



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on final approval of Sunshine Valley Estates Subdivision, a two phased subdivision consisting of nine lots.

Type of Decision: Administrative

Agenda Date: Tuesday, February 26, 2019

Applicant: **Low Properties, LC**

Representative: Chris Cave

File Number: UVS080118

Property Information

Approximate Address: 940 S 9270 E, Huntsville, UT, 84317

Project Area: 32.68 acres

Zoning: Forest Valley (FV-3)

Existing Land Use: Agricultural

Proposed Land Use: Residential

Parcel ID: 21-023-0031, 21-023-0032, 21-023-0034, 21-035-0001

Township, Range, Section: T6N, R2E, Section 16 S

Adjacent Land Use

North: Vacant/Agricultural	South: Residential
East: Vacant/Agricultural	West: Residential

Staff Information

Report Presenter: Tammy Aydelotte
taydelotte@co.weber.ut.us

Report Reviewer: RK

Applicable Land Use Codes

- Weber County Land Use Code Title 106 (Subdivisions)
- Weber County Land Use Code Title 104 (Stream corridors, wetlands, shorelines)
- Weber County Land Use Code Title 104 (Zones) Chapter 14 (FV-3 Zone)

Background and Summary

The applicant is requesting final approval of Sunshine Valley Estates Subdivision, a two phased subdivision consisting of nine lots, including creation of a county, dedicated road, located at approximately 940 S 9270 E (shown on the subdivision plat as Sunshine Valley Drive, Huntsville in the FV-3 Zone. The proposed subdivision and lot configuration are in conformance with the applicable zoning and subdivision requirements as required by the Uniform Land Use Code of Weber County (LUC). The following is a brief synopsis of the review criteria and conformance with LUC.

Analysis

General Plan: The request is in conformance with the Ogden Valley General Plan as it is intended to preserve private property rights while also preserving the rural characteristics of the Valley.

Zoning: The subject property is located in the FV-3 Zone. Single-family dwellings are a permitted use in the FV-3 Zone.

Lot area, frontage/width and yard regulations: In the LUC § 104-14-5, the FV-3 zone requires a minimum lot area of 3 acres for a single family dwelling and a minimum lot width of 150 feet. All lots in this proposed subdivision meet this requirement.

As part of the subdivision process, the proposal has been reviewed for compliance with the current subdivision ordinance in the LUC § 106-1, and the FV-3 zone standards in LUC § 104-14. The proposed subdivision will create a new public street that will be reviewed to ensure it meets the County standards during the final subdivision process.

Culinary water and sanitary sewage disposal: Weber-Morgan Health Department has performed the necessary soil testing to provide feedback regarding on-site wells, as well as recommendations for design requirements for on-site septic systems for each lot. Proof of water shares have also been provided for secondary water.

Weber Basin has a signed contract with Mr. Lowe for 6 acre feet of water (1-acre foot per lot), in addition to the three that Mr. Lowe secured back in 2016. Each acre foot of water assigned to every lot will be used for both culinary and secondary water purposes, per Weber Basin.

Natural hazards/wetlands: Per LUC § 104-28-2, a seasonal stream runs through the proposed subdivision area.

Structures, accessory structures, roads, or parking areas shall not be developed or located within 50 feet from the high water mark from the existing ephemeral streams located within the proposed subdivision, unless a stream alteration is approved by the Army Corps of Engineers and State Department of Natural Resources

The proposed subdivision lies within designated wetlands areas. It has been determined that a wetlands delineation report is not necessary, as setbacks from the river have already been shown on the plat which will protect and preserve the wetland areas and stream corridors.

Review Agencies: To date, the proposed subdivision has been reviewed by the Planning Division, Engineering Division, and Surveyor's Office along with the Weber Fire District. All review agency requirements must be addressed and completed prior to this subdivision being recorded.

Tax Clearance: There are no outstanding tax payments related to these parcels. The 2018 property taxes are not considered due at this time, but will become due in full on November 30, 2018.

Staff Recommendation

Staff recommends final approval of Sunshine Valley Estates Subdivision, a two phased subdivision consisting of nine lots located at approximately 940 S 9270 E, Huntsville. This recommendation is subject to all review agency requirements prior to recording of the subdivision, and the following conditions:

