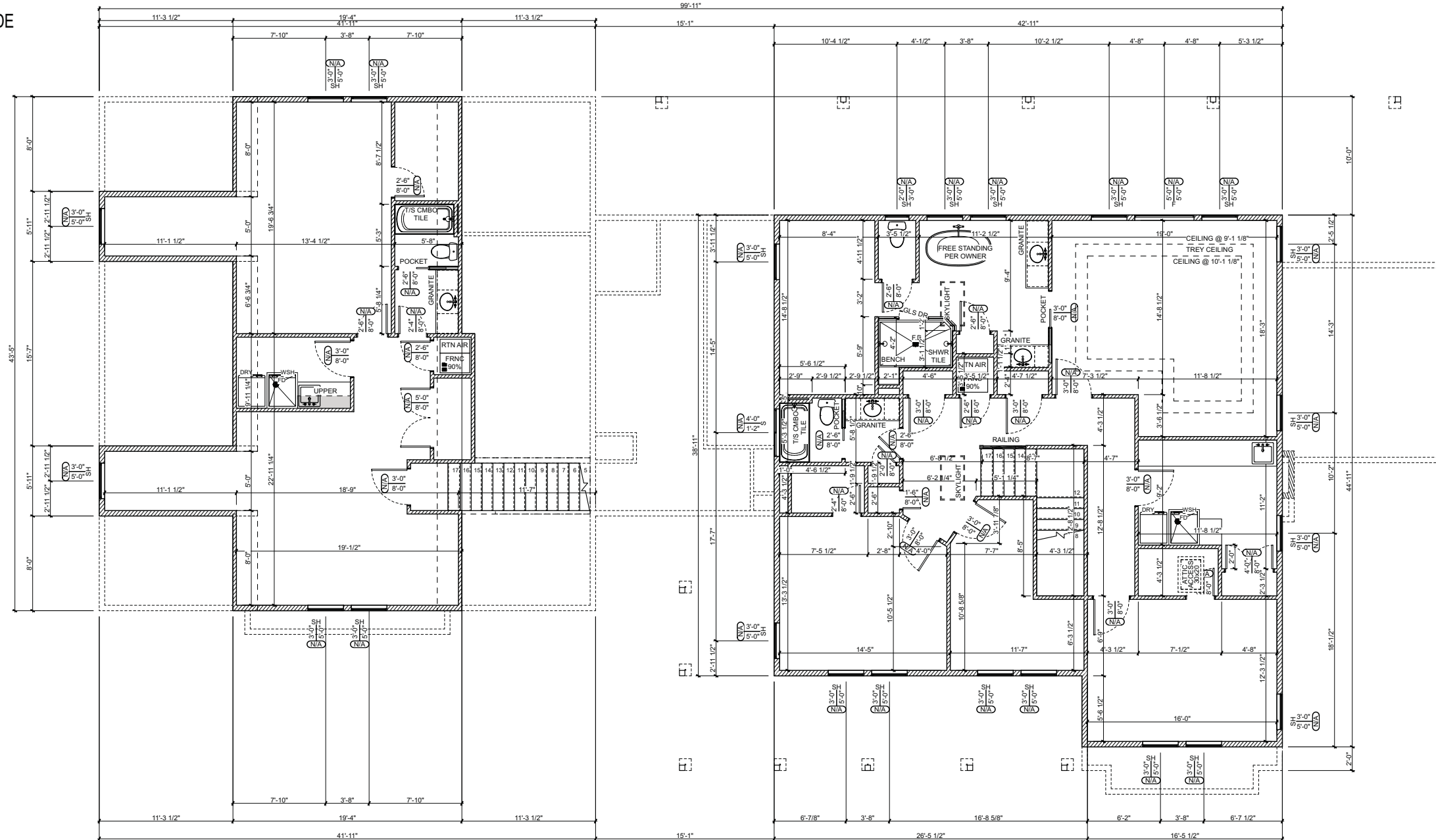
### CEILING HEIGHTS

(3) UPPER CEILINGS	9'-1 1/8"
(2) MAIN CEILINGS	10'-1 1/8"
(1) CRAWLSPACE CEILINGS	6'-9 1/2"

## APPENDIX I - CONST PLANS

### DIMENSION NOTE:

ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF STUD WALL. NOT THE OUTSIDE OF THE SHEATHING.



SEWER/SEPTIC      SEPTIC



JAMES HOTH: 435-720-2087  
SENECA.DESIGN.JH@GMAIL.COM

GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER

UPPER FLOOR PLAN

PROJECT NAME:  
FCH-CUSTOM-BEARDALL

CLIENT:  
BEARDALL

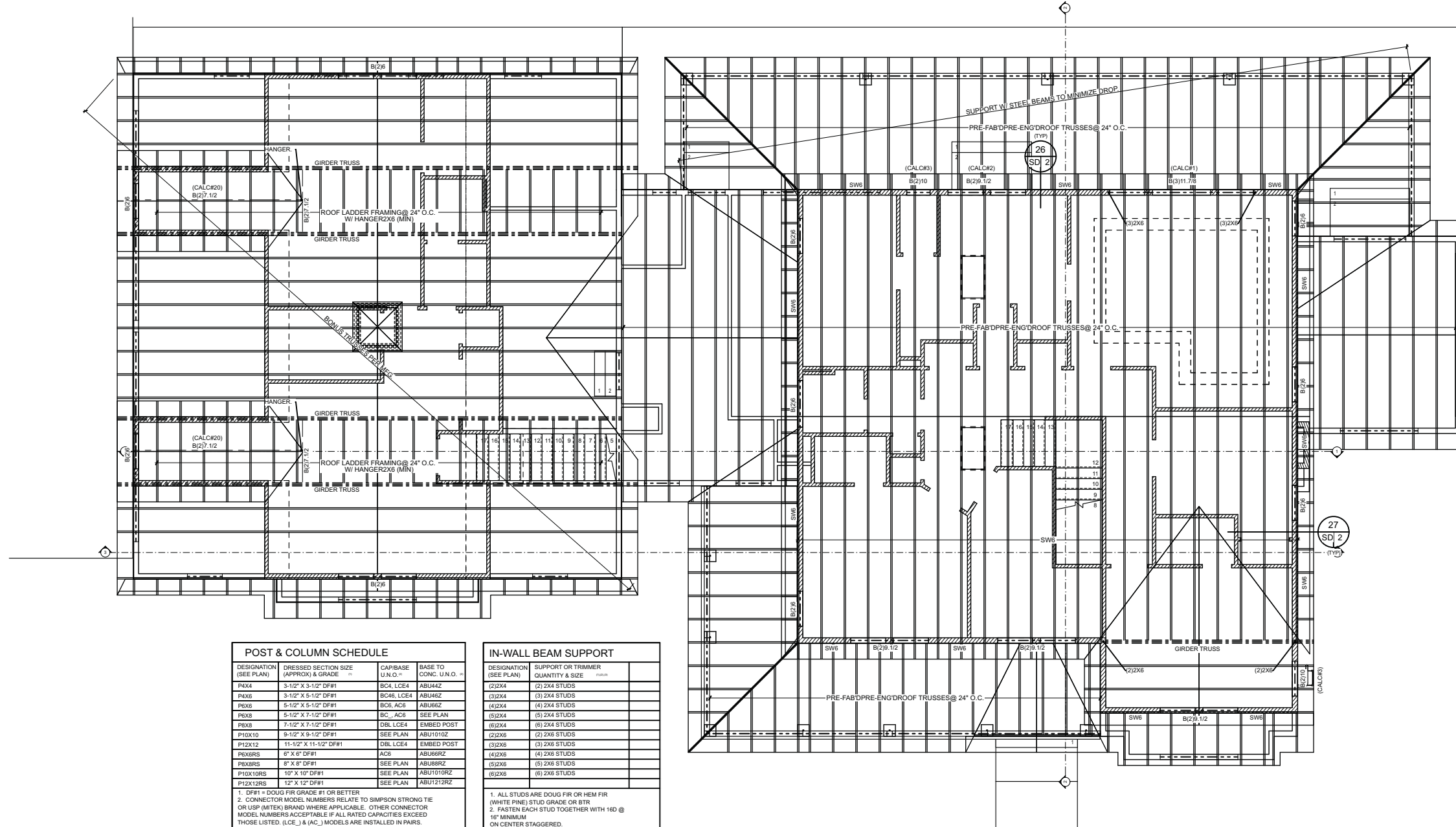
PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2800 NORTH  
WEBER COUNTY, UT

DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

**AA14**

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. SENECA DESIGN L.L.C. PERMITS THE REPRODUCTION OF THIS DRAWING FOR THE PROJECT SHOWN ONLY. ANY OTHER REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. IS STRICTLY PROHIBITED. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY AND WILL DIFFER FROM THE FINAL PRODUCT.

# APPENDIX I - CONST PLANS



SEE SHEET SD3 FOR WOOD FRAMING SPECS AND NOTES.  
SWW: SHEAR WALL. SEE SHEET SD3.

DESIGNATION (SEE PLAN)	BEAM DESCRIPTION	END TRIMMER QTY U.N.O.	TYPE U.N.O.
MIN. BEAM OR HEADER U.N.O.	(2) 2 X 10 DF#2	1	2X4
B(2)5.1/2	(2) 1-3/4" X 5-1/2" LVL	1	2X4
B(2)6	(2) 2 X 6 DF#F#2	1	2X4
B(2)7.1/4	(2) 1-3/4" X 7-1/4" LVL	1	2X4
B(3)7.1/4	(3) 1-3/4" X 7-1/4" LVL	1	2X4
B(2)8	(2) 2 X 8 DF#F#2	1	2X4
B(3)8	(3) 2 X 8 DF#F#2	1	2X6
B(2)9.1/2	(2) 1-3/4" X 9-1/2" LVL	3	2X4
B(2)9.1/2	(3) 1-3/4" X 9-1/2" LVL	2	2X6
B(2)9.1/2	(3) 1-3/4" X 9-1/2" LVL	3	2X6
B(2)10	(2) 2X10" DF#F#2	1	2X4
B(3)10	(3) 2 X 10 DF#F#2	1	2X4
B(1)11.7/8	(1) 1-3/4" X 11-7/8" LVL	2	2X4
B(2)11.7/8	(2) 1-3/4" X 11-7/8" LVL	3	2X4
B(3)11.7/8	(3) 1-3/4" X 11-7/8" LVL	4	2X6
B(4)11.7/8	(4) 1-3/4" X 11-7/8" LVL	5	2X6
B(2)12	(2) 2 X 12 DF#F#2	1	2X4
B(2)14	(2) 1-3/4" X 14" LVL	4	2X4
B(3)14	(3) 1-3/4" X 14" LVL	4	2X6
B(2)15	(2) 1-3/4" X 15" LVL	4	2X4
B(3)15	(3) 1-3/4" X 15" LVL	5	2X6
B(2)15	(2) 1-3/4" X 15" LVL	5	2X4
B(3)15	(3) 1-3/4" X 15" LVL	5	2X6
GLB	WOOD GLULAM BEAM	SEE PLAN	
WX#8	STEEL WIDE FLANGE BEAM	SEE PLAN	

- JOIN MULTIPLE PIECE BEAMS W/ (2) 16D @ 12" O.C.
- PROVIDE METAL FRAMING CONNECTORS (I.E. SIMPSON #CB) TO THE BEAMS GREATER THAN 6" TO POSTS OR TRIMMERS.
- LVL IS LAMINATED VENEER LUMBER, I.E. MICROLAM, VERSALAM. MINIMUM LVL SPEC PROVIDE 1.5E AND 2600 PSI F<sub>b</sub> OR BTR.
- GLB IS GLULAM BEAM. PROVIDE 24F-V4 SPEC U.N.O.
- ALL STEEL BEAMS TO MEET ASTM A992 OR Fy = 50 ksi, Fu = 65 ksi CRITERIA.
- X-BEAM IS ROSSBORO X-BEAM BRAND GLULAM BEAMS OR EQUIV.
- ALL BEAMS AND HEADERS MAY HAVE UP TO A 1-1/2" DIAMETER HOLE THRU THE ANY LOCATION OF THE SPAN, BUT NOT WITHIN 1" OF THE TOP OR BOTTOM OF THE DEPTH.

