

February 08, 2019
Issued for Construction Rev 02

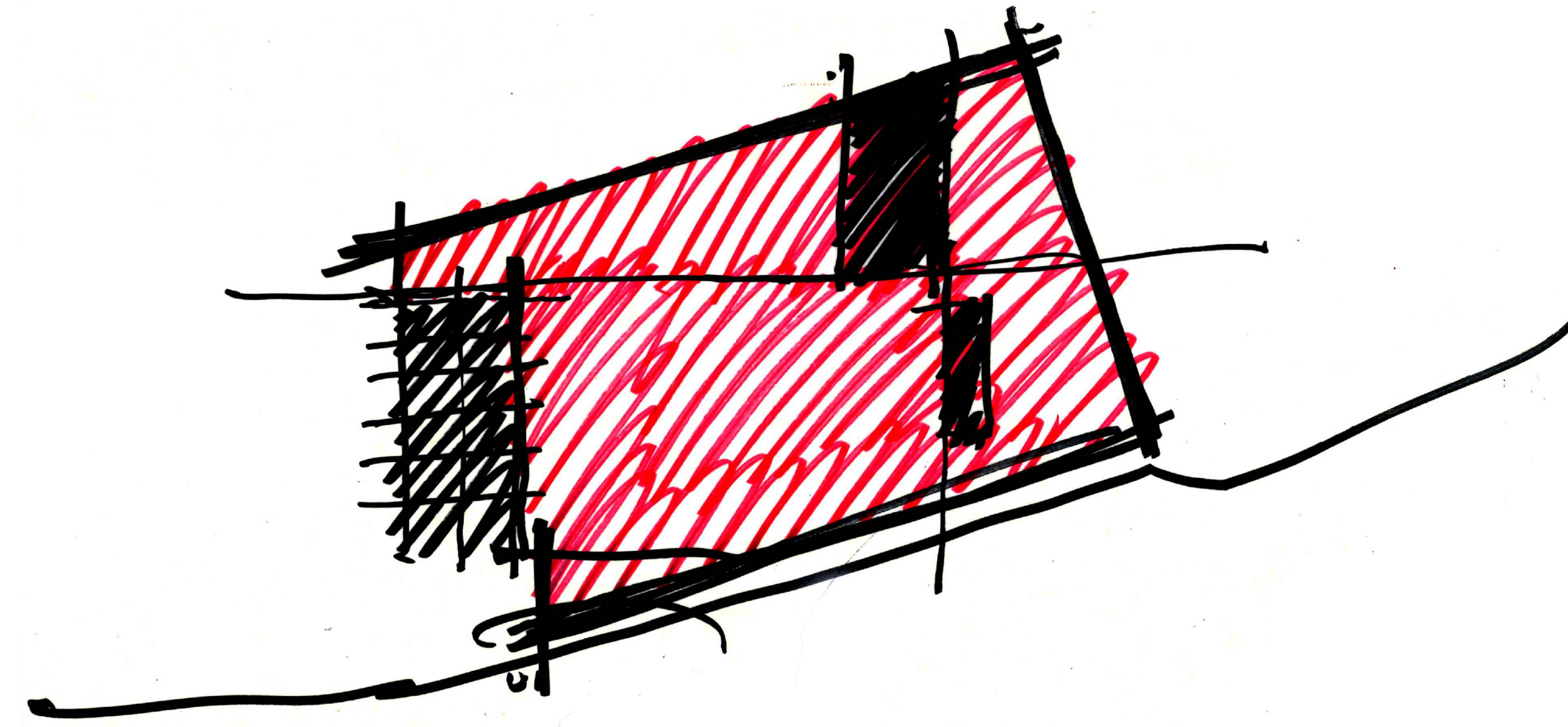
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 Halifax, Nova Scotia Canada B3K 3B4
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 ph: (801) 743-1300

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 Geotechnical Engineers
 12429 South Street 300 East, Suite 100
 Draper, Utah, United States 84020-8770
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Edge Builders LLC
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 P.O. Box 17404,
 Salt Lake City, Utah, United States 84117
 ph: (801) 879-6200



CIVIL	ARCHITECTURAL	STRUCTURAL
C101 General Notes and Legend	A001 Partition Types	S-001 General Notes
C201 Site and Utility Plan	A002 Key Plan, Abbreviations, Schedules	S-002 General Notes Cont'd
C202 Horizontal Control Plan	A100 Site Plan	S-003 Typical Details
C301 Grading Plan	A201 Level 1 & 2 Floor Plans	S-004 Typical Details Continued
C601 Erosion Control Plan	A202 Level 3 & 4 Floor Plans	S-100 Foundation Plan
C701 Details	A300 Exterior Elevations	S-101 Level 2 Framing Plan
	A301 Exterior Elevations	S-102 Level 3 Framing Plan
	A400 Building Sections	S-103 Level 4 Framing Plan
	A401 Building Sections	S-104 Roof Framing Plan
	A500 Plan Details	S-105 Column Schedule
	A510 Section Details	S-200 Steel Elevations
	A511 Section Details	S-201 Steel Elevations Cont'd
	A600 Millwork - Ground Floor	S-202 Steel Elevations Cont'd
	A601 Millwork - Second Floor	S-203 Steel Connections
	A602 Millwork - Third & Fourth Floor	S-204 Wood Shear Wall Elevations
	A603 Millwork - Fourth Floor	S-205 Wood Shear Wall Elevations
	A604 Millwork Details	S-300 Wall Sections
	A610 Stair	S-301 Foundation Sections
	A611 Stair	S-400 Framing Sections
	A800 Level 1 & 2 Electrical Plans	S-401 Framing Sections Cont'd
	A801 Level 3 & 4 Electrical Plans	S-402 Framing Sections Cont'd
	A802 Level 4 Electrical Plan	
	A900 Window/Door Schedule	

Lot 71R

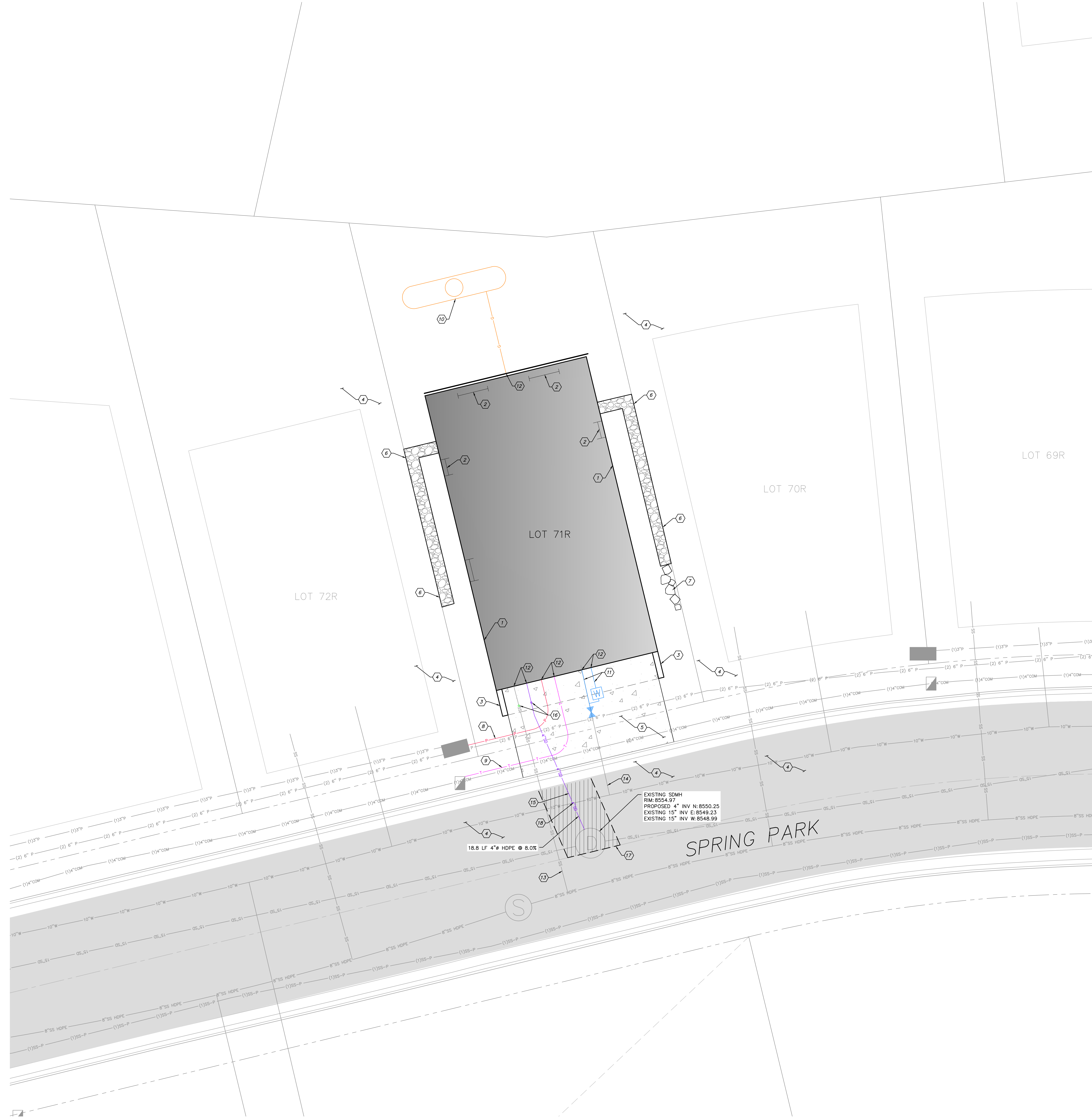
Village House
 Summit Powder Mountain
 8488 E. Spring Park
 Eden, UT
 84310

PLAN REVIEW ACCEPTANCE
 FOR COMPLIANCE WITH THE APPLICABLE
 CONSTRUCTION CODES IDENTIFIED BELOW.
 BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY FIRE
 PLAN REVIEW ACCEPTANCE OF DOCUMENTS
 DOES NOT AUTHORIZE CONSTRUCTION TO
 PROCEED IN VIOLATION OF ANY FEDERAL,
 STATE, OR LOCAL REGULATIONS.
 BY: MEM DATE: 03/04/19
 WEST COAST CODE CONSULTANTS, INC.

GENERAL NOTES:
THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO WEBER COUNTY ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY WEBER COUNTY. ALSO, INSPECTORS WILL HAVE THE RIGHT TO REQUEST CHANGES TO THE FACILITIES AS NEEDED.
DUST MUST BE KEPT TO A MINIMUM. CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTACT POWDER MOUNTAIN WATER & SEWER IMPROVEMENT DISTRICT TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER.
THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS.
THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE UTAH DEPARTMENT OF ENVIRONMENTAL QUALITY DIVISION OF WATER QUALITY.
ENSURE ALL GRADING SLOPES AWAY FROM STRUCTURE AT 5% FOR A MINIMUM OF 10' PER IRC R401.3

UTILITIES:
ENSURE MINIMUM BURIED DEPTH PER BUILDING CODE FOR ALL BURIED UTILITIES.
IMPROVEMENTS, INCLUDING LANDSCAPING, SHALL NOT INTERFERE WITH ANY DRAINAGE CULVERT, RIP RAP, AND DRAINAGE PATTERN ASSOCIATED WITH ANY DRAINAGE EASEMENT.

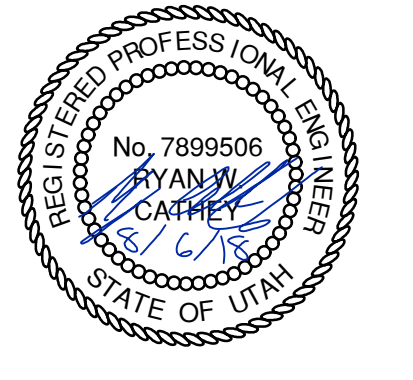
- KEY NOTES:**
- 1) BUILDING FOOTPRINT. SEE ARCHITECTURAL PLANS.
 - 2) EGRESS WINDOW. SEE ARCHITECTURAL PLANS.
 - 3) CONCRETE WALL. SEE ARCHITECTURAL PLANS.
 - 4) PROTECT IN PLACE EXISTING IMPROVEMENTS. IF DAMAGED, REPLACE AT CONTRACTOR'S EXPENSE.
 - 5) INSTALL CONCRETE DRIVEWAY PER DETAIL C/SHEET C701.
 - 6) INSTALL GABION WALL PER GEOTECHNICAL REPORT. SEE GRADING PLAN FOR ELEVATIONS.
 - 7) INSTALL ROCK WALL PER GEOTECHNICAL REPORT. SEE GRADING PLAN FOR ELEVATIONS.
 - 8) INSTALL ELECTRICAL LINE FROM SERVICE BOX TO BUILDING.
 - 9) INSTALL TELECOMMUNICATIONS LINE FROM SERVICE BOX TO BUILDING.
 - 10) INSTALL PROPANE TANK PER DETAIL B/SHEET 701. SERVICE LINE TO BUILDING TO BE INSTALLED BY OTHERS.
 - 11) INSTALL CULINARY WATER AND FIRE LINES PER DETAIL A/SHEET 701.
 - 12) SEE MECHANICAL PLANS FOR CONTINUATION OF UTILITY WITHIN BUILDING.
 - 13) EXISTING SEWER LATERAL.
 - 14) EXISTING WATER LATERAL.
 - 15) INSTALL 4" HDPE STORM DRAIN PIPE PER APWA STANDARD PLANS NO. 381 & 382.
 - 16) INSTALL CLEANOUT PER APWA STANDARD PLAN NO. 431S.
 - 17) SAWCUT, REMOVE AND PROPERLY DISPOSE OF ASPHALT. WHEN TRENCH FOR STORM DRAIN PIPE HAS BEEN PROPERLY BACKFILLED AND COMPACTED PER APWA PLAN 381. PROVIDE ASPHALT CONCRETE T-PATCH PER APWA PLAN 255 WITH A 60" MINIMUM SECOND CUT FROM FIRST CUT.
 - 18) PROVIDE A MINIMUM 18" VERTICAL CLEARANCE BETWEEN WATER LINE AND STORM DRAIN AT CROSSING. CONTACT ENGINEER FOR GUIDANCE IF 18" VERTICAL CLEARANCE IS NOT POSSIBLE.



EXISTING SDMH
RIM: 8554.97
PROPOSED 4" INV N: 8550.25
EXISTING 15" INV E: 8548.23
EXISTING 15" INV W: 8548.99

18.8 LF 4" HDPE @ 8.0%

SPRING PARK



No.	Description	Date

NOTES:
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The use of this drawing shall be governed by standard copyright law as generally accepted in architectural practice.

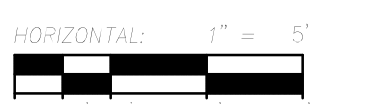
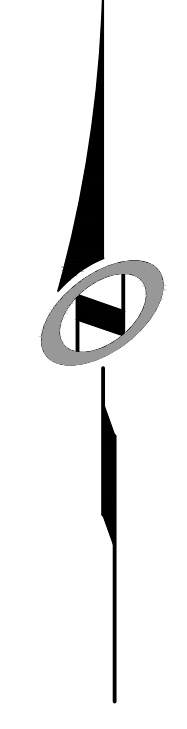
PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW:
 BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY
 FIRE

HAS REVIEW ACCEPTANCE OF DOCUMENTS FOR COMPLIANCE WITH THE APPLICABLE STATE OR LOCAL REGULATIONS:
 MEM 88534918
WEST COAST CODE CONSULTANTS, INC.

ARCHITECT'S REQUIREMENTS AND APPROVALS:
It is the Architect's responsibility to verify that the Contractor complies with the requirements of all authorities having jurisdiction over the work. It is the Contractor's responsibility to obtain necessary approval from all relevant Authorities.

ENGINEER'S REQUIREMENTS AND APPROVALS:
It is the Engineer's responsibility to verify that the Contractor complies with the requirements of all authorities having jurisdiction over the work. It is the Contractor's responsibility to obtain necessary approval from all relevant Authorities.

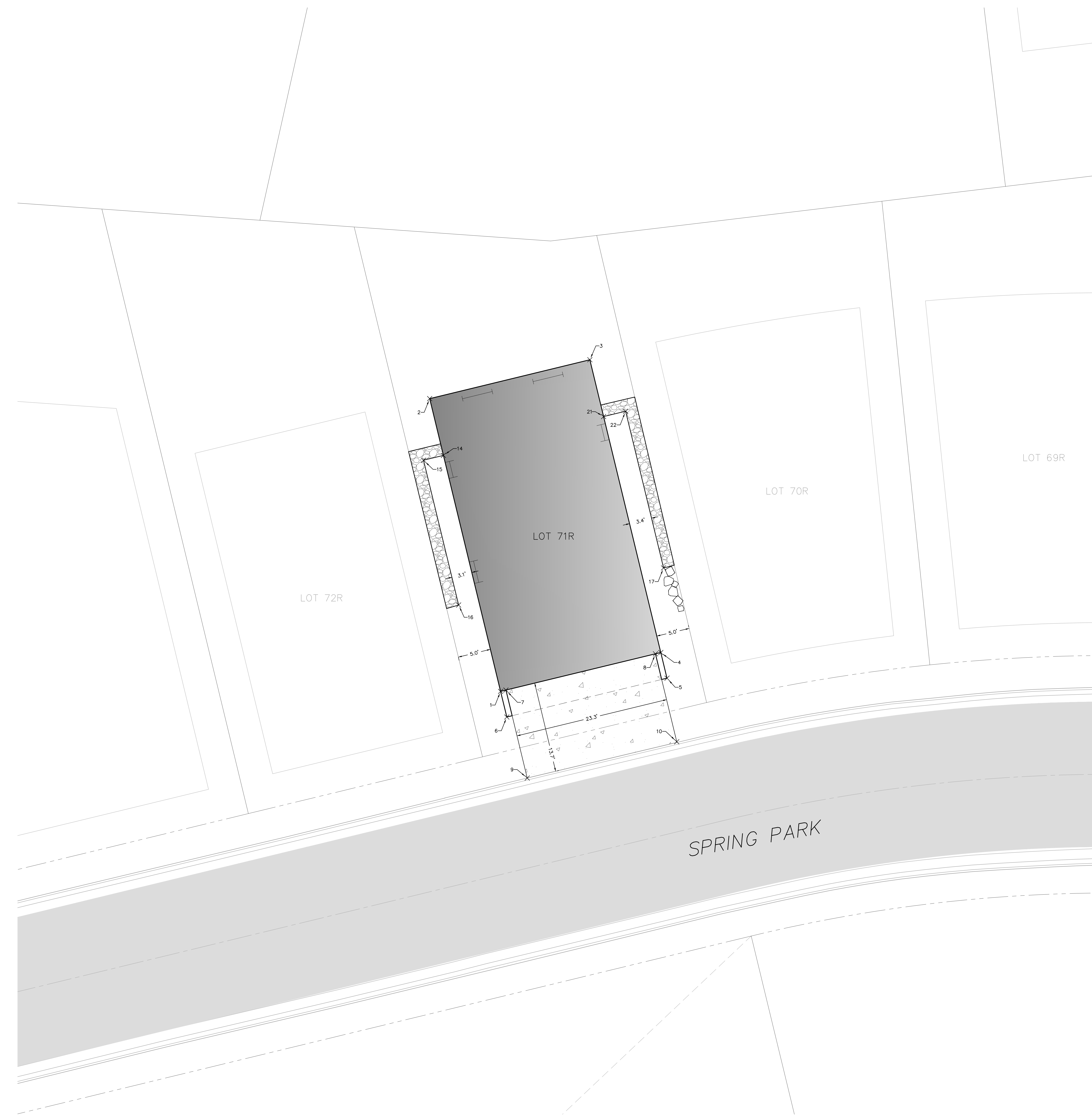
AUTHORITY'S REQUIREMENTS AND APPROVALS:
All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Contractor's responsibility to obtain necessary approval from all relevant Authorities.



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fax: (902) 429 6276



5217 SOUTH STATE STREET
SUITE 200
MURRAY, UT 84107
801.743.1100



Point #	Northing	Easting
1	3656004.97	1572728.77
2	3656049.35	1572718.01
3	3656055.24	1572742.31
4	3656010.85	1572753.06
5	3656006.97	1572754.01
6	3656001.08	1572729.71
7	3656005.16	1572729.58
8	3656010.66	1572752.25
9	3655991.83	1572732.81
10	3655997.33	1572755.48
14	3656040.74	1572720.10
15	3656040.01	1572717.08
16	3656018.06	1572722.40
17	3656023.48	1572753.49
21	3656046.63	1572744.39
22	3656047.44	1572747.73



No.	Description	Date

NOTES:

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ARCHITECT'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to verify MacKay Lyon Sewage Architects Ltd. and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Architect.

ENGINEER'S REQUIREMENTS AND APPROVALS:
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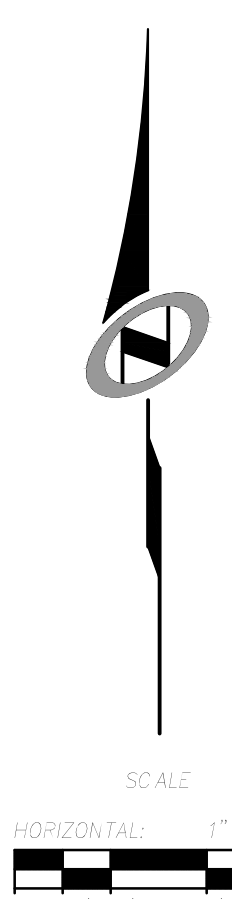
DIMENSIONS:
All dimensions must be verified on site. Do not scale off drawings. Plans take precedence over elevations. In the absence of dimensions, all dimensions must be verified on site. All minimum dimensions are to comply with the International Building Code, 2009 Edition.

SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to installation of prefabricated elements of the building.

PLAN REVIEW ACCEPTANCE

<input type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> PIPE

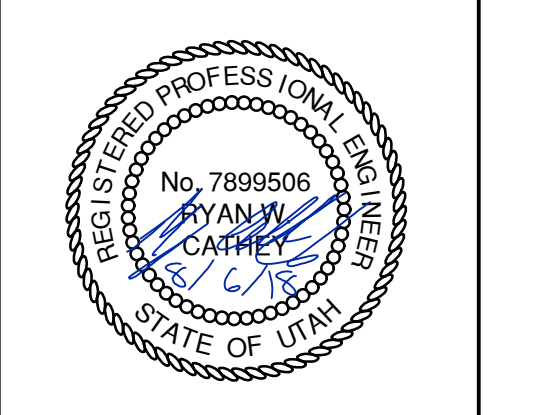
MEMORANDUM OF UNDERSTANDING
THIS PLAN REVIEW ACCEPTANCE IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED.
MEMORANDUM OF UNDERSTANDING
WEST COAST CODE CONSULTANTS, INC.



Horizontal Control Plan

Scale: 1"=20'
Date: 06/28/18
Drawn: JLB
Checked: RWC

C202



No.	Description	Date

NOTES:

PLAN REVIEW ACCEPTANCE
FOR CONFORMANCE WITH THE WEST COAST CONSTRUCTION CODES IDENTIFIED BELOW:
 BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY FIRE
 PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT IMPLY CONFORMANCE BY THE DESIGNER WITH ALL FEDERAL, PROVISIONAL, LOCAL, OR ANY OTHER APPLICABLE REGULATIONS.
 MEM 04-0394619
 WEST COAST CODE CONSULTANTS, INC.

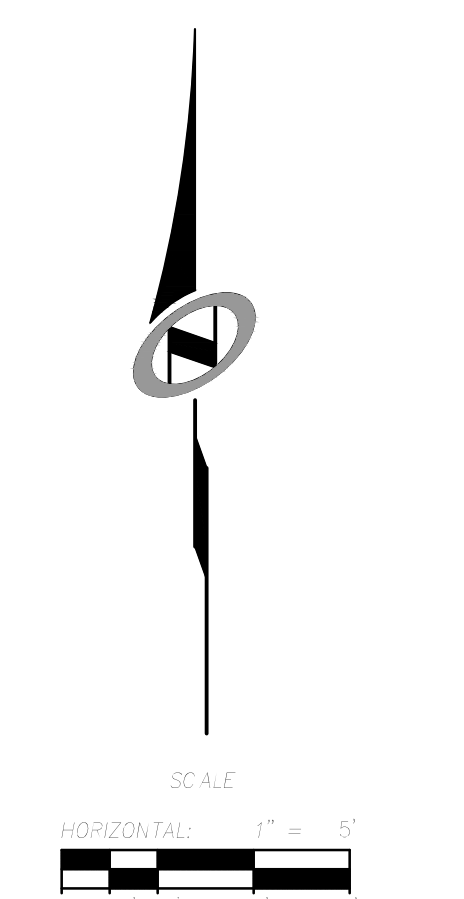
ARCHITECT'S REQUIREMENTS AND APPROVALS:
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ENGINEER'S REQUIREMENTS AND APPROVALS:
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AUTHORITY'S REQUIREMENTS AND APPROVALS:
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DIMENSIONS:
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SHOP DRAWINGS:
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801.743.1300

EROSION CONTROL GENERAL NOTES:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO WEBER COUNTY ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTY. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COSTS TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS.

THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE UTAH DIVISION OF WATER QUALITY.

MAINTENANCE:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL VEGETATION IS RE-ESTABLISHED.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

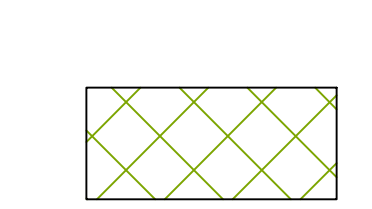
EXPOSED SLOPES:

ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

- A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
- B) TRACKING STRAW PERPENDICULAR TO SLOPES
- C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:



HATCHING INDICATES AREAS TO RECEIVE 4" TOPSOIL AND TO BE SEED FOR NATURAL REVEGETATION. AREAS RECEIVING SEEDING FOR NATURAL REVEGETATION ON SLOPES OF 3:1 OR STEEPER MUST BE COVERED WITH AN EROSION CONTROL BLANKET AFTER THE FINAL GRADING AND SEEDING ARE FINISHED. INSTALL NORTH AMERICAN GREEN SC-150 BLANKET OR APPROVED EQUAL. FOLLOW MANUFACTURER'S SPECIFICATIONS.



INSTALL INLET PROTECTION IN FORM OF CONCRETE BLOCKS / FILTER CLOTH / GRAVEL OR SILT SACK AT EXISTING AND PROPOSED CATCH BASINS AS SHOWN ON PLAN. SEE EROSION CONTROL DETAILS ON SHEET C701.



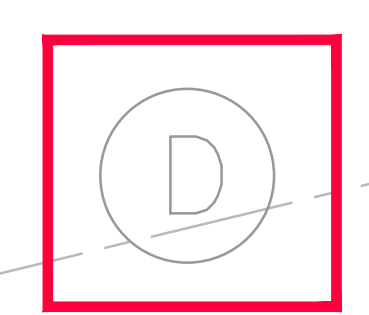
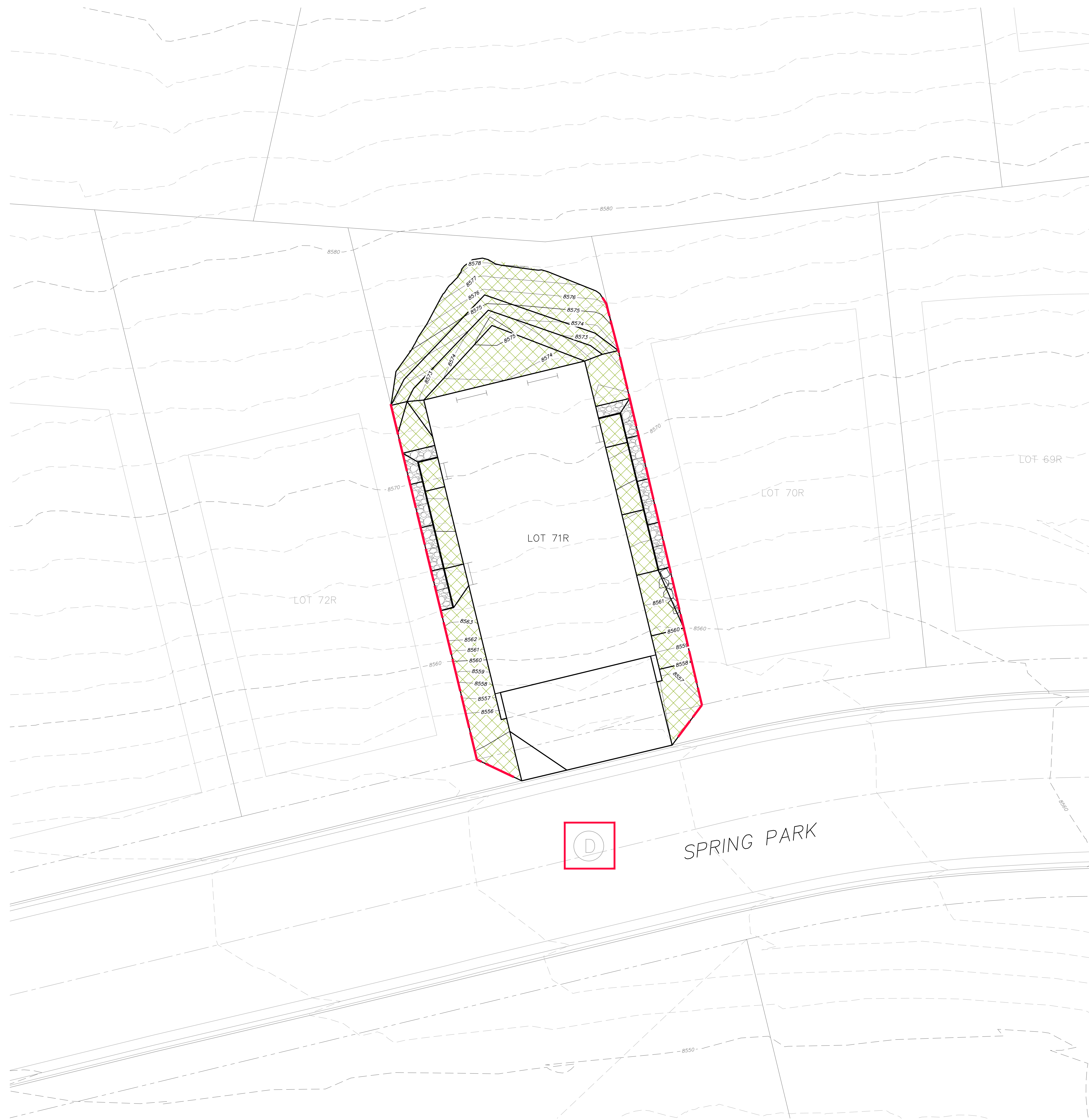
INSTALL SILT FENCE ALONG DOWN GRADIENT LIMITS OF DISTURBANCE AS SHOWN ON PLAN. SEE EROSION CONTROL DETAILS ON SHEET C701.



INSTALL ORANGE SAFETY FENCING AROUND OUTER LIMITS OF PROJECT PRIOR TO GRADING.

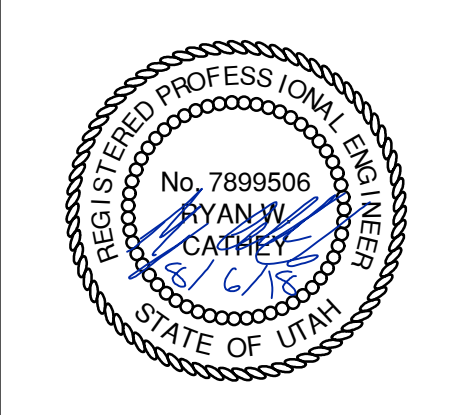
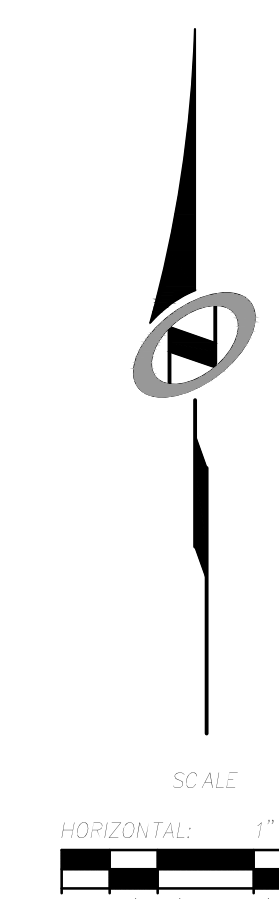
- SEED MIXTURE FOR REVEGETATION
- 40% MOUNTAIN BROME (*BROMUS MARGINATUS*)
- 25% SLENDER WHEATGRASS (*ELYMUS TRACHYCAULUS* SPP. *TRACHYCAULUS*)
- 5% SHEEP FESCUE (*FESTUCA OVINA* SPP. *DURIUSCULA*)
- 5% ALPINE BLUEGRASS (*POA ALPINE*)
- 25% THICKSPIKE WHEATGRASS (*ELYMUS LANCEOLATUS* SPP. *LANCEOLATUS*)

SEEDING RATE IS 40 POUNDS PER ACRE.



SPRING PARK

PLAN REVIEW ACCEPTANCE
I have examined this plan and code construction codes identified below:
 BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY FIRE
PLAN REVIEW ACCEPTANCE OF DOCUMENTS IS THE BUILDER'S RESPONSIBILITY TO VERIFY COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
MEM 5384245
WEBB COAST CODE CONSULTANTS, INC.



No.	Description	Date

NOTES:

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The use of this drawing shall be governed by standard copyright law as generally accepted in architectural practice.

AUTHORITIES REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to verify that the drawings conform to all applicable codes and regulations. The Builder is responsible for obtaining all necessary approvals from the authorities having jurisdiction over the work. It is the Builder's responsibility to obtain all necessary approvals from all relevant Authorities.

ENGINEER'S REQUIREMENTS AND APPROVALS:
It is the Engineer's responsibility to verify that the drawings conform to all applicable codes and regulations. The Engineer is responsible for obtaining all necessary approvals from the authorities having jurisdiction over the work. It is the Engineer's responsibility to obtain all necessary approvals from all relevant Authorities.

AUTHORITY REQUIREMENTS AND APPROVALS:
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DIMENSIONS:
All dimensions must be verified on site. Do not scale off drawings. Plans take precedence over elevations. In the absence of dimensions, all dimensions shall conform to the International Building Code, 2009 Edition.

SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to installation of prefabricated elements of the building.

Erosion Control Plan

scale: 1"=5'
date: 06/20/18
drawn: JLB
checked: RWC

C601

Silt fence

- GENERAL**
 - Description. A temporary sediment barrier consisting of a filter fabric stretched across and attached to supporting posts and entrenched.
 - Application. To intercept sediment from disturbed areas of limited extent.
 - Perimeter Control. Place barrier at down gradient limits of disturbance.
 - Sediment Barrier. Place barrier at toe of slope or soil stockpile.
 - Protection of Existing Waterways. Place barrier at top of stream bank.
 - Inlet Protection.
- PRODUCTS**
 - Fabric. Synthetic filter fabric shall be a pervious sheet of polypropylene, nylon, polyester, or polyethylene yarn. Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0 deg F to 120 deg F.
 - Burlap. 10 ounces per square yard of fabric.
 - Posts. Either 2" x 4" diameter wood, or 1.33 pounds per linear foot steel with a minimum length of 5 feet, or steel posts with projections for fastening wire to them.
- EXECUTION**
 - Cut the fabric on site to desired width, unroll, and drape over the barrier. Secure the fabric toe with rocks or dirt and secure the fabric to the mesh with twin, staples or similar devices.
 - When attaching two silt fences together, place the end post of the second fence inside the end post of the first fence. Rotate both posts at least 180 degrees on a clockwise direction to create a tight seal with the filter fabric. Drive both posts into the ground and bury the flap.
 - When used to control sediments from a steep slope, place silt fences away from the toe of the slope for increased holding capacity.
 - Maintenance.
 - Inspect immediately after each rainfall and at least daily during prolonged rainfall.
 - Should the fabric on a silt fence or filter barrier decompose or become ineffective before the end of the expected usable life and the barrier still be necessary, replace the fabric promptly.
 - Remove sediment deposits after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
 - Re-anchor fence as necessary to prevent shortcutting.

Inlet protection - fence or straw bale

- GENERAL**
 - Description. A temporary sediment barrier around storm drain inlet.
 - Application. At inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.
- PRODUCT** (Not used)
- EXECUTION**
 - Installation and application criteria.
 - Provide up gradient sediment controls, such as silt fence during construction of inlet.
 - When construction of inlet is complete erect straw bale barrier, silt fence or other approved sediment barrier surrounding perimeter of inlet.
 - Install filter fabric completely around grate.
 - Maintenance.
 - Inspect inlet protection after every large storm event and at a minimum of once monthly.
 - Remove sediment accumulated when it reaches 4-inches in depth.
 - Repair or re-align barrier or fence as needed.
 - Look for bypassing or undercutting and re-compact soil around barrier or fence as required.

Sewer lateral connection

- GENERAL**
 - Before installation, secure acceptance by ENGINEER for all pipe, fittings, and couplings to be used.
 - Before backfilling, secure inspection of installation by ENGINEER. Give at least 24 hours notice.
 - Verify if CONTRACTOR or agency is to install the wye.
- PRODUCTS**
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
 - Provide agency approved wye or tee with appropriate donut.
 - Stainless steel straps required.
- EXECUTION**
 - Tape wrap pipe as required by soil conditions.
 - Remove core plug from sewer main. Do not break into sewer main to make connection.
 - Base Course and Backfill Placement: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

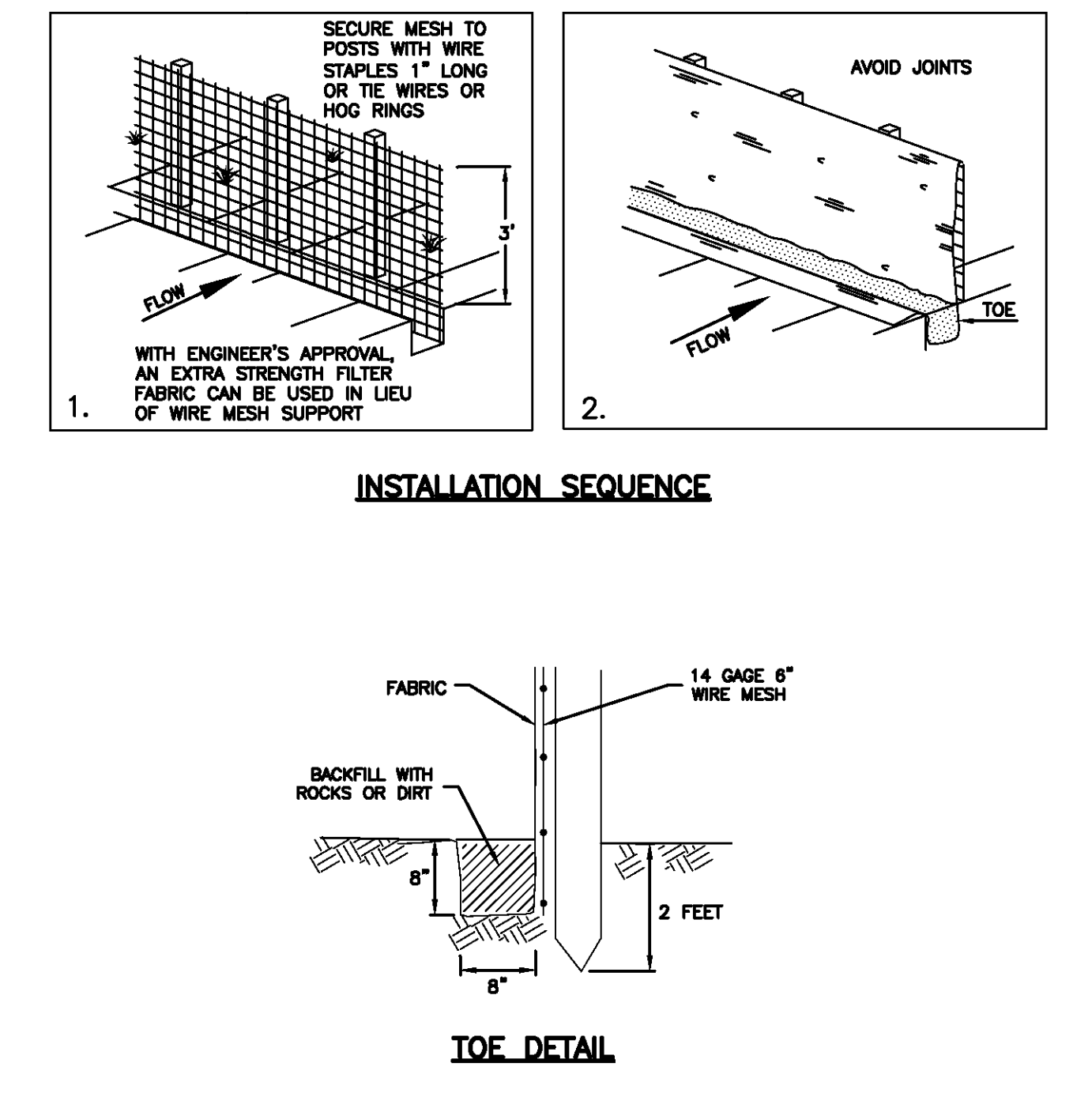
3/4" and 1" meter

- GENERAL**
 - In street surfaces or other vehicular traffic areas (like driveway approaches), install the same type of meter box as required for 1 1/2" and 2" service meters. See Plan 522.
 - Before backfilling, secure inspection of installation by ENGINEER.
- PRODUCTS**
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
 - Castings: Grey iron class 35 minimum per ASTM A 48, coated with asphalt based paint or better.
- EXECUTION**
 - Meter Placement:
 - All meters are to be installed in the park strip or within 7 feet of the property line (street side).
 - Do not install meters under driveway approaches, sidewalks, or curb and gutter.
 - Meter Box. Set box so grade of the frame and cover matches the grade of the surrounding surface.
 - Pipe Outside of Right-of-Way: Coordinate with utility agency or adjacent property owner for type of pipe to be used outside of right-of-way.
 - Inspection: Before backfilling around meter box, secure inspection of installation by ENGINEER.
 - Base Course and Backfill Placement: Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26. Maximum lift thickness before compaction is 8-inches.

Cover collar for water valve box

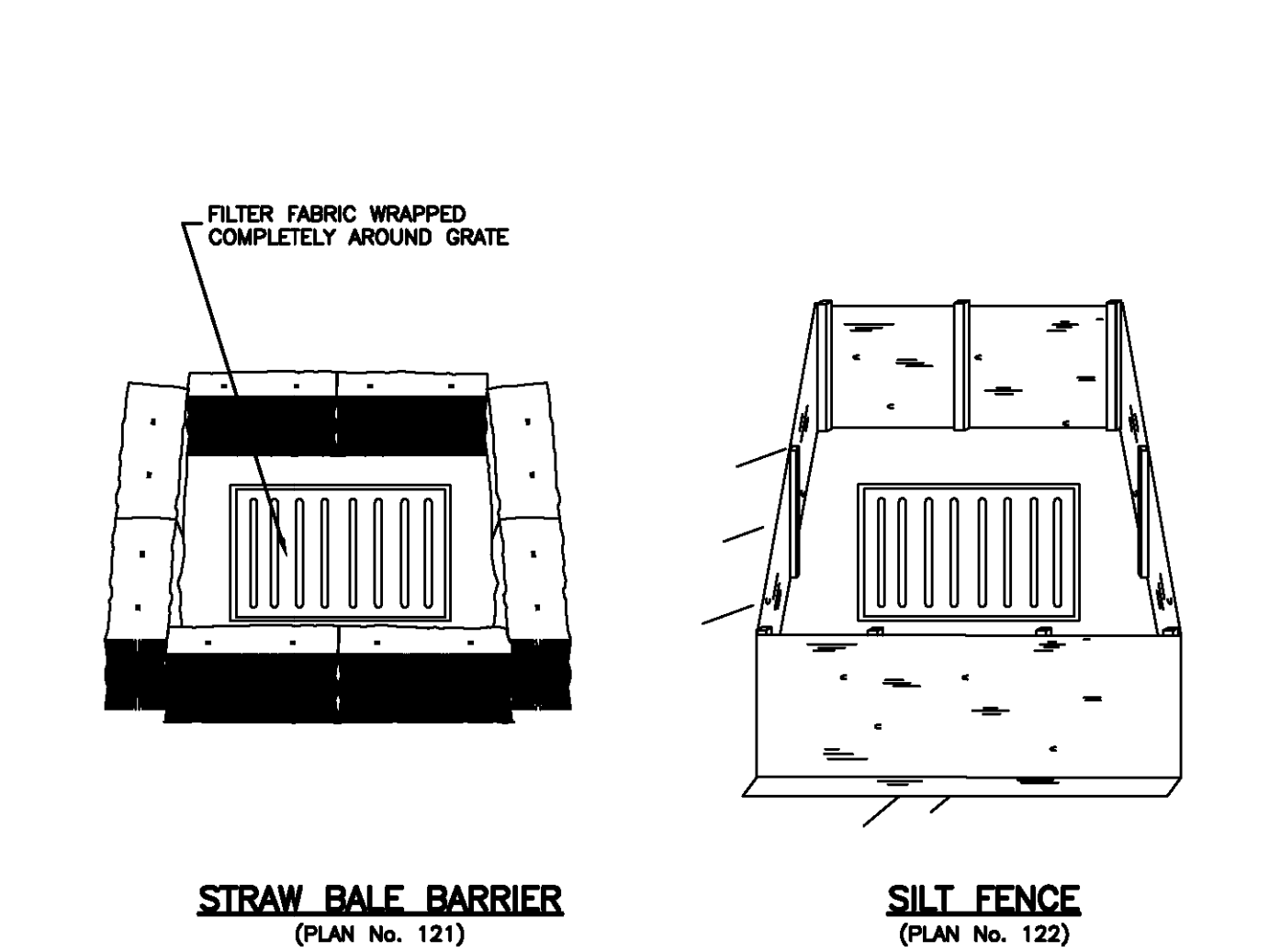
- GENERAL**
 - In a pavement surface, fill an annular space around a frame and cover casting with concrete. The concrete will support the casting under traffic loadings.
- PRODUCTS**
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - Concrete: Class 4000, APWA Section 03 30 04.
 - Concrete Curing Agent: Type 10 Class A (clear with fugitive dye), membrane forming compound, APWA Section 03 39 00.
- EXECUTION**
 - Base Course: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - Pavement Preparation: Provide a neat vertical and concentric joint between concrete collar and existing asphalt concrete surface. Clean edges of all dirt, oil, and loose debris.

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.

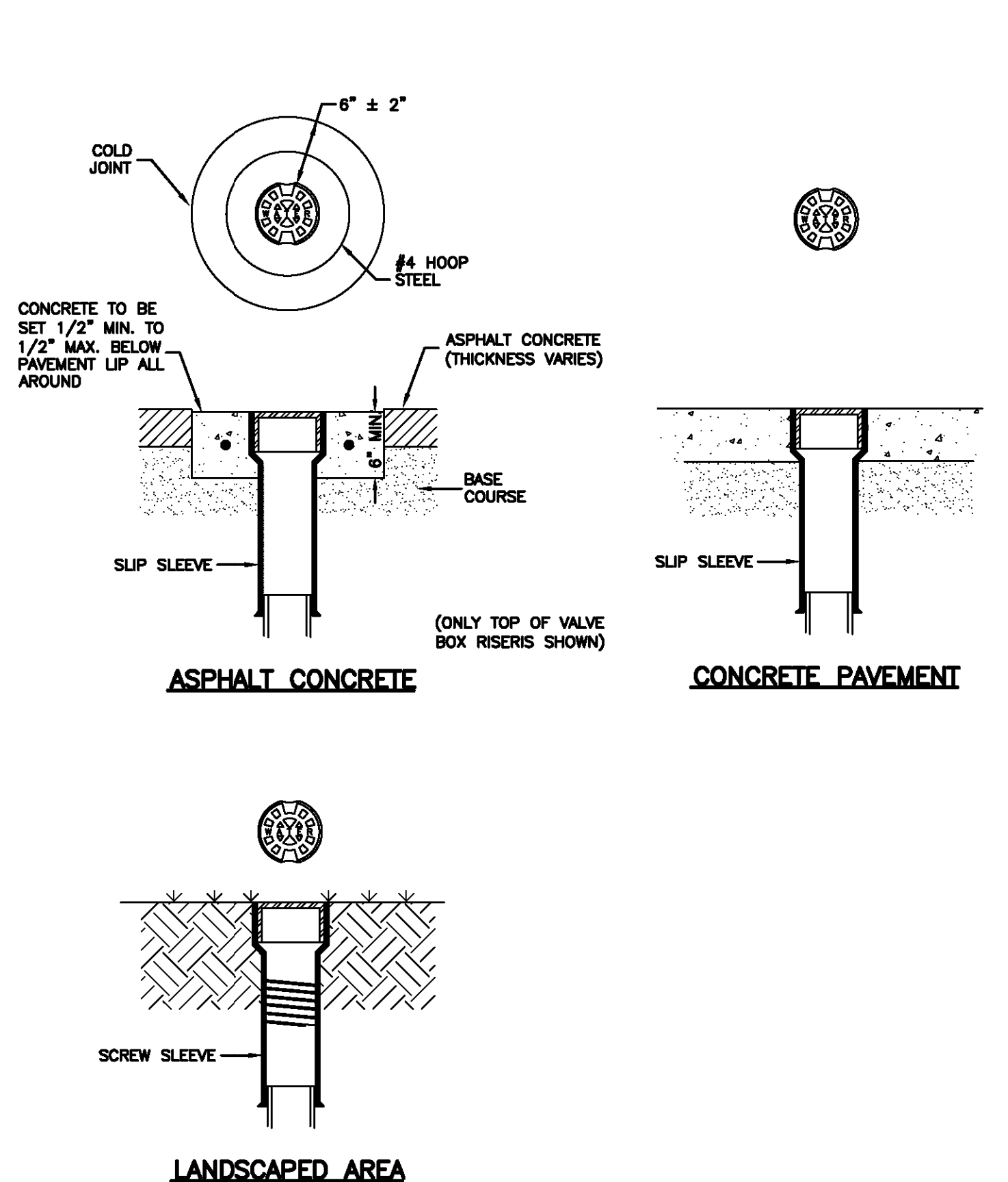
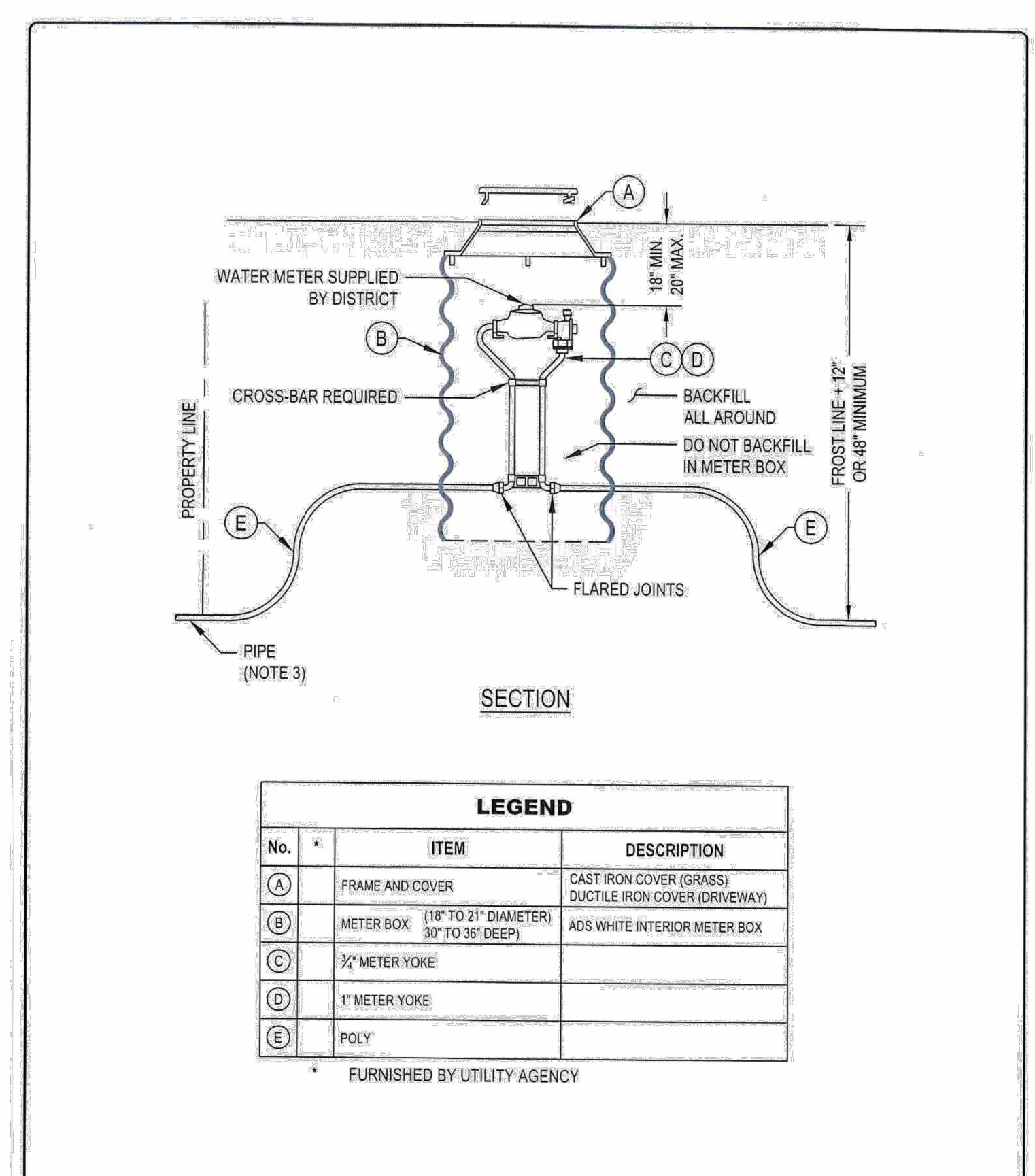
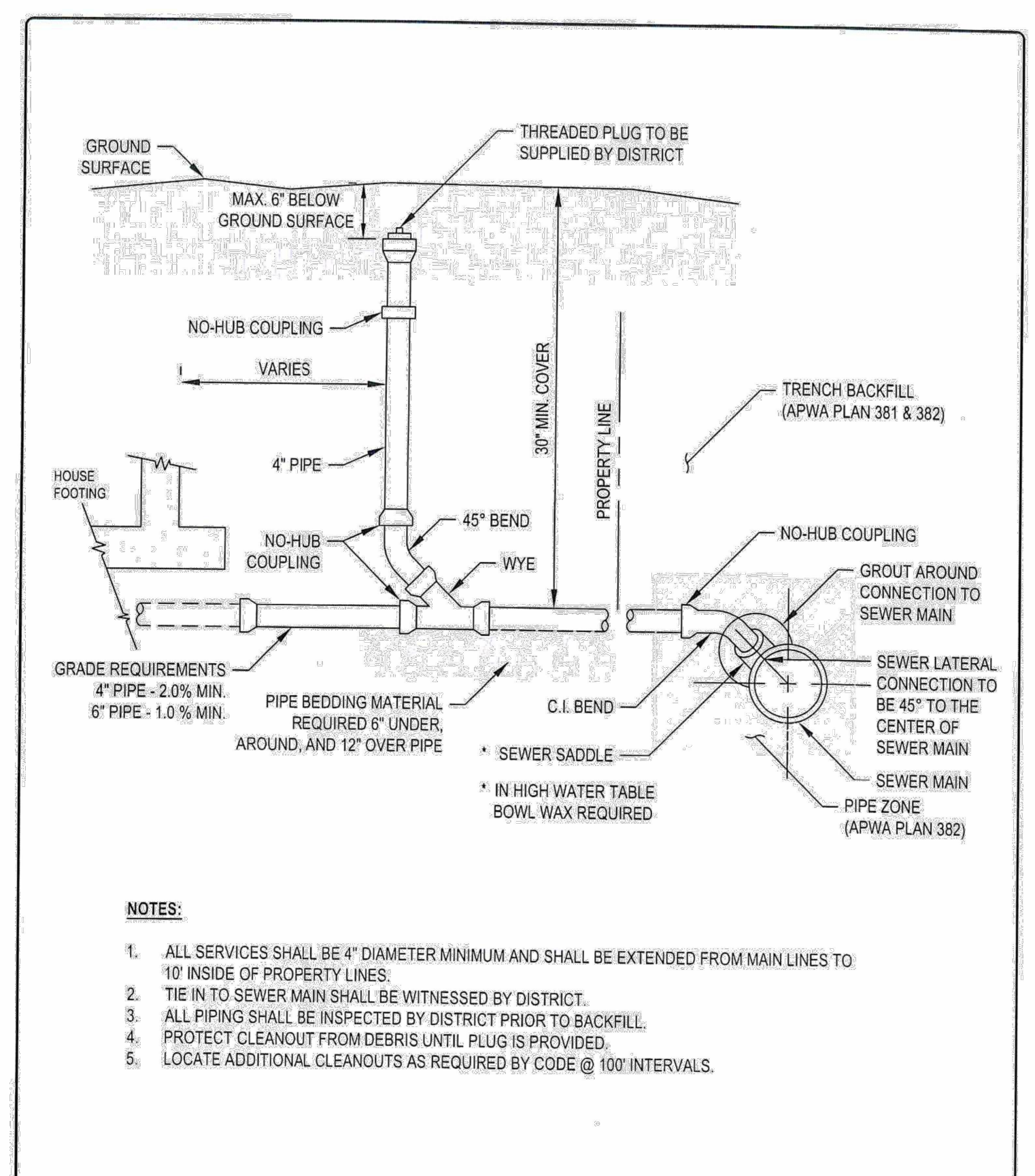


Silt fence Plan 122

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



Inlet protection - fence or straw bale Plan 124



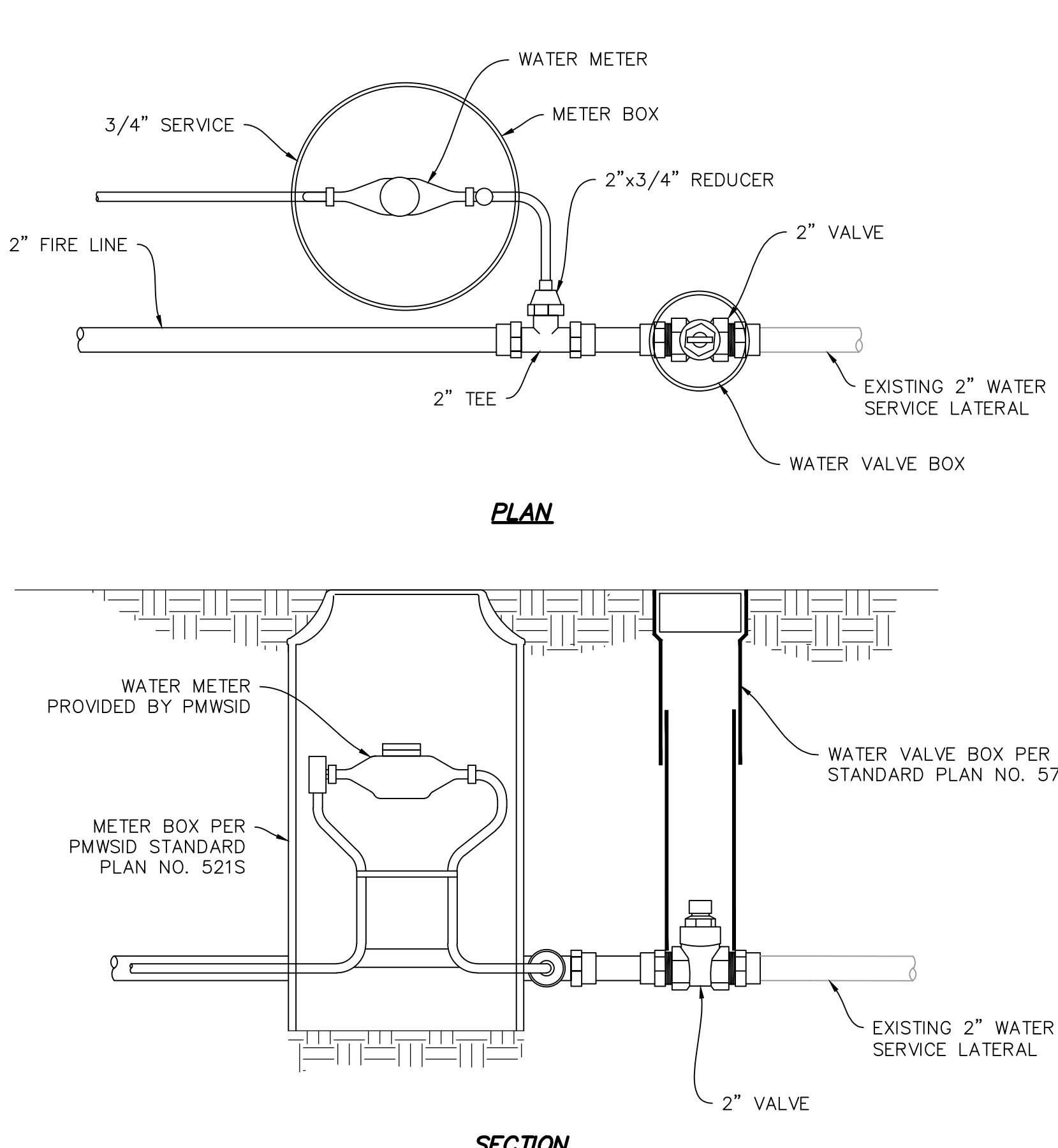
Cover collar for water valve box Plan 574

February 2008

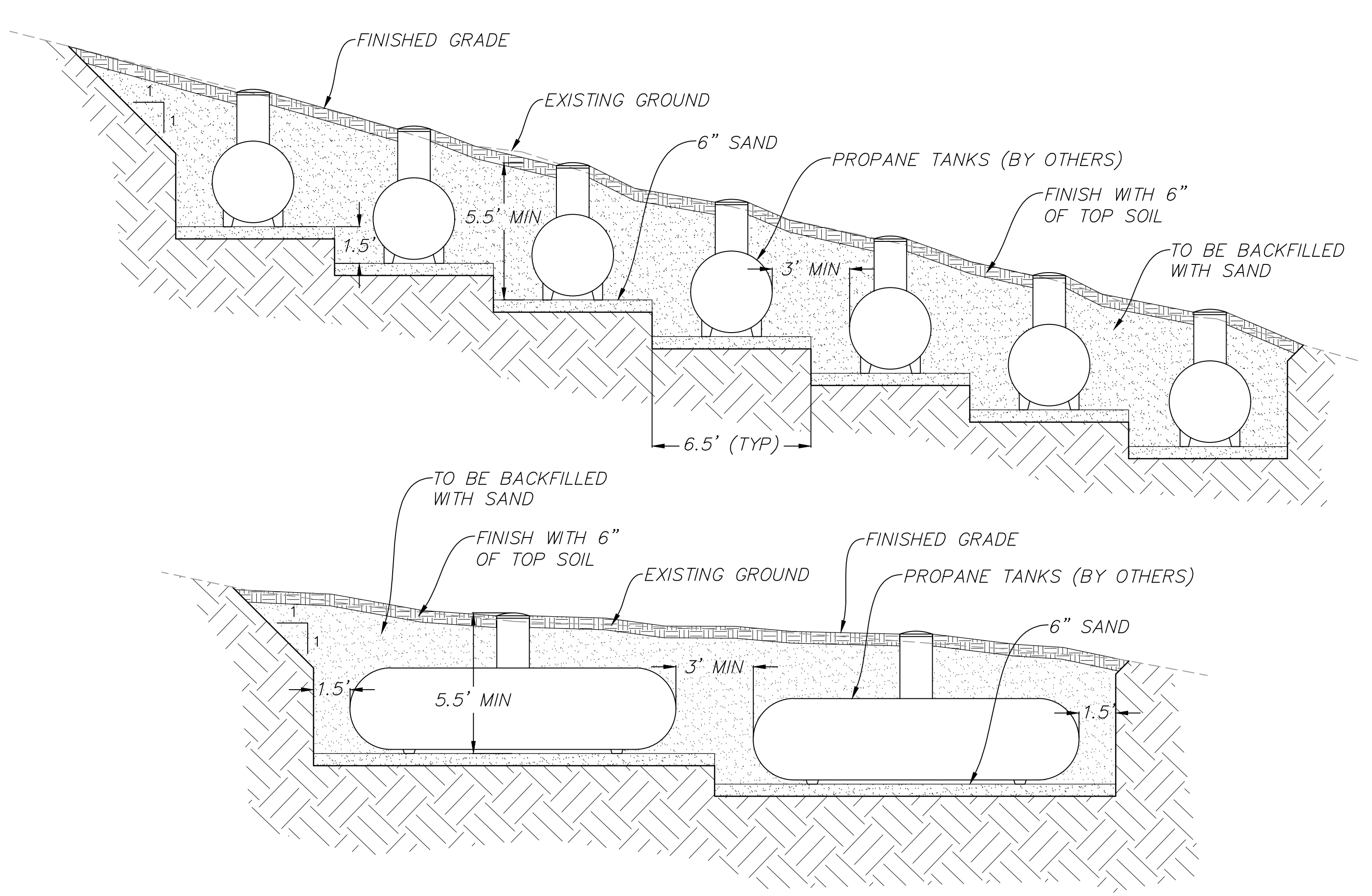
February 2008

Sheet 3 of 3

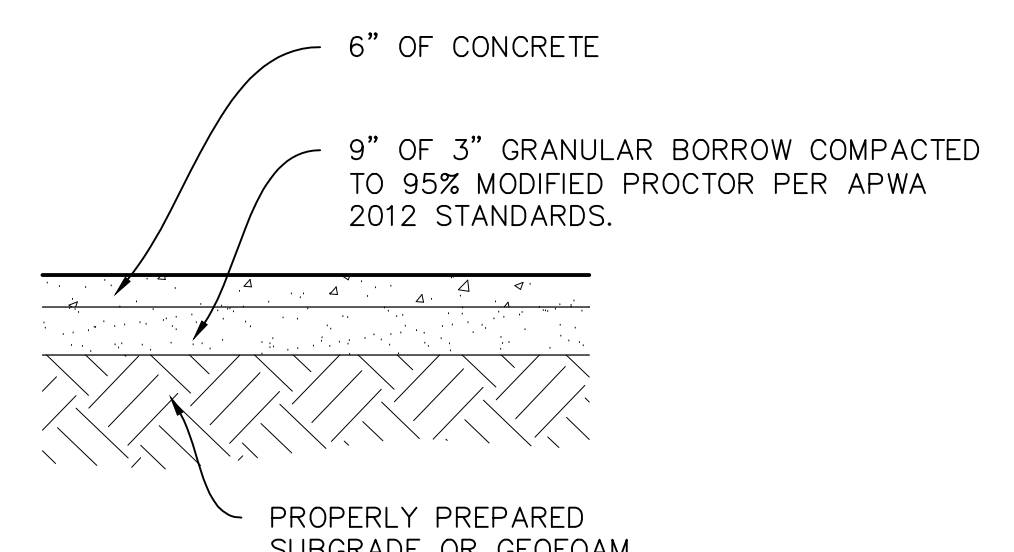
August 2010



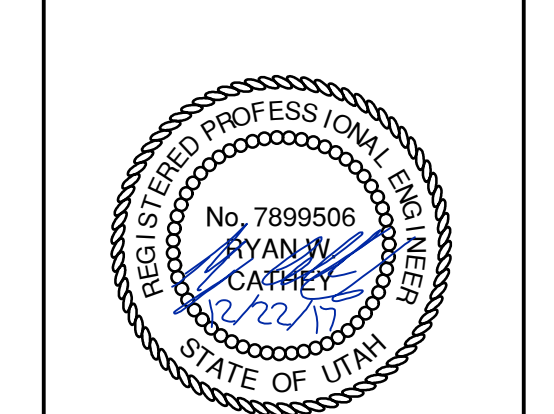
FIRE LINE AND WATER METER DETAIL



PROPANE TANK PIT TYPICAL DETAIL



CONCRETE DRIVEWAY PAVEMENT SECTION



No.	Description	Date

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DIMENSIONS:
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SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.

PLAN REVIEW ACCEPTANCE

JOB COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES LISTED BELOW	
MECHANICAL	STRUCTURAL
ELECTRICAL	ENERGY
ACCESSIBILITY	OTHER

PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT ALLOW CONSTRUCTION TO PROCEED WITHOUT A CONSTRUCTION PERMIT.

MEMBER

WEST COAST CODE CORPS TASTE, INC.

Details

scale: N/A

date: 02/22/2017

drawn: J.B.

chk'd: RWC

C701

TYPE	INTERIOR WALL TYPE DESCRIPTION
P1	+ 1/2" GWB to u/s of structure, PTD + 2x4 studs on a common 2x6 plate @ 16" o.c. + acoustic batt to fill cavity + 1/2" GWB to u/s of structure, PTD
P2	+ 1/2" GWB to u/s of structure, PTD + 2x6 studs @ 16" o.c. + 5 1/2" acoustic batt in cavity + 1/2" GWB to u/s of structure, PTD
P3	+ 1/2" GWB to u/s of structure, PTD + 2x6 studs @ 16" o.c. + 1/2" GWB to u/s of structure, PTD
P4	+ 1/2" GWB to u/s of structure, PTD + 2x4 studs @ 16" o.c. + 1/2" GWB to u/s of structure, PTD
P5	+ tile TBD + 5/8" tile backer board to u/s of structure + 2x4 studs @ 16" o.c. + 3 1/2" acoustic batt in cavity + 1/2" GWB to u/s of structure, PTD
P6	+ tile TBD + 5/8" tile backer board to u/s of structure + 2x4 studs on common 2x6 plate @ 16" o.c. + 5 1/2" acoustic batt in cavity + 5/8" tile backer board to u/s of structure + tile TBD
P7	+ tile TBD + 5/8" tile backer board to u/s of structure + 2x6 studs @ 16" o.c. + 5 1/2" acoustic batt in cavity + 1/2" GWB to u/s of structure, PTD
P8	+ 1/2" GWB, PTD + 1/2" plywood, as per structural + 2x6 studs @ 16" o.c. + furring as req'd. + 1/2" GWB + Backsplash, refer to spec

Floor Assembly Type 4 System Components: <ul style="list-style-type: none"> min. 4" reinforced concrete slab on grade as per structural, slope min. 2% to drain, refer to finish schedule for finish 10 mil. poly underslab vapor retarder (seal all joints) 2" XPS rigid insulation (R10) 6" compacted gravel base 	
Floor Assembly Type 5 System Components: <ul style="list-style-type: none"> Thinslet tile TBC Anti-fracture membrane, TBC 1 1/2" gyp-crete over-pour w/ in-floor heating, refer to specification 3/4" sheathing as per structural 14" I-Joists, refer to structural Acoustic insulation Furring as req'd. 5/8" gypsum, ceiling finish as noted 	
Floor Assembly Type 6 System Components: <ul style="list-style-type: none"> Thinslet tile Anti-fracture membrane 1 1/2" gyp-crete over-pour w/ in-floor heating, refer to specification 3/4" sheathing, refer to structural 14" I-Joists, refer to structural 5/8" gypsum, ceiling finish as noted 	
Floor Assembly Type 7 System Components: <ul style="list-style-type: none"> 2" concrete topping w/ in-floor heating, refer to specification 2x6 wood studs as per structural 5" 2lb. closed-cell sprayfoam cavity insulation (R30) 2x4 stud wall, hold stud wall 1" from conc. wall below 1/2" gypsum board, painted finish 	
Floor Assembly Type 8 System Components: <ul style="list-style-type: none"> Thinslet tile TBC Ditra-heat Schluter assembly, refer to specification Over-pour to achieve slope 3/4" sheathing as per structural 14" I-Joists, refer to structural Acoustic insulation 5/8" gypsum, ceiling finish as noted 	
Floor Assembly Type 9 System Components: <ul style="list-style-type: none"> Thinslet tile TBC Ditra-heat Schluter assembly, refer to specification Over-pour to achieve slope 3/4" sheathing as per structural 14" I-Joists, refer to structural Acoustic insulation Furring as req'd 5/8" gypsum, ceiling finish as noted 	

FLOOR TYPE DESCRIPTION	
Floor Assembly Type 1 System Components: <ul style="list-style-type: none"> Thinslet tile, refer to specification 4" reinforced concrete slab on grade as per structural w/ hydronic in-floor heating system, refer to finish schedule for finish 10 mil. poly under slab vapor retarder (seal all joints) 2" XPS rigid insulation (R10) 6" compacted gravel base 	
Floor Assembly Type 2 System Components: <ul style="list-style-type: none"> Thinslet tile, refer to specification Anti-fracture membrane, refer to specification 1 1/2" gyp-crete over-pour w/ in-floor heating, refer to specification 3/4" sheathing as per structural 14" I-Joists, refer to structural Acoustic insulation, refer to specification 5/8" gypsum, ceiling finish as noted 	
Floor Assembly Type 3 - 1 HR FRR Required System Components: <ul style="list-style-type: none"> Thinslet tile TBC Anti-fracture membrane, TBC 1 1/2" gyp-crete over-pour w/ hydronic in-floor heating, refer to specification 3/4" plywood sub floor as per structural 14" I-Joists, refer to structural 6" 2lb. closed cell spray foam insulation (R36) 5/8" Type X Exterior Grade Gypsum sheathing Strapping as required Metal composite panel TBD 	

Exterior Wall Assembly 1 System Components: <ul style="list-style-type: none"> Metal cladding system, refer to specification 2 layers alternating 2x4 strapping 2" vapor-open mineral wool insulation board (R8), refer to specification Self-adhered vapor-open air barrier, refer to specification 1/2" exterior grade sheathing as per structural 2x6 wood studs as per structural 5" 2lb. closed-cell sprayfoam cavity insulation (R30) 2x4 stud wall, hold stud wall 1" from conc. wall below 1/2" gypsum board, painted finish 	
Exterior Wall Assembly 2 System Components: <ul style="list-style-type: none"> Metal cladding system, refer to specification 2 layers alternating 2x4 strapping 2" vapor-open mineral wool insulation board (R8), refer to specification Self-adhered vapor-open air barrier, refer to specification 1/2" exterior grade sheathing as per structural 2x6 wood studs as per structural 5" 2lb. closed-cell sprayfoam cavity insulation (R30) 1/2" gypsum board, painted finish 	
Exterior Wall Assembly 3 System Components: <ul style="list-style-type: none"> Metal Composite panel TBC Vertical strapping 1-1/4" vapor-open mineral wool insulation board (R5), refer to specification self-adhered vapor-open air barrier, refer to specification 1/2" exterior grade gypsum sheathing 2x6 wood studs as per structural 5" 2lb. closed-cell sprayfoam cavity insulation (R30) 1/2" exterior grade sheathing as per structural 1/2" gypsum board, painted finish 	
Exterior Wall Assembly 4 <p style="text-align: center; font-size: 2em; font-weight: bold;">NOT USED</p>	

EXTERIOR ROOF TYPE DESCRIPTION	
Roof Assembly Type 1 (Sloped Roof) System Components: <ul style="list-style-type: none"> Snow retention system, refer to spec. Standing-seam metal roofing system (Class A roof covering), refer to specification 2 layers of alternating 1x4 strapping 2" vapor-open mineral wool insulation board (R8), refer to specification Vapor open roof membrane, refer to spec 3/4" exterior grade sheathing as per structural 14" I-Joists, refer to structural 6" 2lb. closed-cell sprayfoam insulation (R36) Furring as req'd 5/8" gypsum board, painted finish 	
Roof Assembly Type 2 System Components: <ul style="list-style-type: none"> Concrete paver, refer to specification (Class A roof covering) Pedestal system, refer to specification PVC low-slop roofing membrane (Class A roof covering) Tapered insulation sloped to drain 1-1/2" XPS insulation (R7.5) Self-adhered air/vapor barrier 3/4" exterior grade sheathing as per structural 11 7/8" I-Joists, refer to structural 6" 2lb. closed-cell sprayfoam insulation (R36) Furring as req'd 5/8" gypsum board, painted finish 	

Exterior Wall Assembly 5 System Components: <ul style="list-style-type: none"> Reinforced boardform concrete wall as per structural 4-1/2" 2lb. closed-cell spray foam insulation (R27) 2x4 stud wall, hold stud wall 1" from conc. wall below 1/2" gypsum board, painted finish 	
Exterior Wall Assembly 6 System Components: <ul style="list-style-type: none"> Standing-seam metal cladding system, refer to specification 2 layers of alternating 1x4 strapping 2" vapor-open mineral wool insulation board (R8), refer to specification Vapor-open roof membrane, refer to specification 3/4" exterior grade sheathing as per structural 2x6 wood studs as per structural 5" 2lb. closed-cell spray foam insulation (R30) 1/2" gypsum board, painted finish 	
Exterior Wall Assembly 7 System Components: <ul style="list-style-type: none"> Aluminum panel, refer to specification 1x4 vertical strapping Vapor-open roof membrane, refer to specification 3/4" exterior grade sheathing as per structural 2x6 wood studs as per structural 4" 2lb. closed-cell spray foam insulation (R24) 1/2" gypsum board, painted finish 	
Foundation Wall Assembly 1 System Components: <ul style="list-style-type: none"> 6" gravel backfill Foundation waterproofing system, refer to specification Reinforced concrete boardform foundation wall as per structural 4 1/2" 2lb. closed cell sprayfoam insulation (R27) 2x4 studs wall, hold stud wall 1" from wall and insulate behind 1/2" gypsum board, painted finish 	
Foundation Wall Assembly 2 System Components: <ul style="list-style-type: none"> 6" gravel backfill Foundation waterproofing system, refer to specification Reinforced boardform concrete foundation wall as per structural 	

1 Partition Type Legend
Scale 1 1/2" = 1'-0"

PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

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BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

Lot 71R
Village House

Summit Powder Mountain
Evan, Utah

MackKay-Lyons
Sweetapple
Architects
Limited

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fax: (902) 429-6276

STATE OF UTAH
Brian MackKay-Lyons
Brian MackKay-Lyons
No. 9809836
LICENSED ARCHITECT

No.	Description	Date
5	IFC Rev 02	2019.02.08
4	IFC Rev 01	2018.06.29
3	Issued for Construction	2018.03.13
2	Issued for Tender	2017.12.22
1	for coordination	2017.12.1

Revision:

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SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.

Partition Types

scale: as noted
date: 17-11-23
drawn: WPIRD
chk'd: BML

A001

Mackay-Lyons
Sweetapple
Architects
Limited

2188 Göttingen St.
Halifax, Nova Scotia
Canada B3K 3B4

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fax: (902) 429-6276



PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE
CONSTRUCTION CODES IDENTIFIED BELOW

BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY FIRE

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STATE, OR LOCAL REGULATIONS.

BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

5	IFC Rev 02	2019.02.08
4	IFC Rev 01	2018.06.29
3	Issued for Construction	2018.03.13
2	Issued for Tender	2017.12.22
1	for coordination	2017.12.11

No. Description Date

Revision:

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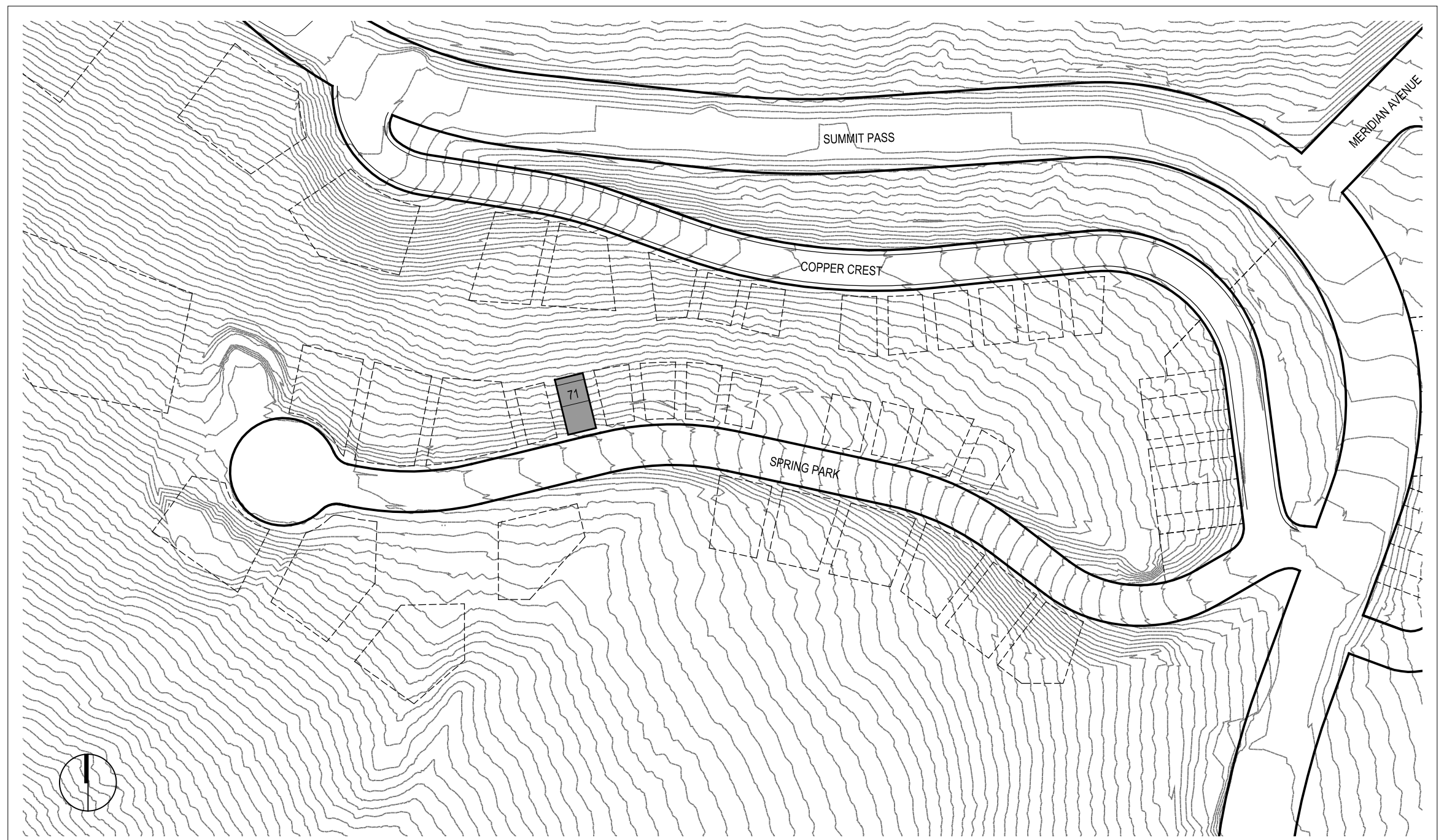
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Abbreviations & Key Plan

scale: as noted
date: 17-11-23
drawn: WPIRD
chk'd: BML

A002



5 Key Plan
A002 NTS

KITCHEN	Mark	Fixture	Manufacturer	Model
	1	Fridge	Thermador	T3688920S 36-inch built-in 2-door bottom freezer
	2	Dishwasher	Thermador	DWH440MPR
	3	Microwave	Thermador	MBES built-in microwave
	4	Oven	Thermador	ME30J15 30-inch built-in single oven
	7	Cooktop	Thermador	CT16SKM 36-inch induction cooktop
	10	Vent Hood	Thermador	VCM36IP 36-inch custom insert
	8	Dumb-waiter	Inclinor	Homewaiter
MUD ROOM	5	Washer	Maytag	MHW8200FC
	6	Dryer	Maytag	MGD8200FC
POWDER ROOM		Toilet	Duravit	Floor Standing Blissless #216709_92
		Sink	Catalano	Premium 60x47 #160VPOD
		Faucet	Hansgrohe	Talis S #32146001

BATHROOM 1-4	Mark	Fixture	Manufacturer	Model
		Toilet	Duravit	Floor Standing Blissless #216709_92
		Sink	Catalano	Premium 60x47 #160VPOD
		Faucet	Hansgrohe	Talis S #32146001
		Overhead Shower	Hansgrohe	Raindance E #27381000
		Hand Shower	Hansgrohe	Raindance Select E #26520000
SHOWER ROOM		Shower Controls	Hansgrohe	Shower Select #15761000
		Overhead Shower	Hansgrohe	Raindance E #27381000
		Hand Shower	Hansgrohe	Raindance Select E #26520000
		Shower Controls	Hansgrohe	Shower Select #15761000

4 Fixture Schedule
A002

	Baseboard	North Wall	East Wall	South Wall	West Wall	Floors	Ceiling
GROUND LEVEL	N/A	N/A	GWB	PT-C1	CONC	BF	CONC
Garage	PVC	PT-C1	GWB	PT-C1	GWB	PT-C1	CONC/PT
Entry	PVC	PT-C1	GWB	PT-C1	GWB	PT-C1	CONC/PT
WC	PVC	PT-C1	GWB	PT-C1	GWB	PT-C1	CONC/PT
SECOND LEVEL							
Living Room	PVC	PT-C1	GWB	PT-C1	GLZ/GWB	PT-C1	CONC/CT
Bathroom 1	PVC	PT-C1	GWB	PT-C1	CT1/GWB	PT-C1	CONC/CT
Bathroom 2	PVC	PT-C1	GWB	PT-C1	CT1/GWB	PT-C1	CONC/CT
Bedroom 1	PVC	PT-C1	GWB	PT-C1	GLZ/GWB	PT-C1	CONC/CT
Bedroom 2	PVC	PT-C1	GWB	PT-C1	GLZ/GWB	PT-C1	CONC/CT
THIRD LEVEL							
Kitchen	PVC	PT-C1	GWB	PT-C1	GLZ/GWB	PT-C1	CONC/CT
Bathroom 3	PVC	PT-C1	GWB	PT-C1	CT1/GWB	PT-C1	CONC/CT
Bathroom 4	PVC	PT-C1	GWB	PT-C1	CT1/GWB	PT-C1	CONC/CT
Bedroom 3	PVC	PT-C1	GWB	PT-C1	GLZ/GWB	PT-C1	CONC/CT
Bedroom 4	PVC	PT-C1	GWB	PT-C1	GLZ/GWB	PT-C1	CONC/CT
FOURTH LEVEL							
Lounge	PVC	PT-C1	GWB	PT-C1	GLZ/GWB	PT-C1	CONC/CT
Shower	N/A	N/A	CT1/GWB	PT-C1	CT1/GWB	PT-C1	CONC/CT
WC	PVC	PT-C1	GWB	PT-C1	GWB	PT-C1	CONC/CT

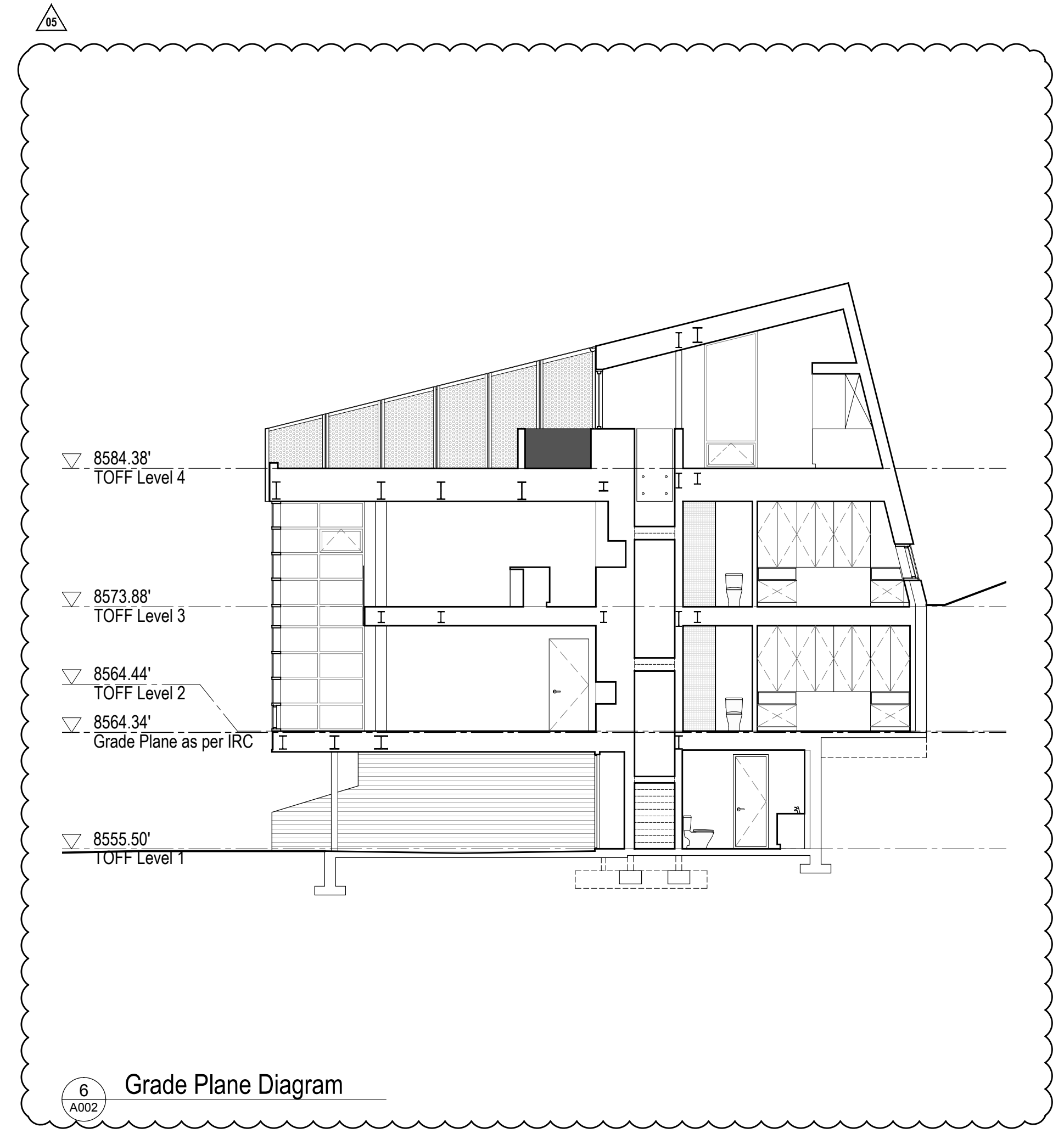
3 Room Finish Schedule
A002

AD	AREA DRAIN	DN	DOWN	LO	LOW	RM	ROOM	WD	WOOD
ADJ	ADJACENT	DR	DOOR	MAX	MAXIMUM	SC	SAW CUT		
AFF	ABOVE FINISHED FLOOR	DWG	DRAWING	MO	MASONRY OPENING	SM	SIMILAR		
ALUM	ALUMINUM	EA	EACH	MECH	MECHANICAL	SPEC	SPECIFIED OR SPECIFICATION		
ANOD	ANODIZED	EL	ELEVATION	MEMB	MEMBRANE	SPK	SPRINKLER		
BSMT	BASSEMBLY	ELEC	ELECTRICAL	MN	MINIMUM	STL	STAINLESS STEEL		
BYOND	BEYOND	ELEV	ELEVATOR/ELEVATION	MRGB	MOISTURE-RESISTANT	STC	SOUND TRANSMISSION COEFFICIENT		
BOT	BOTTOM	EQ	EQUAL	MWB	MOISTURE WALL BOARD	STL	STEEL		
BTW	BETWEEN	FOC	FACE OF CONCRETE	MTL	METAL	STRUCT	STRUCTURAL		
CHNL	CHANNEL	FOF	FACE OF WOOD FRAMING	NIC	NOT IN CONTRACT	TELE	TELEPHONE DATA		
CJ	CONTROL JOINT	FDN	FOUNDATION	NOM	NOMINAL	TLT	TOILET		
CLG	CEILING	GA	GUAGE	OC	ON CENTER	TOFF	TOP OF FINISHED FLOOR		
CLR	CLEAR	GALV	GALVANIZED	OC	OPPOSITE HAND	TOS	TOP OF CONCRETE		
CMU	CONCRETE MASONRY UNIT	GWB	GYPSSUM WALL BOARD	OZ	OUNCE	TOS	TOP OF STEEL		
COF	CENTERLINE OF WOOD FRAMING	HC	HOLLOW CORE	PC	PRE-CAST CONCRETE	TP	TOILET PAPER DISPENSER		
COL	COLUMN	H	HIGH	PVD	POLYVINYL DIBLENDE	TID	TELEPHONE DATA		
CONC	CONCRETE	HM	HOLLOW METAL	PT	PRESSURE TREATED	UN	UNLESS OTHERWISE NOTED		
CONT	CONTINUOUS	HP	HIGH POINT	PTD	PAINTED	UOS	UNDERSIDE		
OPT	CORRET	HVAC	HEATING VENTILATING AND AIR CONDITIONING	PVC	POLYVINYL CHLORIDE	VF	VERIFY IN FIELD		
CT	CERAMIC TILE	INS	INSULATED	RCP	REFLECTED CEILING PLAN	VP	VISION PANEL		
DL	DOUBLE	IN LIEU OF		RD	ROOF DRAIN	YP	TYPICAL		
DIA	DIAMETER	INSUL	INSULATED	REQD	REQUIRED	VF	VERIFY IN FIELD		
DIMS	DIMENSIONS	INT	INTERIOR	REV	REVERSE	W	WITH		

2 Abbreviations
A002

building number	northwest corner natural grade elevation	northeast corner natural grade elevation	southwest corner natural grade elevation	southeast corner natural grade elevation	upper level floor elevation	height to building ridge	average building height (less than 35')
71R	8573.37	8573.37	8557.28	8558.86	8584.38	8598.44	32.325

1 Height Restriction Chart
A002



6 Grade Plane Diagram
A002



Site Plan Notes:

- + Provide native revegetation seed for all disturbed areas
- + See Civil Engineering drawings for information relating but not limited to:
 - site location.
 - site boundaries.
 - rights-of-way, easements.
 - geodetic elevations, site grading, earthwork.
 - all underground and aboveground services including fire hydrants, maintenance access covers, transformers, air condensers.
 - paved areas such as driveways, curbs, curb cutouts.
- + See Structural Engineering drawings for reference to Geotechnical Report.
- + Refer to Structural Engineering drawings for Foundation Plan

Lot 71R
Village House

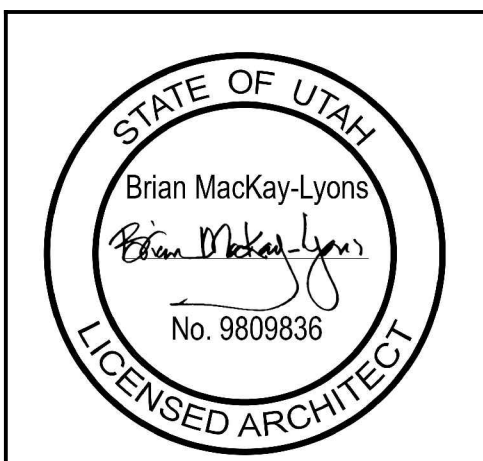
Summit Power Mountain
Econ. Utah

true north

Mackay-Lyons
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FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

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BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

LEGEND

(X)	Window / Door Type
(X)	Partition Type
(□)	Roof Drain
(CJ)	Control Joint
(//)	Shear Wall (refer to structural)

SQUARE FOOTAGES

LIVABLE (ANSI Z765-2003)	
Ground Floor Plan	265 square feet
Second Floor Plan	1254 square feet
Third Floor Plan	1008 square feet
Fourth Floor Plan	535 square feet
Below Grade Livable Total:	1,519 square feet
Above Grade Livable Total:	1,543 square feet
Total:	3,062 square feet

Mechanical / Storage:	164 square feet
Viewing Deck:	662 square feet
Covered Parking:	512 square feet
GROSS (excluding exterior spaces):	3,329 square feet

NOTE: Finished square footage calculations were made based on plan dimensions only and may vary from the finished square footage of the house as built.

MECHANICAL AND PLUMBING NOTES:

- + All work shall be performed in accordance with 2015 International Residential Code, 2015 International Mechanical Code, 2015 International Plumbing Code, and 2015 International Energy Code, including state and local amendments, subject to authority having jurisdiction interpretation.
- + For plumbing fixtures that are located below the elevation level of the nearest upstream man hole cover, a backwater valve is required. Fixtures that are above the elevation level of the manhole cover shall not discharge through the backwater valve per IRC P3008.1.
- + Closely coordinate new mechanical and plumbing construction with all mechanical, electrical, architectural, and structural members. Provide alternate routing, offsets, and transitions as required for coordination of all work without additional cost.
- + Do not shut-off / put out any systems / services without first coordinating all downtime with the owner's personnel.
- + Submit all equipment, air devices, valves, fittings, pipe materials, insulation, and accessories to be used in this project. Submit electronic submittal to architect for review and approval. Do not place order until reviewed and approved.
- + Contractor shall provide 1 year standard warranty.
- + Install all equipment in accordance with manufacturer's installation instructions.
- + Project Elevation is 8,555.5 ft for equipment selection.
- + Provide all duct in accordance with SMACNA standards for 2" WC pressure class. Seal all transverse and longitudinal seams and joints except for welded or locking-type longitudinal joints.
- + Dryers located in closets shall be provided with make-up air, per IRC G2439.5
- + If a single duct will be used for combustion air, provide a minimum duct size of 1 sq. inch per 3000 Btu/hour input. The one opening must be in the top 12 inches of the room, per IRC G2407.6.2.

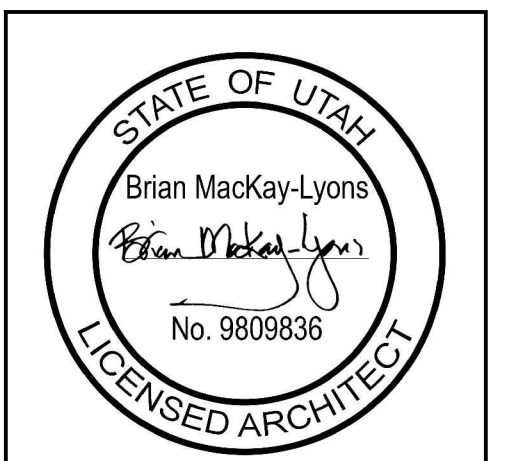
Lot 71R
Village House

Summit Power Month
Econ. Utah

Mackay-Lyons
Sweetapple
Architects
Limited

2188 Göttingen St.
Halifax, Nova Scotia
Canada B3K 3B4

ph: (902) 429.1867
fax: (902) 429.6276



No.	Description	Date
5	IFC Rev 02	2019.02.08
4	IFC Rev 01	2018.06.29
3	Issued for construction	2018.03.13
2	Issued for Tender	2017.12.22
1	for coordination	2017.12.1

No. Description Date

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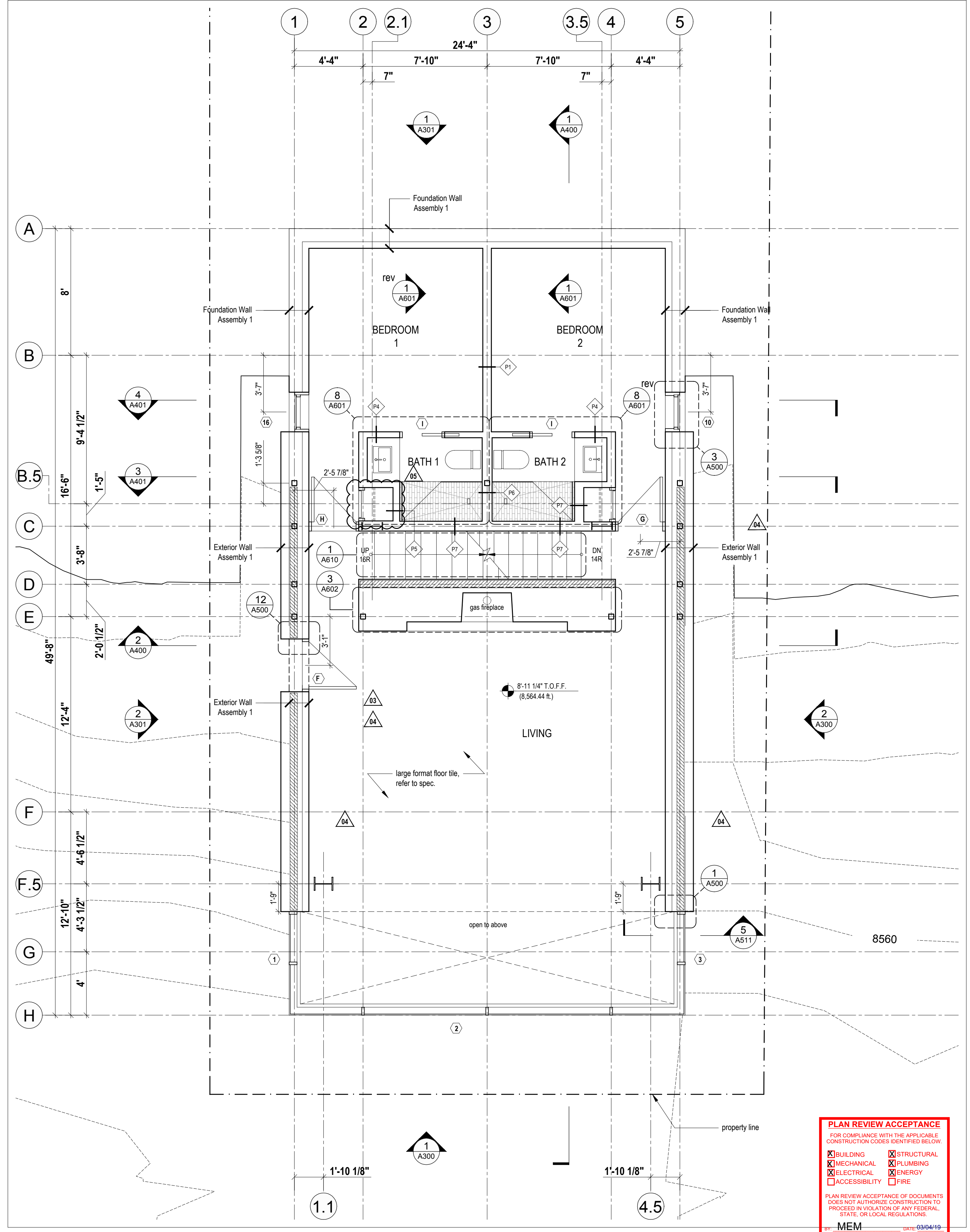
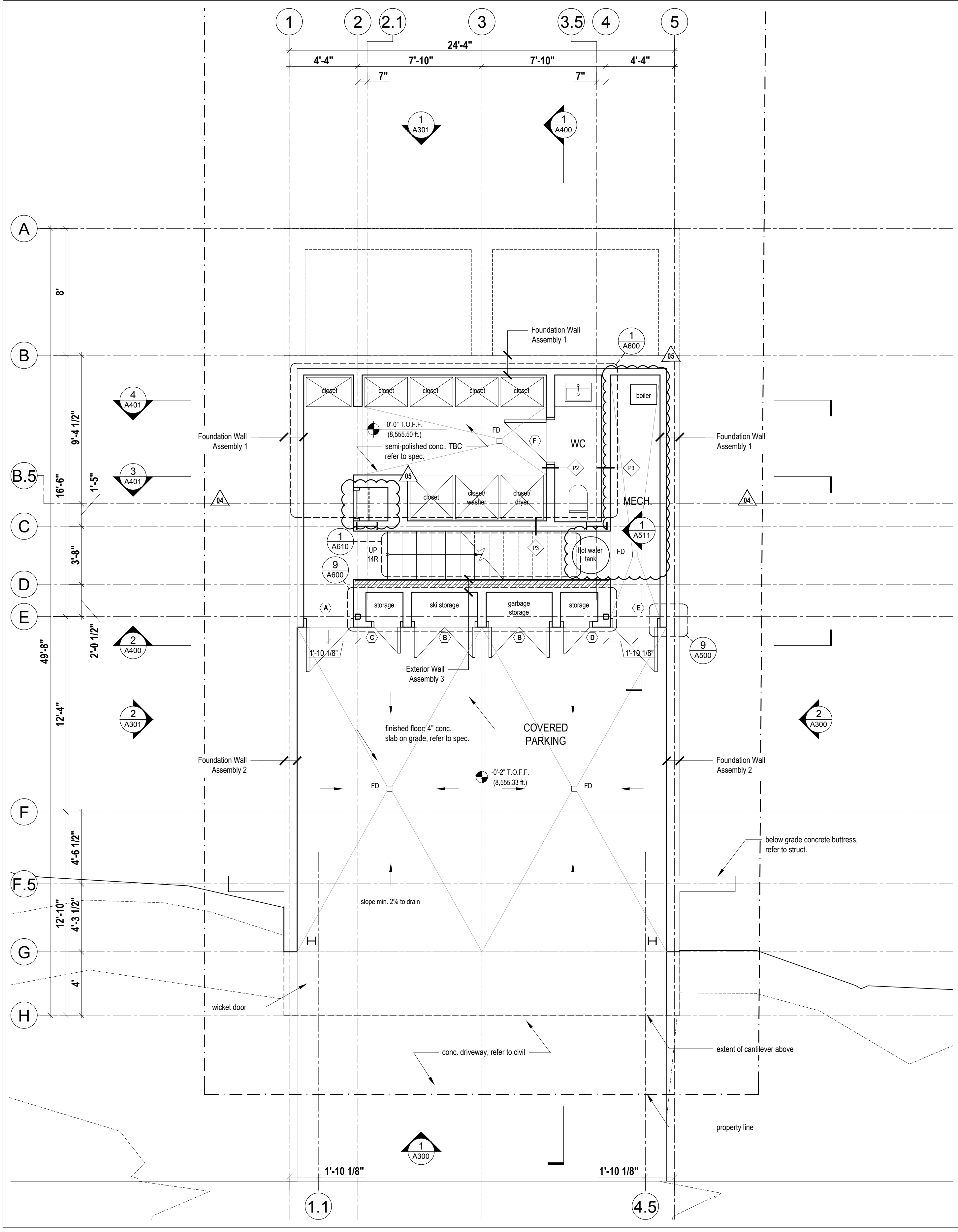
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MEM
WEST COAST CODE CONSULTANTS, INC.

Ground & Second Floor Plans

scale: 1/4" = 1'-0"
date: 17-11-23
drawn: WPIRD
chk'd: BML

A201

LEGEND

(X)	Window / Door Type
(PK)	Partition Type
(□)	Roof Drain
(CJ)	Control Joint
(//)	Shear Wall (refer to structural)

SQUARE FOOTAGES

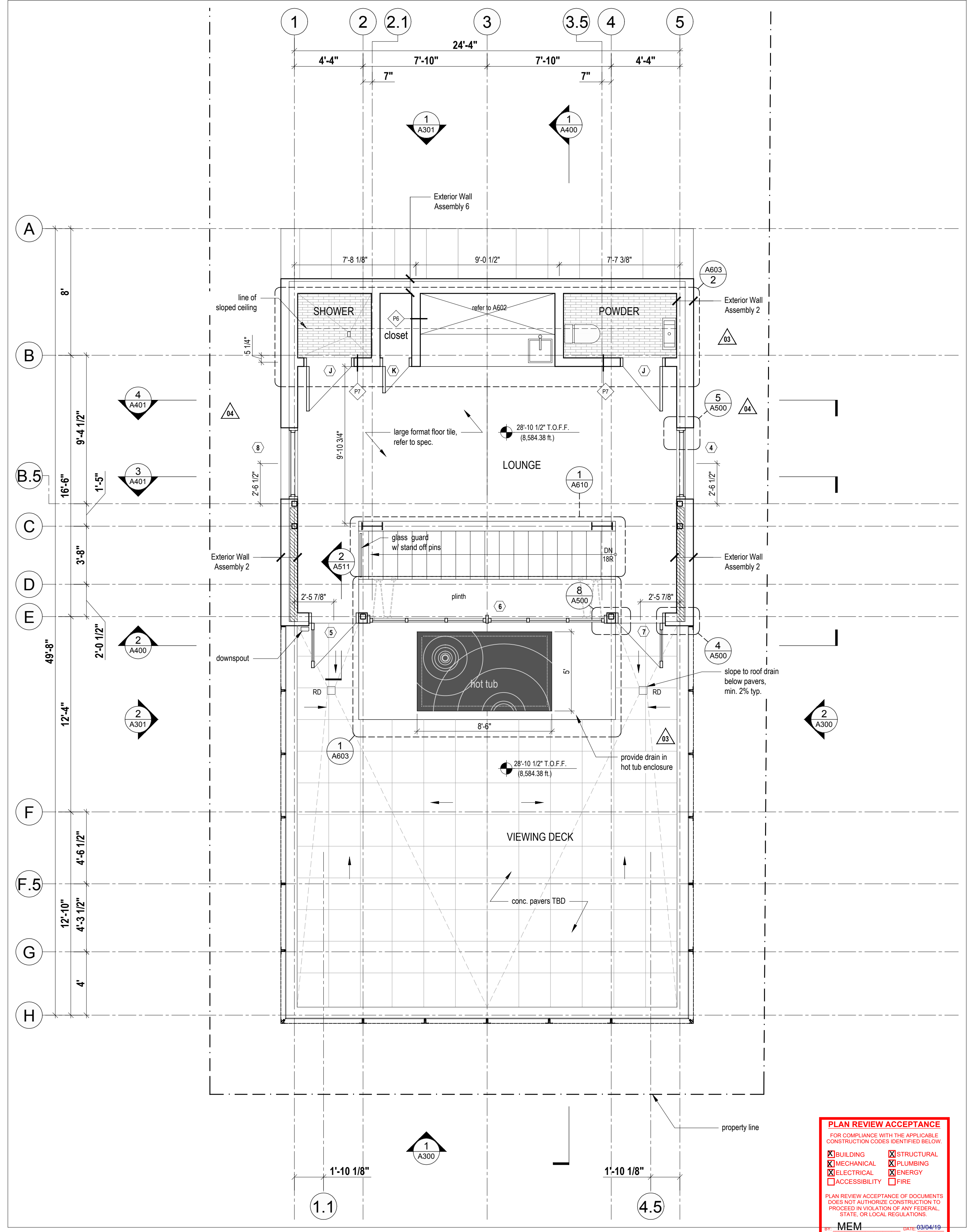
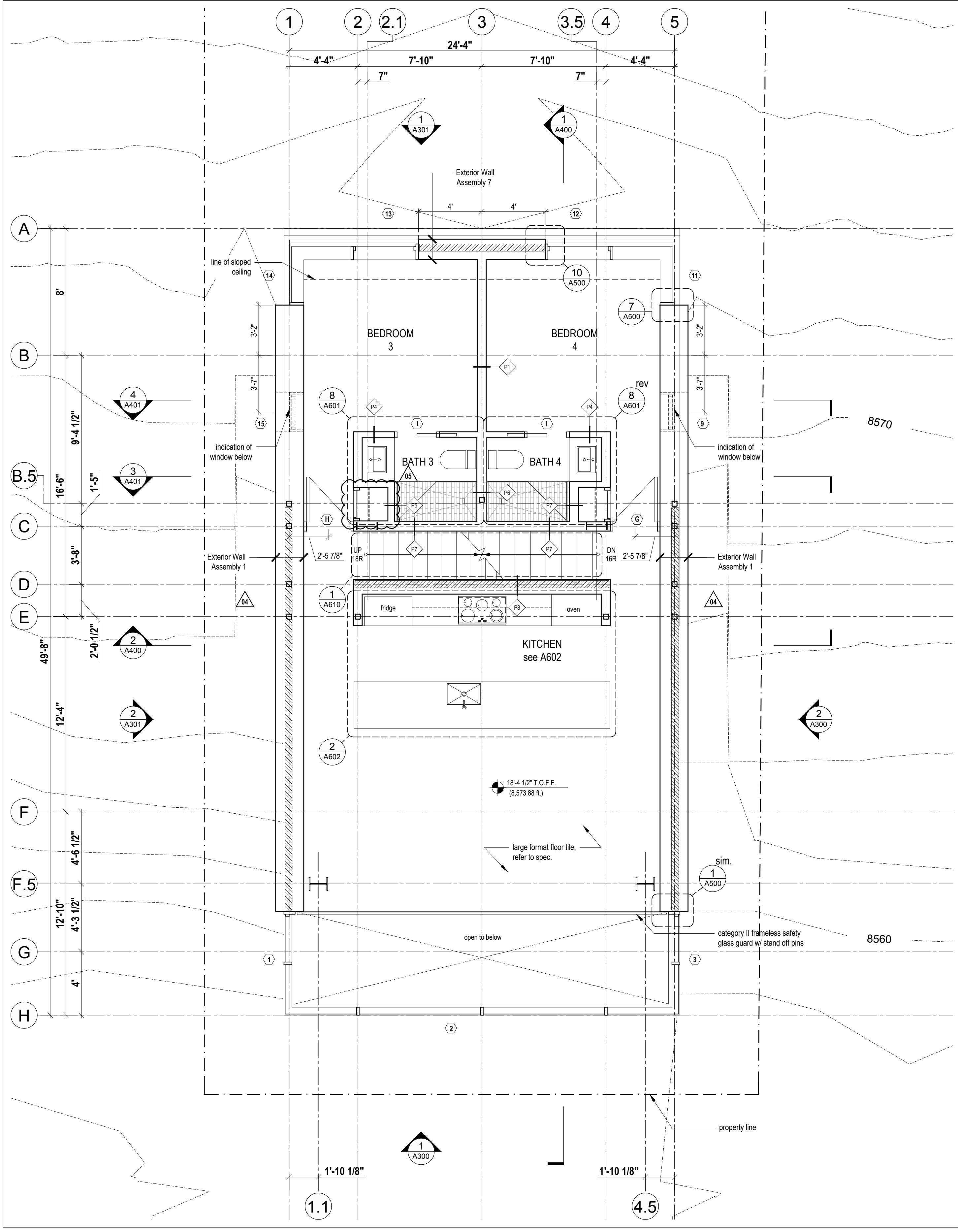
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2 Third Floor Plan
Scale 1/4" = 1'-0"

1 Fourth Floor Plan
Scale 1/4" = 1'-0"

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<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
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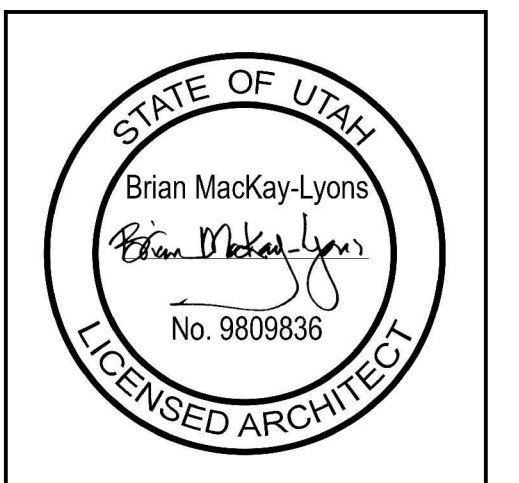
Lot 71R
Village House

Summit Power, Mountain Earth, Utah

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No.	Description	Date
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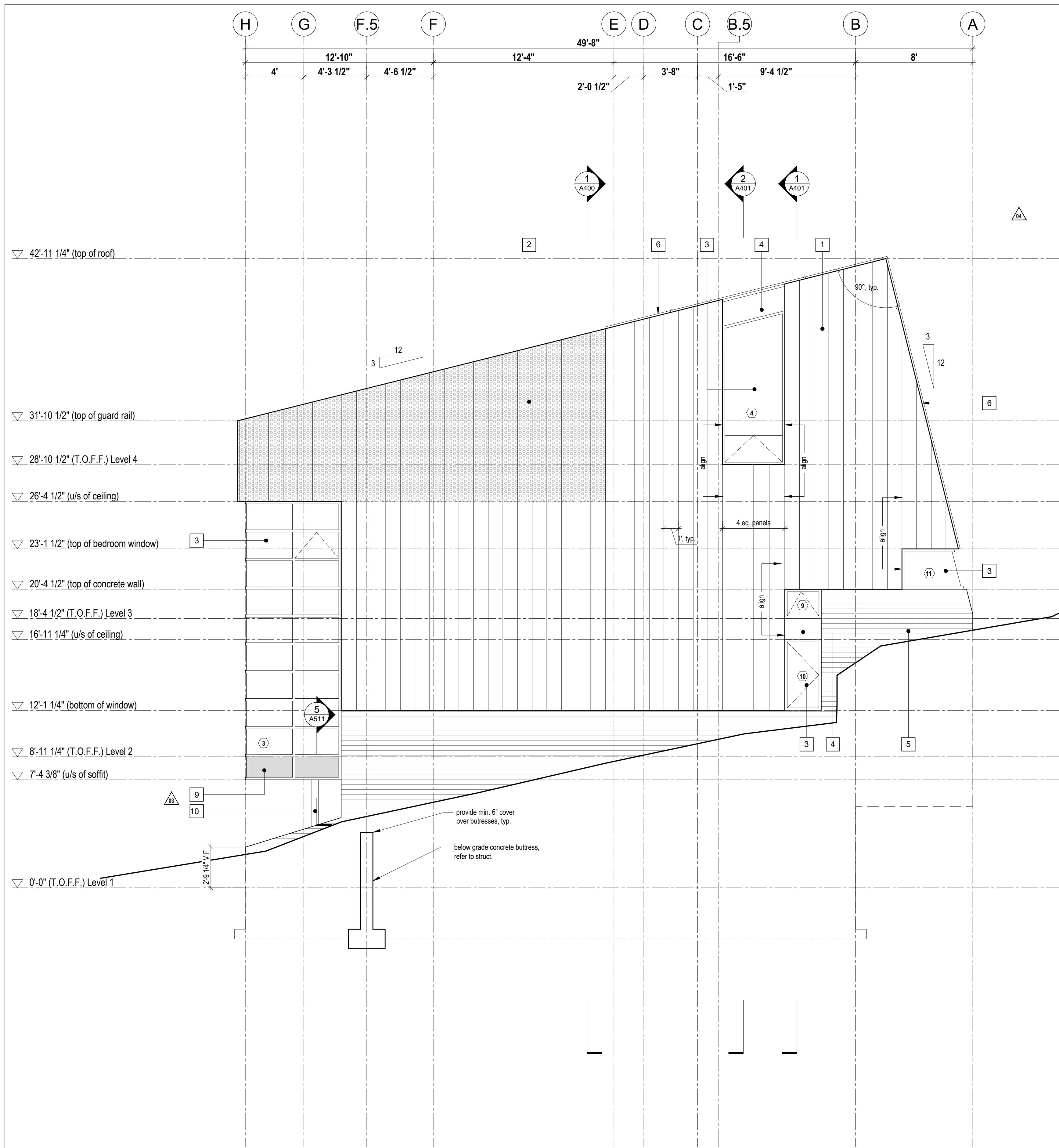
Third & Fourth Floor Plans

scale: 1/4" = 1'-0"
date: 17-11-23
drawn: WPI/RD
chk'd: BML

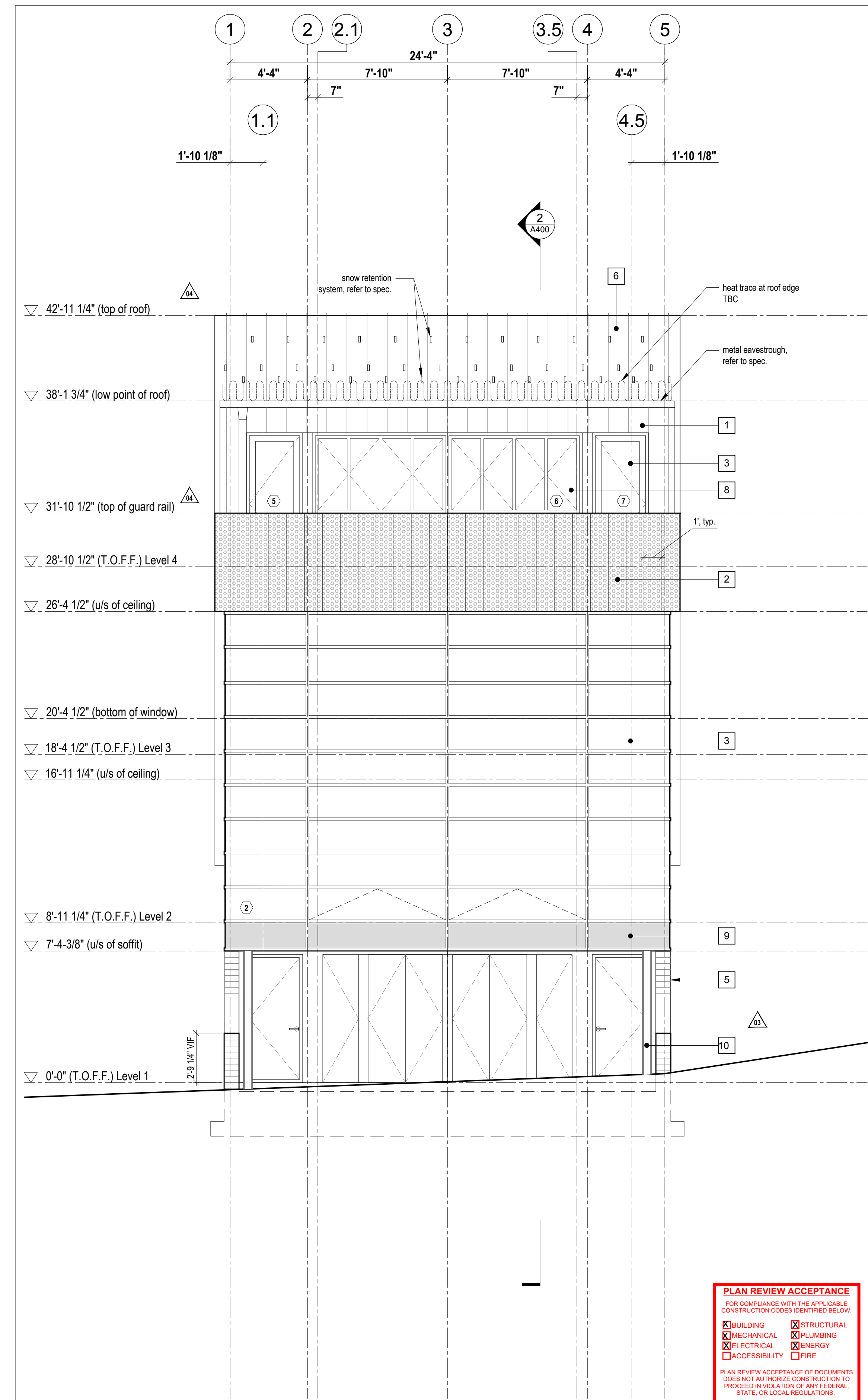
A202

LEGEND

- | | | | |
|-------------------------|-------------------------------------|--|--|
| 1 flat seam zinc panel | 4 metal panel to match curtain wall | 7 garage door TBD | 10 Galvanized steel column, as per structural |
| 2 perforated zinc panel | 5 boardform concrete wall | 8 "Nana Wall" Window System, refer to spec | 11 Galvanized steel storm door, refer to door schedule |
| 3 curtain wall system | 6 standing seam zinc | 9 Glazed Spandrel Panel | |



2 East Elevation
Scale 1/4" = 1'-0"



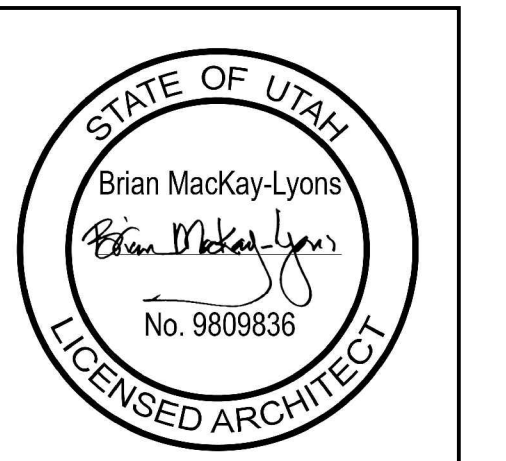
1 South Elevation
Scale 1/4" = 1'-0"

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Exterior Elevations

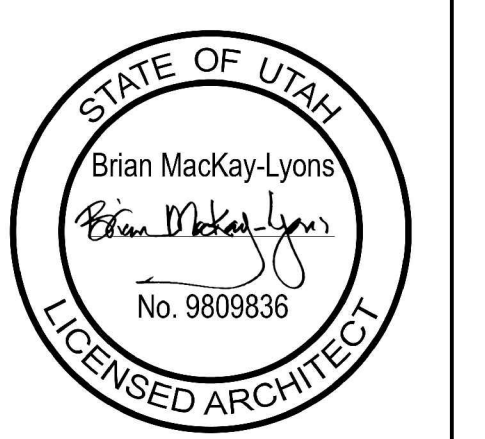
scale: 1/4" = 1'-0"
date: 17-11-23
drawn: WPIRD
chk'd: BML

A300

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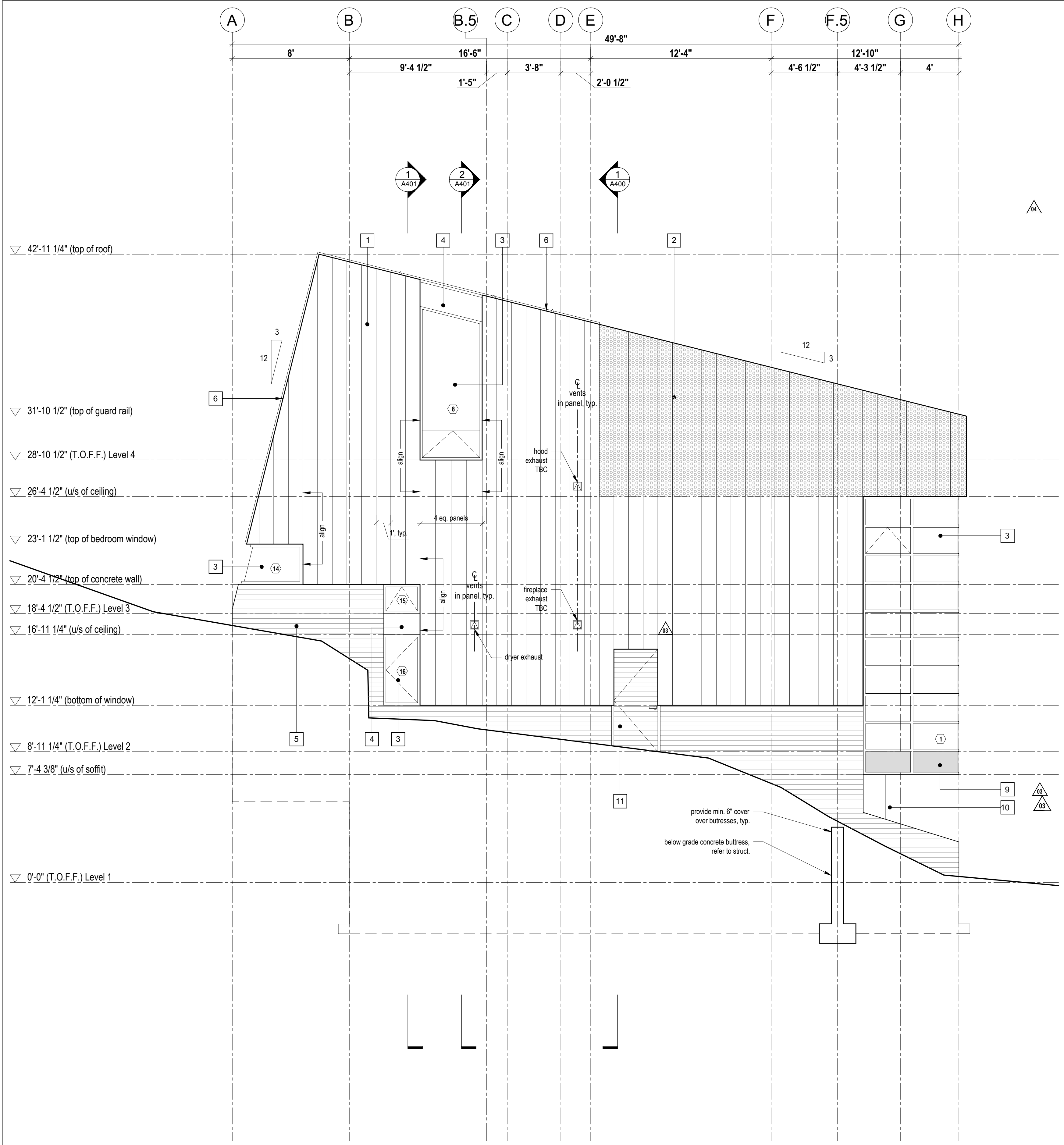
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scale: 1/4" = 1'-0"
date: 17-11-23
drawn: WPIRD
chk'd: BML

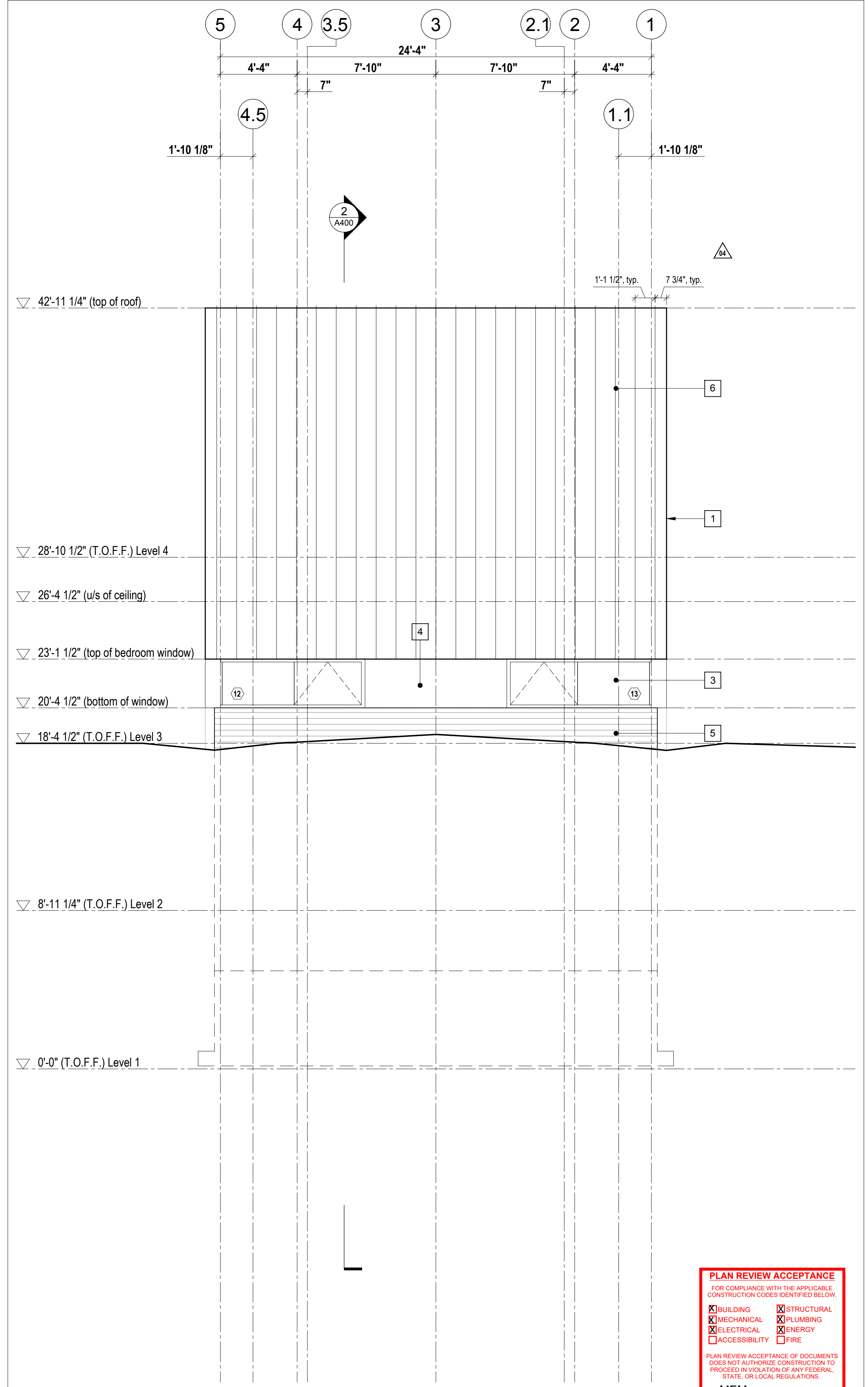
A301

LEGEND

- | | | | |
|-------------------------|-------------------------------------|--|--|
| 1 flat seam zinc panel | 4 metal panel to match curtain wall | 7 garage door TBD | 10 Galvanized steel column, as per structural |
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2 West Elevation
Scale 1/4" = 1'-0"



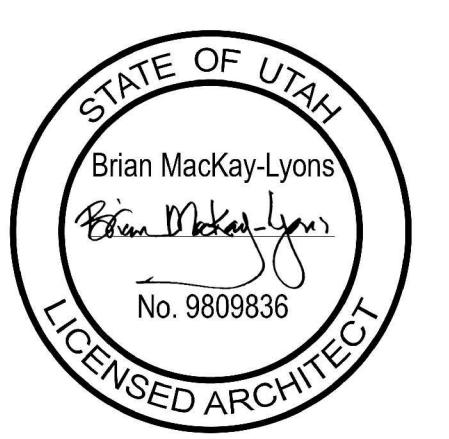
1 North Elevation
Scale 1/4" = 1'-0"

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<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
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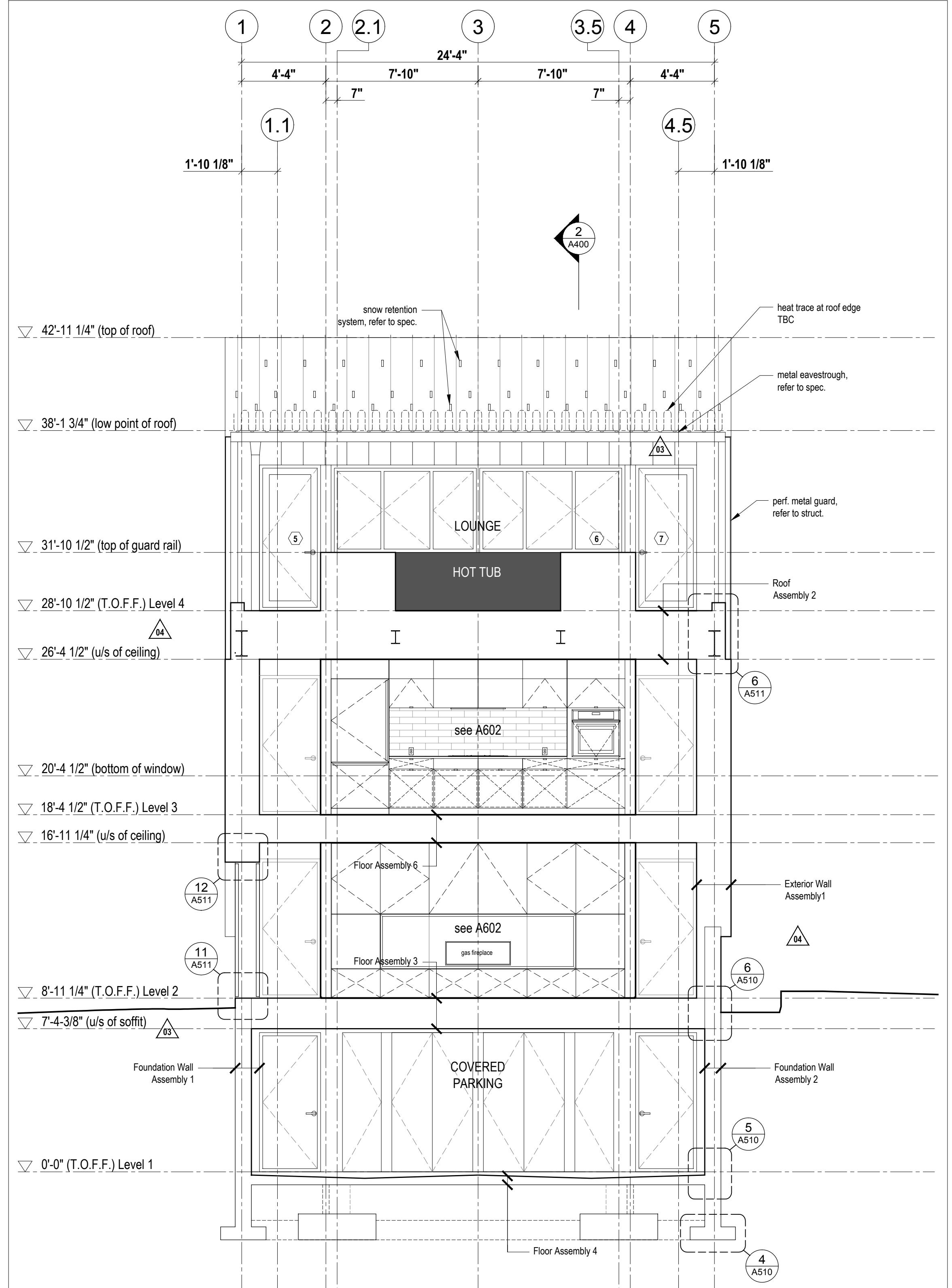
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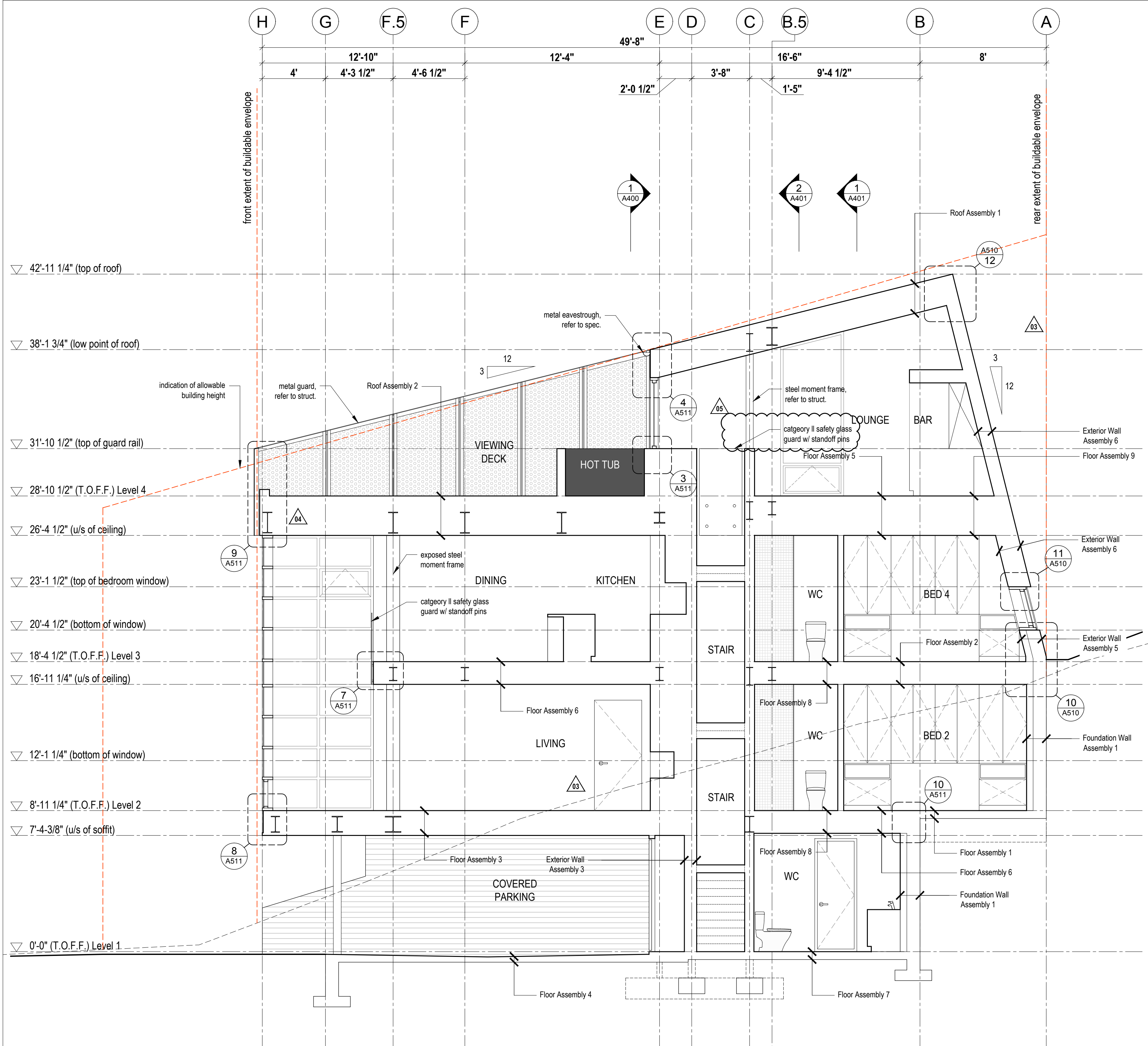
Building Sections

scale: 1/4" = 1'-0"
date: 17-11-23
drawn: WPIRD
chk'd: BML

A400



1 Cross Section
Scale 1/4" = 1'-0"

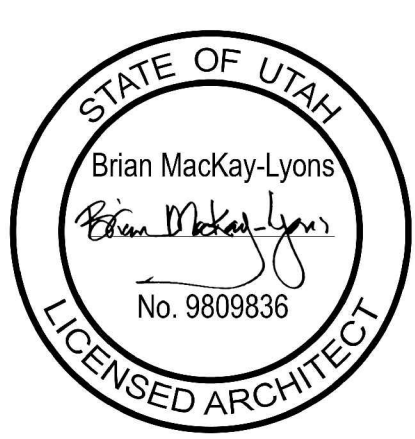


2 Longitudinal Section
Scale 1/4" = 1'-0"

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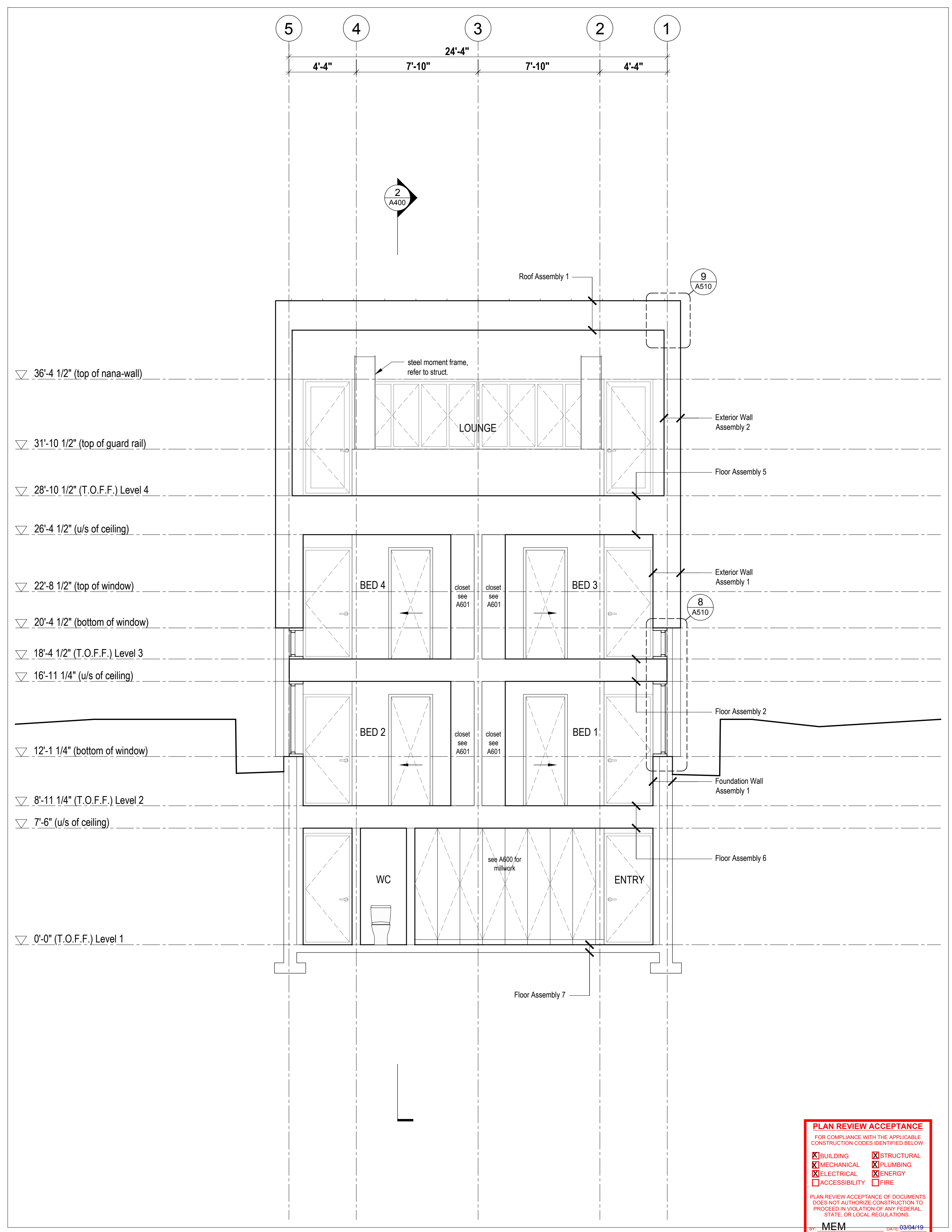
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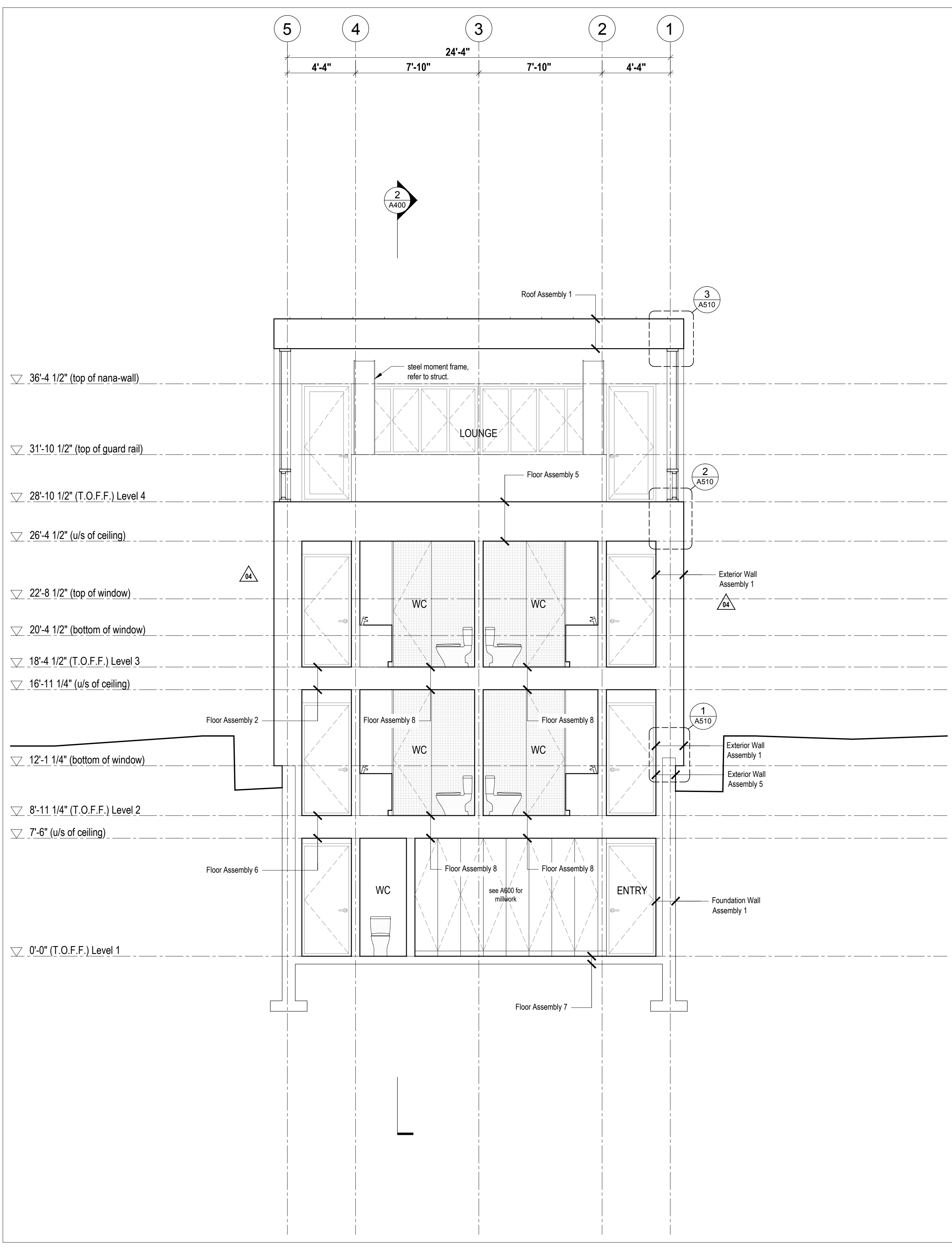
Building Sections

scale: 1/4" = 1'-0"
date: 17-11-23
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chk'd: BML

A401



1 Cross Section
Scale 1/4" = 1'-0"



2 Cross Section
Scale 1/4" = 1'-0"

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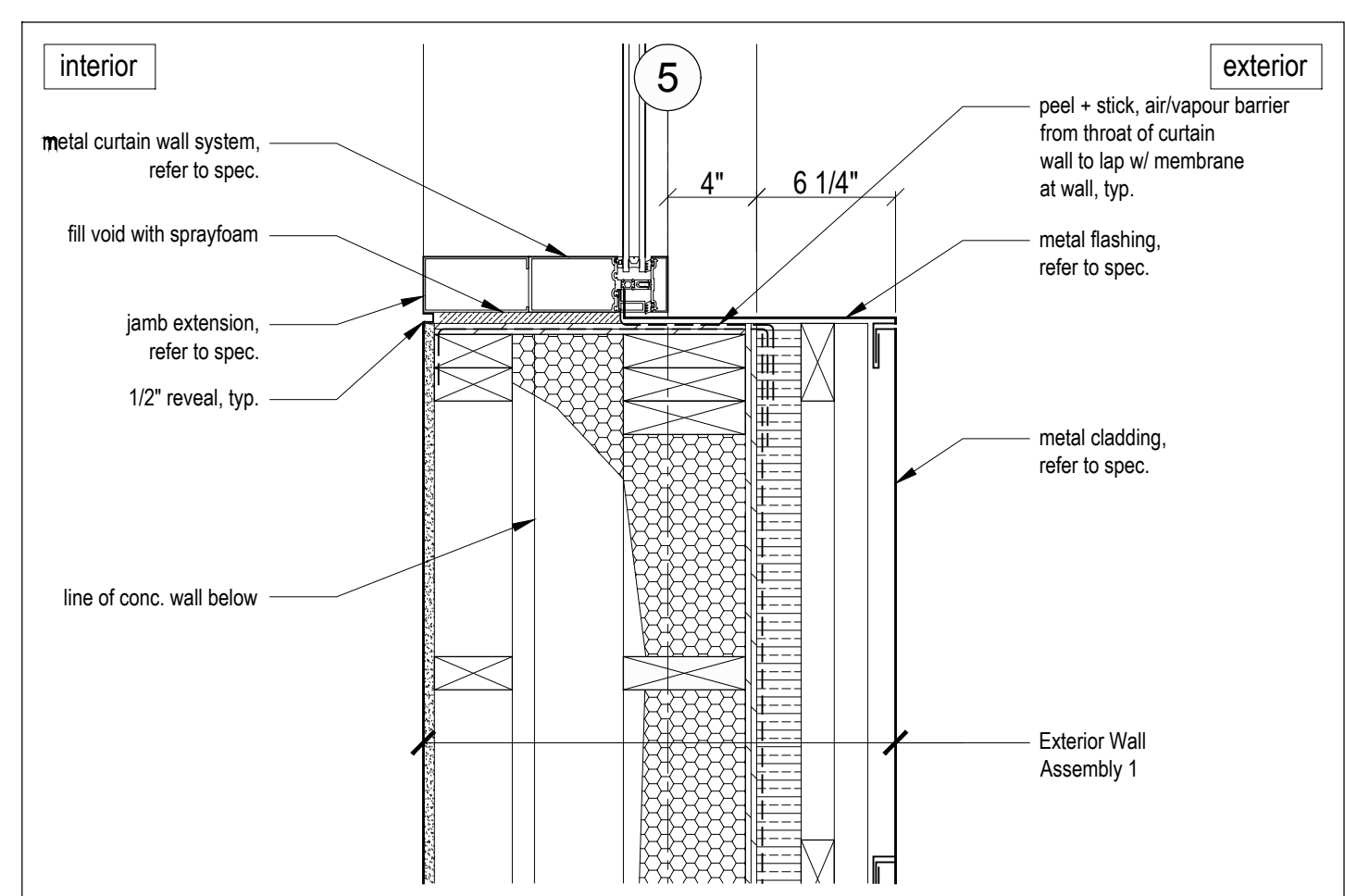
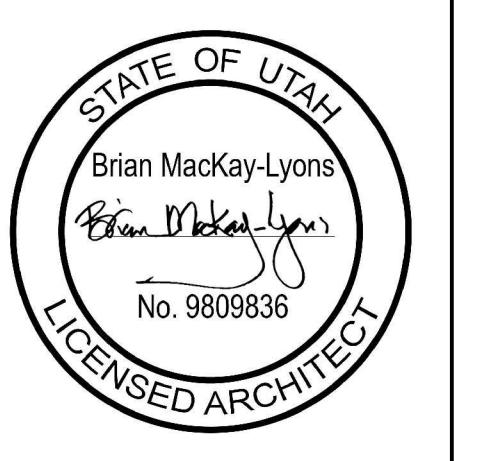
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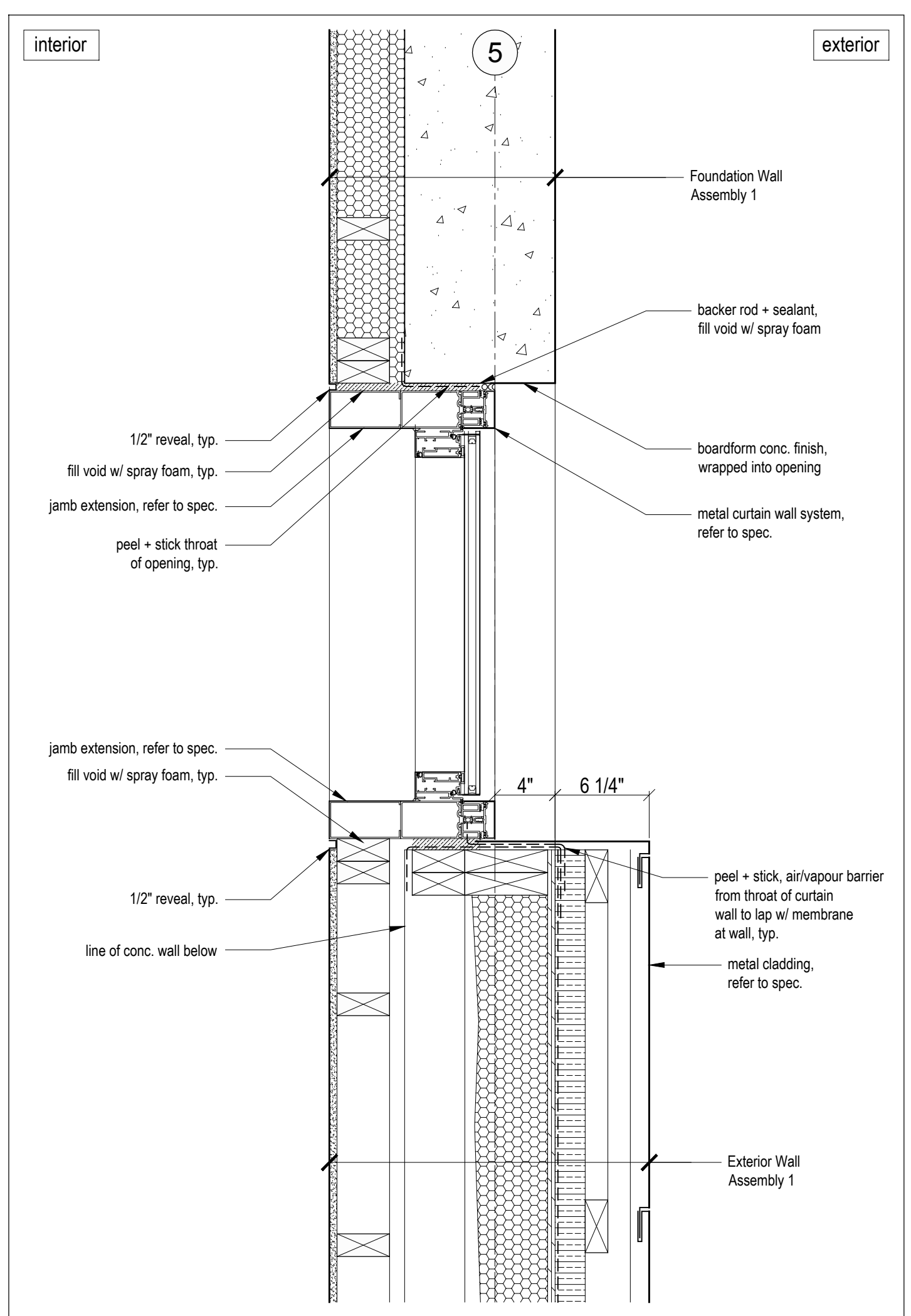
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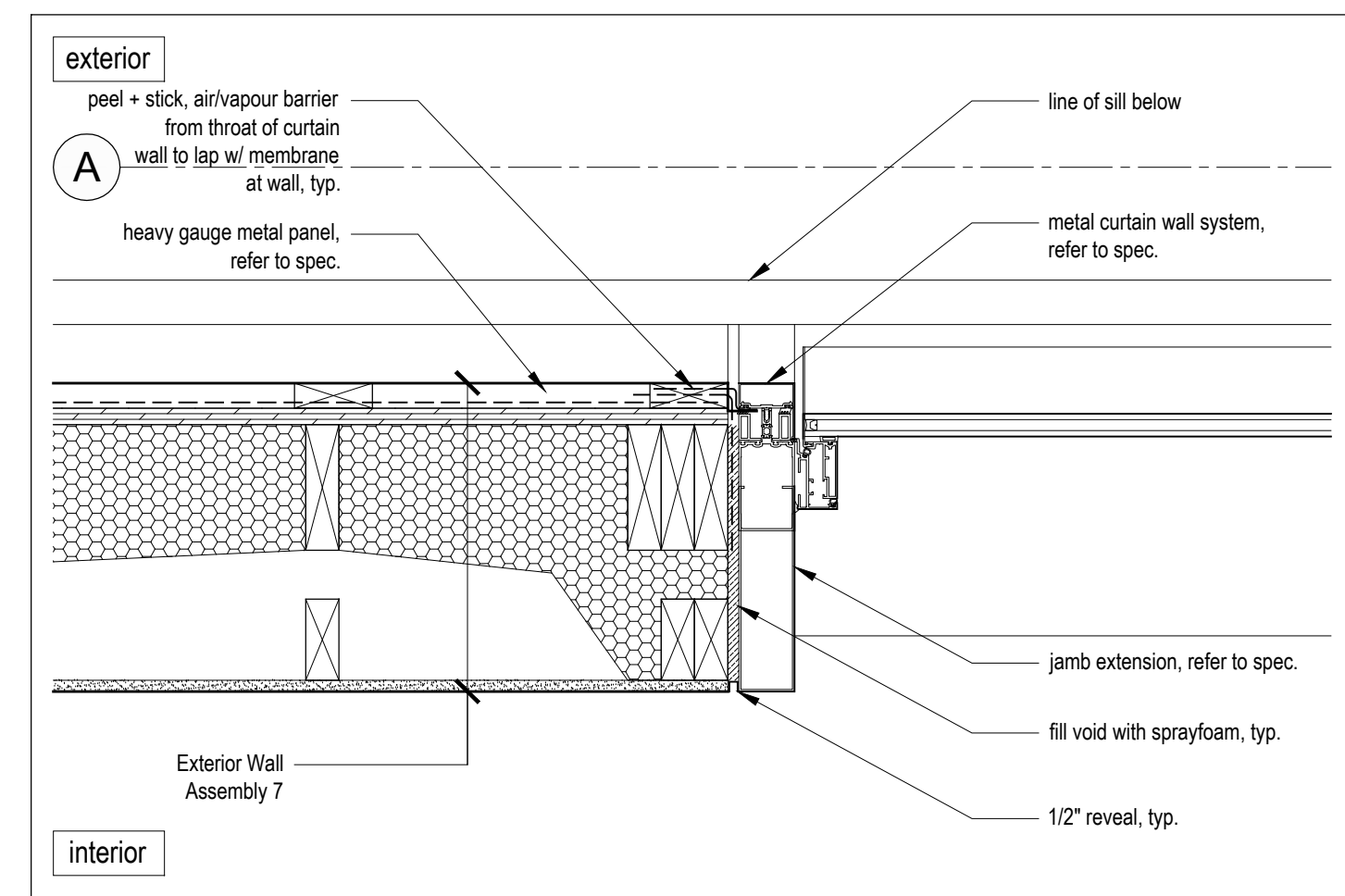
ph: (902) 429.1867
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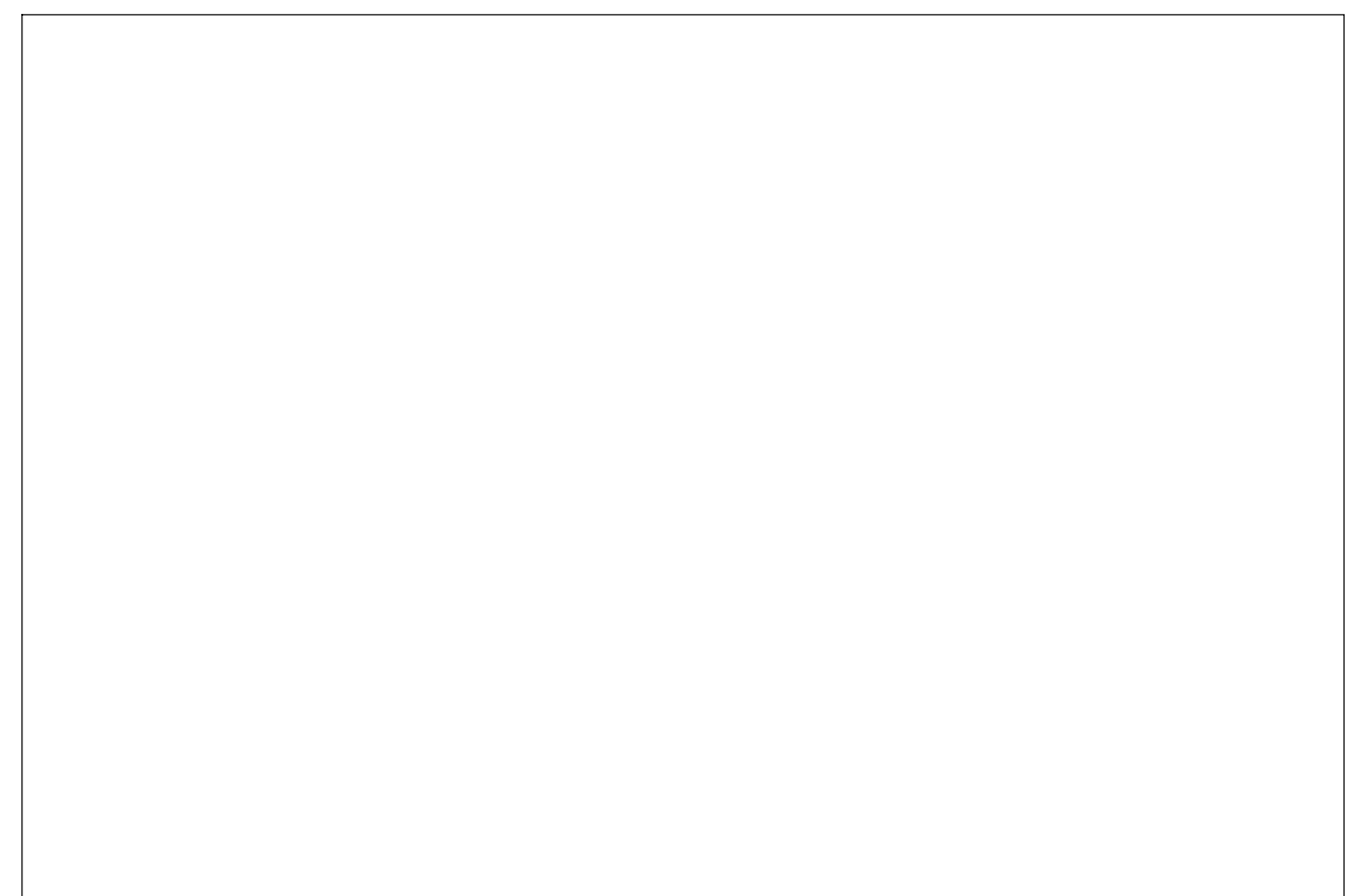
7 Window Jamb at Bedroom Window
Scale 1 1/2" = 1'-0"



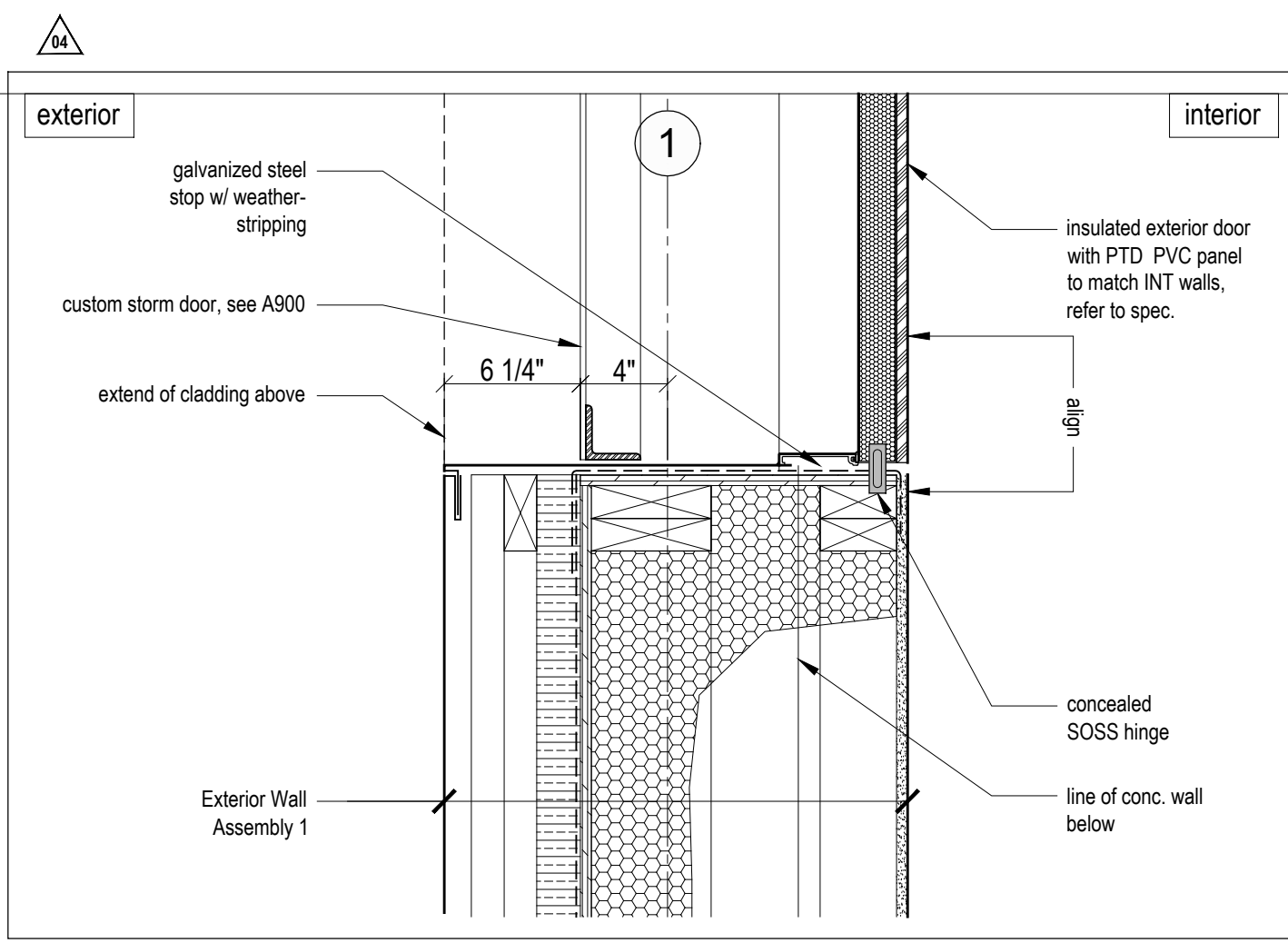
3 Typical Window Jamb at Concrete Wall
Scale 1 1/2" = 1'-0"



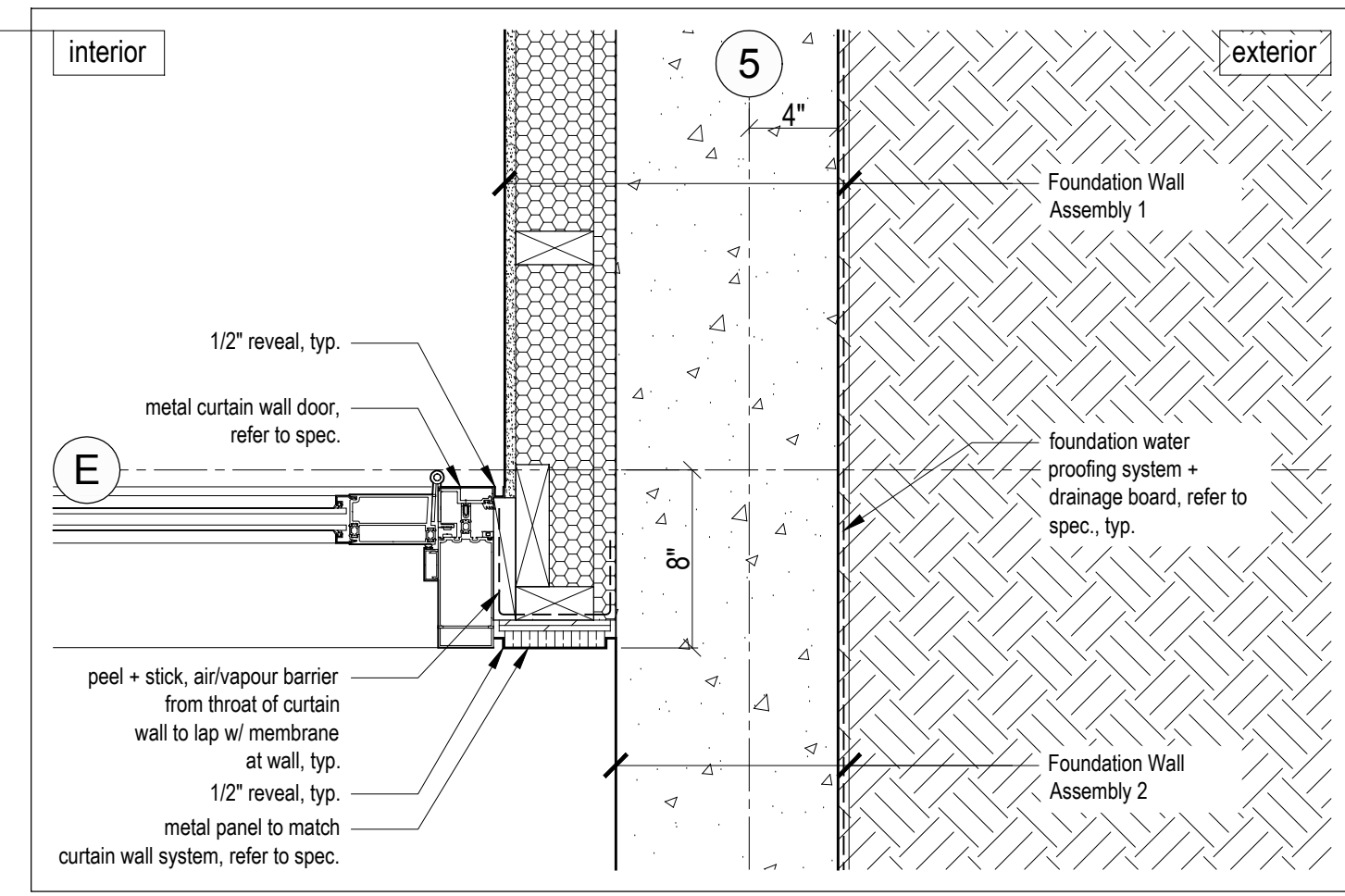
10 Typical Upper Bedroom Window Jamb at Sloped Wall
Scale 1 1/2" = 1'-0"