1. A well permit from the State of Utah must be obtained prior to recording of the subdivision.

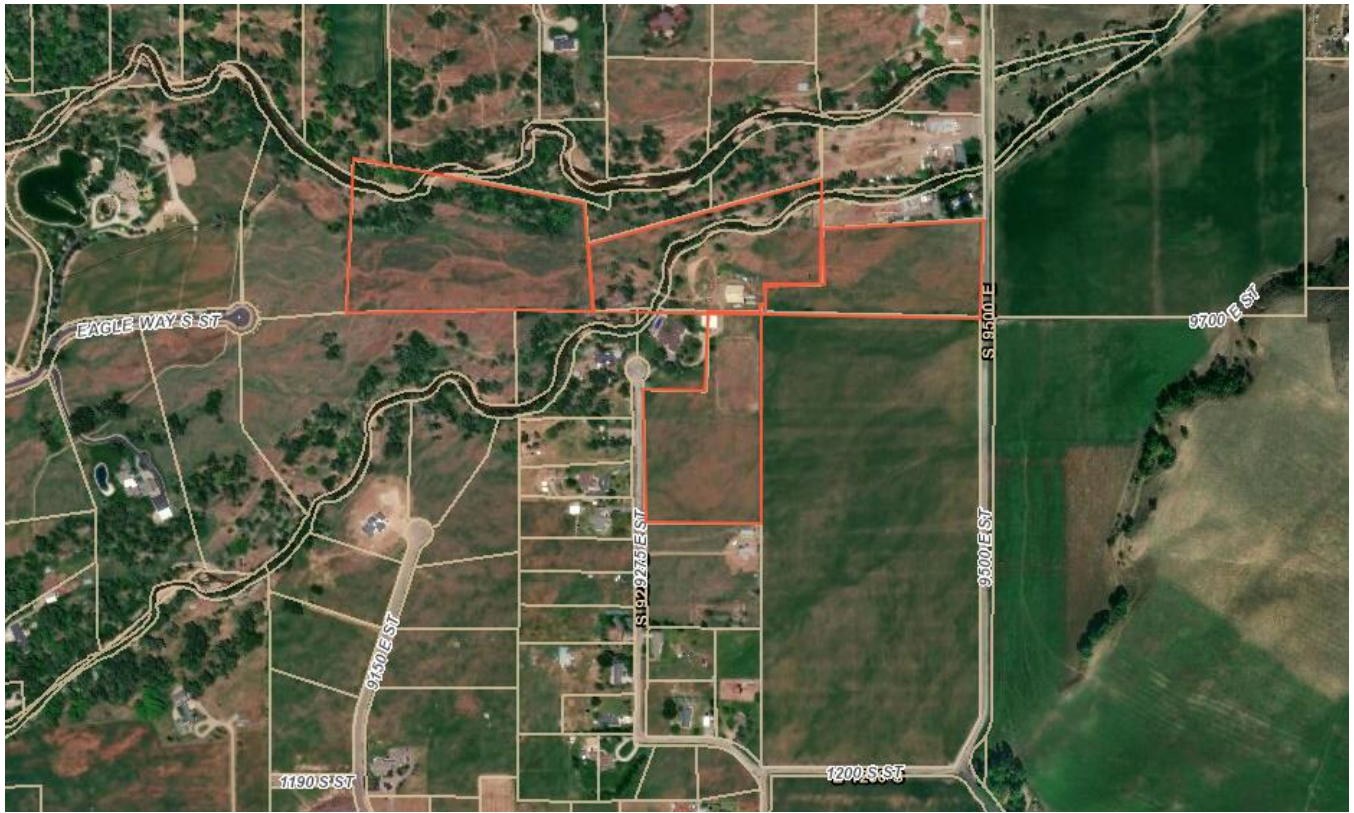
This recommendation is based on the following findings:

1. The proposed subdivision conforms to the Ogden Valley General Plan
2. The proposed subdivision complies with applicable county ordinances

Exhibits

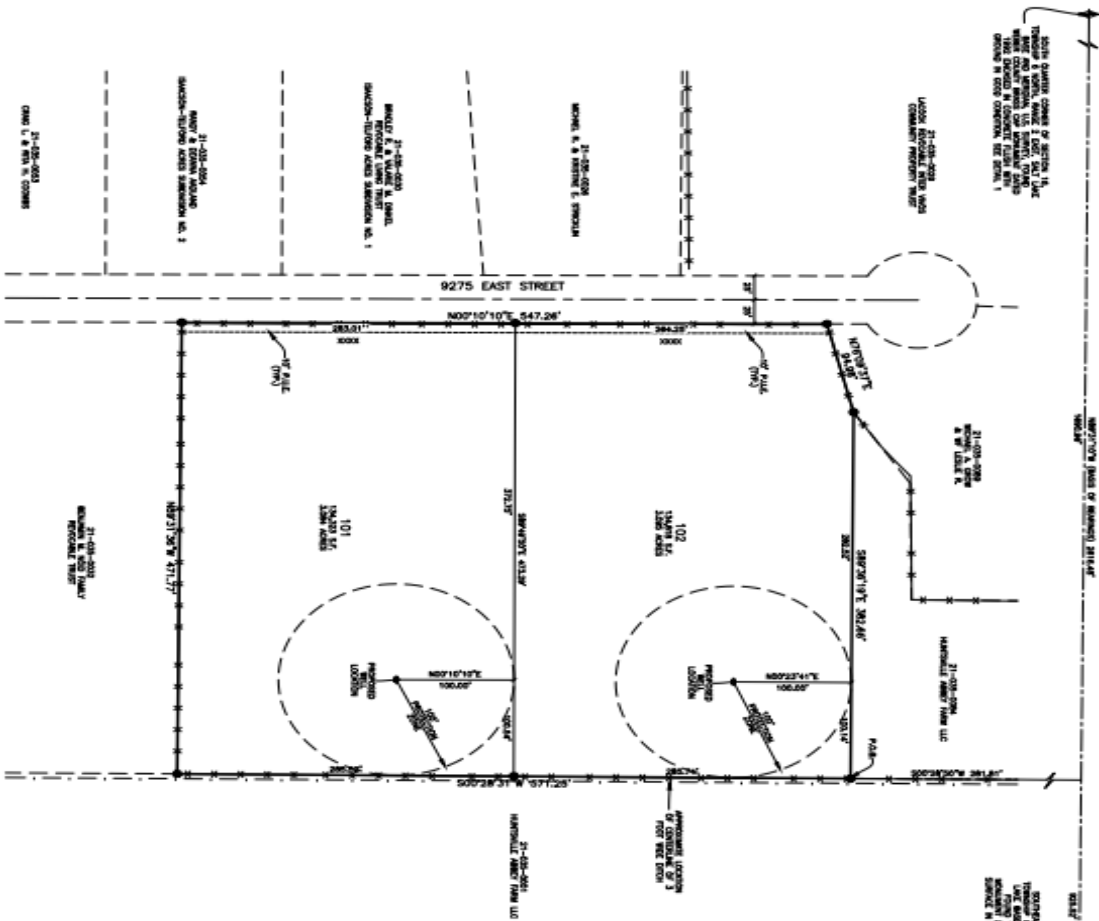
- A. Subdivision Plat including Phases 1 and 2

