

## Common Plan SWPPP for Halverson Residence

1963 South River Run Drive

Huntsville Utah 84317

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Jed Slama Construction Corp

1245 S 9400 E

Huntsville Utah 84317

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Jed Slama Construction Corp

1245 S 9400 e

Huntsville Utah 84317

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Date

09/04/2018



### 1. Project Information

Project Name: Halverson Residence

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**Address:** 1963 South River Run Drive  
**City:** Huntsville **State:** UT **Zip:** 84317  
**Latitude:** 41.231389  
**Longitude:** 111.73  
**UPDES Permit Tracking Number:** utr88667

**Owner:** Chad Halverson  
**Contact Person:** Jed Slama  
**Address:** 1245 S 9400 E  
**City:** Huntsville **State:** ut **Zip:** 84317  
**Telephone Number:** 8014306622  
**Email Address:** jed@jsc-builders.com

**General Contractor:** Jed Slama Construction Corp  
**Contact Person:** Jed Slama  
**Address:** 1245 s 9400 e  
**City:** Huntsville **State:** ut **Zip:** 84317  
**Telephone Number:** 8014306622  
**Email Address:** jed@jsc-builders.com

## 1.5

**Unknown Features** (although this may be a law under another program, it's not a permit requirement). **Discovery of Historical, Archaeological or Paleontological Objects, Features, Sites, or Human Remains**

- A. Immediately suspend construction operations in the vicinity(100 foot minimum buffer) of the discovery.
- B. Verbally notify the Public Works Department and provide them the exact location.
- C. Protect the discovery and provide written confirmation of the discovery to the City and State Historic Departments within two calendar days.
- D. Contractor and City follow State mitigation laws.

## 2. Best Management Practices

### 2.1 SWPPP Sign(see permit part 1.10, 4.2.11)

Description of construction board is filed in Appendix L

### 2.2 Sensitive Features Control (see permit part 2.2)

#### 2.2.x Wetlands

There are no wetlands near this property, it does not apply.

#### 2.2.x Water Bodies within or 30' from Disturbance Boundary(see permit part 2.3.5)

We will Not be within 30' from any disturbance to a water body. This does not apply.

### 2.3 Sediment Control (see permit part 2.1.2, 2.1.3 & 2.3) natural vegetation

#### 2.3.x Trap/Filter Sediment at Property Boundary(see permit part 2.1.2)

**2.4.x Inlet Protection**(see permit part 2.1.3 & 2.3)

There is no inlet to protect. This does not apply

**2.4.x Steep Slopes** (see permit part 2.3.2)

There are no steep slopes. This does not apply

**2.4.x Street Maintenance**(see permit part 3.2.2)

We will clean sweep road surface.

**2.4 Top Soil Preservation**(see permit part 2.5)

There is no top soil. This does not apply}

**2.5 Dust Control**(see permit part)As per Fugitive dust control.

**2.5.x**

See fugitive dust control.

**2.6 Egress Control**(see permit part 2.4)

**2.6.x Track Out**(see permit part 2.4.1)

We will use 2-4' cobble for track out at entrance.

**2.7 Waste Management Control**(see permit part 4.2.6)

**2.7.x Solid Waste**(see permit part 2.4.3) We will have a dumpster on site at all times.

**2.7.x Construction Spoil**(see permit part 2.1.1)

We will clear site of all spoil.

**2.7.x Sanitary Waste**(see permit part 2.4.4)

We will not have any sanitary waste. This does not apply.

**2.7.x Cement Product Operations**(see permit part 2.4.5, 2.9.2)

We will have concrete washout areas.

**2.7.x Concrete Cutting Operations**(see permit part 2.9.2)

There will be no concrete cutting operations. This does not apply.

**2.7.x Non Aqueous Waste**(see permit part 2.8.2)

There will be none. This does not apply.

**2.7.x Construction Wastewater**(see permit part 2.7, 2.9, 2.9.4) *There will be no construction wastewater discharged. This does not apply.*

**2.8 Management of Construction Materials Control**

**2.8.x Storage of Construction Materials**(see permit part 2.8.2)

Materials will be placed near the end of the track out area.

**2.8.x Construction Staging(backfill)(see permit part 2.1.1)**

Construction materials will be placed near track out area.

**2.8.x Construction Staging(Landscaping)(see permit part 2.1.1)**

There will be no landscaping. This does not apply.

**2.9 Final Stabilization(see permit part 2.6)**

**2.9.x Landscaping Plan**

There is no landscaping included in this swppp.

**2.9.x Temporary Containment of Sediment**

The natural vegetation of the land will contain all sediment.



### 3. Spill Prevention and Response Plan (see permit part 2.8.3, 2.9.3)

We will minimize any chance of spills by using good building practices.

Description of Spill control Plan, details and policy are filed in Appendix L.

**Any discharges in 24 hours equal to or in excess of the reportable quantities listed in 40 CFR 117, 40 CFR 110, and 40 CFR 302 will be reported to the National Response Center and the Division of Water Quality (DWQ) as soon as practical after knowledge of the spill is known to the permittee.** The permittee shall submit within 14 calendar days of knowledge of the release a written description of: the release (including the type and estimate of the amount of material released), the date that such release occurred, the circumstances leading to the release, and measures taken and/or planned to be taken to the Division of Water Quality (DWQ), 288 North 1460 West, P.O. Box 144870, Salt Lake City, Utah 84114-4870. The Storm Water Pollution Prevention Plan must be modified within 14 calendar days of knowledge of the release to provide a description of the release, the circumstances leading to the release, and the date of the release. In addition, the plan must be reviewed to identify measures to prevent the reoccurrence of such releases and to respond to such releases, and the plan must be modified where appropriate.

| Agency   | Phone Number                   |
|--|--------------------------------|
| National Response Center                         | (800) 424-8802                 |
| Division of Water Quality ( DWQ) 24-Hr Reporting | (801) 538-6146; (801) 536-4123 |
| Utah Department of Health Emergency Response     | (801) 580-6681                 |
| UFA  | 911                            |

Minimum spill quantities requiring reporting:

| Material  | Media Released To | Reportable Quantity  |
|---|-------------------|----------------------|
| Engine oil, fuel, hydraulic & brake fluid             | Land              | 25 gallons           |
| Paints, solvents, thinners                            | Land              | 100 lbs (13 gallons) |
| Engine oil, fuel, hydraulic & brake fluid             | Water             | Visible Sheen        |
| Refrigerant   | Air               | 1 lb                 |
| Antifreeze, battery acid, gasoline, engine degreasers | Air, Land, Water  | 100 lbs (13 gallons) |

Emphasis to:

- 1<sup>st</sup> Priority: Protect all people (including onsite staff)
- 2<sup>nd</sup> Priority: Protect equipment and property
- 3<sup>rd</sup> Priority: Protect the environment

1. Make sure the spill area is safe to enter and that it does not pose an immediate threat to health or safety of any person.

2. Check for hazards (flammable material, noxious fumes, cause of spill) – if flammable liquid, turn off engines and nearby electrical equipment. If serious hazards are present leave area and call 911. LARGE SPILLS ARE LIKELY TO PRESENT A HAZARD.
3. Stop the spill source and contain flowing spills immediately with spill kits, dirt or other material that will achieve containment.
4. Call co-workers and supervisor for assistance and to make them aware of the spill and potential dangers
5. If spilled material has entered a storm sewer, regardless of containment; contact the Municipal Storm Water Division.
6. Cleanup all spills (flowing or non-flowing) immediately following containment. Clean up spilled material according to manufacturer specifications, for liquid spills use absorbent materials AND DO NOT FLUSH AREA WITH WATER.
7. Properly dispose of cleaning materials and used absorbent material according to manufacturer specifications.
8. Report the reportable quantity to the Municipal Storm Water Division.

**Emergency Numbers**

|                                     |                |
|-------------------------------------|----------------|
| Utah Hazmat Response Officer 24 hrs | (801)-538-3745 |
| City Police Department              | (801)-778-6600 |
| Municipal Storm Water Division      | (801)-399-8374 |

#### 4. Site Map(s) *(see permit part 4.2.3)*

The SWPPP site maps are filed in Appendix B

#### 5. Record Keeping

See the appendices in Appendix A-K.

##### **SWPPP Inspections-Maintenance-Correction Report** *(permit part 3.2.1, 3.2.2, 3.3, 3.4, 4.2.12)*

Inspections are required every 7 calendar days

Repair or replace BMPs prior to need or by end of week whichever comes first. Update the Inspection-Maintenance-Correction Report weekly.

Section 3.2.2 requires daily maintenance of pavements and site grounds.

See the Inspection-Maintenance-Correction Reports in Appendix E

##### **Changes to the SWPPP***(see permit part 4.2.12, 4.2.13)*

See the Amendment Log in Appendix F.

##### **Training***(see permit part 4.2.7)*

Training Logs and Documents are filed in Appendix H.

#### 6. Discharge Information

Receiving Waters (look up <http://wq.deq.utah.gov> to identify your receiving water body)

##### 1. **Bally Watts Creek**

Impaired Waters (refer to <http://wq.deq.utah.gov> in the left hand column to determine status of receiving water body).

| Impaired Surface Water | Is this surface water impaired?                                     | Pollutant(s) causing the impairment | Has a TMDL been completed?                               | Pollutant(s) for which there is a TMDL |
|------------------------|---|-------------------------------------|--|--|
|                        | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |                                     | <input type="checkbox"/> Yes <input type="checkbox"/> No |  |