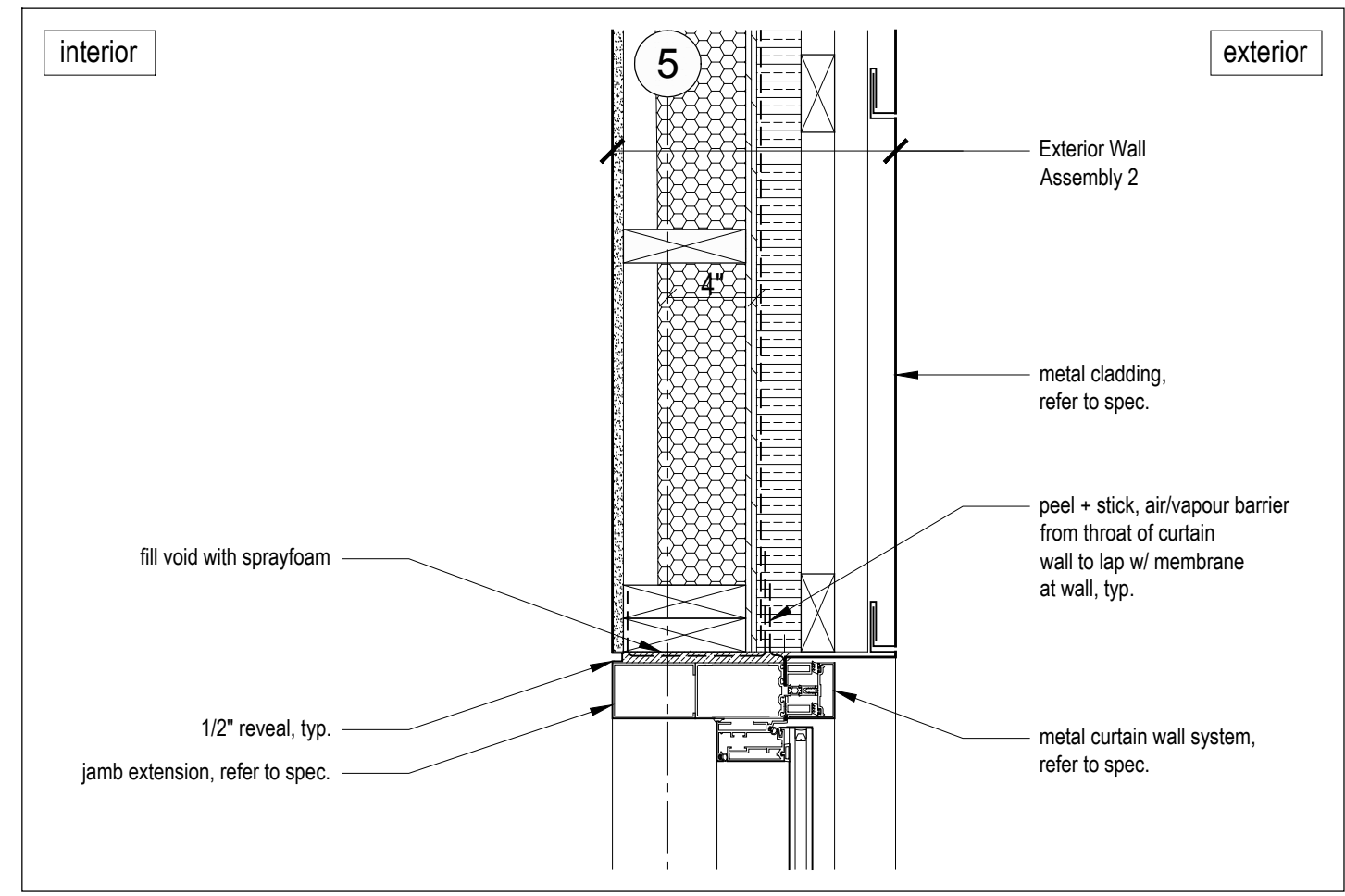
6 NOT USED



12 Level 2 Egress Door Jamb
Scale 1 1/2" = 1'-0"



9 Typical Covered Parking Door Jamb
Scale 1 1/2" = 1'-0"



5 Typical Window/Metal Cladding Jamb Detail
Scale 1 1/2" = 1'-0"



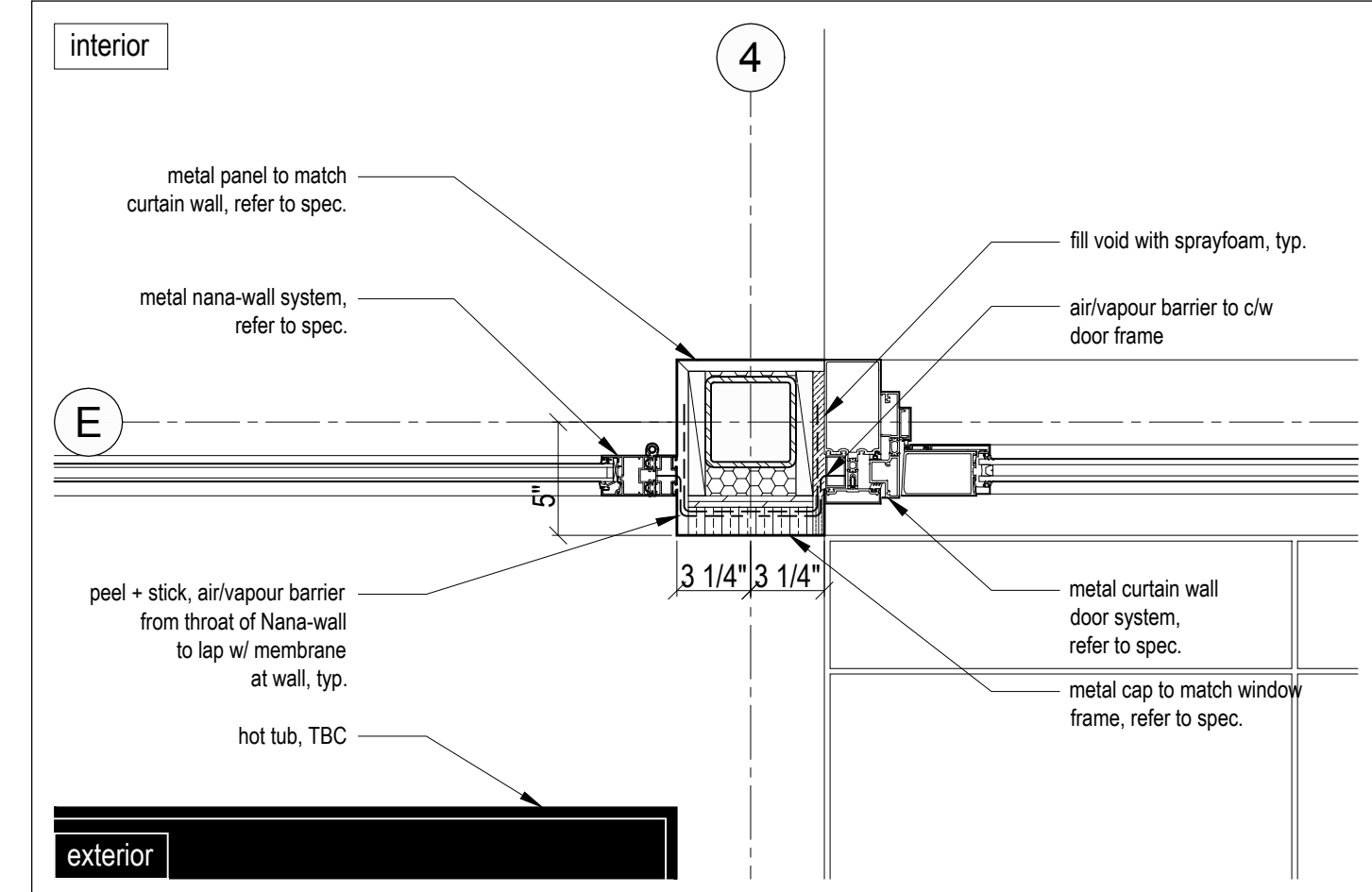
2 NOT USED

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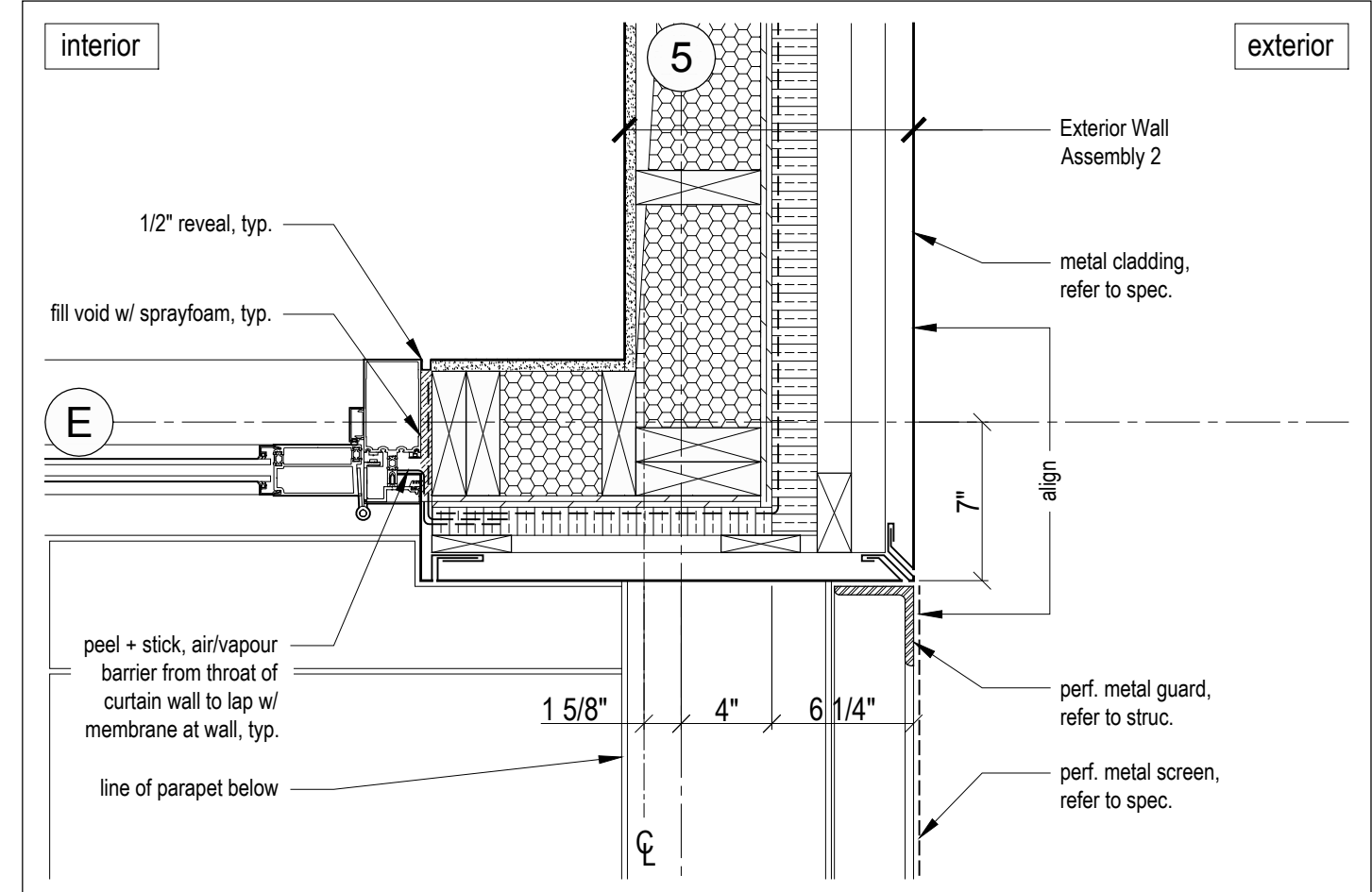
BUILDING STRUCTURAL
 MECHANICAL PLUMBING
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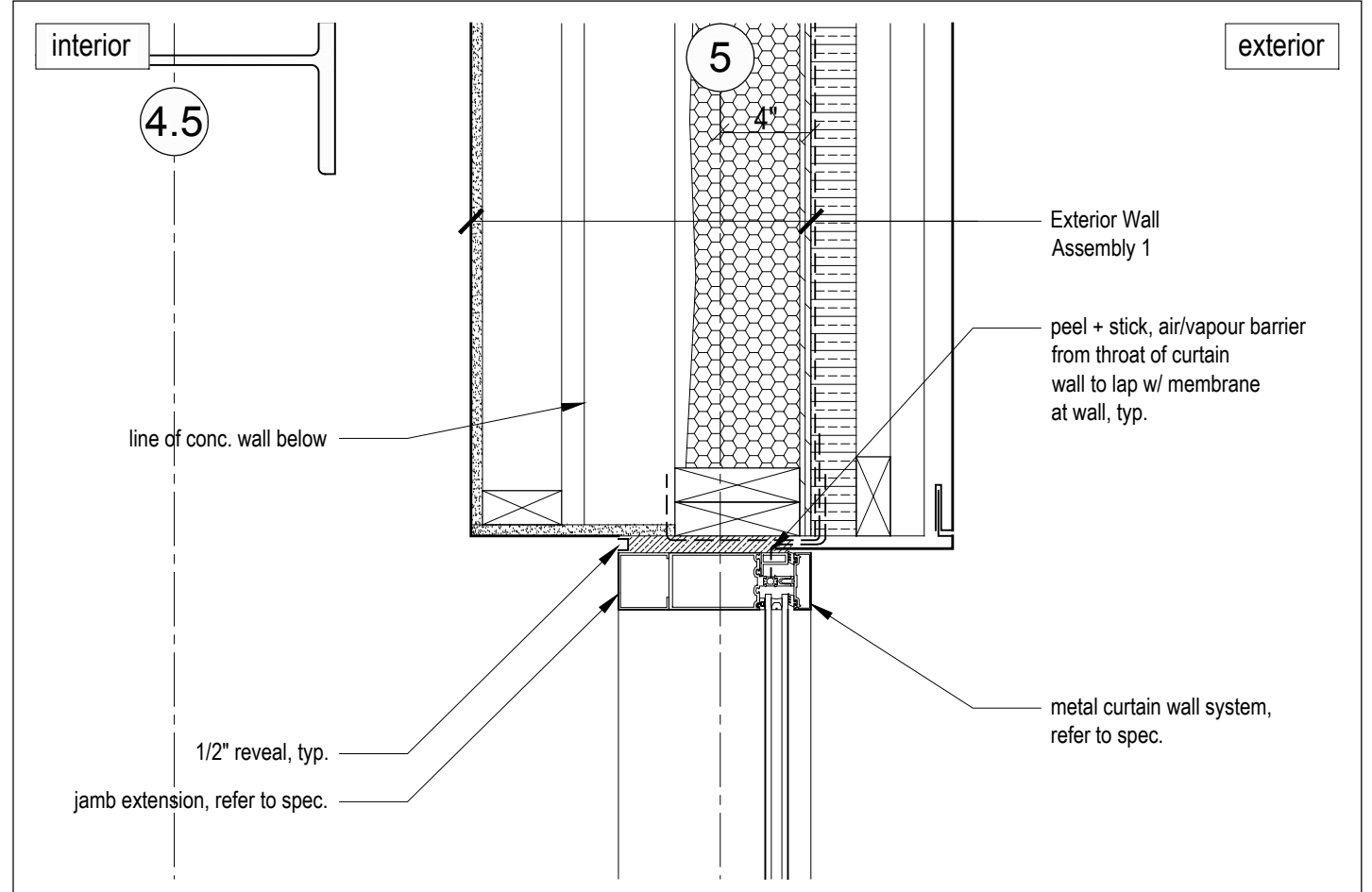
BY MEM DATE 03/04/19
WEST COAST CODE CONSULTANTS, INC.



8 HSS Detail at Nana-wall / Door Jamb
Scale 1 1/2" = 1'-0"



4 Roof Deck Door Jamb and Perforated Guard
Scale 1 1/2" = 1'-0"



1 Typical Curtain Wall to Concrete Wall
Scale 1 1/2" = 1'-0"

No.	Description	Date
5	IFC Rev 02	2019.02.08
4	IFC Rev 01	2018.06.29
3	Issued for Construction	2018.03.13
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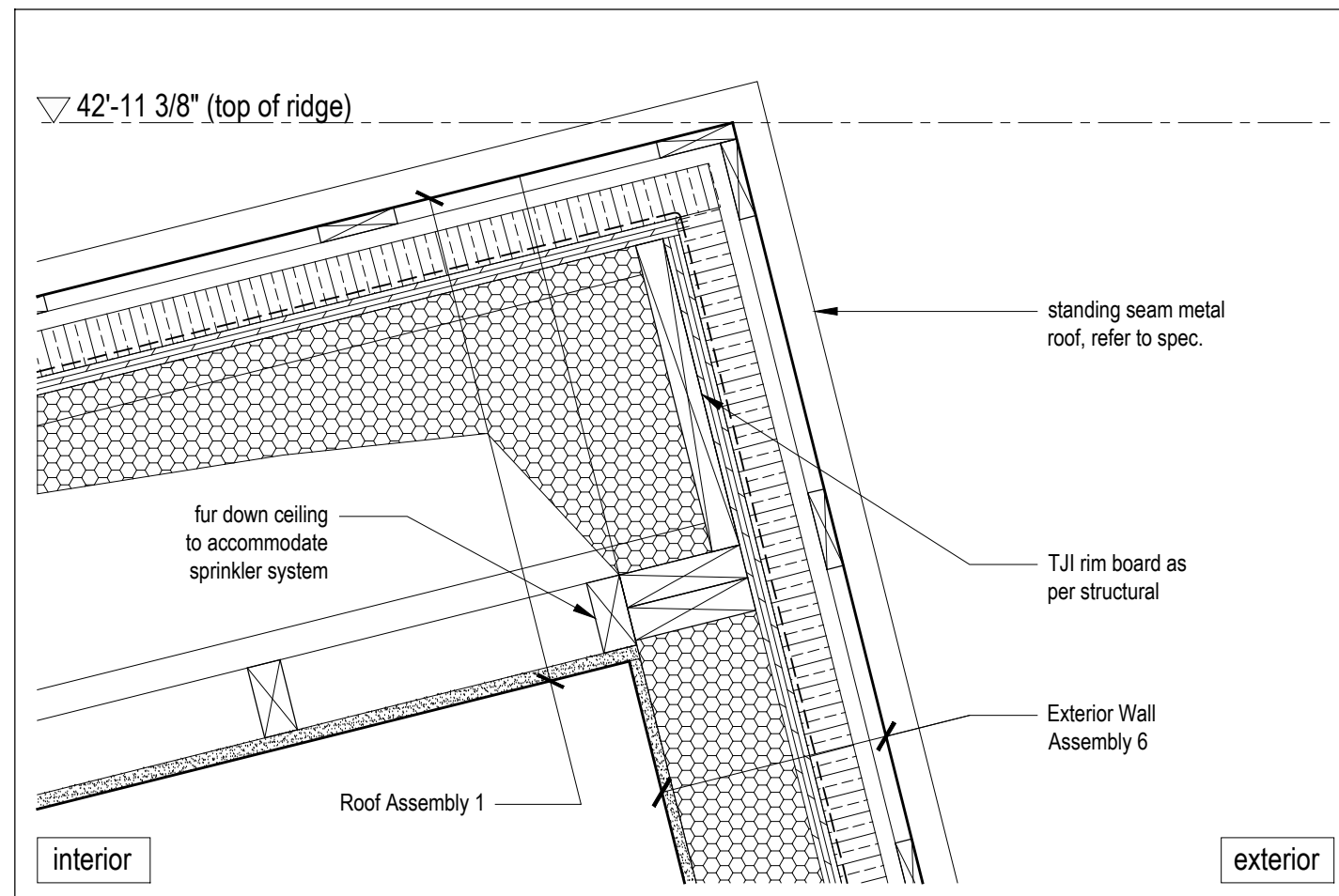
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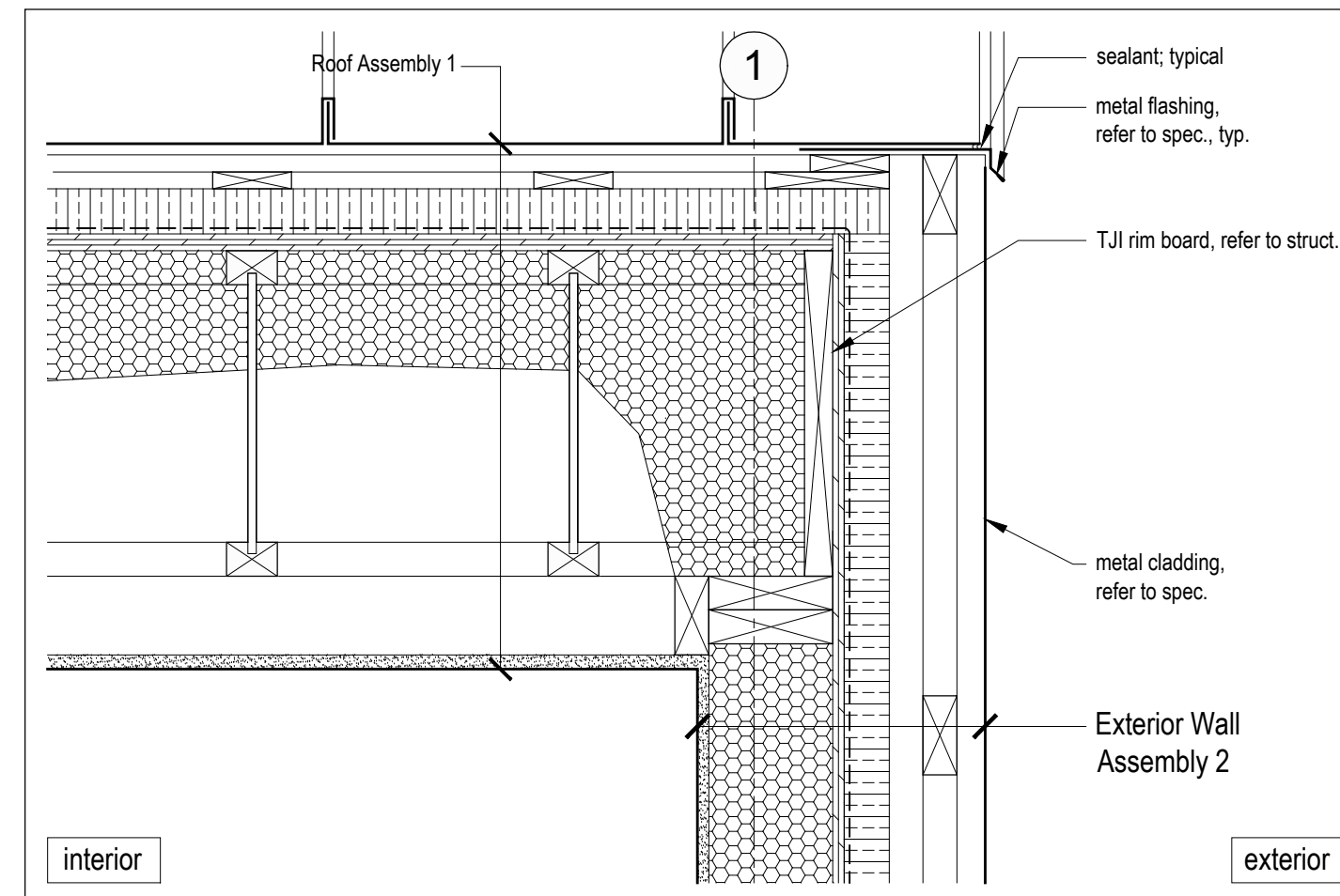
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date: 17-11-23
drawn: RDWP
chk'd: BML

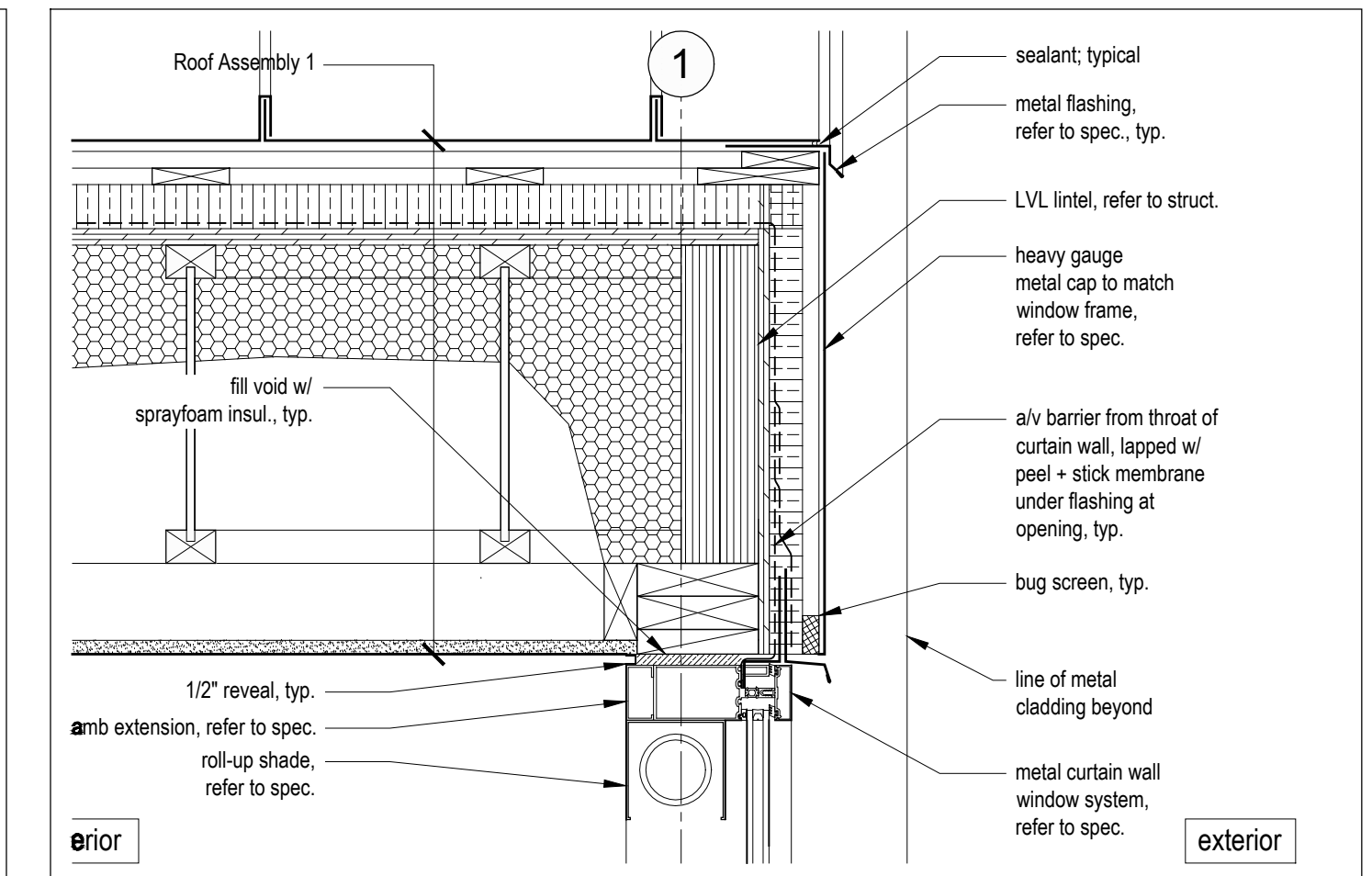
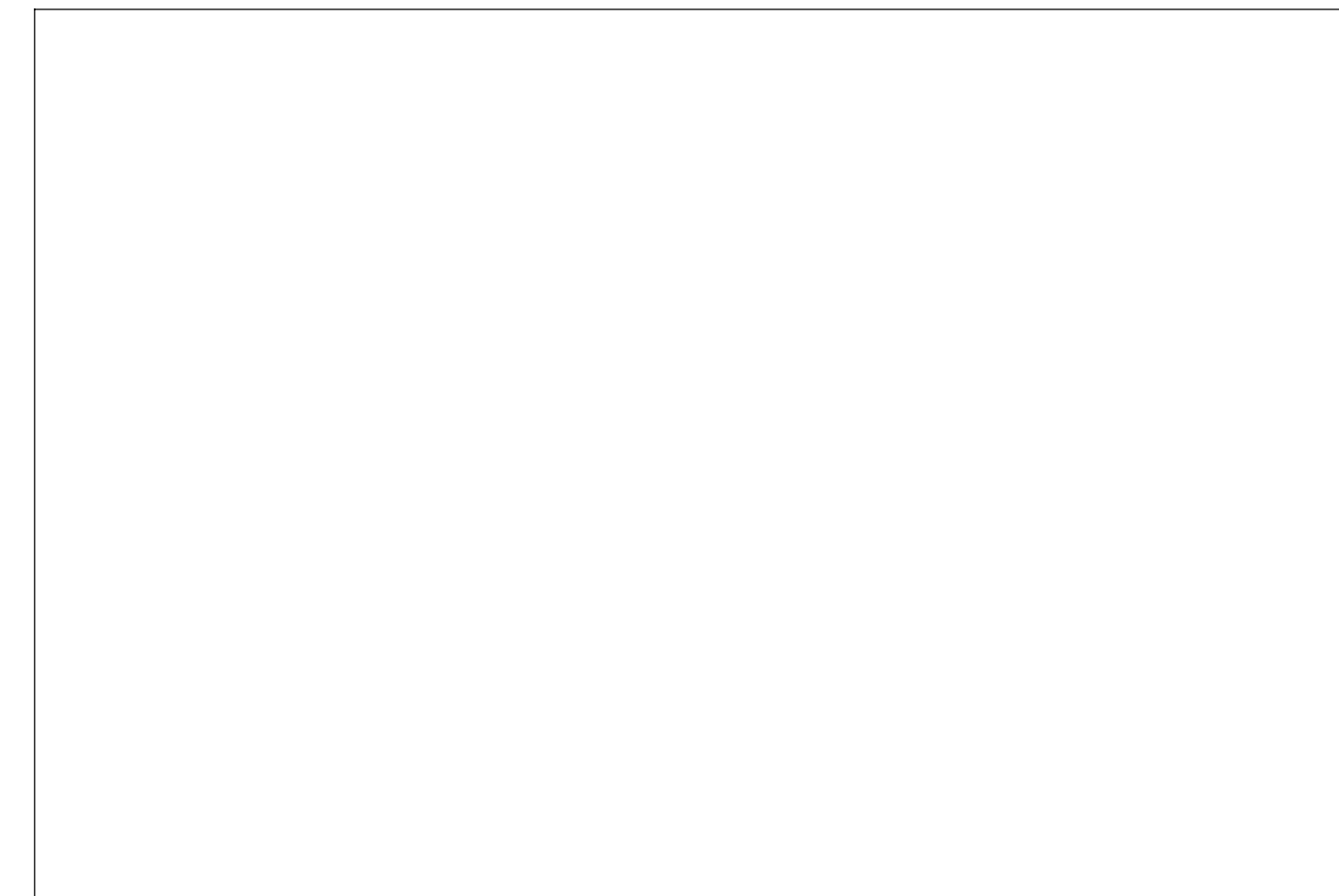
A500



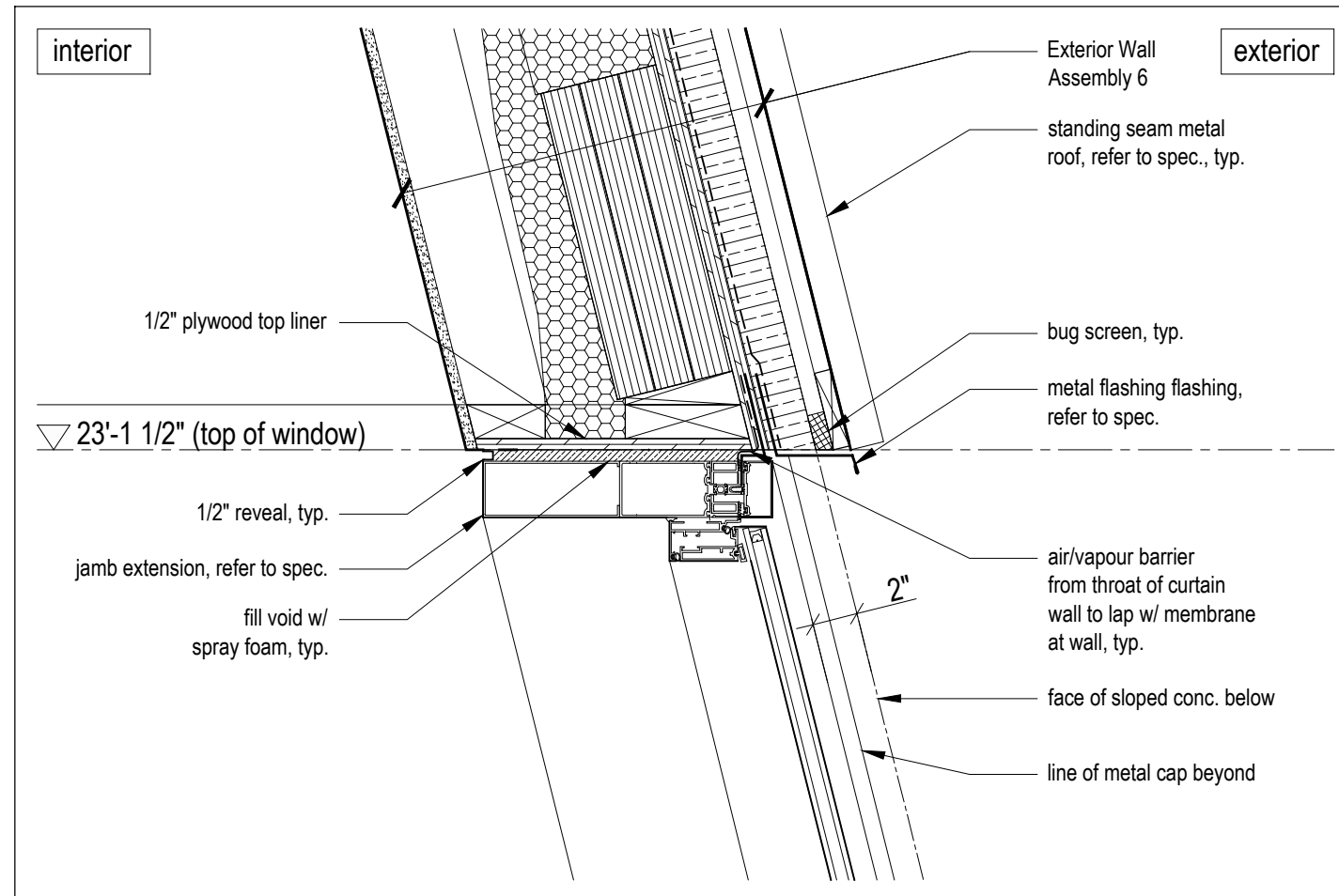
12 Typical Ridge Detail
Scale 1 1/2" = 1'-0"



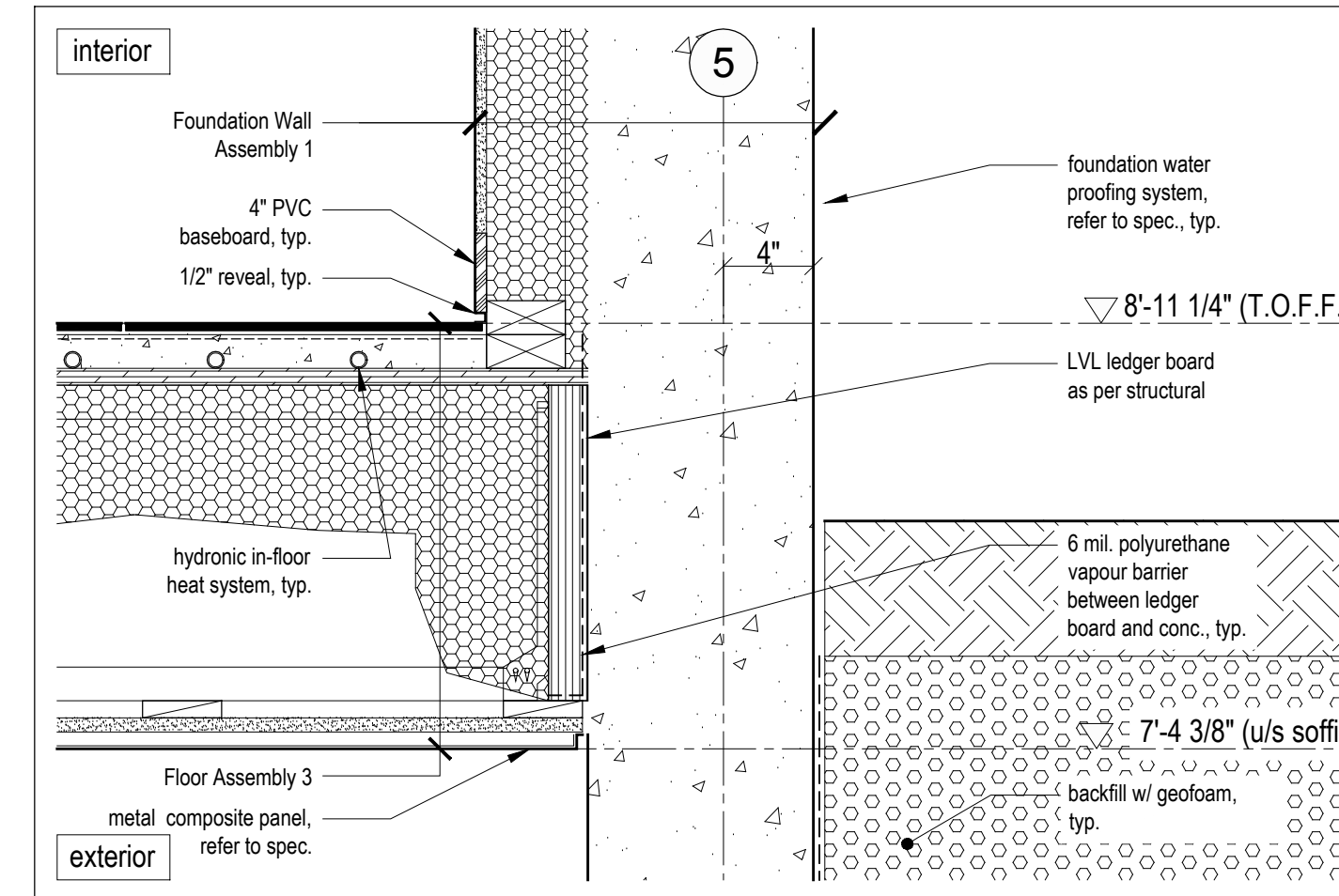
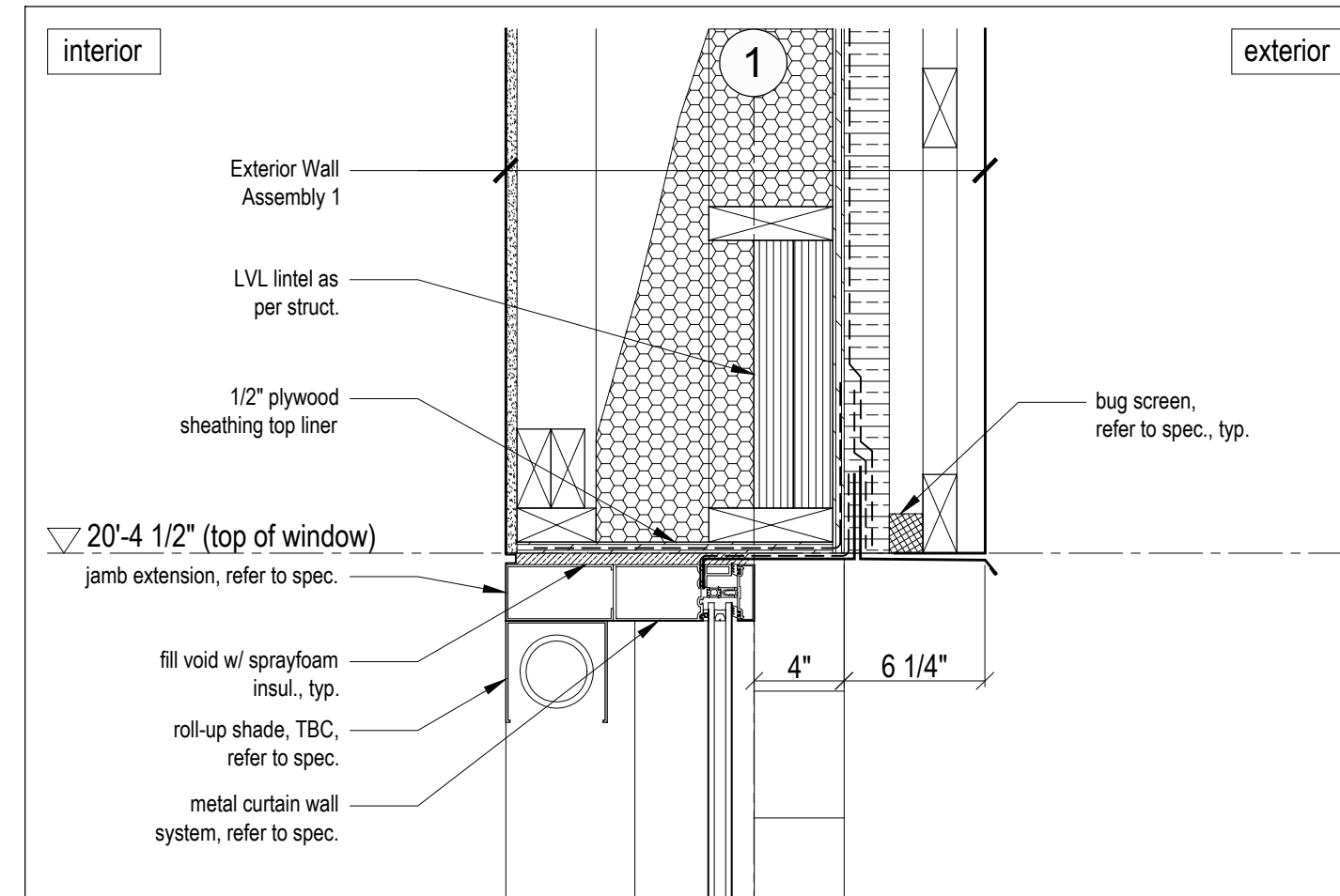
9 Typical Rake Wall/Roof Detail
Scale 1 1/2" = 1'-0"



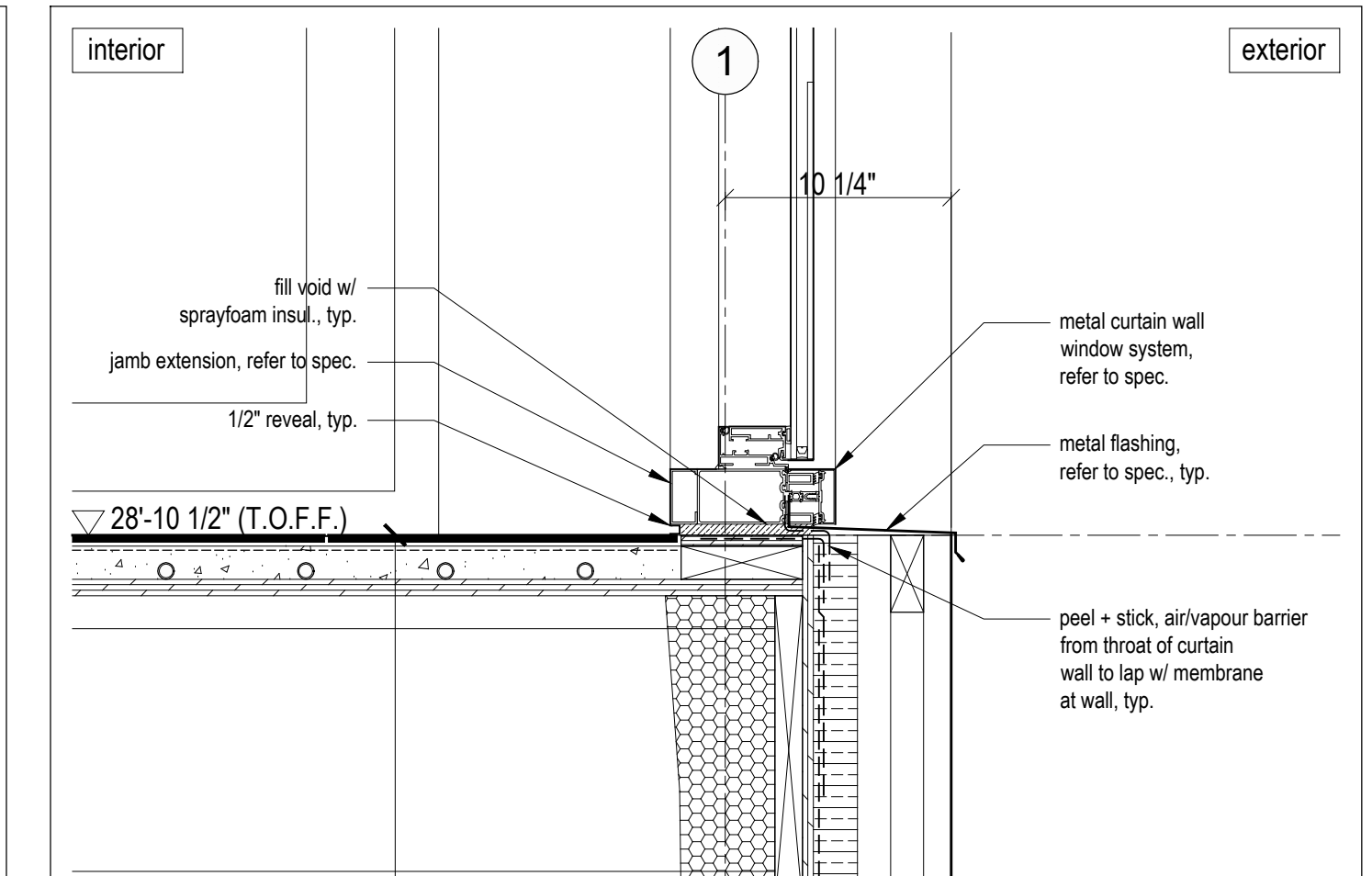
3 Typical Upper Rake Window/Roof Detail
Scale 1 1/2" = 1'-0"



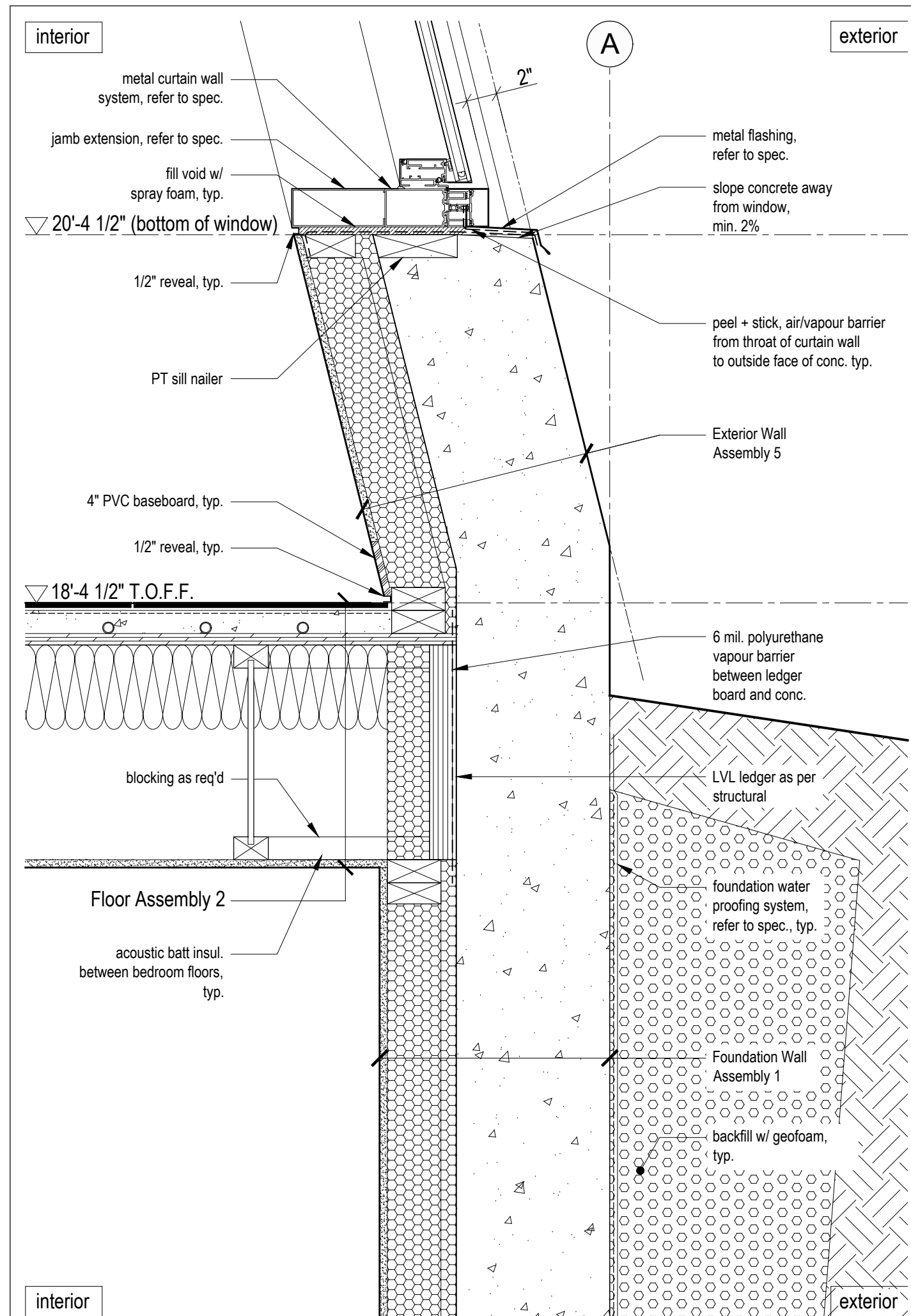
11 Typical Lower Raked Head Detail
Scale 1 1/2" = 1'-0"



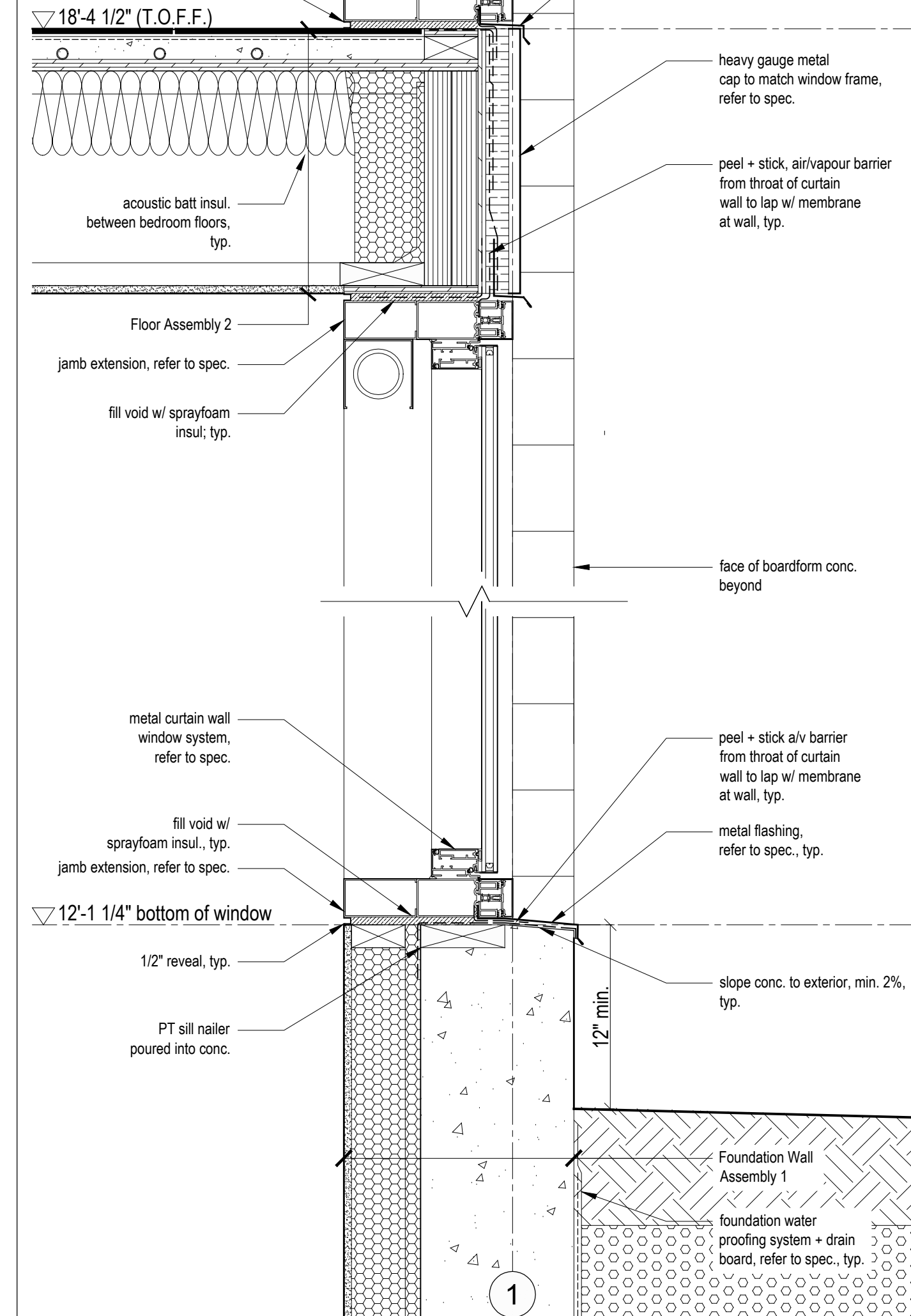
6 Typical Foundation Wall/Slab Detail
Scale 1 1/2" = 1'-0"



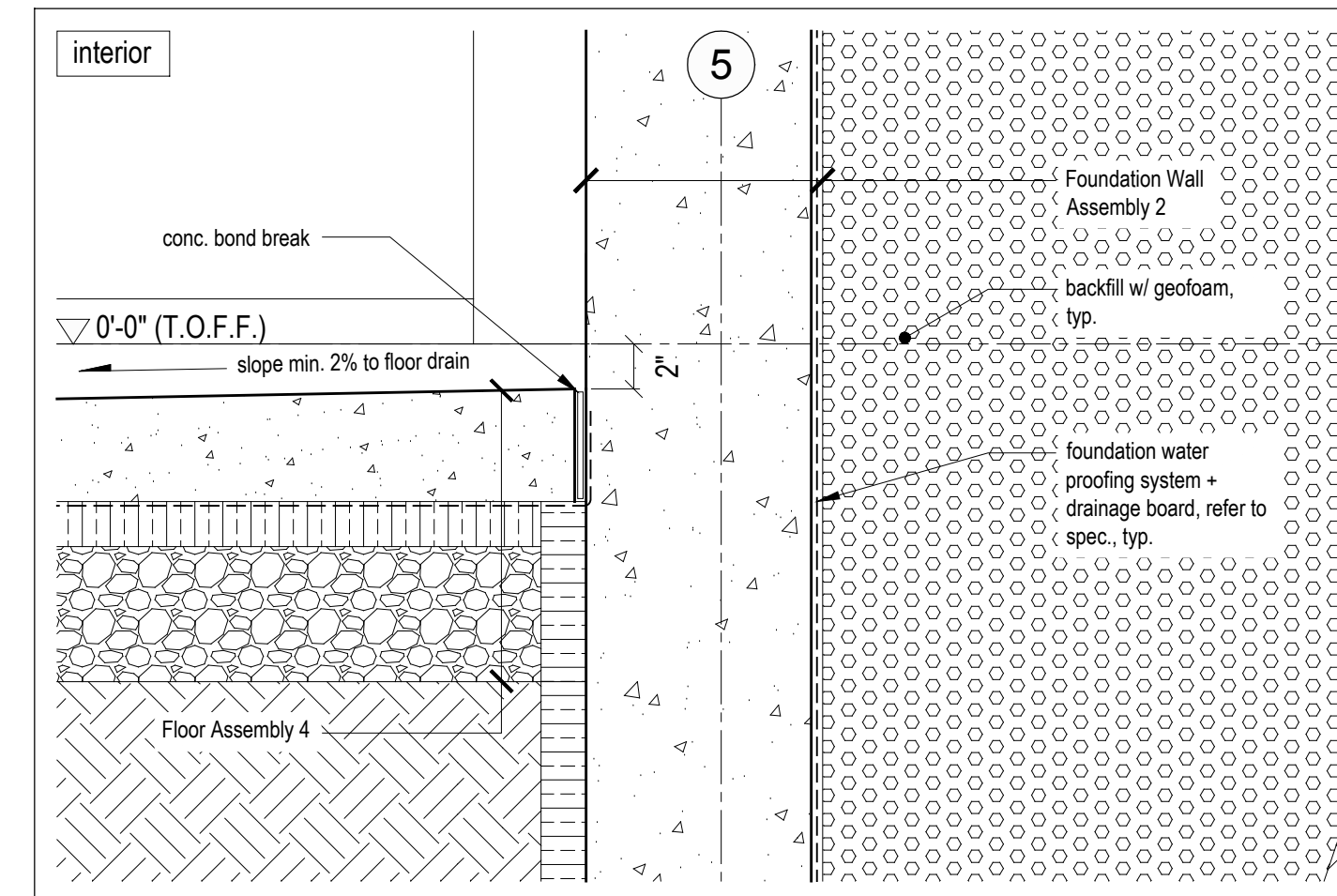
2 Typical Lounge Window Sill/Floor Detail
Scale 1 1/2" = 1'-0"



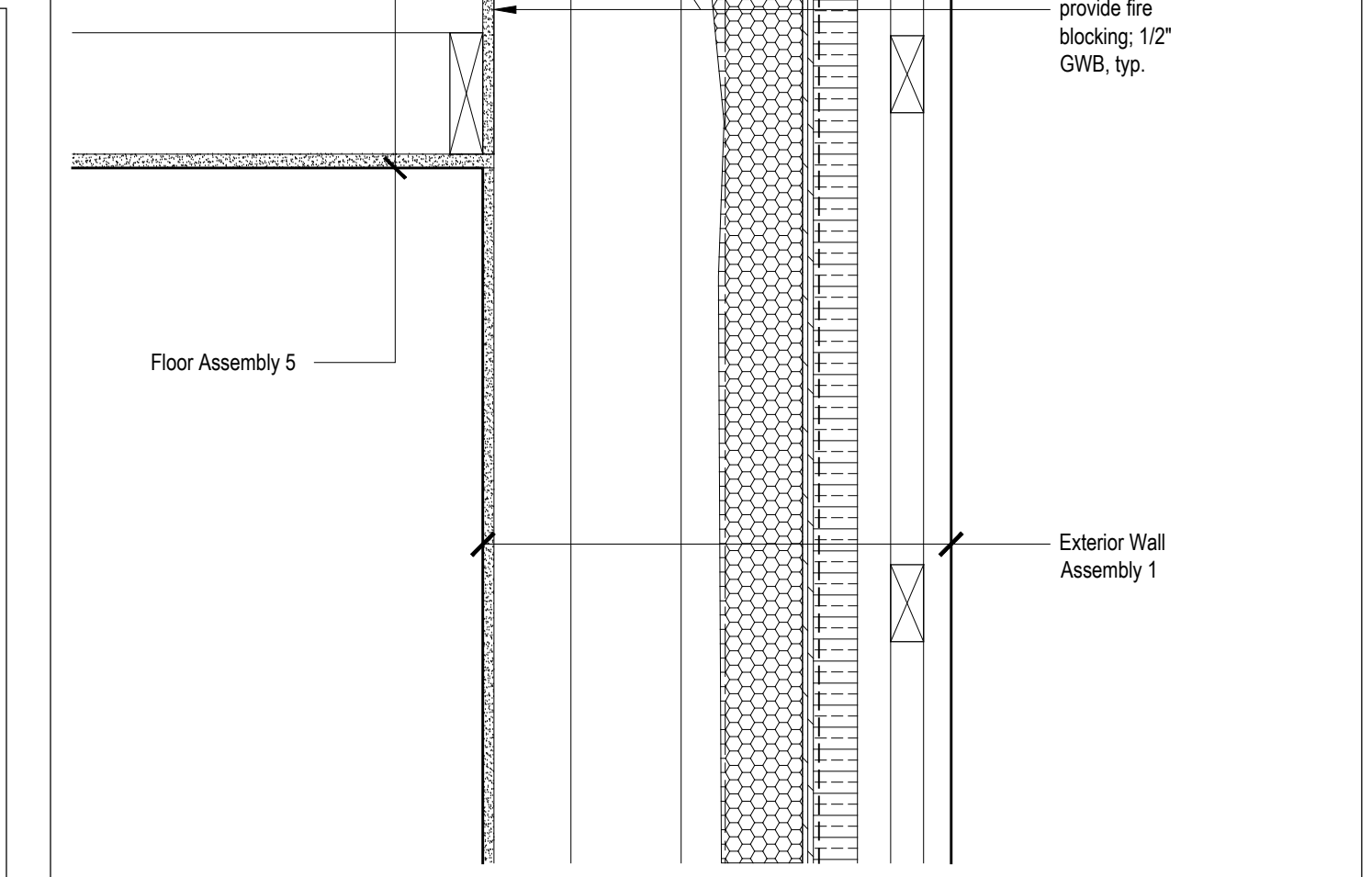
10 Typical Lower Raked Concrete Sill/Floor Detail
Scale 1 1/2" = 1'-0"



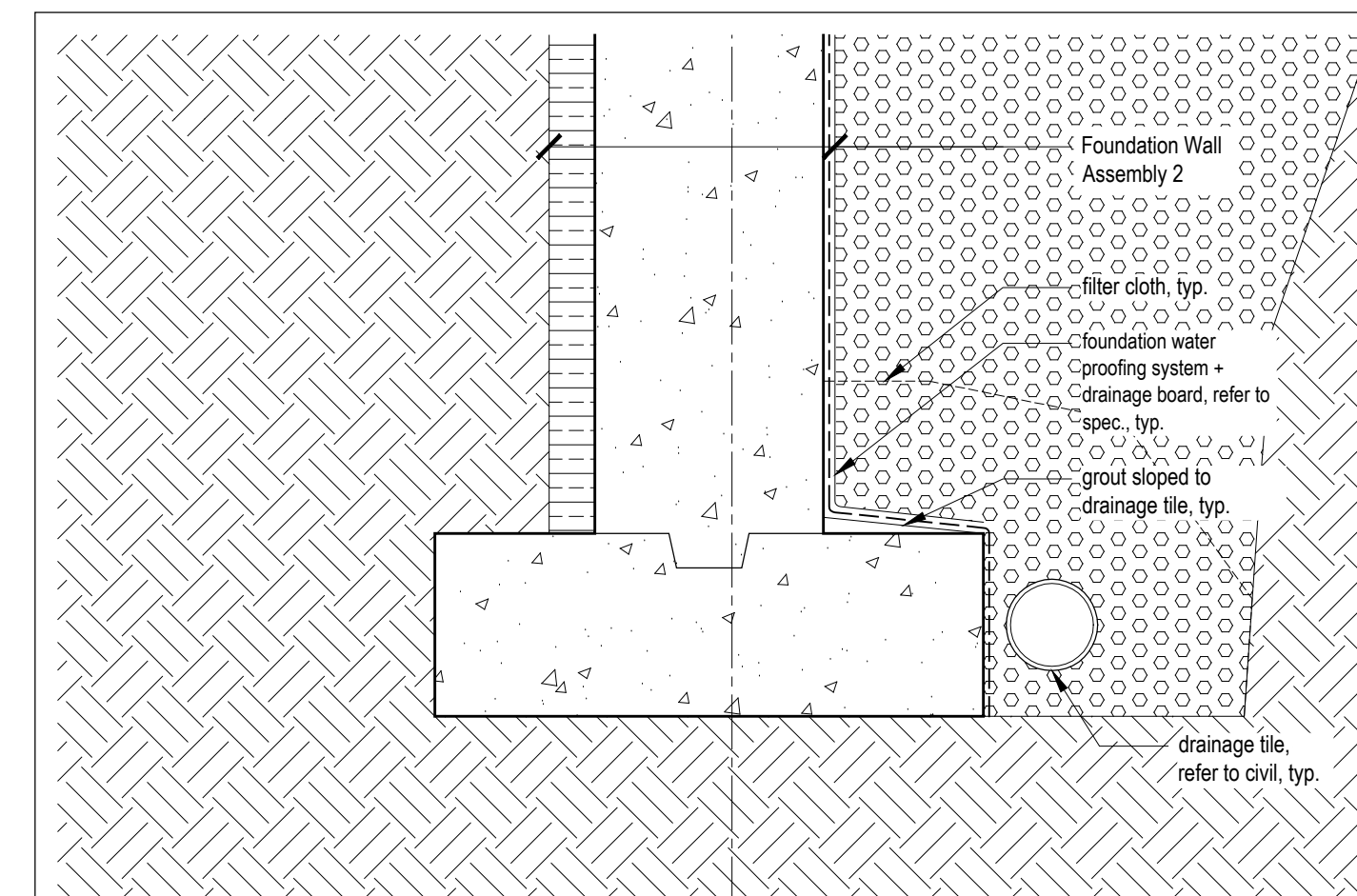
8 Typical Lower Level Bedroom Window Sill Detail
Scale 1 1/2" = 1'-0"



5 Typical Foundation Wall/Slab Detail
Scale 1 1/2" = 1'-0"



1 Typical Concrete/Cladding Wall Detail
Scale 1 1/2" = 1'-0"



4 Typical Footing Detail
Scale 1 1/2" = 1'-0"

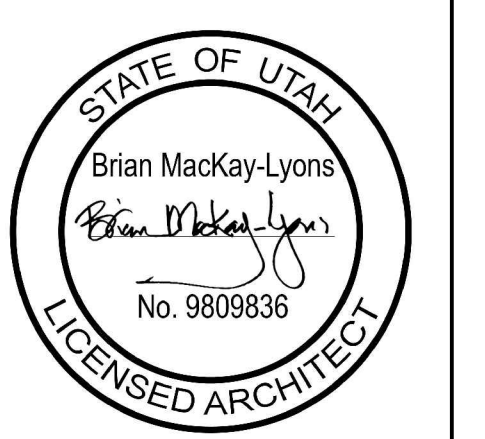
Lot 71R
Village House

Summit Power, Mountain Ecom. Unit

Mackay-Lyons
Sweetapple
Architects
Limited

2188 Göttingen St.
Halifax, Nova Scotia
Canada B3K 3B4

ph: (902) 429-1867
fax: (902) 429-6276



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<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
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<input checked="" type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

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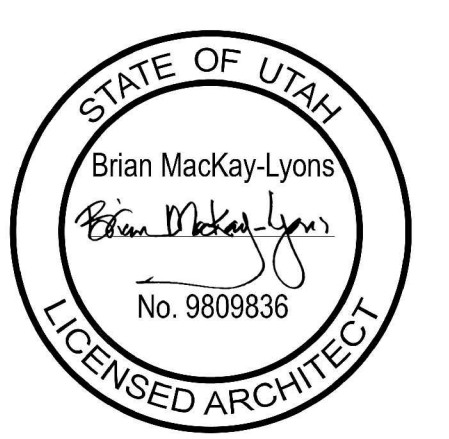
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Section Details

scale: 1 1/2" = 1'-0"
date: 17-11-23
drawn: RD
chk'd: BML

A510



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FOR COMPLIANCE WITH THE APPLICABLE
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<input checked="" type="checkbox"/> ACCESSIBILITY	<input checked="" type="checkbox"/> FIRE

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BY: MEM DATE: 03/04/19
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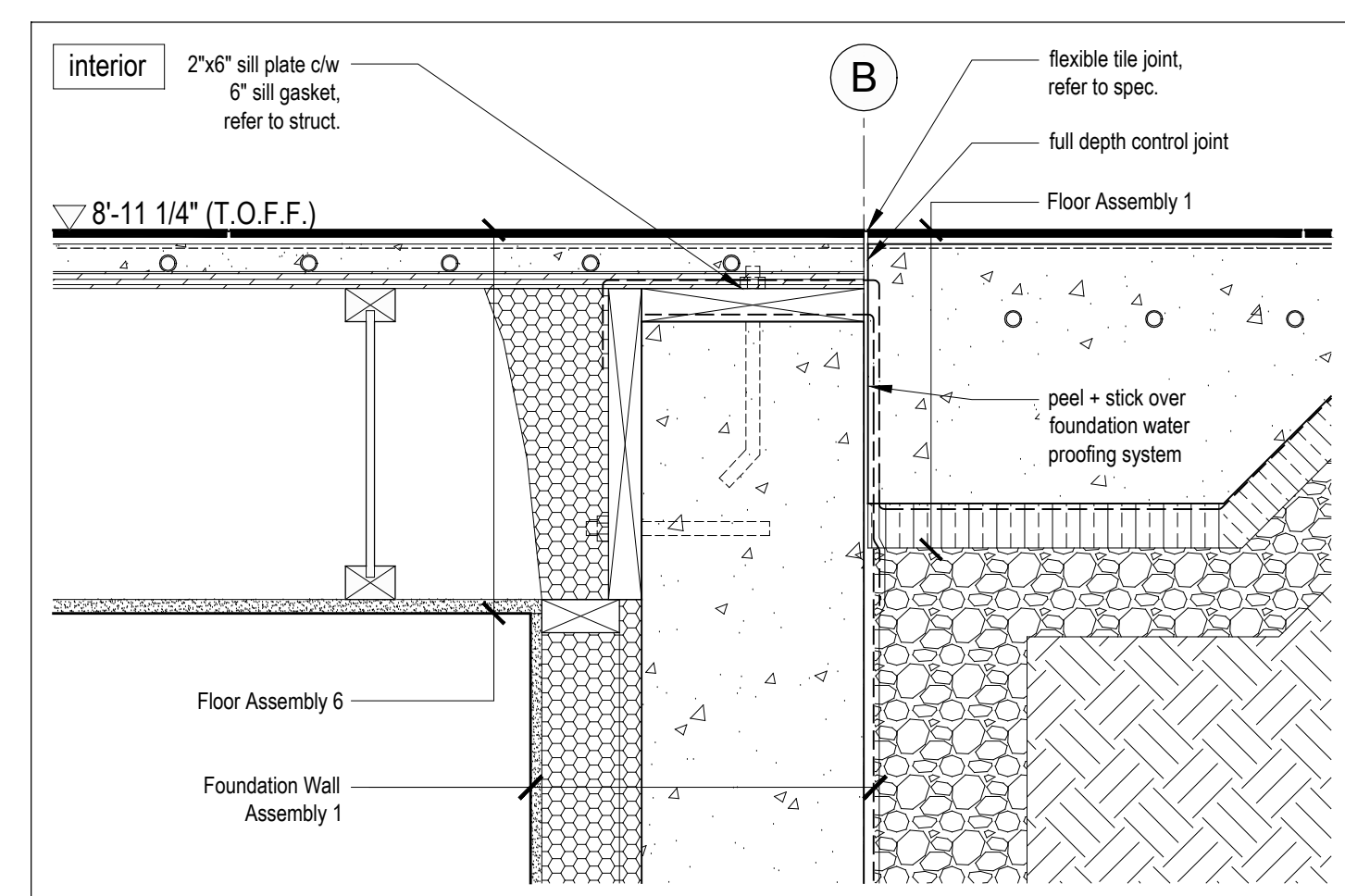
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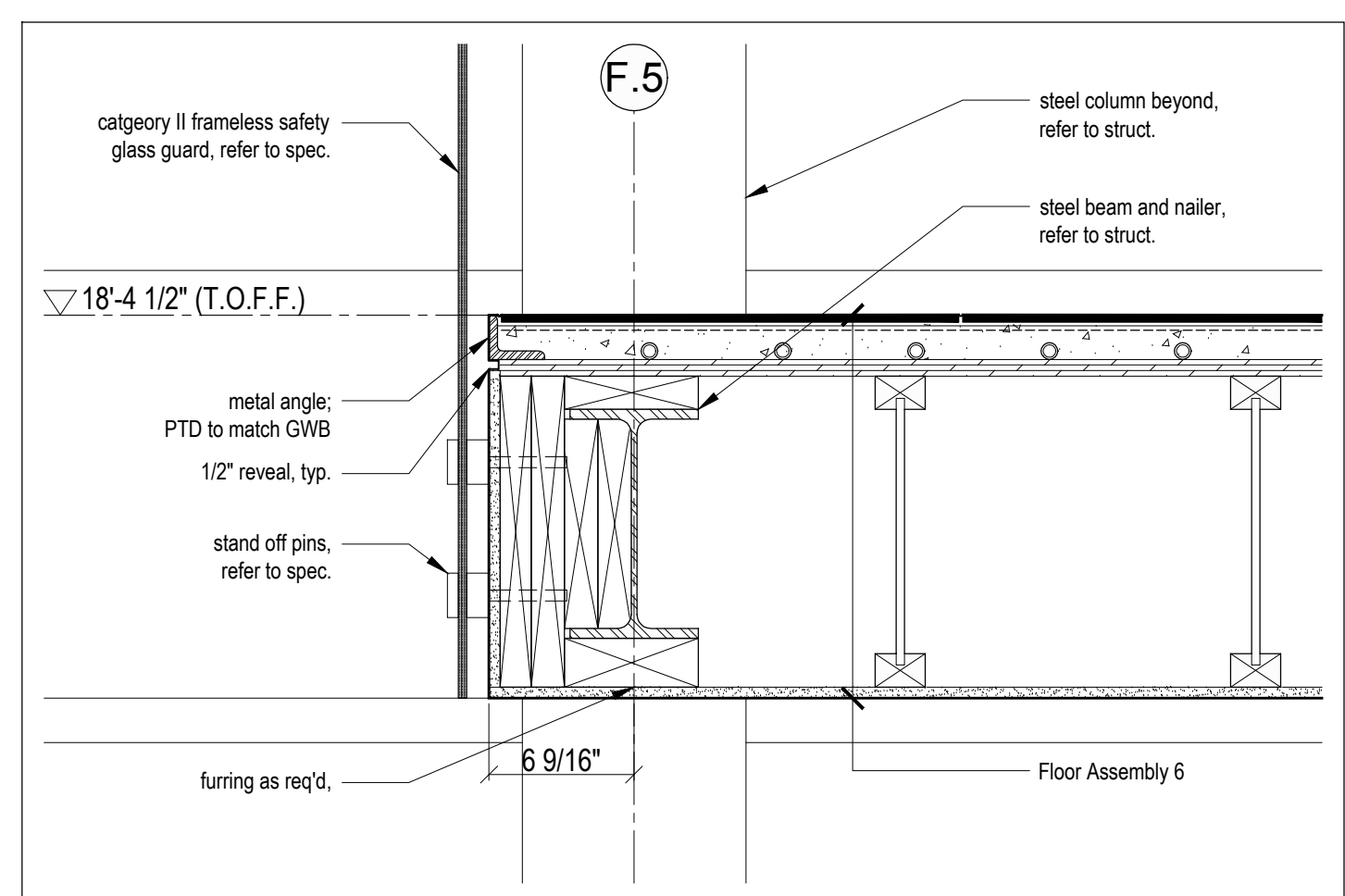
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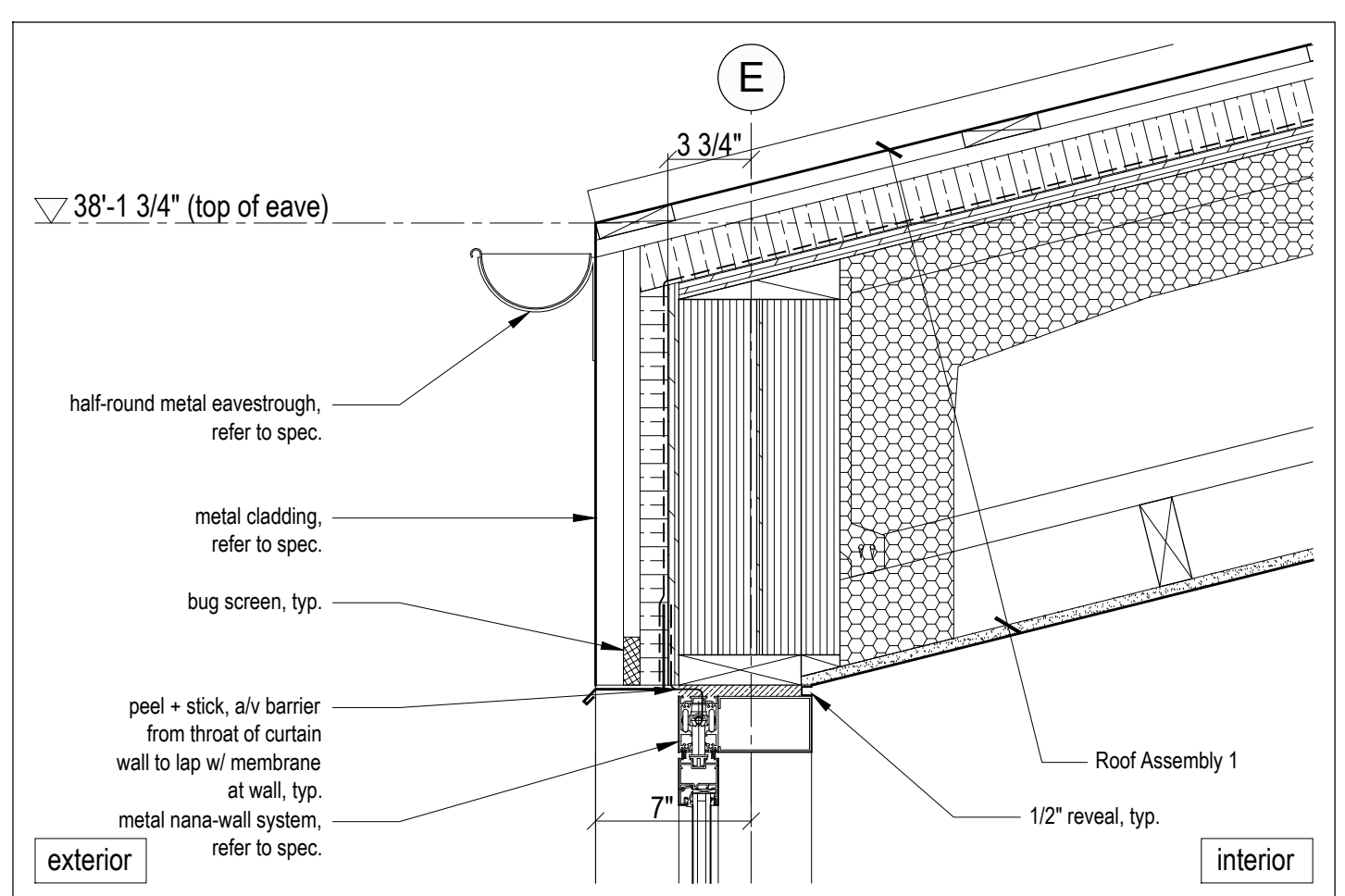
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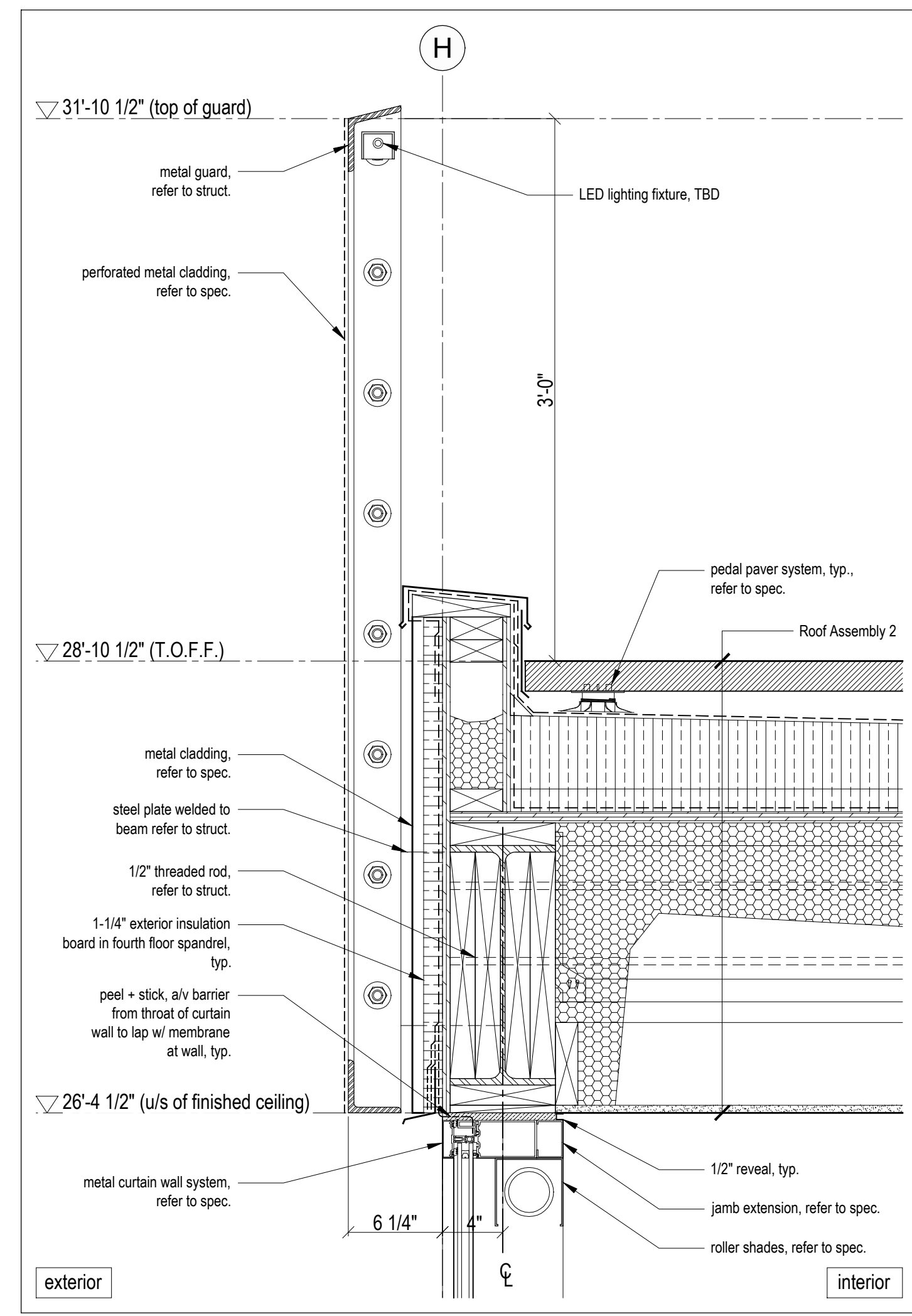
10 Foundation Wall/Slab/Floor Detail
Scale 1 1/2" = 1'-0"