OVERBUILD FRAMING:  
SHELL: 2X4 @ 24" O.C. (MIN.)  
SHELL VERT SUPPORT: 2X4 @ 48" O.C. (MIN.)  
VERT PLATES: 2X6 ACROSS TRUSSES.  
FACE NAIL VERT ALONG SIDE SHELL & PLATES W/ (4) 16D  
EA. CONNECTION OR PROVIDE A55 CLIP. FACE NAIL PLATES TO TRUSSE W/ (2) 16D EA TRUSS MIN.  
SEE DETAIL 25, SHEET SD2.

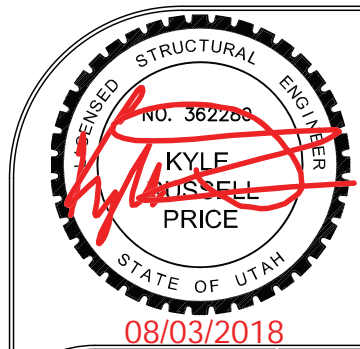
DESIGNATION (SEE PLAN)	DRESSED SECTION SIZE (APPROX) & GRADE	CAP/BASE U.N.O.	BASE TO COND. U.N.O.
PA#4	3-1/2" X 3-1/2" DF#1	SCA LCE4	ABU44Z
PA#6	3-1/2" X 3-1/2" DF#1	BCA LCE4	ABU44Z
PA#8	5-1/2" X 5-1/2" DF#1	BCS AC6	ABU64Z
PA#8	5-1/2" X 7-1/2" DF#1	BCS AC6	SEE PLAN
PA#8	7-1/2" X 7-1/2" DF#1	DBL LCE4	EMBED POST
P10X10	9-1/2" X 9-1/2" DF#1	SEE PLAN	ABU1010Z
P12X12	11-1/2" X 11-1/2" DF#1	DBL LCE4	EMBED POST
PEX6RS	6" X 6" DF#1	AC6	ABU66RZ
PEX8RS	8" X 8" DF#1	SEE PLAN	ABU88RZ
P10X10RS	10" X 10" DF#1	SEE PLAN	ABU1010RZ
P12X12RS	12" X 12" DF#1	SEE PLAN	ABU1212RZ

1. DF#1 = DOUG FIR GRADE #1 OR BETTER  
2. CONNECTOR MODEL NUMBERS RELATE TO SIMPSON STRONG TIE OR USP (MITEK) BRAND WHERE APPLICABLE. OTHER CONNECTOR MODEL NUMBERS ACCEPTABLE IF ALL RATED CAPACITIES EXCEED THOSE LISTED. (LCE\_) & (AC\_) MODELS ARE INSTALLED IN PAIRS.  
U.N.O. = UNLESS NOTED OTHERWISE (ON THE PLANS).

DESIGNATION (SEE PLAN)	SUPPORT OR TRIMMER QUANTITY & SIZE
(2)2X4	(2) 2X4 STUDS
(3)2X4	(3) 2X4 STUDS
(4)2X4	(4) 2X4 STUDS
(5)2X4	(5) 2X4 STUDS
(6)2X4	(6) 2X4 STUDS
(2)2X6	(2) 2X6 STUDS
(3)2X6	(3) 2X6 STUDS
(4)2X6	(4) 2X6 STUDS
(5)2X6	(5) 2X6 STUDS
(6)2X6	(6) 2X6 STUDS

1. ALL STUDS ARE DOUG FIR OR HEM FIR (WHITE PINE) STUD GRADE OR BTR  
2. FASTEN EACH STUD TOGETHER WITH 16D @ 18" MINIMUM ON CENTER STAGGERED.  
3. (1) SINGLE 2X CONTINUOUS TOP AND BOTTOM PLATE ASSUMED MINIMUM.

PROJECT ADDRESS: SANDHILL CRANE CLUSTER, LOT #6, 5787 EAST 2600 NORTH, WEBER COUNTY, UT  
 CLIENT: BEARDALL  
 PROJECT NAME: FCH-CUSTOM-BEARDALL  
 GENERAL CONTRACTOR: FLINT CUSTOM HOMES  
 ENGINEER: ENGINEERING COMPANY, PHONE NUMBER  
 ROOF PLAN HOUSE  
 NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITH OUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. OR SENECA DESIGN L.L.C. DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY AND WILL DIFFER FROM THE FINAL PRODUCT.



DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

## AA15

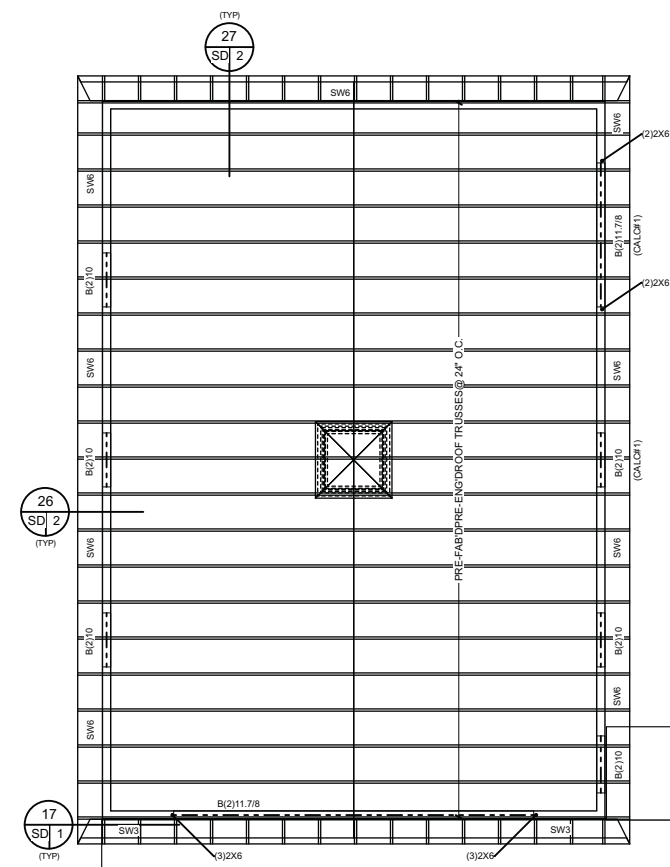
# APPENDIX I - CONST PLANS

SEE SHEET SD3 FOR WOOD FRAMING SPECS AND NOTES.  
SW# SHEAR WALL. SEE SHEET SD3.

BEAM SCHEDULE EX		SEE NOTES 1,2,3,4,5	
DESIGNATION (SEE PLAN)	BEAM DESCRIPTION	END TRIMMER QTY. U.N.O.	TYPE U.N.O.
MIN. BEAM OR HEADER U.N.O.	(2) 2 X 10 DF#2	1	2X4
B(2)5.1/2	(2) 1-3/4" X 5-1/2" LVL	1	2X4
B(2)6	(2) 2 X 6 DF#2	1	2X4
B(2)7.1/4	(2) 1-3/4" X 7-1/4" LVL	1	2X4
B(3)7.1/4	(3) 1-3/4" X 7-1/4" LVL	1	2X4
B(2)8	(2) 2 X 8 DF#2	1	2X4
B(3)8	(3) 2 X 8 DF#2	1	2X6
B(2)9.1/2	(2) 1-3/4" X 9-1/2" LVL	3	2X4
B(2)9.1/2	(2) 1-3/4" X 9-1/2" LVL	2	2X6
B(3)9.1/2	(3) 1-3/4" X 9-1/2" LVL	3	2X6
B(2)10	(2) 2X10" DF#2	1	2X4
B(3)10	(3) 2 X 10 DF#2	1	2X4
B(1)11.7/8	(1) 1-3/4" X 11-7/8" LVL	2	2X4
B(2)11.7/8	(2) 1-3/4" X 11-7/8" LVL	3	2X4
B(3)11.7/8	(3) 1-3/4" X 11-7/8" LVL	4	2X6
B(4)11.7/8	(4) 1-3/4" X 11-7/8" LVL	5	2X6
B(2)12	(2) 2 X 12 DF#2	1	2X4
B(2)14	(2) 1-3/4" X 14" LVL	4	2X4
B(3)14	(3) 1-3/4" X 14" LVL	4	2X6
B(2)16	(2) 1-3/4" X 16" LVL	4	2X4
B(3)16	(3) 1-3/4" X 16" LVL	5	2X6
B(2)18	(2) 1-3/4" X 18" LVL	5	2X4
B(3)18	(3) 1-3/4" X 18" LVL	5	2X6
GLB	WOOD GLULAM BEAM	SEE PLAN	
WIKW#	STEEL WIDE FLANGE BEAM	SEE PLAN	

- JOIN MULTIPLE PIECE BEAMS W/ (2) 16D @ 12" O.C.
- PROVIDE METAL FRAMING CONNECTORS (I.E. SIMPSON #CB) TO THE BEAMS GREATER THAN 6'-0" TO POSTS OR TRIMMERS.
- LVL IS LAMINATED VENEER LUMBER, I.E. MICROLAM, VERSALAM. MINIMUM LVL SPEC PROVIDE 1.1E AND 2600 PSI F<sub>y</sub> OR BTR.
- GLB IS GLULAM BEAM. PROVIDE 2X6/4 SPEC U.N.O.
- ALL STEEL BEAMS TO MEET ASTM A992 OR F<sub>y</sub> = 50 ksi, F<sub>u</sub> = 65 ksi CRITERIA.
- X-BEAM IS ROSSBORO X-BEAM BRAND GLULAM BEAMS OR EQUIV.
- ALL BEAMS AND HEADERS MAY HAVE UP TO A 1-1/2" DIAMETER HOLE THRU THE ANY LOCATION OF THE SPAN, BUT NOT WITHIN 1" OF THE TOP OR BOTTOM OF THE DEPTH.