## **7. Certification, Notification and Delegation**(see permit part 4.2.9)

**Owner Certification:** See documents filed in Appendix G.

**Operator Certification:** See documents filed in Appendix G.

**Delegation of Authority:** *Not used.*

**Subcontractor Certification:** Not used.

**Notice of Permit Transfer Requirements:** Not used.

## **SWPPP Appendices**

**Appendix A: General Location Map**

**Appendix B: SWPPP Site Maps**

**Appendix C: UPDES Permit(UTRH00000)**

**Appendix D: Permits; NOI, MS4 Appendix E: Inspection-Maintenance-Correction Report**

**Appendix F: SWPPP Amendment Log**

**Appendix G: Certifications, Agreements, Delegation of Authority**

**Appendix H: Training Log**

**Appendix I: Construction Plans**

**Appendix J: Additional Information**

**Appendix K: BMP Specifications and Details**



Google Maps 1963 S River Run Dr

Appendix A

Appendix A

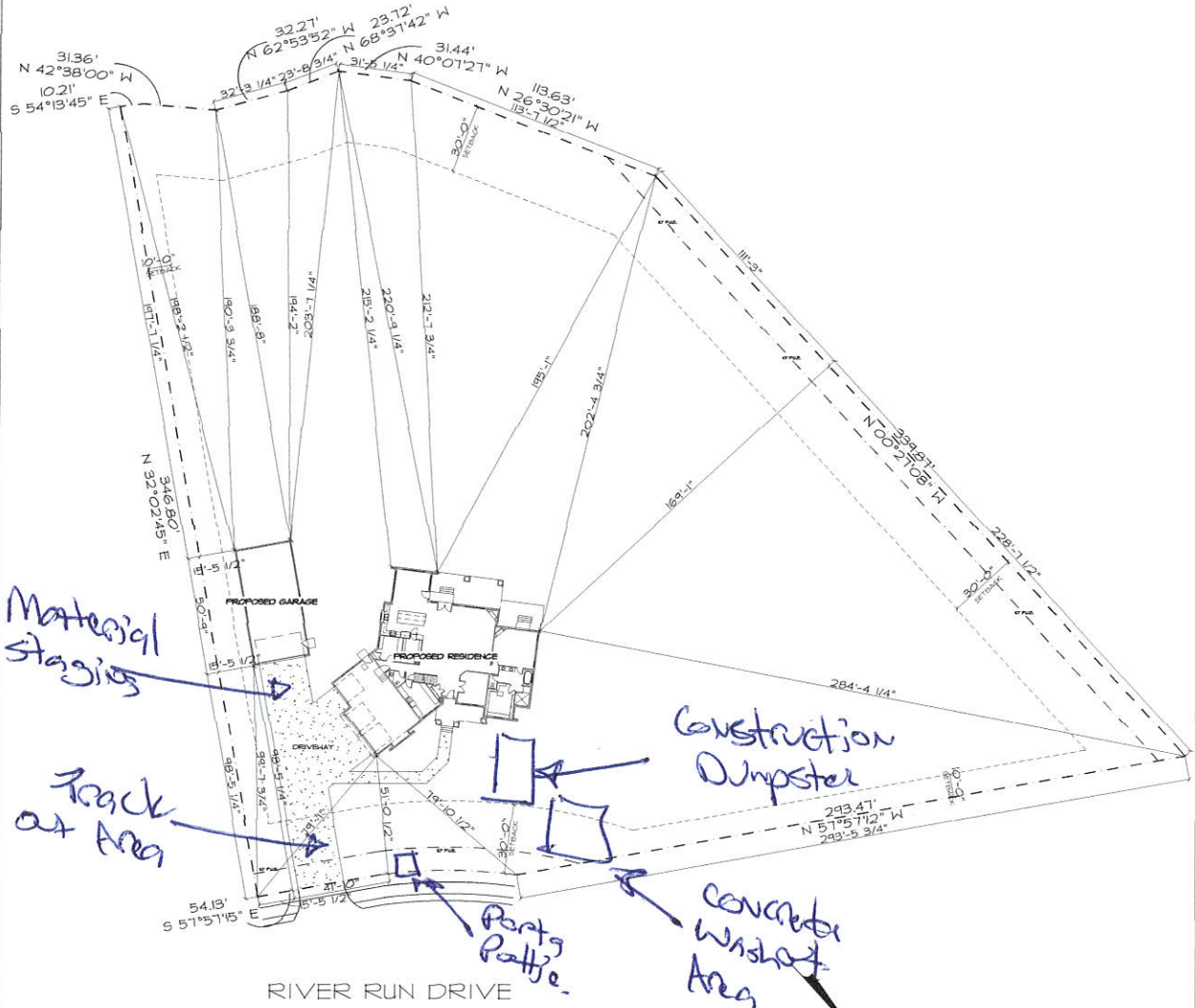


Imagery ©2018 Google, Map data ©2018 Google 200 ft

Google



# Appendix B



SCALE : 1" = 50'

CHAD HALVERSON  
1963 RIVER RUN DR.  
LOT 15 MONASTERY COVE SUB.  
HUNTSVILLE, UTAH

Appendix D/C

STATE OF UTAH, DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF WATER QUALITY  
 195 North 1950 West, P.O. Box 144870, Salt Lake City, Utah 84114-4870 (801) 536-4300

**NOI**

Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under the UPDES General Permit UTRH88667  
**SEE REVERSE FOR INSTRUCTIONS**

Submission of this Notice of Intent constitutes notice that the party(s) identified in Section I of this form intends to be authorized by UPDES General Permit No. UTRH88667 issued for storm water discharges associated with construction activity in the State of Utah. Becoming a permittee obligates such discharger to comply with the terms and conditions of the permit. ALL NECESSARY INFORMATION MUST BE PROVIDED ON THIS FORM.

**PERMIT PERIOD** Permit Start Date: 09/04/2018 Permit Expiration Date: 06/30/2019

**PERMIT TYPE** Construction General Permit (CGP, this permit covers any construction project): .....   
 Common Plan Permit (this only covers single lot residential construction disturbing less than an acre): .....

Is this NOI seeking continuation for previously expired permit coverage at the same site? Y  N

If yes, what is the number of the previous permit coverage? Permit No. UTR

**I. OWNER INFORMATION**

Owner Name: Chad Halverson  
 Address: 6226 West Indian Pony Way  
 City: HERRIMAN  
 Contact Person: Jed Slama

Phone: 801-870-0873  
 Status of Owner: PRIVATE  
 State: UT Zip: 84096  
 Phone: 801-430-6622

GENERAL CONTRACTOR: Jed Slama Construction Corp  
 Address: 1245 S 9400 E  
 City: HUNTSVILLE  
 Contact Person: Jed Slama

Phone: 801-430-6622  
 Status of General Contractor: PRIVATE  
 State: UT Zip: 84317  
 Phone: 801-430-6622

**II. FACILITY SITE / LOCATION INFORMATION**

Name: Halverson Residence  
 Project No. (if any):

Address: 1963 River Run Drive  
 City: HUNTSVILLE  
 Latitude: 41.231769 Longitude: -111.729748

County: WEBER  
 State: UT Zip: 84317

Is the facility located in Indian Country?

Y  N

Method (check one):  USGS Topo Map, Scale  EPA Web site  GPS  Other

**III. SITE INFORMATION**

Municipal Separate Storm Sewer System (MS4) Operator Name: Weber County

Receiving Water Body: Bally Watts Creek known this is known  this is a guess  (see <http://wq.deq.utah.gov/>)

Estimate of distance to the nearest water body? 300 ft ft.  miles.

Is the receiving water an impaired or high quality water body (see <http://wq.deq.utah.gov/>)? Yes  No

List the Number of any other UPDES permits at the site:

**IV. THIS SECTION IS ONLY FOR PROJECTS INVOLVED IN DEVELOPMENT OF A SUBDIVISION.**

List the lots proposed for the development (please add another sheet of paper if there is not enough room to list all lots).



V. TYPE OF CONSTRUCTION (Check all that apply)

- 1.  Residential    2.  Commercial    3.  Industrial    4.  Road    5.  Bridge    6.  Utility
- 7.  Contouring, Landscaping    8.  Pipeline    9.  Other (Please list)

VI. BEST MANAGEMENT PRACTICES

Identify proposed Best Management Practices (BMPs) to reduce pollutants in storm water discharges (Check all that apply):

- 1.  Silt Fence/Straw Wattle/Perimeter Controls    2.  Sediment Pond    3.  Seeding/Preservation of Vegetation
- 4.  Mulching/Geotextiles    5.  Check Dams    6.  Structural Controls (Berms, Ditches, etc.)
- 7.  Other (Please list)

VII. GOOD HOUSEKEEPING PRACTICES

Identify proposed Good Housekeeping Practices to reduce pollutants in storm water discharges (Check all that apply even if they apply only during a part of the construction time):

- 1.  Sanitary/Portable Toilet    2.  Washout Areas    3.  Construction Chemicals/Building Supplies Storage Area
- 4.  Garbage/Waste Disposal    5.  Non-Storm Water    6.  Track Out Controls    7.  Spill Control Measures

VIII. ADDITIONAL

Estimated Area to be Disturbed (in Acres): 0.25

Total Area of Plot (in Acres): 2.80

A storm water pollution prevention plan has been prepared for this site and is to the best of my knowledge in Compliance with State and/or Local Sediment and Erosion Plans and Requirements. Y  N   
(A pollution prevention plan is required to be on hand before submittal of the NOI.)

Project Start Date: 09/04/2018

Project End Date: 05/31/2019

Enter the best e-mail address to contact the permittee: jed@jsc-builders.com

IX. CERTIFICATION: I certify under penalty of law that I have read and understand the Part 1 eligibility requirements for coverage under the general permit for storm water discharges from construction activities. I further certify that to the best of my knowledge, all discharges and BMPs that have been scheduled and detailed in a storm water pollution prevention plan will satisfy requirements of this permit. I understand that continued coverage under this storm water general permit is contingent upon maintaining eligibility as provided for in Part 1.

I also certify under penalty of law that this document and all attachments were prepared under the direction or supervision of those who have placed their signature(s) below, in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Owner and Operator must sign below:

Print Name:

Chad Halverson

Date:

Title:

Signature:

Print Name:

Jed Slama Construction Corp

Date:

Title:

Signature:

Amount of Permit Fee Enclosed: \$ 150.00

**APPENDIX D: Permits, NOI, MS4**

Appendix D

## Weber County Stormwater Construction Activity Permit

**Application submittals will be accepted by appointment only. (801) 399-8374. 2380 Washington Blvd. Suite 240, Ogden, UT 84401**

|                              |                   |                             |  |                            |
|------------------------------|-------------------|-----------------------------|--|----------------------------|
| Date Submitted<br>09/04/2018 | Fees (Office Use) | Receipt Number (Office Use) | Priority Site (Office Use)<br><input type="radio"/> Yes <input type="radio"/> No | Permit Number (Office Use) |
|------------------------------|-------------------|-----------------------------|--|----------------------------|

| Property Owner/Authorized Representative Contact Information   |                     | Project Information   |                                     |
|--|---------------------|---|-------------------------------------|
| Name of Property Owner(s)/Authorized Representative(s)<br>Jed Slama Construction Corp                    |                     | Project Name<br>Halverson Residence                           |                                     |
| Phone<br>801-430-6622  | Fax<br>801-745-2512 | Project Address<br>1963 River Run Drive Huntsville Utah 84317 |                                     |
| Email Address<br>jed@jsc-builders.com  |                     |   |                                     |
| Mailing Address of Property Owner(s)/Authorized Representative(s)<br>1245 S 9400 E Huntsville Utah 84317 |                     |   |                                     |
|  |                     | Estimated Project Length (mo)<br>9                            | Previous Permit No. (if applicable) |
|  |                     | Estimated Start Date<br>09/05/2018                            | Actual Start Date<br>09/05/2018     |

**Submittal Checklist**

The application shall include a Storm Water Pollution Prevention Plan which meets the criteria set forth in Section 33-3-4 of the county ordinances.