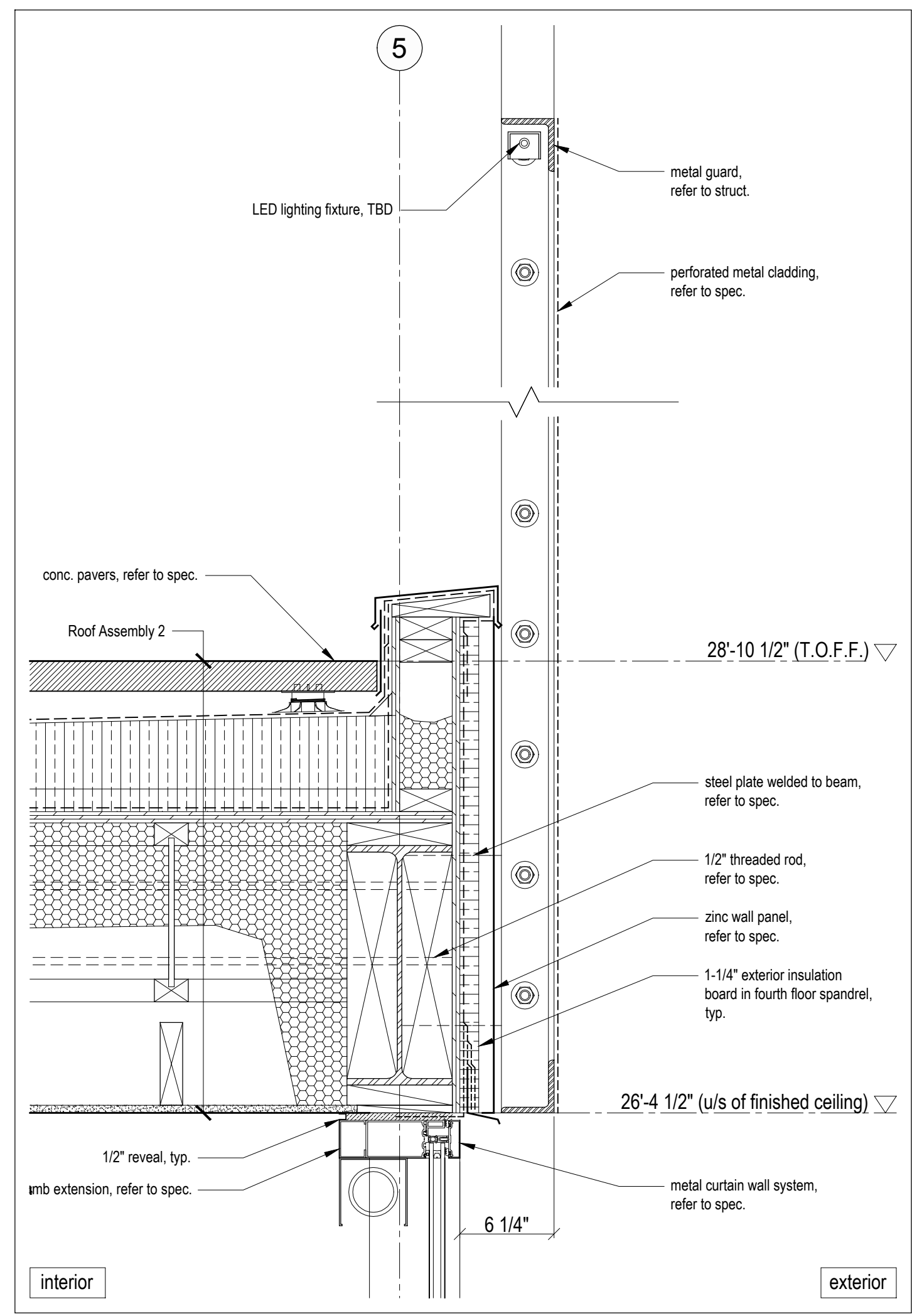
7 Typical Interior Glass Guard Detail
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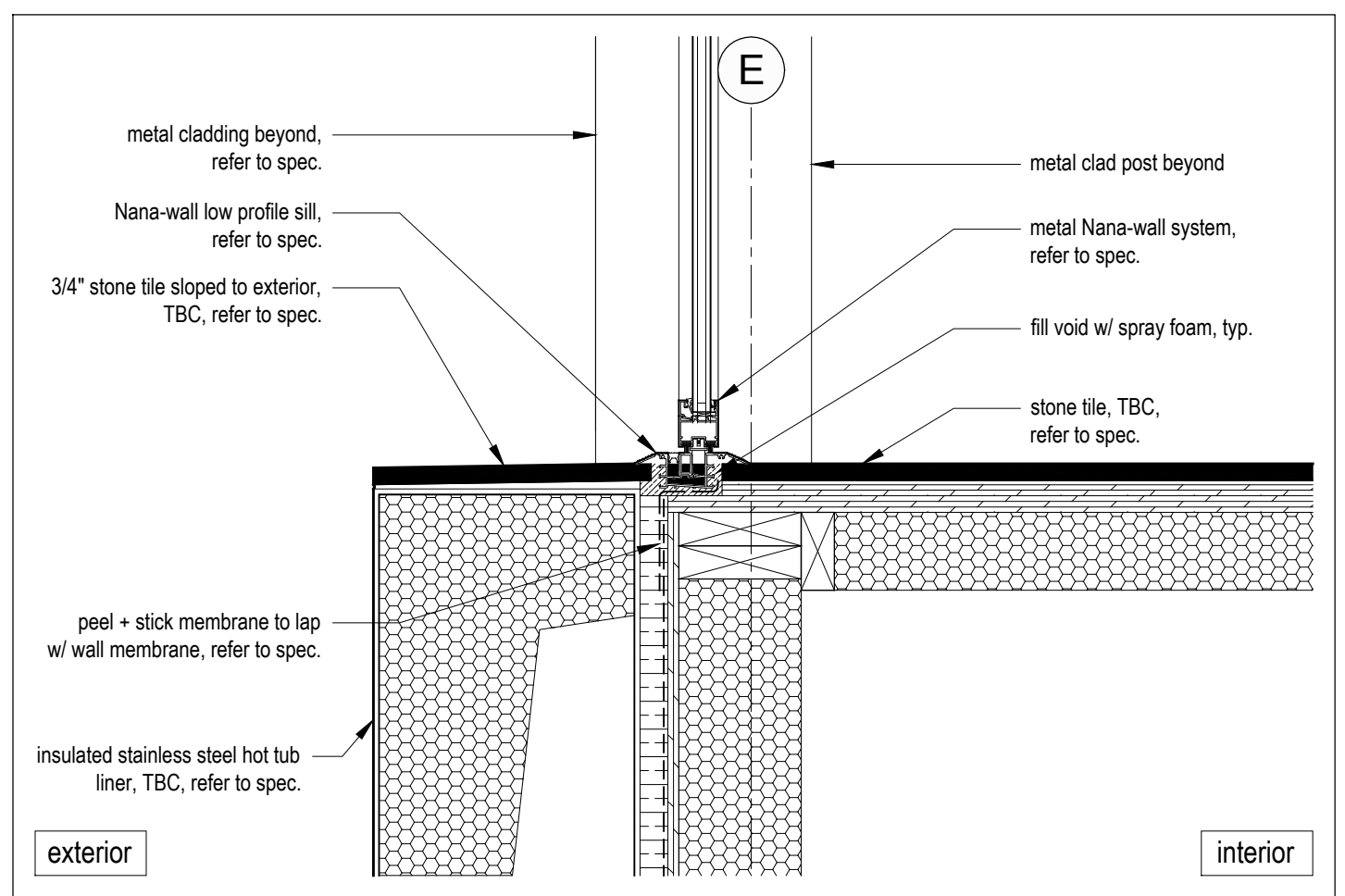
4 Typical Eave/Nana-wall Detail
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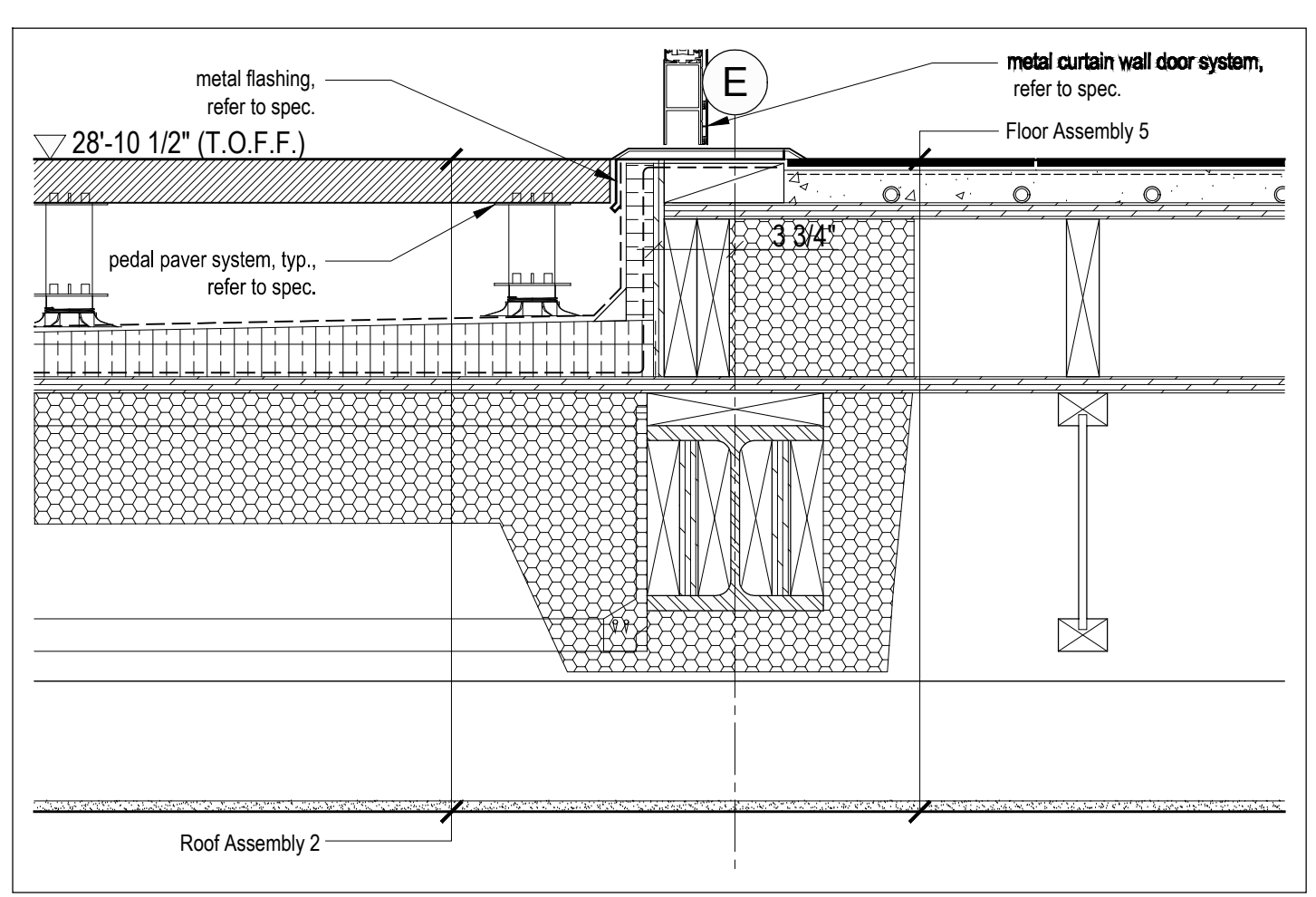
9 Guard/Roof Deck Detail @ Grid H
Scale 1 1/2" = 1'-0"



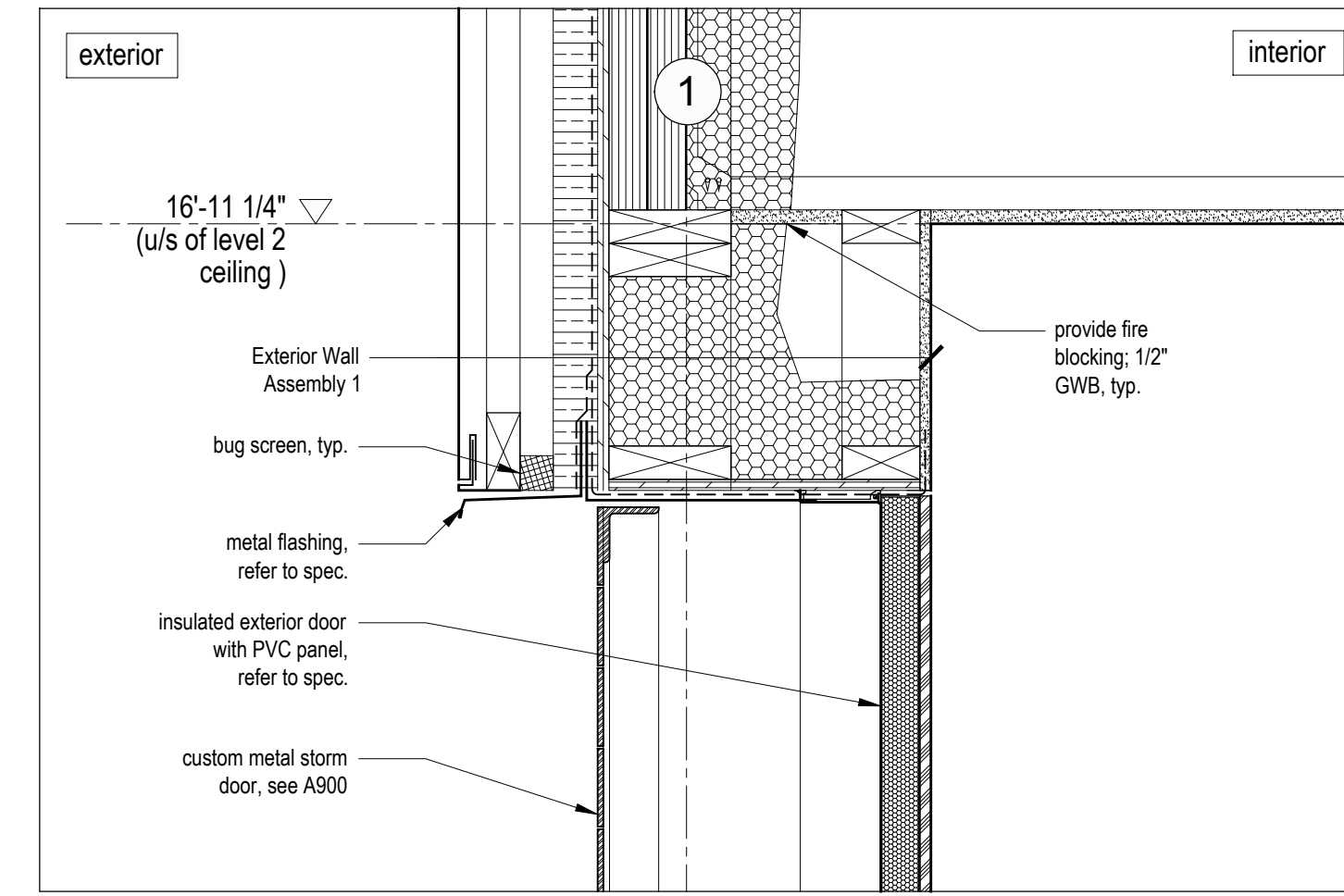
6 Typical Guard/Roof Deck Detail @ Grid 1 & 5
Scale 1 1/2" = 1'-0"



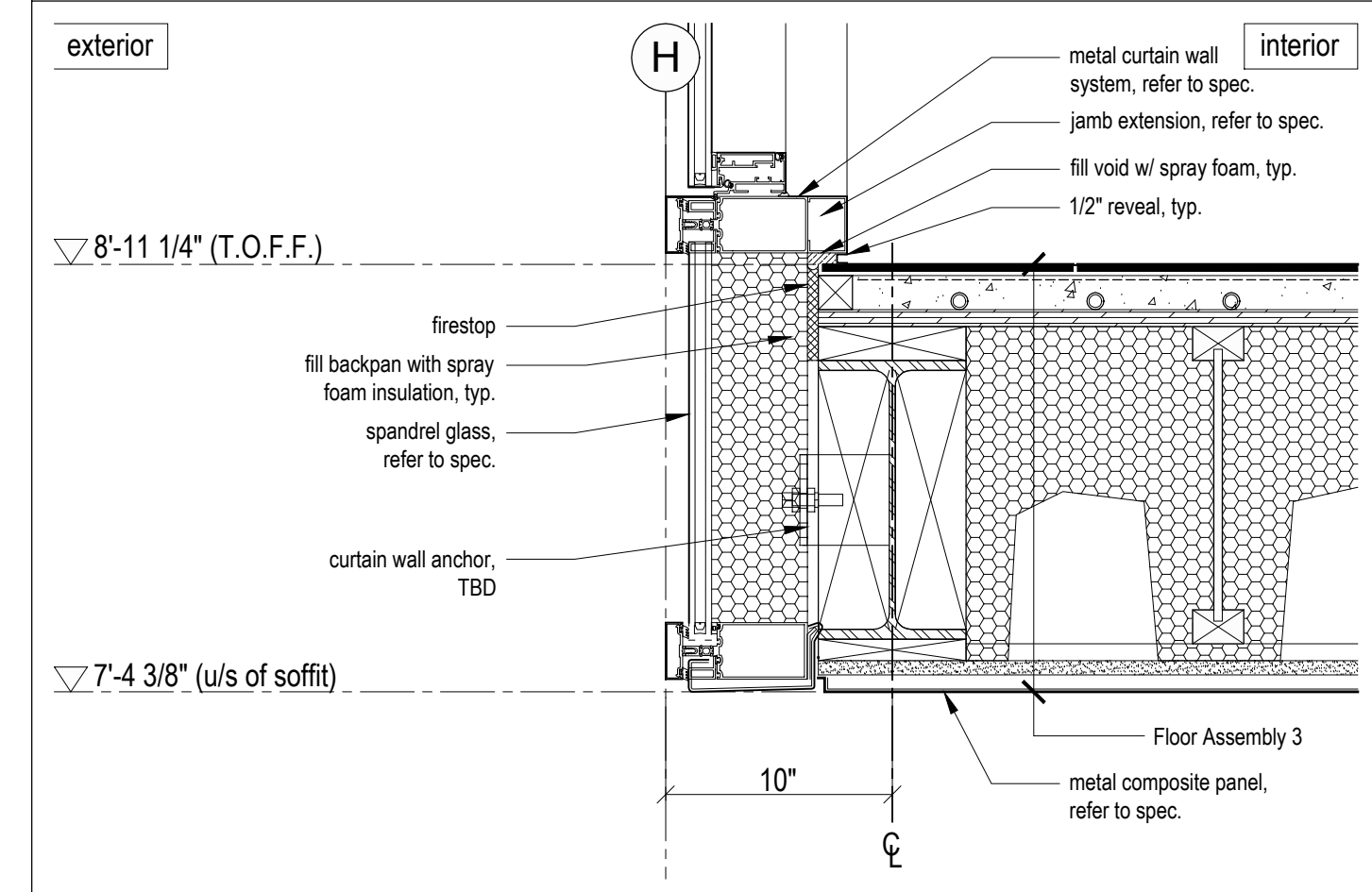
3 Nana-wall Sill Detail
Scale 1 1/2" = 1'-0"



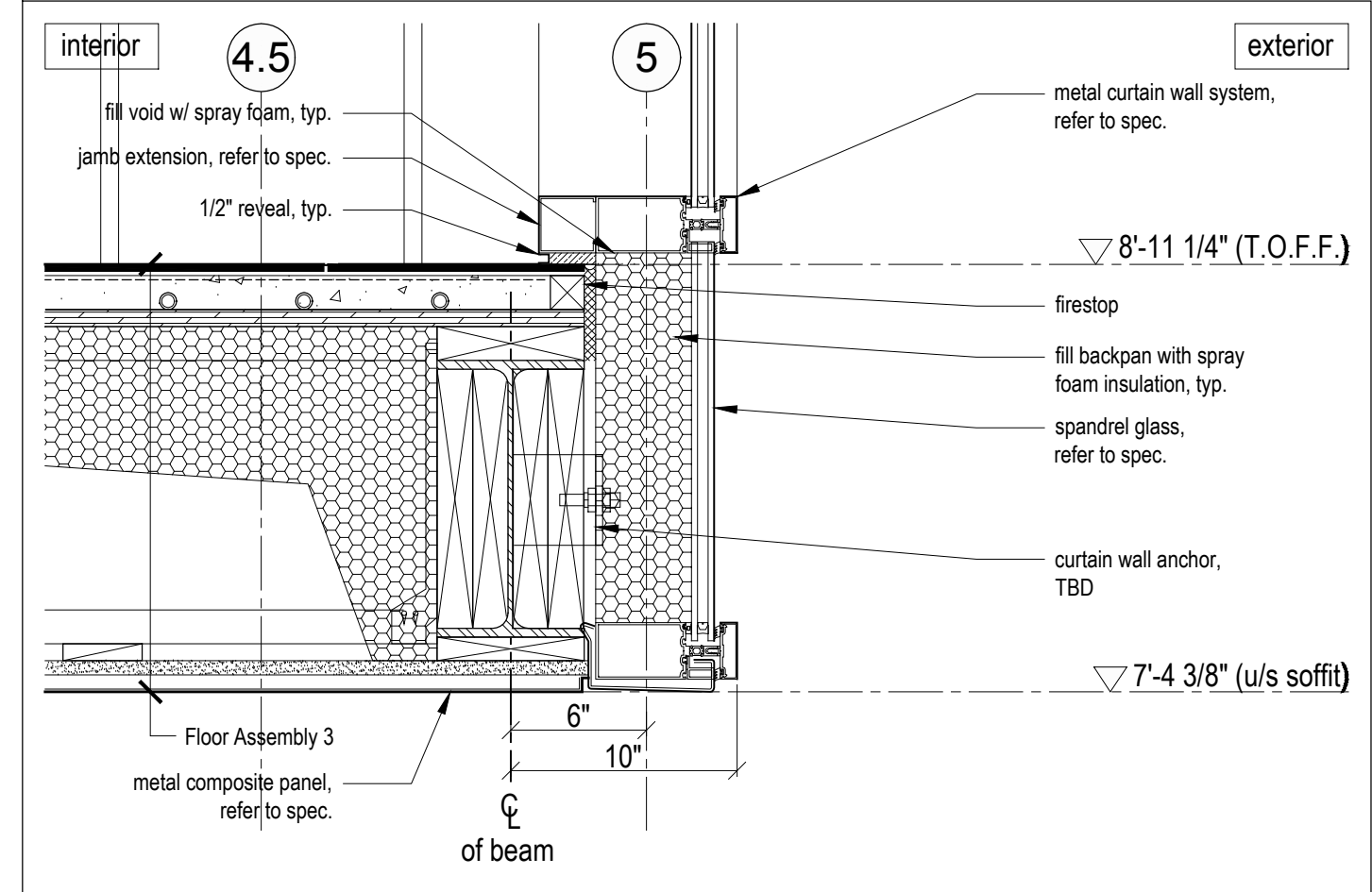
2 Typical Deck/Door Threshold Detail
Scale 1 1/2" = 1'-0"



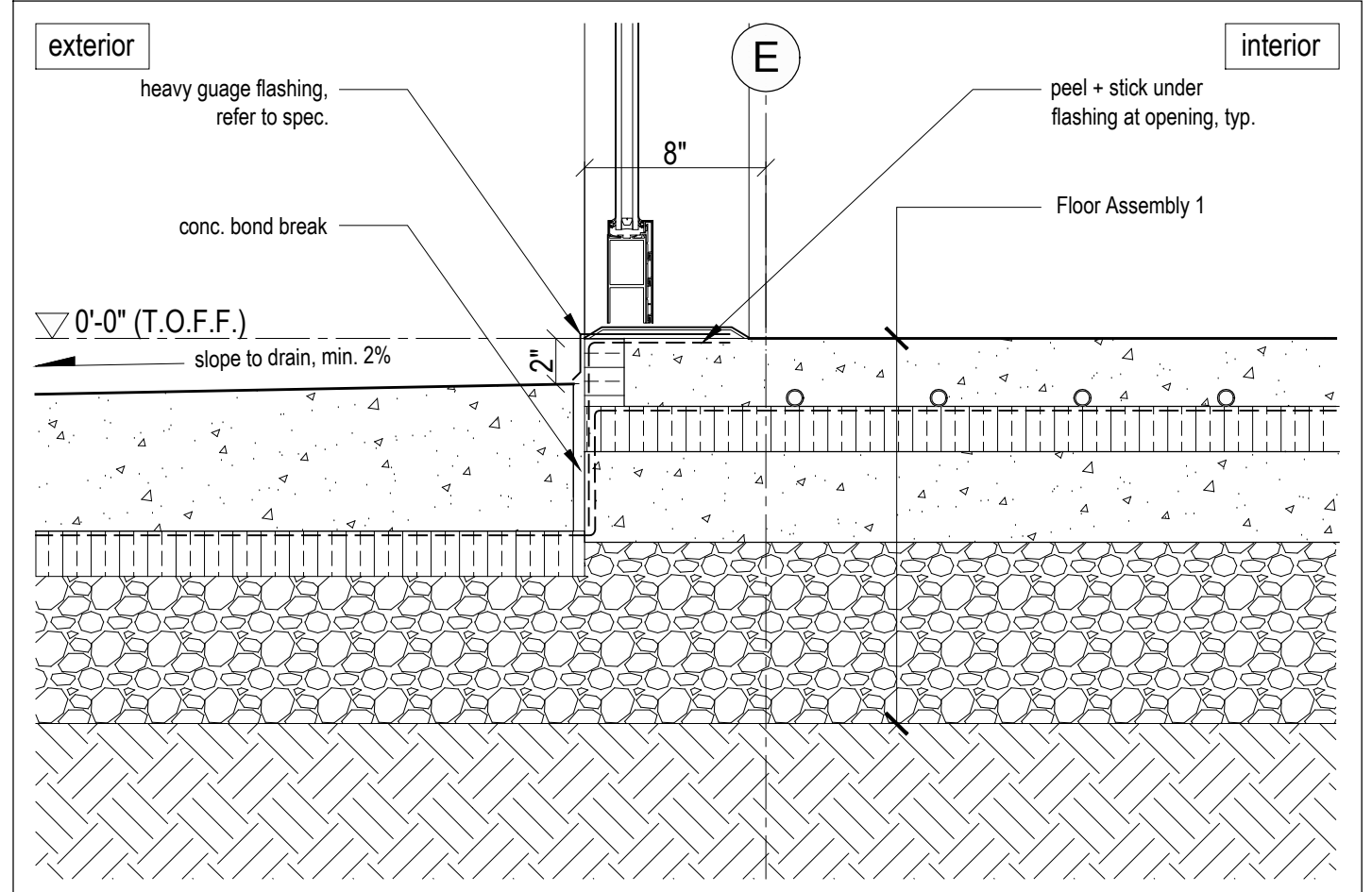
12 Egress Door Head
Scale 1 1/2" = 1'-0"



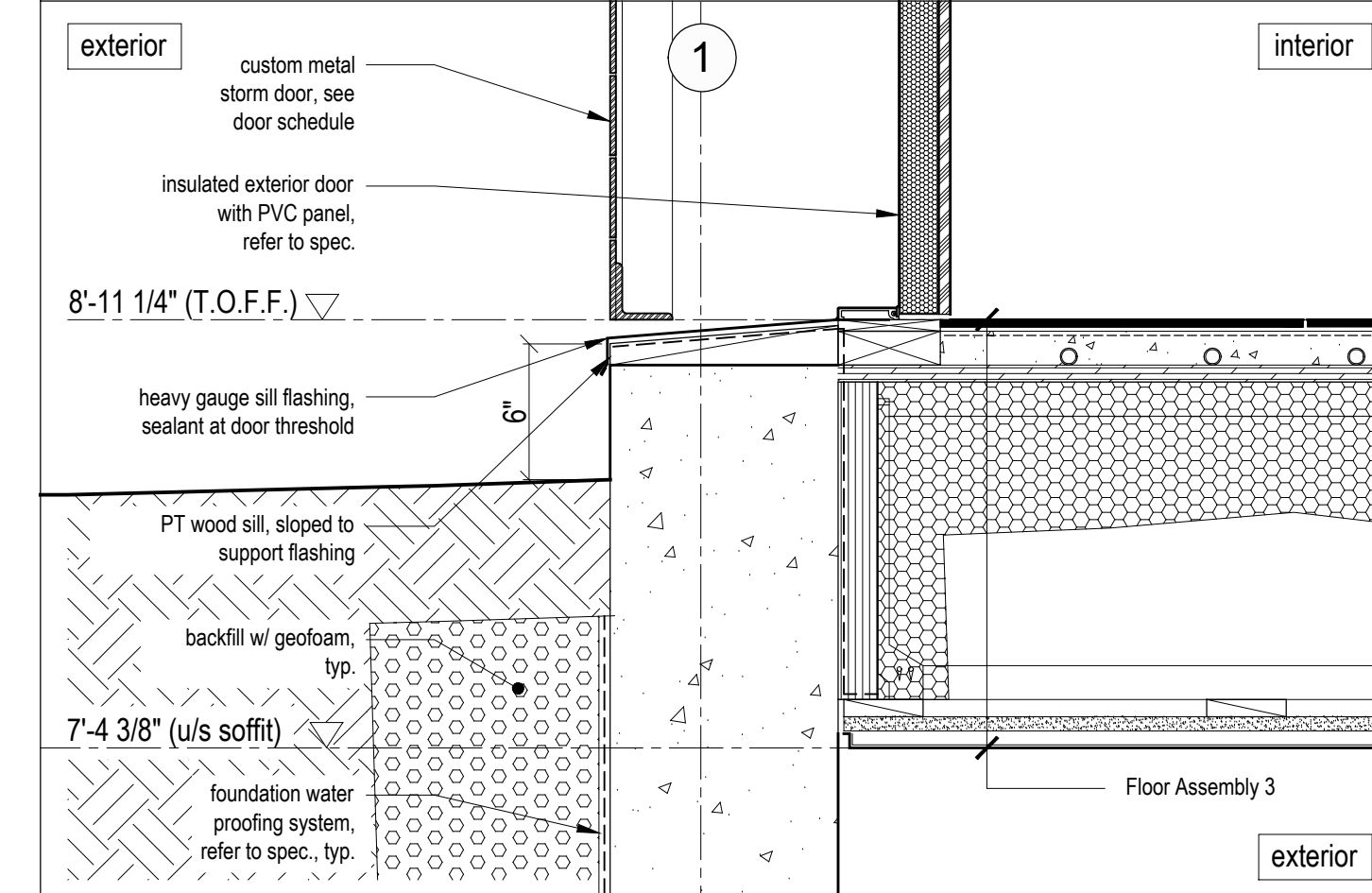
8 Living Room Bottom of Curtain Wall/Cantilever Detail
Scale 1 1/2" = 1'-0"



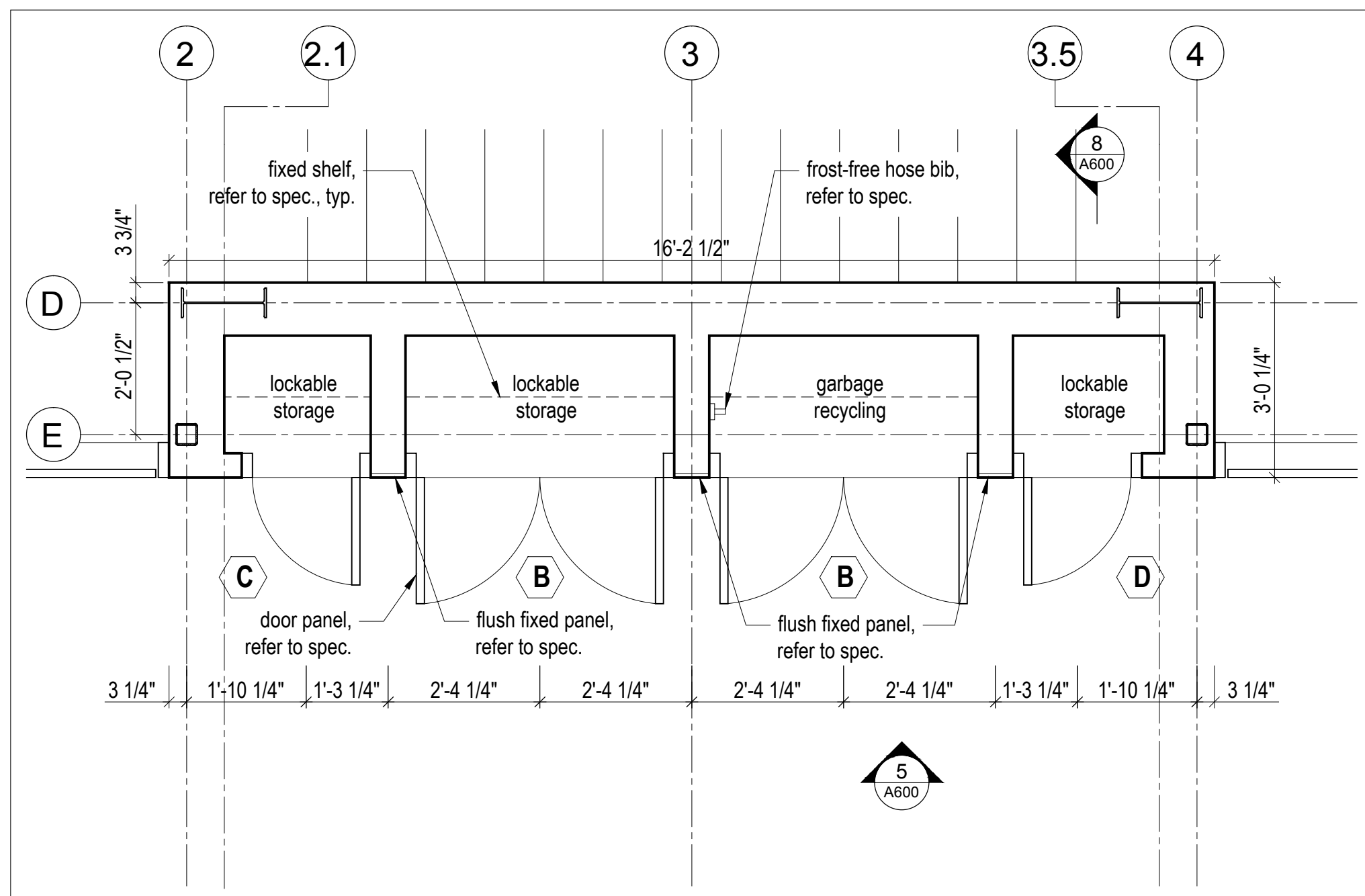
5 Living Room Bottom of Curtain Wall Detail
Scale 1 1/2" = 1'-0"



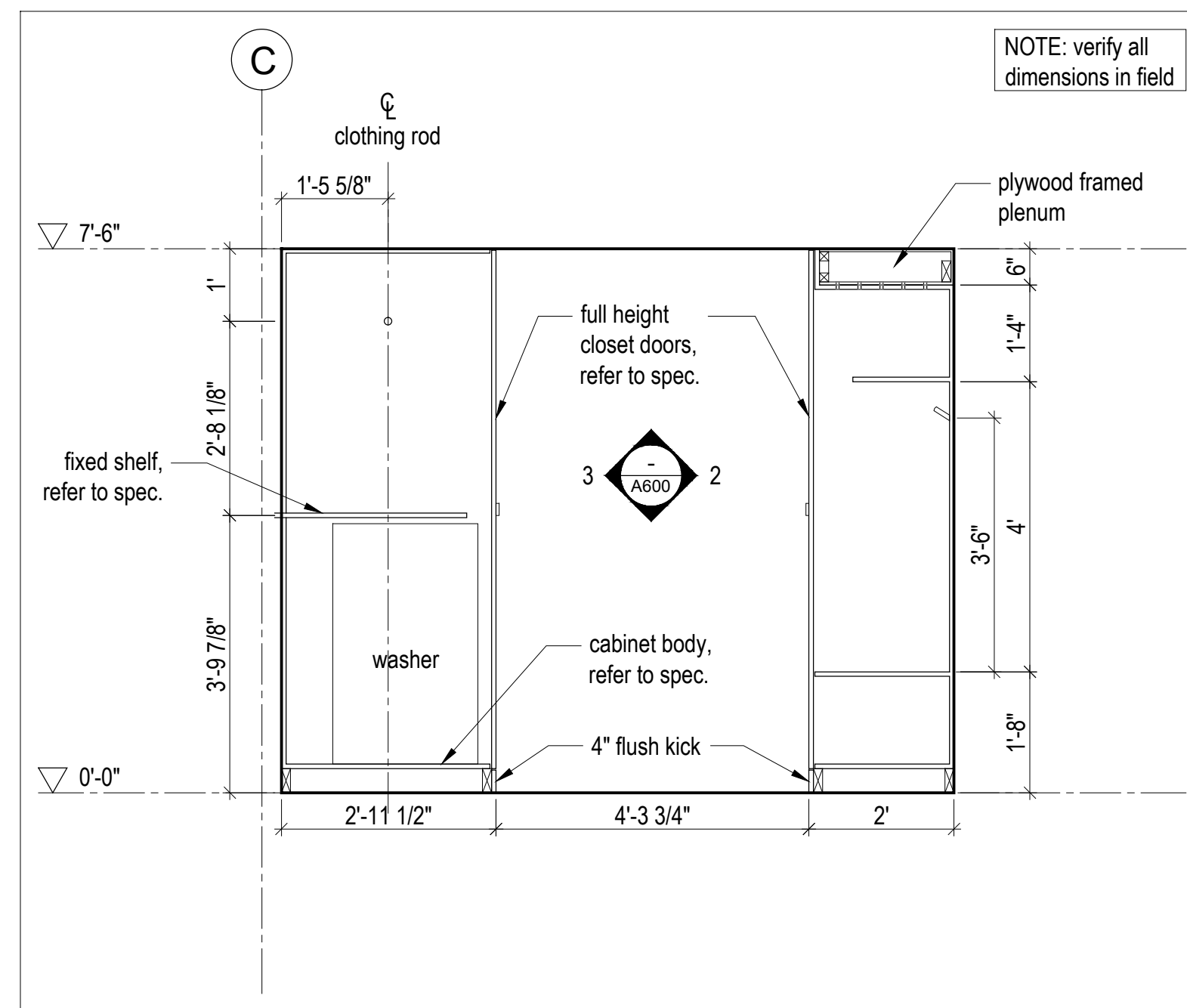
1 Typical Garage Slab/Door Threshold Detail
Scale 1 1/2" = 1'-0"



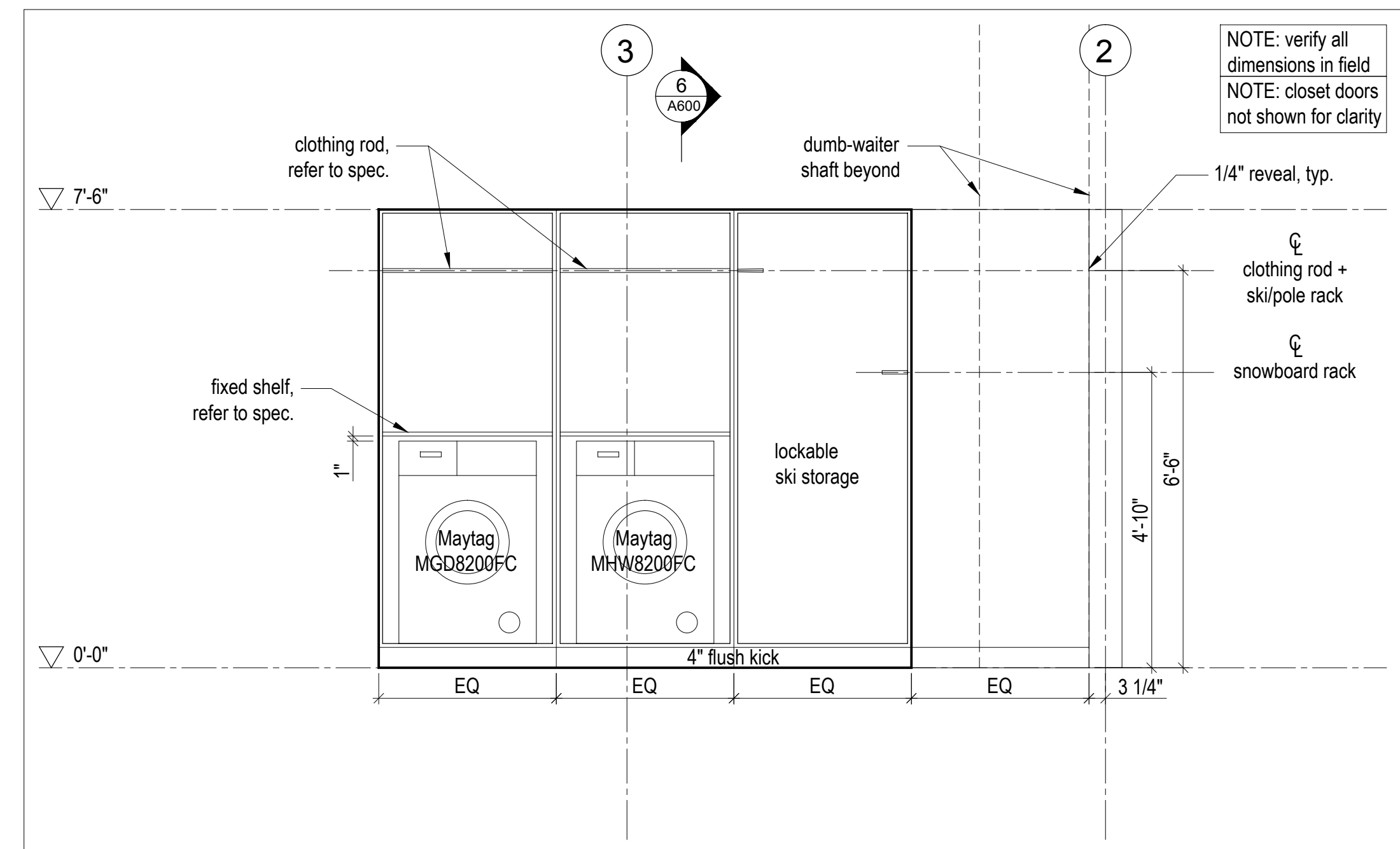
11 Egress Door Sill
Scale 1 1/2" = 1'-0"



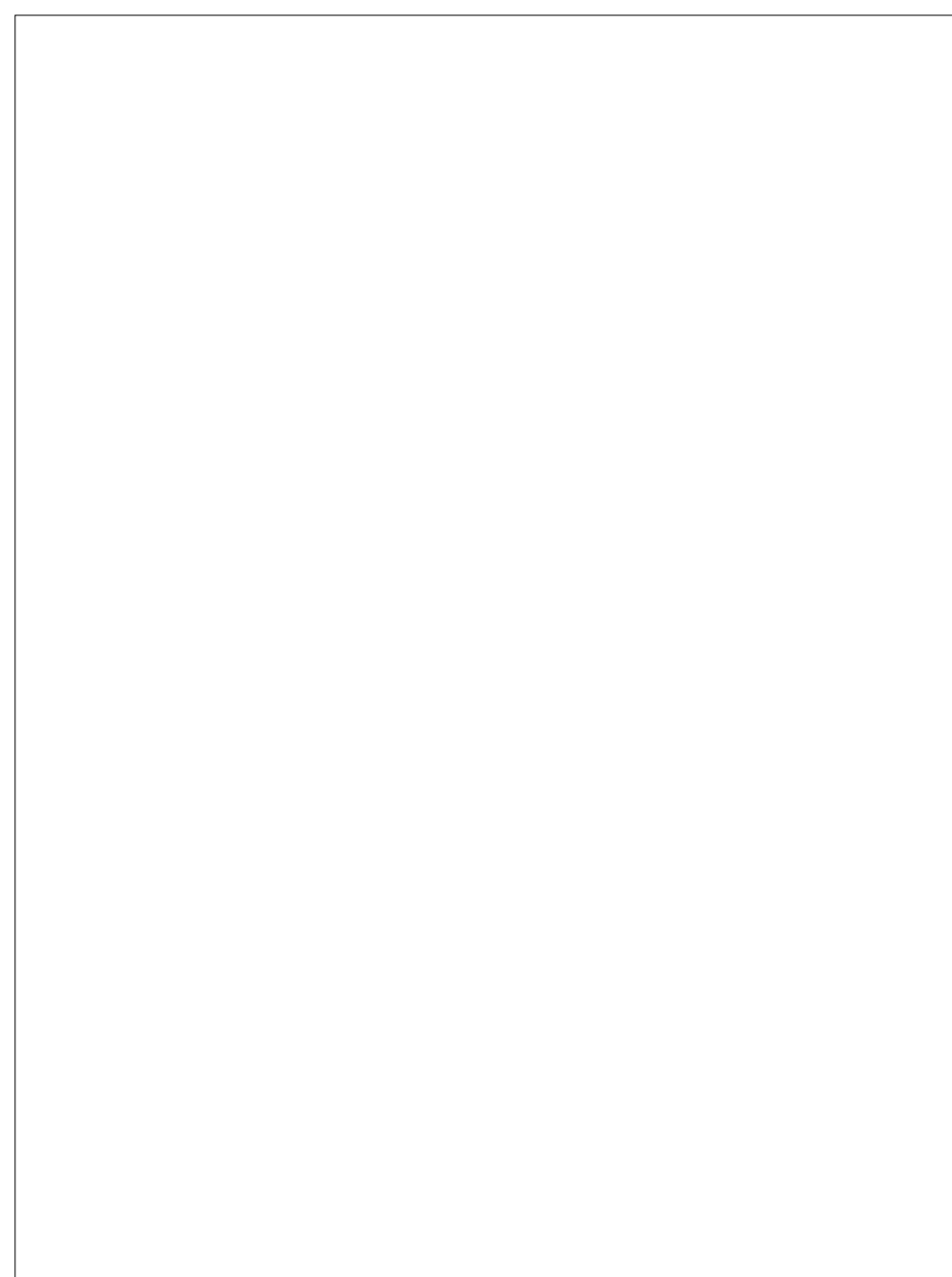
9 Garage Closet - Enlarged Plan
Scale 1/2" = 1'-0"



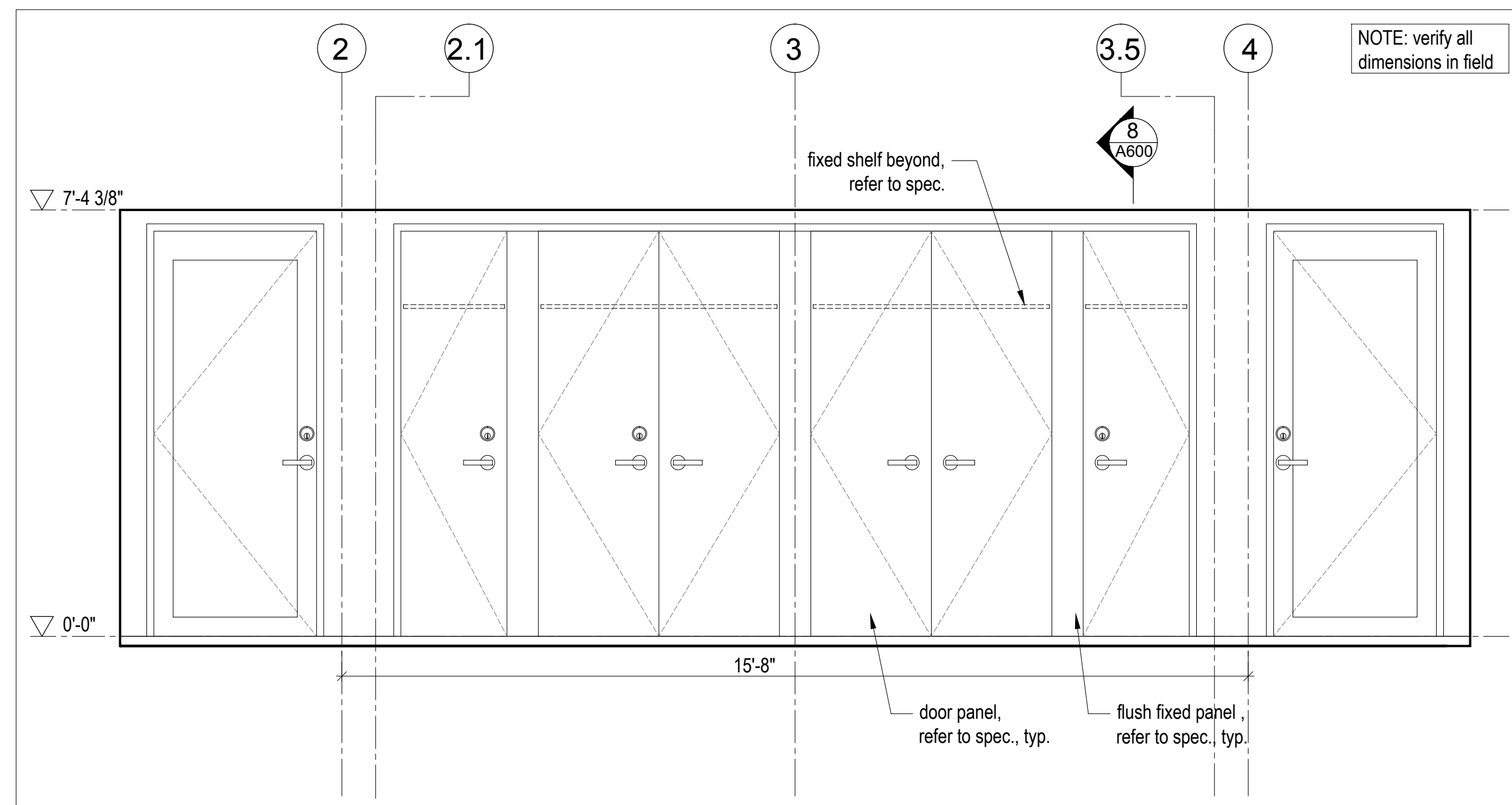
6 Laundry/Ski Equipment Closet- Section Detail
Scale 1/2" = 1'-0"



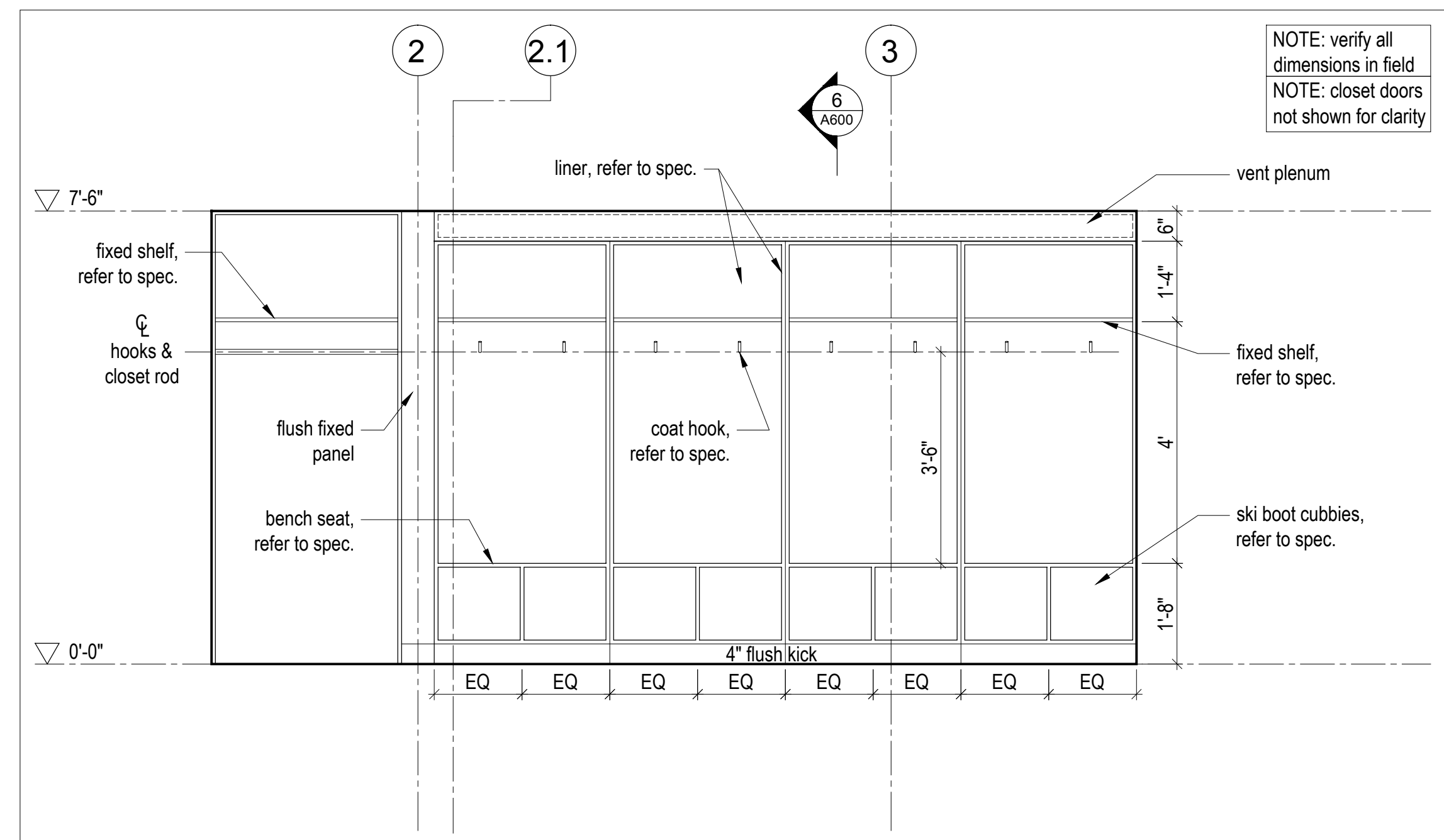
3 Laundry/Ski Equipment Closet - Elevation
Scale 1/2" = 1'-0"



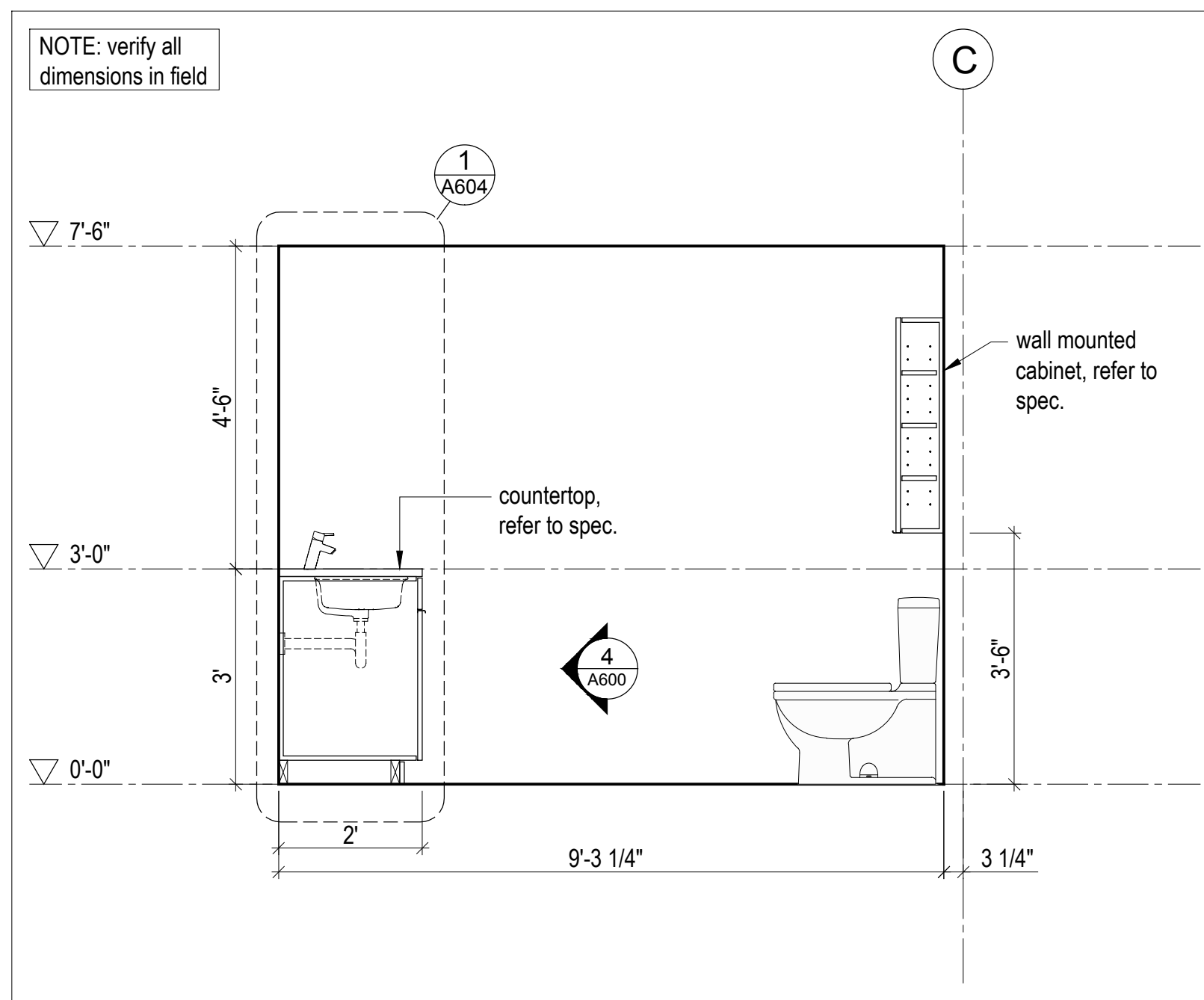
8 NOT USED



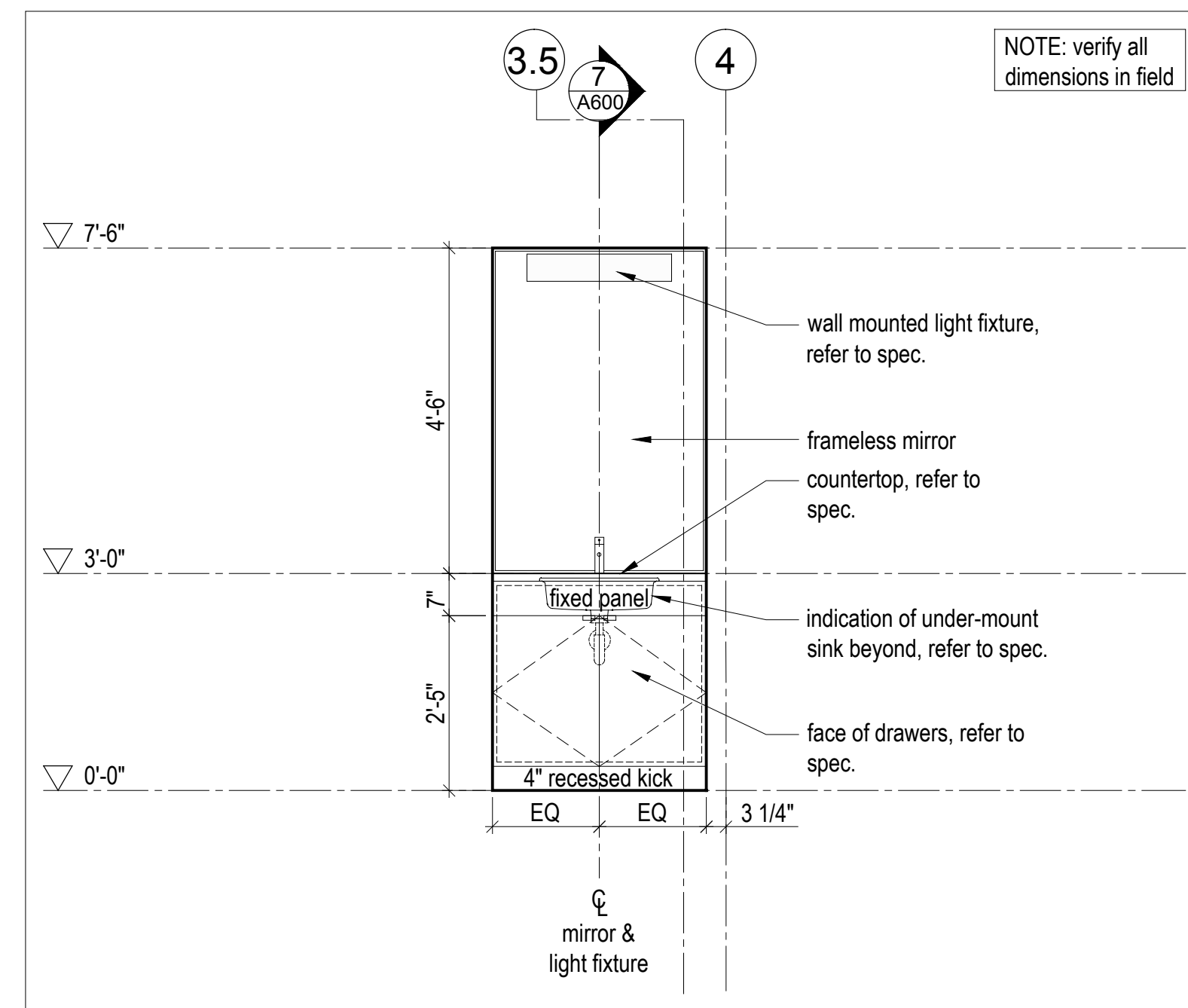
5 Garage Closet - Section Detail
Scale 1/2" = 1'-0"



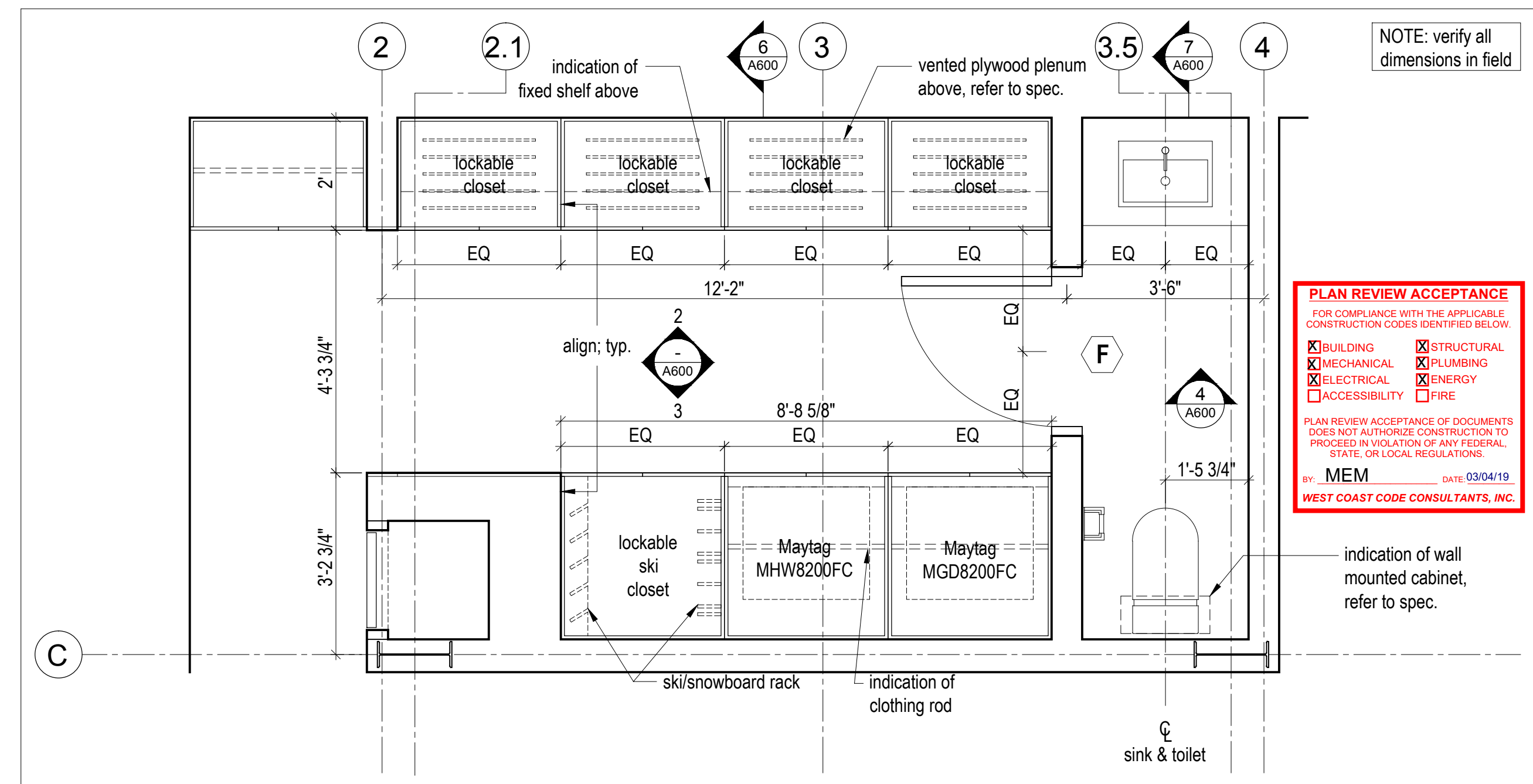
2 Ski Equipment Closet - Elevation
Scale 1/2" = 1'-0"



7 Bathroom - Section Detail
Scale 1/2" = 1'-0"



4 Bathroom - Elevation
Scale 1/2" = 1'-0"



1 Bathroom - Enlarged Plan
Scale 1/2" = 1'-0"

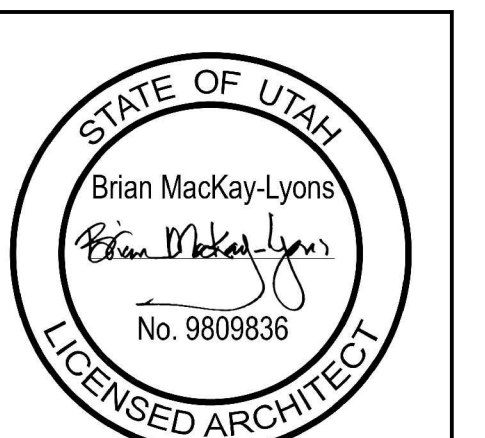
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Summit Powder Mountain
Evan, Utah

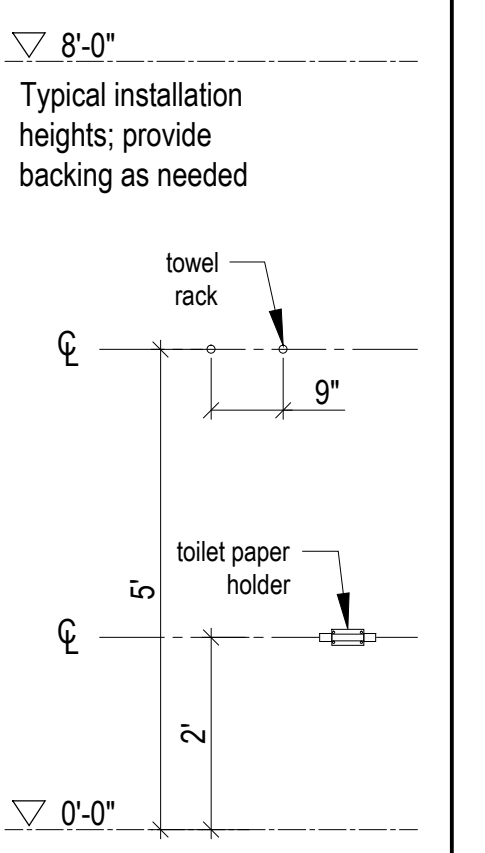
MacKay-Lyons
Sweetapple
Architects
Limited

2188 Göttingen St.
Halifax, Nova Scotia
Canada B3K 3B4

ph: (902) 429.1867
fax: (902) 429.6276



NOTE: all dimensions to be verified in field



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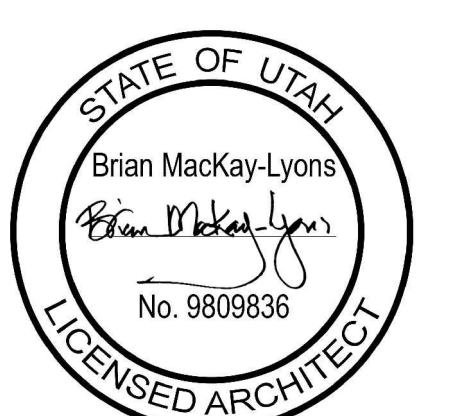
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BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

Millwork -
Ground Floor

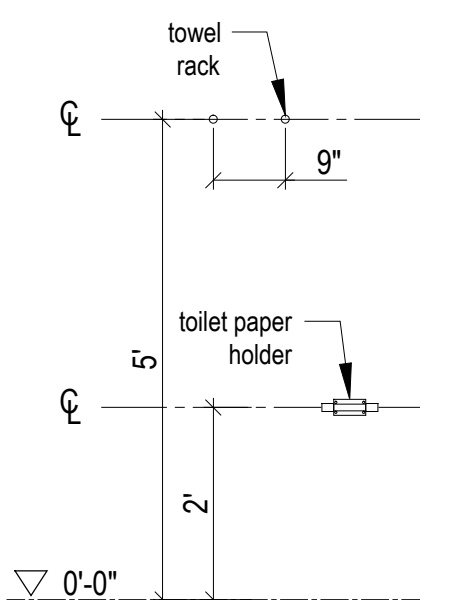
scale: 1/2" = 1'-0"
date: 17-11-23
drawn: RD
chk'd: BML

A600



NOTE: all dimensions to be verified in field

8'-0"
Typical installation heights; provide backing as needed



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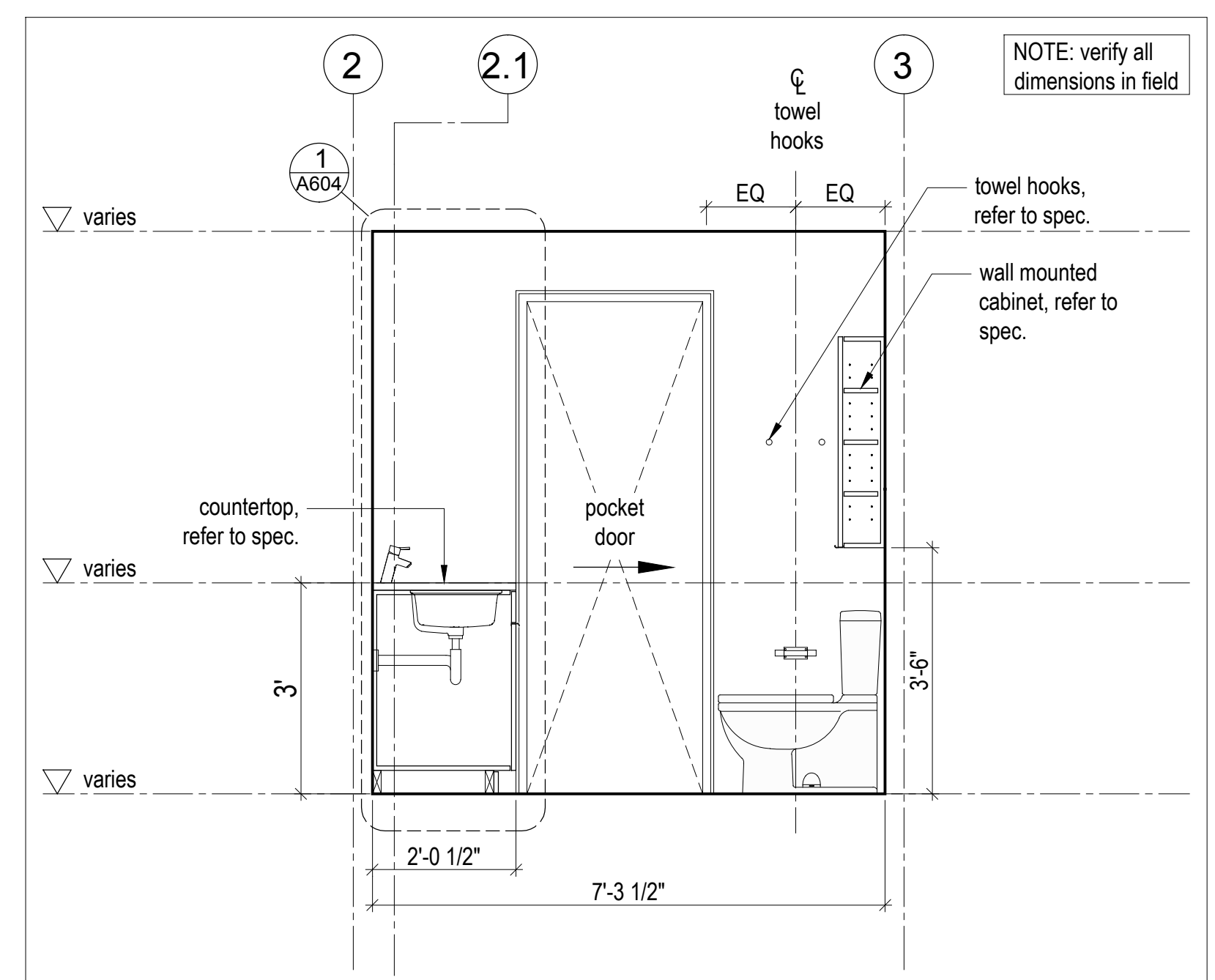
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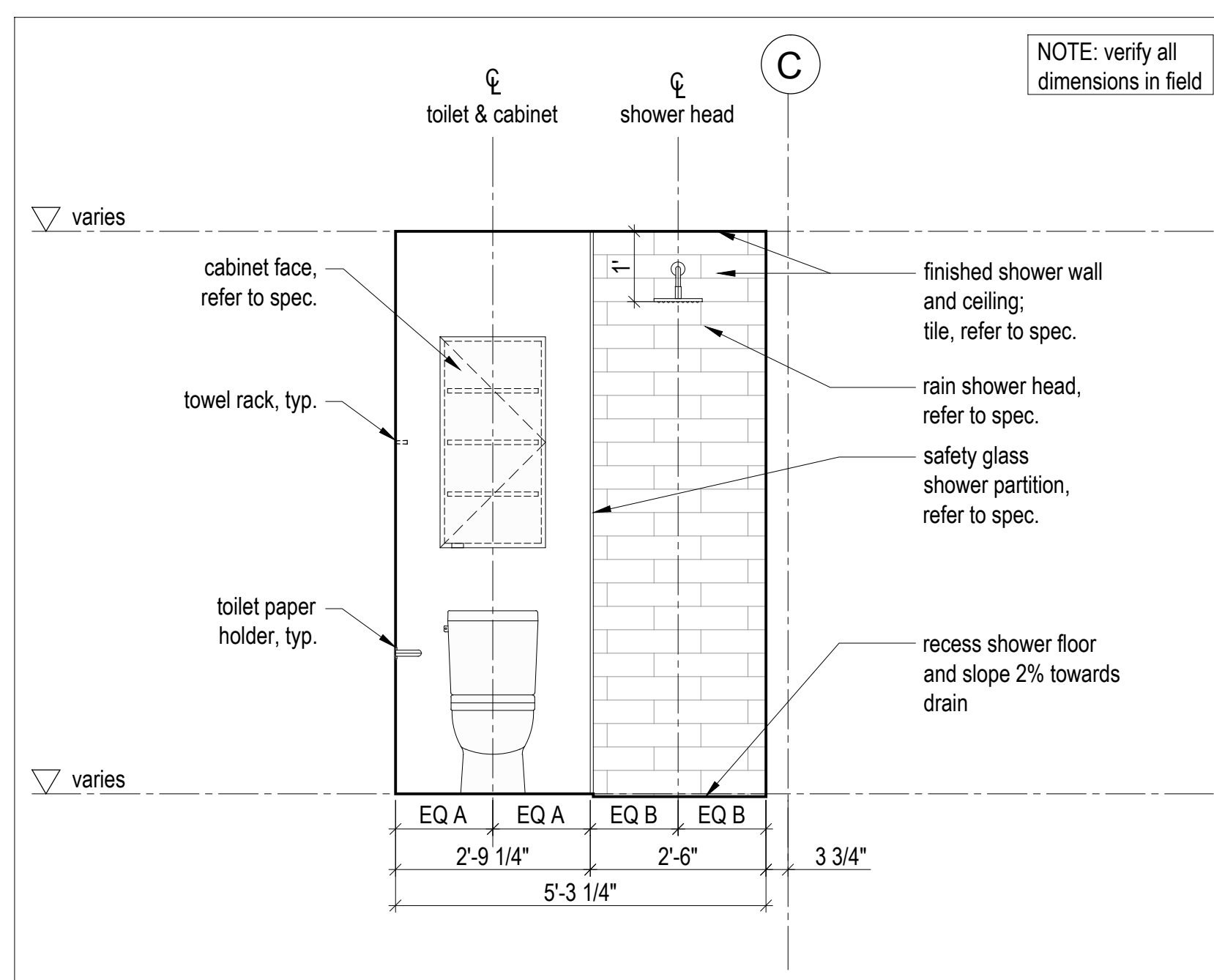
Millwork -
Second Floor

scale: 1/2" = 1'-0"
date: 17-11-23
drawn: RD
chk'd: BML

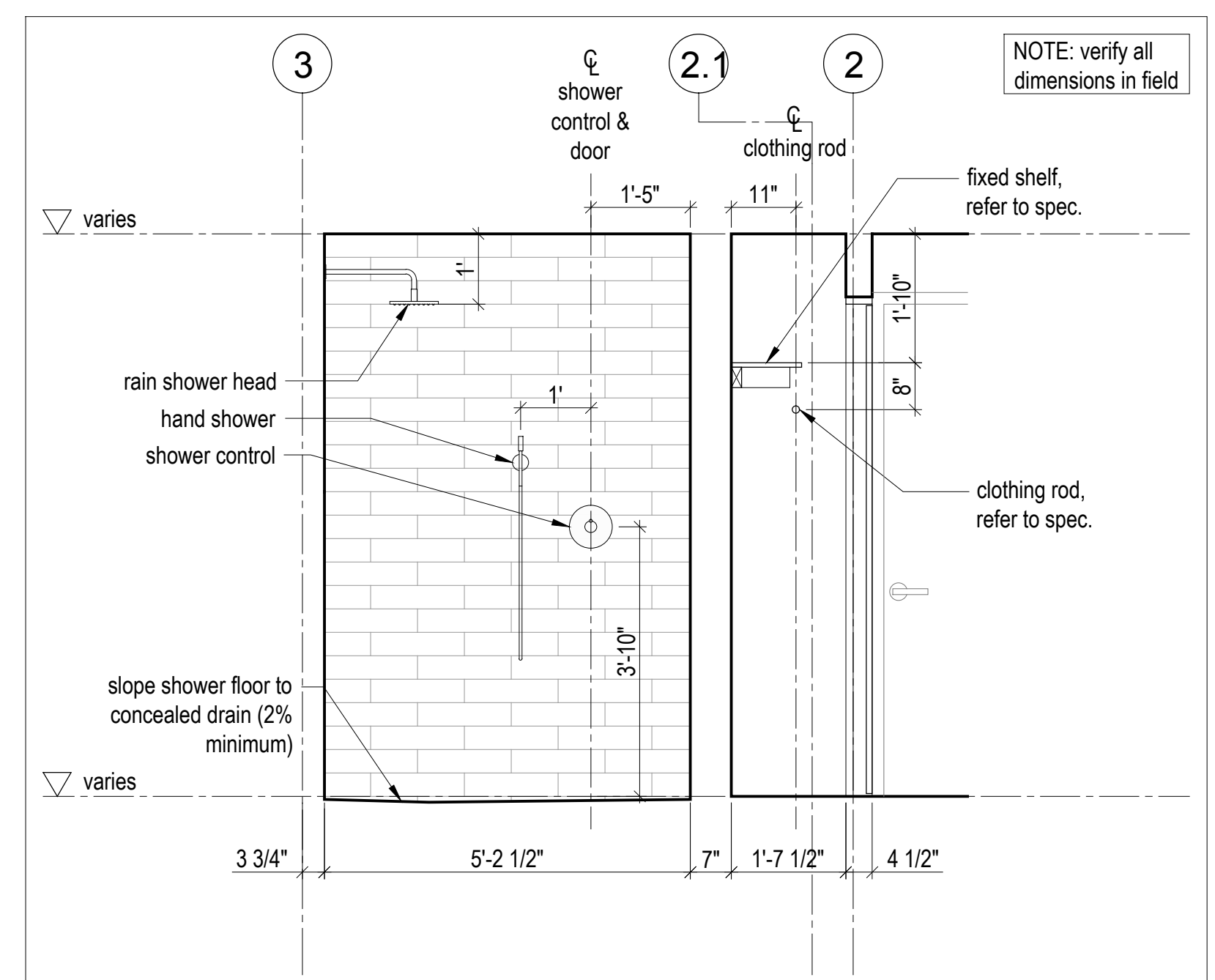
A601



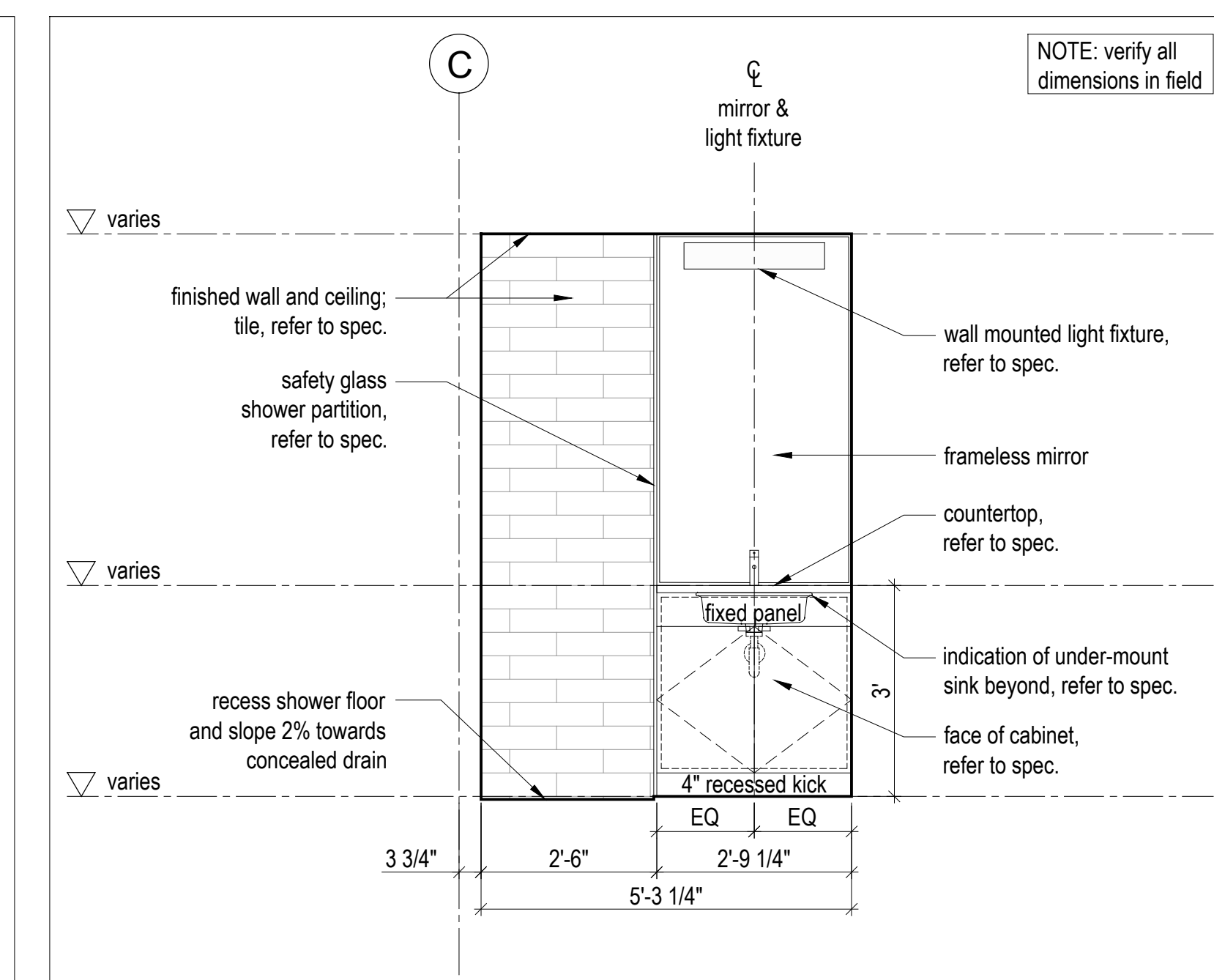
3
A601
Ensuite - Section Detail, Typ.
Scale 1/2" = 1'-0"



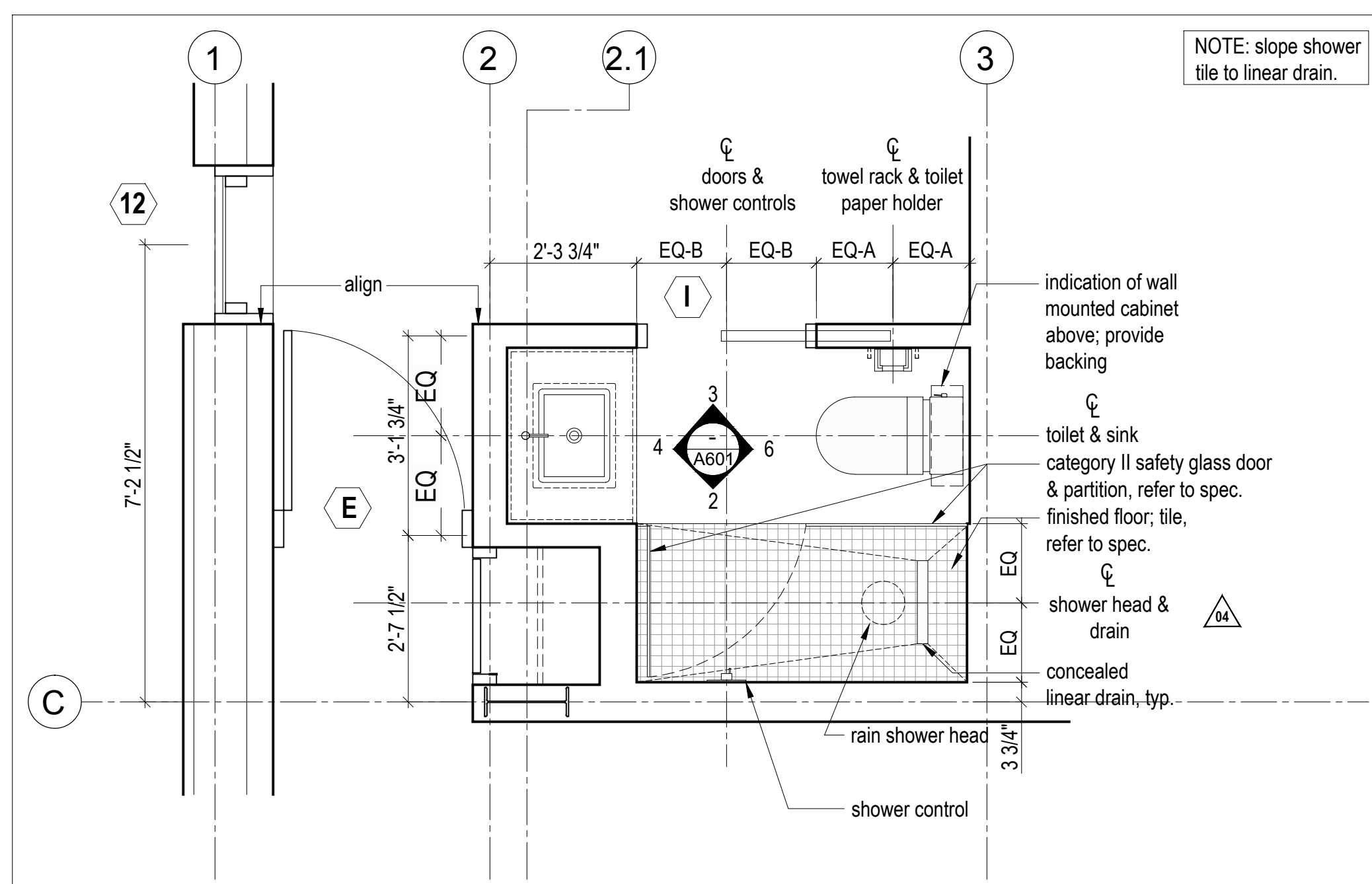
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A601
Ensuite - Elevation, Typ.
Scale 1/2" = 1'-0"



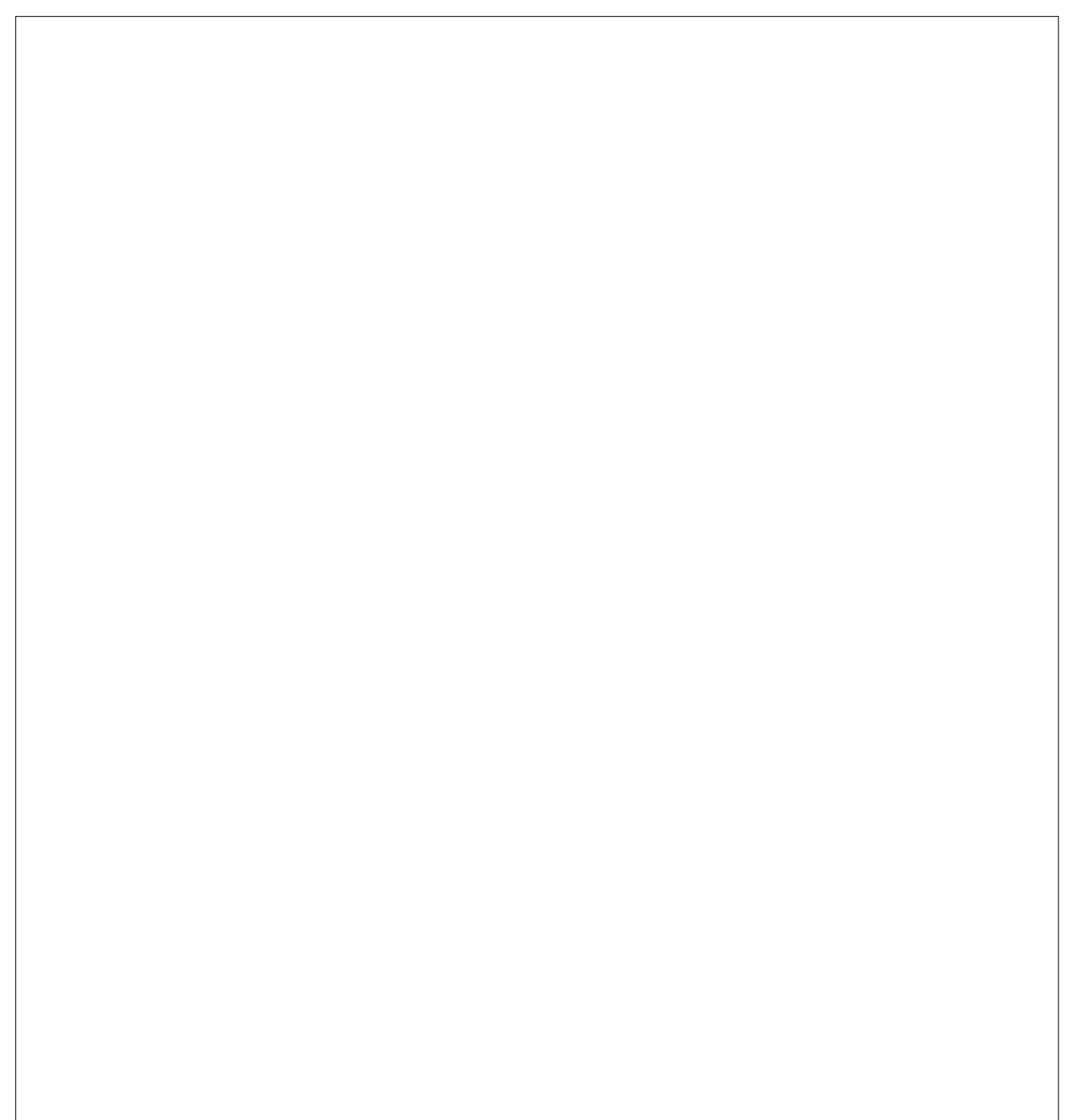
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A601
Ensuite - Elevation, Typ.
Scale 1/2" = 1'-0"