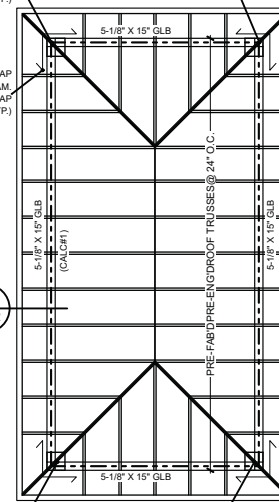
OVERBUILD FRAMING:  
SHELL:  
2X4 @ 24" O.C. (MIN.)  
SHELL VERT SUPPORT:  
2X4 @ 48" O.C. (MIN.)  
VERT PLATES:  
2X6 ACROSS TRUSSES.  
FACE NAIL VERT ALONG SIDE SHELL & PLATES W/ (4) 16D EA. CONNECTION OR PROVIDE ASB CLIP. FACE NAIL PLATES TO TRUSSE W/ (2) 16D EA TRUSS MIN.  
SEE DETAIL 25, SHEET SD2.



P12X12 (DF#1, TREATED)  
MITER BEAM JOINT OVER POST.  
NOTCH POST TO SEAT BEAM.  
PROVIDE DBL #LCE4 CAP (W/ (1) LCE4 EA. BEAM TO POST)  
(4 POSTS TYP.)

HORIZ. CORNER STRAP BEAM TO BEAM CS16 COL W/ 12" LAP (4 POST TYP.)

28 SD 2 (TYP)



DESIGNATION (SEE PLAN)	DRESSED SECTION SIZE (APPROX) & GRADE	CAP/BASE U.N.O.#	BASE TO CONC. U.N.O.#
P4X4	3-1/2" X 3-1/2" DF#1	BC4, LCE4	ABU44Z
P4X6	3-1/2" X 5-1/2" DF#1	BC6, LCE4	ABU66Z
P6X6	5-1/2" X 5-1/2" DF#1	BC6, AC6	ABU66Z
P6X8	5-1/2" X 7-1/2" DF#1	BC, AC6	SEE PLAN
P8X8	7-1/2" X 7-1/2" DF#1	DBL LCE4	EMBED POST
P10X10	9-1/2" X 9-1/2" DF#1	SEE PLAN	ABU1010Z
P12X12	11-1/2" X 11-1/2" DF#1	DBL LCE4	EMBED POST
P6X8RS	6" X 8" DF#1	AC6	ABU66RZ
P8X8RS	8" X 8" DF#1	SEE PLAN	ABU88RZ
P10X10RS	10" X 10" DF#1	SEE PLAN	ABU1010RZ
P12X12RS	12" X 12" DF#1	SEE PLAN	ABU1212RZ

- DF#1 = DOUG FIR GRADE #1 OR BETTER
- CONNECTOR MODEL NUMBERS RELATE TO SIMPSON STRONG TIE OR USP (MITEK) BRAND WHERE APPLICABLE. OTHER CONNECTOR MODEL NUMBERS ACCEPTABLE IF ALL RATED CAPACITIES EXCEED THOSE LISTED (I.E. J&K) MODELS ARE INSTALLED IN PAIRS.
- U.N.O. = UNLESS NOTED OTHERWISE (ON THE PLANS).

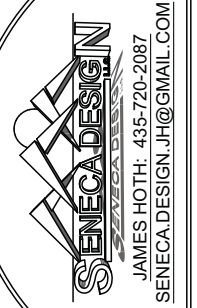
DESIGNATION (SEE PLAN)	SUPPORT OR TRIMMER QUANTITY & SIZE
(2)2X4	(2) 2X4 STUDS
(3)2X4	(3) 2X4 STUDS
(4)2X4	(4) 2X4 STUDS
(5)2X4	(5) 2X4 STUDS
(6)2X4	(6) 2X4 STUDS
(2)2X6	(2) 2X6 STUDS
(3)2X6	(3) 2X6 STUDS
(4)2X6	(4) 2X6 STUDS
(5)2X6	(5) 2X6 STUDS
(6)2X6	(6) 2X6 STUDS

- ALL STUDS ARE DOUG FIR OR HEM FIR (WHITE PINE) STUD GRADE OR BTR.
- FASTEN EACH STUD TOGETHER WITH 16D @ 16" MINIMUM ON CENTER STAGGERED.
- (1) SINGLE 2X CONTINUOUS TOP AND BOTTOM PLATE ASSUMED MINIMUM.

PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2600 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

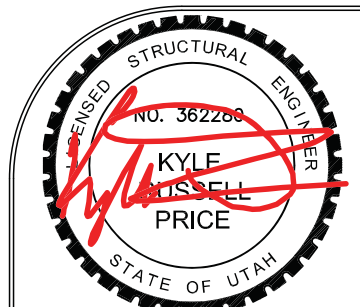
PROJECT NAME:  
FCH-CUSTOM-BEARDALL



GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER

ROOF PLAN BARN & PAVILION



08/03/2018










DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

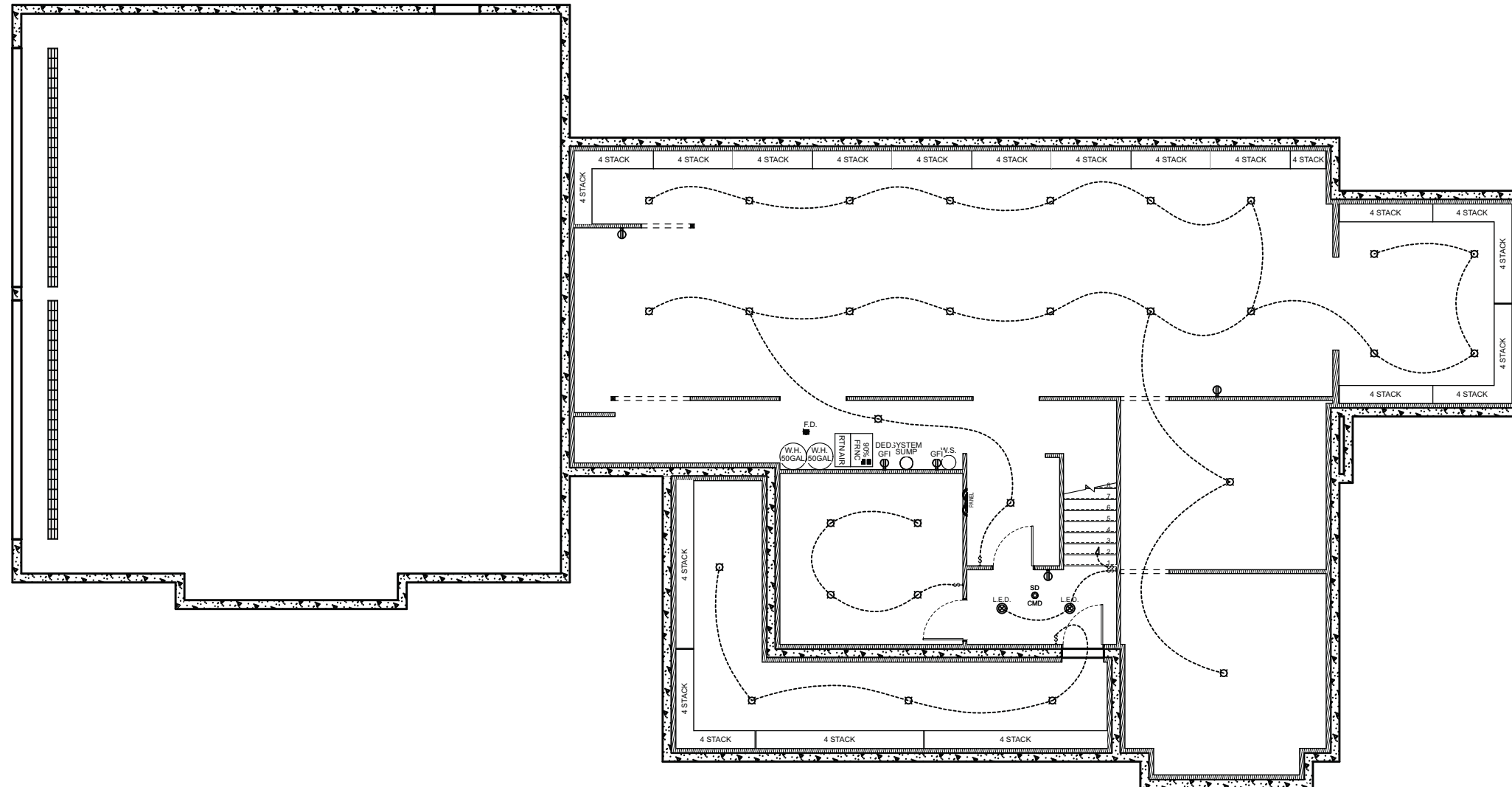
AA16

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. SENECA DESIGN L.L.C. PERMITS THE REPRODUCTION OF THESE DESIGNS AND DRAWINGS FOR THE PROJECT ONLY. ANY OTHER REPRODUCTION OR USE IS STRICTLY PROHIBITED. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY AND WILL DIFFER FROM THE FINAL PRODUCT. DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW.

# APPENDIX I - CONST PLANS

## BASEMENT ELECTRICAL SCHEDULE

Symbol	Description	Qty
	ELECTRICAL PANEL	1
	LIGHT - KEYLESS	30
	LIGHT - RECESSED - L.E.D.	2
	PLUG - 110v	3
	PLUG - GFI	1
	PLUG - GFI DED.	1
	SD/ CMD	1
	SWITCH - 1	3
	SWITCH - 2	1



### ELECTRICAL BULB NOTE:

ALL FLUSH MOUNT LIGHTS TO BE A MINIMUM OF A (2) TWO BULB FIXTURE.

ALL BEDROOMS TO HAVE A 3 BULB FIXTURE, NO EXCEPTIONS

### SHELVING NOTE:

ALL STANDARD DEPTH CLOSETS (0" TO 2'-11") TO HAVE A 12" TOP SHELF.

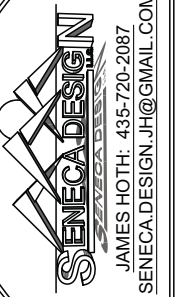
ALL WALK-IN DEPTH CLOSETS (3'-0"+) TO HAVE A 16" TOP SHELF

ALL SHELVING BELOW TOP SHELF TO BE 16" STANDARD

PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2800 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

PROJECT NAME:  
FCH-CUSTOM-BEARDALL



GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER  
CRAWLSPACE ELECTRICAL

DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

# AA17

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. SENECA DESIGN L.L.C. PERMITS THE REPRODUCTION OF THIS DRAWING FOR THE PROJECT ONLY. ANY OTHER REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. IS PROHIBITED. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY AND WILL DIFFER FROM THE FINAL PRODUCT. DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW.

# ELECTRICAL BULB NOTE:

# SHELVING NOTE:

ALL FLUSH MOUNT LIGHTS TO BE A MINIMUM OF A (2) TWO BULB FIXTURE.