The applicant shall file the application on or before the following dates:

**Subdivision:** The date that the applicant submits the preliminary subdivision development plat application.  
**Site Plan:** The date that the applicant submits a site plan application or amended site plan.  
**Building Permit:** The date that the applicant submits a building permit application if the applicant proposes to construct a building on an existing lot or parcel.  
**Land Use Permit:** The date that the applicant submits a land use permit application.  
**Other:** At least two (2) weeks before the developer intends to perform any type of work not listed above that would require a Storm Water Construction Activity Permit pursuant to this Chapter.

Failure to acquire a required Storm Water Construction Activity Permit is grounds for tabling a related subdivision application, site plan application, conditional use permit application, or building permit application. It is unlawful to commence work (move dirt) on a development site before obtaining a required Storm Water Construction Activity Permit.

Note: A pre-construction meeting is required before performing any on-site earth work, unless waived by the county engineer.

**Applicant Narrative**

Please explain your request.  
Storm Water activity permit for single family dwelling

**Authorization**

By signing below the Owner / Representative authorizes the county to enter the property to perform inspections.

|   |                    |
|---|--------------------|
| Owner or Authorized Representative Signature<br>Jed Slama | Date<br>09/04/2018 |
| Signature of Approval                                     | Date<br>9-4-18     |

**APPENDIX E: Inspection-Maintenance-Correction Report**



**APPENDIX F: SWPPP Amendment Log**



**APPENDIX G: Certificates, Agreements, Delegation of Authority**



## SECTION 8: CERTIFICATION AND NOTIFICATION

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Name: JESSAMA Title: President  
Signature: [Handwritten Signature] Date: 9-4-18

Not Applicable

SUBCONTRACTOR CERTIFICATION  
STORMWATER POLLUTION PREVENTION PLAN

Project Number: \_\_\_\_\_

Project Title: \_\_\_\_\_

Operator(s): \_\_\_\_\_

As a subcontractor, you are required to comply with the Stormwater Pollution Prevention Plan (SWPPP) for any work that you perform on-site. Any person or group who violates any condition of the SWPPP may be subject to substantial penalties or loss of contract. You are encouraged to advise each of your employees working on this project of the requirements of the SWPPP. A copy of the SWPPP is available for your review at the office trailer.

Each subcontractor engaged in activities at the construction site that could impact stormwater must be identified and sign the following certification statement:

**I certify under the penalty of law that I have read and understand the terms and conditions of the SWPPP for the above designated project and agree to follow the BMPs and practices described in the SWPPP.**

This certification is hereby signed in reference to the above named project:

Company: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Type of construction service to be provided: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Not Applicable

# Delegation of Authority Form

## Delegation of Authority

I, \_\_\_\_\_ (name), hereby designate the person or specifically described position below to be a duly authorized representative for the purpose of overseeing compliance with environmental requirements, including the Construction General Permit, at the \_\_\_\_\_ construction site. The designee is authorized to sign any reports, stormwater pollution prevention plans and all other documents required by the permit.

\_\_\_\_\_ (name of person or position)  
\_\_\_\_\_ (company)  
\_\_\_\_\_ (address)  
\_\_\_\_\_ (city, state, zip)  
\_\_\_\_\_ (phone)

By signing this authorization, I confirm that I meet the requirements to make such a designation as set forth in \_\_\_\_\_ (Reference State Permit), and that the designee above meets the definition of a "duly authorized representative" as set forth in \_\_\_\_\_ (Reference State Permit).

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

**Name:** \_\_\_\_\_

**Company:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Signature:** \_\_\_\_\_

**Date:** \_\_\_\_\_

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### Notice of Permit Transfer Requirements

Upon transfer of ownership or control of the subject property under this Permit (see section 8.2.2.a.) coverage under the UPDES CGP must continue until stabilization requirements are satisfied according to permit requirements. This requirement may be met by either of the following transfer options:

1. Obtaining coverage under a new and independent Notice of Intent (NOI – the application process to procure coverage under the UPDES CGP). This results in a new permit coverage number.
2. Coordinating with the previous owners and the State of Utah, Department of Environmental Quality, Division of Water Quality where ownership, other information, and signatures (including electronic certifications) contained in the NOI that is current for the property is changed to reflect the change in ownership and responsible parties for conducting construction activities (general contractor). For this step you would assume the responsibilities of the original CGP coverage. This continues the original permit coverage number.

---

Name of Previous Owner \_\_\_\_\_ Telephone Number \_\_\_\_\_

Address of Previous Owner \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Signature of Previous Owner \_\_\_\_\_ Date \_\_\_\_\_

---

Name of New Owner \_\_\_\_\_ Telephone Number \_\_\_\_\_

Address of New Owner \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Signature of New Owner \_\_\_\_\_ Date \_\_\_\_\_

### PROJECT NAME AND LOCATION

Previous Permit Number \_\_\_\_\_ Name of Project \_\_\_\_\_



**APPENDIX H: Training Log**



**APPENDIX I: Construction Plans**







Copyright 2016 Creations West  
 This plan is the property of Creations West and shall not be  
 duplicated in any form or used as the basis for any new plans.  
 The builder/general contractor (construction professional) must  
 verify all dimensions and details shown on this plan prior to  
 construction. Creations West shall be contacted for clarification. At  
 the time of construction, Creations West is relieved of liability and  
 the builder/general contractor assumed full responsibility.

**PLANNED FOR:**  
 HALVERSON  
 166 RIVERSIDE BLVD  
 HUNTSVILLE, UT

**PLANNED FOR:**  
 HALVERSON  
 166 RIVERSIDE BLVD  
 HUNTSVILLE, UT

**ARCHITECT:**  
 Creations West  
 1424 Legend Hills Dr.  
 South Jordan  
 Utah 84095  
 801.223.6700  
 plans@creationswest.com

**DATE:** JUL 07/16  
**SHEET:** 3

**CREATIONS WEST**  
 EVEN THE BEST DREAMS NEED  
 WWW.CREATIONSWEST.COM

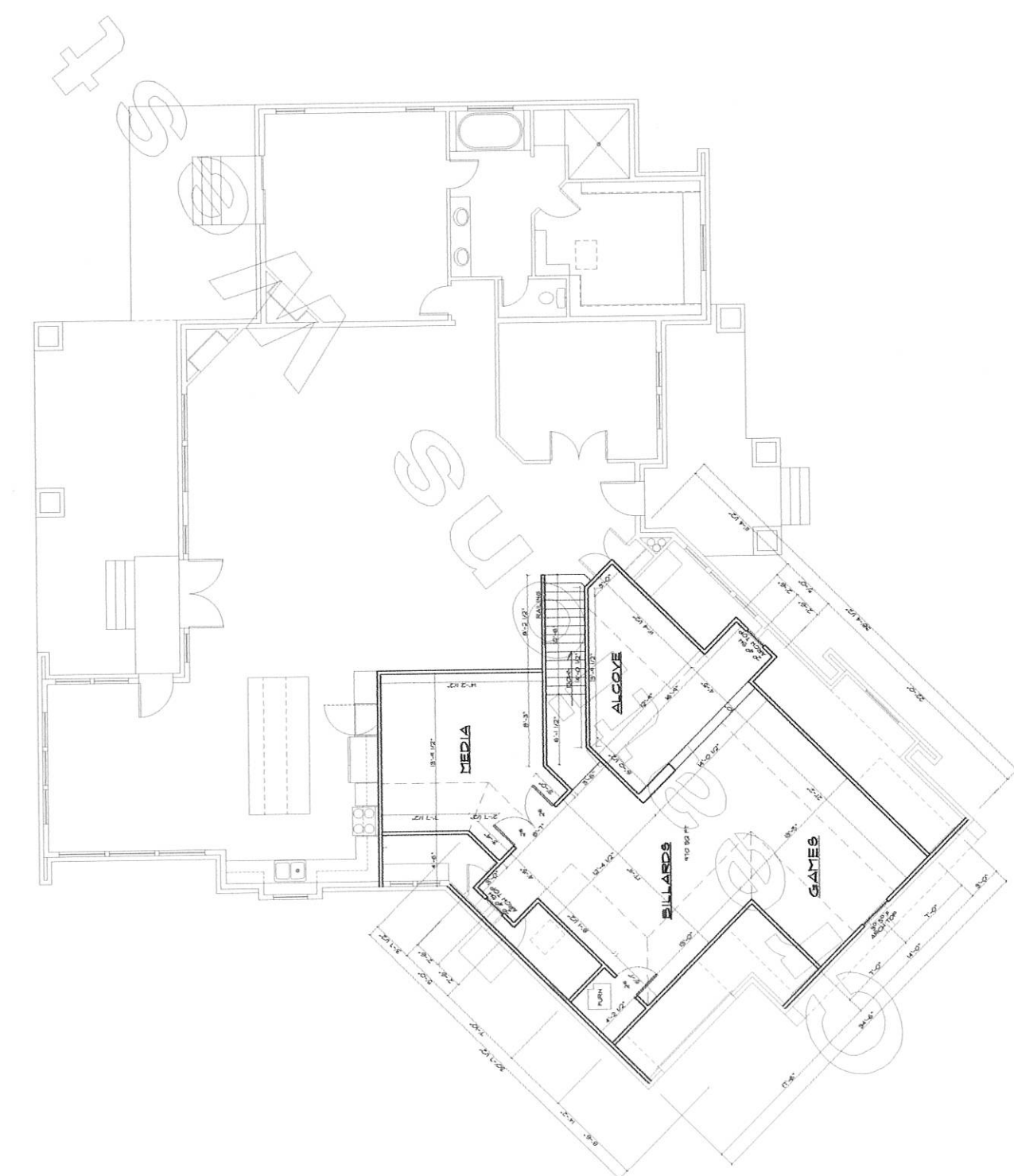
**1424 Legend Hills Dr.**  
 South Jordan  
 Utah 84095  
 801.223.6700  
 plans@creationswest.com

**DATE:** JUL 07/16  
**SHEET:** 3

**CREATIONS WEST**  
 EVEN THE BEST DREAMS NEED  
 WWW.CREATIONSWEST.COM

**1424 Legend Hills Dr.**  
 South Jordan  
 Utah 84095  
 801.223.6700  
 plans@creationswest.com

**DATE:** JUL 07/16  
**SHEET:** 3



**NOTE:**  
 8'-4 1/8" CELL-HEIGHT TYP.  
 2'X6 EXTERIOR WALLS (5 1/2")  
**UPPER FLOOR PLAN**  
 SCALE: 3/8" = 1' - UPPER LEVEL

**PLAN NUMBER:**  
 R-2973-16UE



Copyright 2016 Creations West  
 This plan is the property of Creations West and shall not be replicated in any form or used as the basis for any new plans.  
 The builder/general contractor (construction professional) must carefully and thoroughly verify dimensions, validity, and overall accuracy of this plan. Any discrepancy, prior to construction, Creations West shall be contacted. At the time of construction, Creations West is relieved of liability and the builder/general contractor assumes full responsibility.