Area Map



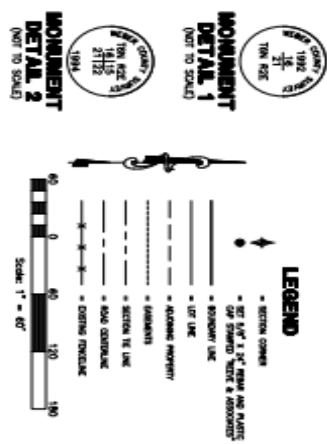
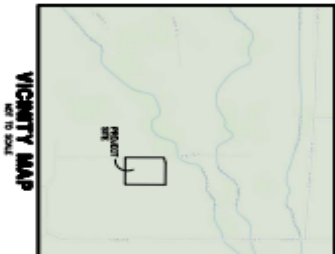
SUNSHINE VALLEY ESTATES SUBDIVISION PHASE 1

PART OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
 WEBER COUNTY, UTAH
 NOVEMBER, 2018



SECTION CORNER OF SECTION 16, TOWNSHIP 6 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, AS SHOWN ON PLAT 1, WEBER COUNTY, UTAH, DATED 11/15/18, IS THE POINT OF BEGINNING FOR THIS SUBDIVISION. THE POINT OF BEGINNING IS LOCATED AT THE INTERSECTION OF THE EAST LINE OF SECTION 16 AND THE WEST LINE OF SECTION 21.

TOWNSHIP CORNER OF SECTION 16, TOWNSHIP 6 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, AS SHOWN ON PLAT 1, WEBER COUNTY, UTAH, DATED 11/15/18, IS THE POINT OF BEGINNING FOR THIS SUBDIVISION. THE POINT OF BEGINNING IS LOCATED AT THE INTERSECTION OF THE EAST LINE OF SECTION 16 AND THE WEST LINE OF SECTION 21.



MONUMENT DETAIL 1
 (NOT TO SCALE)

MONUMENT DETAIL 2
 (NOT TO SCALE)

LEGEND

- SECTION CORNER
- 1/4" X 1/4" IRON AND BRASS CAP STAMPED WITH ASSOCIATED PROPERTY
- RENEWAL LINE
- LOT LINE
- BOUNDARY PROPERTY
- SEWERS
- SECTION TO LINE
- ROAD CENTERLINE
- EXISTING FENCELINE

BOUNDARY DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON AN EXISTING FENCE LINE, 320 FEET BEING N89°21'10\"/>

BASES OF BEARINGS

THE BASES OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE SOUTHWEST CORNER AND THE SOUTH QUARTER CORNER OF SECTION 16, TOWNSHIP 6 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS N89°21'10\"/>

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AS SHOWN. ALL BOUNDARY CORNERS WERE SET WITH A 5/8" X 3/4" IRON AND BRASS CAP STAMPED WITH "TRENK & ASSOCIATES", THE RIGHT OF WAY WAS DEDICATED BY WATCHING A RECORD OF SURVEY FILED AS SURVEY NO. 1281 AND THE RIGHT OF WAY WAS SET WITH A 5/8" X 3/4" IRON AND BRASS CAP STAMPED WITH "TRENK & ASSOCIATES". THE BOUNDARY SHOWN HEREON IS A RESULT OF BEST FIT OF THE DEEDS AND ANCIENT OCCUPATION. BOUNDARY LINE ADJUSTMENTS ARE RECOMMENDED TO CLEAN UP THE DISCREPANCIES.

BOUNDARY DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON AN EXISTING FENCE LINE, 320 FEET BEING N89°21'10\"/>

CONTAINING 289141 SQUARE FEET OR 6.179 ACRES MORE OR LESS

SUNSHINE VALLEY ESTATES SUBDIVISION PHASE 2

PART OF THE SOUTH HALF OF SECTION 16 AND THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH
NOVEMBER, 2018