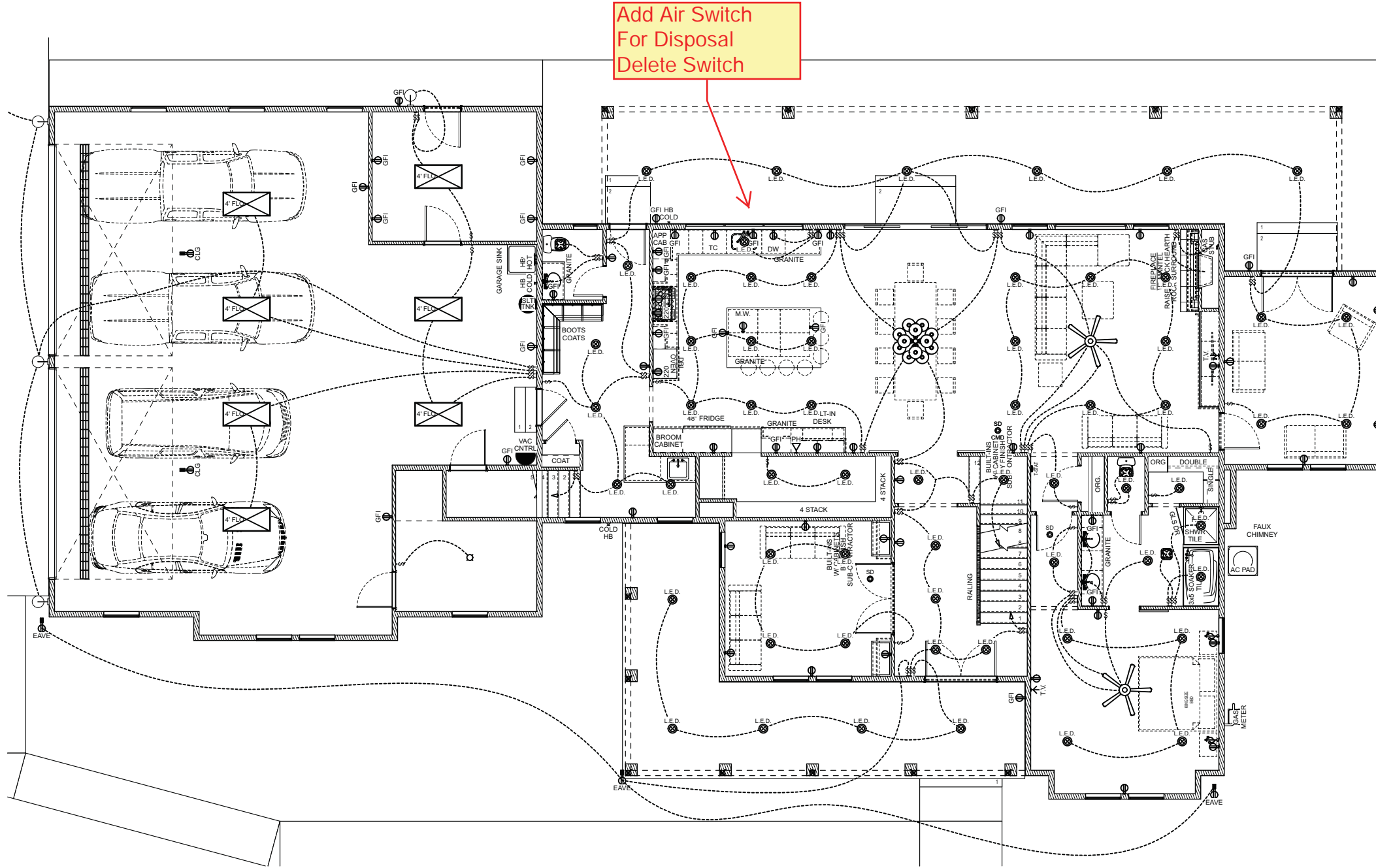
ALL STANDARD DEPTH CLOSETS (0" TO 2'-11") TO HAVE A 12" TOP SHELF.

ALL BEDROOMS TO HAVE A 3 BULB FIXTURE, NO EXCEPTIONS

ALL WALK-IN DEPTH CLOSETS (3'-0"+) TO HAVE A 16" TOP SHELF

ALL SHELVING BELOW TOP SHELF TO BE 16" STANDARD

# APPENDIX I - CONST PLANS



## MAIN ELECTRICAL SCHEDULE

Symbol	Description	Qty
	BATH FAN	3
	LIGHT - CEILING FAN	2
	LIGHT - CHANDELIER	1
	LIGHT - FLORESCENT	11
	LIGHT - KEY-LESS	1
	LIGHT - RECESSED - L.E.D.	61
	LIGHT - STRIP LIGHT 3	3
	LIGHT-COACH LIGHT 2	7
	LOW VOLT - PHONE	1
	LOW VOLT - T.V.	2
	PLUG - 110v+USB	2
	PLUG - 110v	32
	PLUG - 220v	2
	PLUG - CEILING	3
	PLUG - EAVE	3
	PLUG - GFI	30
	SD/ CMD	1
	SMOKE DETECTOR	2
	SWITCH - 1	13
	SWITCH - 2	16
	SWITCH - 3	4
	SWITCH - 4	3
	T-STAT	1

PROJECT ADDRESS  
SANDHILL GRANE CLUSTER  
LOT #6  
5787 EAST 2500 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

PROJECT NAME:  
FCH-CUSTOM-BEARDALL

**SENECA DESIGN**  
JAMES HOTH: 435-720-2087  
SENECA.DESIGN.JH@GMAIL.COM

GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER  
MAIN ELECTRICAL HOUSE

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. ANY REVISIONS OR CHANGES TO THESE DESIGNS AND DRAWINGS SHALL BE MADE BY SENECA DESIGN L.L.C. ONLY. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY, AND WILL DIFFER FROM THE FINAL PRODUCT.

DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

# AA18

# ELECTRICAL BULB NOTE:

ALL FLUSH MOUNT LIGHTS TO BE A MINIMUM OF A (2) TWO BULB FIXTURE.

ALL BEDROOMS TO HAVE A 3 BULB FIXTURE, NO EXCEPTIONS

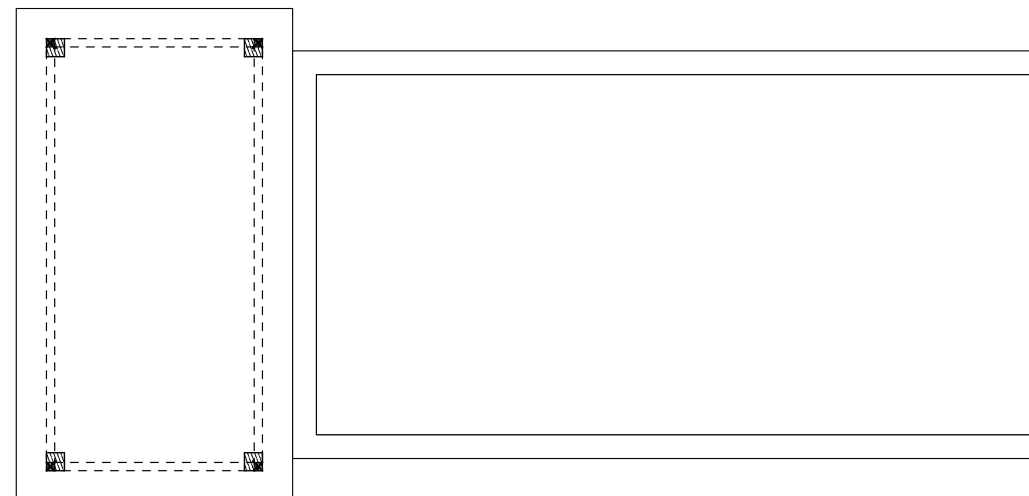
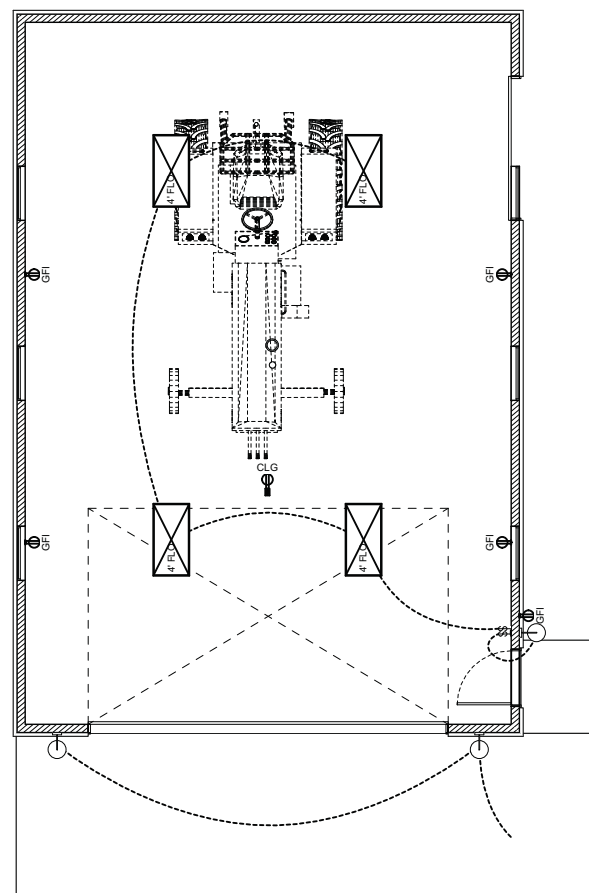
# SHELVING NOTE:

ALL STANDARD DEPTH CLOSETS (0" TO 2'-11") TO HAVE A 12" TOP SHELF.