SEE SHEET S23 FOR CONCRETE & SOIL REMEDIATION SPECIFICATIONS, AND SOIL REMEDIATION ASSUMPTIONS

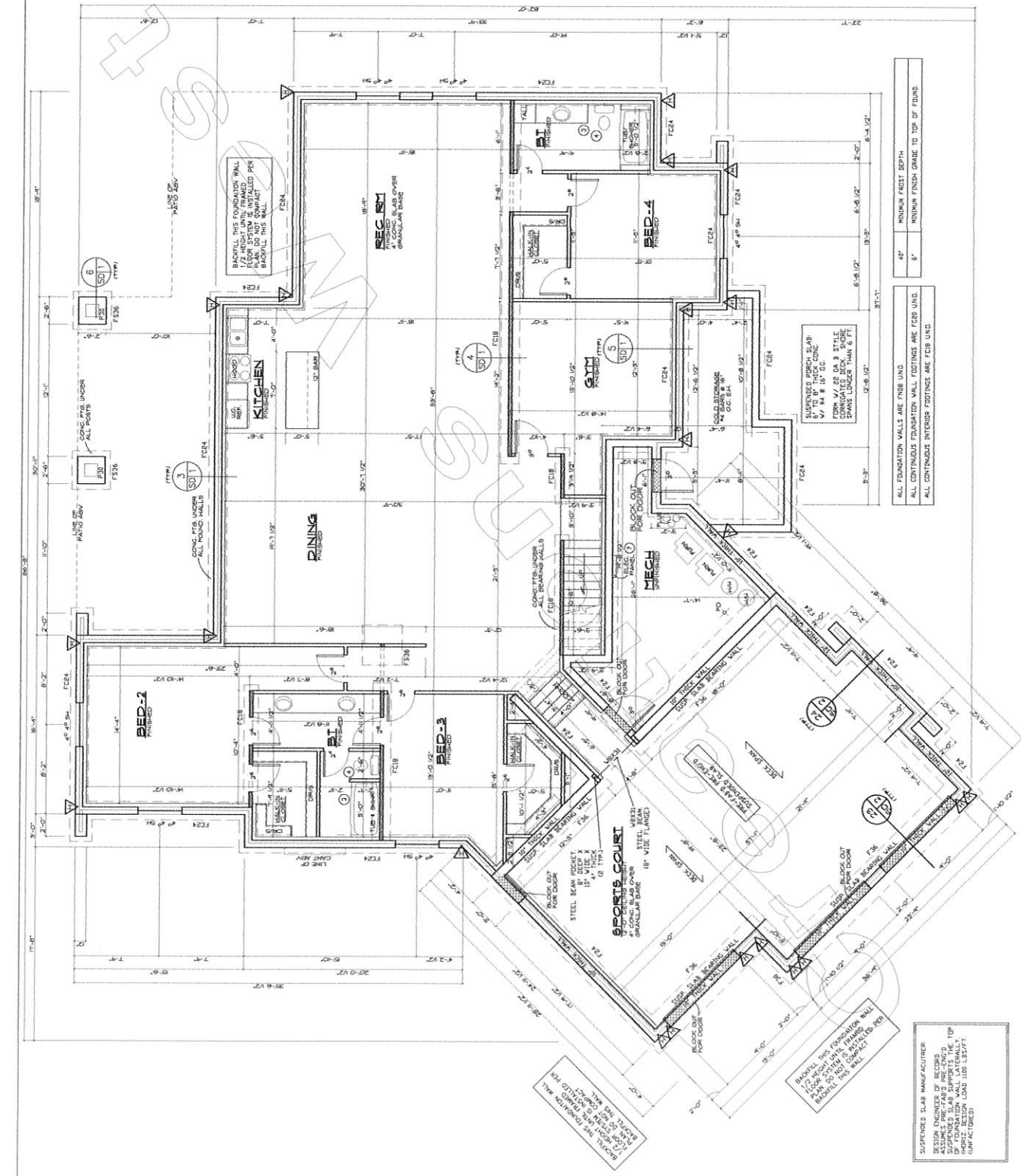
FOUNDATION HOLD DOWN. SEE SHEET S23 FOR MODEL & SPECS

1. FOUNDATION WALLS SHALL BE CONCRETE.
2. FOUNDATION WALLS SHALL BE 12" THICK.
3. FOUNDATION WALLS SHALL BE 8" HIGH ABOVE FINISH FLOOR.
4. FOUNDATION WALLS SHALL BE 4" HIGH ABOVE FINISH FLOOR.
5. FOUNDATION WALLS SHALL BE 4" HIGH ABOVE FINISH FLOOR.
6. FOUNDATION WALLS SHALL BE 4" HIGH ABOVE FINISH FLOOR.

**REFERENCE: ADOBE ADobe**  
 FOUNDATION WALLS SHALL BE CONCRETE. SEE SHEET S23 FOR MODEL & SPECS. FOUNDATION WALLS SHALL BE 12" THICK. FOUNDATION WALLS SHALL BE 8" HIGH ABOVE FINISH FLOOR. FOUNDATION WALLS SHALL BE 4" HIGH ABOVE FINISH FLOOR. FOUNDATION WALLS SHALL BE 4" HIGH ABOVE FINISH FLOOR. FOUNDATION WALLS SHALL BE 4" HIGH ABOVE FINISH FLOOR.

CREATIONS WEST  
 1124 Legend Hills Dr. South Jordan Utah 84091  
 Phone: 801.525.6700 Fax: 801.525.5555  
 www.creationswest.com

DATE: JUL 07 16  
 SHEET: 4  
 PLAN NUMBER: R-2973-16UE



FOUNDATION WALL DESIGNED FOR...  
 BACKFILL PRIOR TO FRAMED FLOOR SYSTEM INSTALLATION AS FOUNDATION WALLS CAN MOVE BACKFILL. ALL WALLS SHOULD CURE FOR 7 DAYS PRIOR TO PROVIDE FULL PRUDENTLY BACKFILL BEHIND GARAGE AND FRONT PORCH WALLS ONLY. DO NOT CONTACT BACKFILL OF OTHER WALLS.

SCALE: 3/16" = 1'-0"  
 1'-0" FOUND. WALL  
 1'-0" FOUND. WALL  
 1'-0" FOUND. WALL  
 1'-0" FOUND. WALL  
 1'-0" FOUND. WALL

ALL FOUNDATION WALLS ARE FCB UNLS  
 ALL CONTIGUOUS FOUNDATION WALL FOOTINGS ARE FCB UNLS  
 ALL CONTIGUOUS INTERIOR FOOTINGS ARE FCB UNLS  
 MINIMUM FOOT DEPTH: 48"  
 MINIMUM FINISH GRADE TO TOP OF FOUND: 6"

SUPPLEMENTED SLAB MANUFACTURER DESIGN ENGINEER OF RECORD ASSUMES PRELIMINARY DESIGN OF FOUNDATION WALL LATERALLY. TOP OF FOUNDATION WALL 1100 LBS/FT UNFACTORED

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PLANNED FOR  
 HALVERSON  
 193 RIVER BLVD  
 HUNTSVILLE, UT

Armon  
 208.523.9353  
 Utah 84101  
 South Jordan  
 208.523.9353  
 Utah 84105  
 1224 Legend Hills Dr.  
 South Jordan, UT 84105  
 801.525.6200  
 www.creationswest.com

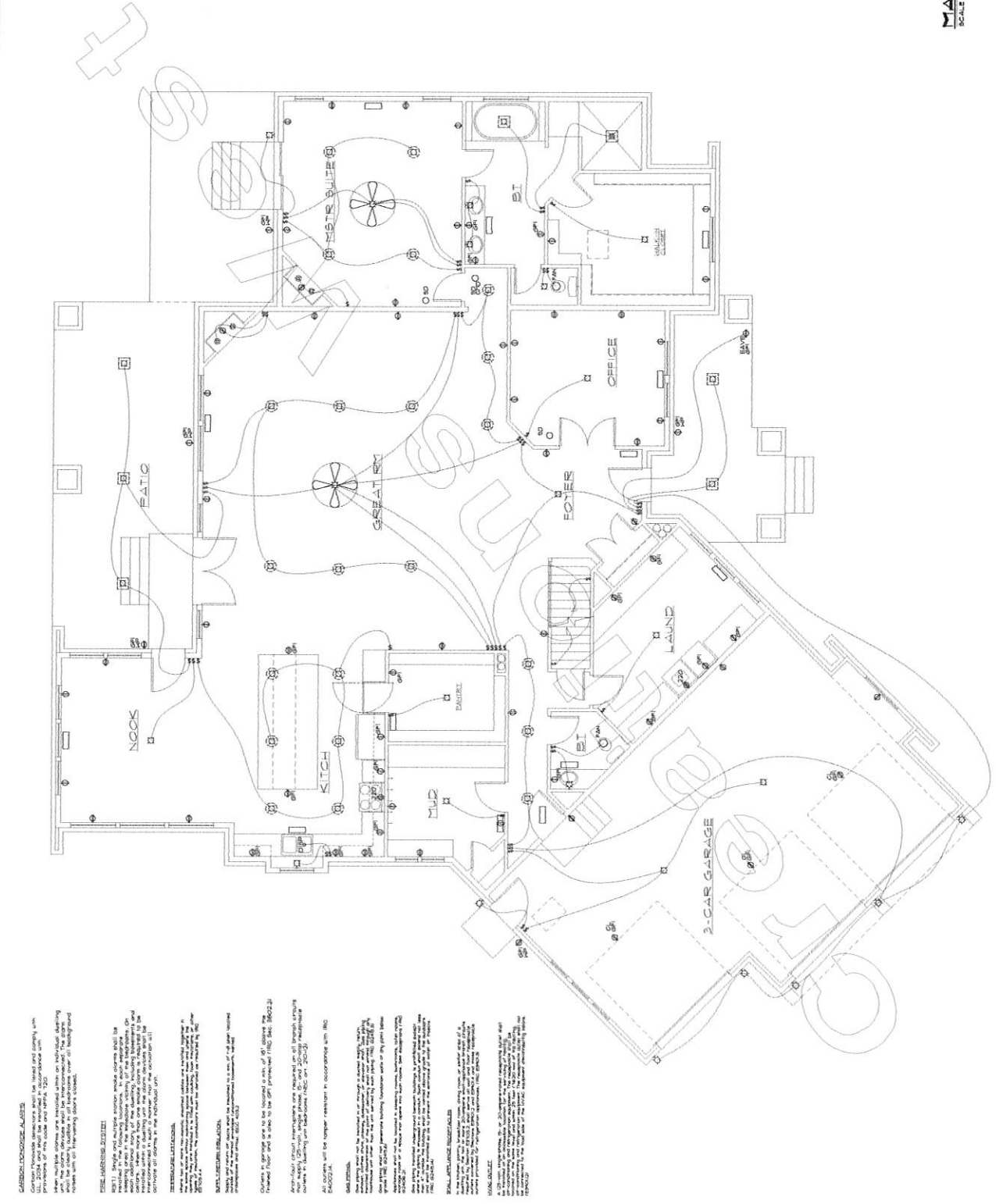
CREATIONS WEST  
 EVEN THE BEST DREAMS NEED A PLAN  
 WWW.CREATIONSWEST.COM



DATE: JUL 07 16  
 SHEET: 5

MAIN ELEC. / H.V.A.C. PLAN  
 SCALE 1/2"

PLAN NUMBER  
 R-2973-16UE



**CARBON MONOXIDE ALARMS**  
 Carbon monoxide detectors shall be used and comply with provisions of the code and shall be 5'00' from any sleeping quarters.