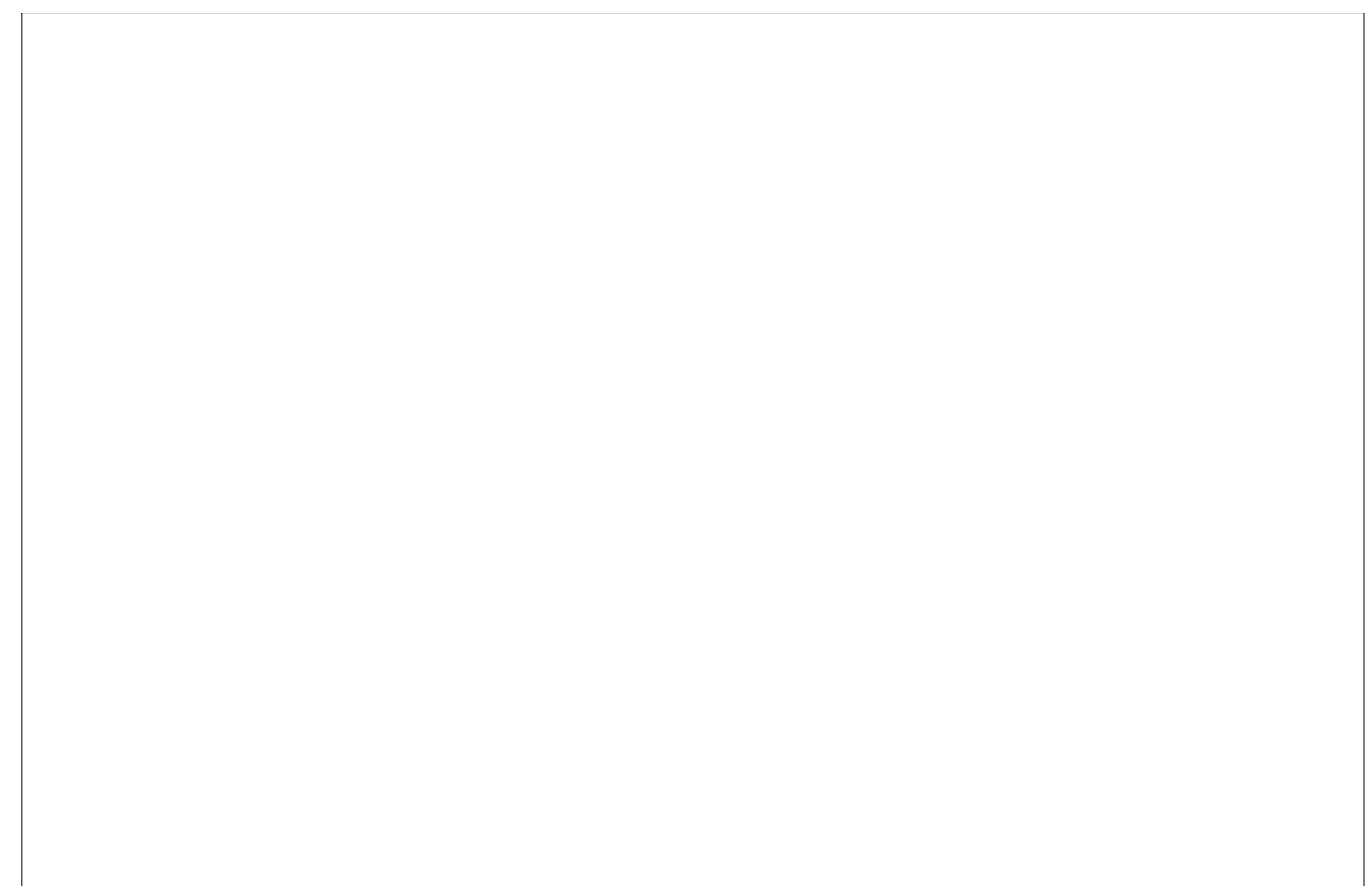
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A601
Ensuite - Elevation, Typ.
Scale 1/2" = 1'-0"



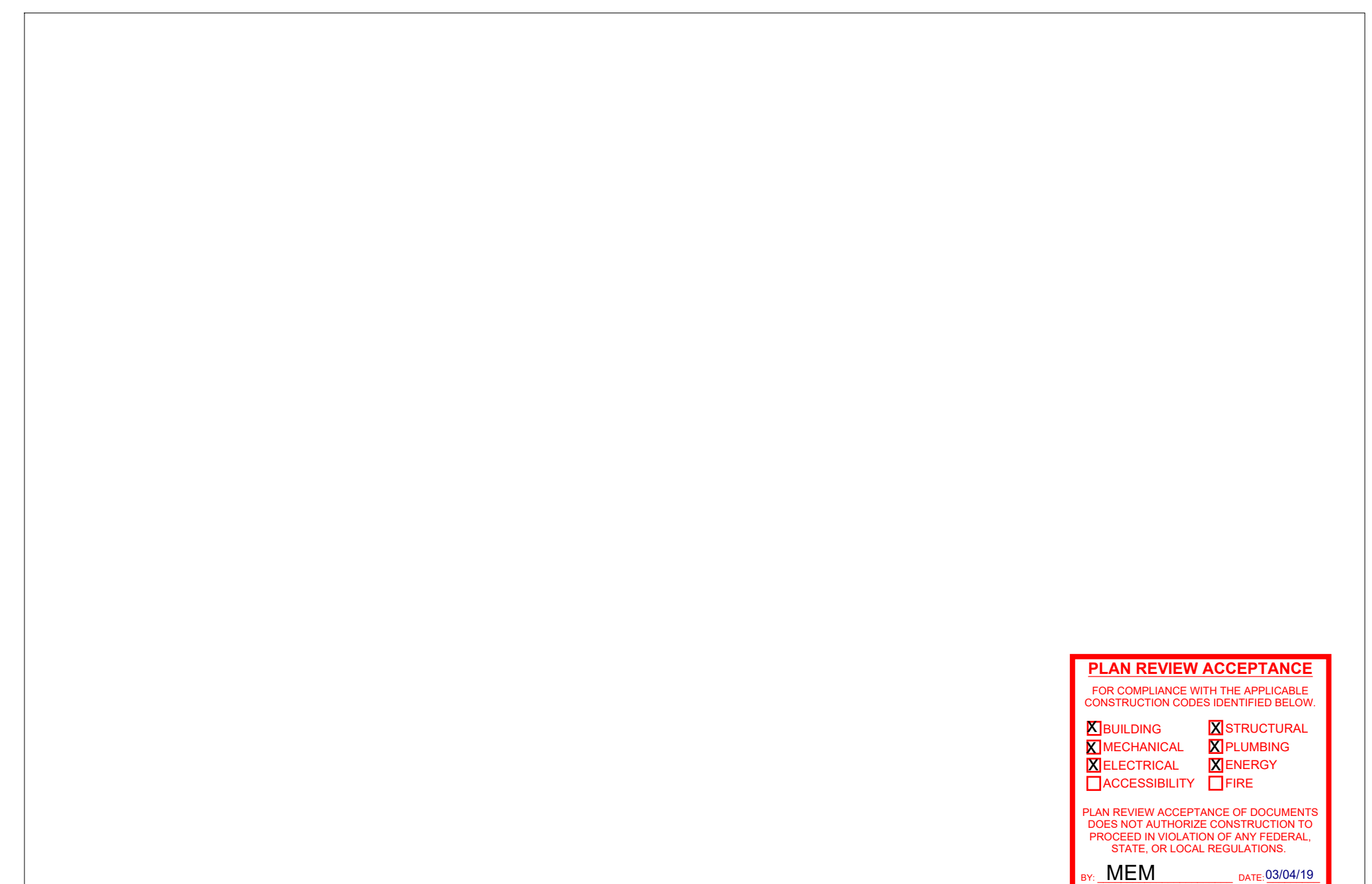
8
A601
Ensuite - Enlarged Plan, Typ.
Scale 1/2" = 1'-0"



7
A601
Not Used
Scale 1/2" = 1'-0"



4
A601
Not Used
Scale 1/2" = 1'-0"



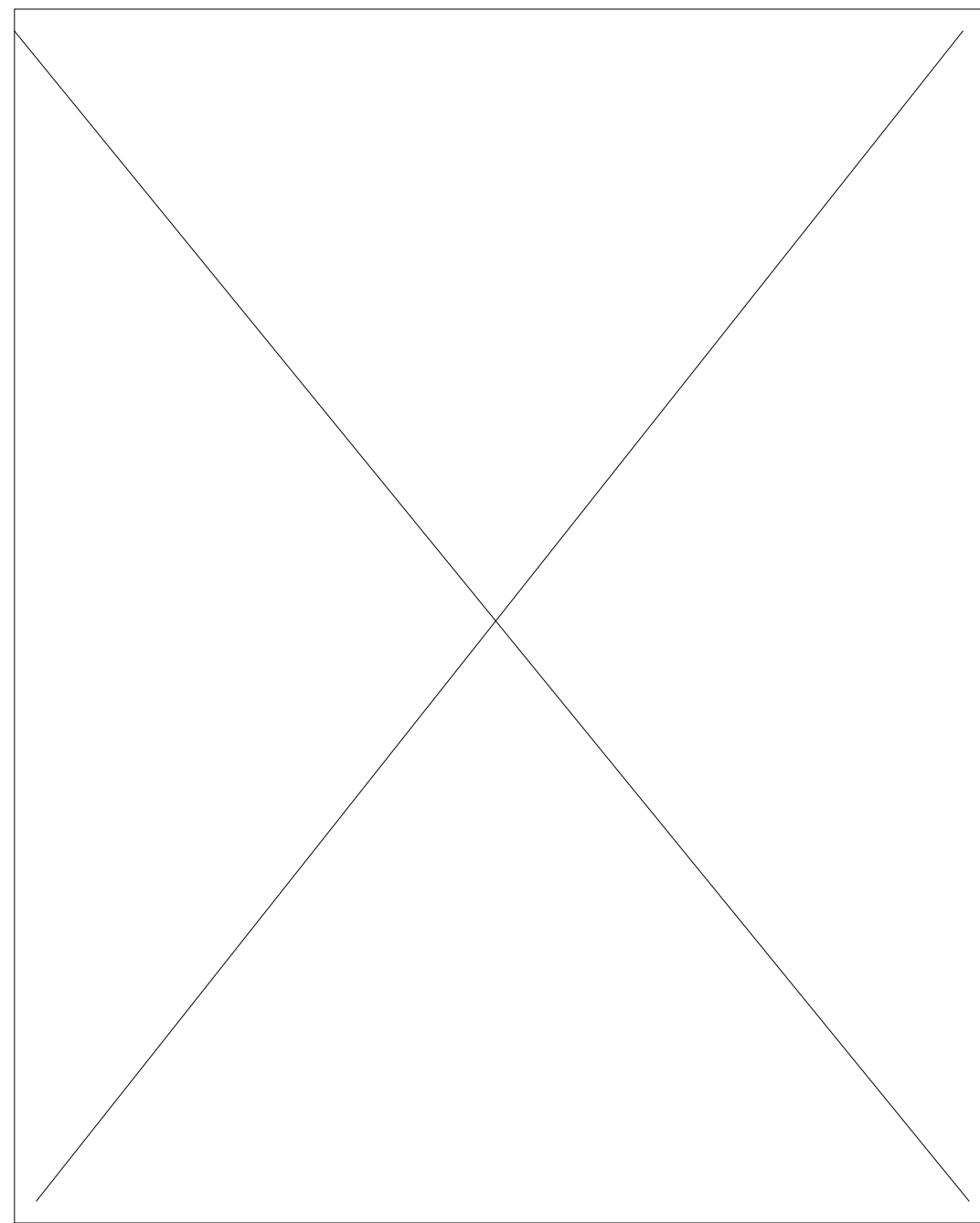
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A601
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Scale 1/2" = 1'-0"

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FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

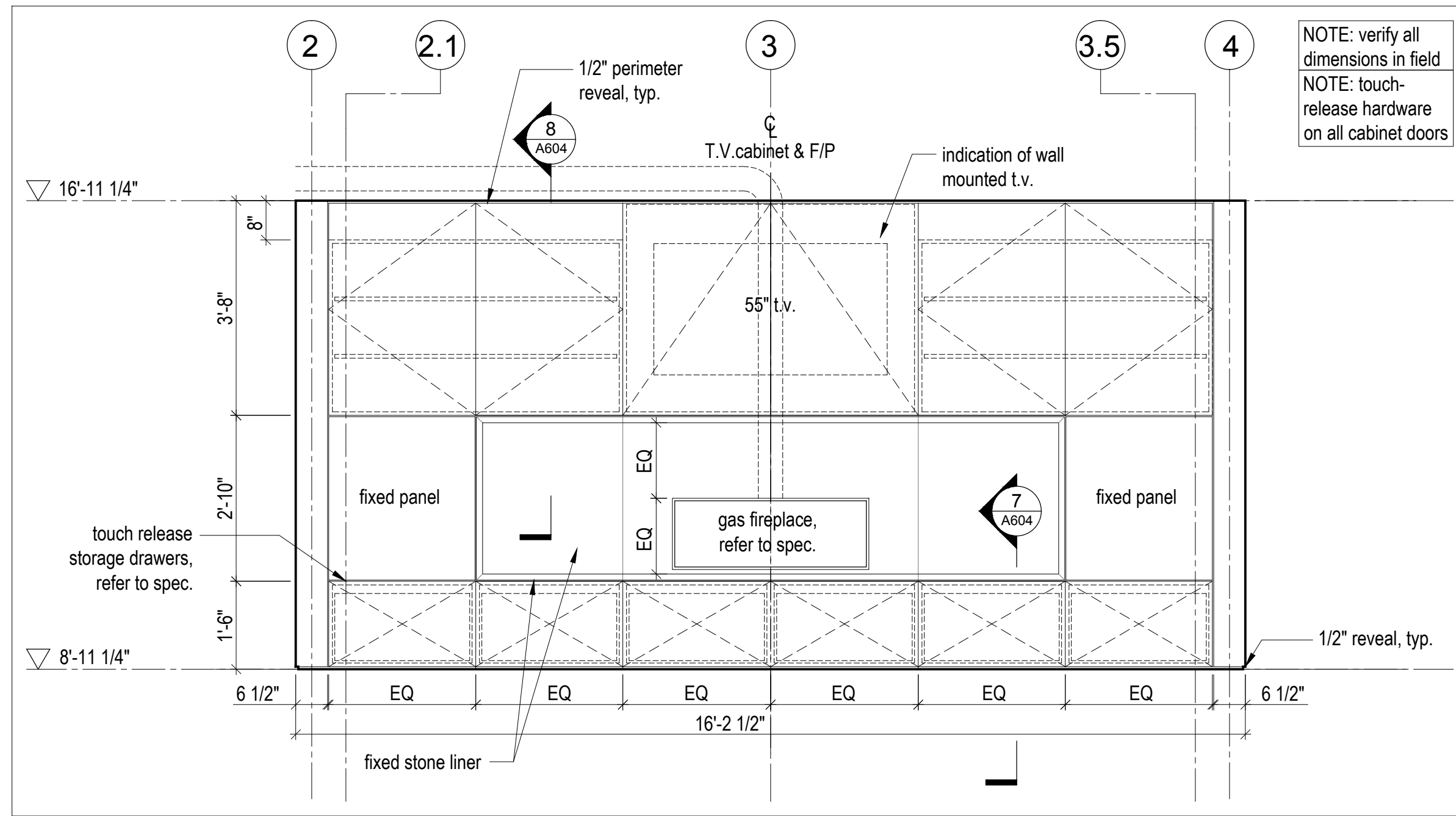
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<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

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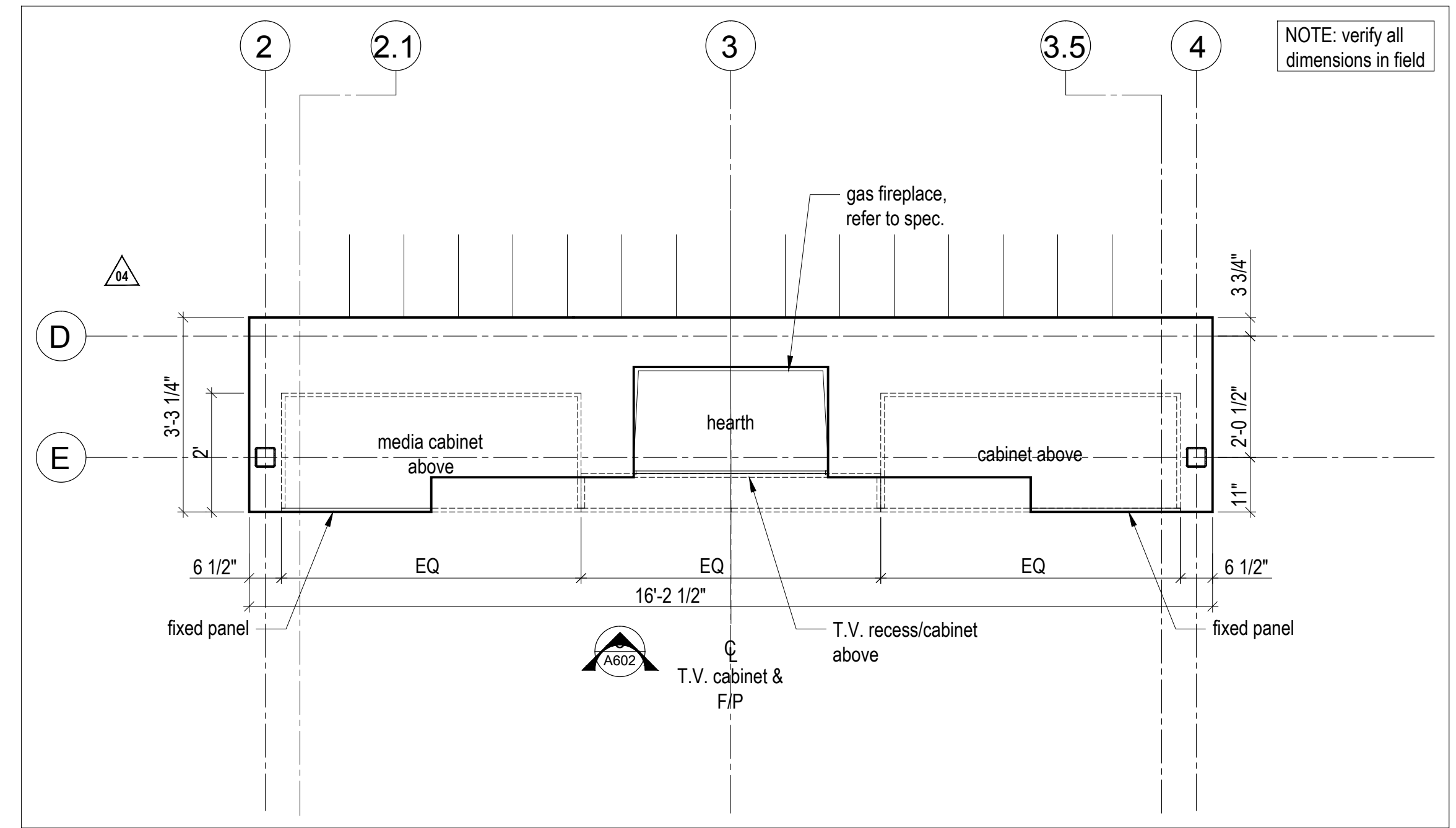
BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.



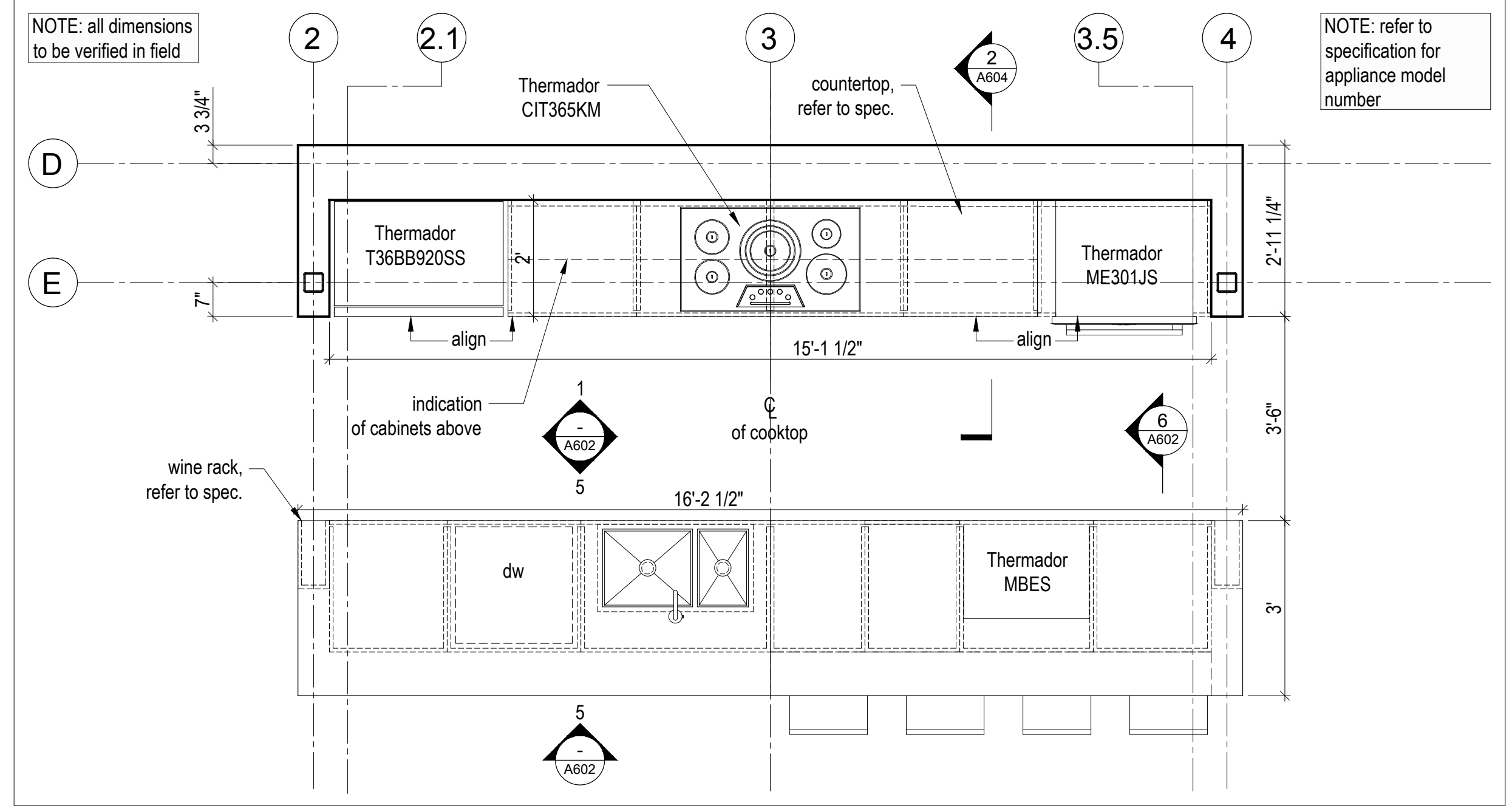
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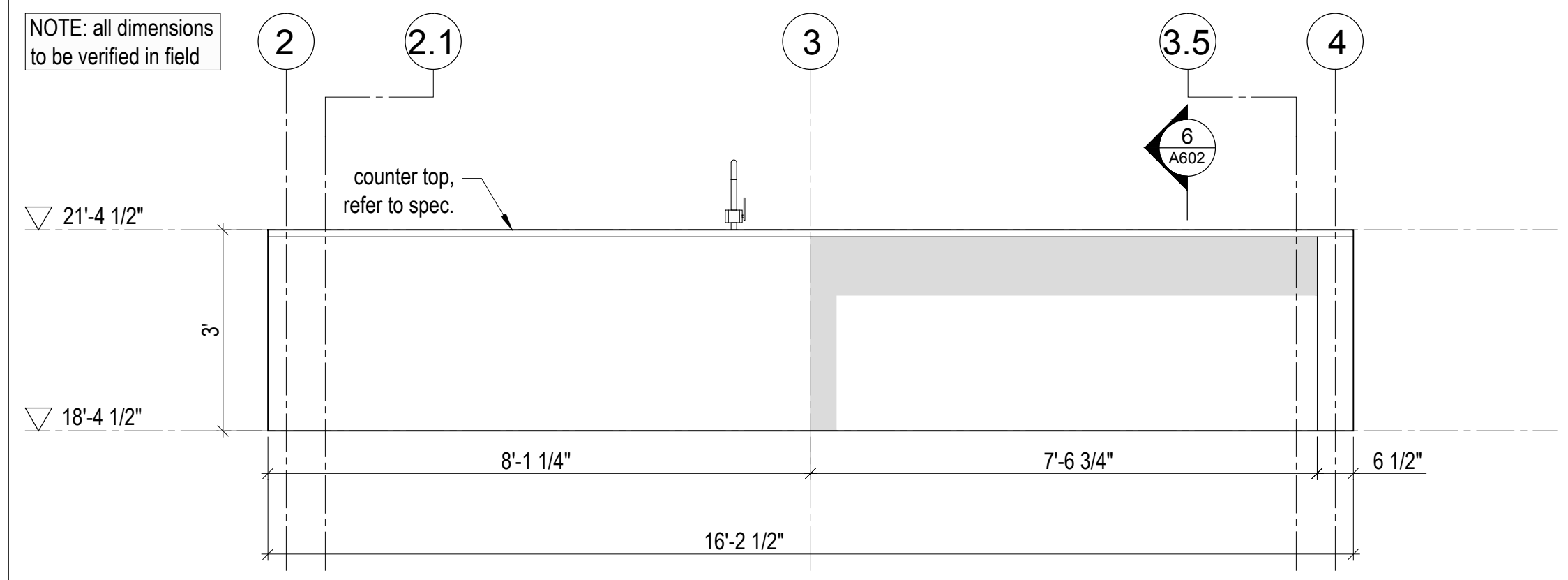
8 Hearth - Elevation
Scale 1/2" = 1'-0"



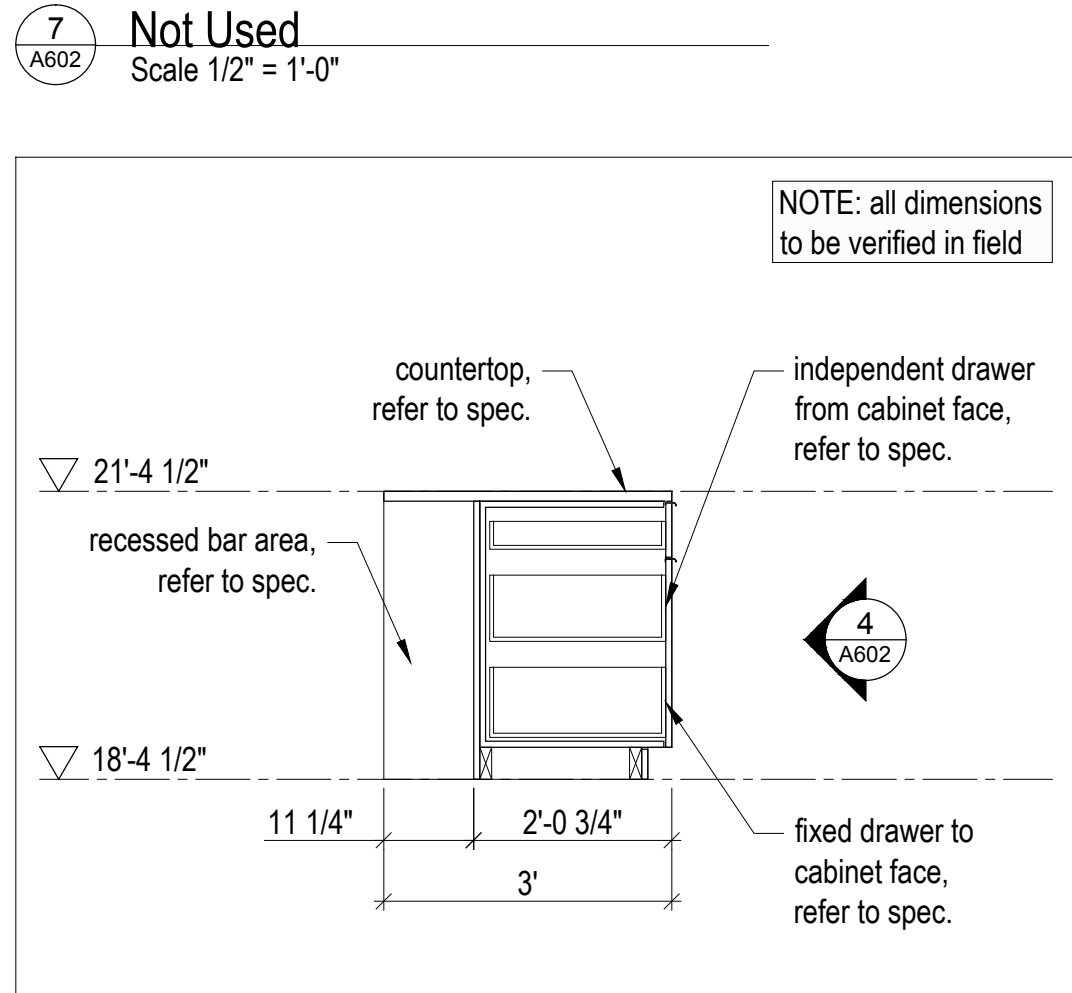
3 Hearth - Enlarged Plan
Scale 1/2" = 1'-0"



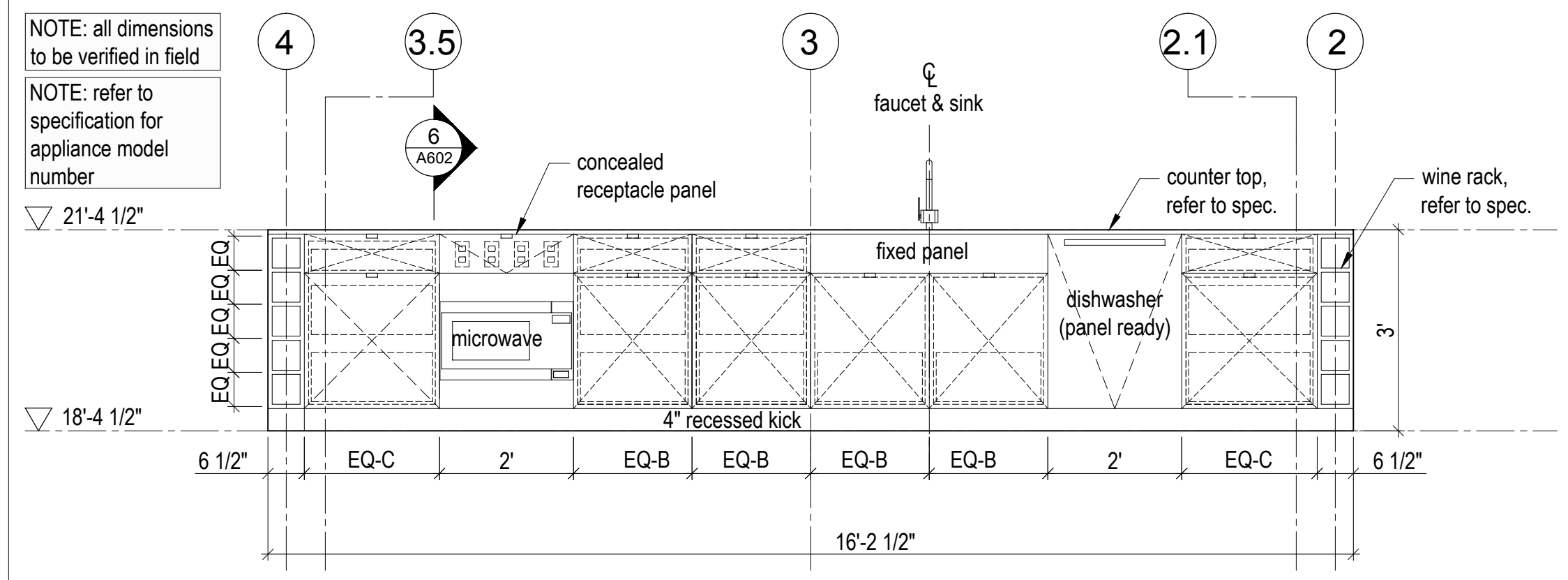
2 Kitchen - Enlarged Plan
Scale 1/2" = 1'-0"



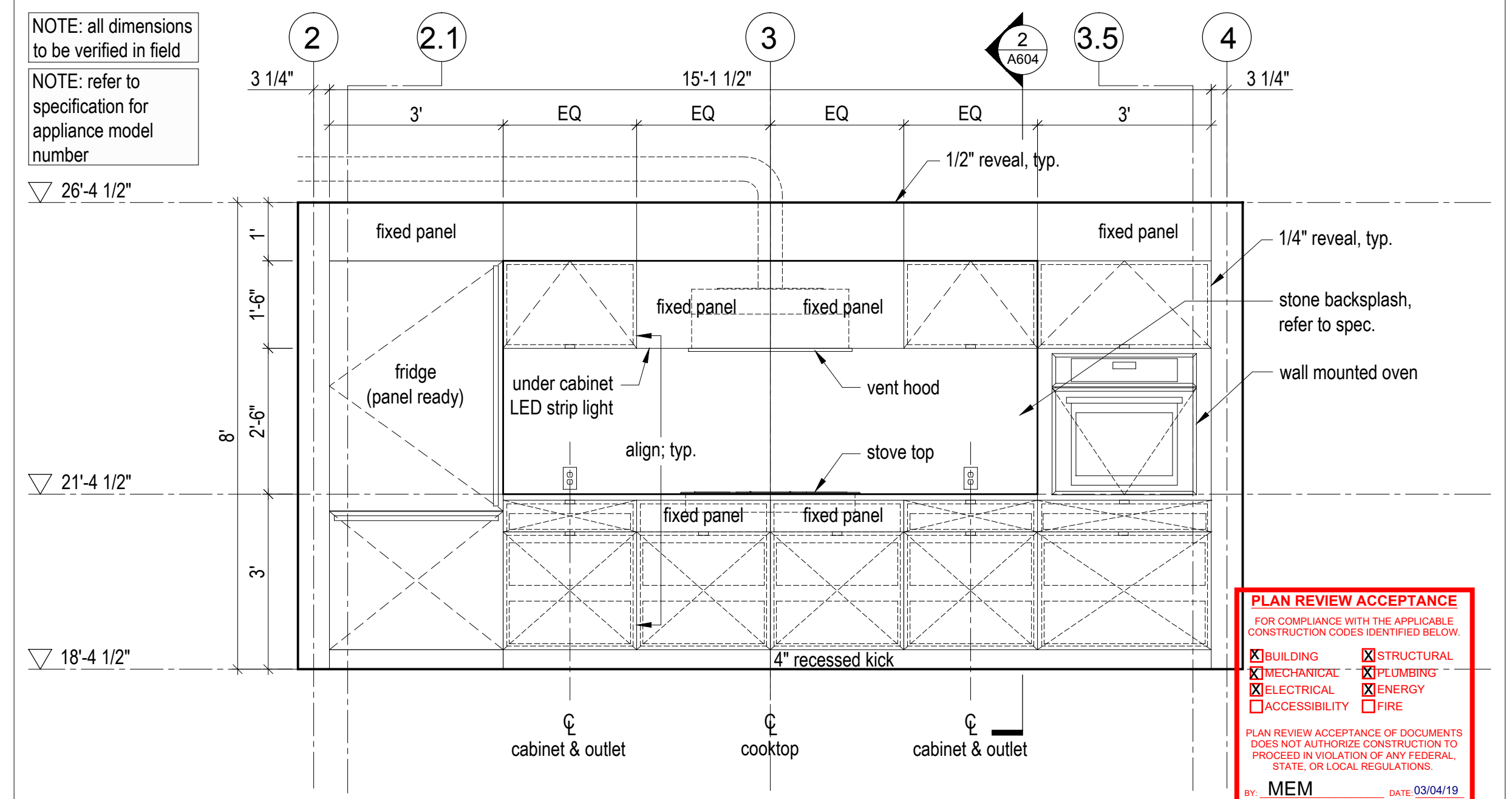
5 Kitchen Island - Elevation
Scale 1/2" = 1'-0"



6 Kitchen Island - Section Detail
Scale 1/2" = 1'-0"



4 Kitchen Island - Elevation
Scale 1/2" = 1'-0"

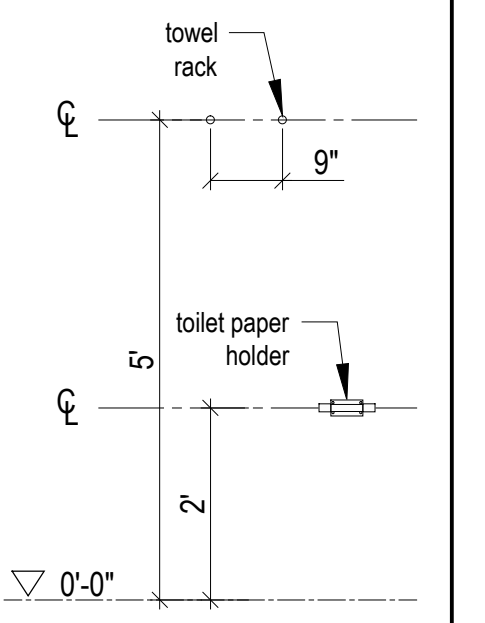


1 Kitchen - Elevation
Scale 1/2" = 1'-0"



NOTE: all dimensions to be verified in field

8'-0"
Typical installation heights; provide backing as needed



No.	Description	Date
5	IFC Rev 02	2019.02.08
4	IFC Rev 01	2018.06.29
3	Issued for Construction	2018.03.13
2	Issued for Tender	2017.12.22
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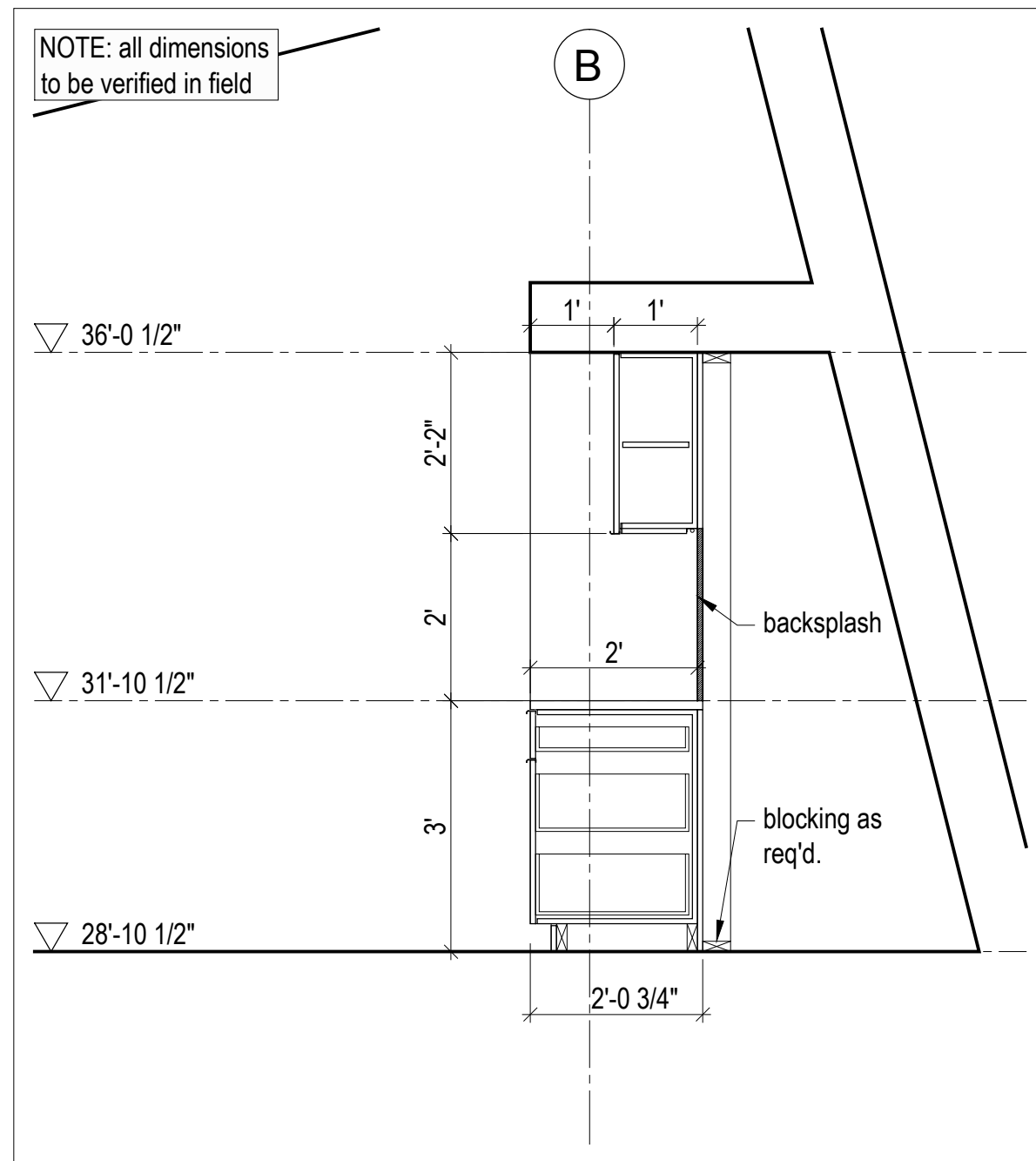
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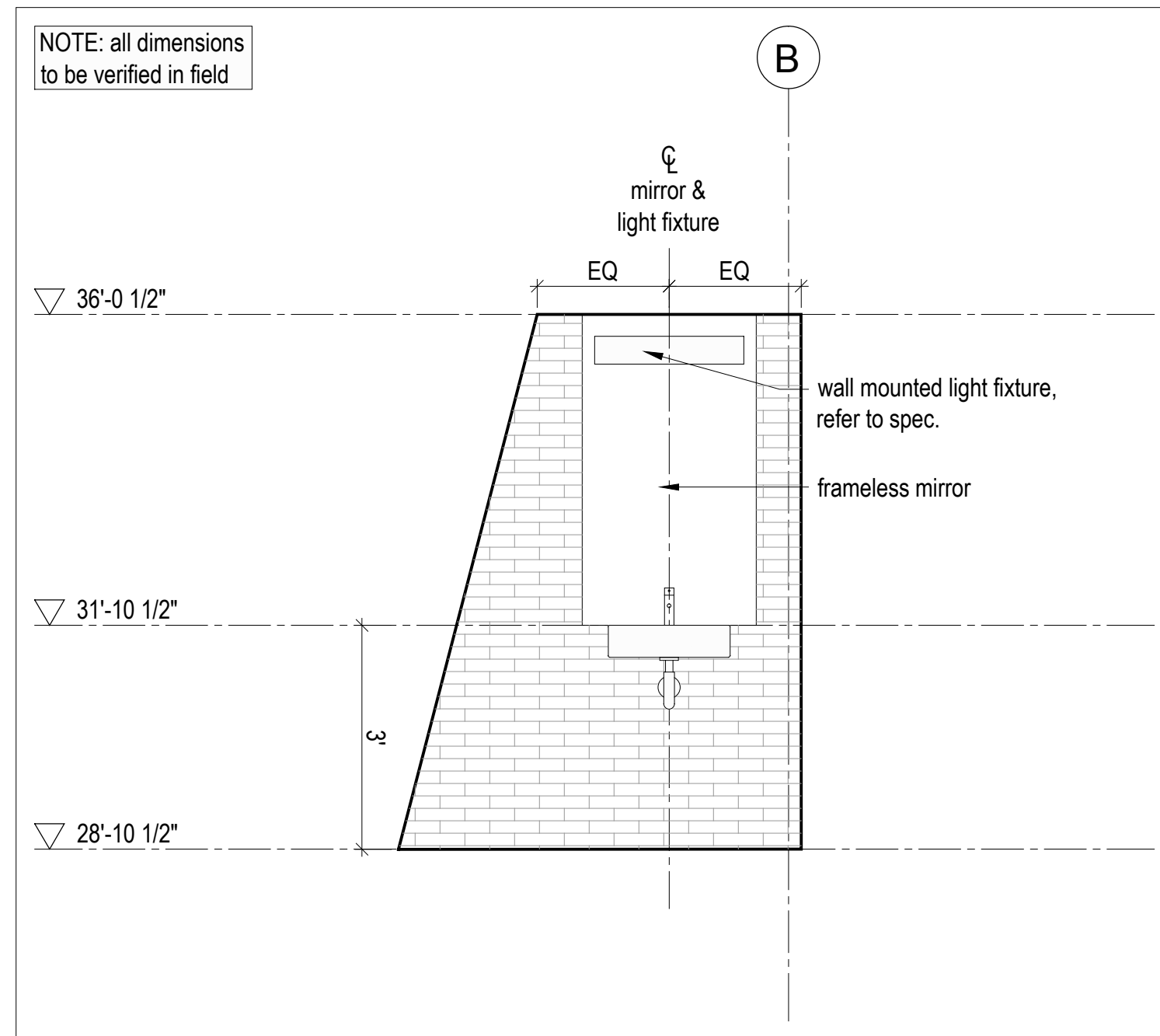
PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
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<input checked="" type="checkbox"/> ACCESSIBILITY	<input checked="" type="checkbox"/> FIRE

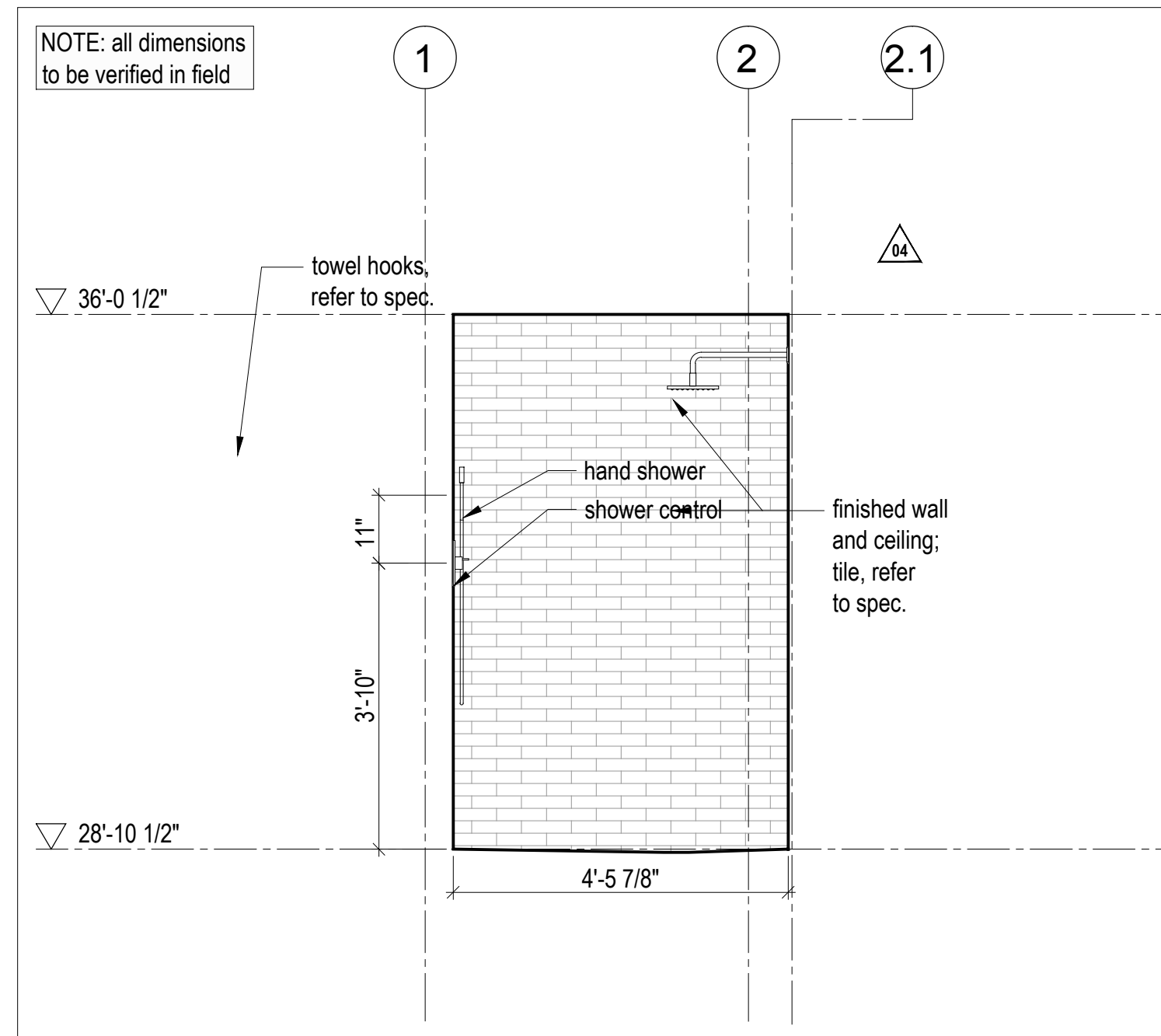
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BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.



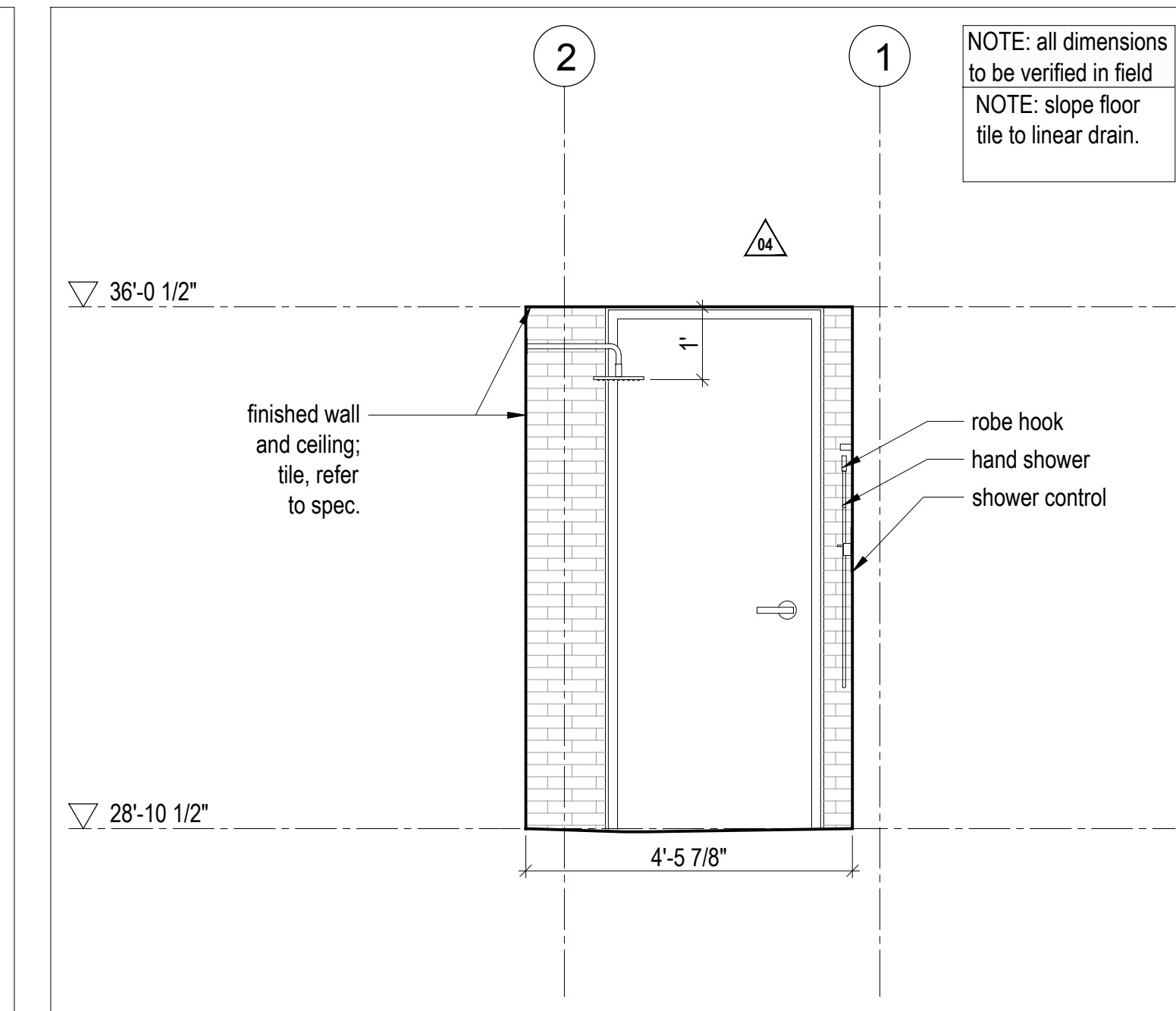
9 Lounge Bar - Section
Scale 1/2" = 1'-0"



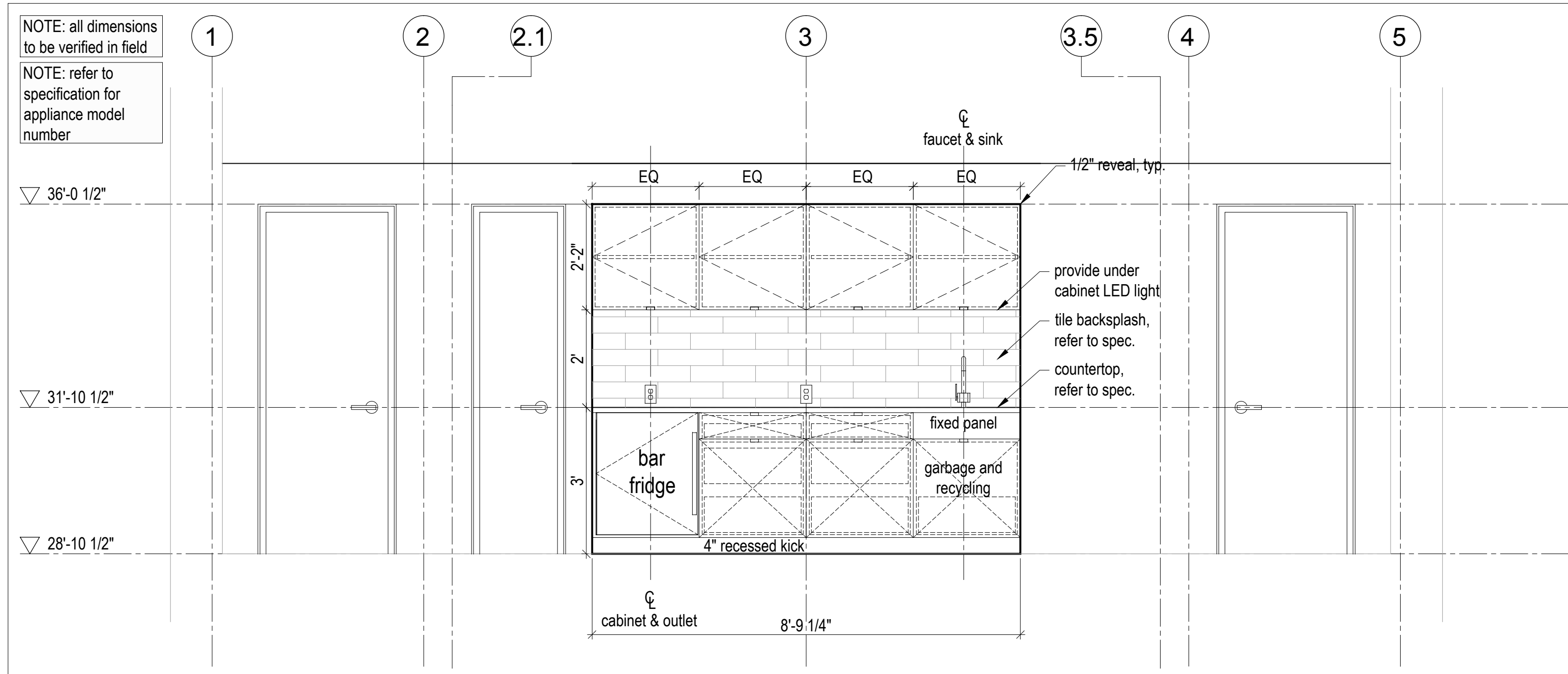
8 Lounge Bathroom - Elevation
Scale 1/2" = 1'-0"



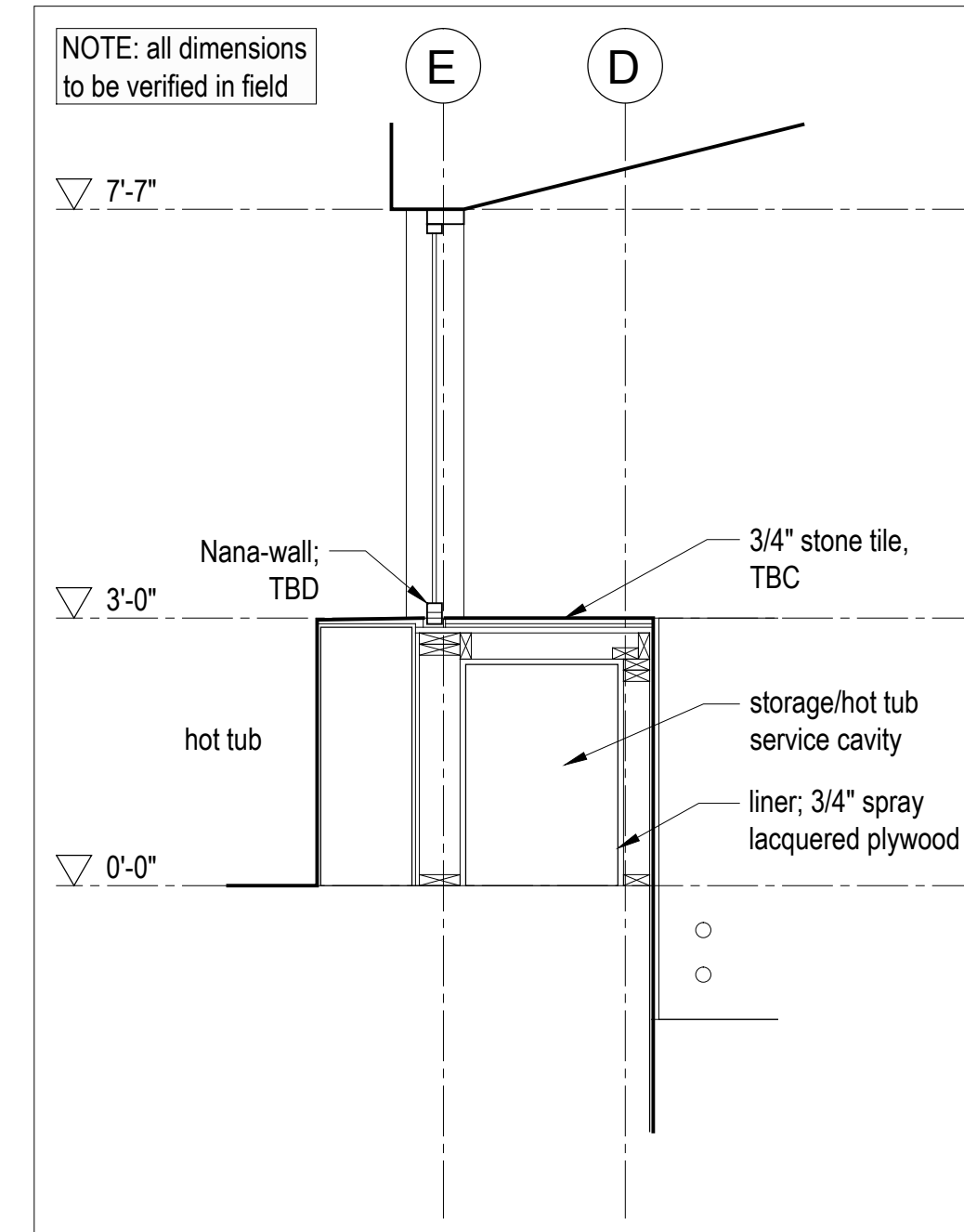
7 Lounge Shower - Section Detail
Scale 1/2" = 1'-0"



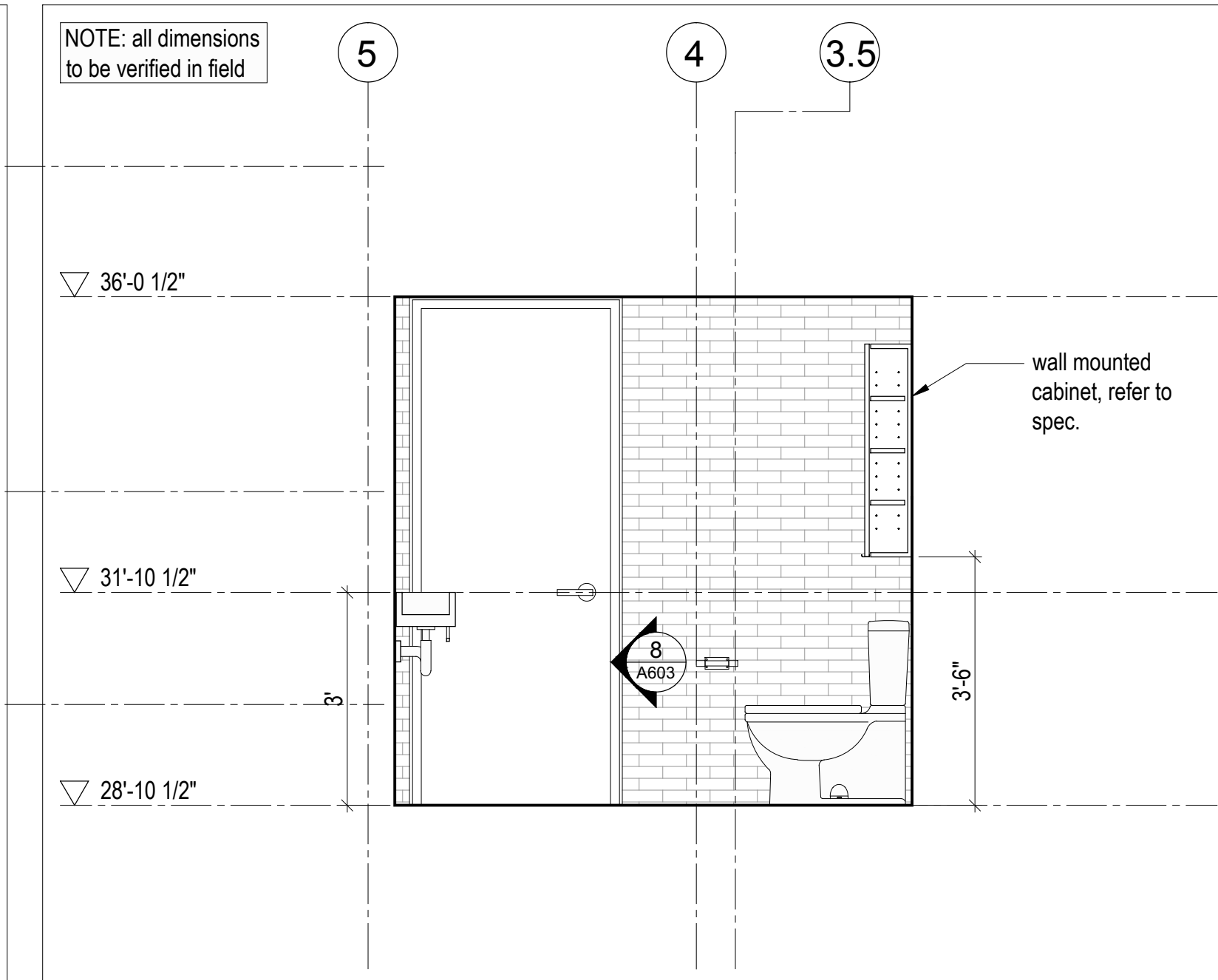
6 Lounge Shower - Section Detail
Scale 1/2" = 1'-0"



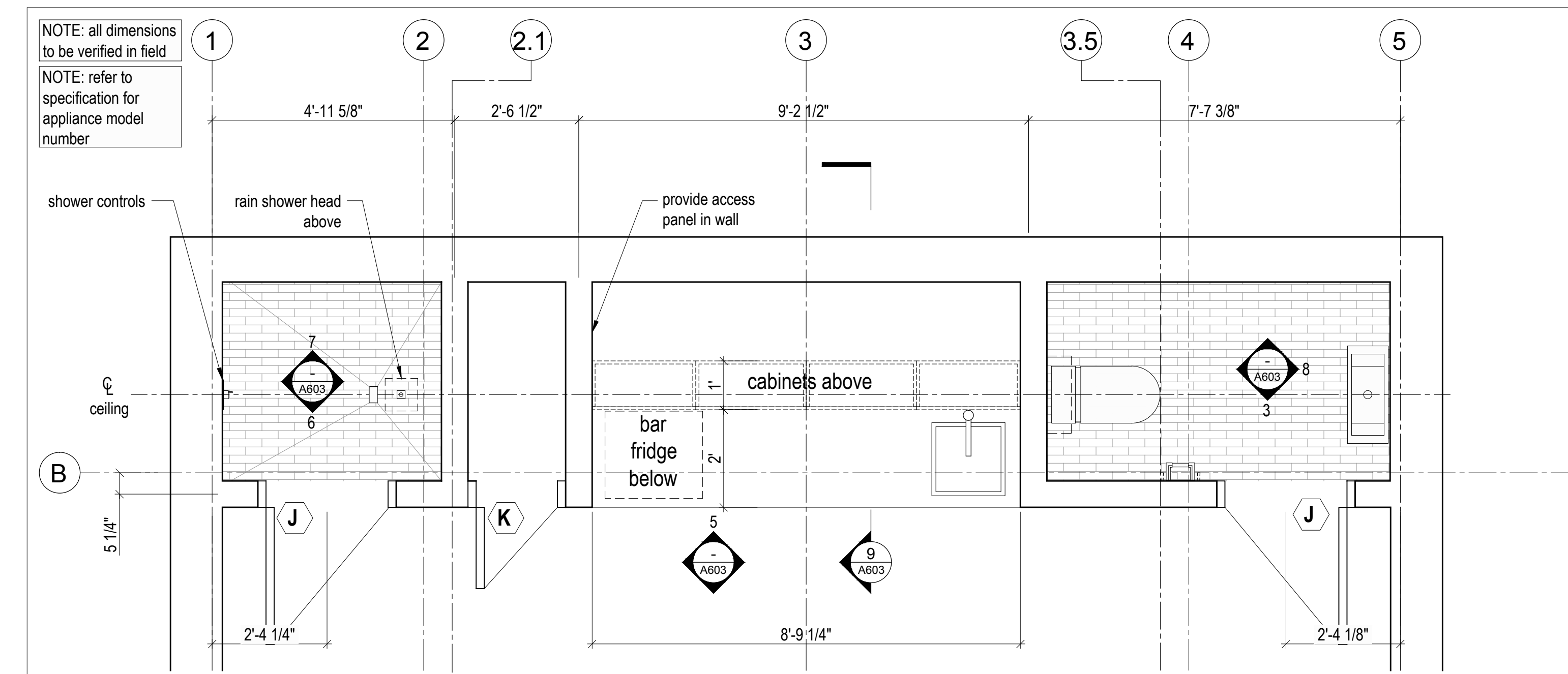
5 Lounge Bar - Elevation
Scale 1/2" = 1'-0"



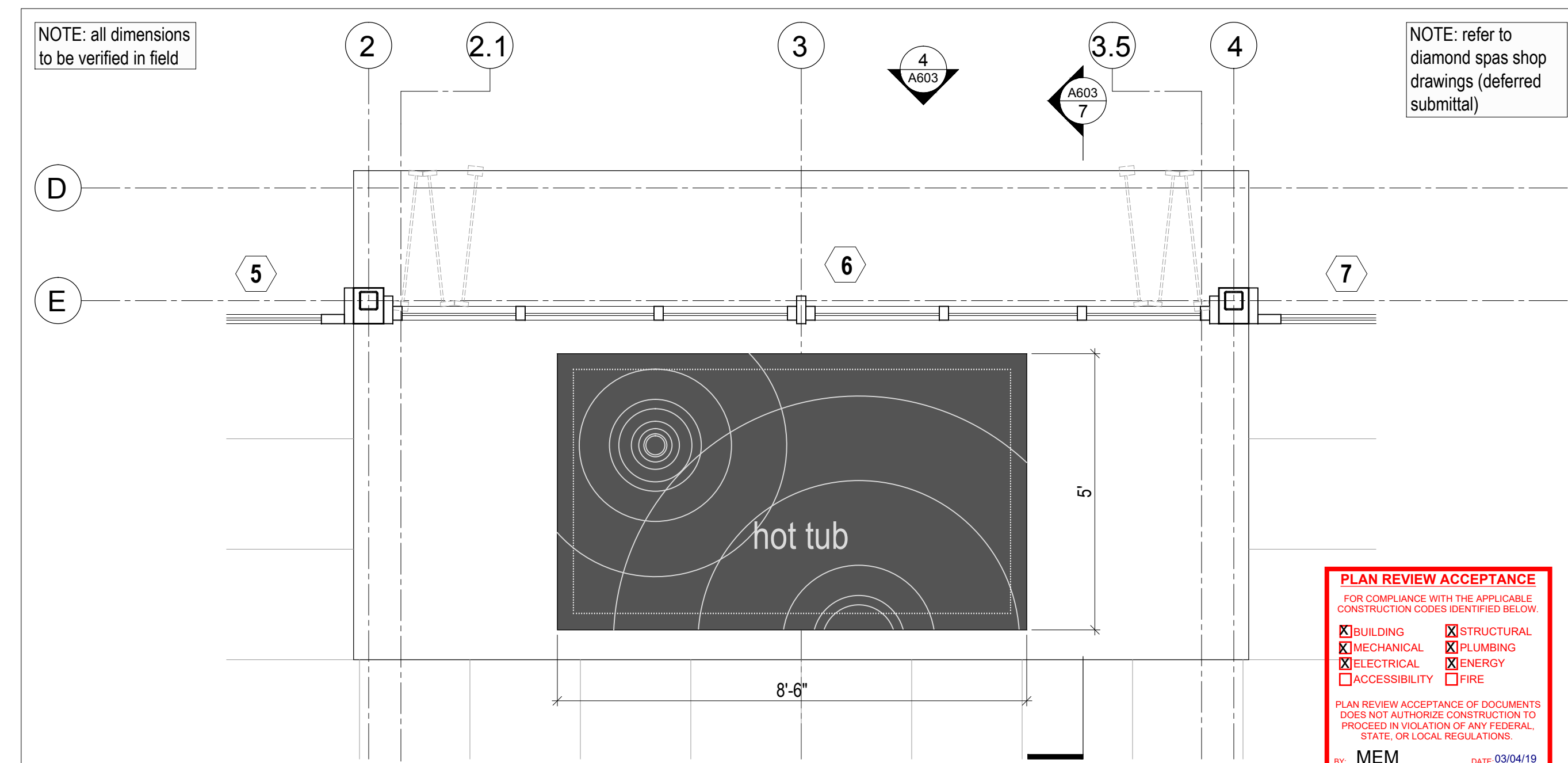
4 Sculpture Plinth - Section Detail
Scale 1/2" = 1'-0"



3 Lounge Bathroom - Section Detail
Scale 1/2" = 1'-0"



2 Lounge Shower/Bar/Powder Room - Enlarged Plan
Scale 1/2" = 1'-0"



1 Sculpture Plinth - Enlarged Plan
Scale 1/2" = 1'-0"

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BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY FIRE

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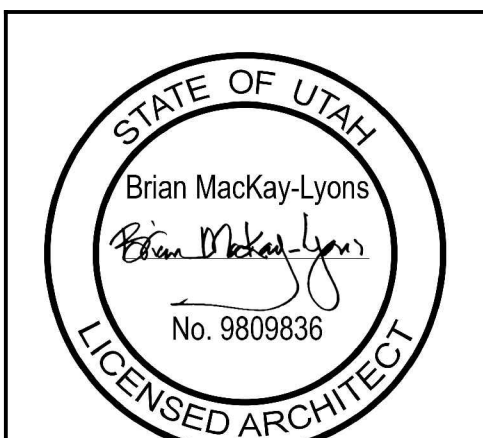
Lot 71R
Village Houses

Summit Power Mountain
Evan Utah

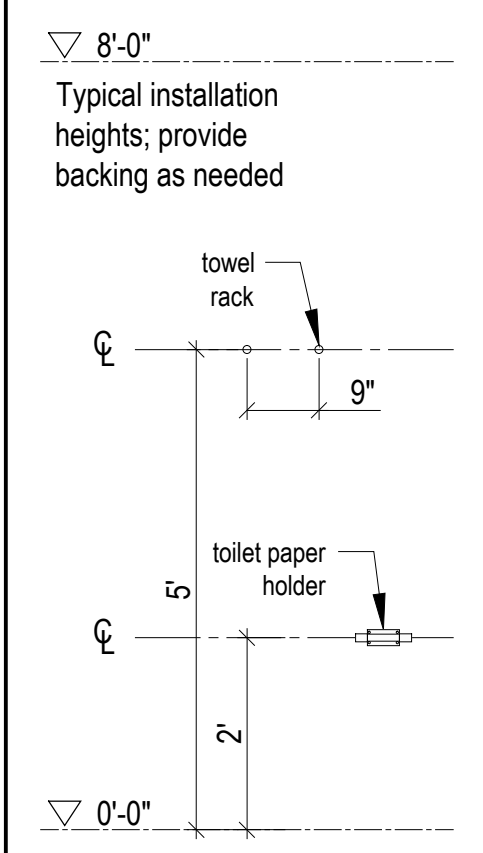
MackKay-Lyons
Sweetapple
Architects
Limited

2188 Göttingen St.
Halifax, Nova Scotia
Canada B3K 3B4

ph: (902) 429-1867
fax: (902) 429-6276



NOTE: all dimensions to be verified in field



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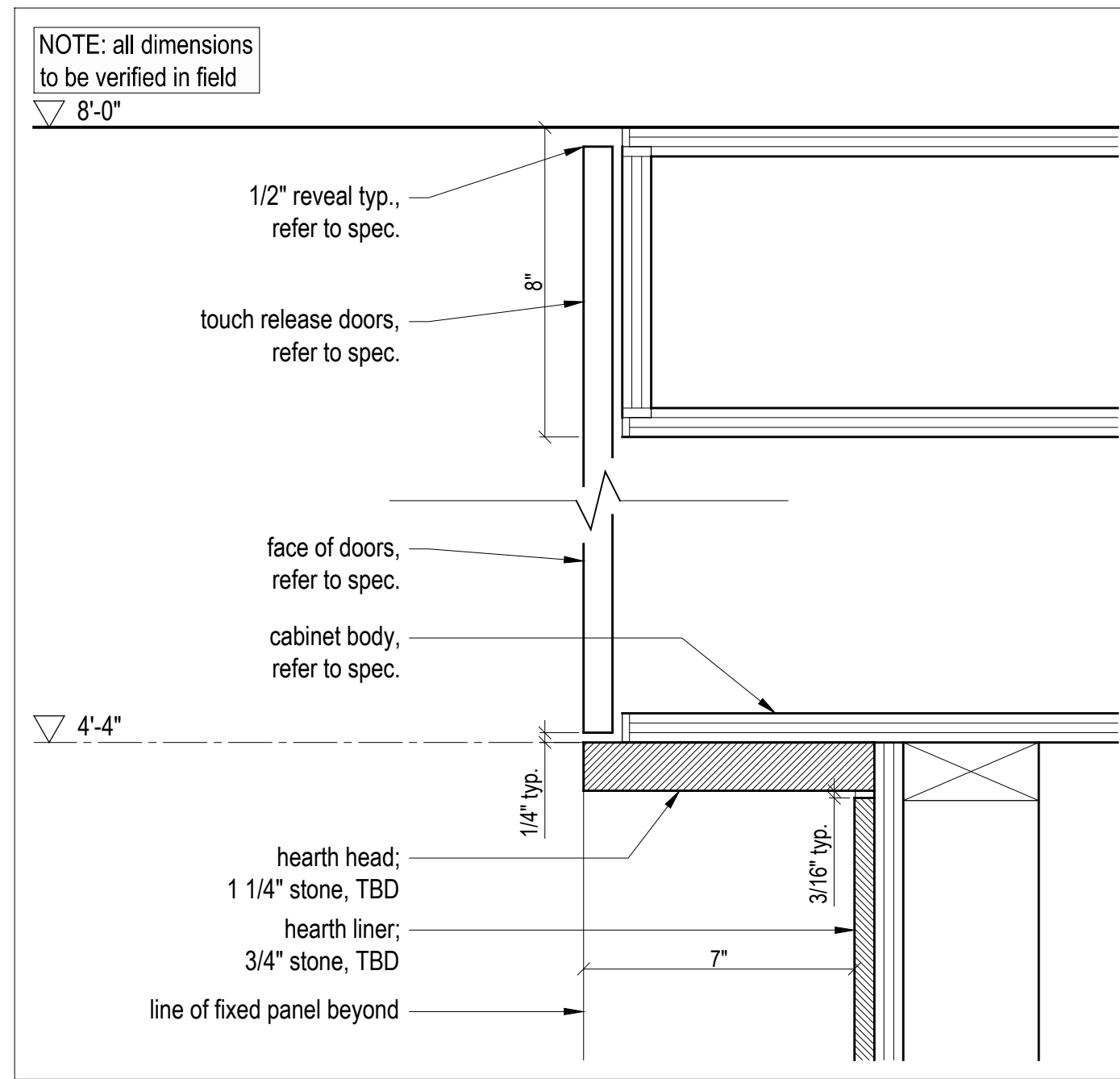
DIMENSIONS:
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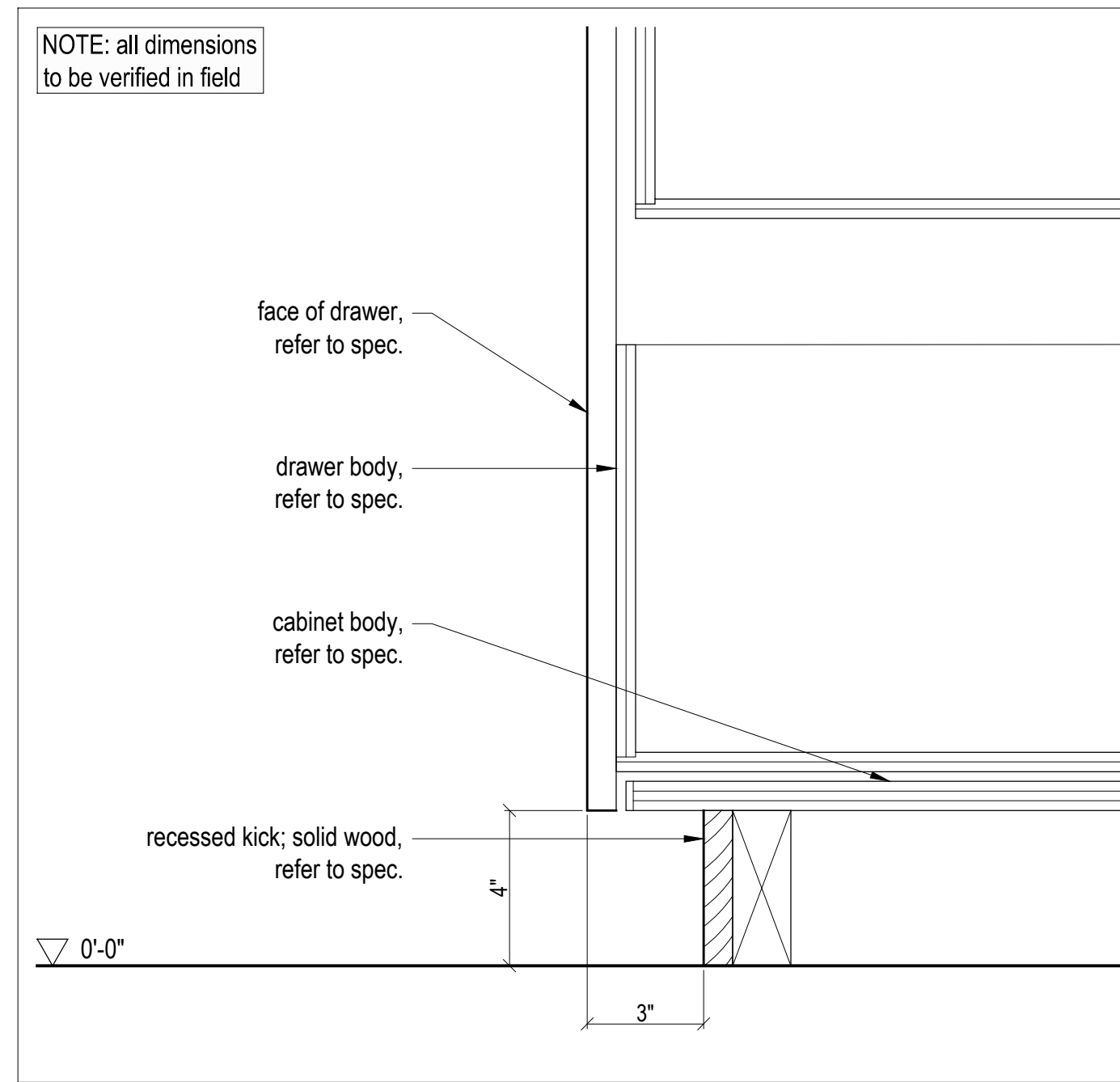
Millwork -
Fourth Floor

scale: 1/2" = 1'-0"
date: 17-11-23
drawn: RD
chk'd: BML

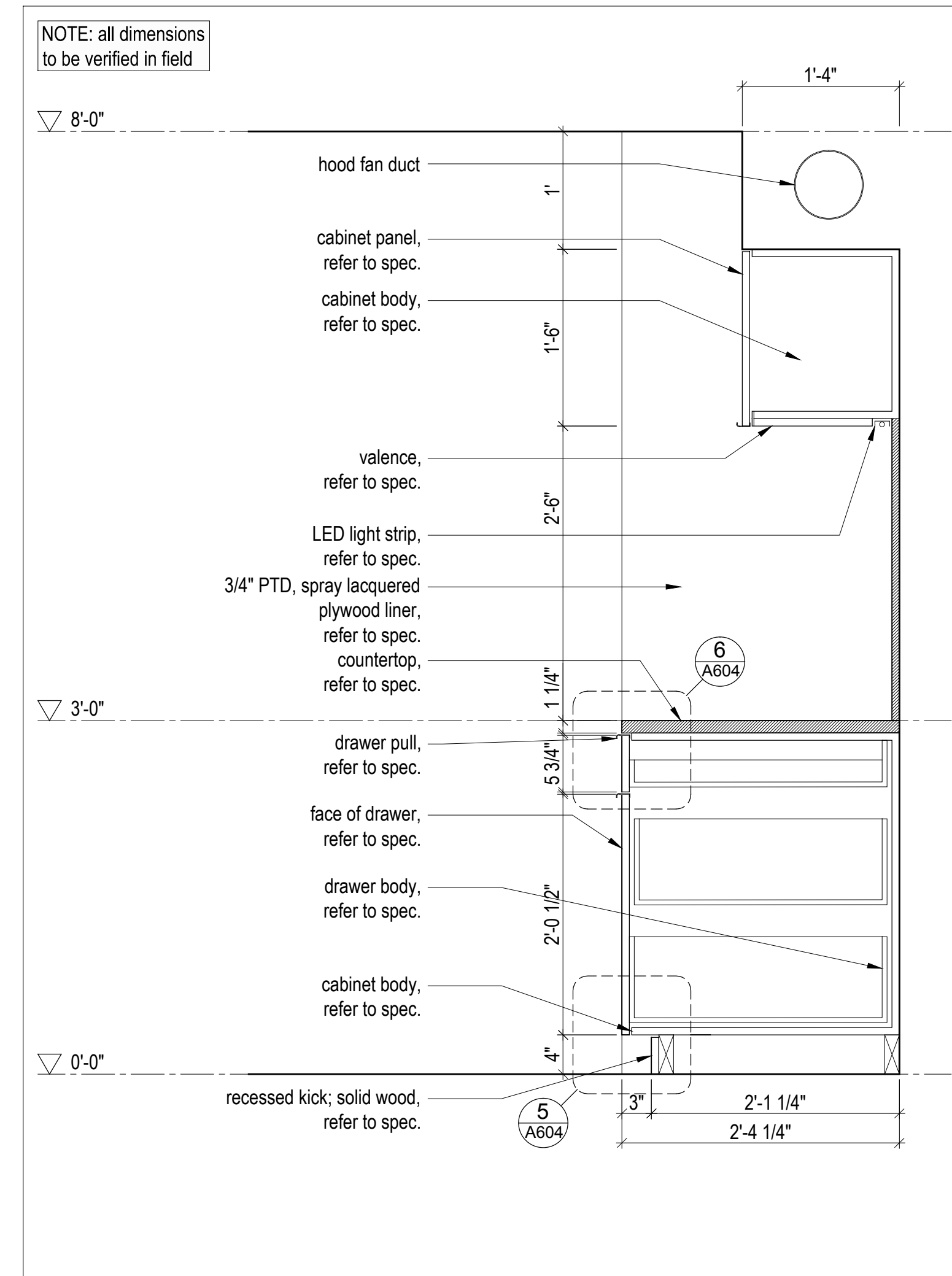
A603



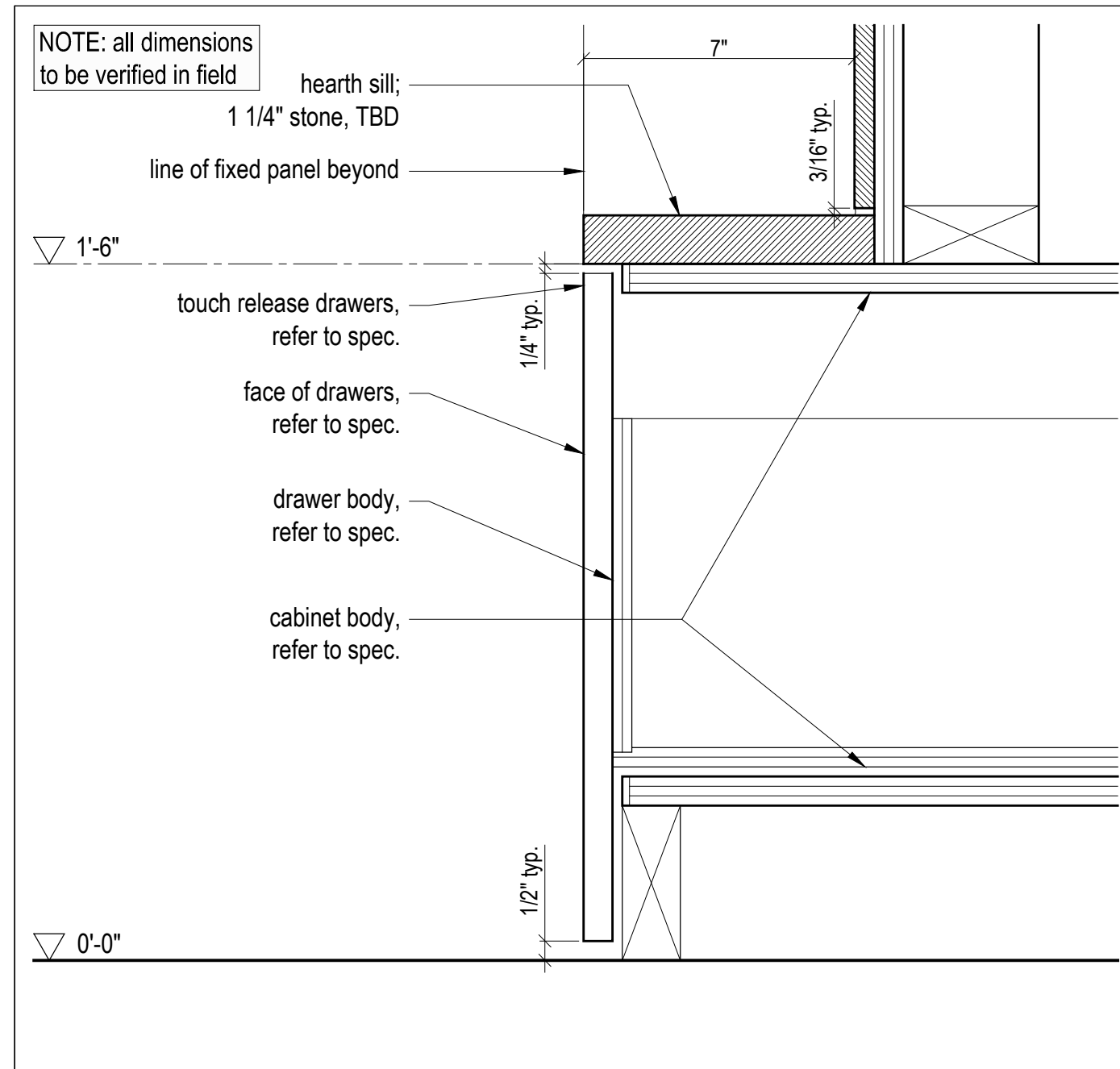
8 A604 **Hearth Head - Section Detail, Typ.**
Scale 3" = 1'-0"