ALL WALK-IN DEPTH CLOSETS (3'-0"+) TO HAVE A 16" TOP SHELF

ALL SHELVING BELOW TOP SHELF TO BE 16" STANDARD

## APPENDIX I - CONST PLANS



### MAIN ELECTRICAL SCHEDULE

Symbol	Description	Qty
	BATH FAN	3
	LIGHT - CEILING FAN	2
	LIGHT - CHANDELIER	1
	LIGHT - FLORESCENT	11
	LIGHT - KEYLESS	1
	LIGHT - RECESSED - L.E.D.	61
	LIGHT - STRIP LIGHT 3	3
	LIGHT-COACH LIGHT 2	7
	LOW VOLT - PHONE	1
	LOW VOLT - T.V.	2
	PLUG - 110+USB	2
	PLUG - 110v	32
	PLUG - 220v	2
	PLUG - CEILING	3
	PLUG - EAVE	3
	PLUG - GFI	30
	SD/ CMD	1
	SMOKE DETECTOR	2
	SWITCH - 1	13
	SWITCH - 2	16
	SWITCH - 3	4
	SWITCH - 4	3
	T-STAT	1

PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2800 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

PROJECT NAME:  
FCH-CUSTOM-BEARDALL

SENECA DESIGN  
JAMES HOTTH: 435-720-2087  
SENECA.DESIGN.JH@GMAIL.COM

GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER  
MAIN ELECTRICAL BARN & PAVILION

DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

**AA19**

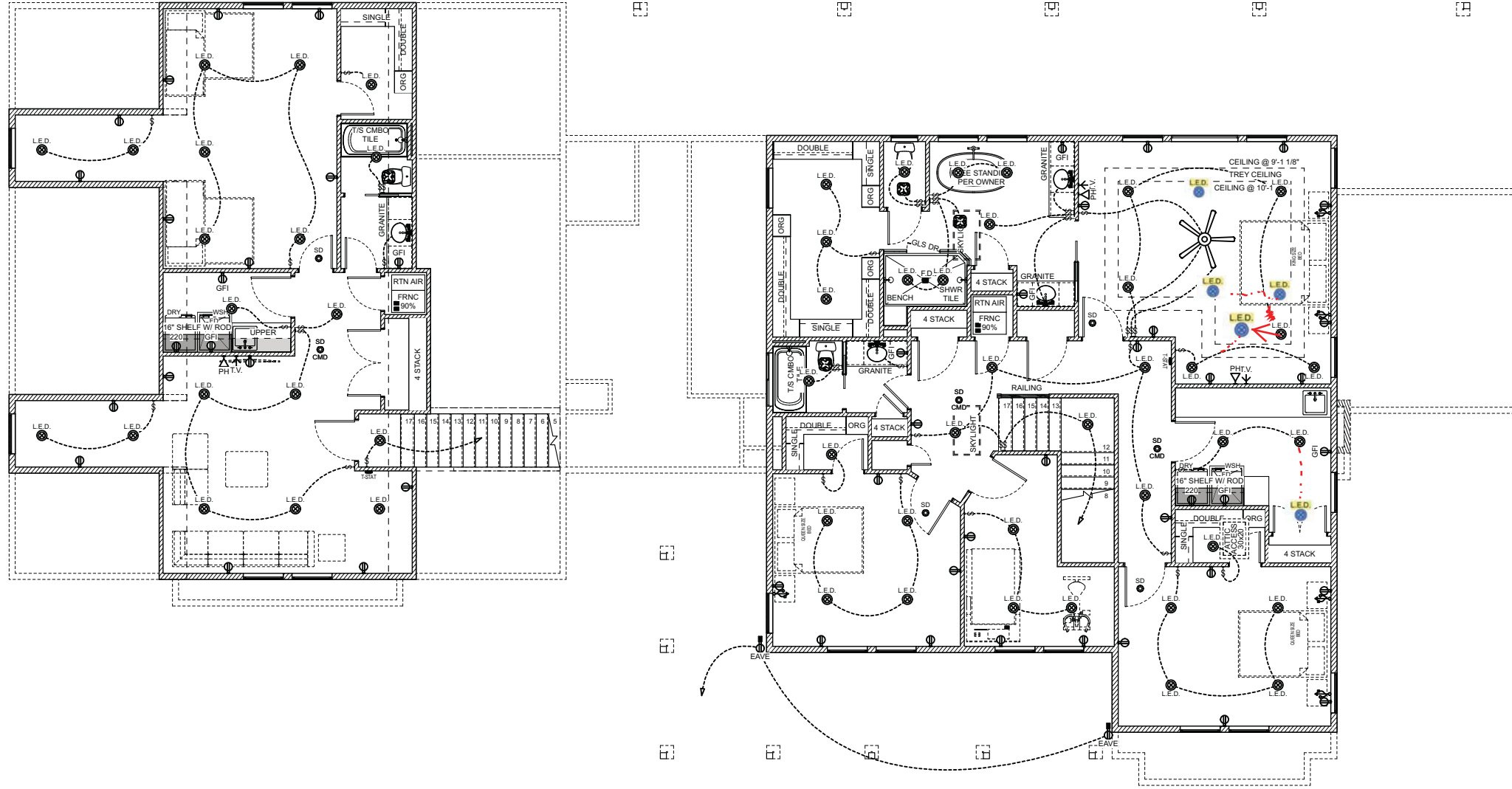
NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. SENECA DESIGN L.L.C. PERMITS THE REPRODUCTION OF THIS DOCUMENT FOR PERSONAL USE ONLY. ANY OTHER REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF SENECA DESIGN L.L.C. IS STRICTLY PROHIBITED. SENECA DESIGN L.L.C. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. SENECA DESIGN L.L.C. IS NOT A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. SENECA DESIGN L.L.C. IS NOT A LICENSED ELECTRICAL CONTRACTOR. SENECA DESIGN L.L.C. IS NOT A LICENSED MECHANICAL CONTRACTOR. SENECA DESIGN L.L.C. IS NOT A LICENSED PLUMBING CONTRACTOR. SENECA DESIGN L.L.C. IS NOT A LICENSED ROOFING CONTRACTOR. SENECA DESIGN L.L.C. IS NOT A LICENSED PAINTING CONTRACTOR. SENECA DESIGN L.L.C. IS NOT A LICENSED LANDSCAPE ARCHITECT. SENECA DESIGN L.L.C. IS NOT A LICENSED INTERIOR DESIGNER. SENECA DESIGN L.L.C. IS NOT A LICENSED HOME INSPECTOR. SENECA DESIGN L.L.C. IS NOT A LICENSED REAL ESTATE AGENT. SENECA DESIGN L.L.C. IS NOT A LICENSED FINANCIAL ADVISOR. SENECA DESIGN L.L.C. IS NOT A LICENSED INVESTMENT ADVISOR. SENECA DESIGN L.L.C. IS NOT A LICENSED TAX ADVISOR. SENECA DESIGN L.L.C. IS NOT A LICENSED LEGAL ADVISOR. SENECA DESIGN L.L.C. IS NOT A LICENSED MEDICAL PROFESSIONAL. SENECA DESIGN L.L.C. IS NOT A LICENSED EDUCATIONAL INSTITUTION. SENECA DESIGN L.L.C. IS NOT A LICENSED EMPLOYER. SENECA DESIGN L.L.C. IS NOT A LICENSED EMPLOYEE. SENECA DESIGN L.L.C. IS NOT A LICENSED UNION MEMBER. SENECA DESIGN L.L.C. IS NOT A LICENSED LABOR ORGANIZATION. SENECA DESIGN L.L.C. IS NOT A LICENSED TRADE ORGANIZATION. SENECA DESIGN L.L.C. IS NOT A LICENSED PROFESSIONAL ORGANIZATION. SENECA DESIGN L.L.C. IS NOT A LICENSED REGULATORY AGENCY. SENECA DESIGN L.L.C. IS NOT A LICENSED GOVERNMENT ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED MILITARY ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED RELIGIOUS ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED POLITICAL ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED CHARITABLE ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED NON-PROFIT ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED FOR-PROFIT ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED PUBLIC ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED INDIVIDUAL ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED CORPORATE ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED PARTNERSHIP ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED TRUST ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED ESTATE ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED FIDUCIARY ENTITY. SENECA DESIGN L.L.C. IS NOT A LICENSED FINANCIAL INSTITUTION. SENECA DESIGN L.L.C. IS NOT A LICENSED BANK. SENECA DESIGN L.L.C. IS NOT A LICENSED CREDIT UNION. SENECA DESIGN L.L.C. IS NOT A LICENSED SAVINGS AND LOAN ASSOCIATION. SENECA DESIGN L.L.C. IS NOT A LICENSED INVESTMENT COMPANY. SENECA DESIGN L.L.C. IS NOT A LICENSED MUTUAL FUND. SENECA DESIGN L.L.C. IS NOT A LICENSED HEDGE FUND. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE EQUITY FUND. SENECA DESIGN L.L.C. IS NOT A LICENSED VENTURE CAPITAL FUND. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE BUREAU. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE INVESTMENT BANK. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE BANKING. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE WEALTH MANAGEMENT. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE ESTATE PLANNING. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE LEGAL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE MEDICAL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE EDUCATIONAL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE CARE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE SECURITY SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE CONSTRUCTION SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE MAINTENANCE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE REPAIR SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE RESTORATION SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE CLEANING SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE LANDSCAPE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE PEST CONTROL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE FIRE PROTECTION SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE EMERGENCY SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE TRANSPORTATION SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE TRAVEL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE TOUR SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE CRUISE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE CHARTER SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE RENTAL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE LEASE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE PURCHASE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE SALE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE INVESTMENT SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE FINANCIAL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE INSURANCE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE RETIREMENT SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE TAX SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE LEGAL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE MEDICAL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE EDUCATIONAL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE CARE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE SECURITY SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE CONSTRUCTION SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE MAINTENANCE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE REPAIR SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE RESTORATION SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE CLEANING SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE LANDSCAPE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE PEST CONTROL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE FIRE PROTECTION SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE EMERGENCY SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE TRANSPORTATION SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE TRAVEL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE TOUR SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE CRUISE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE CHARTER SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE RENTAL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE LEASE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE PURCHASE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE SALE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE INVESTMENT SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE FINANCIAL SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE INSURANCE SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE RETIREMENT SERVICES. SENECA DESIGN L.L.C. IS NOT A LICENSED PRIVATE TAX SERVICES.

# ELECTRICAL BULB NOTE:

ALL FLUSH MOUNT LIGHTS TO BE A MINIMUM OF A (2) TWO BULB FIXTURE.

ALL BEDROOMS TO HAVE A 3 BULB FIXTURE, NO EXCEPTIONS

## APPENDIX I - CONST PLANS



### UPPER ELECTRICAL SCHEDULE

Symbol	Description	Qty
	BATH FAN	4
	LIGHT - CEILING FAN	1
	LIGHT - RECESSED - L.E.D.	55
	LIGHT - STRIP LIGHT 3	4
	LOW VOLT - PHONE	3
	LOW VOLT - T.V.	3
	PLUG - 110+USB	5
	PLUG - 110v	35
	PLUG - 220v	2
	PLUG - EAVE	2
	PLUG - GFI	8
	SD/ CMD	3
	SMOKE DETECTOR	4
	SWITCH - 1	21
	SWITCH - 2	5
	SWITCH - 3	3
	THERMOSTAT	2

# SHELVING NOTE:

ALL STANDARD DEPTH CLOSETS (0" TO 2'-11") TO HAVE A 12" TOP SHELF.