When multiple alarms are installed within an individual sleeping quarters, the alarm shall be installed in the sleeping quarters and shall be within 15' of the sleeping quarters. The alarm shall be installed in the sleeping quarters and shall be within 15' of the sleeping quarters.

**SEMI-ANNUAL MAINTENANCE**  
 Where an air conditioning system is installed, the owner shall be responsible for the maintenance of the system. The owner shall be responsible for the maintenance of the system.

**DATA COMMUNICATIONS**  
 Where an air conditioning system is installed, the owner shall be responsible for the maintenance of the system. The owner shall be responsible for the maintenance of the system.

**PERMITS**  
 The owner shall be responsible for obtaining all necessary permits for the installation and use of the system. The owner shall be responsible for obtaining all necessary permits for the installation and use of the system.

**SAFETY**  
 The owner shall be responsible for ensuring that all safety requirements are met. The owner shall be responsible for ensuring that all safety requirements are met.

**NOTES**  
 1. All work shall be in accordance with the applicable code. 2. The owner shall be responsible for obtaining all necessary permits for the installation and use of the system.

**GENERAL NOTES**  
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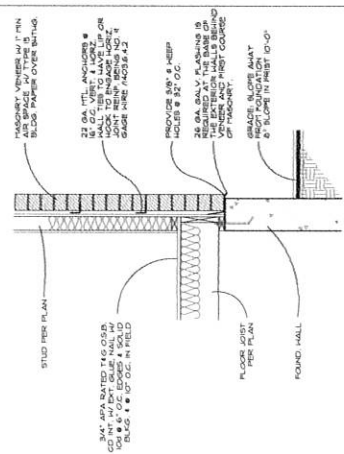






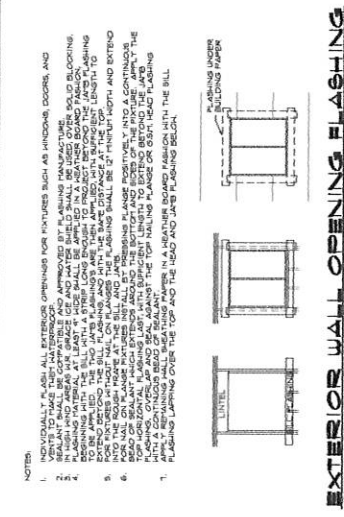


NOTE: DETAILS MAY NOT BE APPLICABLE TO YOUR PLAN



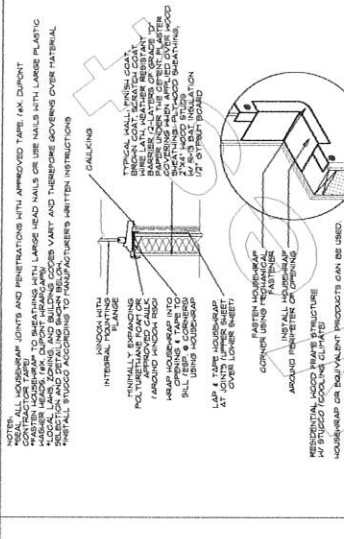
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NOTE: DETAILS MAY NOT BE APPLICABLE TO YOUR PLAN



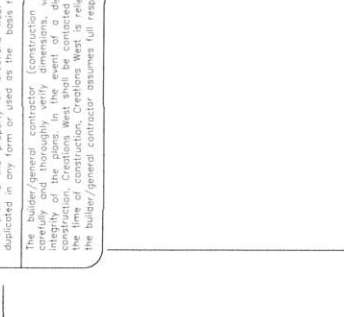
**EXTERIOR WALL OPENING FLASHING**  
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NOTE: DETAILS MAY NOT BE APPLICABLE TO YOUR PLAN



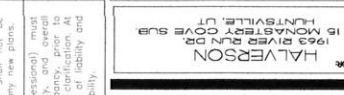
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NOTE: DETAILS MAY NOT BE APPLICABLE TO YOUR PLAN



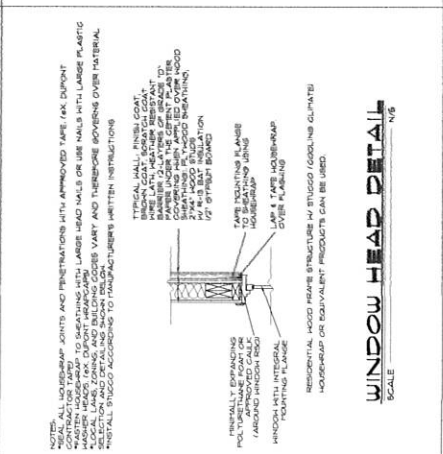
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NOTE: DETAILS MAY NOT BE APPLICABLE TO YOUR PLAN

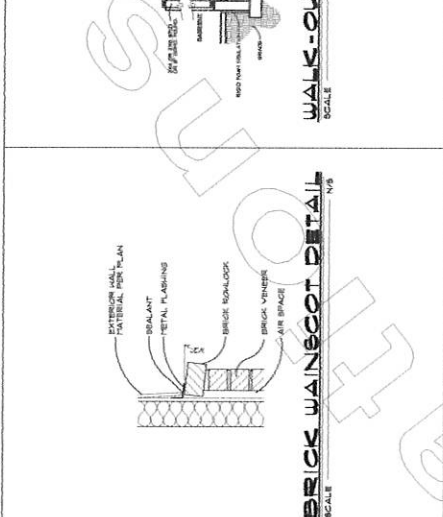


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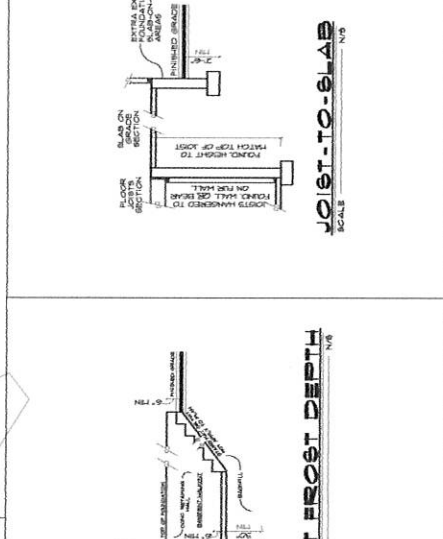
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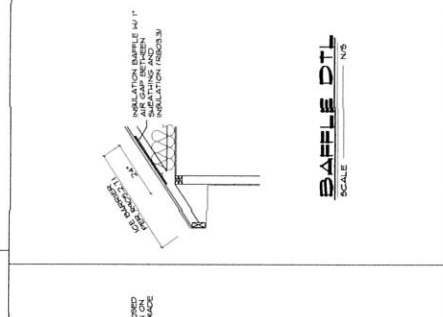
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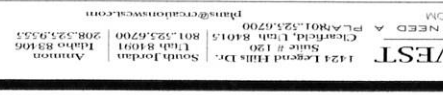
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**WALK-OUT FROST DEPTH**  
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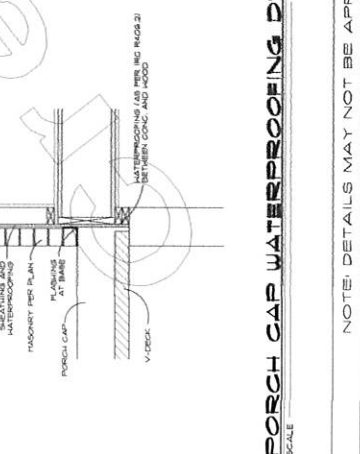


**JOINT-TO-SLAB**  
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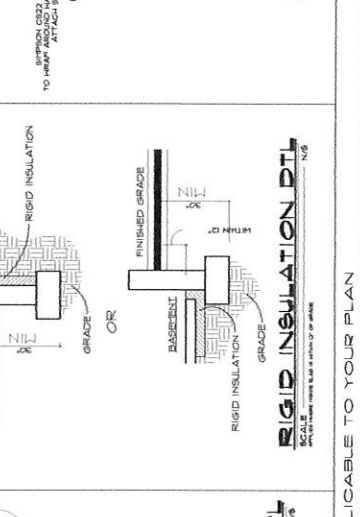


**BAFFLE DTL**  
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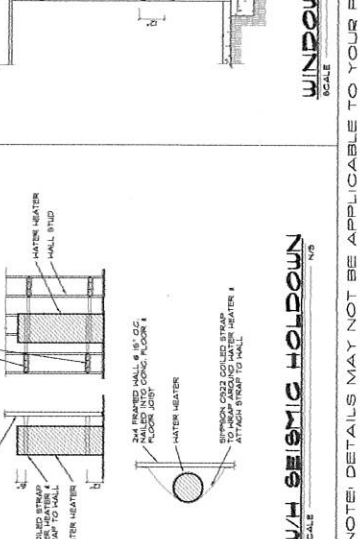
NOTE: DETAILS MAY NOT BE APPLICABLE TO YOUR PLAN



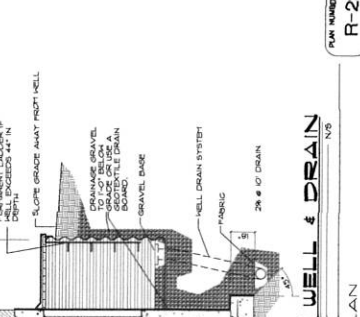
**PORCH CAP WATERPROOFING DTL**  
SCALE: \_\_\_\_\_ N/S



**RIGID INSULATION DTL**  
SCALE: \_\_\_\_\_ N/S



**W/H SEISMIC HOLDOWN**  
SCALE: \_\_\_\_\_ N/S



**WINDOW WELL & DRAIN**  
SCALE: \_\_\_\_\_ N/S

NOTE: DETAILS MAY NOT BE APPLICABLE TO YOUR PLAN

RAW NUMBER: R-2973-16UE

AD1  
SHEET  
DATE: JUL 07 15

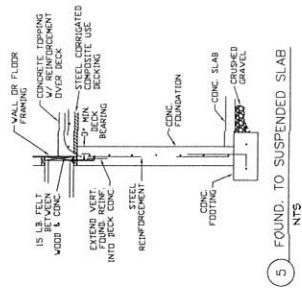
CREATIONS WEST  
1424 Legend Hills Dr. South Jordan, Ammon  
Utah 84055  
801-525-0200  
208-533-5333  
www.creationswest.com