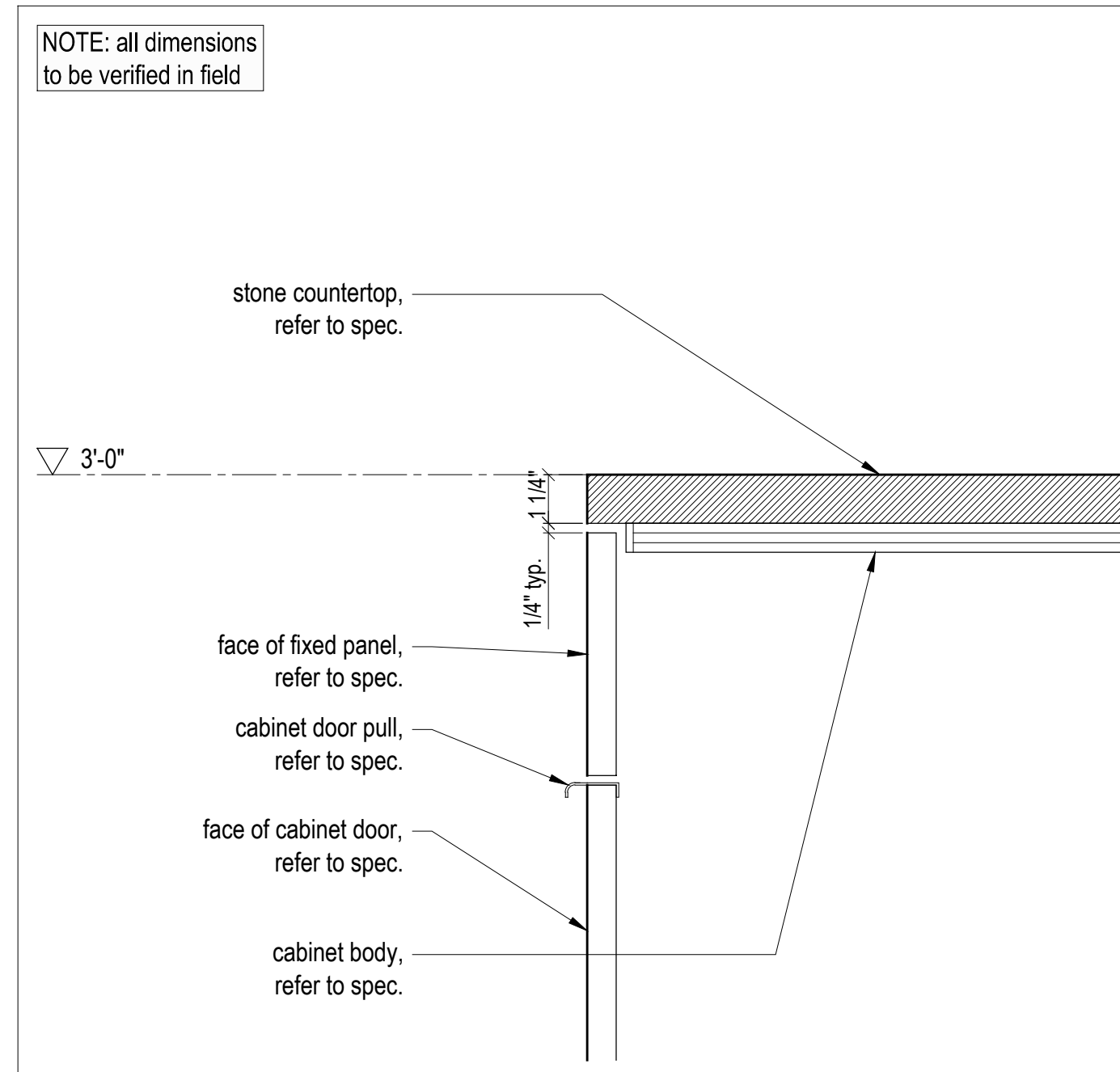
5 A604 **Kitchen Counter - Section Detail, Typ.**
Scale 3" = 1'-0"



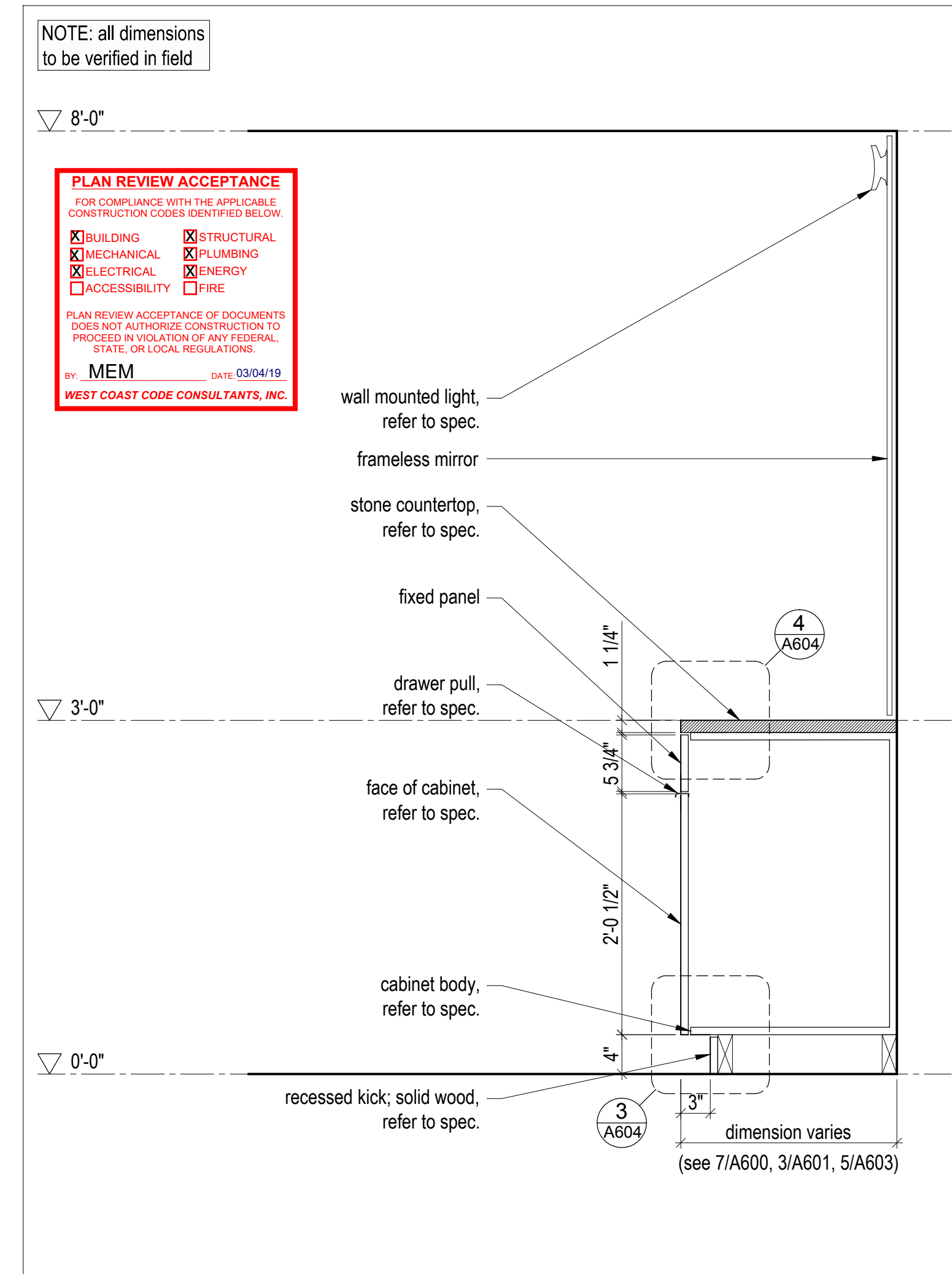
2 A604 **Kitchen Counter - Enlarged Section**
Scale 1" = 1'-0"



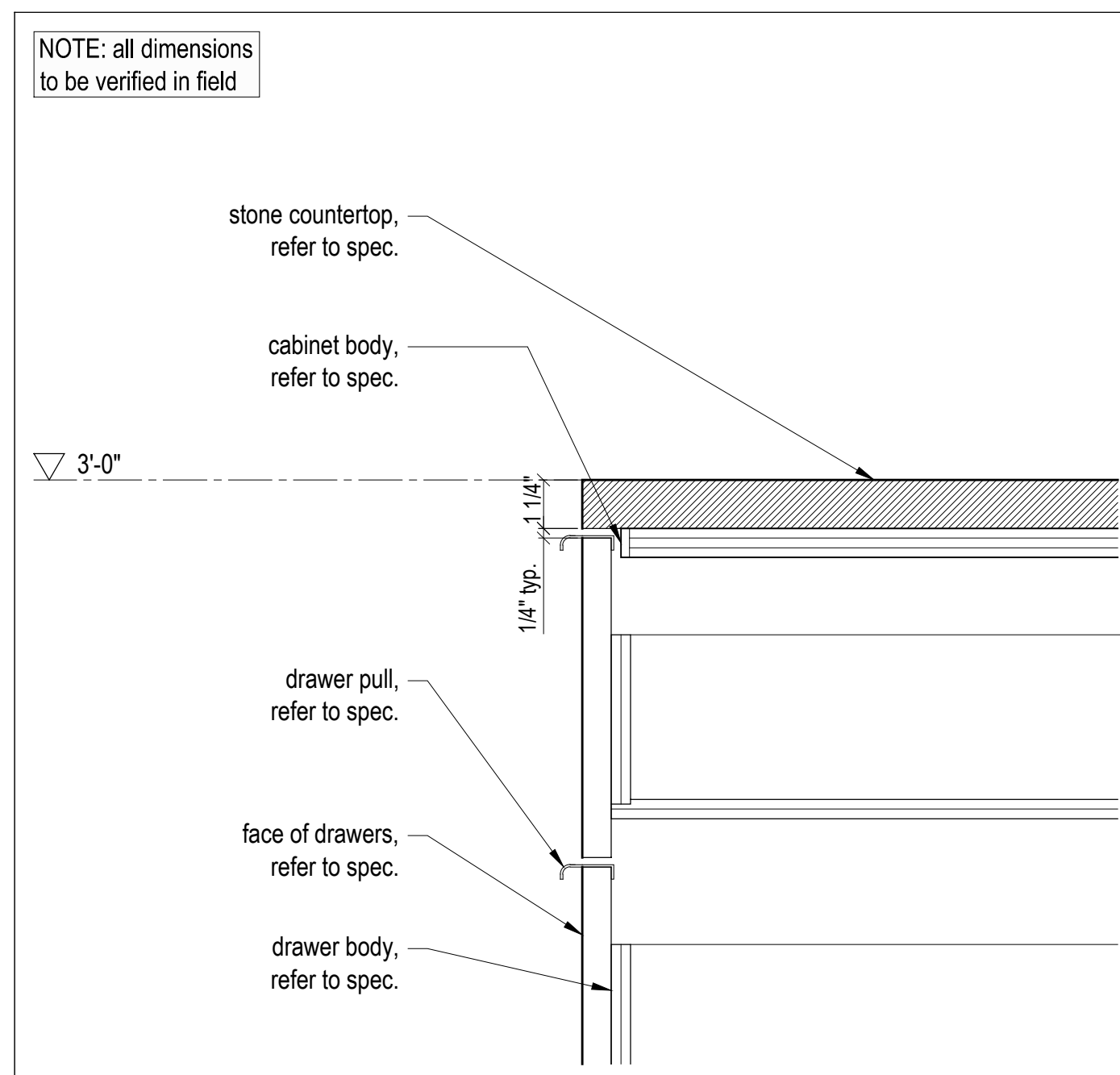
7 A604 **Hearth Sill - Section Detail, Typ.**
Scale 3" = 1'-0"



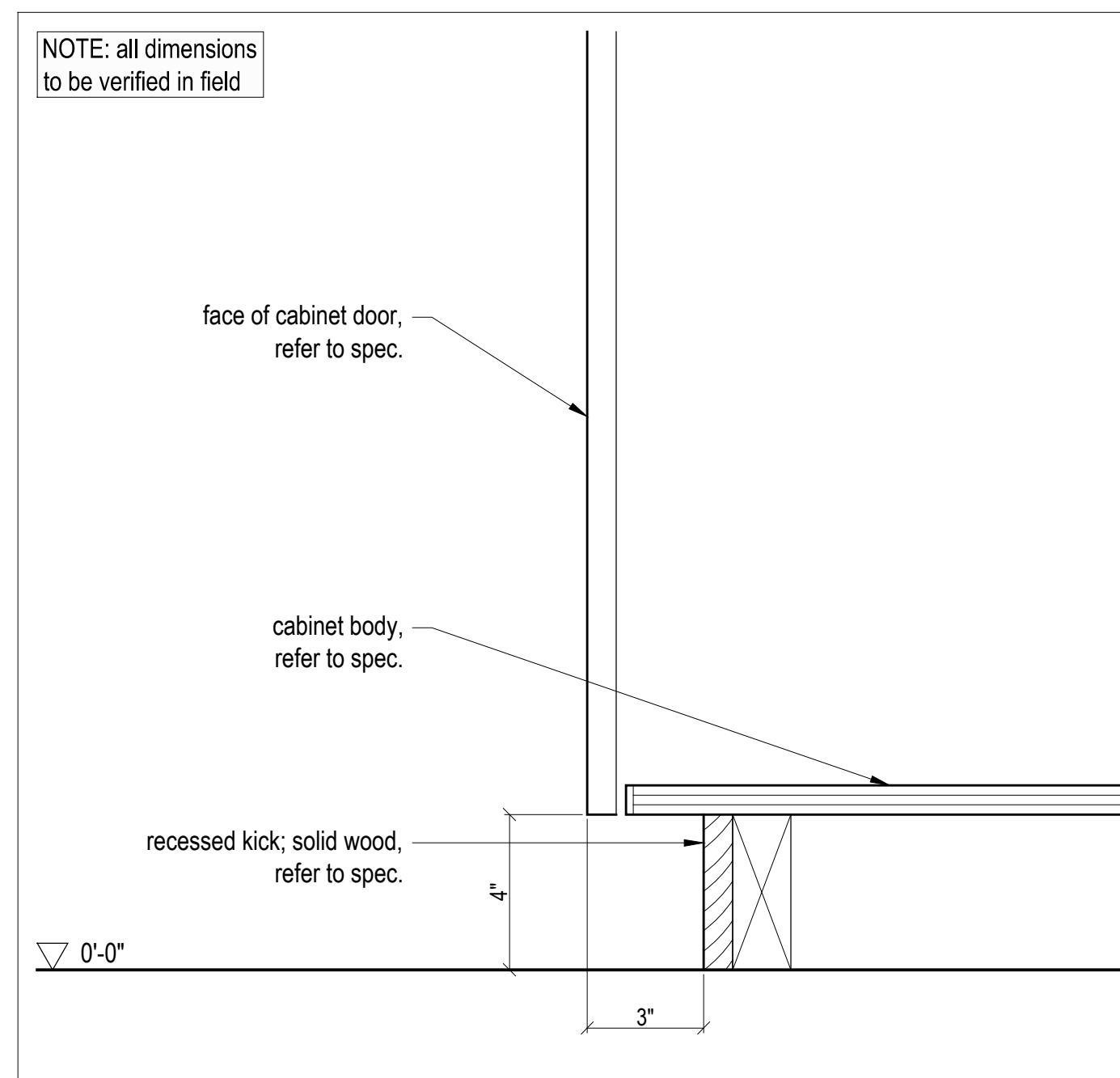
4 A604 **Bathroom Vanity - Section Detail, Typ.**
Scale 3" = 1'-0"



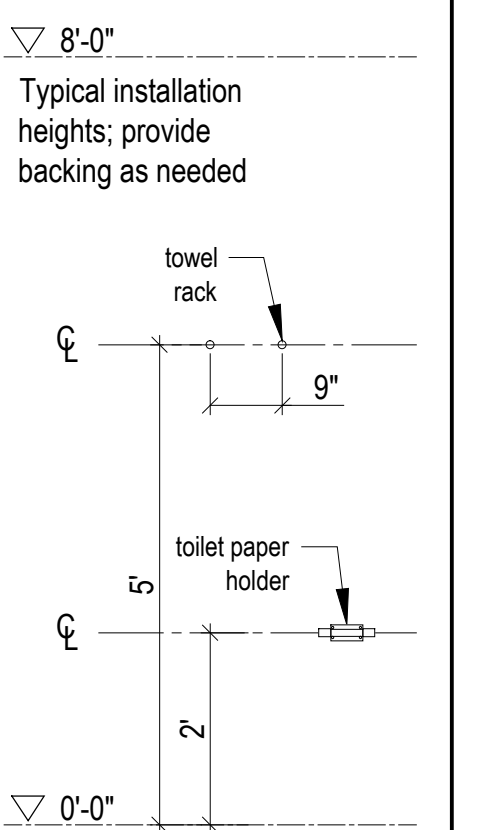
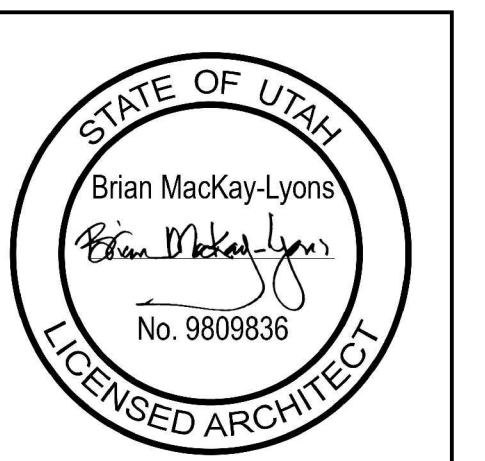
1 A604 **Bathroom Counter - Enlarged Section**
Scale 1" = 1'-0"



6 A604 **Kitchen Counter - Section Detail, Typ.**
Scale 3" = 1'-0"



3 A604 **Bathroom Vanity - Section Detail, Typ.**
Scale 3" = 1'-0"



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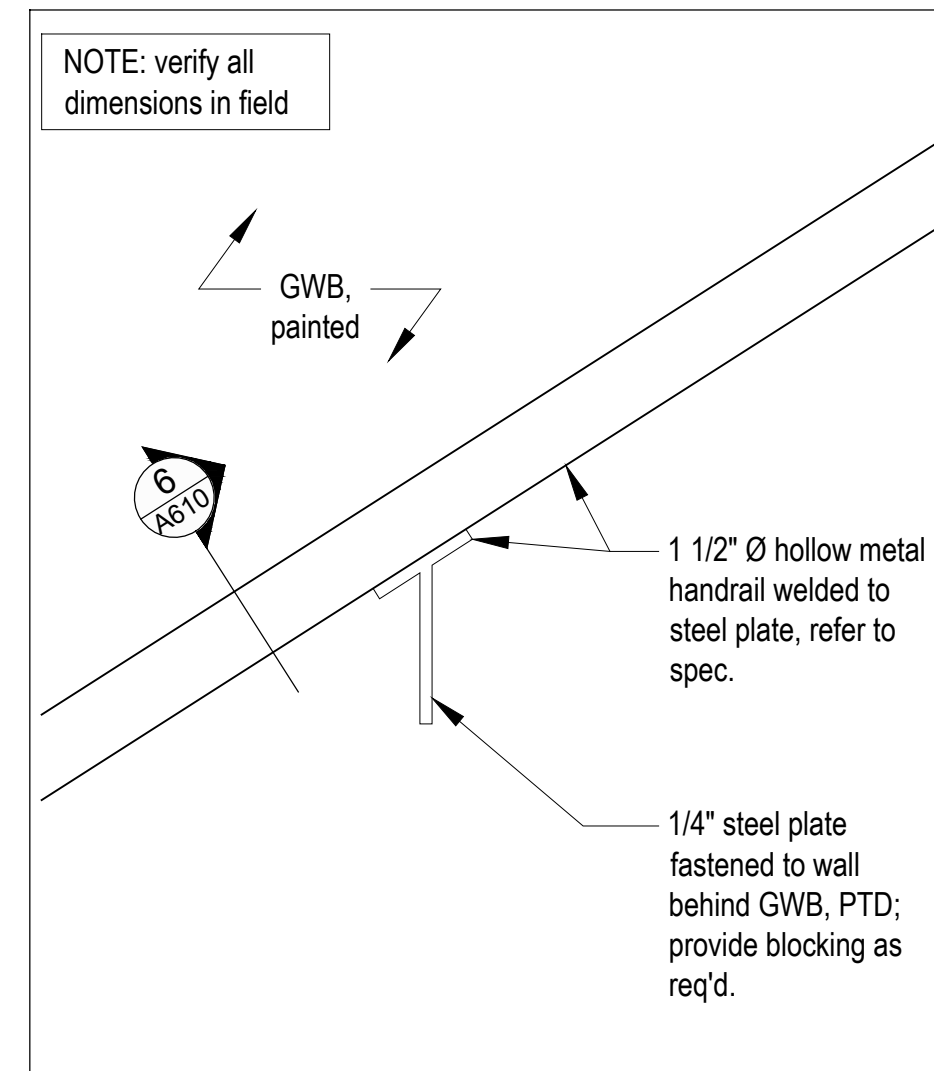
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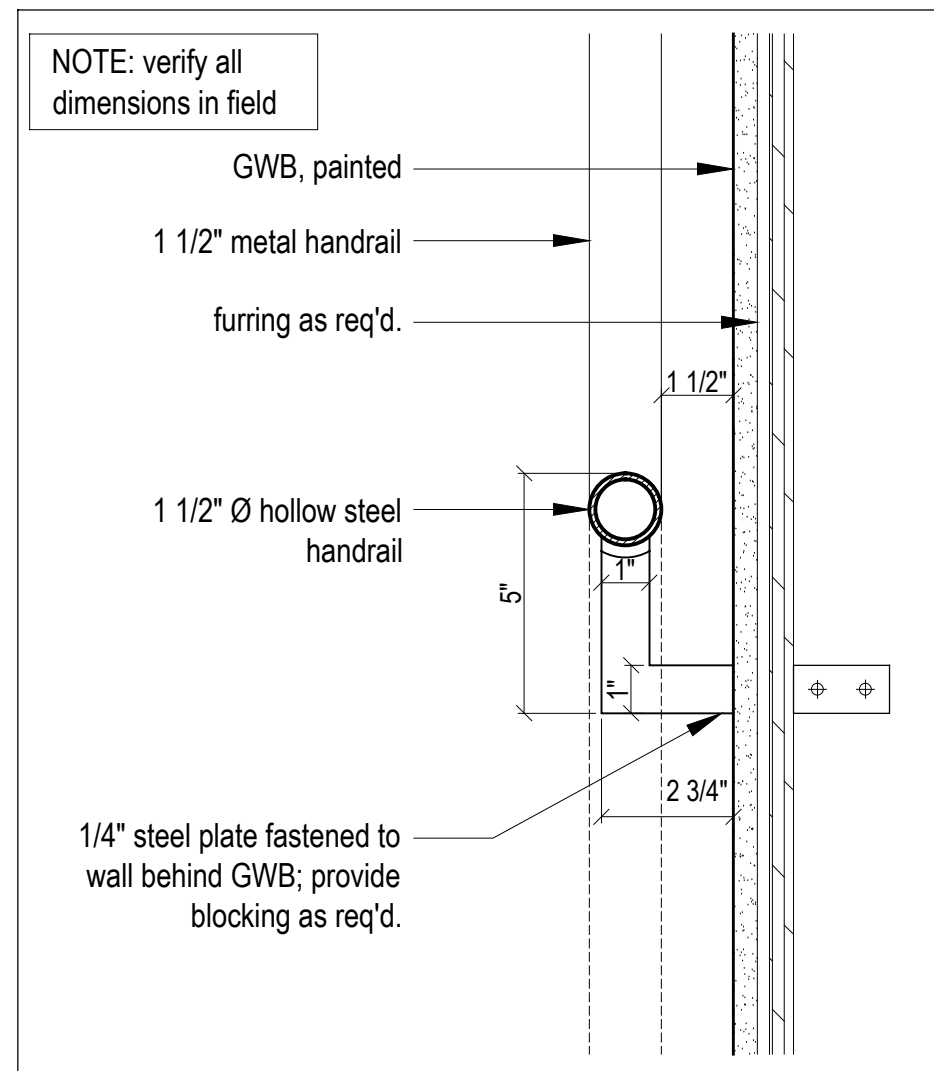
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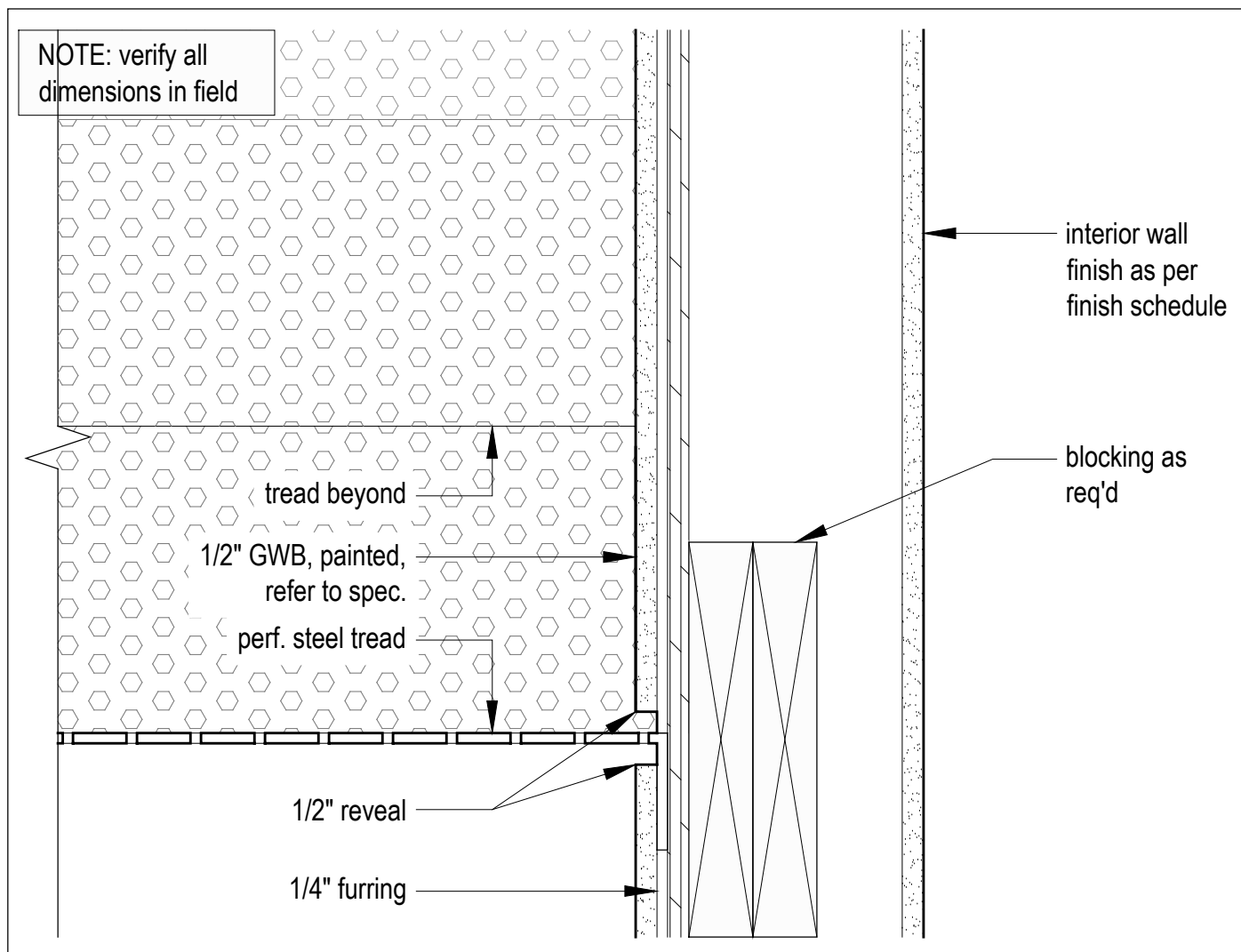
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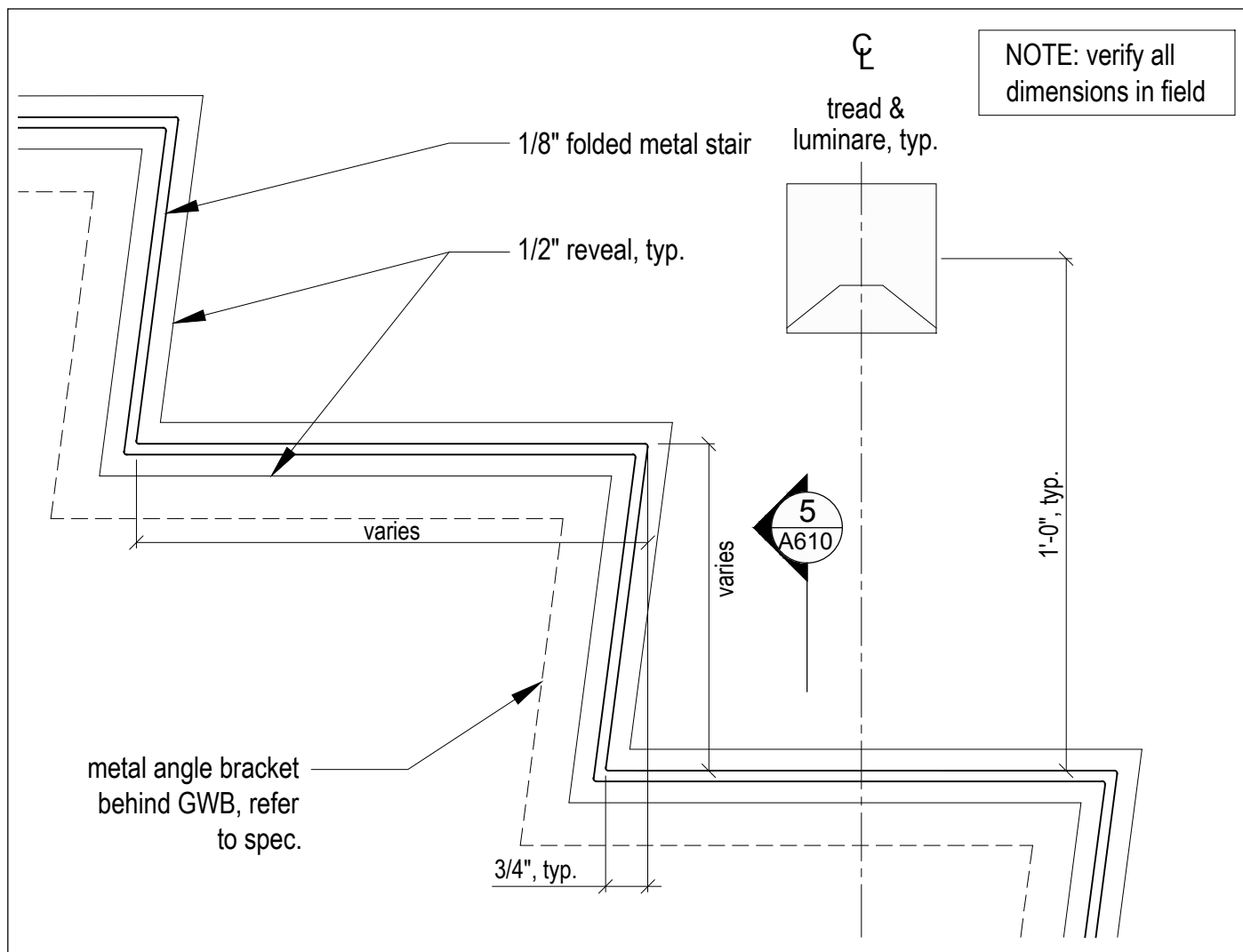
7 Handrail Connection - Detail
Scale 3" = 1'-0"



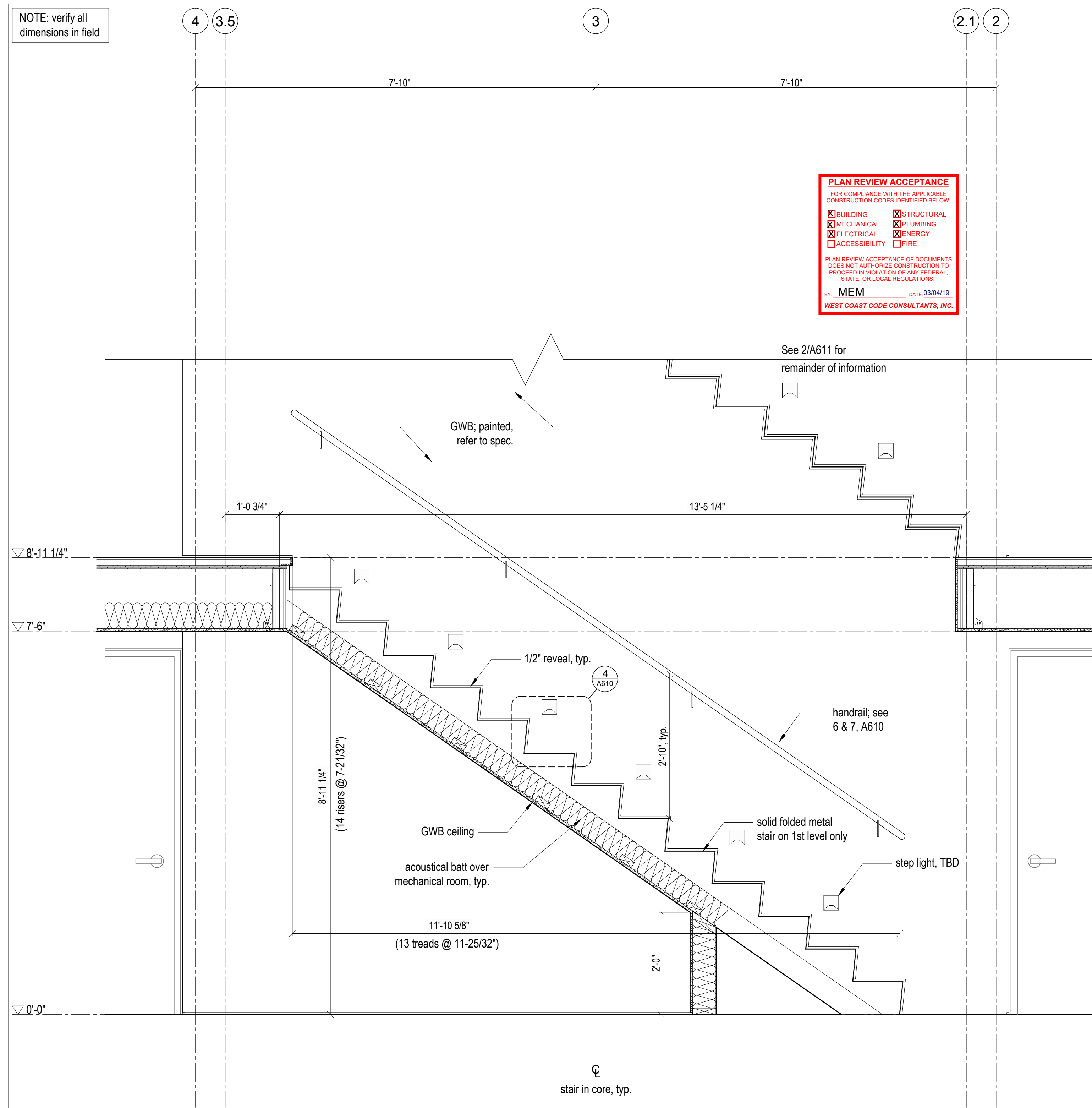
6 Handrail - Section Detail
Scale 3" = 1'-0"



5 Stair Detail
Scale 3" = 1'-0"



4 Stair Detail
Scale 3" = 1'-0"



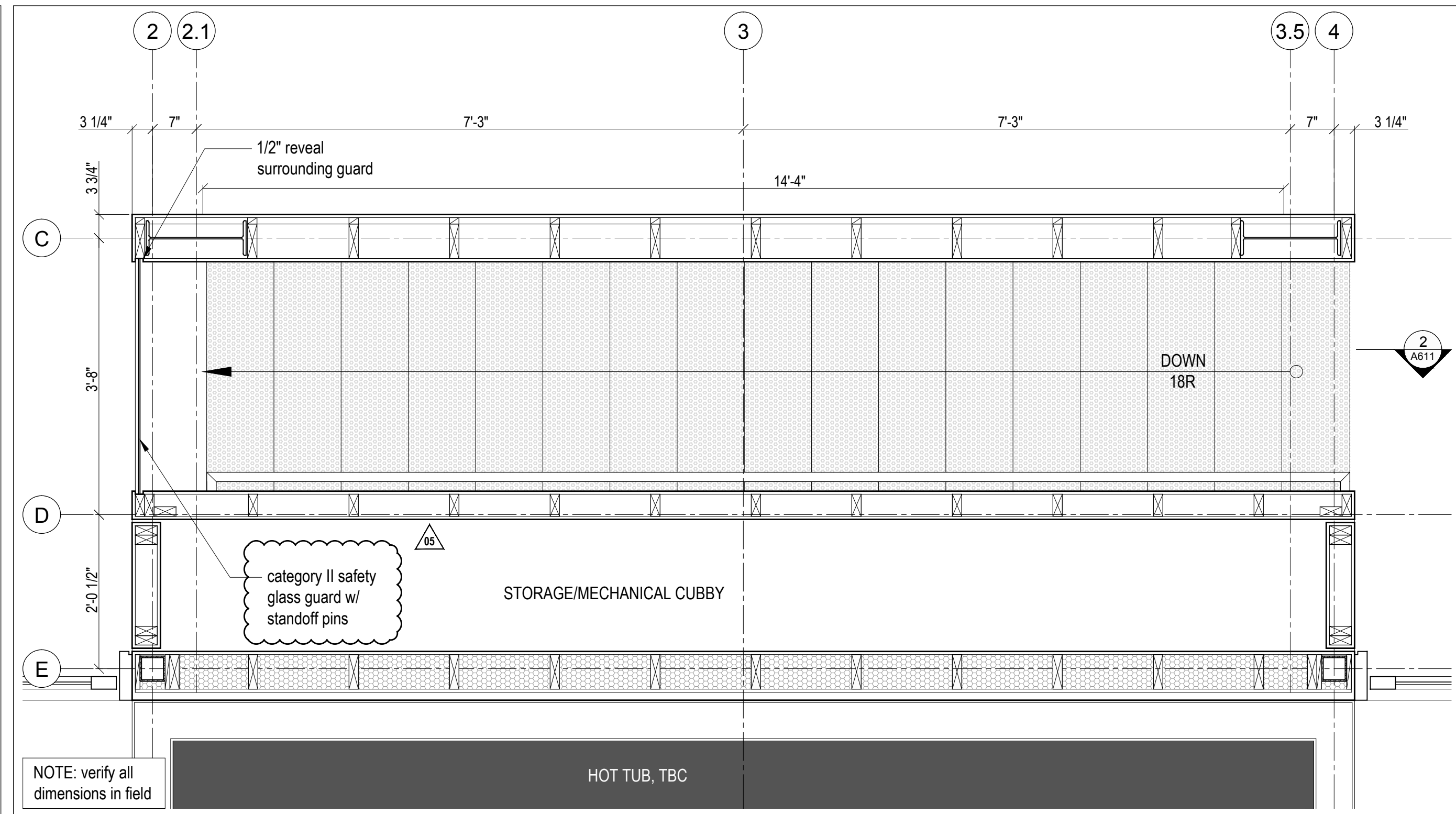
3 Lower Stair Section
Scale 3/4" = 1'-0"

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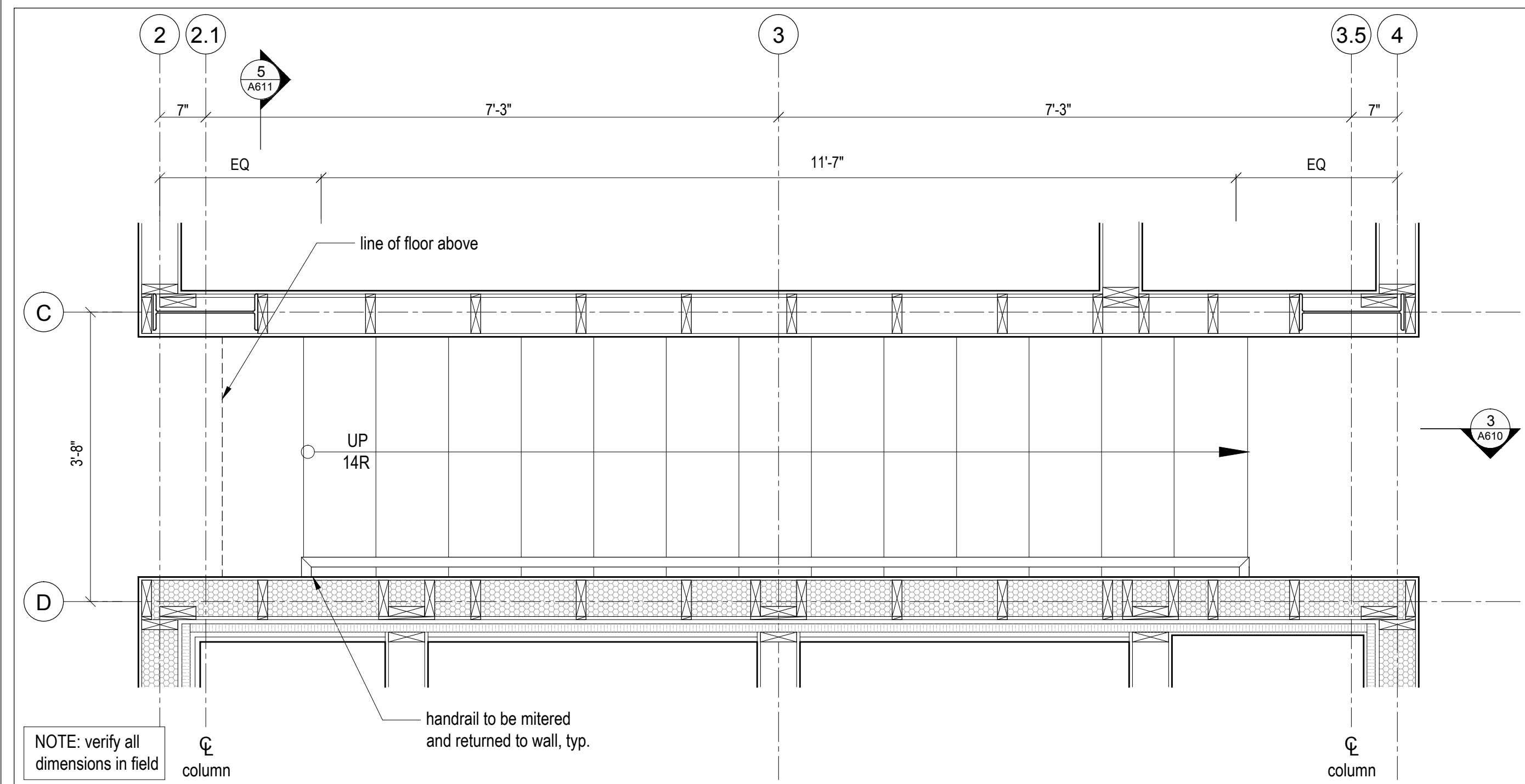
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<input checked="" type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

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2 Enlarged 4th Floor Plan
Scale 3/4" = 1'-0"



1 Enlarged 1st Floor Plan
Scale 3/4" = 1'-0"

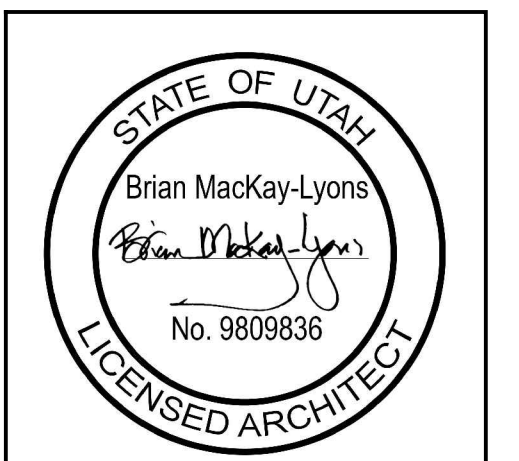
LOT 71R
Village House 71

Summit Powder Mountain
Egan, Utah

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Sweetapple
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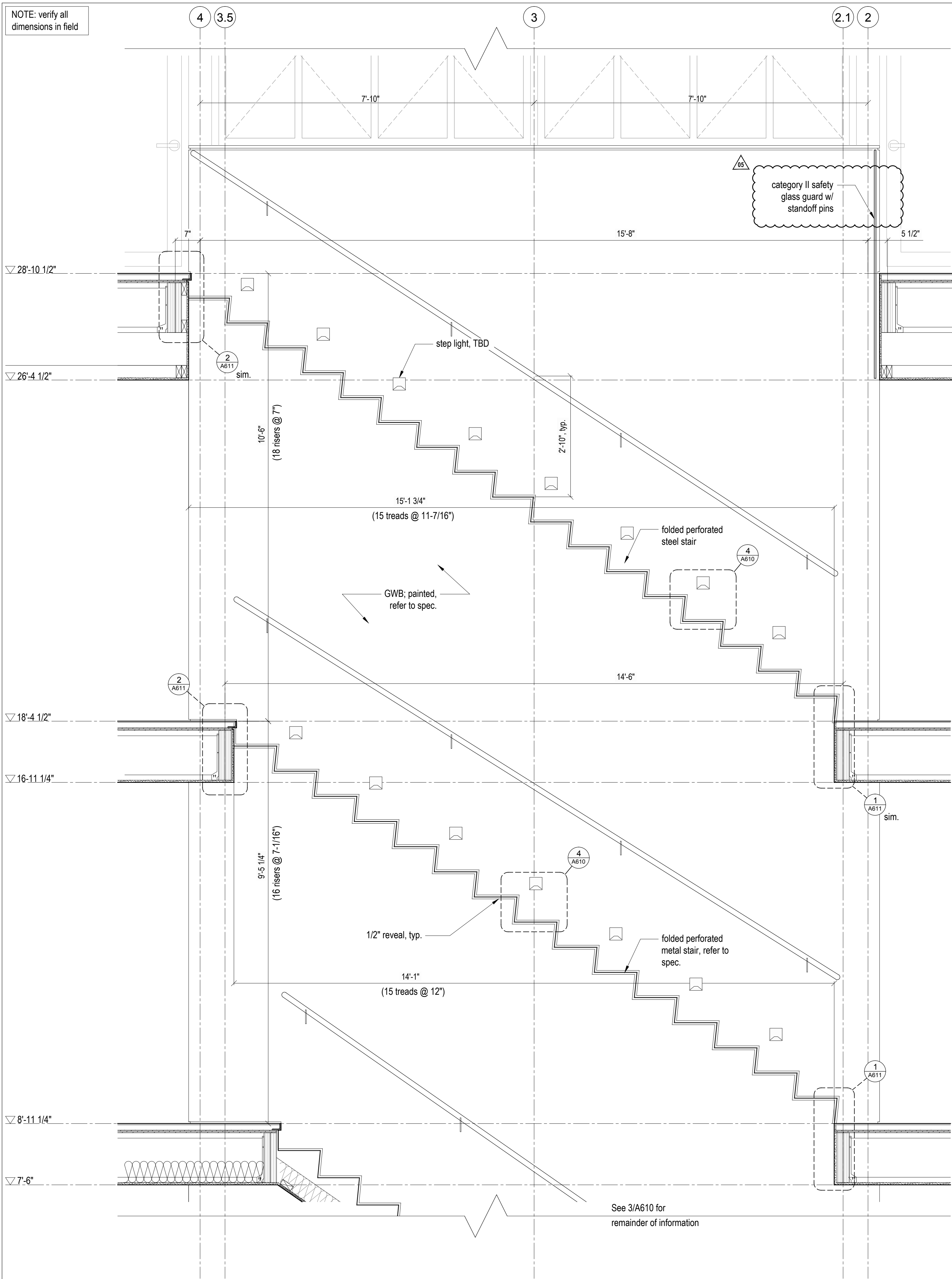
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Stair

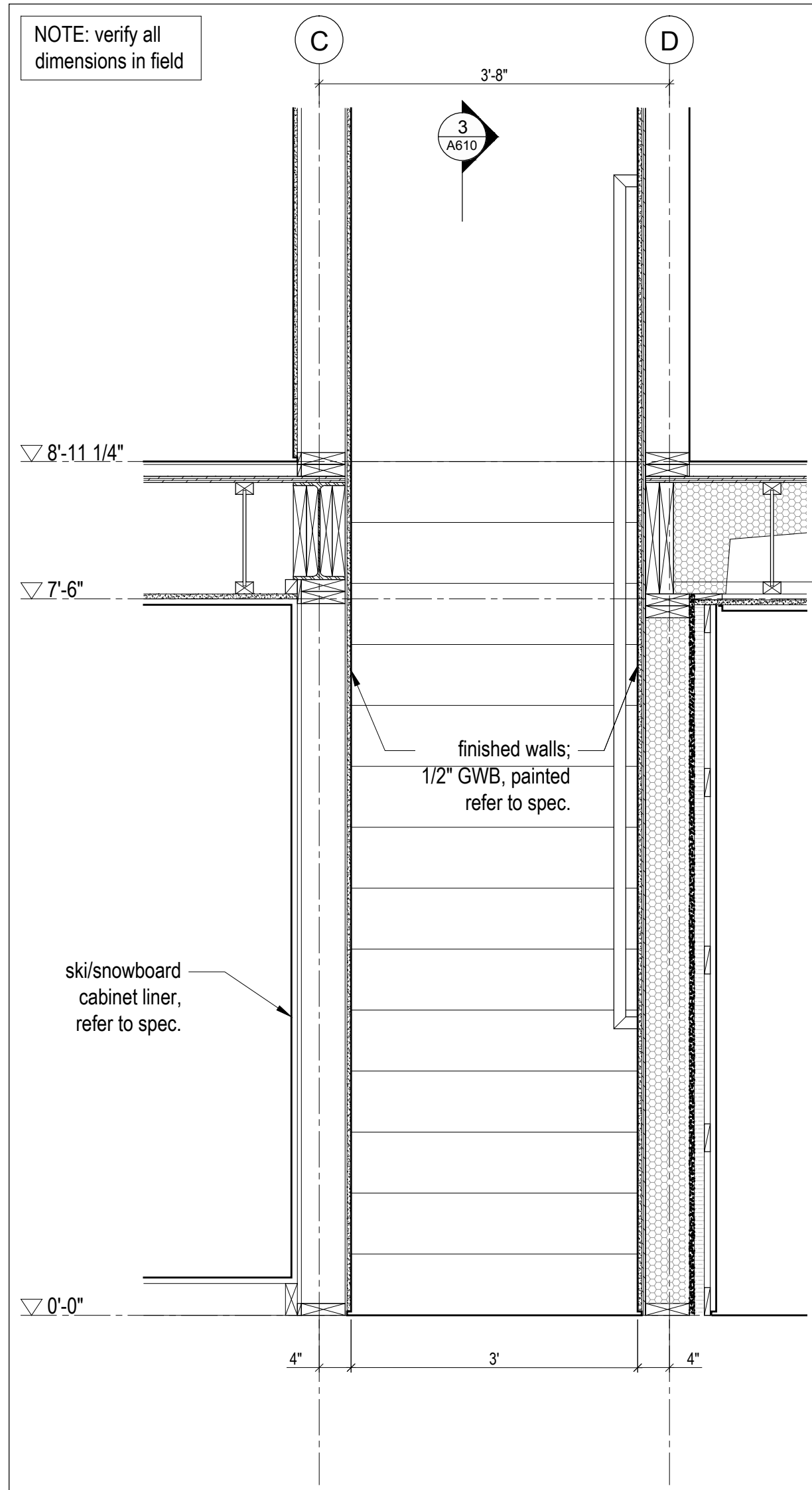
scale: as noted
date: 17-11-23
drawn: RD
chk'd: BML

A610

NOTE: verify all dimensions in field



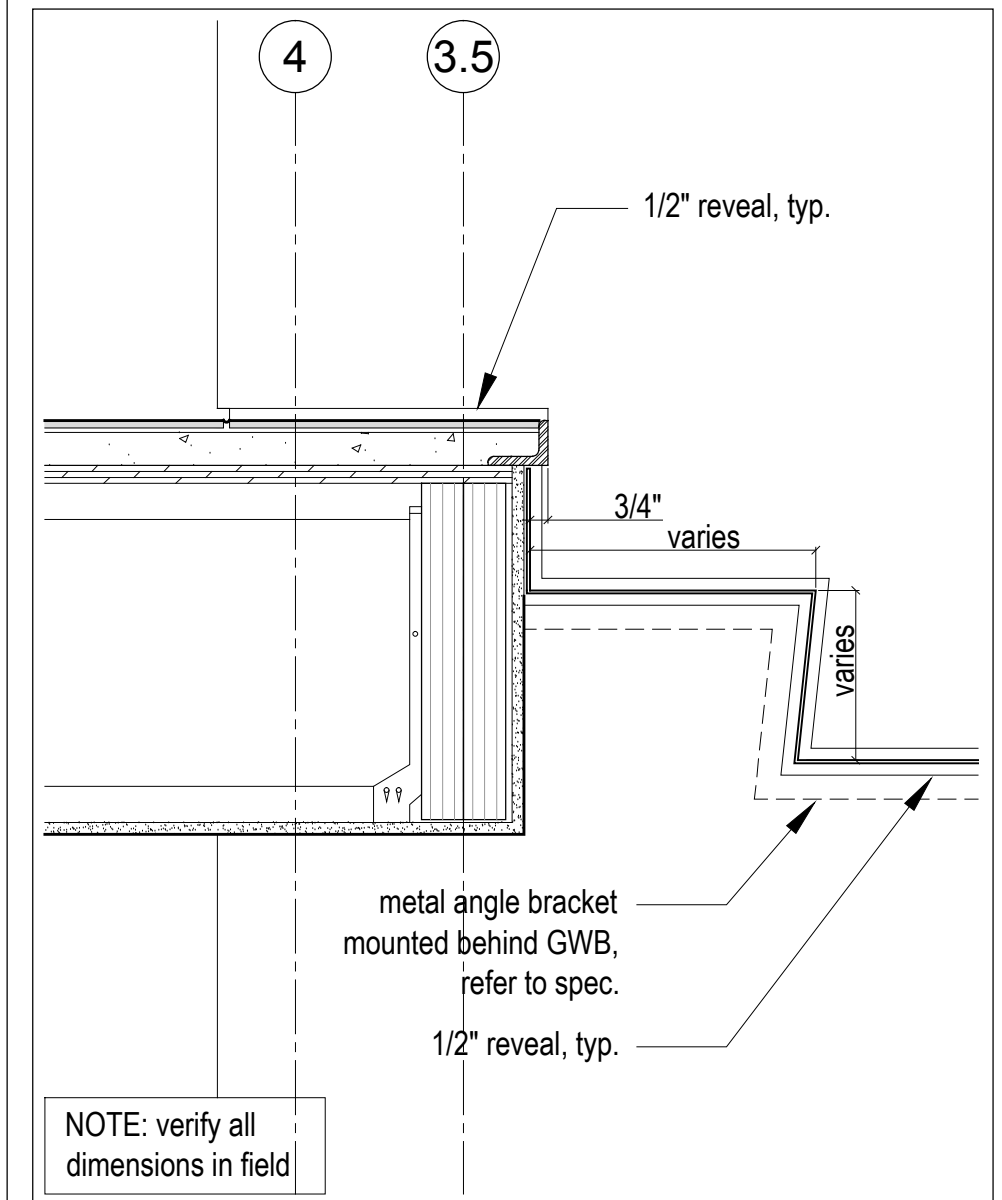
4 Upper Stair Section
Scale 3/4" = 1'-0"



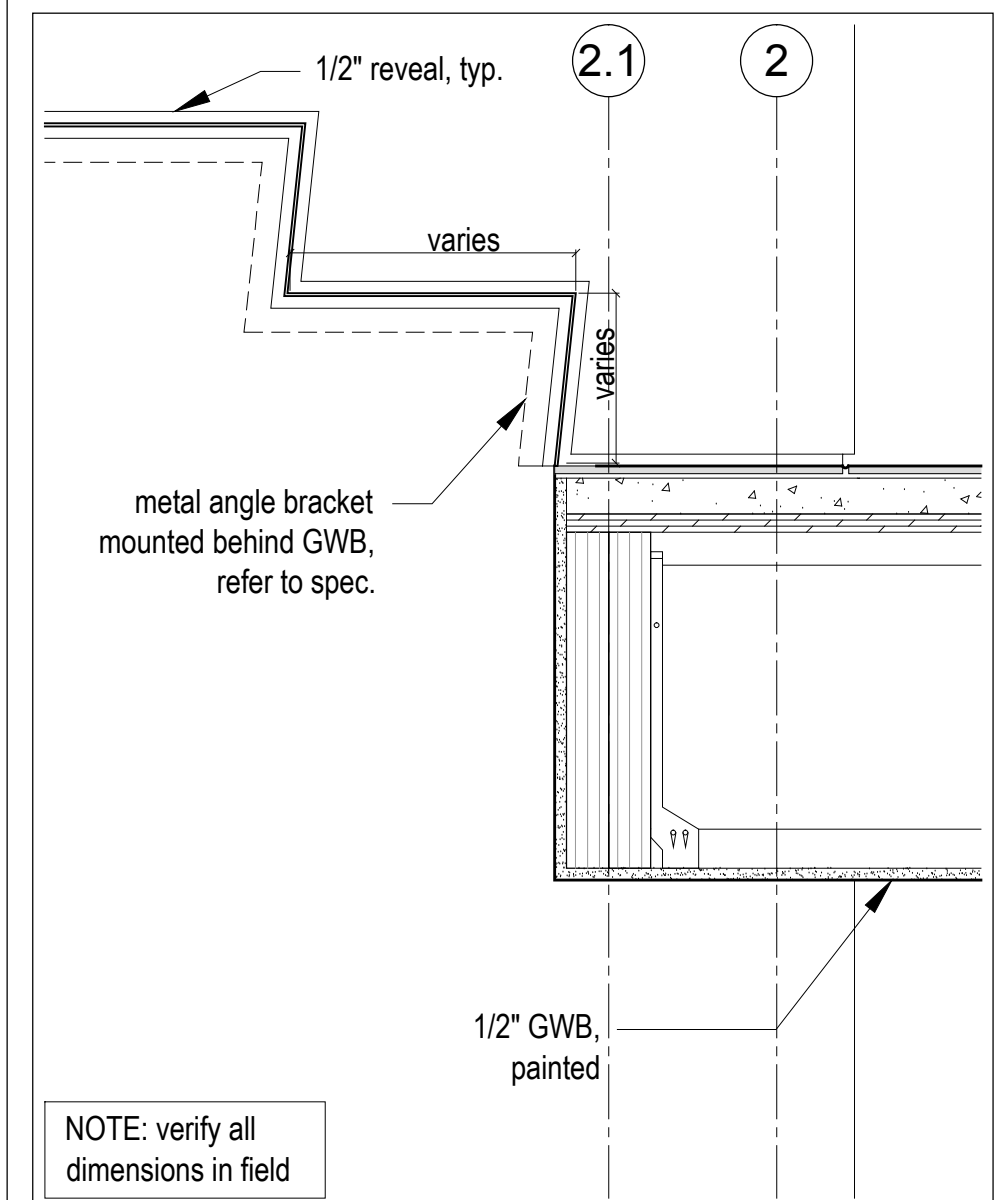
5 Level 1 Stair Section
Scale 3/4" = 1'-0"

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FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW:
 BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY FIRE
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 BY: MEM DATE: 03/04/19
 WEST COAST CODE CONSULTANTS, INC.

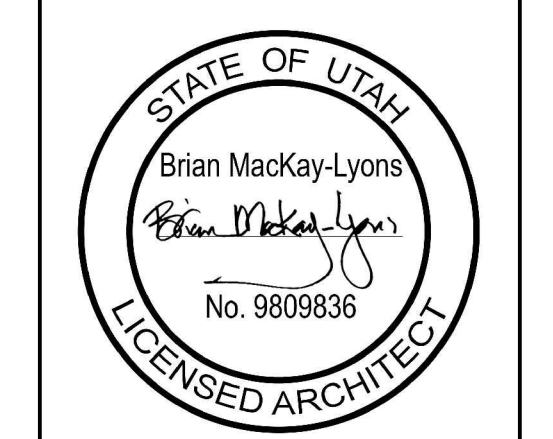
3 NOT USED
A611 NTS



2 Top Threshold Detail
Scale 1 1/2" = 1'-0"



1 Bottom Threshold Detail, Typ.
Scale 1 1/2" = 1'-0"

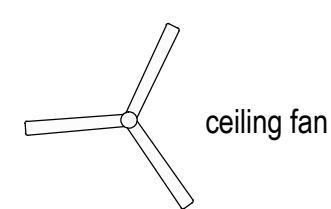


No.	Description	Date
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ELECTRIC LEGEND:

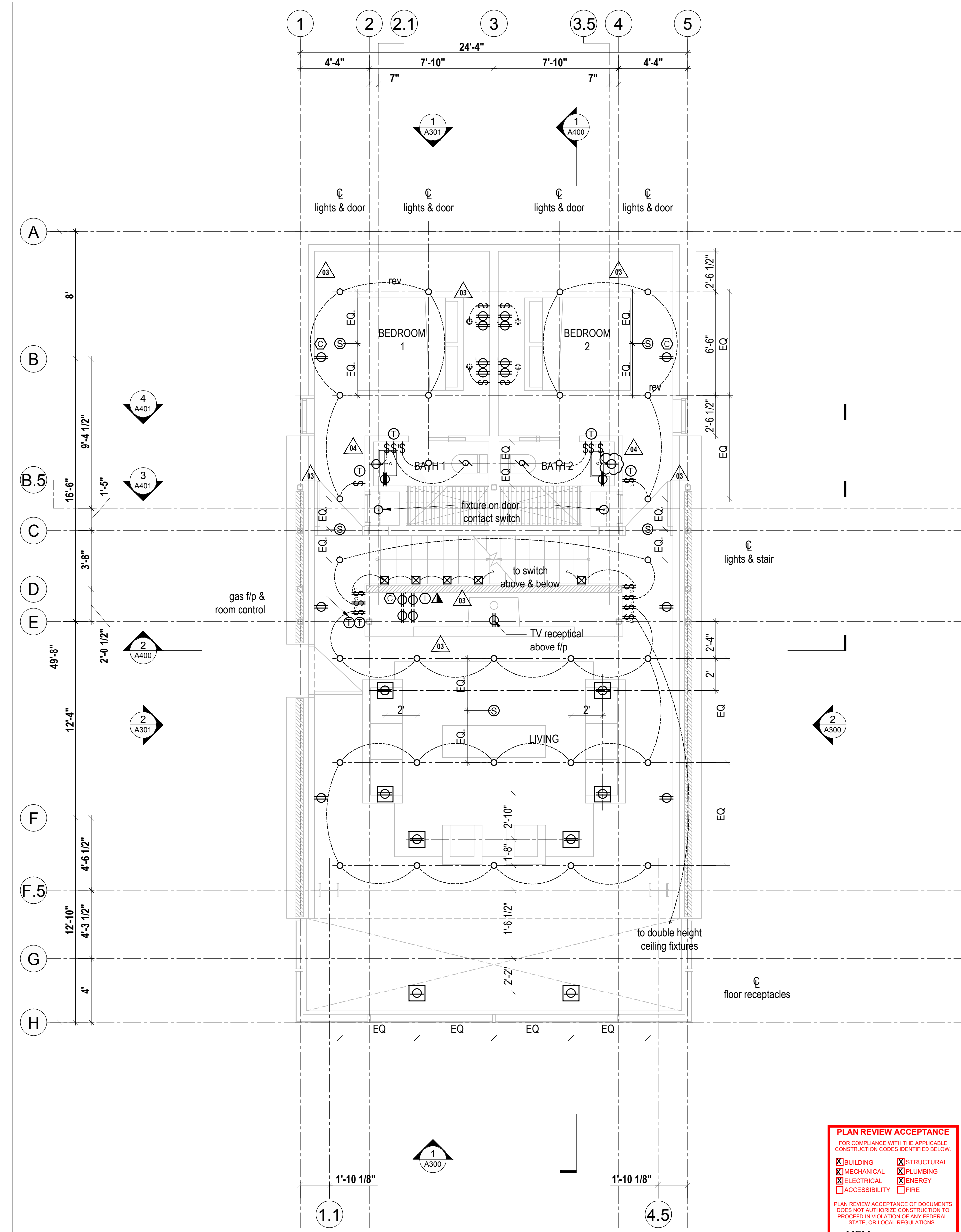
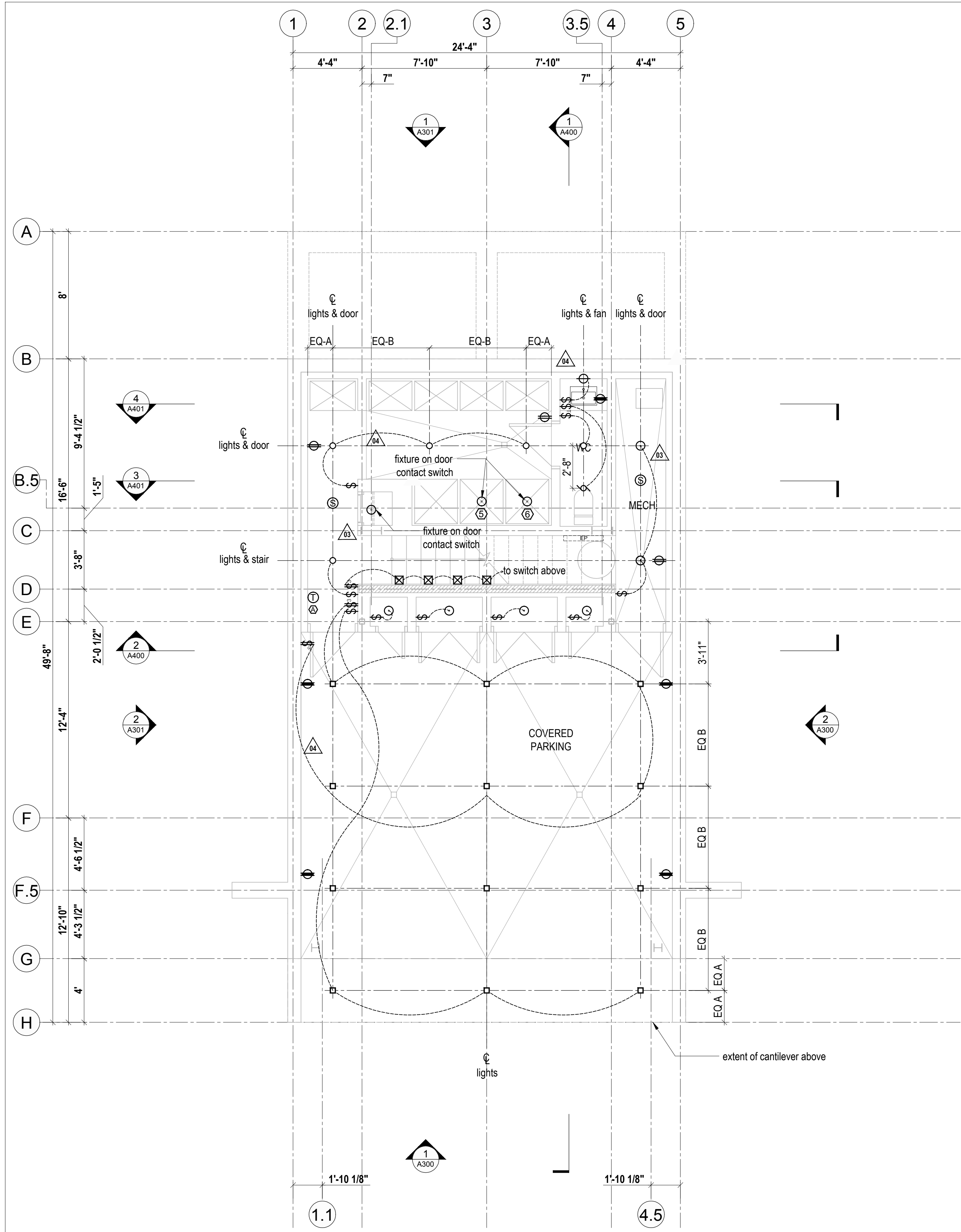
- ⊕ 125v duplex
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- ⊕ 240v duplex
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- ⊕ usb duplex
- shower luminaire
- ⊗ wall mounted stair luminaire
- square trim LED potlight
- ceiling mounted utility luminaire
- ⊗ single head spotlight
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- ⊕ ceiling mounted pendant
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- ⊕ wall switch
- ⊕ ceiling mounted pendant
- ⊕ wall mounted vanity luminaire
- ⊕ three-way switch
- ⊕ switch with timer
- ⊕ exhaust fan
- ⊕ cable jack
- ⊕ internet jack
- ⊕ telephone jack
- ⊕ smoke alarm (wall mounted)
- ⊕ thermostat
- ⊕ alarm control pad
- ⊕ carbon monoxide detector
- interior LED strip light
- exterior LED strip light
- electrical panel



APPLIANCE LEGEND
(refer to appliance specs for electrical requirements)

- ① refrigerator / freezer
- ② dishwasher
- ③ microwave
- ④ oven
- ⑤ washer
- ⑥ dryer
- ⑦ cooktop
- ⑧ dumb-waiter
- ⑨ hot tub
- ⑩ vent hood

NOTE:
All exterior lighting to conform to Lighting Level LZ1: Low Ambient Lighting, Joint IOA-IES Lighting Ordinance, 2011



2 Ground Floor Plan
Scale 1/4" = 1'-0"

1 Second Floor Plan
Scale 1/4" = 1'-0"

PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input checked="" type="checkbox"/> ACCESSIBILITY	<input checked="" type="checkbox"/> FIRE

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MEM
WEST COAST CODE CONSULTANTS, INC.

Lot 71R
Village House

Mackay-Lyons
Sweetapple
Architects
Limited

2188 Göttingen St.
Halifax, Nova Scotia
Canada B3K 3B4

ph: (902) 429.1867
fax: (902) 429.6276

STATE OF UTAH
Brian Mackay-Lyons
No. 9809836
LICENSED ARCHITECT

NOTE: all dimensions to be verified in field

Typical installation heights and alignments

vertically align switches/outlets by their centre line

wall mounted above counter

4"

3-1/2"

10"

▽ 8'-0"

▽ 0'-0"

No.	Description	Date
5	IFC Rev 02	2019.02.08
4	IFC Rev 01	2018.06.29
3	Issued for Construction	2018.03.13
2	Issued for Tender	2017.12.22
1	for coordination	2017.12.1

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Ground & Second Floor Electrical Plans

scale: 1/4" = 1'-0"

date: 17-11-23

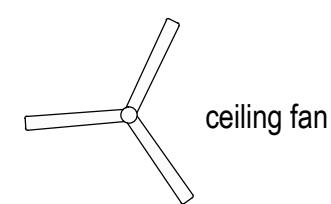
drawn: RD

chk'd: BML

A800

ELECTRIC LEGEND:

- ⊕ 125v duplex
- ⊕ GFCI duplex
- ⊕ 240v duplex
- ⊕ floor duplex
- ⊕ usb duplex
- shower luminaire
- ⊗ wall mounted stair luminaire
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- ⊕ telephone jack
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- ⊕ thermostat
- ⊕ alarm control pad
- ⊕ carbon monoxide detector
- interior LED strip light
- exterior LED strip light
- electrical panel



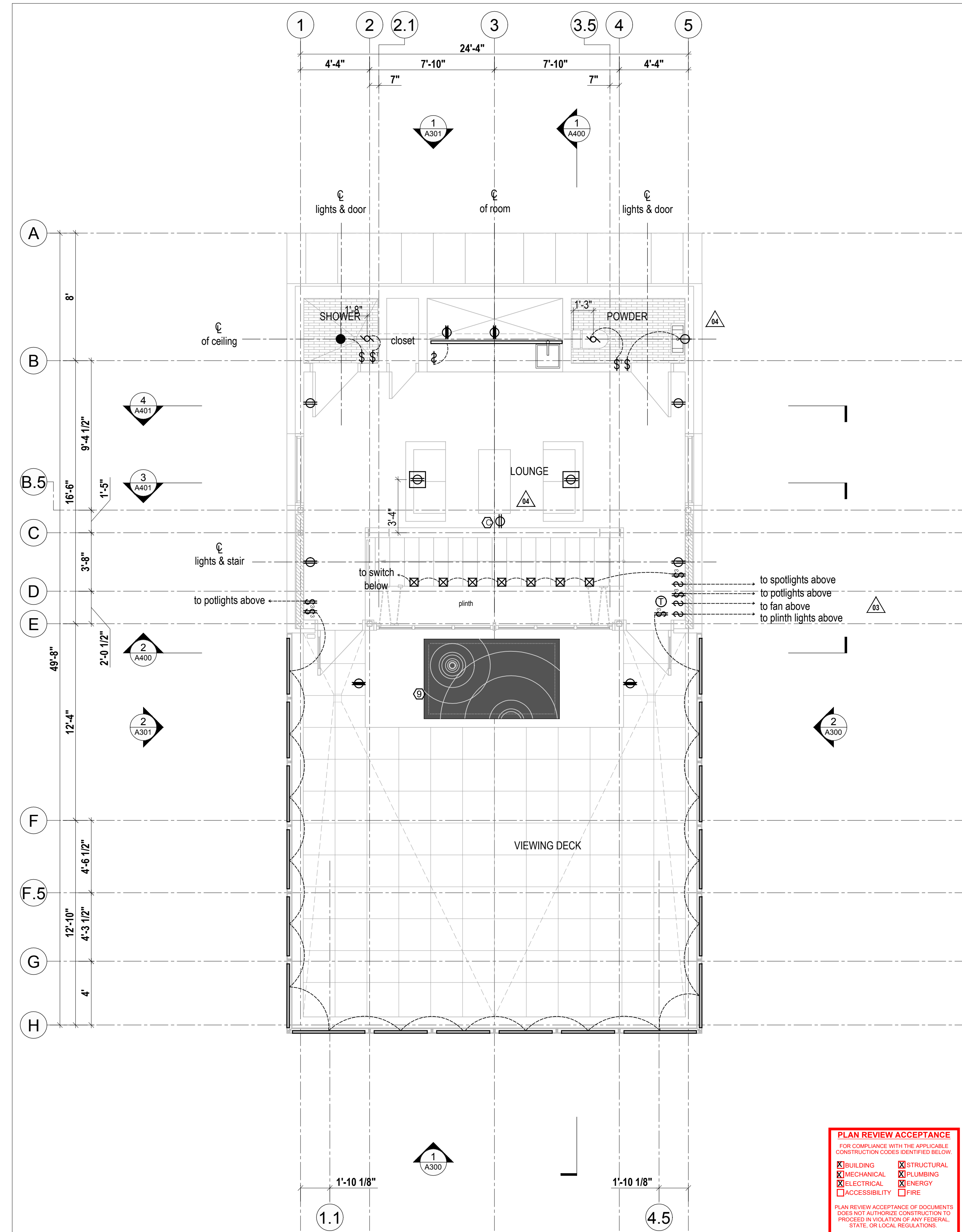
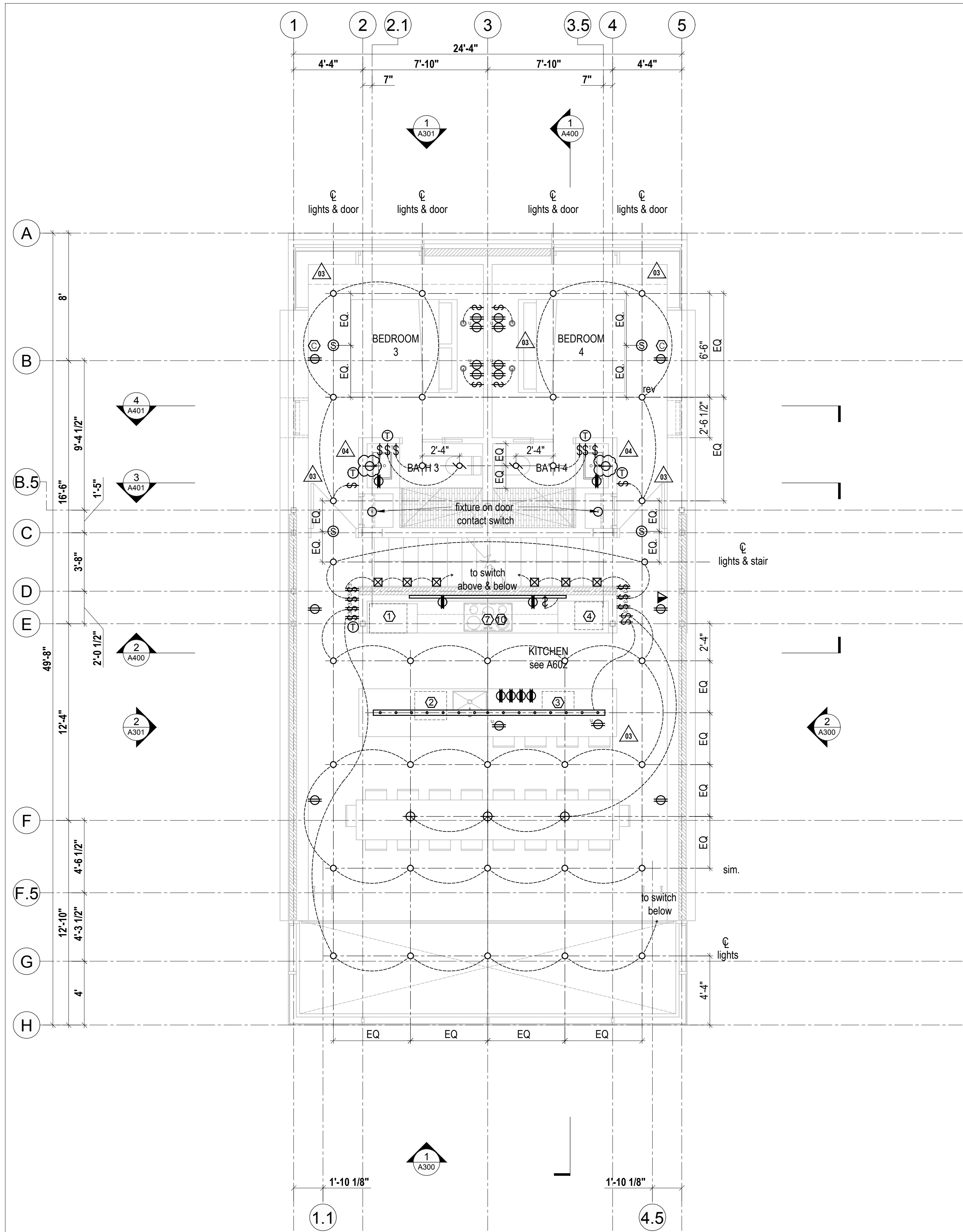
APPLIANCE LEGEND

(refer to appliance specs for electrical requirements)

- ① refrigerator / freezer
- ② dishwasher
- ③ microwave
- ④ oven
- ⑤ washer
- ⑥ dryer
- ⑦ cooktop
- ⑧ dumb-waiter
- ⑨ hot tub
- ⑩ vent hood

NOTE:

All exterior lighting to conform to Lighting Level LZ1: Low Ambient Lighting, Joint IOA-IES Lighting Ordinance, 2011



2 Third Floor Plan
Scale 1/4" = 1'-0"

1 Fourth Floor Plan
Scale 1/4" = 1'-0"

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<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input checked="" type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

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fax: (902) 429.6276

STATE OF UTAH
Brian Mackay-Lyons
No. 9809836
LICENSED ARCHITECT

NOTE: all dimensions to be verified in field

▽ 8'-0"

Typical installation heights and alignments

vertically align switches/outlets by their centre line

wall mounted above counter

4'

3'-1"

10"

▽ 0'-0"

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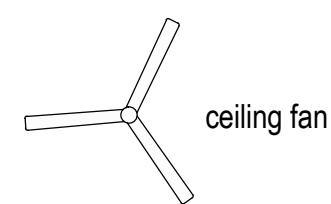
Third & Fourth
Electrical Plans

scale: 1/4" = 1'-0"
date: 17-11-23
drawn: RD
chk'd: BML

A801

ELECTRIC LEGEND:

- ⊕ 125v duplex
- ⊕ GFCI duplex
- ⊕ 240v duplex
- ⊕ floor duplex
- ⊕ usb duplex
- shower luminaire
- ⊕ wall mounted stair luminaire
- square trim LED potlight
- ceiling mounted utility luminaire
- ⊗ single head spotlight
- puck light
- ⊕ ceiling mounted pendant
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- ⊕ wall switch
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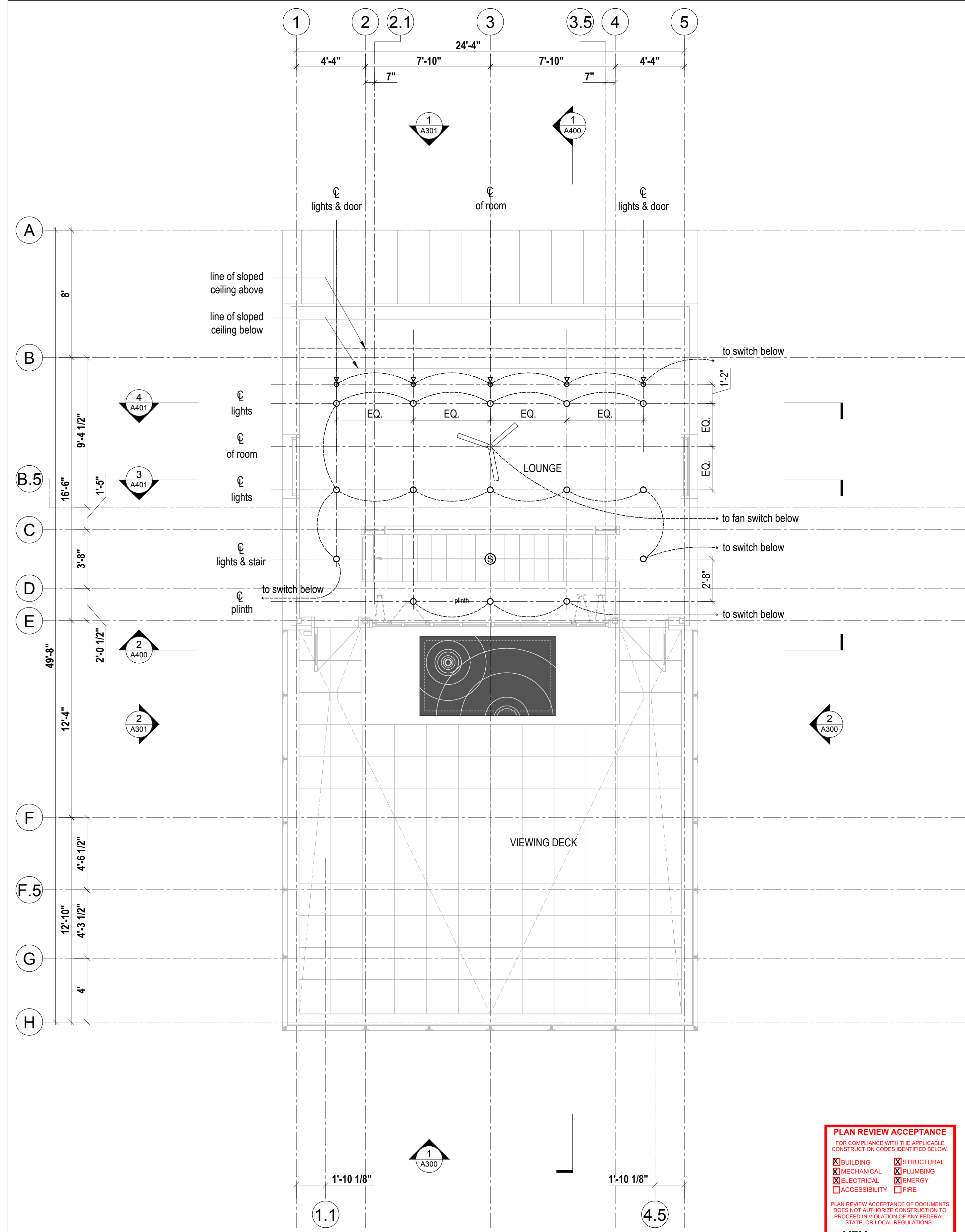
APPLIANCE LEGEND

(refer to appliance specs for electrical requirements)

- ① refrigerator / freezer
- ② dishwasher
- ③ microwave
- ④ oven
- ⑤ washer
- ⑥ dryer
- ⑦ cooktop
- ⑧ dumb-waiter
- ⑨ hot tub
- ⑩ vent hood

NOTE:

All exterior lighting to conform to Lighting Level LZ1: Low Ambient Lighting, Joint IOA-IES Lighting Ordinance, 2011



1 Loft Plan
Scale 1/4" = 1'-0"

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BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