ALL WALK-IN DEPTH CLOSETS (3'-0"+) TO HAVE A 16" TOP SHELF

ALL SHELVING BELOW TOP SHELF TO BE 16" STANDARD

PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2500 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

PROJECT NAME:  
FCH-CUSTOM-BEARDALL

SENECA DESIGN  
JAMES HOTH: 435-720-2087  
SENECA.DESIGN.JH@GMAIL.COM

GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER

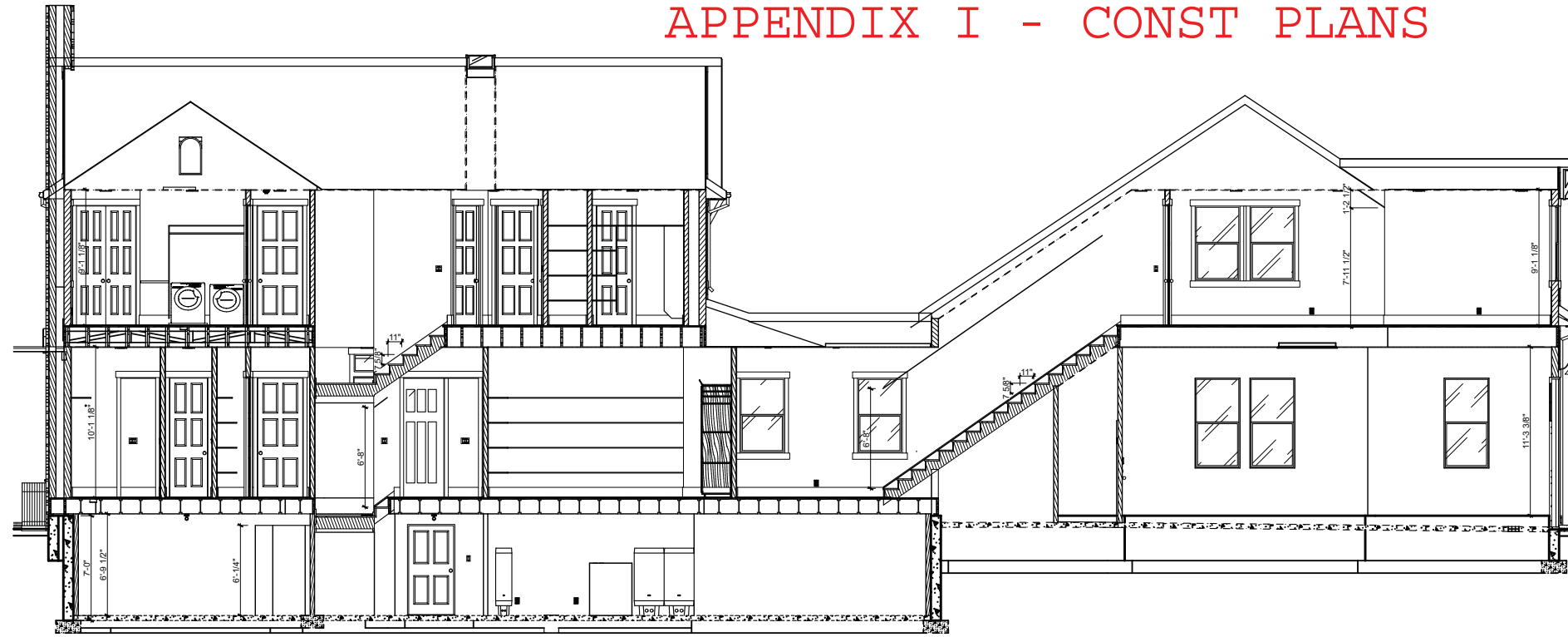
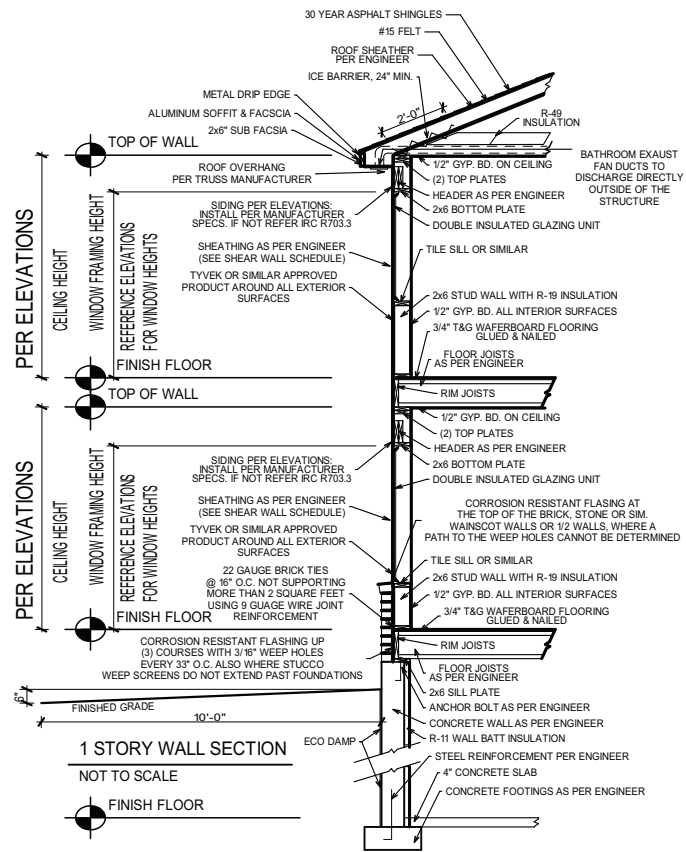
UPPER ELECTRICAL

DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

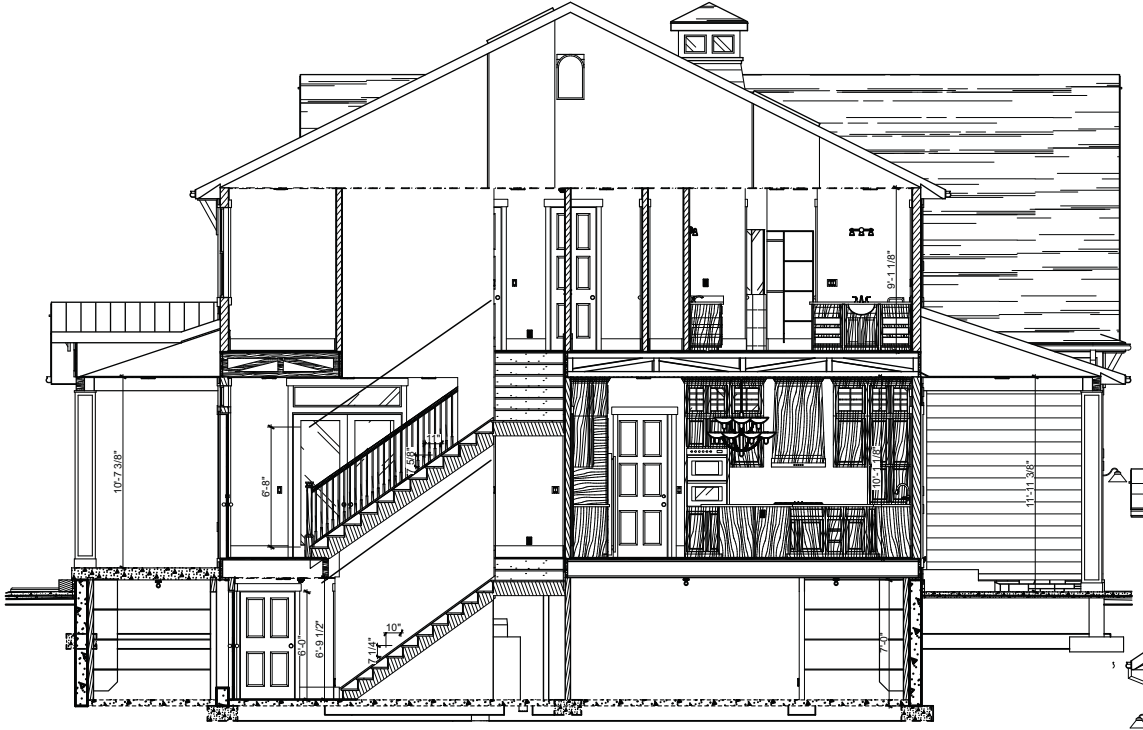
# AA20

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. OR SENECA DESIGN L.L.C. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY AND WILL DIFFER FROM THE FINAL PRODUCT.

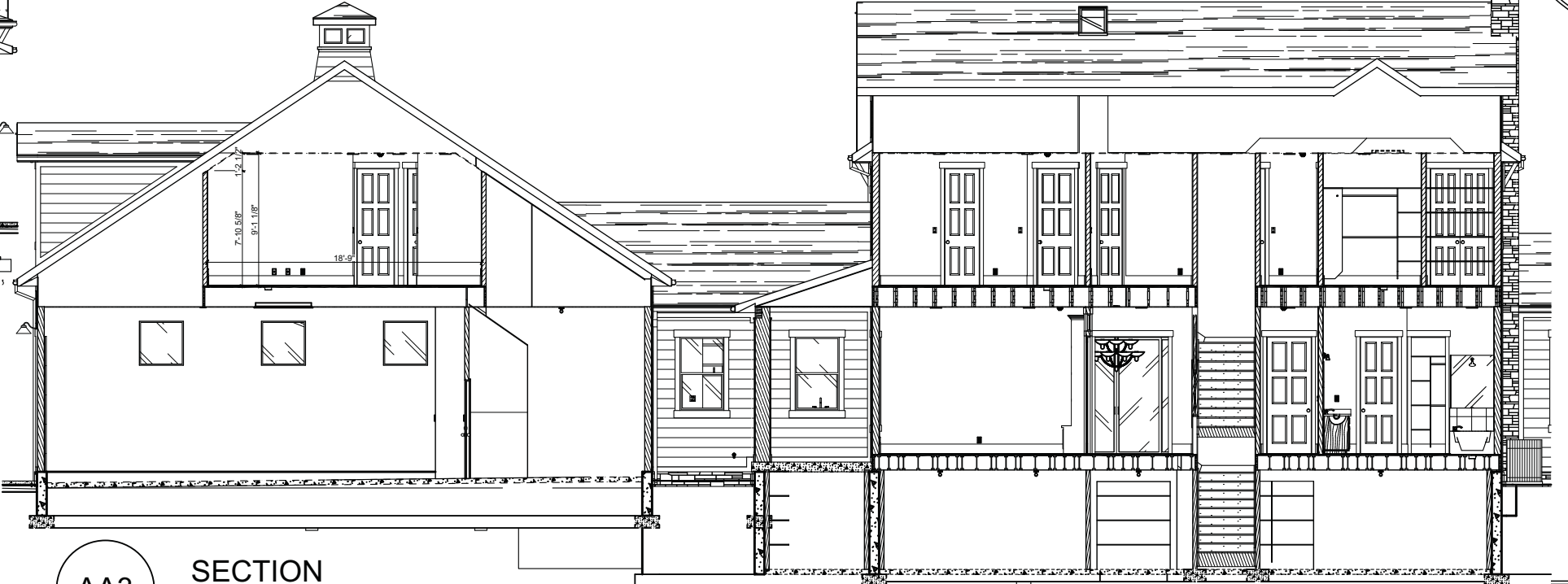
# APPENDIX I - CONST PLANS



AA1 SECTION  
SCALE: 3/32" = 1'-0"



AA2 SECTION  
SCALE: 3/32" = 1'-0"



AA3 SECTION  
SCALE: 3/32" = 1'-0"

PROJECT ADDRESS  
SANDHILL CRANE CLUSTER  
LOT #6  
5787 EAST 2500 NORTH  
WEBER COUNTY, UT

CLIENT:  
BEARDALL

PROJECT NAME:  
FCH-CUSTOM-BEARDALL

**SENECA DESIGN**  
ARCHITECTS  
JAMES HOTTH: 435-720-2087  
SENECA.DESIGN.JH@GMAIL.COM

GENERAL CONTRACTOR:  
FLINT CUSTOM HOMES

ENGINEER:  
ENGINEERING COMPANY  
PHONE NUMBER

WALL SECTION

DATE: 8/3/18  
REVISION: R-7E  
SCALE: 3/32" = 1'-0"

AA23

NOTICE: THESE DESIGNS AND DRAWINGS ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF SENECA DESIGN L.L.C. AND ARE NOT TO BE DISCLOSED WITHOUT EXPRESS PERMISSION OF SENECA DESIGN L.L.C. THEY MAY NOT BE USED OR DUPLICATED WITH OUT THE EXPRESS PERMISSION OF SENECA DESIGN L.L.C. OR SENECA DESIGN L.L.C. IN ANY MANNER. PLANS SUBJECT TO CHANGE ON SITE. ELEVATIONS ARE ARTISTIC REPRESENTATIONS ONLY AND WILL DIFFER FROM THE FINAL PRODUCT. DISCLAIMER: ACTUAL SITE CONDITIONS MAY VARY FROM WHAT PLANS SHOW.