HALVERSON  
1923 RIVER BLVD  
COPPER HILLS  
LUNTSVILLE, UT  
84046

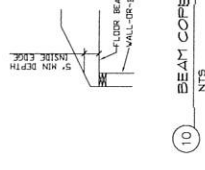
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STRUCTURAL FRAMING DETAILS

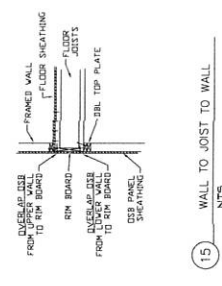
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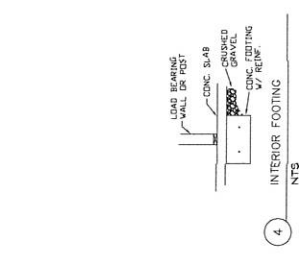
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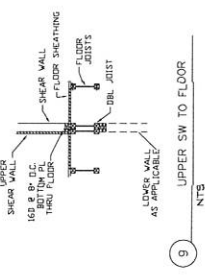
10 BEAM COPE  
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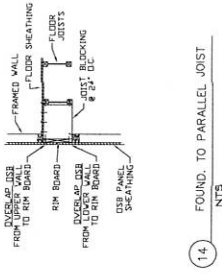
15 WALL TO JOIST TO WALL  
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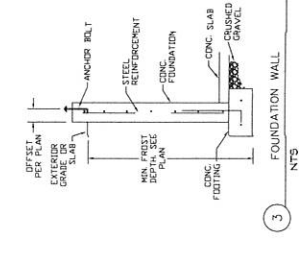
4 INTERIOR FOOTING  
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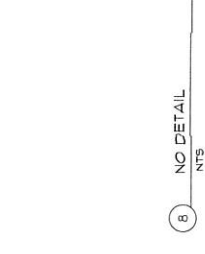
9 UPPER SW TO FLOOR  
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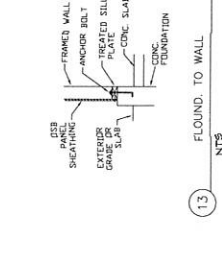
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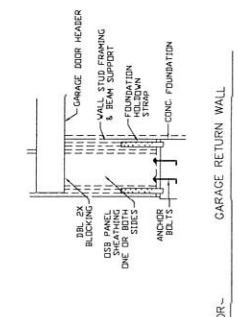
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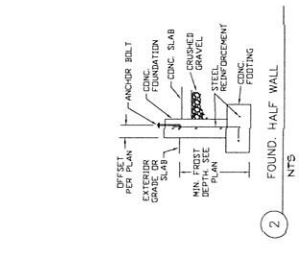
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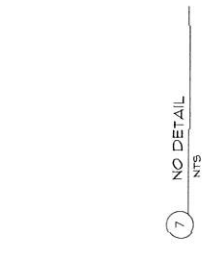
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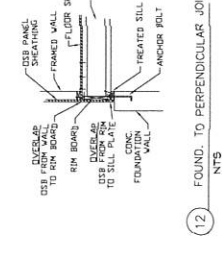
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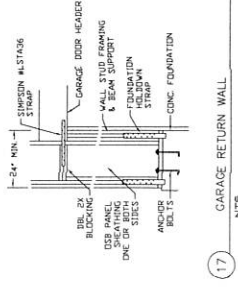
2 FOUND. HALF WALL  
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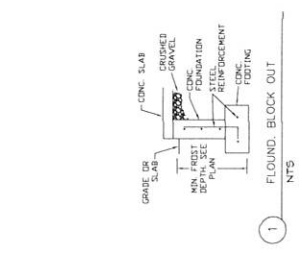
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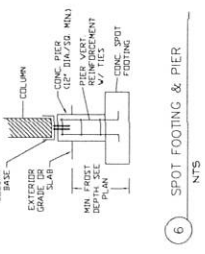
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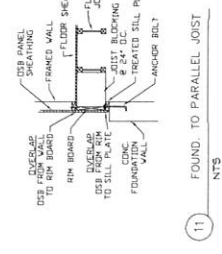
17 GARAGE RETURN WALL  
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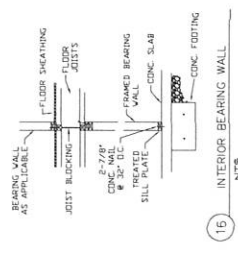
1 FOUND. BLOCK OUT  
 NTS



6 SPOT FOOTING & PIER  
 NTS



11 FOUND. TO PARALLEL JOIST  
 NTS



16 INTERIOR BEARING WALL  
 NTS

OR

OR

OR

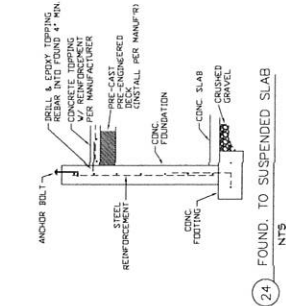
STRUCTURAL FRAMING DETAILS

PROJECT HALVERSON RESIDENTIAL PLAN  
ELITE CRAFT HOMES

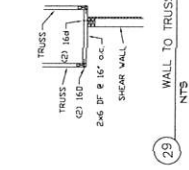
ADDRESS: 1963 RIVER RUN DR.  
HUNTSMVILLE, UTAH

**PRICE ENGINEERING INC.**  
PRICE ENGINEERING  
990 W 7900 S  
MILLCREEK, UT 84143  
P: (801) 774-6542  
F: (801) 794-6261  
price.engineer@gmail.com

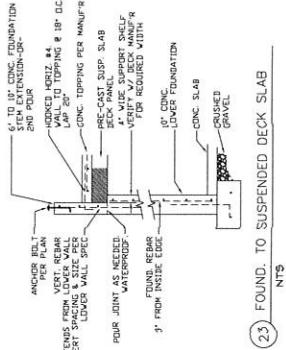
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06/30/16



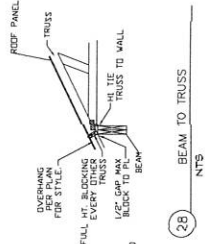
24 FOUND, TO SUSPENDED SLAB  
NTS



29 WALL TO TRUSS  
NTS

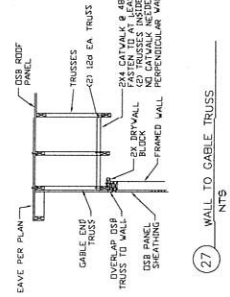


23 FOUND, TO SUSPENDED DECK SLAB  
NTS

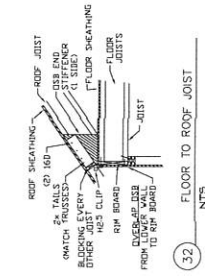


28 BEAM TO TRUSS  
NTS

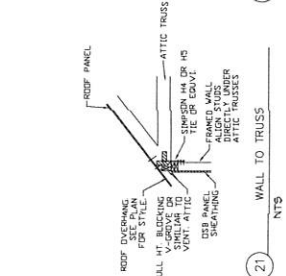
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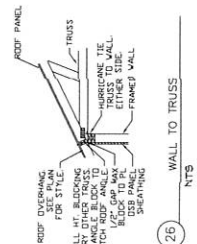
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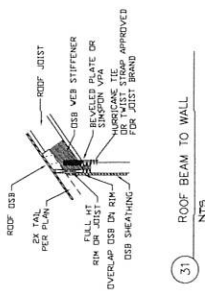
32 FLOOR TO ROOF JOIST  
NTS



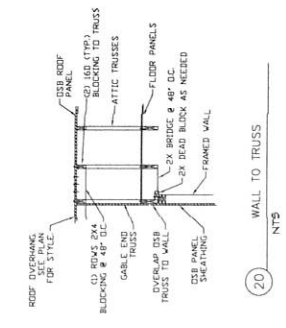
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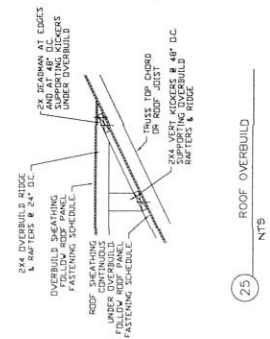
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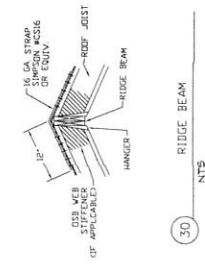
31 ROOF BEAM TO WALL  
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20 WALL TO TRUSS  
NTS



25 ROOF OVERBUILD  
NTS



30 RIDGE BEAM  
NTS





**APPENDIX J: Additional Information**

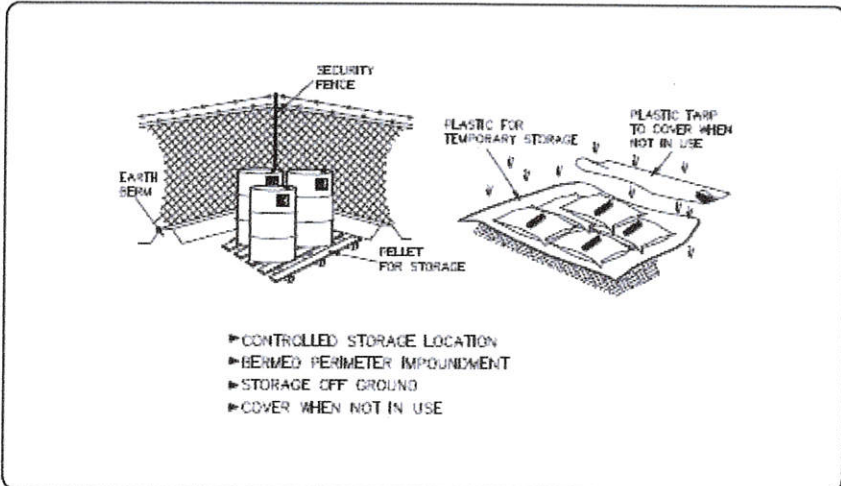
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**APPENDIX K: BMP Specifications and Details (label BMPs to match the sections identified in this document.)**

# BMP: Materials Storage

MS



- ▶ CONTROLLED STORAGE LOCATION
- ▶ BERMED PERIMETER IMPOUNDMENT
- ▶ STORAGE OFF GROUND
- ▶ COVER WHEN NOT IN USE

## OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion



# WEBER COUNTY

## ENGINEERING DEPARTMENT

2380 Washington Blvd., Suite 240  
 Ogden, UT 84401  
 (801) 399-8374

### DESCRIPTION:

Controlled storage of on-site materials.

### APPLICATION:

- ▶ Storage of hazardous, toxic, and all chemical substances.
- ▶ Any construction site with outside storage of materials.