## SWPPP Inspection Report

Steve Flint Custom Homes, Inc.  
Beardall Residence  
Lot #6 Sandhill Crane  
5787 East 2500 North  
Eden, UT 84310

Inspector's Name/Title: Scott Birch/Steve Flint Inspection Date: \_\_\_\_\_

Scope of Inspection (e.g., location, reason for inspection, etc.):

Observations (if applicable, include location of any discharges of sediment or other pollutants from the site and description of any control device that failed):

Actions Taken (list any actions taken to mitigate any observed problems):

Identify any Non-Compliance Areas:

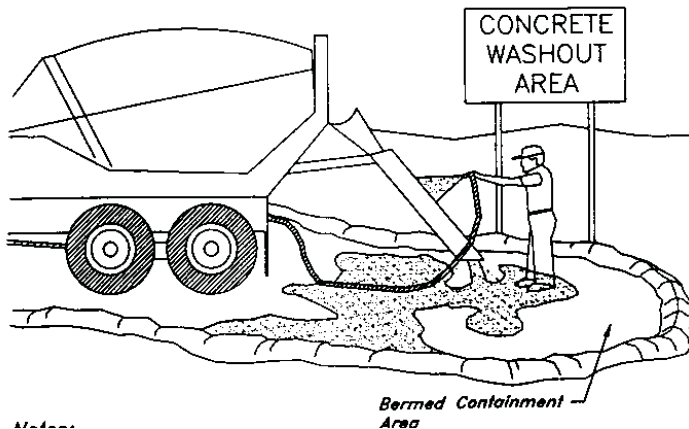
Check here  if project is in compliance with the Storm Water Pollution Prevention Plan (SWPPP) and Permit.

Inspector's Signature: \_\_\_\_\_

# APPENDIX K - BMP SPECS & DETAILS

## BMP: Concrete Waste Management

CWM



### DESCRIPTION:

Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

### APPLICATION:

This technique is applicable to all types of sites

### INSTALLATION / APPLICATION CRITERIA:

- Store dry materials under cover, away from drainage areas
- Minimize excess mixing of fresh concrete, mortar or cement on site
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams
- Do not allow excess concrete to be dumped on-site, except in designated areas
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area (6" tall X 6' wide)
- Train employees and subcontractors in proper concrete waste management

### LIMITATIONS:

- Off-site washout or concrete wastes may not always be possible

### MAINTENANCE:

- Inspect subcontractors to ensure that concrete wastes are being properly managed
- If using a temporary pit, dispose of hardened concrete on a regular basis

### OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

### TARGETED POLLUTANTS

#### H M L

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Bacteria & Viruses
- Other Waste

### IMPLEMENTATION REQUIREMENTS

#### H M L

- Capital Costs
- O&M Costs
- Maintenance
- Training
- Staffing
- Administrative

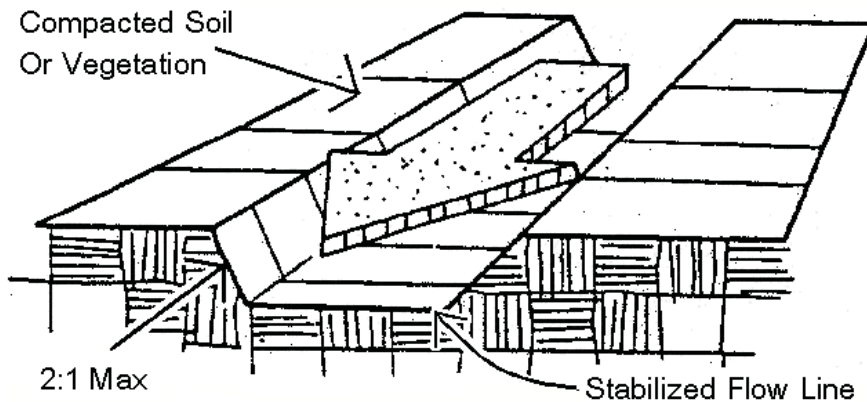
H = High M = Medium L = Low



1500 East 650 North  
Fruit Heights, UT 84037

## BMP: Temporary Drains and Swales

**TDS**



### OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

### TARGETED POLLUTANTS

#### H M L

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Bacteria & Viruses
- Other Waste

### IMPLEMENTATION REQUIREMENTS

#### H M L

- Capital Costs
- O&M Costs
- Maintenance
- Training
- Staffing
- Administrative

H = High M = Medium L = Low

### DESCRIPTION:

Temporary drains and swales are used to divert off-site runoff around the construction site, divert runoff from stabilized areas around disturbed areas.

### APPLICATION:

- Temporary drains and swales are appropriate for diverting and upslope runoff around unstabilized or disturbed areas of the construction site
- Prevent slope failures. Prevent damage to adjacent property. Prevents erosion and transport of sediments into water ways. Increases the potential for infiltration. Diverts sediment-laden runoff into sediment basins or traps.

### INSTALLATION / APPLICATION CRITERIA:

- Temporary drainage swales will effectively convey runoff and avoid erosion if built properly
- Size temporary drainage swales using local drainage design criteria. A permanent drainage channel must be designed by a professional engineer (see the local drainage design criteria for proper design)
- At a minimum, the drain/swale should conform to predevelopment drainage patterns and capacities
- Construct the drain/swale with an uninterrupted positive grade to a stabilized outlet. Provide erosion protection or energy dissipation measures if the flow out of the drain or swale can reach an erosive velocity

### LIMITATIONS:

- Temporary drains and swales or any other diversion of runoff should not adversely impact upstream or downstream properties
- Temporary drains and swales must conform to local floodplain management requirements

### MAINTENANCE:

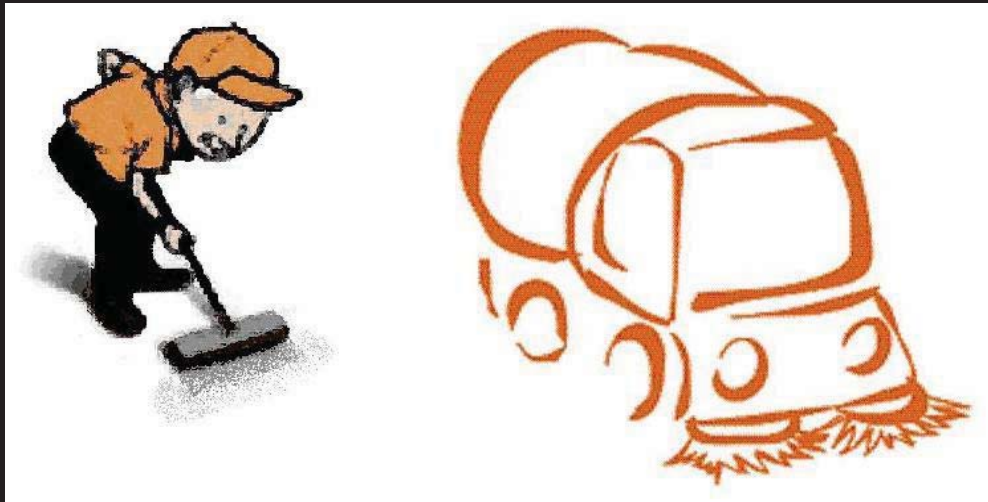
- Inspect weekly and after each rain
- Repair any erosion immediately
- Remove sediment which builds up in the swale and restricts its flow capacity



1500 East 650 North  
Fruit Heights, UT 84037

## BMP: Street Sweeping

**SS**



**DESCRIPTION:**

Prevent sediment from entering storm water by sweeping the streets near construction activities.

**APPLICATION:**

- Useful for any paved streets near construction sites where sediment is blown, tracked, or spilled onto the streets.

**INSTALLATION / APPLICATION CRITERIA:**

- The equipment used should be appropriate for the conditions. Vacuum sweepers work more effectively when the area is dry. Brush sweepers work better when the sediment is wet or stuck to the surface.
- Mechanical equipment should be operated and maintained according to the manufacturer's recommendations

**LIMITATIONS:**

- Is labor and equipment intensive
- May cause dust

**MAINTENANCE:**

- The street should be checked daily for any sediment deposits. Street sweeping should be implemented whenever sediment from construction activity is found on the streets

**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

**TARGETED POLLUTANTS**

**H M L**

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Bacteria & Viruses
- Other Waste

**IMPLEMENTATION REQUIREMENTS**

**H M L**

- Capital Costs
- O&M Costs
- Maintenance
- Training
- Staffing
- Administrative

H = High M = Medium L = Low

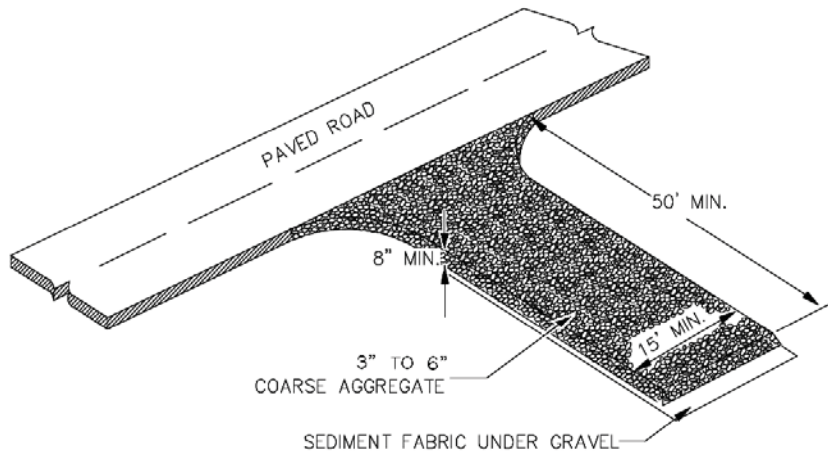


1500 East 650 North  
Fruit Heights, UT 84037

# APPENDIX K - BMP SPECS & DETAILS

## BMP: Stabilized Construction Entrance

SCE



### OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

### TARGETED POLLUTANTS

#### H M L

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Bacteria & Viruses
- Other Waste

### IMPLEMENTATION REQUIREMENTS

#### H M L

- Capital Costs
- O&M Costs
- Maintenance
- Training
- Staffing
- Administrative

H = High M = Medium L = Low

### DESCRIPTION:

A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface.