### INSTALLATION/APPLICATION CRITERIA:

- ▶ Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- ▶ Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- ▶ Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of material that will not be utilized on site.
- ▶ For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

### LIMITATIONS:

- ▶ Does not prevent contamination due to mishandling of products.
- ▶ Spill Prevention and Response Plan still required.
- ▶ Only effective if materials are actively stored in controlled location.

### MAINTENANCE:

- ▶ Inspect daily and repair any damage to perimeter impoundment or security fencing.
- ▶ Check materials are being correctly stored (i.e. standing upright, in labeled containers, tightly capped) and that no materials are being stored away from the designated location.

## TARGETED POLLUTANTS

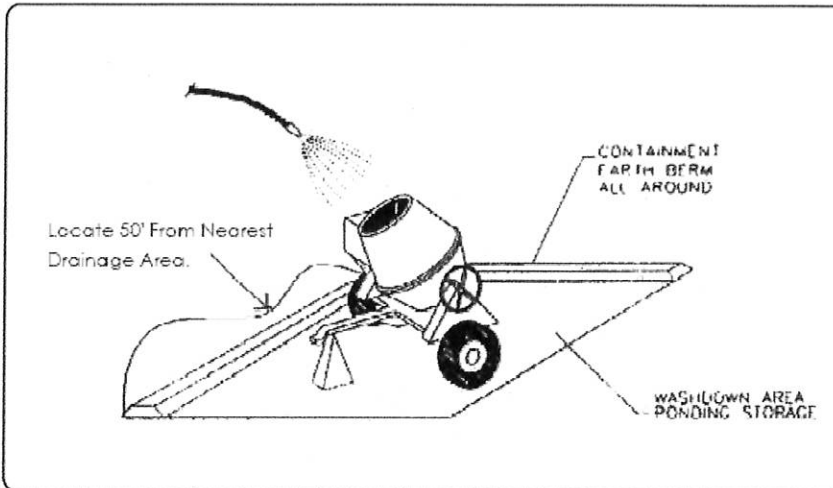
- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Construction Waste

- High Impact
- Medium Impact
- Low or Unknown Impact

## IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

- High
- Medium
- Low



### OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion



## WEBER COUNTY

### ENGINEERING DEPARTMENT

2380 Washington Blvd., Suite 240  
Ogden, UT 84401  
(801) 399-8374

### DESCRIPTION:

Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

### APPLICATIONS:

- ▶ This technique is applicable to all types of sites.

### INSTALLATION/APPLICATION CRITERIA:

- ▶ Store dry and wet materials under cover, away from drainage areas.
- ▶ Avoid mixing excess amounts of fresh concrete or cement on-site.
- ▶ Perform washout of concrete trucks off-site or in designated areas only.
- ▶ Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- ▶ Do not allow excess concrete to be dumped on-site, except in designated areas.
- ▶ When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier information sheet.)
- ▶ Train employees and subcontractors in proper concrete waste management.

### LIMITATIONS:

- ▶ Off-site washout of concrete wastes may not always be possible.

### MAINTENANCE:

- ▶ Inspect subcontractors to ensure that concrete wastes are being properly managed.
- ▶ If using a temporary pit, dispose hardened concrete on a regular basis.

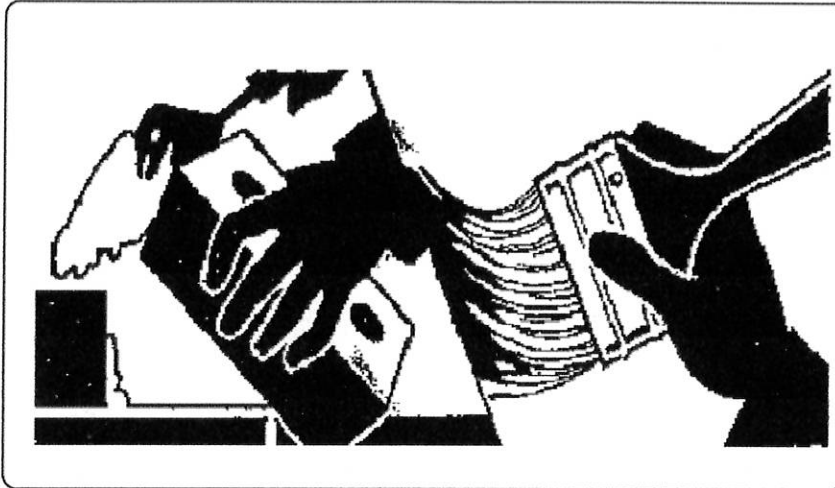
### TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Construction Waste

- High Impact
- Medium Impact
- Low or Unknown Impact

### IMPLEMENTATION REQUIREMENTS

- Capital Costs
  - O&M Costs
  - Maintenance
  - Training
- High
  - Medium
  - Low



### OBJECTIVES

- New Development
- Residential
- Commercial Activities
- Industrial Activities
- Municipal Facilities
- Illegal Discharges



## WEBER COUNTY

### ENGINEERING DEPARTMENT

2380 Washington Blvd., Suite 240  
Ogden, UT 84401  
(801) 399-8374

### DESCRIPTION:

Prevent or reduce the discharge of pollutants to stormwater from building repair, remodeling and construction by using soil erosion controls, enclosing or covering building material storage areas, using good housekeeping practices, using safer alternative products, and training employees.

### APPROACH:

- ▶ Use soil erosion control techniques if bare ground is temporarily exposed.
- ▶ Use permanent soil erosion control techniques if the remodeling clears buildings that are not to be replaced.
- ▶ Enclose painting operations consistent with local air quality regulations and OSHA.
- ▶ Properly store materials that are normally used in repair and remodeling such as paints and solvents.
- ▶ Properly store and dispose waste materials generated from the activity.
- ▶ Maintain good housekeeping practices while work is underway.

### LIMITATIONS:

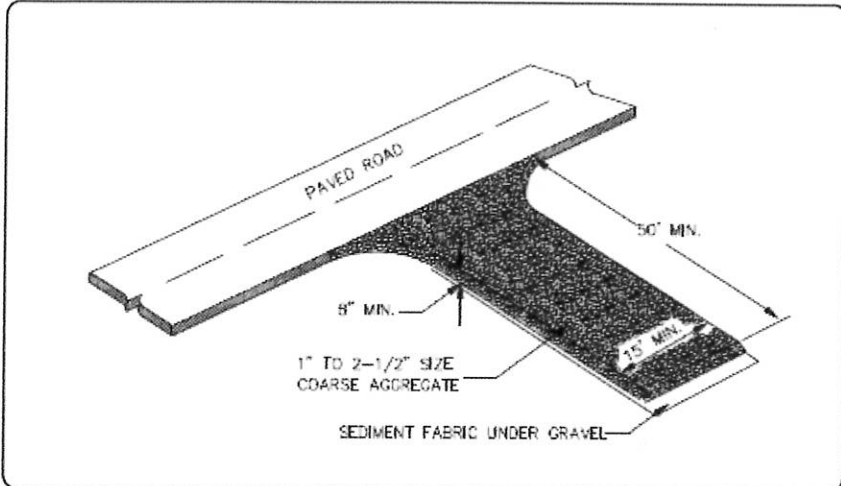
- ▶ This BMP is for minor construction only.
- ▶ Hazardous waste that cannot be re-used or recycled must be disposed of by a licensed hazardous waste hauler.
- ▶ Safer alternative products may not be available, suitable, or effective in every case.
- ▶ Be certain that actions to help stormwater quality are consistent with OSHA and air quality regulations.

### TARGETED POLLUTANTS

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oxygen Demanding Substance
- Oil & Grease
- Floatable Materials
- Bacteria & Viruses
  
- High Impact
- Medium Impact
- Low or Unknown Impact

### IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Regulatory
- Training
- Staffing
- Administrative
  
- High
- Medium
- Low



### DESCRIPTION:

A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface.

### APPLICATIONS:

- ▶ At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

### INSTALLATION/APPLICATION CRITERIA:

- ▶ Clear and grub area and grade to provide maximum slope of 2%.
- ▶ Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).
- ▶ Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.

### LIMITATIONS:

- ▶ Requires periodic top dressing with additional stones.
- ▶ Should be used in conjunction with street sweeping on adjacent public right-of-way.

### MAINTENANCE:

- ▶ Inspect daily for loss of gravel or sediment buildup.
- ▶ Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling.
- ▶ Repair entrance and replace gravel as required to maintain control in good working condition.
- ▶ Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

### OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion



## WEBER COUNTY

### ENGINEERING DEPARTMENT

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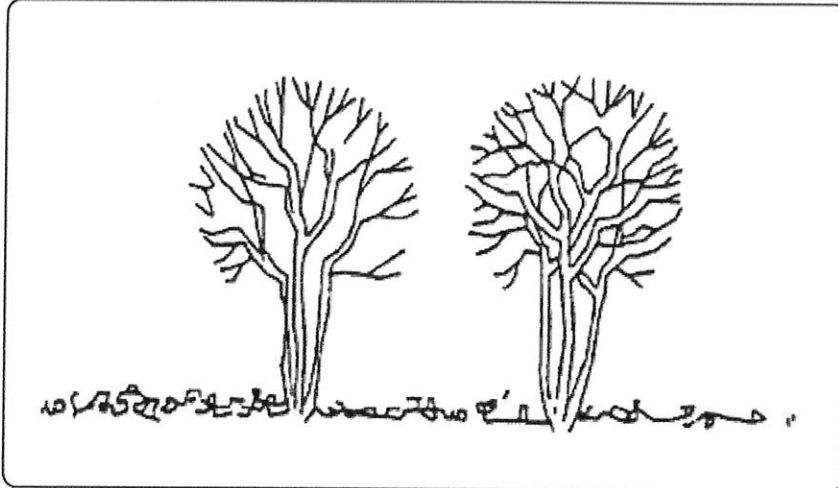
### TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste
  
- High Impact
- Medium Impact
- Low or Unknown Impact

### IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training
  
- High
- Medium
- Low





### DESCRIPTION:

Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs and/or grasses that serve as erosion controls.

### APPLICATIONS:

- ▶ This technique is applicable to all types of sites. Areas where preserving vegetation can be particularly beneficial are floodplains, wetlands, stream banks, steep slopes, and other areas where erosion controls would be difficult to establish, install, or maintain.

### INSTALLATION/APPLICATION CRITERIA:

- ▶ Clearly mark, flag or fence vegetation or areas where vegetation should be preserved.
- ▶ Prepare landscaping plans which include as much existing vegetation as possible and state proper care during and after construction.
- ▶ Define and protect with berms, fencing, signs, etc. a setback area from vegetation to be preserved.
- ▶ Propose landscaping plans which do not include plant species that compete with the existing vegetation.
- ▶ Do not locate construction traffic routes, spoil piles, etc. where significant adverse impact on existing vegetation may occur.

### LIMITATIONS:

- ▶ Requires forward planning by the owner/developer, contractor and design staff.
- ▶ For sites with diverse topography, it is often difficult and expensive to save existing trees while grading the site satisfactorily for the planned development.
- ▶ May not be cost effective with high land costs.

### MAINTENANCE:

- ▶ Inspection and maintenance requirements for protection of vegetation are low.
- ▶ Maintenance of native trees or vegetation should conform to landscape plan specifications.

### OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion



## WEBER COUNTY

### ENGINEERING DEPARTMENT

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### TARGETED POLLUTANTS

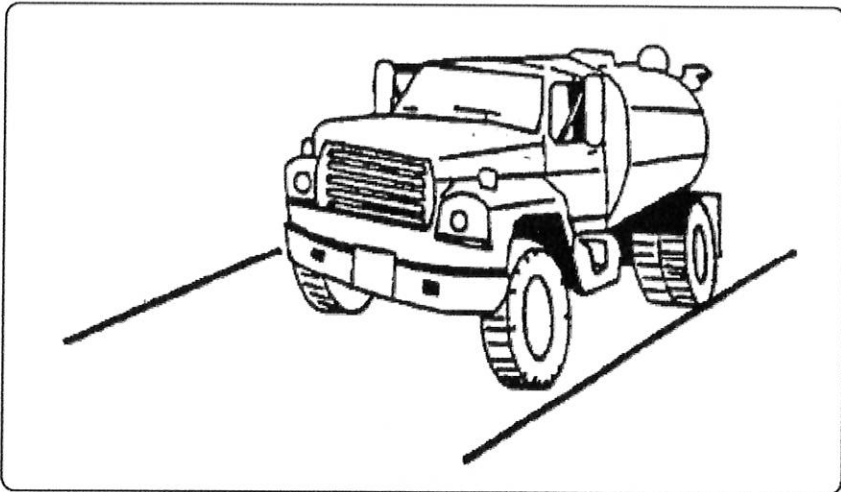
- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

- High Impact
- Medium Impact
- Low or Unknown Impact

### IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

- High
- Medium
- Low



**DESCRIPTION:**

Dust control measures are used to stabilize soil from wind erosion, and reduce dust by construction activities.

**APPLICATION:**

- ▶ Dust control is useful in any process area, loading and unloading area, material handling areas, and transfer areas where dust is generated. Street sweeping is limited to areas that are paved.

**INSTALLATION/APPLICATION CRITERIA:**

- ▶ Mechanical dust collection systems are designed according to the size of dust particles and the amount of air to be processed. Manufacturers' recommendations should be followed for installation (as well as the design of the equipment).
- ▶ Two kinds of street sweepers are common: brush and vacuum. Vacuum sweepers are more efficient and work best when the area is dry.
- ▶ Mechanical equipment should be operated according to the manufacturers' recommendations and should be inspected regularly.

**LIMITATIONS:**

- ▶ Is generally more expensive than manual systems.
- ▶ May be impossible to maintain by plant personnel (the more elaborate equipment).
- ▶ Is labor and equipment intensive and may not be effective for all pollutants (street sweepers).

**MAINTENANCE:**

- ▶ If water sprayers are used, dust-contaminated waters should be collected and taken
- ▶ for treatment. Areas will probably need to be resprayed to keep dust from spreading.

**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion



**WEBER COUNTY**

**ENGINEERING DEPARTMENT**

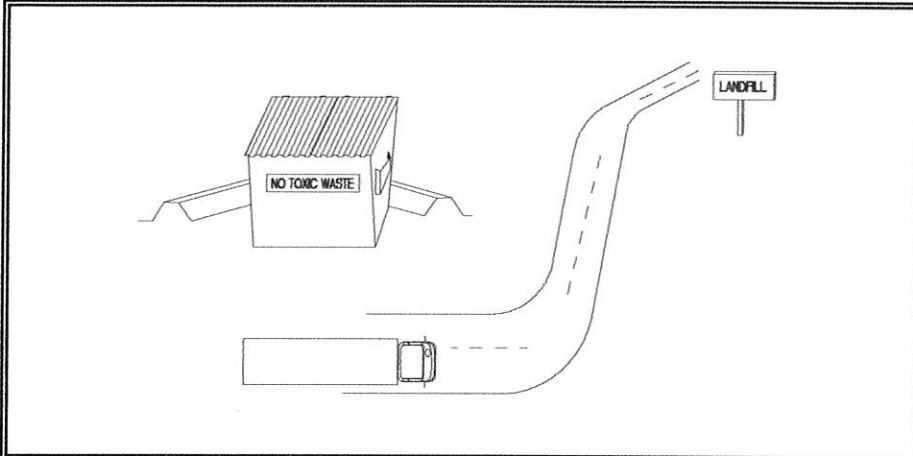
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**TARGETED POLLUTANTS**

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste
  
- High Impact
- Medium Impact
- Low or Unknown Impact

**IMPLEMENTATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Maintenance
- Training
  
- High
- Medium
- Low



**DESCRIPTION:**

Controlled storage and disposal of solid waste generated by construction activities.

**APPLICATION:**

All construction sites.

**INSTALLATION:**

- Designate one or several waste collection areas with easy access for construction vehicles and personnel. Ensure no waterways or storm drainage inlets are located near the waste collection areas.
- Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around collection area for impoundment in the case of spills and to trap any windblown trash.
- Use water tight containers with covers to remain closed when not in use. Provide separate containers for different waste types where appropriate and label clearly.
- Ensure all on site personnel are aware of and utilize designated waste collection area properly and for intended use only (e.g. all toxic, hazardous, or recyclable materials shall be properly disposed of separately from general construction waste).
- Arrange for periodic pickup, transfer and disposal of collected waste at an authorized disposal location. Include regular Porto-potty service in waste management activities.

**LIMITATIONS:**

- On-site personnel are responsible for correct disposal of waste.

**MAINTENANCE:**

- Discuss waste management procedures at progress meetings.
- Collect site trash daily and deposit in covered containers at designated collection areas.
- Check containers for leakage or inadequate covers and replace as needed.
- Randomly check disposed materials for any unauthorized waste (e.g. toxic materials).
- During daily site inspections check that waste is not being incorrectly disposed of on-site (e.g. burial, burning, surface discharge, discharge to storm drain).

**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion



**Springville**

Springville City Corporation  
Public Works Department  
Engineering Division  
110 South Main Street  
Springville, Utah 84663  
801-491-2780

**TARGETED POLLUTANTS**

- High Impact
- Medium Impact
- Low or Unknown Impact

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

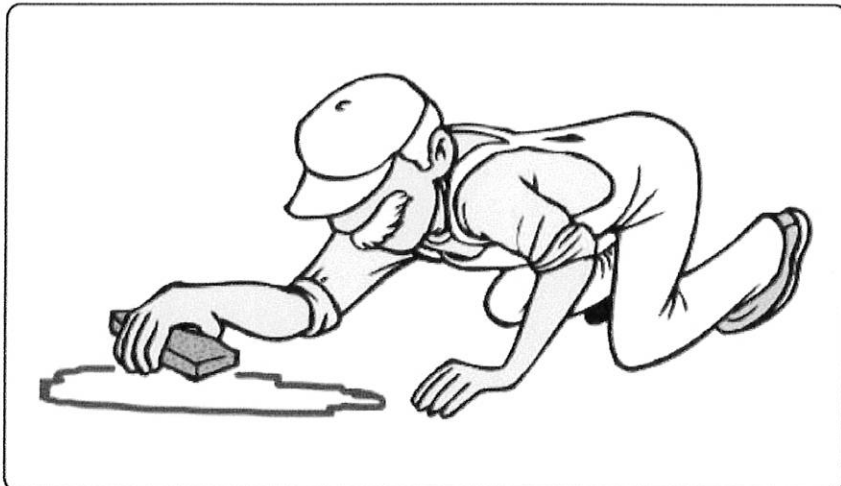
**IMPLEMENTATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Maintenance
- Training

- High
- Medium
- Low

Materials Adopted From Salt Lake County Engineering Division Guidance Document





### DESCRIPTION:

Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

### APPLICATION:

- ▶ All sites

### GENERAL:

- ▶ Store controlled materials within a storage area.
- ▶ Educate personnel on prevention and clean-up techniques.
- ▶ Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- ▶ Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

### METHODS:

- ▶ Clean-up spills/leaks immediately and remediate cause.
- ▶ Use as little water as possible. **NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.**
- ▶ Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
- ▶ Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- ▶ Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

### OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
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## WEBER COUNTY

### ENGINEERING DEPARTMENT

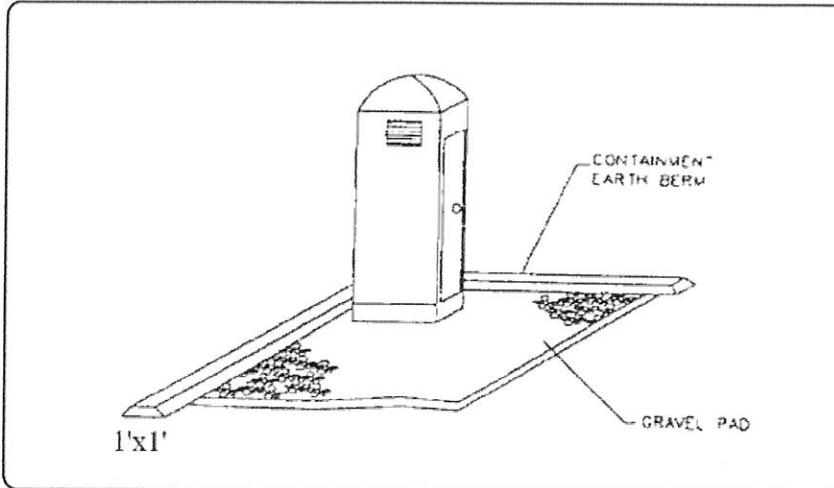
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### TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Construction Waste
  
- High Impact
- Medium Impact
- Low or Unknown Impact

### IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training
  
- High
- Medium
- Low



**DESCRIPTION:**

Temporary on-site sanitary facilities for construction personnel.

**APPLICATION:**

- ▶ All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

**INSTALLATION/APPLICATION CRITERIA:**

- ▶ Locate portable toilets in convenient locations throughout the site.
- ▶ Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- ▶ Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.

**LIMITATIONS:**

No limitations.

**MAINTENANCE:**

- ▶ Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- ▶ Regular waste collection should be arranged with licensed service.
- ▶ All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion



**WEBER COUNTY**

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**TARGETED POLLUTANTS**

- Sediment
  - Nutrients
  - Toxic Materials
  - Oil & Grease
  - Floatable Materials
  - Other Construction Waste
- 
- High Impact
  - Medium Impact
  - Low or Unknown Impact

**IMPLEMENTATION REQUIREMENTS**

- Capital Costs
  - O&M Costs
  - Maintenance
  - Training
- 
- High
  - Medium
  - Low