### APPLICATION:

At any point of ingress and egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

### INSTALLATION / APPLICATION CRITERIA:

- Clear and grub area and grade to provide maximum slope of 2%
- Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months)
- Place coarse aggregate, 3-6 inches in size, to a minimum depth of 8 inches

### LIMITATIONS:

- Requires periodic top dressing with additional stones
- Should be used in conjunction with street sweeping on adjacent public right-of-way

### MAINTENANCE:

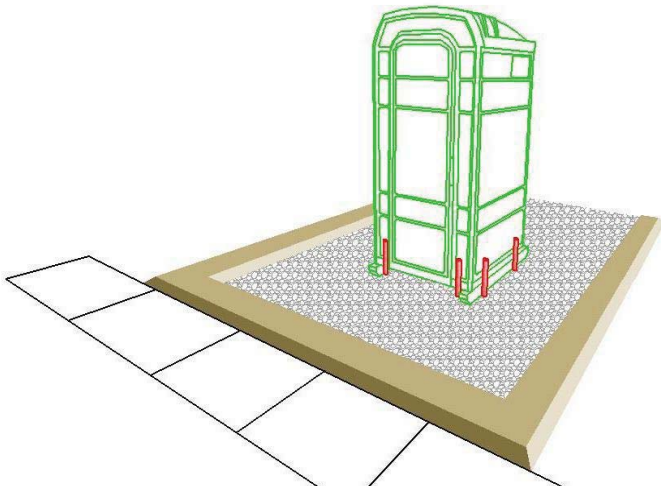
- Inspect daily for loss of gravel or sediment buildup
- Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling
- Repair entrance and replace gravel as required to maintain control in good working condition
- Expand stabilized area as required to accommodate traffic and prevent erosion at driveways



1500 East 650 North  
Fruit Heights, UT 84037

## BMP: Portable Toilet

PT



### OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

### TARGETED POLLUTANTS

#### H M L

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Bacteria & Viruses
- Other Waste

### IMPLEMENTATION REQUIREMENTS

#### H M L

- Capital Costs
- O&M Costs
- Maintenance
- Training
- Staffing
- Administrative

H = High M = Medium L = Low

### DESCRIPTION:

Temporary on-site sanitary facilities for construction personnel.

### APPLICATION:

All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

### INSTALLATION / APPLICATION CRITERIA:

- Locate portable toilets in a convenient locations throughout the site
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel
- Construct earth berm perimeter (see Earth Berm Barrier Sheet), control for spill / leak protection.
- Anchor the portable toilet to prevent tipping

### LIMITATIONS:

No limitations

### MAINTENANCE:

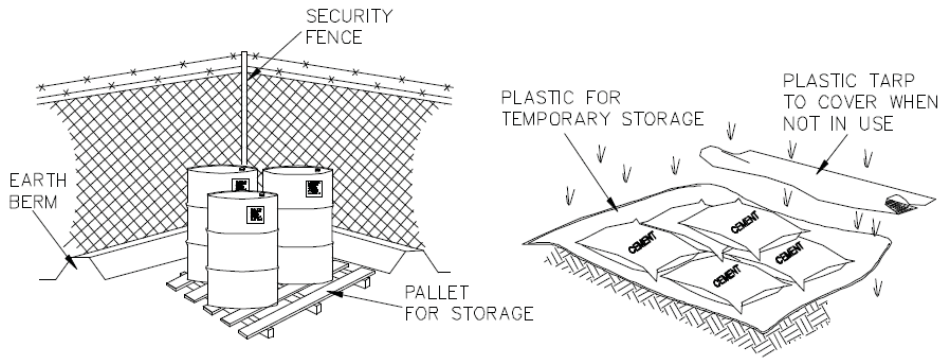
- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection
- Regular waste collection should be arranged with licensed service
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval



1500 East 650 North  
Fruit Heights, UT 84037

## BMP: Materials Storage

**MS**



- ▶ CONTROLLED STORAGE LOCATION
- ▶ BARRIER AROUND PERIMETER
- ▶ ELEVATE CONTAINERS OFF GROUND
- ▶ COVER WHEN NOT IN USE

### OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

### TARGETED POLLUTANTS

#### H M L

- |                                     |                                     |                                     |                     |
|-------------------------------------|-------------------------------------|-------------------------------------|---------------------|
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Sediment            |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Nutrients           |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Heavy Metals        |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | Toxic Materials     |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Oil & Grease        |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Floatable Materials |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Bacteria & Viruses  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Other Waste         |

### DESCRIPTION:

Controlled storage of on-site materials.

### APPLICATION:

- Storage of hazardous, toxic, and all chemical substances
- Any construction site with outside storage of materials

### INSTALLATION / APPLICATION CRITERIA:

- Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby
- Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills
- Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of material that will not be utilized on site
- For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use

### LIMITATIONS:

- Does not prevent contamination due to mishandling of products
- Spill Prevention and Response Plan still required
- Only effective if materials are actively stored in controlled location

### MAINTENANCE:

- Inspect daily and repair any damage to perimeter impoundment or security fencing
- Check materials are being correctly stored (i.e. standing upright, in labeled containers, tightly capped) and that no materials are being stored away from the designated location

### IMPLEMENTATION REQUIREMENTS

#### H M L

- |                                     |                                     |                                     |                |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------|
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Capital Costs  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | O&M Costs      |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Maintenance    |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | Training       |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Staffing       |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Administrative |

H = High M = Medium L = Low

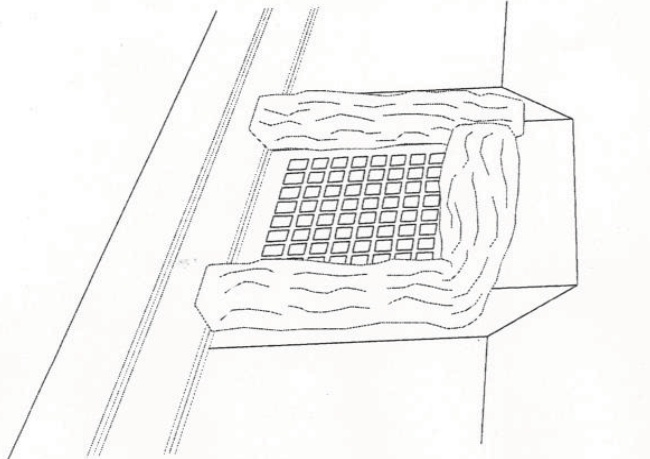


1500 East 650 North  
Fruit Heights, UT 84037

# APPENDIX K - BMP SPECS & DETAILS

## BMP: Inlet Protection - Gravel Bags

IP-GB



### DESCRIPTION:

Sediment barrier erected around storm drain inlet.

### APPLICATION:

Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction

### INSTALLATION / APPLICATION CRITERIA:

- Provide up-gradient sediment controls, such as silt fence during construction of inlet
- When construction of curb and gutter and roadway is complete, install gravel filled bags around perimeter of inlet
- Fill to recommended levels to reduce splitting of bags

### LIMITATIONS:

- Recommended maximum contributing drainage area of one acre
- Requires shallow sloped adjacent to inlet.

### MAINTENANCE:

- Inspect inlet protection following storm event and at a minimum of once every 14 days.
- Remove accumulated sediment when it reaches half the height of the bag.
- Look for bypassing or undercutting and repair or realign as needed.
- Replace and clean up spilled gravel when bags split.

### OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

### TARGETED POLLUTANTS

#### H M L

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Bacteria & Viruses
- Other Waste

### IMPLEMENTATION REQUIREMENTS

#### H M L

- Capital Costs
- O&M Costs
- Maintenance
- Training
- Staffing
- Administrative

H = High M = Medium L = Low

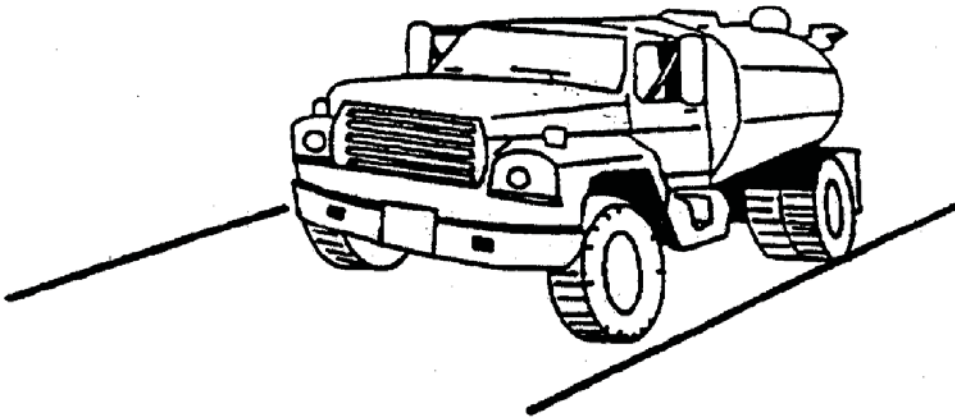


1500 East 650 North  
Fruit Heights, UT 84037



## BMP: Dust Controls

DC



### DESCRIPTION:

Dust control measures are used to stabilize soil from wind erosion, and reduce dust by construction activities.

### APPLICATION:

Dust control is useful in any process area, loading and unloading area, material handling areas, and transfer areas where dust is generated. Street sweepers are limited to areas that are paved.

### INSTALLATION / APPLICATION CRITERIA:

- Mechanical dust collection systems are designed according to the size of dust particles and the amount of air to be processed. Manufacturers' recommendations should be followed for installation (as well as the design of the equipment).
- Two kinds of street sweepers are common: brush and vacuum. Vacuum sweepers are more efficient and work best when the area is dry.
- Mechanical equipment should be operated according to the manufacturers' recommendations and should be inspected regularly.

### LIMITATIONS:

- More elaborate equipment may be impossible to maintain by plant personnel
- Is labor and equipment intensive and may not be effective for all pollutants (street sweepers)

### MAINTENANCE:

If water sprayers are used, dust-contaminated waters should be collected and taken for treatment. Areas will probably need to be resprayed to keep dust from spreading.

### OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

### TARGETED POLLUTANTS

#### H M L

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Bacteria & Viruses
- Other Waste

### IMPLEMENTATION REQUIREMENTS

#### H M L

- Capital Costs
- O&M Costs
- Maintenance
- Training
- Staffing
- Administrative

H = High M = Medium L = Low



1500 East 650 North  
Fruit Heights, UT 84037

## Appendix L – Beardall Residence SWPPP Sign

# SWPPP

### SWPPP available to review:

#### Online –

[https://1drv.ms/w/s!AqM4YewZfdltlcMyNxRDVWMX\\_A\\_jNw](https://1drv.ms/w/s!AqM4YewZfdltlcMyNxRDVWMX_A_jNw)

#### Hardcopy –

1410 North Hill Field Road  
Suite 1  
Layton, UT

#### Call-

Scott 801-698-3473  
Steve 801-779-1807