Lot 71R
Village House

Summit Powder Mountain
Evan, Utah

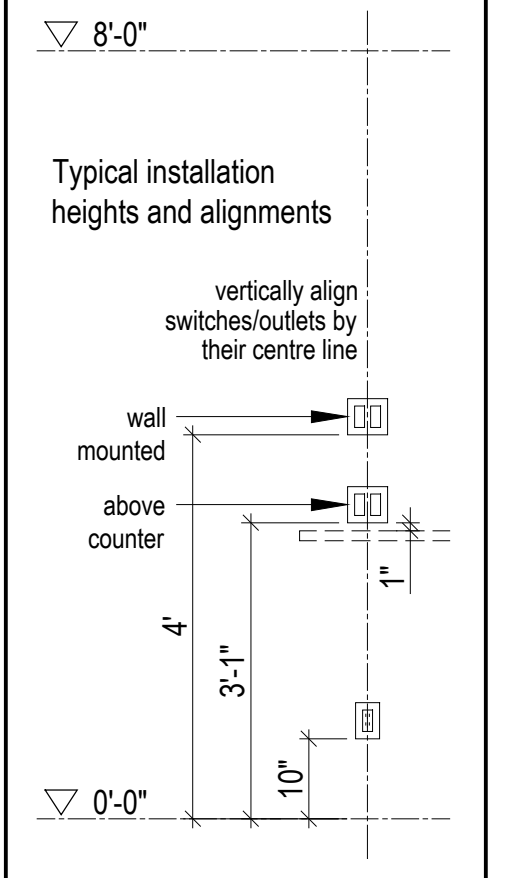
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STATE OF UTAH
Brian Mackay-Lyons
Lic. No. 9809836
LICENSED ARCHITECT

NOTE: all dimensions to be verified in field



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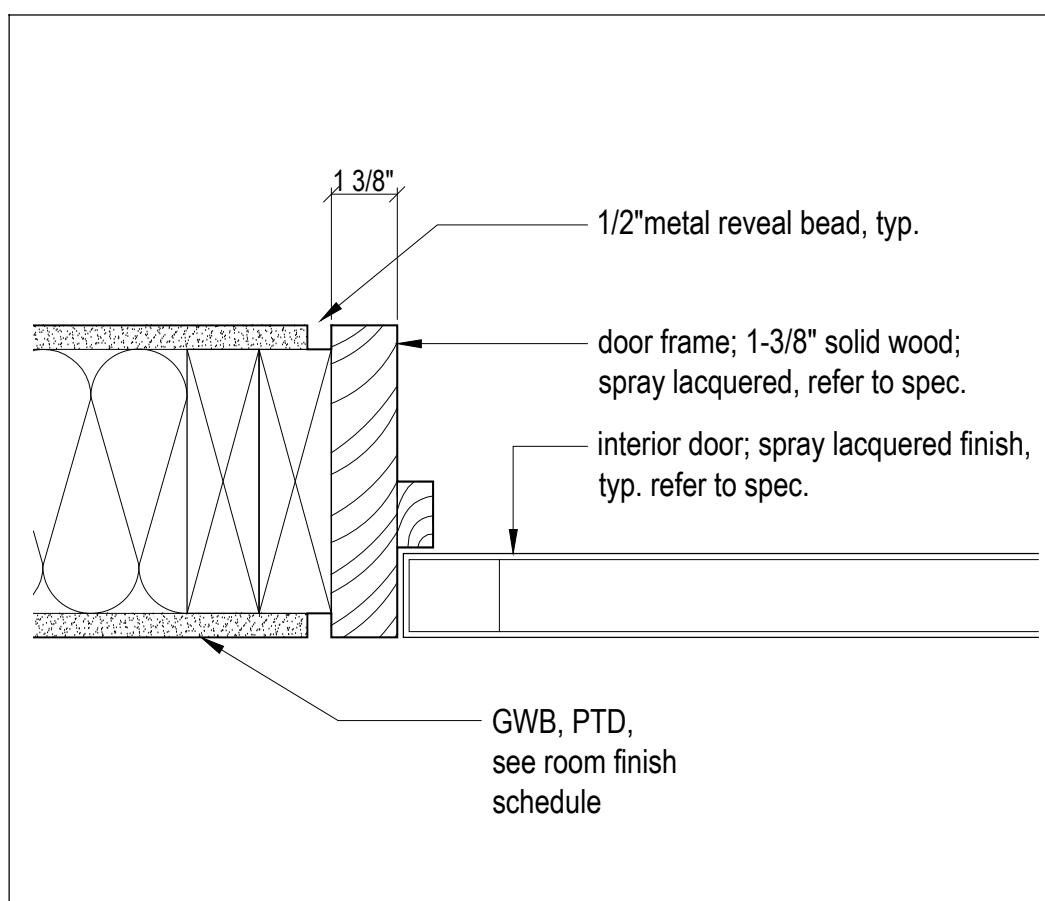
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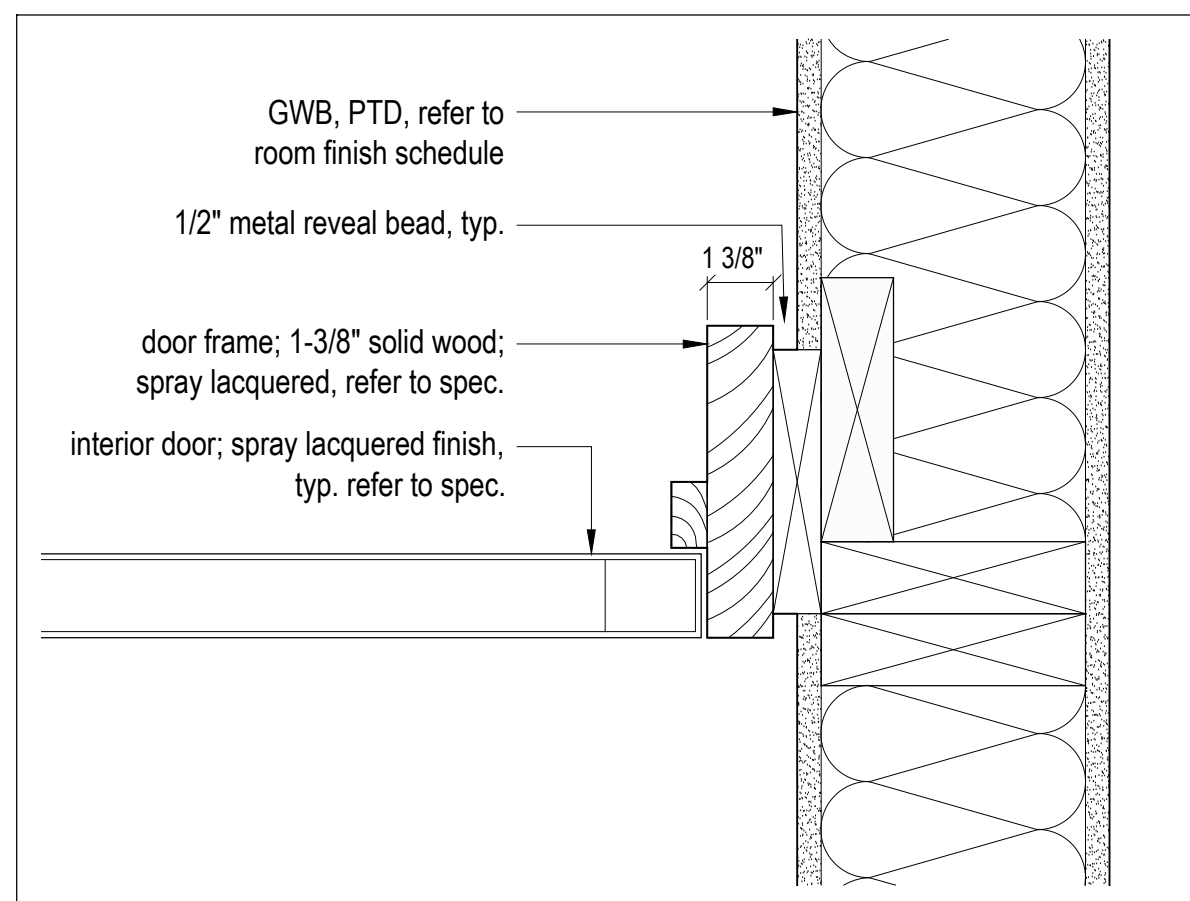
Level 4
Electrical Plan

scale: 1/4" = 1'-0"
date: 17-11-23
drawn: RD
chk'd: BML

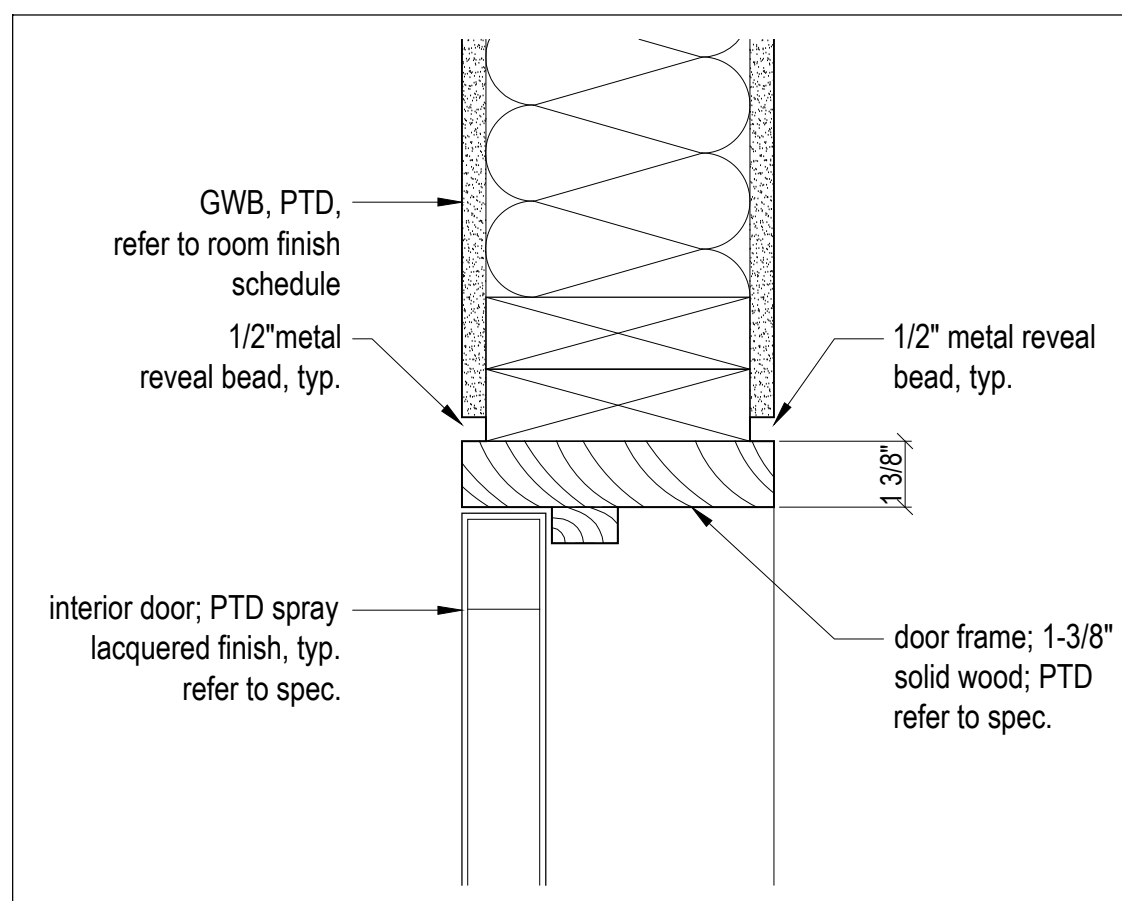
A802



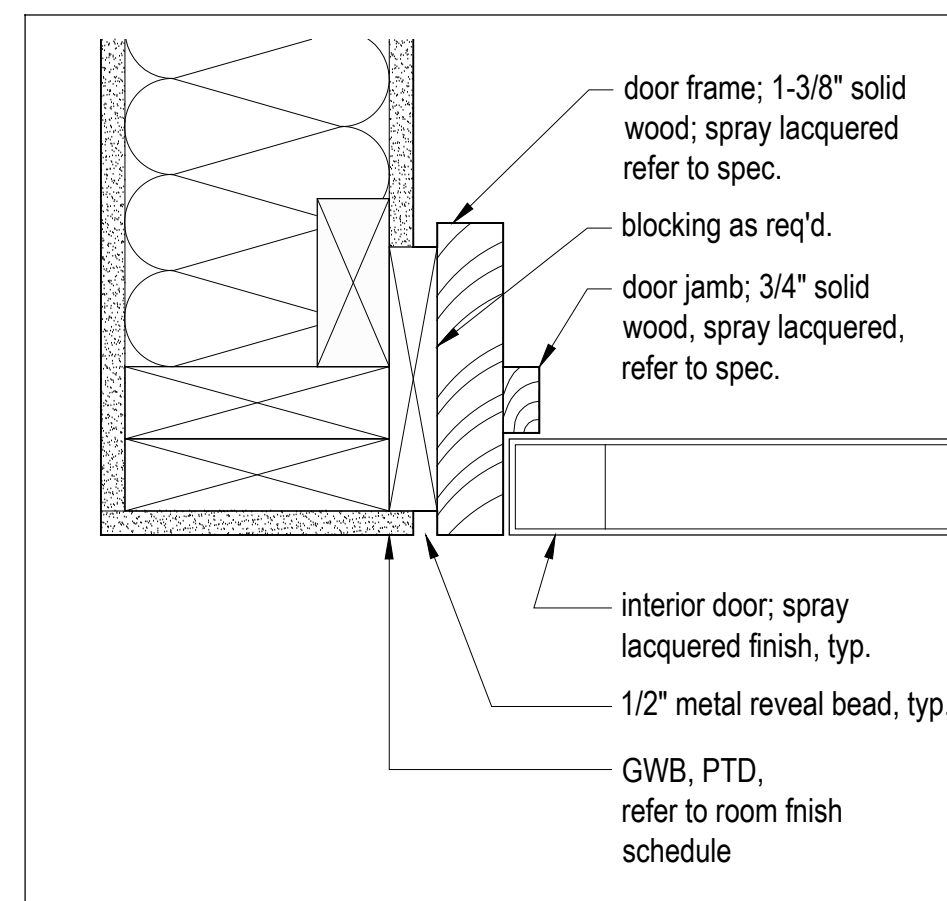
6 Typical Door Frame - Jamb Detail
Scale 3" = 1'-0"



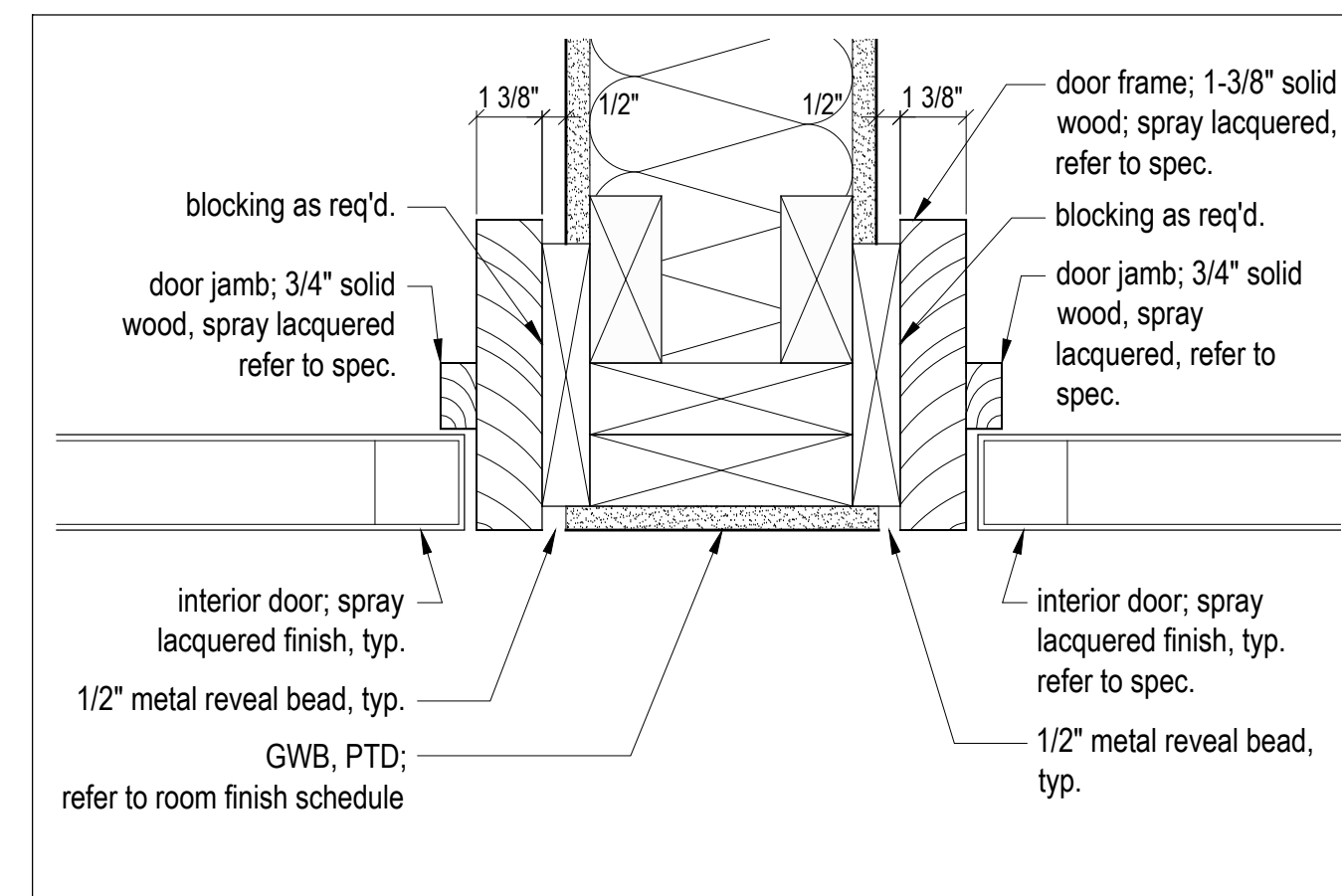
5 Typical Door Frame - Jamb Detail
Scale 3" = 1'-0"



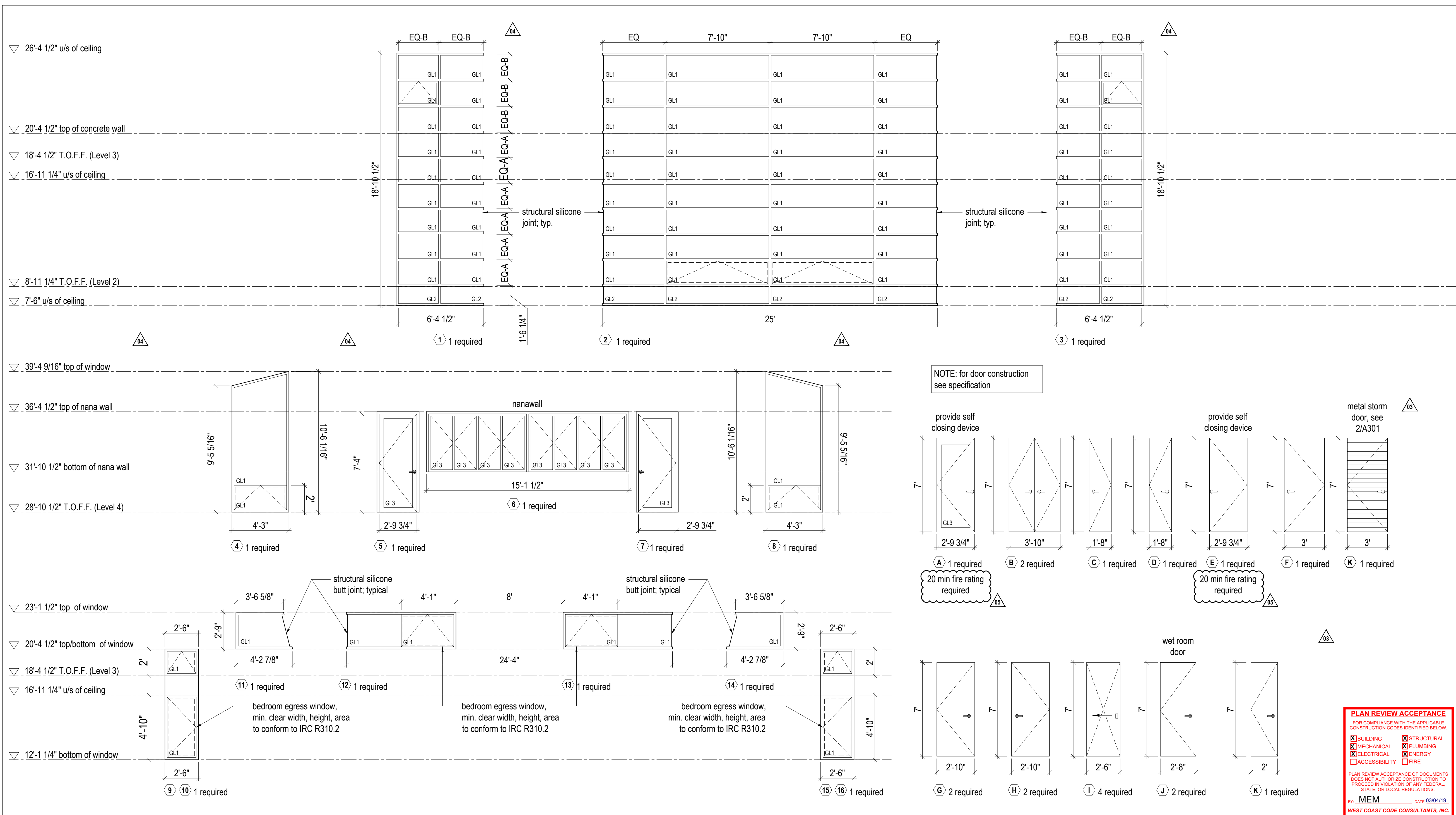
4 Typical Door Frame - Head Detail
Scale 3" = 1'-0"



3 Typical Door Frame - Jamb Detail
Scale 3" = 1'-0"



2 Typical Door Frame - Jamb Detail
Scale 3" = 1'-0"

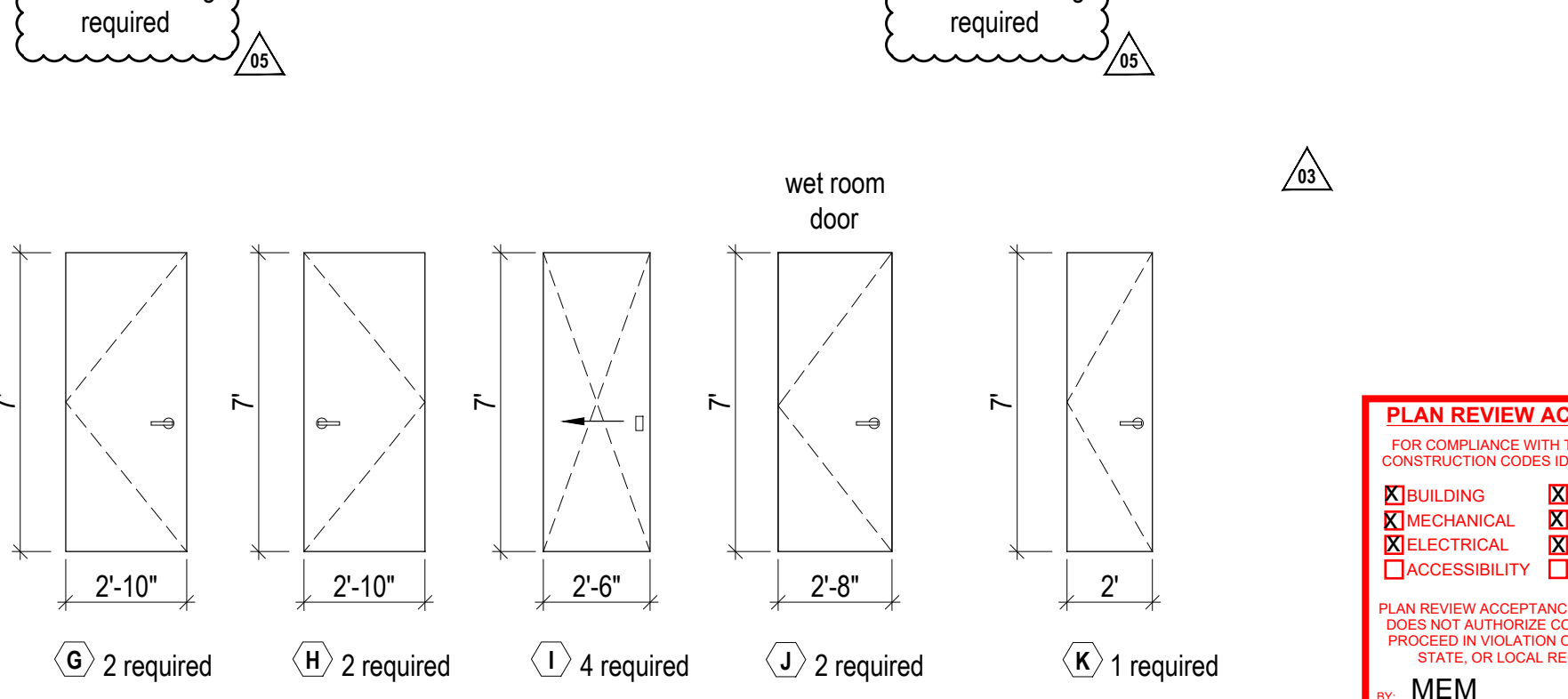
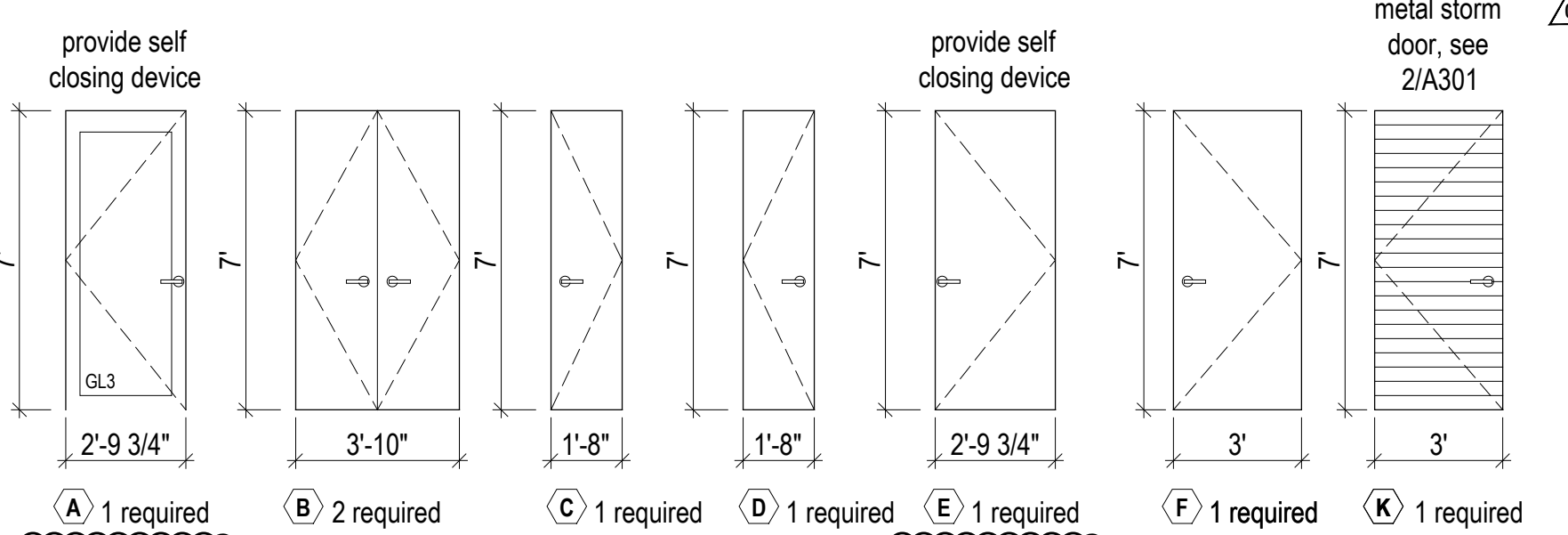


1 Window & Door Schedule
Scale 1/4" = 1'-0"

NOTES:

1. Curtainwall window frames to be OLDCASTLE RELIANCE - SS series clear anodized aluminum, 0.32 U-factor, 0.30 SHGC.
2. Casement Operators in Curtainwall window frames to be OLDCASTLE ZERO SIGHTLINE SERIES 30P clear anodized aluminum finish, 0.32 U-factor, 0.30 SHGC. Outswing operation typical.
3. All glazed exterior doors to be OLDCASTLE AD-375 THERMAL ENTRANCE series clear anodized aluminum finish, 0.44 U-factor, 0.179 SHGC. Outswing operation typical.
4. All entry doors are to have keyed entry lever and deadbolt. Information to be provided as part of glazing shop drawings and reviewed by architect.
5. Windows sizes are finished frames. It is the contractor's responsibility to determine rough openings.
6. All operable windows to have insect screens. Review screen type with architect prior to installation.
7. Refer to spec for window head / sill / jamb flashing material.
8. All operable windows to be outswing.
9. All joints of door cladding to align with joints of wall cladding when doors are in closed position.
10. All dimensions to be verified in field prior to fabrication.
11. Provide shop drawings for all windows, doors, and head/sill/jamb conditions for review by architect prior to fabrication and installation.
12. Refer to floor plans for door swing directions.
13. All U-factors shall be determined by testing in accordance with NFRC 100 and labeled as such by the manufacturer, per IECC R402.3.
14. Provide window fall protection devices in accordance with R312.2 of the 2015 IRC.

NOTE: for door construction see specification



PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW

BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY FIRE

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MEM DATE 03/04/19
WEST COAST CODE CONSULTANTS, INC.

GLAZING LEGEND

- GL1 - Double Glazed Vision Glass
- GL2 - Spandrel w/ Category II Safety Glass
- GL3 - Double Glazed Vision Glass w/ Category II Safety Glass

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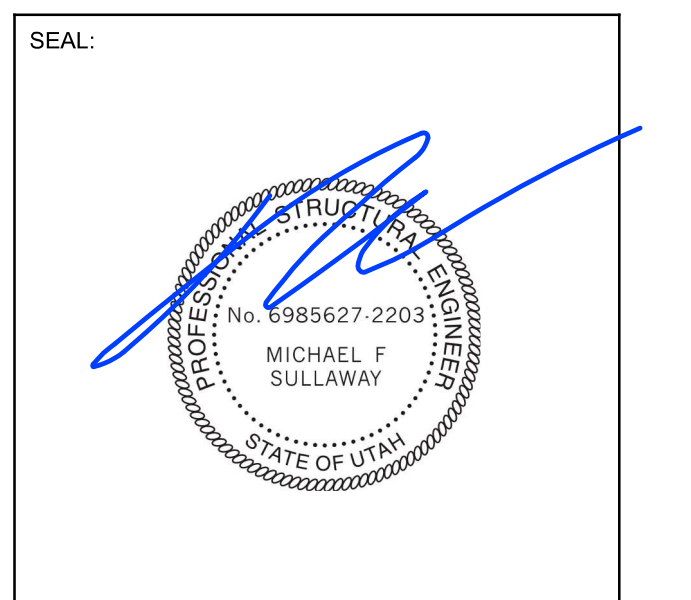
Window / Door Schedule

SCHEDULE OF SPECIAL INSPECTIONS

VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	DETAILED INSTRUCTIONS AND FREQUENCIES
REINFORCED CONCRETE (IBC 1705.3 & 1705.12.1)			
REINFORCING STEEL		X	VERIFY PRIOR TO PLACING CONCRETE THAT REINFORCING IS OF SPECIFIED TYPE, GRADE AND SIZE; THAT IT IS FREE OF OIL, DIRT AND RUST; THAT IT IS LOCATED AND SPACED PROPERLY; THAT HOOKS, BENDS, TIES, STIRRUPS, AND SUPPLEMENTAL REINFORCEMENT ARE PLACED CORRECTLY; THAT TAP LENGTHS, STAGGER AND OFFSETS ARE PROVIDED; AND THAT ALL MECHANICAL CONNECTIONS ARE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND/OR EVALUATION REPORT.
ANCHORAGE		X	INSPECTION OF ANCHORS CAST IN CONCRETE.
USE OF REQUIRED MIX DESIGN		X	VERIFY THAT ALL MIXTURES USED COMPLY WITH THE APPROVED CONSTRUCTION DOCUMENTS; ACI 318: Ch. 4, 5.2-5.4; AND IBC 1904.3, 1913.2, 1913.3.
CONCRETE SAMPLING FOR STRENGTH TESTS, SLUMP, AIR CONTENT, AND TEMPERATURE	X		
CONCRETE PLACEMENT	X		
CURING TEMPERATURE AND TECHNIQUES		X	VERIFY THAT AMBIENT TEMPERATURE FOR CONCRETE IS KEPT > 50°F FOR AT LEAST 7 DAYS AFTER PLACEMENT; HIGH-EARLY-STRENGTH CONCRETE SHALL BE KEPT > 50°F FOR AT LEAST 3 DAYS. ACCELERATED CURING METHODS MAY BE USED (SEE ACI 318.5.11.3). ALL CONCRETE MATERIALS, REINFORCEMENT, FORMS, FILLERS, AND GROUND SHALL BE FREE FROM FROST. IN HOT WEATHER CONDITIONS ENSURE THAT APPROPRIATE MEASURES ARE TAKEN TO AVOID PLASTIC SHRINKAGE CRACKING AND THAT THE SPECIFIED WATER/CEMENT RATIO IS NOT EXCEEDED.
STRENGTH VERIFICATION		X	VERIFY THAT ADEQUATE STRENGTH HAS BEEN ACHIEVED PRIOR TO THE REMOVAL OF FORMS.
FORMWORK		X	VERIFY THAT FORMS ARE PLACED PLUMB AND CONFORM TO THE SHAPES, LINES, AND DIMENSIONS OF THE MEMBERS AS REQUIRED BY THE APPROVED CONSTRUCTION DOCUMENTS.
STRUCTURAL STEEL - PRIOR TO WELDING (TABLE N5.4-1, AISC 360-10)			
VERIFY WELDING PROCEDURES (WPS) AND CONSUMABLE CERTIFICATES	X		
MATERIAL IDENTIFICATION		X	VERIFY TYPE AND GRADE OF MATERIAL.
WELDER IDENTIFICATION		X	A SYSTEM SHALL BE MAINTAINED BY WHICH A WELDER WHO HAS WELDED A JOINT OR MEMBER CAN BE IDENTIFIED.
FIT-UP GROOVE WELDS		X	VERIFY JOINT PENETRATION, DIMENSIONS, CLEANLINESS, TACKING, AND BACKING.
ACCESS HOLES		X	VERIFY CONFIGURATION AND FINISH.
FIT-UP FILLET WELDS		X	VERIFY ALIGNMENT, GAPS AT ROOT, CLEANLINESS OF STEEL SURFACES, AND TACK WELD QUALITY AND LOCATION.
STRUCTURAL STEEL - DURING WELDING (TABLE N5.4-2, AISC 360-10)			
USE OF QUALIFIED WELDERS		X	VERIFY THAT WELDERS ARE APPROPRIATELY QUALIFIED.
CONTROL AND HANDLING OF WELDING CONSUMABLES		X	VERIFY PACKAGING AND EXPOSURE CONTROL.
CRACKED TACK WELDS		X	VERIFY THAT WELDING DOES NOT OCCUR OVER CRACKED TACK WELDING.
ENVIRONMENTAL CONDITIONS		X	VERIFY THAT WIND SPEED, PRECIPITATION, AND TEMPERATURE ARE WITHIN LIMITS.
WPS FOLLOWED		X	VERIFY ITEMS SUCH AS SETTINGS ON WELDING EQUIPMENT, TRAVEL SPEED, WELDING MATERIALS, SHIELDING GAS TYPE/FLOW RATE, PREHEAT APPLIED, INTERPASS TEMPERATURE MAINTAINED, AND PROPER POSITION.
WPS FOLLOWED		X	VERIFY ITEMS SUCH AS SETTINGS ON WELDING EQUIPMENT, TRAVEL SPEED, WELDING MATERIALS, SHIELDING GAS TYPE/FLOW RATE, PREHEAT APPLIED, INTERPASS TEMPERATURE MAINTAINED, AND PROPER POSITION.
WELDING TECHNIQUES		X	VERIFY INTERPASS AND FINAL CLEANING, EACH PASS IS WITHIN PROFILE LIMITATIONS, AND QUALITY OF EACH PASS.
STRUCTURAL STEEL - AFTER WELDING (TABLE N5.4-3, AISC 360-10)			
WELDS CLEANED		X	VERIFY THAT WELDS HAVE BEEN PROPERLY CLEANED.
SIZE, LENGTH, AND LOCATION OF WELDS	X		
WELDS MEET VISUAL ACCEPTANCE CRITERIA	X		
ARC STRIKES	X		
K-AREA	X		
BACKING AND WELD TABS REMOVED	X		
REPAIR ACTIVITIES	X		
DOCUMENT ACCEPTANCE OR REJECTION OF WELDED JOINT/MEMBER	X		

VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	DETAILED INSTRUCTIONS AND FREQUENCIES
NON-DSTRUCTIVE TESTING (SECTION N5.5, AISC 360-10)			
CJP WELDS		X	ULTRASONIC TESTING SHALL BE PERFORMED ON 10% OF CJP GROOVE WELDS IN BUTT, T- AND CORNER JOINTS SUBJECTED TO TRANSVERSELY APPLIED TENSION LOADING IN MATERIALS 5/16" THICK OR GREATER. TESTING RATE MUST BE INCREASED IF >5% OF WELDS TESTED HAVE UNACCEPTABLE DEFECTS.
ACCESS HOLES (FLANGE > 2")	X		
WELD JOINTS SUBJECT TO FATIGUE	X		
OTHER STEEL INSPECTIONS (SECTION N5.7, AISC 360-10; TABLES J8-1 & J10-1, AISC 341-10)			
STRUCTURAL STEEL DETAILS		X	ALL FABRICATED STEEL OR STEEL FRAMES SHALL BE INSPECTED TO VERIFY COMPLIANCE WITH THE DETAILS SHOWN IN THE CONSTRUCTION DOCUMENTS, SUCH AS BRACES, STIFFENERS, MEMBER LOCATIONS, AND PROPER APPLICATION OF JOINT DETAILS AT EACH CONNECTION.
ANCHOR RODS AND OTHER EMBEDMENTS SUPPORTING STRUCTURAL STEEL		X	SHALL BE ON THE PREMISES DURING THE PLACEMENT OF ANCHOR RODS AND OTHER EMBEDMENTS SUPPORTING STRUCTURAL STEEL FOR COMPLIANCE WITH CONSTRUCTION DOCUMENTS. VERIFY THE DIAMETER, GRADE, TYPE, AND LENGTH OF THE ANCHOR ROD OR EMBEDMENT ITEM, AND THE EXTENT OR DEPTH OF EMBEDMENT PRIOR TO PLACEMENT OF CONCRETE.
WOOD CONSTRUCTION (IBC 1705.10.1 & 1705.11.2)			
HIGH-LOAD DIAPHRAGMS		X	VERIFY THICKNESS AND GRADE OF SHEATHING, SIZE OF FRAMING MEMBERS AT PANEL EDGES, NAIL/STAPLE DIAMETERS AND LENGTH, AND THE NUMBER OF FASTENER LINES AND FASTENER SPACING PER APPROVED PLANS. PERFORMED BY CODE INSPECTION FIRM.
STRUCTURAL WOOD		X	WHERE FASTENER SPACING IS < 4" o.c.: VERIFY PROPER NAILING, BOLTING, ANCHORING, AND OTHER FASTENING OF SHEAR WALLS, DIAPHRAGMS, BRACES, AND HOLD-DOWNS. PERFORMED BY CODE INSPECTION FIRM.
SOILS (IBC 1705.6)			
VERIFY SUBGRADE IS ADEQUATE TO ACHIEVE DESIGN BEARING CAPACITY		X	PRIOR TO PLACEMENT OF CONCRETE.
VERIFY EXCAVATIONS EXTEND TO PROPER DEPTH AND MATERIAL		X	PRIOR TO PLACEMENT OF COMPACTED FILL OR CONCRETE.
VERIFY THAT SUBGRADE HAS BEEN APPROPRIATELY PREPARED PRIOR TO PLACING COMPACTED FILL		X	PRIOR TO PLACEMENT OF COMPACTED FILL.
PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS		X	ALL MATERIALS SHALL BE CHECKED AT EACH LIFT FOR PROPER CLASSIFICATIONS AND GRADATIONS NOT LESS THAN ONCE FOR EACH 10,000 SQ.FT. OF SURFACE AREA.
VERIFY PROPER MATERIALS, DENSITIES, AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION.	X		ALL MATERIALS SHALL BE CHECKED AT EACH LIFT FOR PROPER CLASSIFICATIONS AND GRADATIONS NOT LESS THAN ONCE FOR EACH 10,000 SQ.FT. OF SURFACE AREA.

- SPECIAL INSPECTORS SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO PERFORMING ANY DUTIES.
- SPECIAL INSPECTORS SHALL PROVIDE PROOF OF LICENSURE BY THE STATE OF UTAH FOR EACH TYPE OF INSPECTION.
- SPECIAL INSPECTIONS AND TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, THIS STATEMENT, AND THE IBC SECTIONS 1704 AND 1705.
- INSPECTION REPORTS WILL BE SUBMITTED TO THE CODE CONSULTANT, THE ARCHITECT, AND THE STATE OF UTAH BUILDING OFFICIAL WITHIN 48 HOURS OF PERFORMING INSPECTIONS.
- A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS, TESTING AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS AND A STATEMENT INDICATING THAT THE STRUCTURE IS IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS AND APPLICABLE CODES SHALL BE SUBMITTED.



MARK	DATE	DESCRIPTION
△	2018.08.24	REVISED PERMIT SET
△	2018.06.26	ISSUED FOR PERMIT
	2018.06.20	ISSUED FOR COORDINATION
	2018.02.01	ISSUED FOR PERMIT
	2017.12.13	ISSUED FOR INTERNAL COORD.
	2017.12.02	ISSUED FOR COORDINATION
	2017.11.22	ISSUED C GRADE COSTING
	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
CHECKED: --

SCALE: AS NOTED
PROJECT NUMBER: 170450

SHEET TITLE:
GENERAL NOTES CONT.'D

PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY FIRE

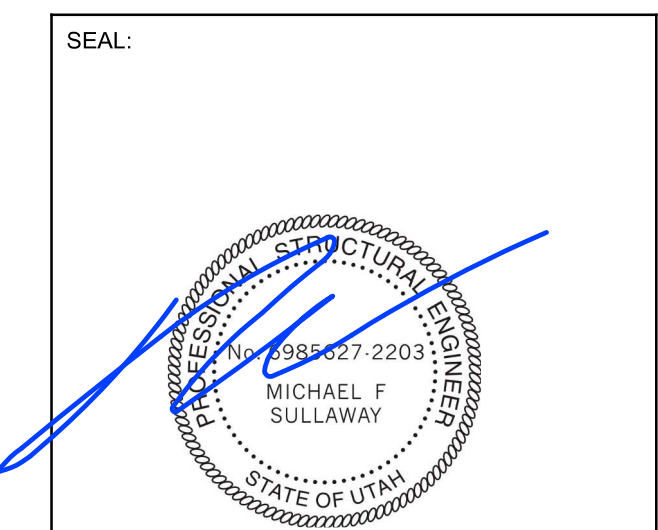
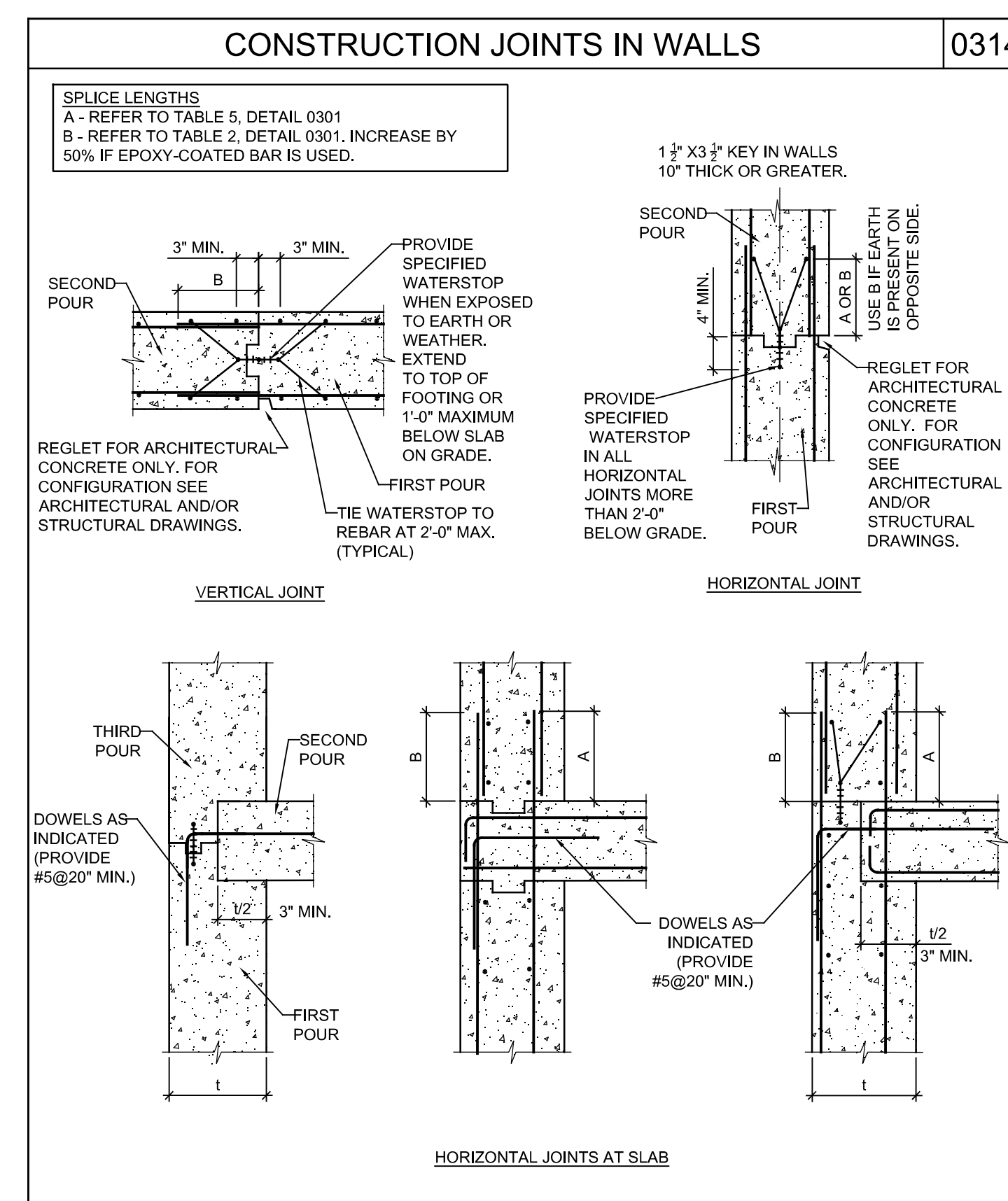
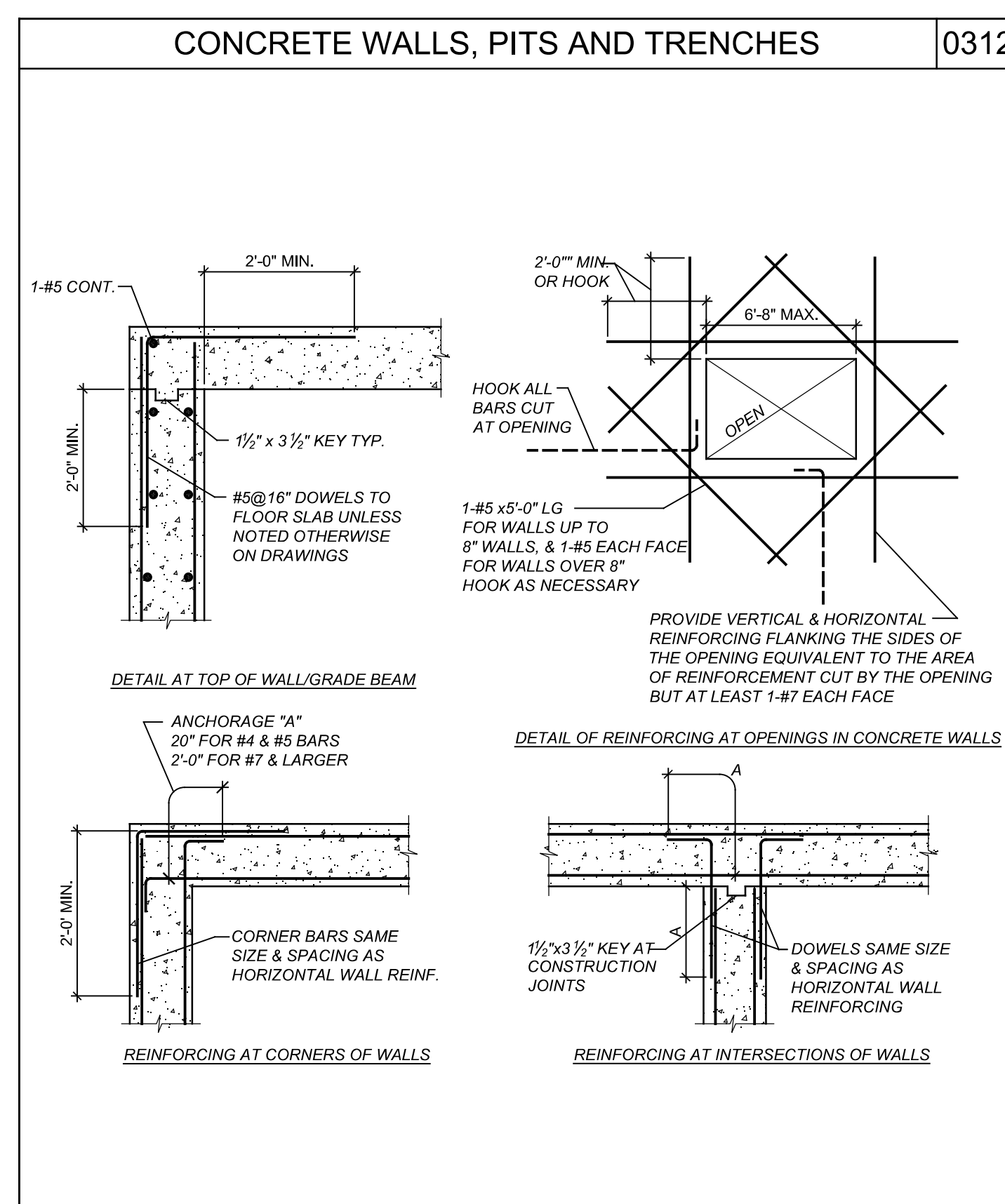
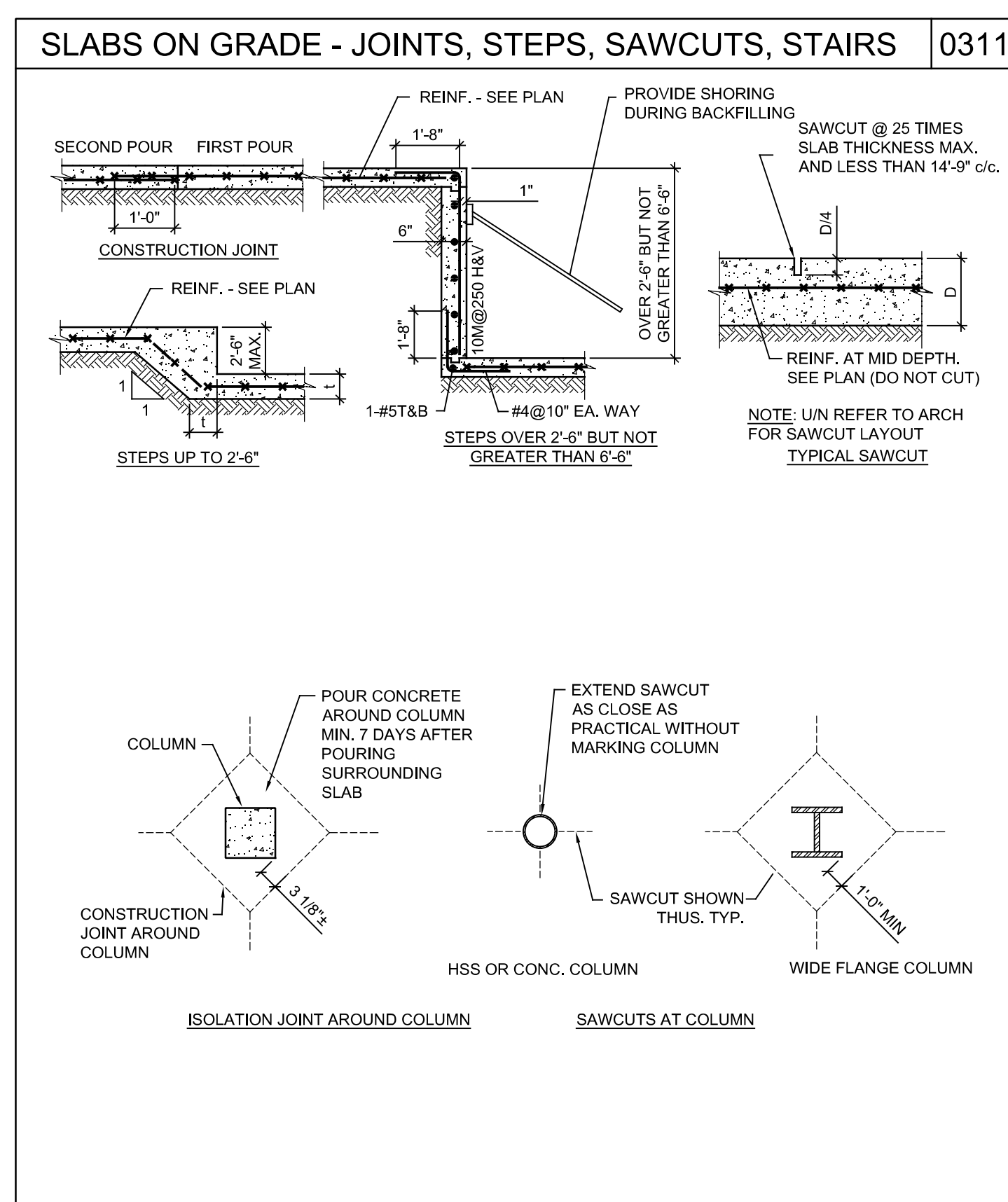
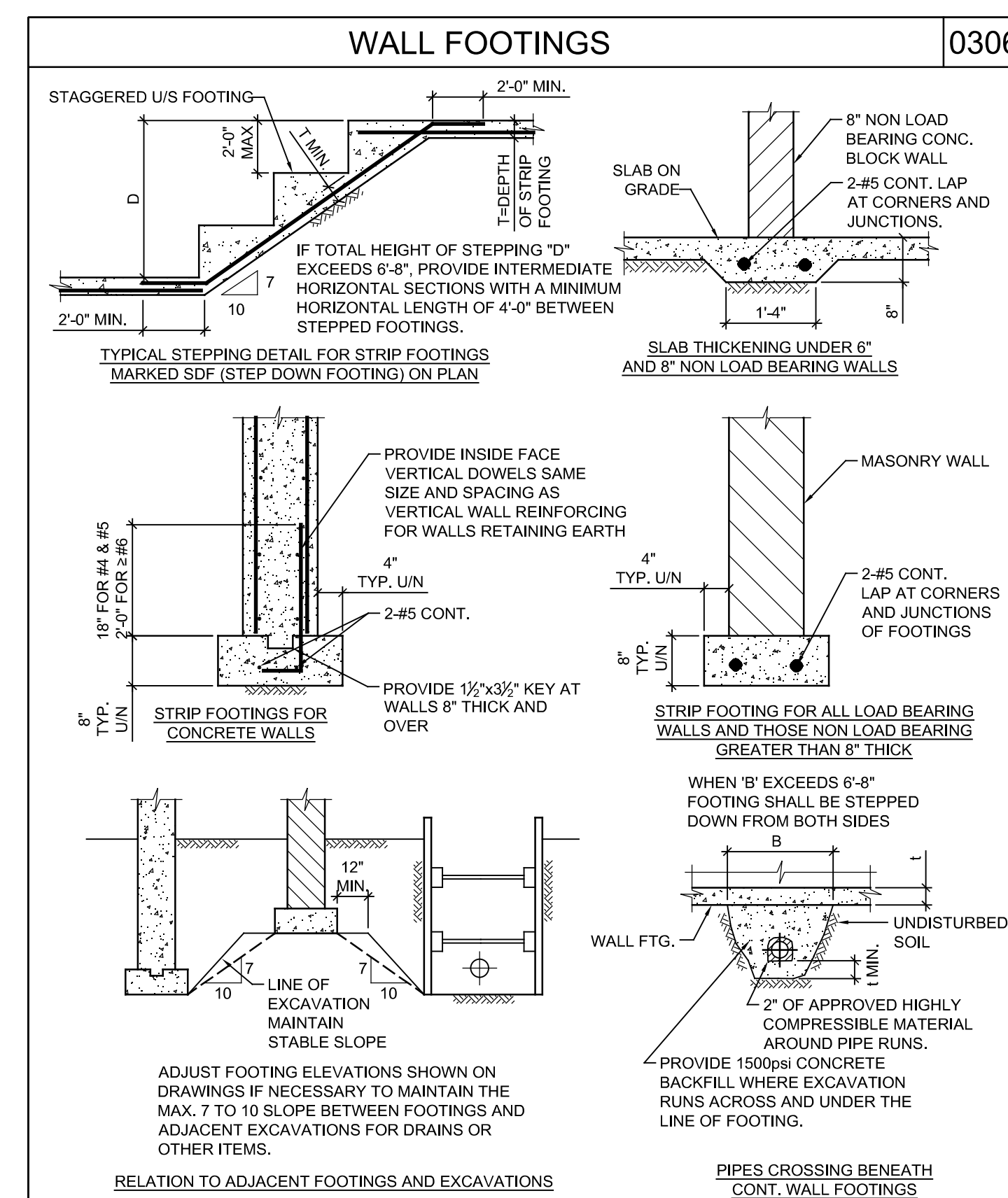
PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, OR LOCAL REGULATIONS.

BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

S-002

ABBREVIATIONS		0001	
A.BOLT	= ANCHOR BOLT	kN	= KILONEWTON
ADJ.	= ADJUSTABLE	kg	= KILOGRAM
ALT.	= ALTERNATE	kN/m	= KILONEWTON METRES
ARCH.	= ARCHITECTURAL	kN/sq.m	= KILONEWTON PER SQUARE METRE
		kN/m	= KILONEWTON PER METRE
B	= BOTTOM	L.L.	= LIVE LOAD
BL	= BOTTOM LOWER LAYER	L.G.	= LONG
BUL	= BOTTOM UPPER LAYER	LLV	= LONG LEG VERTICAL
BULD.	= BUILDING	LLH	= LONG LEG HORIZONTAL
BM	= BEAM		
BR	= BASE OR BEARING PLATE	MAX	= MAXIMUM
BSMT.	= BASEMENT	MECH.	= MECHANICAL
		MEZZ.	= MEZZANINE
CA	= COLUMN ABOVE	MIN	= MINIMUM
C/C	= CENTRE TO CENTRE	MISC.	= MISCELLANEOUS
C	= CANTILEVER	ML	= MIDDLE LAYER
COL.	= COLUMN	mm	= MILLIMETRE
CONC.	= CONCRETE	MOM.	= MOMENT
CONSTR.	= CONSTRUCTION	m	= METRIC METRE
CONT.	= CONTINUOUS	MPa	= MEGAPASCAL
o/w	= COMPLETE WITH	MF	= FACTORED MOMENT
		N	= NEWTONS
DET.	= DETAIL	N.F.	= NEAR FACE
DIAG.	= DIAGONAL	N.S.	= NORTH-SOUTH
DIA.	= DIAMETER	N.TS.	= NOT TO SCALE
Ø	= DIAMETER, BAR DIAMETER		
DIM.	= DIMENSION	OWSJ	= OPEN WEB STEEL JOISTS
D.J.	= DOUBLE JOIST	OPEN	= OPENING
DO.	= DITTO		
D.L.	= DEAD LOAD	PL	= PLATE
DWG.	= DRAWING	PROJ.	= PROJECTION
DWL.	= DOWEL		
EA.	= EACH	R	= REACTION
EAF.	= EACH FACE	RAD	= RADIUS
EA.W.	= EACH WAY	REF.	= REFERENCE
EL.	= ELEVATION	REINF.	= REINFORCING REINFORCEMENT
ELECT.	= ELECTRICAL	REQ'D	= REQUIRED
ELEV.	= ELEVATOR	REV.	= REVISION/REVISED
E.W.	= EAST WEST	REV.	= REINFORCED WITH
EQ.	= EQUAL	SECT.	= SECTION
EXIST.	= EXISTING	SDF	= STEP DOWN FOOTING
EXP.	= EXPANSION JOINT	SL	= SLAB
EXT.	= EXTERIOR	SPEC'S.	= SPECIFICATIONS
		STD.	= STANDARD
		SQ.	= SQUARE
		STRUCT.	= STRUCTURAL
F.F.	= FAR FACE	T	= TOP
FDN.	= FOUNDATION	T.J.	= TIE JOIST
FIN.	= FINISHED	T.L.	= TOP LOWER LAYER
FL.	= FLOOR	T.U.	= TOP UPPER LAYER
FTG.	= FOOTING	TEMP.	= TEMPERATURE
		TYP.	= TYPICAL
GA.	= GAUGE	UN	= UNLESS OTHERWISE NOTED
GALV.	= GALVANIZED	US	= UNDERSIDE
GEN.	= GENERAL	Vf	= FACTORED SHEAR FORCE
H HOR.	= HORIZONTAL	V. VERT.	= VERTICAL
HH	= HOOKED EACH END	WWF	= WELDED WIRE FABRIC
INT.	= INTERIOR	w	= WITH
		w/d, wL	= UNIFORMLY DISTRIBUTED LOADS
JT.	= JOINT		

REINFORCEMENT DEVELOPMENT LENGTHS		0301		
TABLE 1 - TENSION DEVELOPMENT LENGTH (in)				
BAR SIZE	f _c			
	2900psi	3626psi	4352psi	5077psi
4	12.6	11.8	11.8	11.8
5	18.9	16.8	15.4	14.6
6	25.2	22.8	20.9	19.3
8	39.8	35.4	32.3	29.9
9	47.6	42.5	39.0	35.9
11	55.5	49.6	45.3	41.7
14	71.7	63.8	58.3	53.9
18	87.4	78.0	71.3	66.1
TABLE 2 - TENSION LAP SPLICE (CLASS B) LENGTH (in)				
BAR SIZE	f _c			
	2900psi	3626psi	4352psi	5077psi
4	16.5	15.0	13.4	12.4
5	24.8	22.0	20.1	19.1
6	33.1	29.7	27.2	25.2
8	51.8	46.1	42.1	39.0
9	61.1	55.3	50.8	46.5
11	72.4	64.6	58.9	55.3
14				
18	LAP SPLICES NOT PERMITTED			
TABLE 3 - DEVELOPMENT LENGTH FOR STD HOOKS (in)				
BAR SIZE	f _c			
	2900psi	3626psi	4352psi	5077psi
4	6.1	5.9	5.9	5.9
5	9.4	8.3	7.5	6.9
6	12.4	11.0	10.2	9.4
8	15.4	13.8	12.6	11.0
9	18.5	16.5	15.2	14.2
11	21.7	19.9	17.7	16.3
14	38.5	34.4	31.4	29.1
18	49.6	44.4	40.6	37.5
TABLE 4 - COMPRESSION DEVELOPMENT LENGTH (in)				
BAR SIZE	f _c =2900psi	f _c =3626psi	f _c =4352psi	
4	8.3	7.9	7.9	
5	12.6	11.4	10.2	
6	16.9	15.6	13.5	
8	21.3	19.9	17.3	
9	25.2	22.8	20.9	
11	29.5	26.4	24.4	
14	38.2	33.9	31.1	
18	46.5	41.7	38.2	
TABLE 5 - COMPRESSION LAP SPLICE LENGTH (in)				
BAR SIZE	USUAL CONFINEMENT			
4	11.8			
5	17.3			
6	22.8			
8	28.7			
9	34.6			
11	40.2			
TABLE 6 - STANDARD HOOK DIMENSION FOR BACK REINFORCING (in)				
BAR SIZE	400R OR 500R		400W OR 500W	
	90° HOOK (in)	180° HOOK (in)	90° HOOK (in)	180° HOOK (in)
4	7.1	5.5	7.1	5.1
5	10.2	7.1	9.8	6.7
6	12.2	8.7	11.8	7.9
8	15.7	11.0	15.7	11.0
9	20.1	15.7	19.3	13.8
11	24.0	18.9	23.2	16.9
14	31.1	26.8	30.3	24.4
18	40.6	35.4	39.8	32.7
REFER TO THE CRS MANUAL OF STANDARD PRACTICE FOR MORE INFORMATION				



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△	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB	CHECKED: ---
SCALE: AS NOTED	PROJECT NUMBER: 170450
SHEET TITLE: TYPICAL DETAILS	

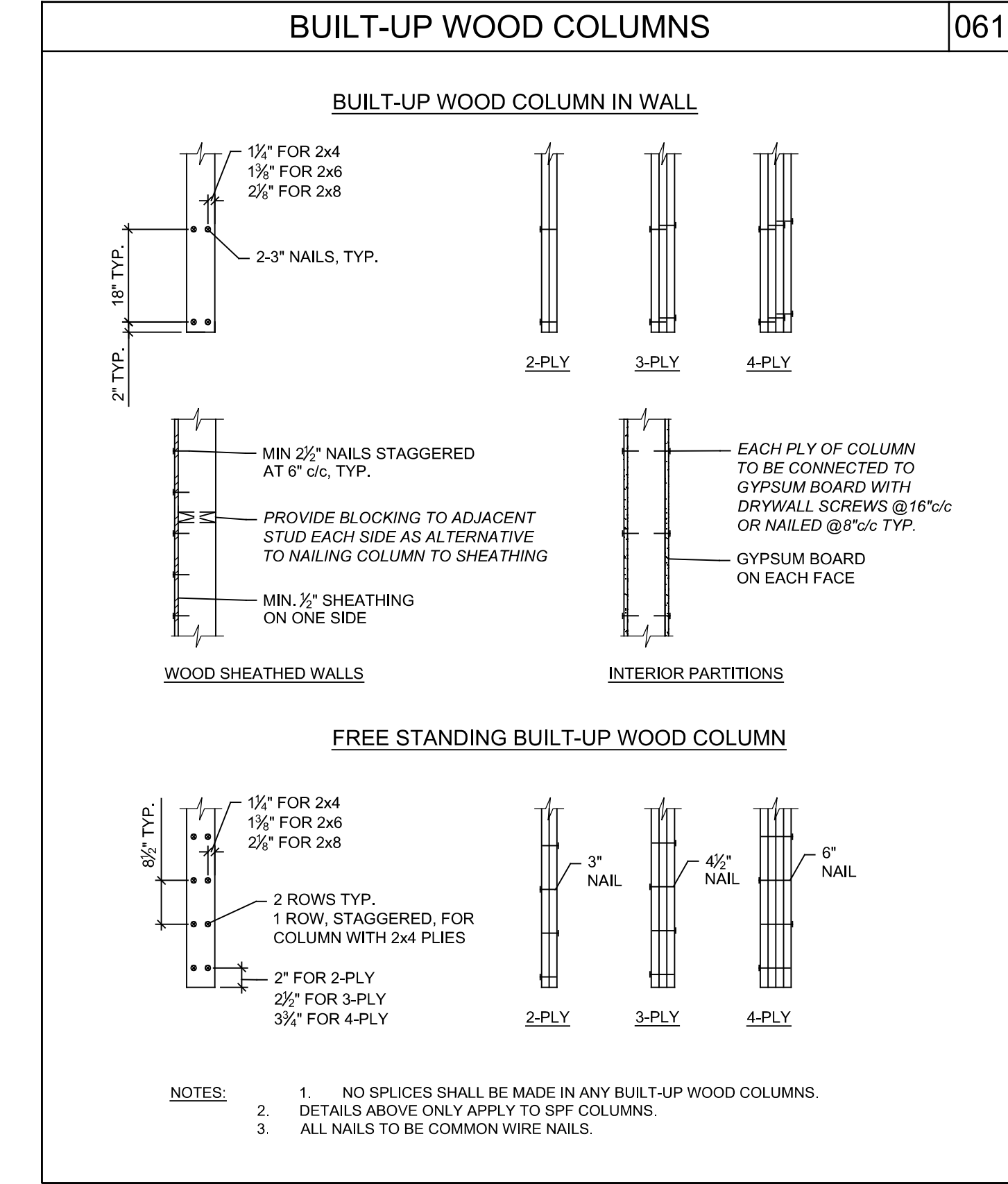
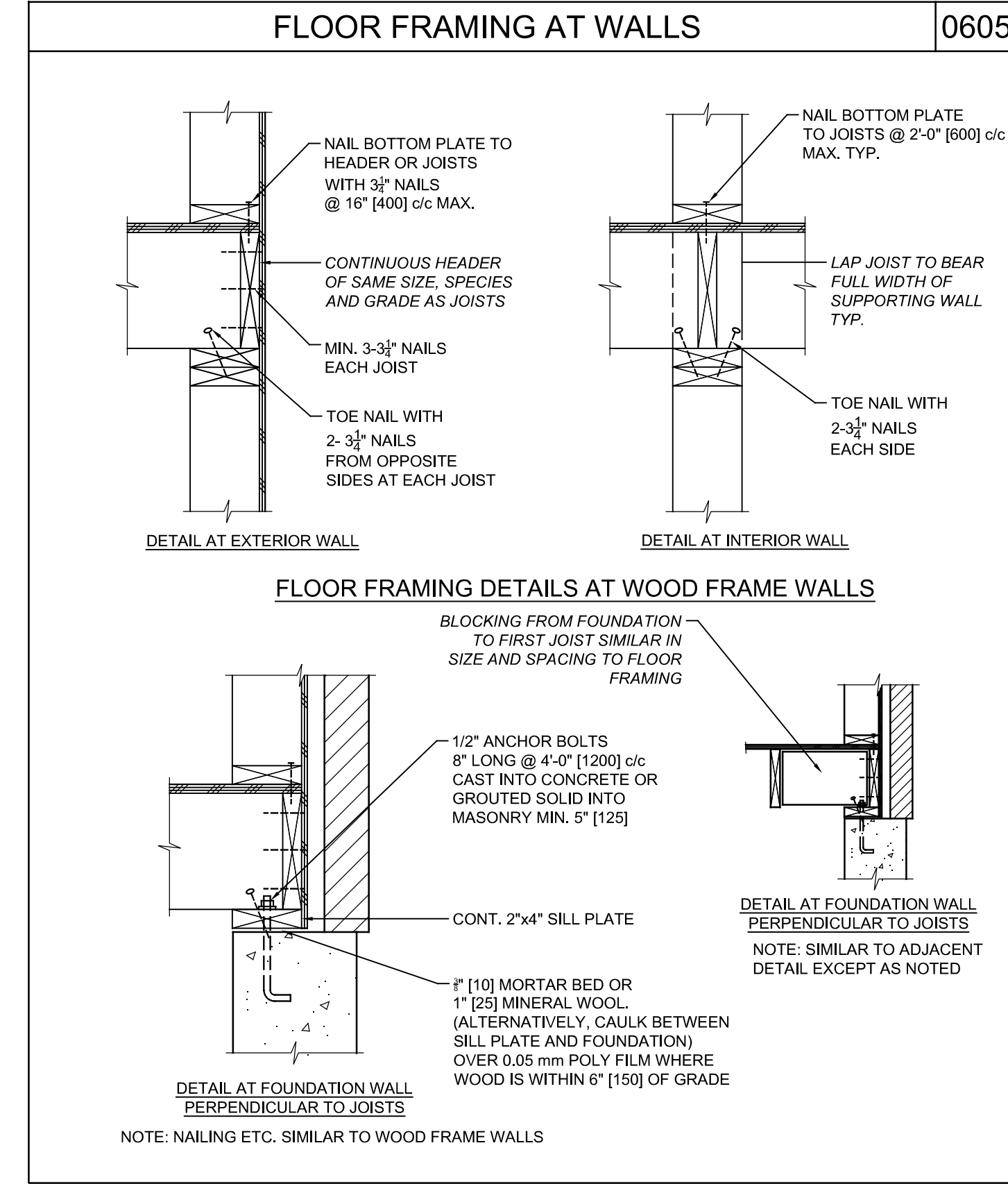
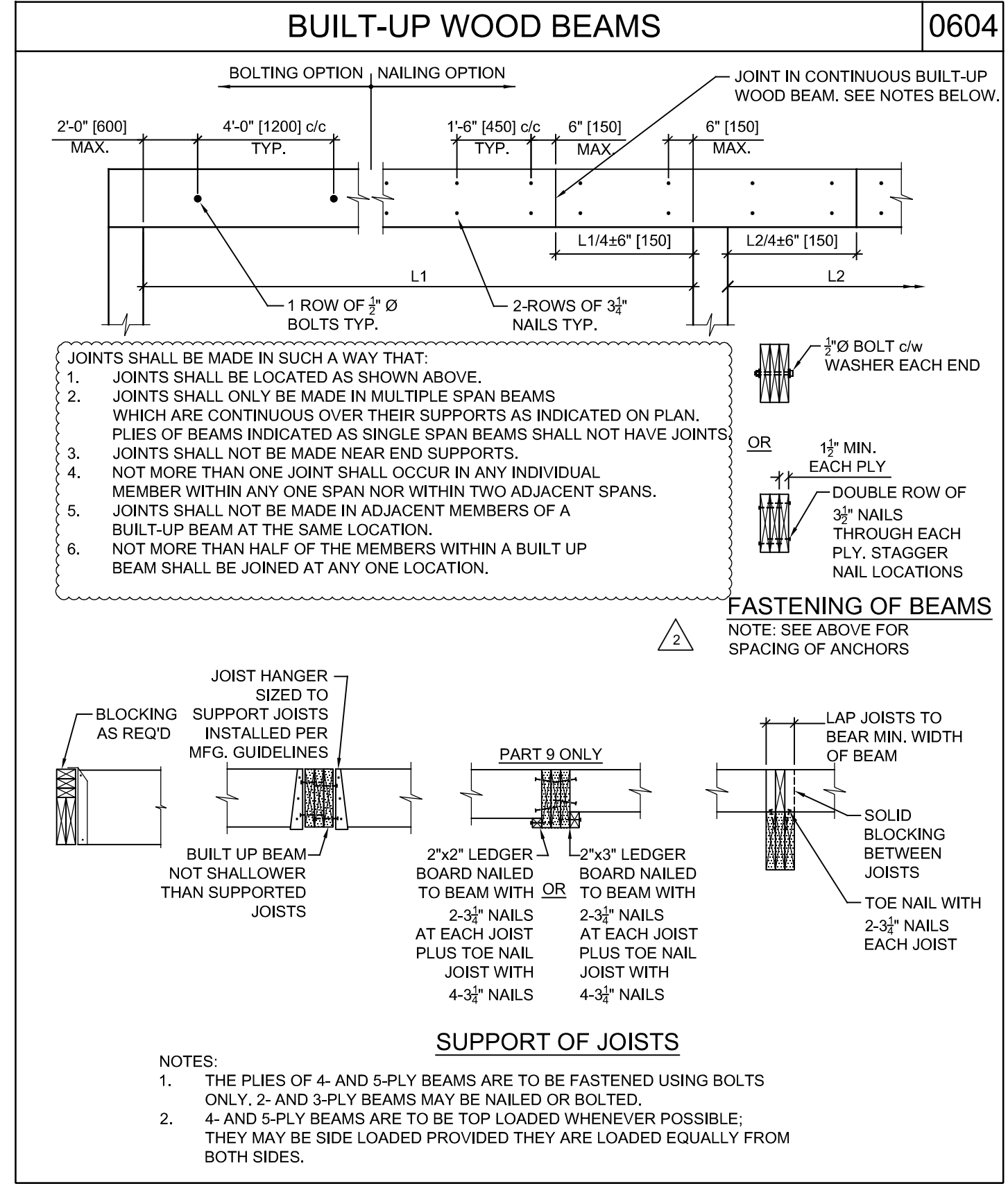
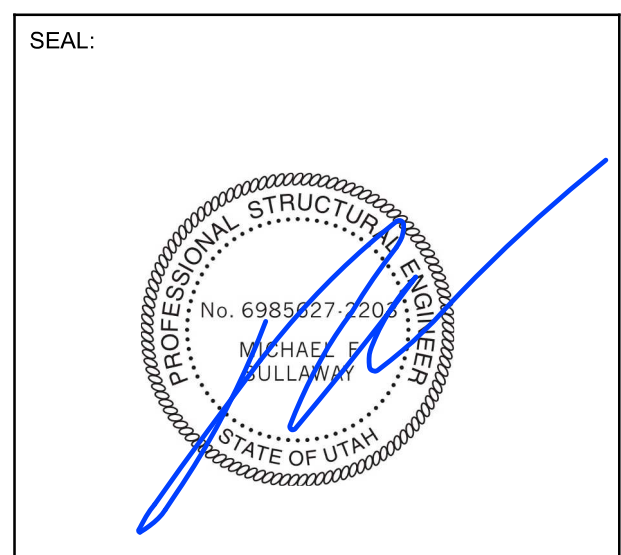
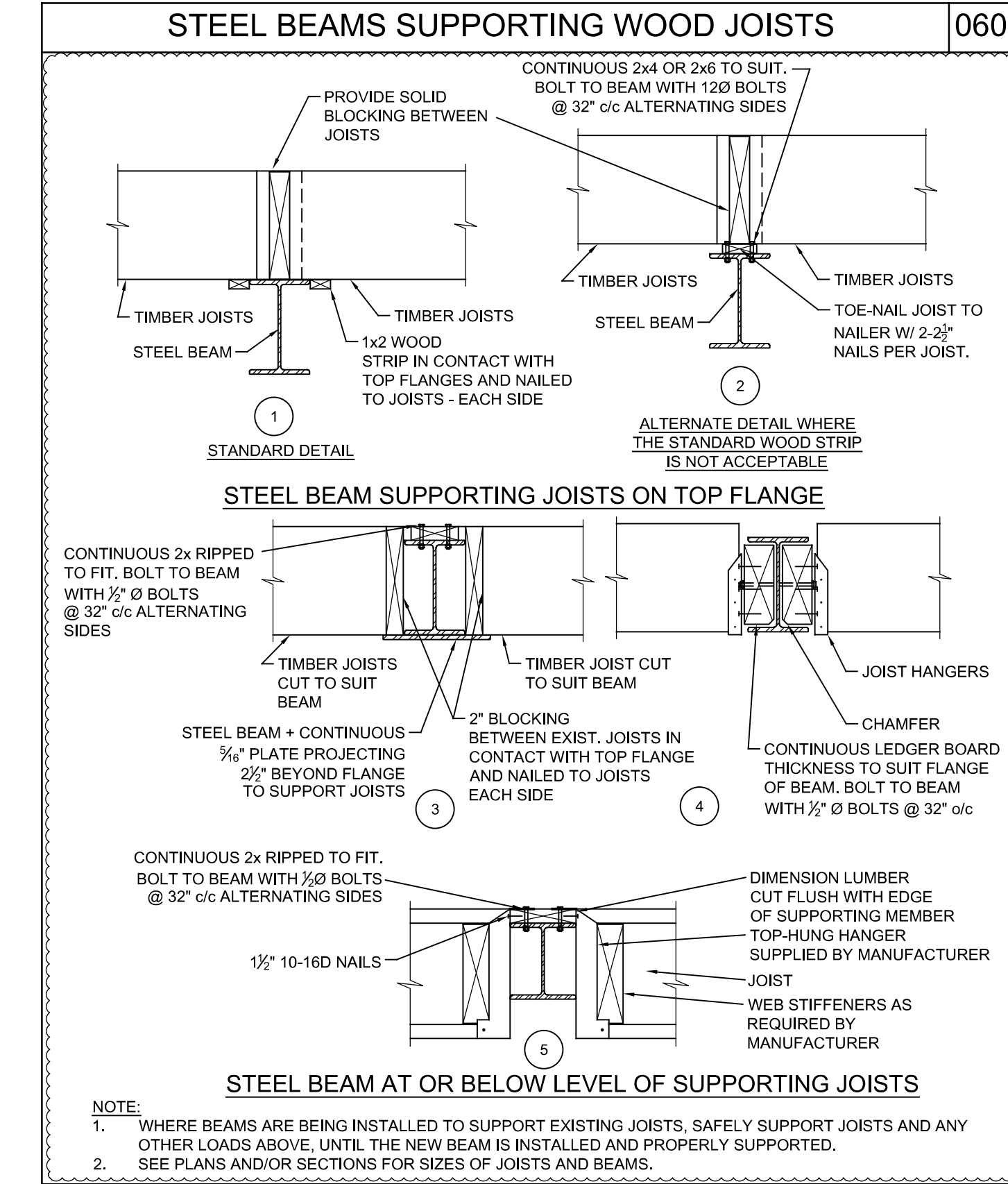
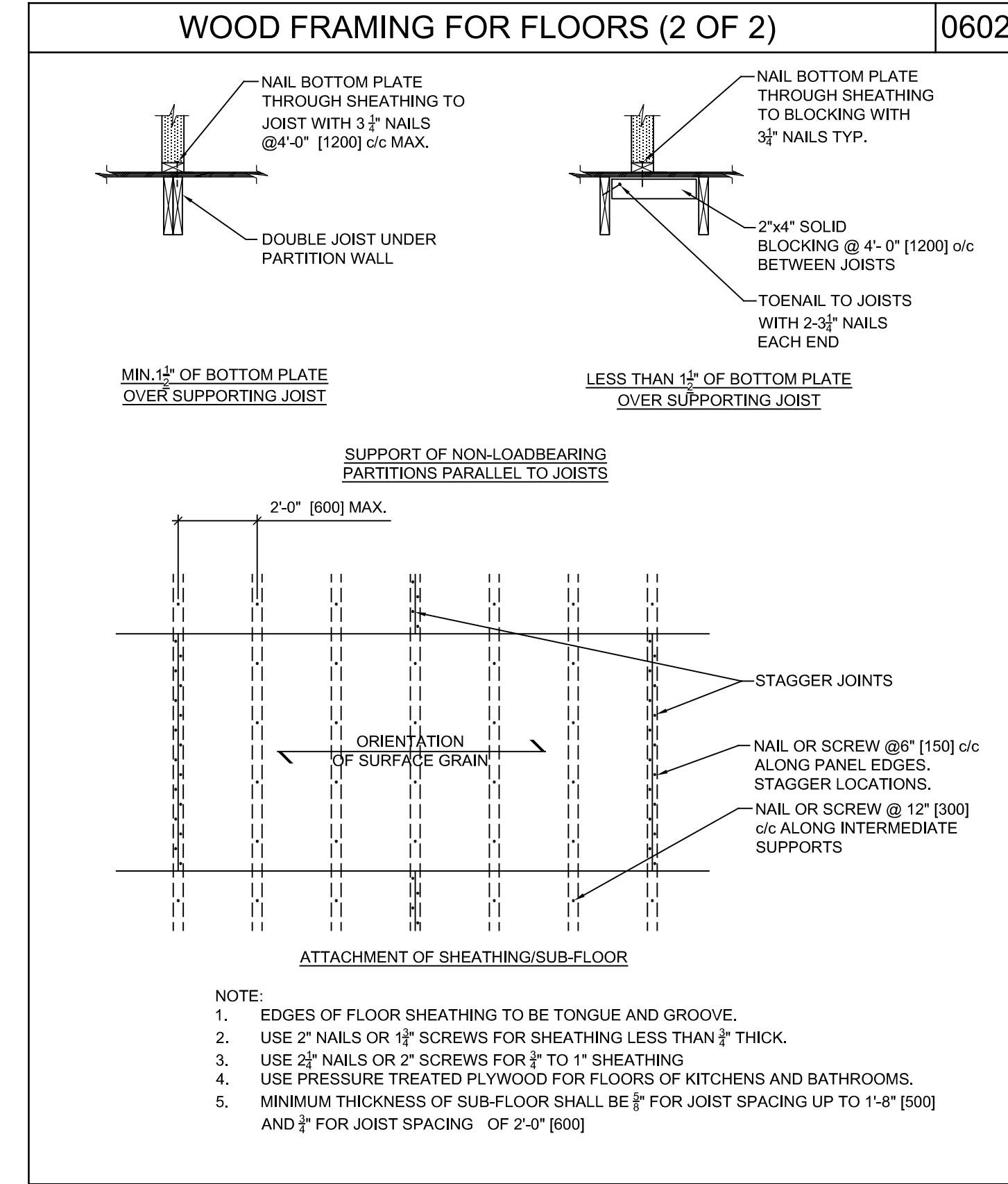
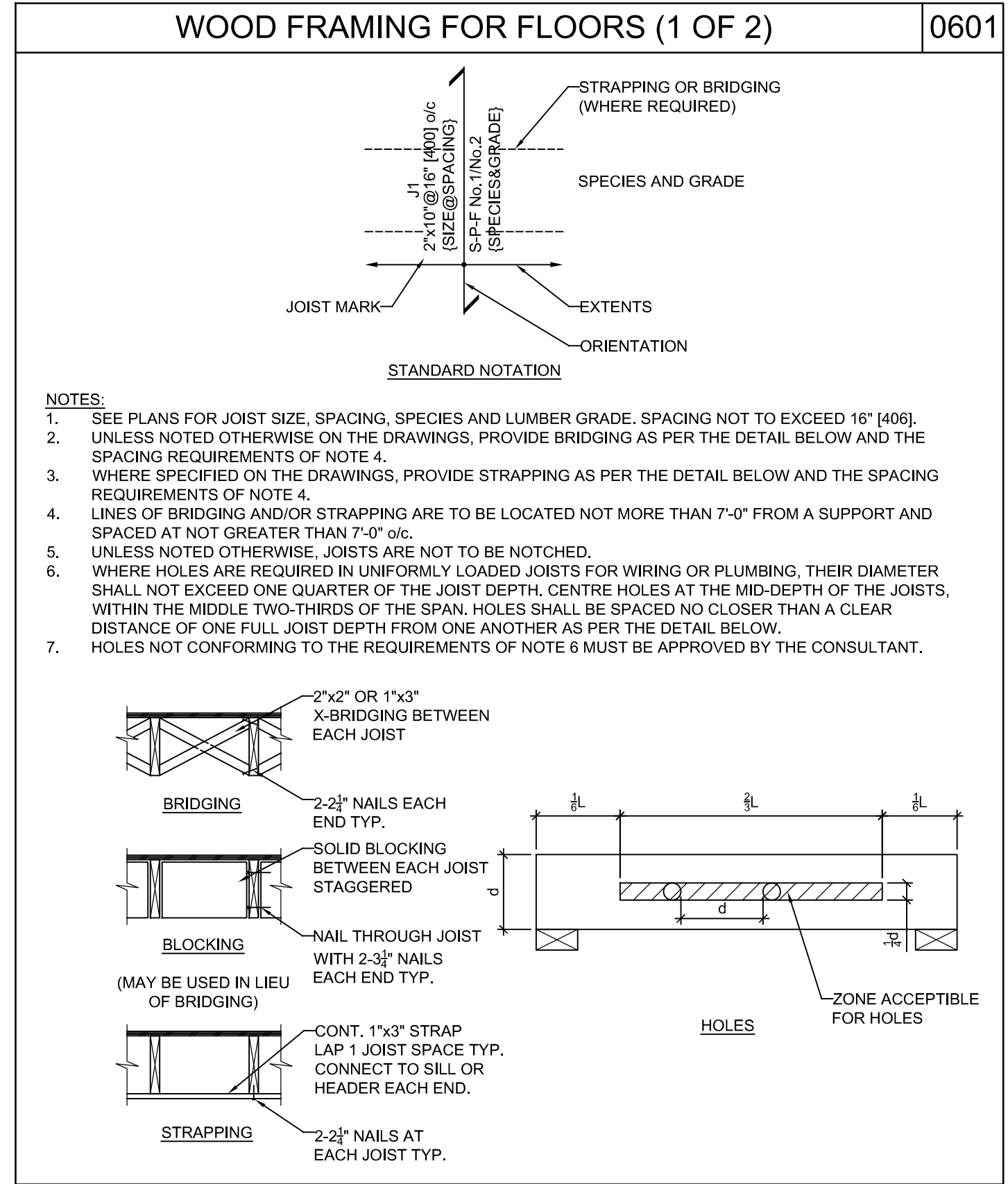
PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY FIRE

PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, OR LOCAL REGULATIONS.

BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

S-003



2018.08.24	REVISED PERMIT SET
2018.06.26	ISSUED FOR PERMIT
2018.06.20	ISSUED FOR COORDINATION
2018.02.01	ISSUED FOR PERMIT
2017.12.13	ISSUED FOR INTERNAL COORD.
2017.12.02	ISSUED FOR COORDINATION
2017.11.22	ISSUED C GRADE COSTING
2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB	CHECKED: --
SCALE: AS NOTED	PROJECT NUMBER: 170450

SHEET TITLE:
TYPICAL DETAILS CONT.'D

PLAN REVIEW ACCEPTANCE

FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
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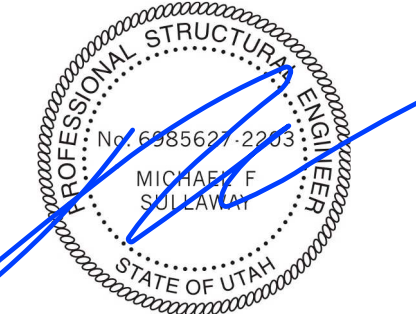
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BY: MEM DATE: 03/04/19

WEST COAST CODE CONSULTANTS, INC.

S-004

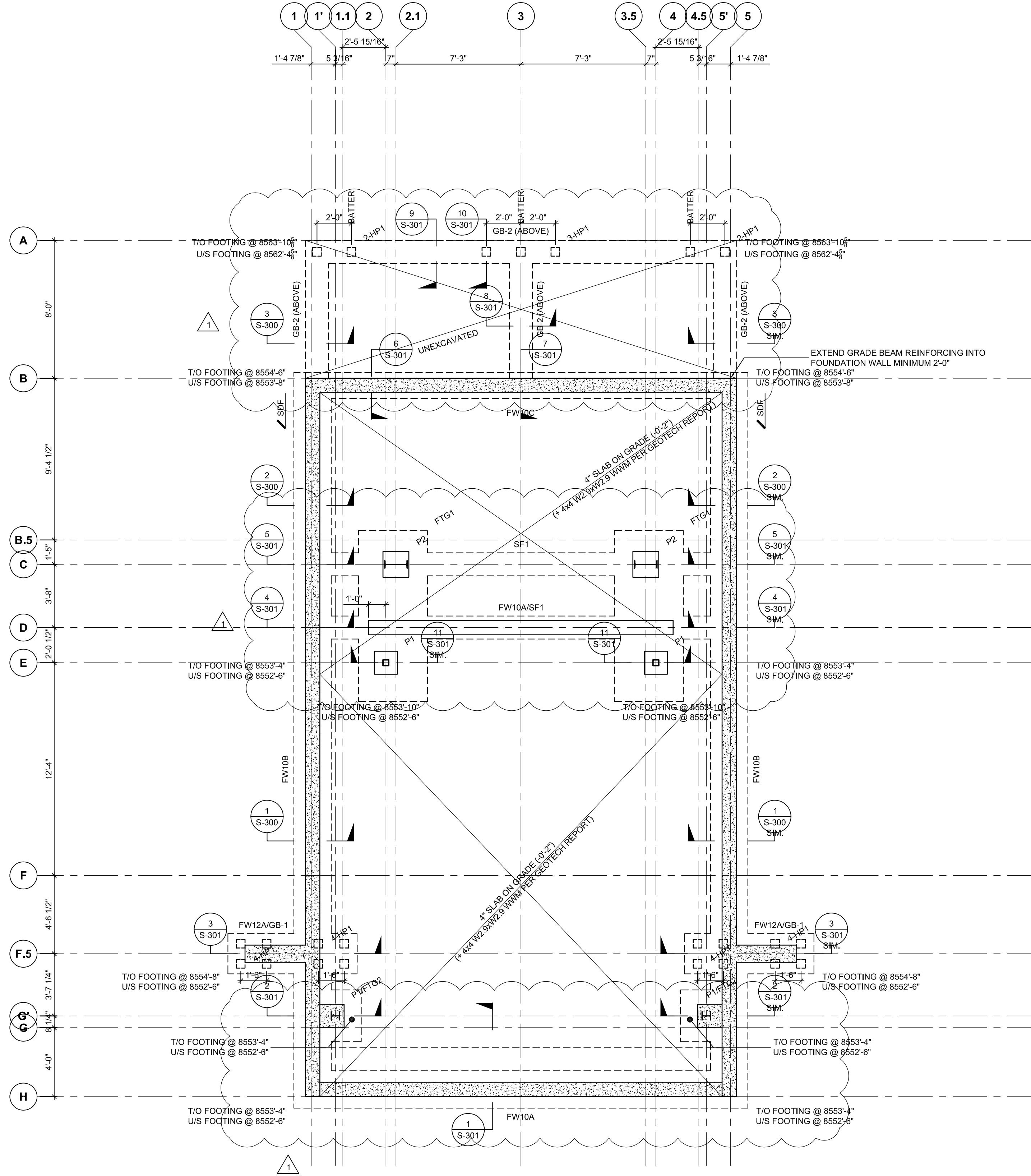
SEAL:



FOUNDATION MEMBER SCHEDULE		
MEMBER MARK	MEMBER DESCRIPTION	REMARKS
FW10A	10" CONCRETE FOUNDATION WALL	V.I.F #5 @ 18" c/c H.I.F #5 @ 18" c/c ON 10"x26" CONTINUOUS STRIP FOOTING r/w 2 #5 CONTINUOUS BARS. WALL TO BE COMPLETELY BACKFILLED EACH SIDE.
FW10B	10" CONCRETE FOUNDATION WALL	V.I.F #5 @ 18" c/c H.I.F #5 @ 18" c/c ON 10"x26" CONTINUOUS STRIP FOOTING r/w 2 #5 CONTINUOUS BARS.
FW10C	10" CONCRETE FOUNDATION WALL	V.I.F #5 @ 18" c/c H.I.F #5 @ 18" c/c ON 10"x18" CONTINUOUS STRIP FOOTING r/w 2 #5 CONTINUOUS BARS.
FW12A	12" CONCRETE BUTTRESS WALL	V.E.F #5 @ 12" c/c H.O.F #5 @ 12" c/c HORIZONTAL: #4 TIES REFER TO SECTION. ON GB1 #6 TOP AND BOTTOM #4 TIES @ 4" c/c 4-HP1 AT EACH END
GB-1	2'-2"Dx2'-2"Wx7'-6" CONCRETE GRADE BEAM	r/w 7 #6 TOP AND BOTTOM BARS #4 TIES @ 4" c/c 4-HP1 AT EACH END, REFER TO SECTION.
GB-2	1'-6"Dx1'-4"W CONCRETE GRADE BEAM	r/w 5 #6 TOP AND BOTTOM BARS #3 TIES @ 8" c/c HP1 SPACING PER PLAN
FTG1	4'-0"x10'-0"x1'-4" CONCRETE PAD FOOTING	r/w 5 #6 BARS LONG DIRECTION EACH FACE 8 #6 BARS SHORT DIRECTION EACH FACE
FTG2	3'-0"x3'-0"x0'-10" CONCRETE PAD FOOTING	r/w 5 #5 BARS LONG DIRECTION BOTTOM 5 #5 BARS SHORT DIRECTION BOTTOM
SF1	20"x10" CONT. STRIP FOOTING	r/w 2 #5 CONTINUOUS
P1	16"x16" CONCRETE PIER (MIN. DIMENSIONS)	r/w 8 #5 VERTICALS AND #4 TIES @ 10" c/c. PROVIDE #3 HOOKED DOWELS TO FOOTING
P2	16"x16" CONCRETE PIER (MIN. DIMENSIONS)	r/w 12 #5 VERTICALS AND #4 TIES @ 10" c/c. PROVIDE #3 HOOKED DOWELS TO FOOTING
HP1	HELICAL PILE	EACH PIER RATED FOR 20 KIPS C/T (LFRD)

NOTES:

- AT A MINIMUM PROVIDE DOWELS FROM STRIP FOOTING TO WALLS ABOVE MATCHING VERTICAL BARS FROM WALL ABOVE.



1 FOUNDATION PLAN
S-100
1/4" = 1'-0"

- NOTES:**
- A GEOTECHNICAL REPORT HAS BEEN PREPARED BY IGES INC. "GEOTECHNICAL AND GEOLOGIC HAZARD INVESTIGATION LOT 71R OF SUMMIT EDEN PHASE 1C 8488 E. SPRING PARK ROAD SUMMIT POWDER MOUNTAIN." CONTRACTOR IS TO READ THE REPORT AND BECOME FAMILIAR WITH ITS CONTENTS.
 - SHALLOW FOUNDATIONS HAVE BEEN DESIGNED WITH AN ALLOWABLE BEARING CAPACITY OF 2,900psf FOR DEAD AND LIVE LOADS. 1/2 INCREASE FOR SEISMIC AND WIND.
 - NO FOOTINGS ARE TO BE CAST WITHOUT PRIOR APPROVAL FROM THE GEOTECHNICAL CONSULTANT.
 - ASSUMED SPOT ELEVATIONS OF FOOTINGS ARE GIVEN AS UNDERSIDE OF FOOTING AND ARE RELATIVE FINISHED FLOOR OF (0'-0" & GEODETTIC EL. 8555'-6"). US OF FOOTINGS MAY BE REQUIRED TO VARY BASED ON COMMENTS FROM IGES FOLLOWING EXCAVATION.
 - REFER TO GENERAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION.

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	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN:
AVB
SCALE:
AS NOTED

CHECKED:
—
PROJECT NUMBER:
170450

SHEET TITLE:
FOUNDATION PLAN

PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

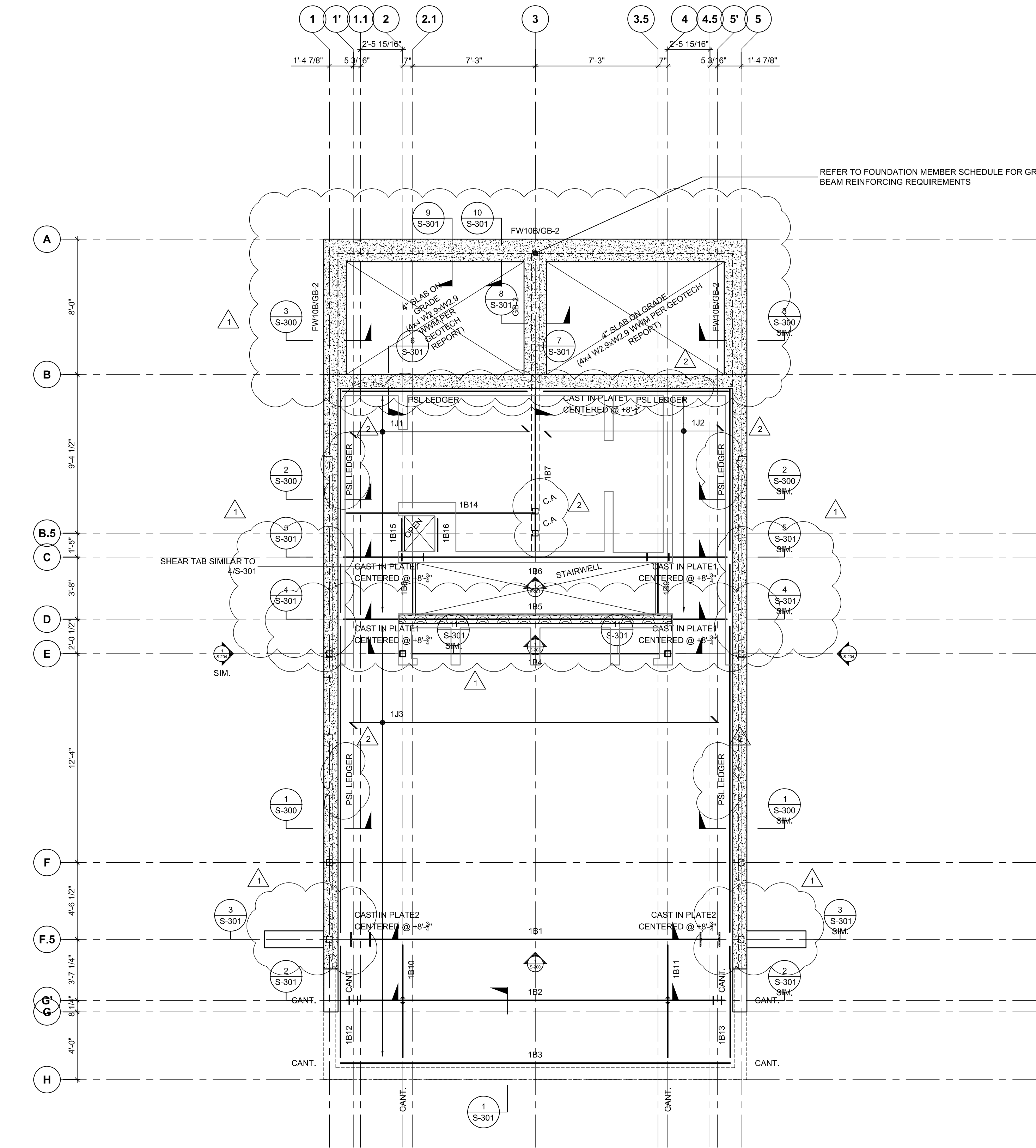
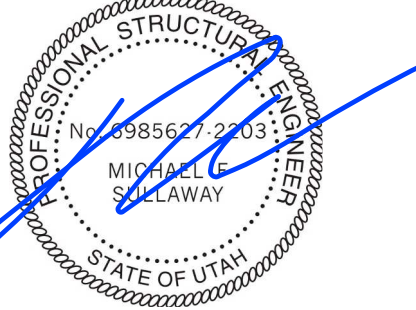
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BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

S-100

SEAL:



1 GARAGE LEVEL SHOWING LEVEL 2 FRAMING
S-101 1/4" = 1'-0"

1. MAIN FLOOR DATUM IS LOCATED (8'-11 1/4") ABOVE PROJECT 0'-0"
2. TOP OF SHEATHING IS AT (-0'-2") BELOW FINISH
3. WHERE CROSSEED AND NOTED SHEATHING ELEVATION IS GIVEN RELATIVE TO THE DATUM
4. LOADS USED IN DESIGN: DEAD: 40psf (INTERIOR SPACE + 1 1/2" LIGHTWEIGHT GYPCRETE)
SNOW: N/A
LIVE: 40psf
5. ALL SHEATHING TO BE 3/4" T&G APPLIED DIRECTLY TO THE JOISTS
6. TYPICAL SUBFLOOR NAILING SHALL BE 10d NAILS @ 6" c/c @ ALL SUPPORTED EDGES
7. OVER SFRS BEAMS NAILING SPACING TO BE 2" ROWS OF 10d BOX NAILS @ 2" c/c TO NAILER PLATE.
8. REFER TO GENERAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION.

LEVEL 2 MEMBER SCHEDULE				
MEMBER MARK	MEMBER DESCRIPTION	REACTIONS		REMARKS
		LEFT	RIGHT	
1J1	14" REDBUILT RED I-45 @16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
1J2	14" REDBUILT RED I-45 @16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
1J3	14" REDBUILT RED I-65 @12" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
1B1 (SFRS)	W12x72	Vf = 23.0 (8)	Vf = 23.0 (8)	TOP PLATE NAILER. CHORD MEMBER. CONNECTION TO CAST IN PLATE
1B2	W12x30	Vf = 29.0 (13)	Vf = 29.0 (13)	WEB PACK OUT + TOP PLATE NAILER. BLOCKING @ 4'-0" c/c EACH SIDE.
1B3	W12x26	Vf = 9.0 (1)	Vf = 9.0 (1)	WEB PACK OUT + TOP PLATE NAILER
1B4	W8x18	Vf = 1.5 (8)	Vf = 1.5 (8)	TOP PLATE NAILER
1B5 (SFRS)	2 - 1 1/2" x 14" LVL	1.5	1.5	CHORD
1B6 (SFRS)	W12x35	Vf = 12.5 (8)	Vf = 12.5 (8)	TOP PLATE NAILER. CONNECTION TO CAST IN PLATE. CHORD
1B7	W12x26	Vf = 20.0 (1)	Vf = 20.0 (8)	TOP PLATE NAILER. CONNECTION TO CAST IN PLATE AT NORTH END.
1B8	2 - 1 1/2" x 14" LVL	1.5	1.5	
1B9	2 - 1 1/2" x 14" LVL	1.5	1.5	
1B10	W12x30	Vf = 28.0 (7) Mf = 49.5 (7)	Vf = 13.0 (1)	TOP PLATE NAILER.
1B11	W12x30	Vf = 28.0 (7) Mf = 49.5 (7)	Vf = 13.0 (1)	TOP PLATE NAILER.
1B12	W12x26	Vf = 2.0 (1)	Vf = 2.0 (1)	WEB PACK OUT + TOP PLATE NAILER
1B13	W12x26	Vf = 2.0 (1)	Vf = 2.0 (1)	WEB PACK OUT + TOP PLATE NAILER
1B14	2 - 1 1/2" x 14" LVL	1.0	1.0	
1B15	2 - 1 1/2" x 14" LVL	1.0	1.0	
1B16	2 - 1 1/2" x 14" LVL	1.0	1.0	
PSL LEDGER (SFRS)	1 3/4" x 14" PARALLAM PSL PLUS	BENT PLATE WITH 3/4" THREADED ROD @ 24" c/c FROM BENT PLATE TO FOUNDATION WALL. INSTALL SILLGASKET BETWEEN FDN WALL AND PLATE. FASTEN LEDGER TO PLATE WITH TBS WOOD-TO-STEEL SCREWS @ 8" c/c. REFER TO 3/S-300		

- NOTES:
1. ALL WOOD CONNECTORS ARE TO BE BY SIMPSON STRONG TIE. PROVIDE CONSULTANT WITH FULL SPEC. OF ALL ALTERNATE HANGERS FOR APPROVAL PRIOR TO USE.
 2. ALL LOADS HAVE BEEN FACTORED IN ACCORDANCE WITH IBC 2015 LOAD CASES (LRFD)
 3. LEFT AND RIGHT BEAM REACTIONS ORIENTATED WITH THE MEMBER LABEL ON PLAN.
 4. ALL FASTENERS (i.e. NAILS, SCREWS, ANCHOR BOLTS, ETC.) WHICH ARE TO BE INSTALLED IN PRESERVATIVE TREATED WOOD (i.e. SILL PLATES) SHALL MEET THE REQUIREMENTS OF IBC 2304.10.5.1
 5. FOR STEEL BEAMS, REFER TO S-203 FOR CONNECTION DETAILING

2018.08.24	REVISED PERMIT SET
2018.06.26	ISSUED FOR PERMIT
2018.06.20	ISSUED FOR COORDINATION
2018.02.01	ISSUED FOR PERMIT
2017.12.13	ISSUED FOR INTERNAL COORD.
2017.12.02	ISSUED FOR COORDINATION
2017.11.22	ISSUED C GRADE COSTING
2017.11.07	INTERNAL COORDINATION

MARK	DATE	DESCRIPTION
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PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN:
AVB

CHECKED:
—

SCALE:
AS NOTED

PROJECT NUMBER:
170450

SHEET TITLE:
LEVEL 2 FRAMING PLAN

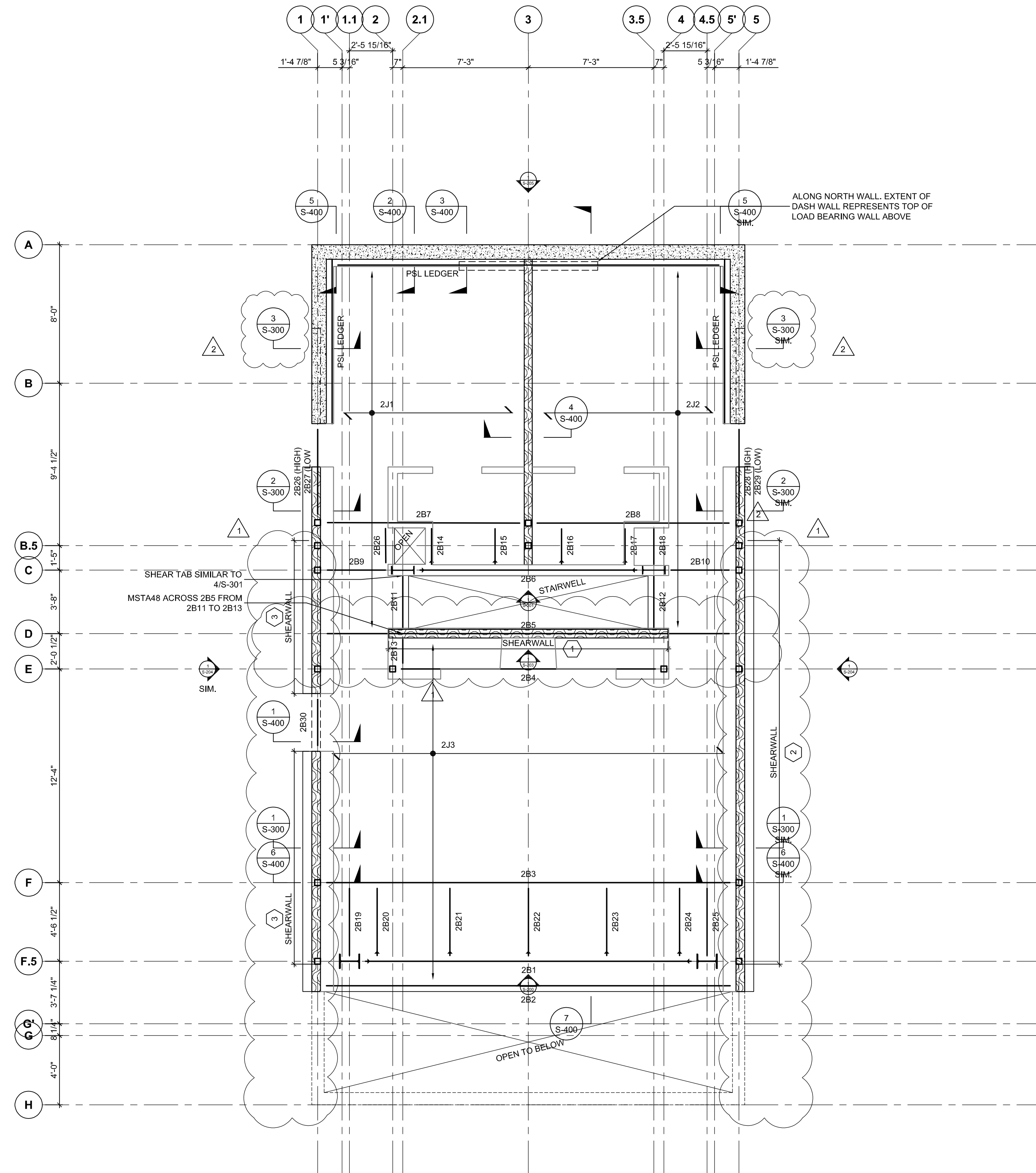
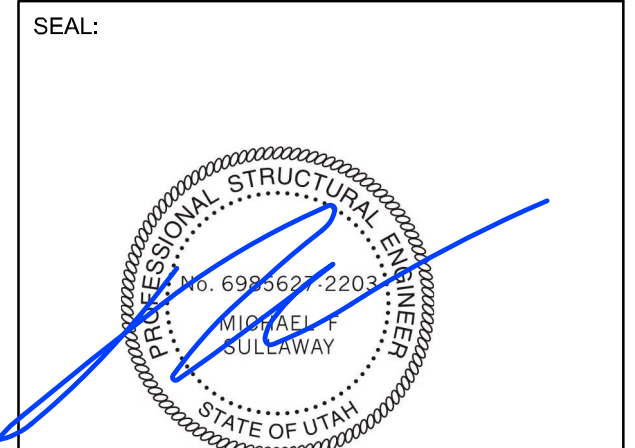
PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, OR LOCAL REGULATIONS.

BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

S-101



1 LEVEL 2 SHOWING LEVEL 3 FLOOR FRAMING
S-102 1/4" = 1'-0"

- SECOND FLOOR DATUM IS LOCATED (+18'-4 1/2") ABOVE PROJECT 0'-0"
- TOP OF SHEATHING IS AT (-0'-2") BELOW FINISH
- WHERE CROSSEED AND NOTED SHEATHING ELEVATION IS GIVEN RELATIVE TO THE DATUM
- LOADS USED IN DESIGN: DEAD: 40psf (INTERIOR SPACE + 1 1/2" LIGHTWEIGHT GYPCRETE)
SNOW: N/A
LIVE: 40psf
- ALL SHEATHING TO BE 3/4" T&G APPLIED DIRECTLY TO THE JOISTS.
- TYPICAL NAILING SHALL BE 10d NAILS @ 8" c/c @ ALL SUPPORTED EDGES. 12" c/c @ ALL INTERMEDIATE SUPPORT UNLESS OTHERWISE NOTED.
- OVER SMF NAILING SPACING TO BE 2" c/c TO NAILER PLATE.
- REFER TO GENERAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION.

LEVEL 3 MEMBER SCHEDULE				
MEMBER MARK	MEMBER DESCRIPTION	REACTIONS		REMARKS
		LEFT	RIGHT	
2J1	14" REDBUILT RED I-45 @16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
2J2	14" REDBUILT RED I-45 @16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
2J3	14" REDBUILT RED I-65 @12" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
2B1 (SFRS)	W10x26	Vf = 27.5 Mf = 81.5	Vf = 27.5 Mf = 81.5	RBS-SMF REFER TO STEEL ELEVATIONS TOP PLATE NAILER
2B2	2 - 1 1/2" x 14" LVL	4.0	4.0	
2B3	W10x26	Vf = 4.0	Vf = 4.0	TOP PLATE NAILER
2B4	W8x18	Vf = 1.5	Vf = 1.5	TOP PLATE NAILER
2B5 (SFRS)	2 - 1 1/2" x 14" LVL	1.5	1.5	CHORD
2B6 (SFRS)	W14x22	Vf = 5.0 Mf = 33.0	Vf = 5.0 Mf = 33.0	RBS-SMF REFER TO STEEL ELEVATIONS TOP PLATE NAILER
2B7	W10x22	Vf = 1.5	Vf = 1.5	TOP PLATE NAILER
2B8	W10x22	Vf = 1.5	Vf = 1.5	TOP PLATE NAILER
2B9 (SFRS)	W8x18	Vf = 1.5	Vf = 1.5	TOP PLATE NAILER (CHORD)
2B10 (SFRS)	W8x18	Vf = 1.5	Vf = 1.5	TOP PLATE NAILER (CHORD)
2B11	2 - 1 1/2" x 14" LVL	1.5	1.5	
2B12	2 - 1 1/2" x 14" LVL	1.5	1.5	
2B13	2 - 1 1/2" x 14" LVL	1.5	1.5	
2B14	W10x22	Vf = 1.5 Mf = 9.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
2B15	W10x22	Vf = 1.5 Mf = 9.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
2B16	W10x22	Vf = 1.5 Mf = 9.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
2B17	W10x22	Vf = 1.5 Mf = 9.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
2B18	W10x22	Vf = 1.5	Vf = 1.5	TOP PLATE NAILER
2B19	W10x22	Vf = 1.5	Vf = 1.5	TOP PLATE NAILER
2B20	W10x22	Vf = 1.5 Mf = 14.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
2B21	W10x22	Vf = 1.5 Mf = 14.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
2B22	W10x22	Vf = 1.5 Mf = 14.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
2B23	W10x22	Vf = 1.5 Mf = 14.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
2B24	W10x22	Vf = 1.5 Mf = 14.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
2B25	W10x22	Vf = 1.5	Vf = 1.5	TOP PLATE NAILER
2B26	2 - 1 1/2" x 14" LVL	0.5	0.5	
2B27	1 - 1 1/2" x 14" LVL + RIM	0.5	1.0	
2B28	2 - 1 1/2" x 14" LVL	0.5	0.5	
2B29	1 - 1 1/2" x 14" LVL + RIM	0.5	1.0	
2B30	2 - 1 1/2" x 14" LVL	1.0	1.0	
PSL LEDGER (SFRS)	1 3/4" x 14" PARALLAM PSL PLUS	BENT PLATE WITH 3/4" THREADED ROD @ 24" c/c FROM BENT PLATE TO FOUNDATION WALL. INSTALL SILLGASKET BETWEEN FDN WALL AND PLATE. FASTEN LEDGER TO PLATE WITH TBS WOOD-TO-STEEL SCREWS @ 8" c/c. REFER TO 3/S-300		

- NOTES:
- ALL WOOD CONNECTORS ARE TO BE BY SIMPSON STRONG TIE. PROVIDE CONSULTANT WITH FULL SPEC. OF ALL ALTERNATE HANGERS FOR APPROVAL PRIOR TO USE.
 - ALL LOADS HAVE BEEN FACTORED IN ACCORDANCE WITH IBC 2015 LOAD CASES (LRFD)
 - LEFT AND RIGHT BEAM REACTIONS ORIENTATED WITH THE MEMBER LABEL ON PLAN.
 - ALL FASTENERS (i.e. NAILS, SCREWS, ANCHOR BOLTS, ETC.) WHICH ARE TO BE INSTALLED IN PRESERVATIVE TREATED WOOD (i.e. SILL PLATES) SHALL MEET THE REQUIREMENTS OF IBC 2304.10.5.1.
 - FOR STEEL BEAMS, REFER TO S-203 FOR CONNECTION DETAILING

2018.08.24	REVISED PERMIT SET
2018.06.26	ISSUED FOR PERMIT
2018.06.20	ISSUED FOR COORDINATION
2018.02.01	ISSUED FOR PERMIT
2017.12.13	ISSUED FOR INTERNAL COORD.
2017.12.02	ISSUED FOR COORDINATION
2017.11.22	ISSUED C GRADE COSTING
2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
SCALE: AS NOTED

CHECKED: —
PROJECT NUMBER: 170450

SHEET TITLE:
LEVEL 3 FRAMING PLAN

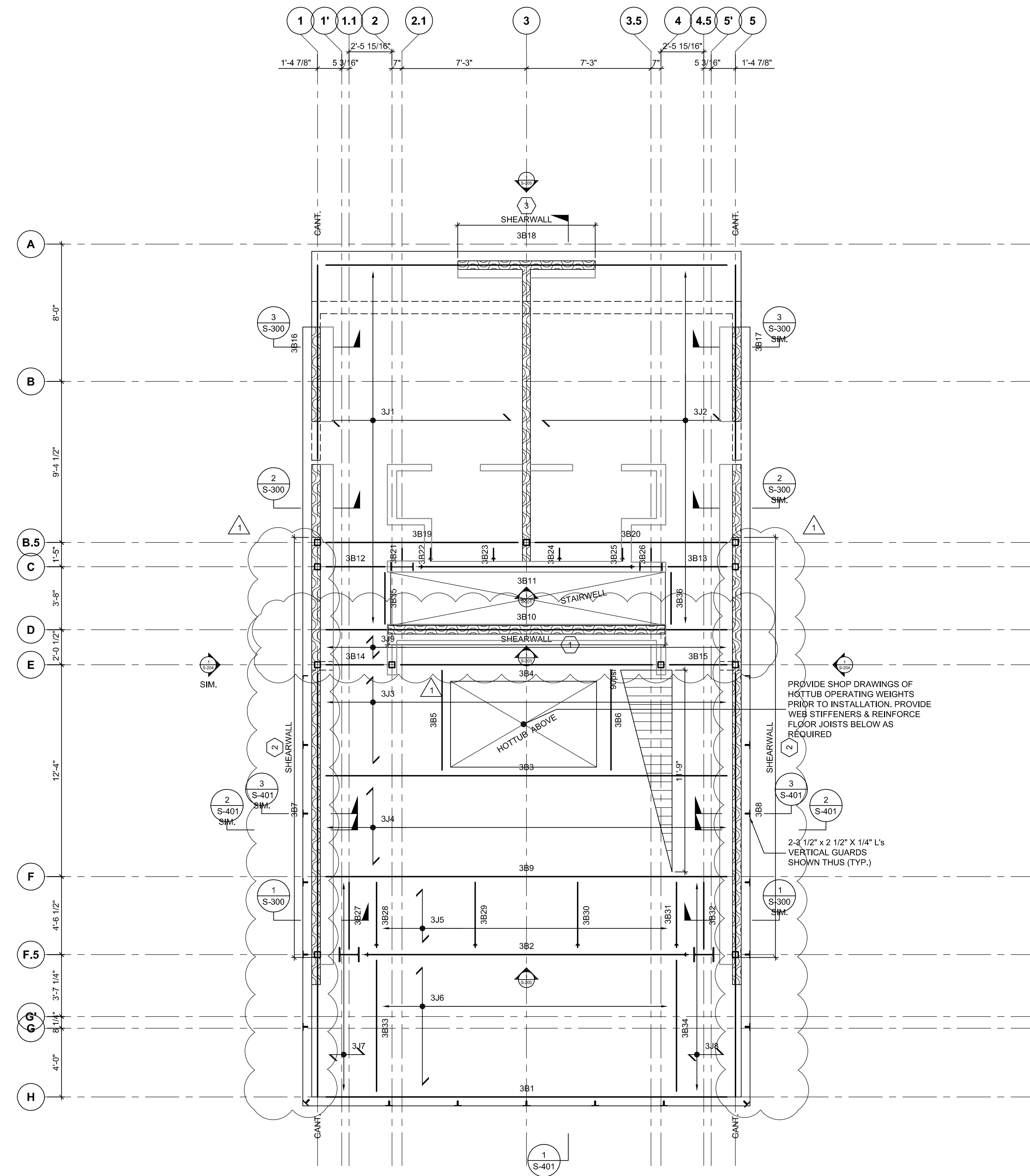
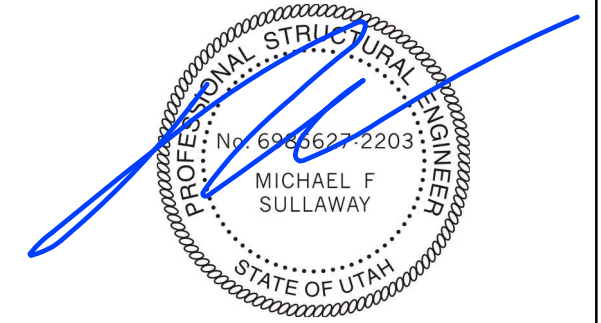
PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW:

<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, OR LOCAL REGULATIONS.

BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

SEAL:



1 LEVEL 3 SHOWING LEVEL 4 FRAMING
S-103 1/4" = 1'-0"

- TERRACE DATUM IS LOCATED (28'-10 1/2") ABOVE PROJECT 0'-0"
- TOP OF SHEATHING IS AT (-0'-2") BELOW THE DATUM.
- WHERE CROSSEED AND NOTED SHEATHING ELEVATION IS GIVEN RELATIVE TO THE DATUM
- LOADS USED IN DESIGN: DEAD: 40psf (INTERIOR SPACE + 1 1/2" LIGHTWEIGHT GYPCRETE)
45psf (EXTERIOR TERRACE - SLOPED INSULATION)
SNOW: 192psf
LIVE: 40psf
- ALL SHEATHING TO BE 3/4" T&G APPLIED DIRECTLY TO THE JOISTS.
- TYPICAL NAILING SHALL BE 10d NAILS @ 6" c/c @ ALL SUPPORTED EDGES AND OVER SHEARWALLS. 12" c/c @ ALL INTERMEDIATE SUPPORT UNLESS OTHERWISE NOTED.
- OVER SMF NAILING SPACING TO BE 2" c/c TO NAILER PLATE.
- REFER TO GENERAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION.

PROVIDE SHOP DRAWINGS OF HOT TUB OPERATING WEIGHTS PRIOR TO INSTALLATION. PROVIDE WEB STIFFENERS & REINFORCE FLOOR JOISTS & REINFORCE FLOOR JOISTS BELOW AS REQUIRED

2-4 1/2" x 2 1/2" x 1/4" L's VERTICAL GUARDS SHOWN THUS (TYP.)

LEVEL 4 MEMBER SCHEDULE

MEMBER MARK	MEMBER DESCRIPTION	REACTIONS		REMARKS
		LEFT	RIGHT	
3J1	11 7/8" REDBUILT RED I-45 @ 16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
3J2	11 7/8" REDBUILT RED I-45 @ 16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
3J3	11 7/8" REDBUILT RED I-45 @ 16" c/c	1.5	1.5	SOLID BLOCKING @ 8'-0" c/c MAX
3J4	11 7/8" REDBUILT RED I-45 @ 16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
3J5	11 7/8" REDBUILT RED I-45 @ 16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
3J6	11 7/8" REDBUILT RED I-45 @ 16" c/c	2.0	2.0	SOLID BLOCKING @ 8'-0" c/c MAX
3J7	11 7/8" REDBUILT RED I-45 @ 16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
3J8	11 7/8" REDBUILT RED I-45 @ 16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
3J9	11 7/8" REDBUILT RED I-45 @ 16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
3B1	W16x36	Vf = 18.0 (1)	Vf = 18.0 (1)	WEB PACK OUT + TOP PLATE NAILER
3B2 (SFRS)	W12x35	Vf = 27.5 (11) Mf = 81.5 (11)	Vf = 27.5 (11) Mf = 81.5 (11)	RBS-SMF REFER TO STEEL ELEVATIONS WEB PACK OUT + TOP PLATE NAILER
3B3	W16x45	Vf = 33.0 (1)	Vf = 33.0 (1)	WEB PACK OUT + TOP PLATE NAILER. FULL HEIGHT STIFFENER AT GIRDER.
3B4	W8x48	Vf = 18.0 (8)	Vf = 18.0 (8)	WEB PACK OUT + TOP PLATE NAILER
3B5	W8x18	Vf = 2.0 (1)	Vf = 2.0 (1)	WEB PACK OUT + TOP PLATE NAILER
3B6	W8x18	Vf = 2.0 (1)	Vf = 2.0 (1)	WEB PACK OUT + TOP PLATE NAILER
3B7 (SFRS)	W16x36	Vf = 64.5 (13)	Vf = 20 (13)	WEB PACK OUT + TOP PLATE NAILER. CHORD MEMBER
3B8 (SFRS)	W16x36	Vf = 64.5 (13)	Vf = 20 (13)	WEB PACK OUT + TOP PLATE NAILER. CHORD MEMBER
3B9	W16x45	Vf = 24.0 (1)	Vf = 24.0 (1)	WEB PACK OUT + TOP PLATE NAILER. FULL HEIGHT STIFFENER AT GIRDER.
3B10 (SFRS)	2 - 1 1/2" x 14" LVL	1.5	1.5	CHORD
3B11 (SFRS)	W14x22	Vf = 5.5 (11) Mf = 35.0 (11)	Vf = 5.5 (11) Mf = 35.0 (11)	RBS-SMF REFER TO STEEL ELEVATIONS TOP PLATE NAILER
3B12 (SFRS)	W18x18	Vf = 1.5 (8)	Vf = 1.5 (8)	TOP PLATE NAILER. CHORD
3B13 (SFRS)	W8x18	Vf = 1.5 (8)	Vf = 1.5 (8)	TOP PLATE NAILER. CHORD
3B14	W8x18	Vf = 1.5 (8)	Vf = 1.5 (8)	WEB PACK OUT + TOP PLATE NAILER
3B15	W8x18	Vf = 1.5 (8)	Vf = 1.5 (8)	WEB PACK OUT + TOP PLATE NAILER
3B16	3 - 1 1/2" x 14" LVL	4.0	16.0	
3B17	3 - 1 1/2" x 14" LVL	4.0	16.0	
3B18	3 - 1 1/2" x 11 1/2" LVL	12.0	12.0	
3B19	W10x22	Vf = 1.5 (8)	Vf = 1.5 (8)	TOP PLATE NAILER
3B20	W10x22	Vf = 1.5 (8)	Vf = 1.5 (8)	TOP PLATE NAILER
3B21	W10x22	Vf = 1.5 (8)	Vf = 1.5 (1)	TOP PLATE NAILER
3B22	W10x22	Vf = 1.5 (17) Mf = 9.5 (17)	Vf = 1.5 (1)	TORSION BRACE TOP PLATE NAILER
3B23	W10x22	Vf = 1.5 (17) Mf = 9.5 (17)	Vf = 1.5 (1)	TORSION BRACE TOP PLATE NAILER
3B24	W10x22	Vf = 1.5 (17) Mf = 9.5 (17)	Vf = 1.5 (1)	TORSION BRACE TOP PLATE NAILER
3B25	W10x22	Vf = 1.5 (17) Mf = 9.5 (17)	Vf = 1.5 (1)	TORSION BRACE TOP PLATE NAILER
3B26	W10x22	Vf = 1.5 (8)	Vf = 1.5 (1)	TOP PLATE NAILER
3B27	W12x26	Vf = 2.5 (8)	Vf = 2.5 (1)	TOP PLATE NAILER
3B28	W12x26	Vf = 1.5 (17) Mf = 14.5 (17)	Vf = 1.5 (1)	TORSION BRACE TOP PLATE NAILER
3B29	W12x26	Vf = 1.5 (17) Mf = 14.5 (17)	Vf = 1.5 (1)	TORSION BRACE TOP PLATE NAILER
3B30	W12x26	Vf = 1.5 (17) Mf = 14.5 (17)	Vf = 1.5 (1)	TORSION BRACE TOP PLATE NAILER
3B31	W12x26	Vf = 1.5 (17) Mf = 14.5 (17)	Vf = 1.5 (1)	TORSION BRACE TOP PLATE NAILER
3B32	W12x26	Vf = 2.5 (8)	Vf = 2.5 (1)	TOP PLATE NAILER
3B33	3 - 1 1/2" x 11 1/2" LVL	2.0	2.0	
3B34	3 - 1 1/2" x 11 1/2" LVL	2.0	2.0	
3B35	2 - 1 1/2" x 11 1/2" LVL	1.5	1.5	
3B36	2 - 1 1/2" x 11 1/2" LVL	1.5	1.5	

NOTES:

- ALL WOOD CONNECTORS ARE TO BE BY SIMPSON STRONG TIE. PROVIDE CONSULTANT WITH FULL SPEC. OF ALL ALTERNATE HANGERS FOR APPROVAL PRIOR TO USE.
- ALL LOADS HAVE BEEN FACTORED IN ACCORDANCE WITH IBC 2015 LOAD CASES (LRFD)
- LEFT AND RIGHT BEAM REACTIONS ORIENTATED WITH THE MEMBER LABEL ON PLAN.
- ALL FASTENERS (i.e. NAILS, SCREWS, ANCHOR BOLTS, ETC.) WHICH ARE TO BE INSTALLED IN PRESERVATIVE TREATED WOOD (i.e. SILL PLATES) SHALL MEET THE REQUIREMENTS OF IBC 2304.10.5.1.
- FOR STEEL BEAMS, REFER TO S-203 FOR CONNECTION DETAILING



2018.08.24	REVISED PERMIT SET
2018.06.26	ISSUED FOR PERMIT
2018.06.20	ISSUED FOR COORDINATION
2018.02.01	ISSUED FOR PERMIT
2017.12.13	ISSUED FOR INTERNAL COORD.
2017.12.02	ISSUED FOR COORDINATION
2017.11.22	ISSUED C GRADE COSTING
2017.11.07	INTERNAL COORDINATION

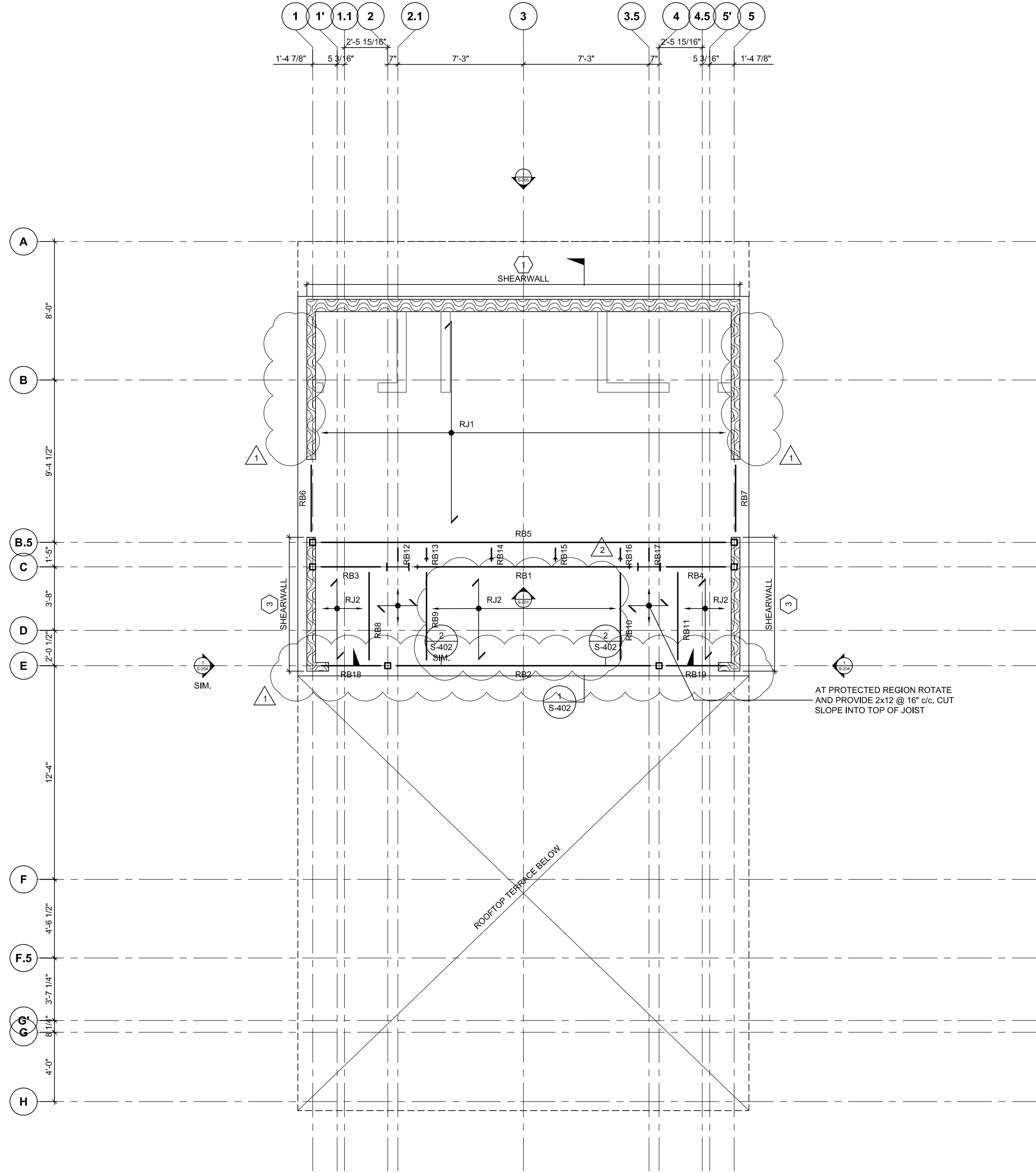
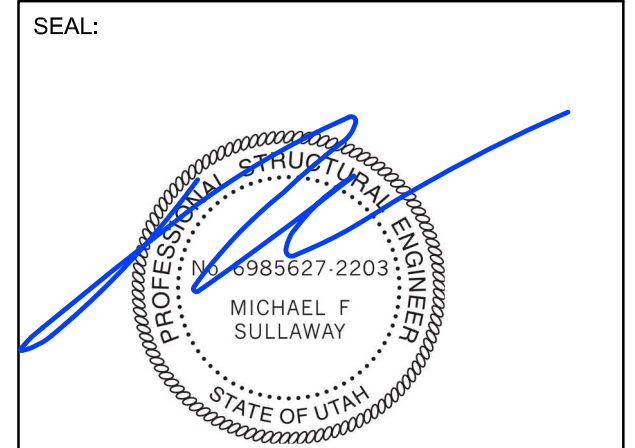
PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
SCALE: AS NOTED

CHECKED: —
PROJECT NUMBER: 170450

SHEET TITLE:
LEVEL 4 FRAMING PLAN



ROOF MEMBER SCHEDULE				
MEMBER MARK	MEMBER DESCRIPTION	REACTIONS		REMARKS
		LEFT	RIGHT	
RJ1	14" REDBUILT RED I-90 @12" c/c	2.0	2.0	SOLID BLOCKING @ 8'-0" c/c MAX
RJ2	14" REDBUILT RED I-45 @16" c/c	1.0	1.0	SOLID BLOCKING @ 8'-0" c/c MAX
RB1 (SFRS)	W14x22	Vf = 8.0 Mf = 26.5	Vf = 8.0 Mf = 26.5	RBS-SMF REFER TO STEEL ELEVATIONS WEB PACK OUT + TOP PLATE NAILER
RB2	4 - 1 1/2" x 16" LVL	4.5	4.5	
RB3 (SFRS)	W14x22	Vf = 2.5	Vf = 2.5	WEB PACK OUT + TOP PLATE NAILER. CHORD
RB4 (SFRS)	W14x22	Vf = 2.5	Vf = 2.5	WEB PACK OUT + TOP PLATE NAILER CHORD.
RB5	W14x53	Vf = 31.0	Vf = 31.0	WEB PACK OUT + TOP PLATE NAILER
RB6	2 - 1 1/2" x 14" LVL	0.5	0.5	
RB7	2 - 1 1/2" x 14" LVL	0.5	0.5	
RB8	2 - 1 1/2" x 14" LVL	1.5	1.5	
RB9	2 - 1 1/2" x 14" LVL	1.5	1.5	
RB10	2 - 1 1/2" x 14" LVL	1.5	1.5	
RB11	2 - 1 1/2" x 14" LVL	1.5	1.5	
RB12	W10x22	Vf = 1.5	Vf = 1.5	TOP PLATE NAILER
RB13	W10x22	Vf = 1.5 Mf = 9.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
RB14	W10x22	Vf = 1.5 Mf = 9.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
RB15	W10x22	Vf = 1.5 Mf = 9.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
RB16	W10x22	Vf = 1.5 Mf = 9.5	Vf = 1.5	TORSION BRACE TOP PLATE NAILER
RB17	W10x22	Vf = 1.5	Vf = 1.5	TOP PLATE NAILER
RB18	2 - 1 1/2" x 16" LVL	1.5	1.5	
RB19	2 - 1 1/2" x 16" LVL	1.5	1.5	

- NOTES:
- ALL WOOD CONNECTORS ARE TO BE BY SIMPSON STRONG TIE. PROVIDE CONSULTANT WITH FULL SPEC. OF ALL ALTERNATE HANGERS FOR APPROVAL PRIOR TO USE.
 - ALL LOADS HAVE BEEN FACTORED IN ACCORDANCE WITH IBC 2015 LOAD CASES (LRFD)
 - LEFT AND RIGHT BEAM REACTIONS ORIENTATED WITH THE MEMBER LABEL ON PLAN.
 - ALL FASTENERS (i.e. NAILS, SCREWS, ANCHOR BOLTS, ETC.) WHICH ARE TO BE INSTALLED IN PRESERVATIVE TREATED WOOD (i.e. SILL PLATES) SHALL MEET THE REQUIREMENTS OF IBC 2304.10.5.1.
 - FOR STEEL BEAMS, REFER TO S-205 FOR CONNECTION DETAILING

SHEARWALL SCHEDULE							
MEMBER MARK	PLYWOOD SHEATHING	EDGE NAILING	BOTTOM PLATE TO RIM	SILL BOLTING	ASD SHEAR (PLF)	END STUDS	FOUNDATION ANCHORAGE
SW1	15/32" STRUCT I	8d @ 6" c/c	16d @ 6" c/c COMMON	5/8" @ 32" c/c	280	2-2x6	SIMPSON HDU-8 c/w 1" CAST IN HEADED STUD, 8" EMBEDMENT. PROVIDE ADDITIONAL 2 #3 INVERTED U-BARS, 1 EACH SIDE OF ANCHOR.
SW2	15/32" STRUCT I	8d @ 4" c/c	16d @ 6" c/c COMMON	5/8" @ 32" c/c	430	2-2x6	SIMPSON HDU-8 c/w 1" CAST IN HEADED STUD, 10" EMBEDMENT. PROVIDE ADDITIONAL 2 #3 INVERTED U-BARS, 1 EACH SIDE OF ANCHOR.
SW3	15/32" STRUCT I	8d @ 3" c/c	16d @ 6" c/c COMMON	5/8" @ 16" c/c	550	2-2x6	SIMPSON HDU-11 c/w 1" CAST IN HEADED STUD, 12" EMBEDMENT. PROVIDE ADDITIONAL 2 #3 INVERTED U-BARS, 1 EACH SIDE OF ANCHOR.
SW4	15/32" STRUCT I	8d @ 2" c/c	16d @ 6" c/c COMMON	5/8" @ 16" c/c	730	2-2x6	SHEARWALL NAILING PATTERN CURRENTLY NOT IN USE.

- NOTES:
- ALL PANEL EDGES SHALL BE BACKED WITH 2" NOMINAL FRAMING MINIMUM.
 - ALL PANEL EDGES RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL BE 3" NOMINAL MINIMUM OR STAGGER ROWS TO PROVIDE MINIMUM 1/2" EDGE DISTANCE.
 - MINIMUM 1/2" EDGE DISTANCE.
 - PROVIDE 3"x3"x0.229 WASHERS FOR ALL ANCHOR BOLTS TO STILL PLATES (TYP.). LOCATE ANCHORS, SUCH THAT EDGE OF WASHER IS WITHIN 1/2" OF INSIDE FACE OF SHEATHING.
 - AT INTERMEDIATE FRAMING MEMBERS NAIL WALLS @ 12" c/c.
 - EDGE NAILS NOTED IN SCHEDULE TO BE STAGGERED AND PROVIDE 1/2" EDGE DISTANCE MINIMUM.
 - ALL FASTENERS IN CONTACT WITH PRESSURE TREATED SILL SHALL BE GALVANIZED.
 - 4x4x1/2" HSS COLUMNS ARE ACCEPTABLE ALTERNATES TO END STUD CONDITIONS.
 - SEE SHEARWALL ELEVATIONS FOR ADDITIONAL INFORMATION.

- 1 LEVEL 4 SHOWING UPPER ROOF FRAMING
S-104 1/4" = 1'-0"
- ROOF DATUM VARIES BASED ON ROOF SLOPE. REFER TO ARCHITECTURAL DRAWINGS.
 - TOP OF SHEATHING IS AT (-0'-3 1/2") BELOW FINISH
 - LOADS USED IN DESIGN: DEAD: 25psf
SNOW: 152psf
LIVE: N/A
 - ALL SHEATHING TO BE 3/4" T&G APPLIED DIRECTLY TO THE JOISTS.
 - TYPICAL NAILING SHALL BE 10d NAILS @ 6" c/c @ ALL SUPPORTED EDGES AND OVER SHEARWALLS. 12" c/c @ ALL INTERMEDIATE SUPPORT UNLESS OTHERWISE NOTED.
 - OVER SMF NAILING SPACING TO BE 2" c/c TO NAILER PLATE.
 - REFER TO GENERAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION.

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△	2017.12.02	ISSUED FOR COORDINATION
△	2017.11.22	ISSUED C GRADE COSTING
△	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
CHECKED: —
SCALE: AS NOTED
PROJECT NUMBER: 170450

SHEET TITLE:
ROOF FRAMING PLAN

PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

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BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

COLUMN SCHEDULE	B.5 - 1	B.5(-1'-3 5/8") - 1	B.5(-1'-3 5/8") - 3	B.5(-1'-3 5/8") - 5	B.5 - 3	B.5 - 5	C - 1	C - 2.1	C - 3.5	C - 5	E - 1	E - 2	E - 4	E - 5	F - 1	F - 5	F.5 - 1	F.5 - 1.1	F.5 - 4.5	F.5 - 5	G' - 1'	G' - 5'	
ROOF PEAK (42'-11 1/4")																							
LEVEL 4 (28'-10 1/2")																							
TOP OF CONCRETE WALL (20'-4 1/2")																							
LEVEL 3 (18'-4 1/2")																							
TOP OF CONCRETE WALL (12'-1 1/4")																							
LEVEL 2 (8'-11 1/4")																							
LEVEL 1 (0'-0")																							
BASEPLATE	D	A	A	A	D	D	A	B	B	A	A	A	A	A	A	A	D	D	D	D	C	C	
ADDITIONAL																							

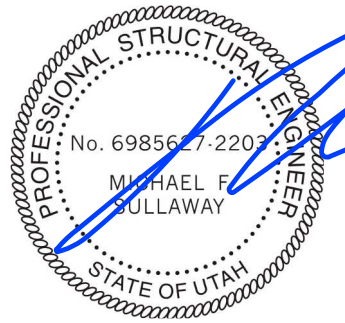
NOTES:

- ALL FORCES ARE GIVEN IN KIP AND KIP-FT.
- ALL COLUMNS LOCATED WITHIN STUD CAVITIES TO HAVE FIRST STUD FASTENED DIRECTLY TO FACE OF COLUMN WITH SIMPSON TB WOOD-TO-STEEL SCREW @ 10" c/c.

BASEPLATE SCHEDULE	BASEPLATE A - 5/8" THICK	BASEPLATE B - 5/8" THICK	BASEPLATE C - 5/8" THICK	BASEPLATE D - 5/8" THICK
	2-5/8"Ø HILTI HIT-Z BARS DRILLED AND EPOXIED 6" USING HILTI HIT-HY 200	4-5/8"Ø HILTI HIT-Z BARS DRILLED AND EPOXIED 6" USING HILTI HIT-HY 200	4-5/8"Ø HILTI HIT-Z BARS DRILLED AND EPOXIED 6" USING HILTI HIT-HY 200	4-3/4"Ø HILTI HEX HEAD HEADED STUD ANCHORS CAST-IN WITH 16" EMBEDMENT

CAT IN PLATE SCHEDULE	CAT IN PLATE 1 - 3/4" THICK	CAT IN PLATE 2 - 3/4" THICK
	4-3/4"Ø HILTI HEX HEAD HEADED STUD ANCHORS CAST-IN WITH 6" EMBEDMENT	4-7/8"Ø HILTI HEX HEAD HEADED STUD ANCHORS CAST-IN WITH 6" EMBEDMENT

SEAL:



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△	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
SCALE: AS NOTED

CHECKED: —
PROJECT NUMBER: 170450

SHEET TITLE:
COLUMN SCHEDULE

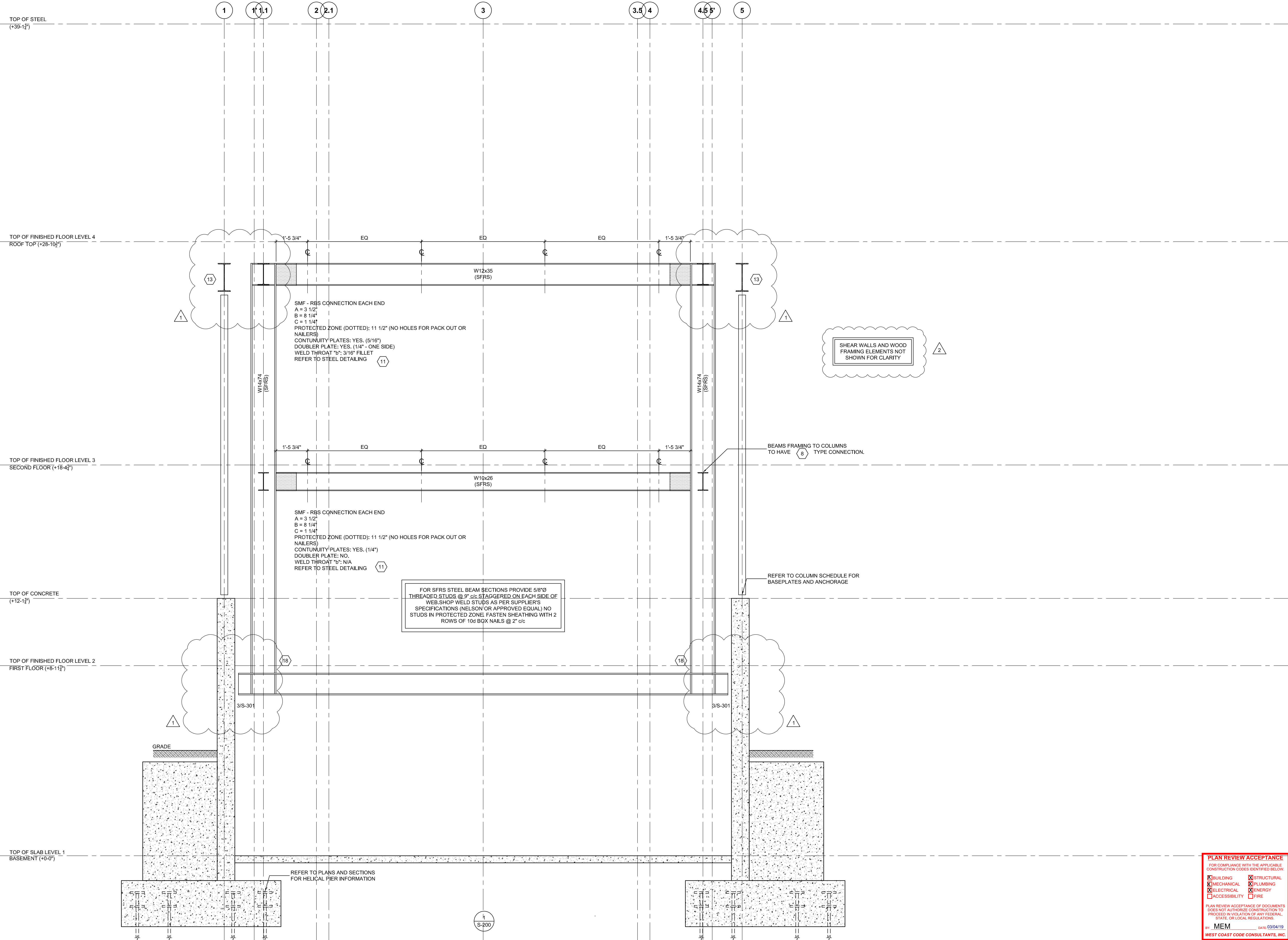
PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW:

BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY FIRE

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BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

S-105



SEAL:



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△	2018.08.24	REVISED PERMIT SET
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△	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
SCALE: AS NOTED

CHECKED: —
PROJECT NUMBER: 170450

SHEET TITLE:
STEEL ELEVATIONS

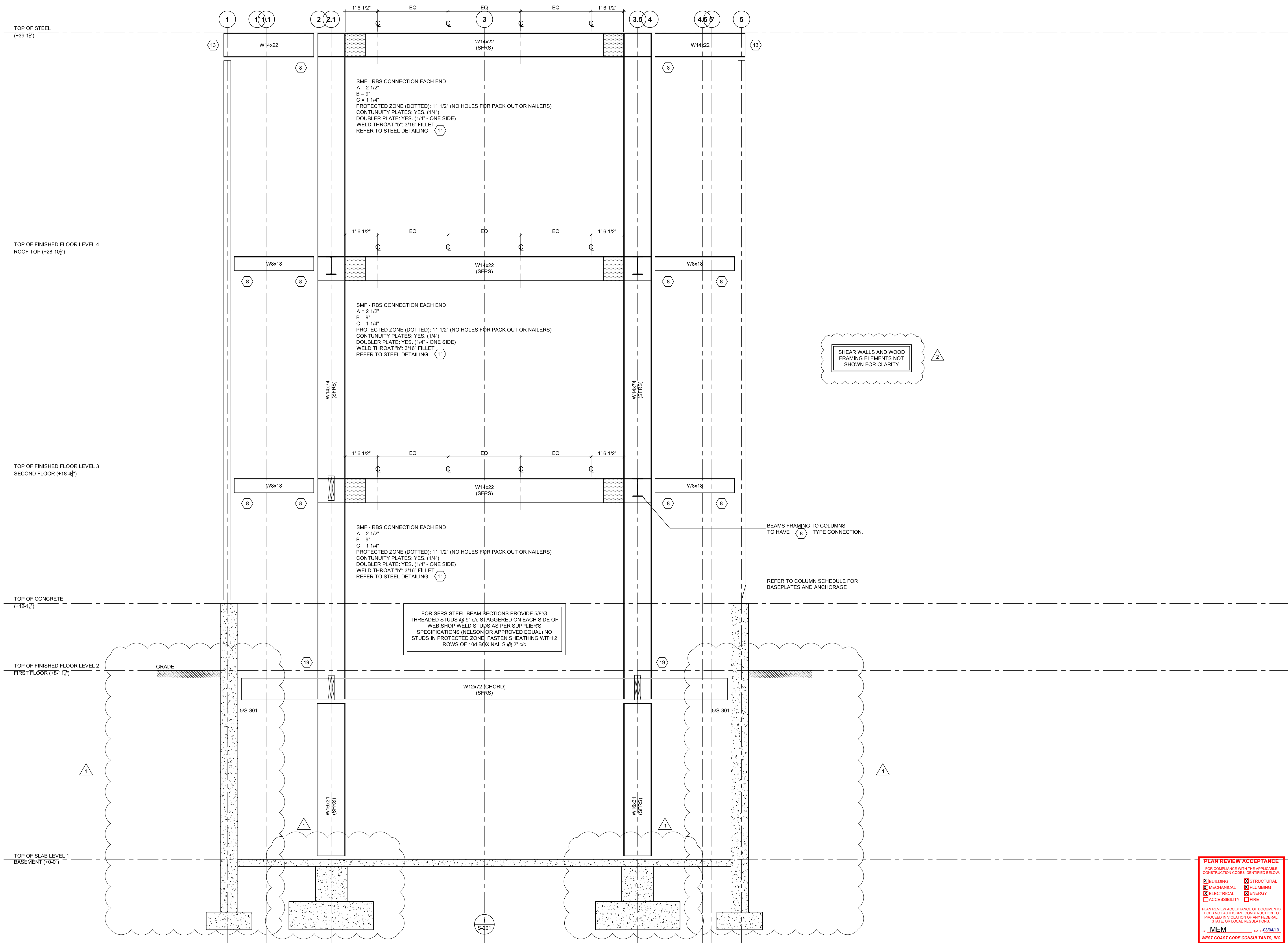
PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW:

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<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

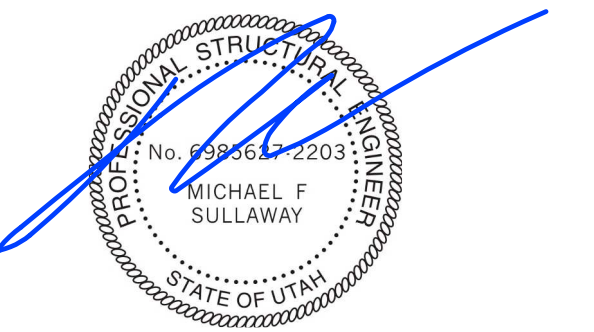
PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, OR LOCAL REGULATIONS.

BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

S-200



SEAL:



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△	2018.08.24	REVISED PERMIT SET
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△	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
 CHECKED: —
 SCALE: AS NOTED
 PROJECT NUMBER: 170450

SHEET TITLE:
STEEL ELEVATIONS CONT'D

PLAN REVIEW ACCEPTANCE
 FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

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 BY: MEM DATE: 03/04/19
 WEST COAST CODE CONSULTANTS, INC.

S-201

SEAL:



REFER TO DETAIL 5 FOR SHEAR PL AND BOLTS

ONE-SIDED CONNECTION

REFER TO DETAIL 5 FOR SHEAR PL AND BOLTS

TWO-SIDED CONNECTION

REFER TO DETAIL 5 FOR SHEAR PL AND BOLTS

TWO-SIDED CONNECTION

REFER TO DETAIL 5 FOR SHEAR PL AND BOLTS

TWO-SIDED CONNECTION

CONNECTION SCHEDULE					
BEAM SIZE	PLATE THICKNESS	BOLTS DIA.	QTY.	DIM. 'B'	W (MAX)
W8	5/16	3/4	2	2 1/2	24
W10	5/16	3/4	2	2 1/2	41
W12	5/16	3/4	3	2 1/2	41
W14	5/16	3/4	3	2 1/2	43
W16	5/16	3/4	4	2 1/2	62
W18	5/16	3/4	5	2 1/2	81

CONNECTION SCHEDULE NOTES

- ALL HOLE SIZES ARE 1/8" UNLESS NOTED
- BOLTS TO BE ASTM A325N OR A325X
- ALL WELDS TO BE E70XX
- SHEAR PLATES SHALL BE MINIMUM GRADE A36
- REFER TO BEAM SCHEDULE FOR FACTORED DESIGN REACTIONS. THE REACTION FORCES NOTED IN THE RESPECTIVE BEAM SCHEDULES SHALL NOT EXCEED THE CONNECTION CAPACITY NOTED IN THIS TABLE.

REFER TO DETAIL 5 FOR SHEAR PL AND BOLTS

UNEQUAL BEAM AND GIRDER DEPTH

REFER TO DETAIL 5 FOR SHEAR PL AND BOLTS

EQUAL BEAM AND GIRDER DEPTH

REFER TO STEEL ELEVATION FOR DIMENSIONS A,B,C

WELD THROAT "a" TO BE THICKNESS OF CONTINUITY PLATE, LESS 1/16"

CJP DEMAND CRITICAL WELD TOP & BOT. BACK UP BAR TO REMAIN REMOVE WELD TABS

3/8" SHEAR TAB 5/8" BOLTS @ 3" c/c (2 MIN) FOR ERECTION ONLY

STEEL BACKING MUST BE REMOVED AND THE ROOT PASS MUST BE BACKGROUGED AND BACK-WELDED WITH A 3/8" REINFORCING FIBER

REFER TO DETAIL 5 FOR SHEAR PL AND BOLTS

REFER TO DETAIL 5 FOR SHEAR PL AND BOLTS

REFER TO DETAIL 5 FOR SHEAR PL AND BOLTS

REDUCED BEAM SECTION BEAM-TO-COLUMN CONNECTION

REFER TO STEEL ELEVATIONS FOR WELD THROAT THICKNESS "b" AND DOUBLER PLATE QUANTITY AND THICKNESS

BEAM OVER COL. - WELD

BEAM OVER COLUMN - BOLTS

COL. PLATE SCHEDULE

COLUMN SIZE	BEAM FLANGE WIDTH	PLATES	COLUMN SIZE	BEAM FLANGE WIDTH	PLATES
3"x3"	< 4'-0"	1/2" 10" 4" 2X2"	5'x5"	< 4'-0"	1/2" 11" 4" 2X2"
	4'-0" - 6"	1/2" 10" 5" 2X2"		4'-0" - 6"	1/2" 11" 5" 2X2"
	6'-7" - 12"	1/2" 10" 6" 3X2"		6'-7" - 12"	1/2" 11" 6" 3X2"
	7'-6" - 12"	1/2" 10" 7" 4"		7'-6" - 12"	1/2" 11" 7" 4"
	> 7'-6"	1/2" 10" 8" 5X2"		> 7'-6"	1/2" 11" 8" 5X2"

COL. PLATE SCHEDULE NOTES

- ALL WELDS TO BE E70XX
- PLATES SHALL BE GRADE A36
- MIN. COLUMN HEIGHT: 8'-0"
- MAXIMUM COLUMN LOAD. REFER TO PLAN FOR DESIGN FORCES
- REFER TO DETAIL 16 FOR WELD SIZE "c" FOR STIFFENERS, TYP.

STIFFENER SCHEDULE

COLUMN SIZE	BEAM SIZE	PLATES	COLUMN SIZE	BEAM SIZE	PLATES
3'x3"	W8	1/2" x 12"	5'x5"	W8	1/2" x 12"
	W10	1/2" x 12"		W10	1/2" x 12"
	W12	1/2" x 12"		W12	1/2" x 12"
	W14	1/2" x 12"		W14	1/2" x 12"
	W16	1/2" x 12"		W16	1/2" x 12"
	W18	1/2" x 12"		W18	1/2" x 12"

STIFFENER SCHEDULE NOTES

- SECTIONS HEAVIER THAN WHAT IS NOTED IN THE SCHEDULE DO NOT REQUIRE STIFFENERS
- PLATE WIDTH REFERENCE DIMENSION "A" SHALL BE TAKEN AS 1/2" - 2" WHERE 1/2" IS THE WIDTH OF THE BEAM FLANGE
- ALL WELDS TO BE E70XX
- PLATES SHALL BE GRADE A36

COL. ON BEAM - WELD

COLUMN ON BEAM - BOLTS

STIFFENER SCHEDULE

NTS

TORSION BRACE

LEG OF WELD "a" TO BE "W" BRACE LESS 1/16"

F.5 MOMENT FRAME

NOTES

- ALL HOLE SIZES ARE 1/8" UNLESS NOTED
- BOLTS TO BE ASTM A325N OR A325X
- ALL WELDS TO BE E70XX
- PLATES SHALL BE GRADE MIN. GRADE A36
- REFER TO 2/2022

C&D MOMENT FRAME

NOTES

- ALL HOLE SIZES ARE 1/8" UNLESS NOTED
- BOLTS TO BE ASTM A325N OR A325X
- ALL WELDS TO BE E70XX
- PLATES SHALL BE GRADE MIN. GRADE A36
- REFER TO 10/2010 AND 1/2011

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△	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
SCALE: AS NOTED

CHECKED: —
PROJECT NUMBER: 170450

SHEET TITLE:
STEEL CONNECTIONS

PLAN REVIEW ACCEPTANCE

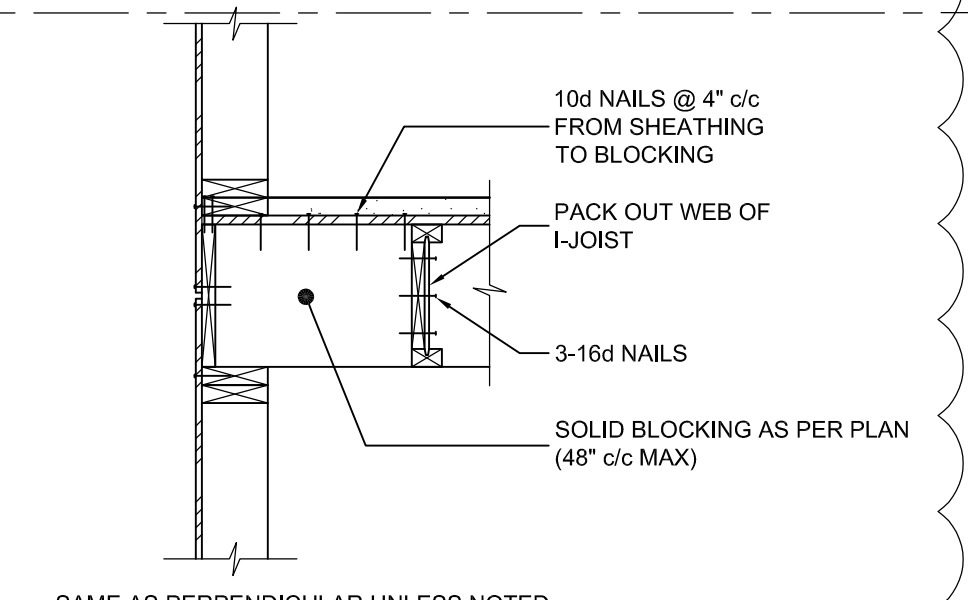
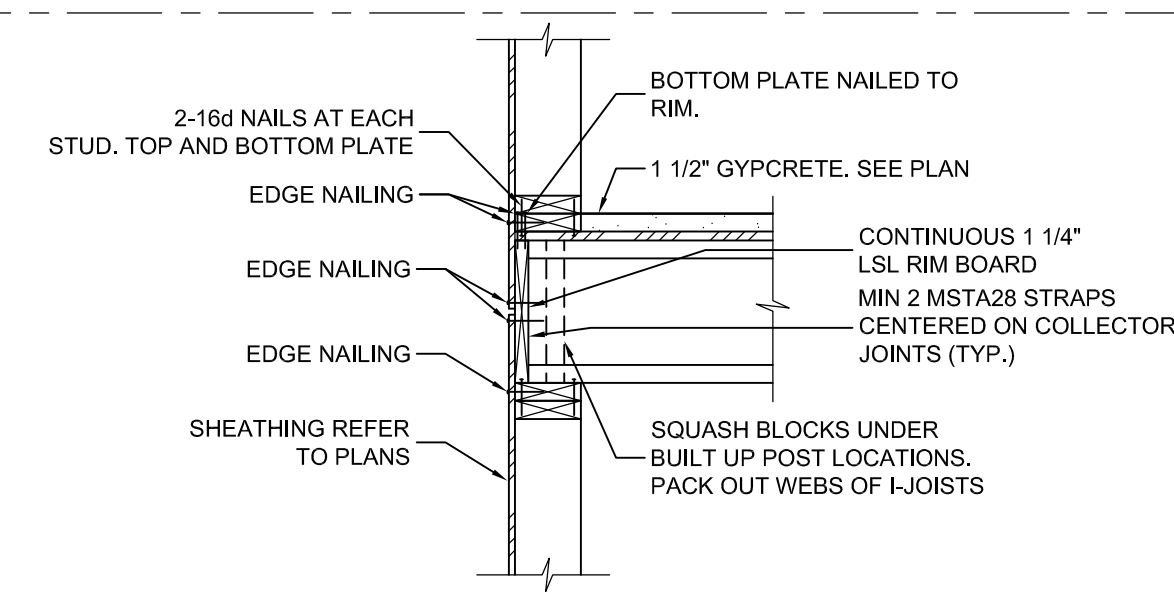
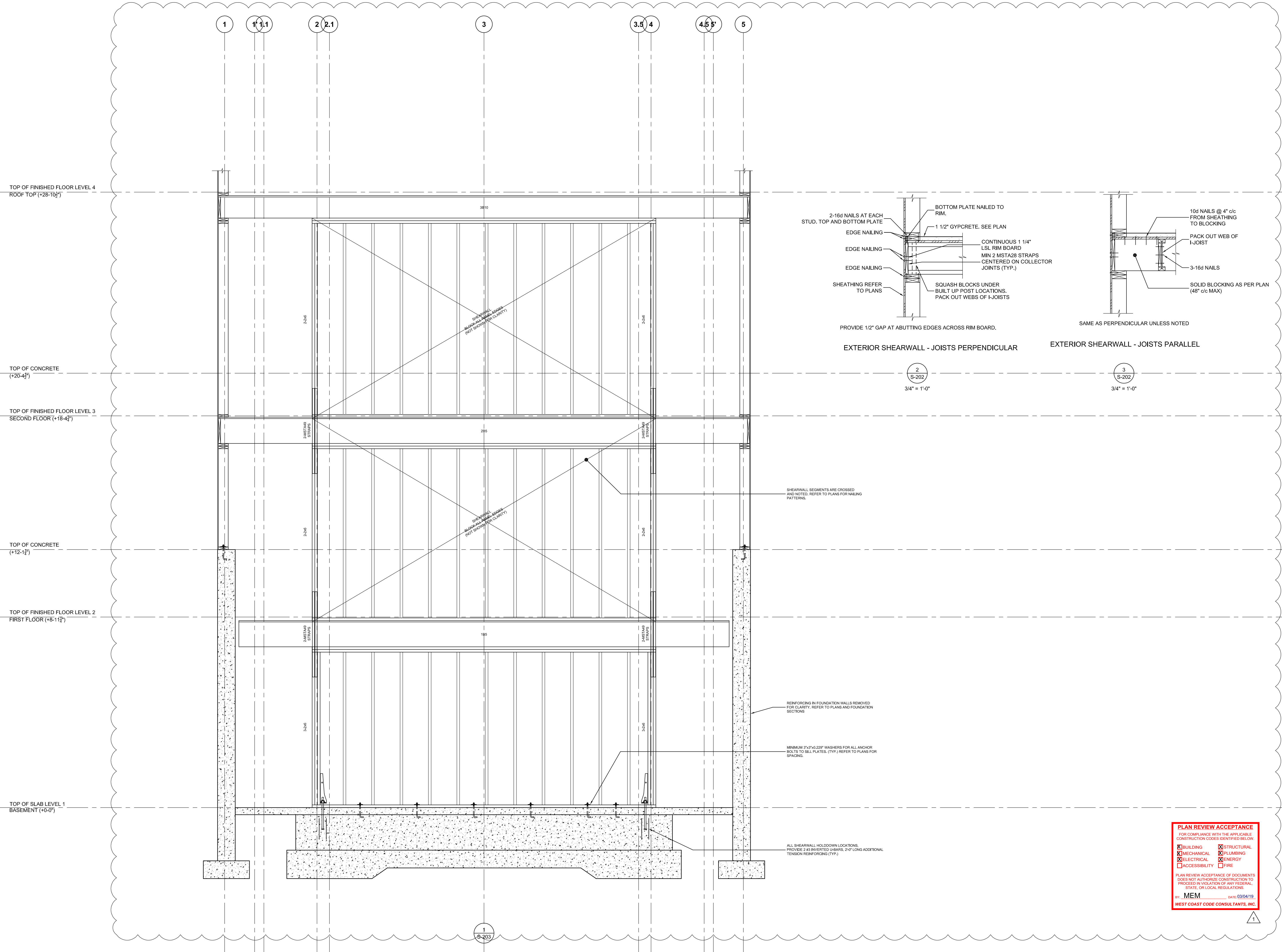
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW:

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△	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
SCALE: AS NOTED

CHECKED: —
PROJECT NUMBER: 170450

SHEET TITLE:
WOOD SHEARWALL ELEVATIONS

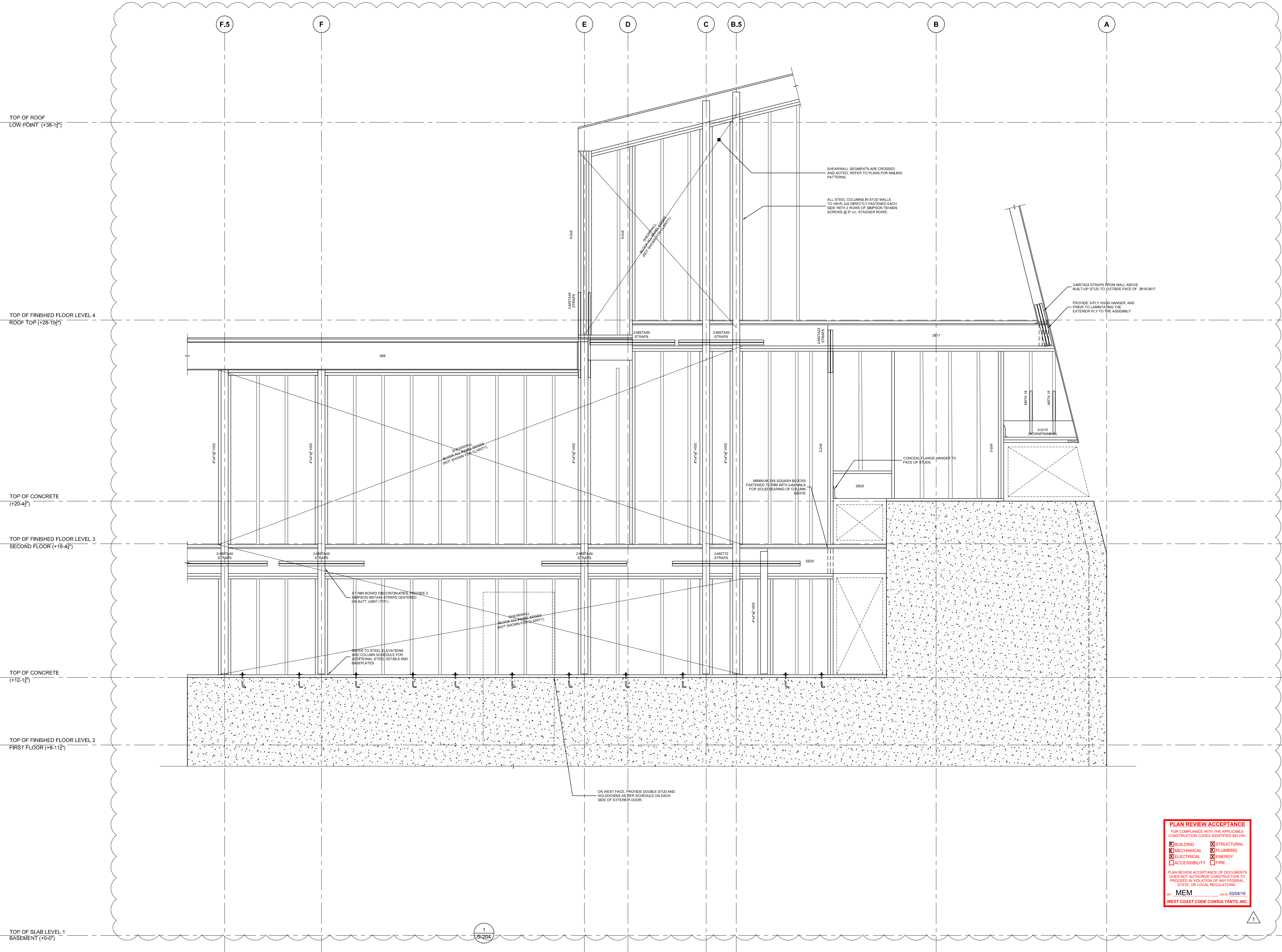
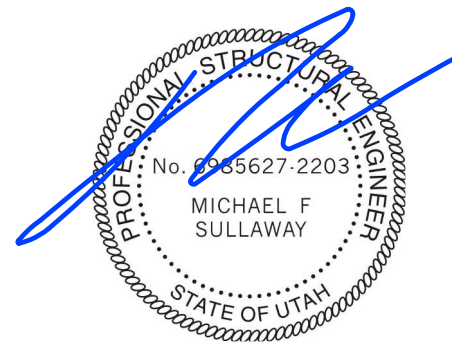
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△	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN:
AVB

CHECKED:
—

SCALE:
AS NOTED

PROJECT NUMBER:
170450

SHEET TITLE:
WOOD SHEARWALL ELEVATIONS CONT'D

PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW:

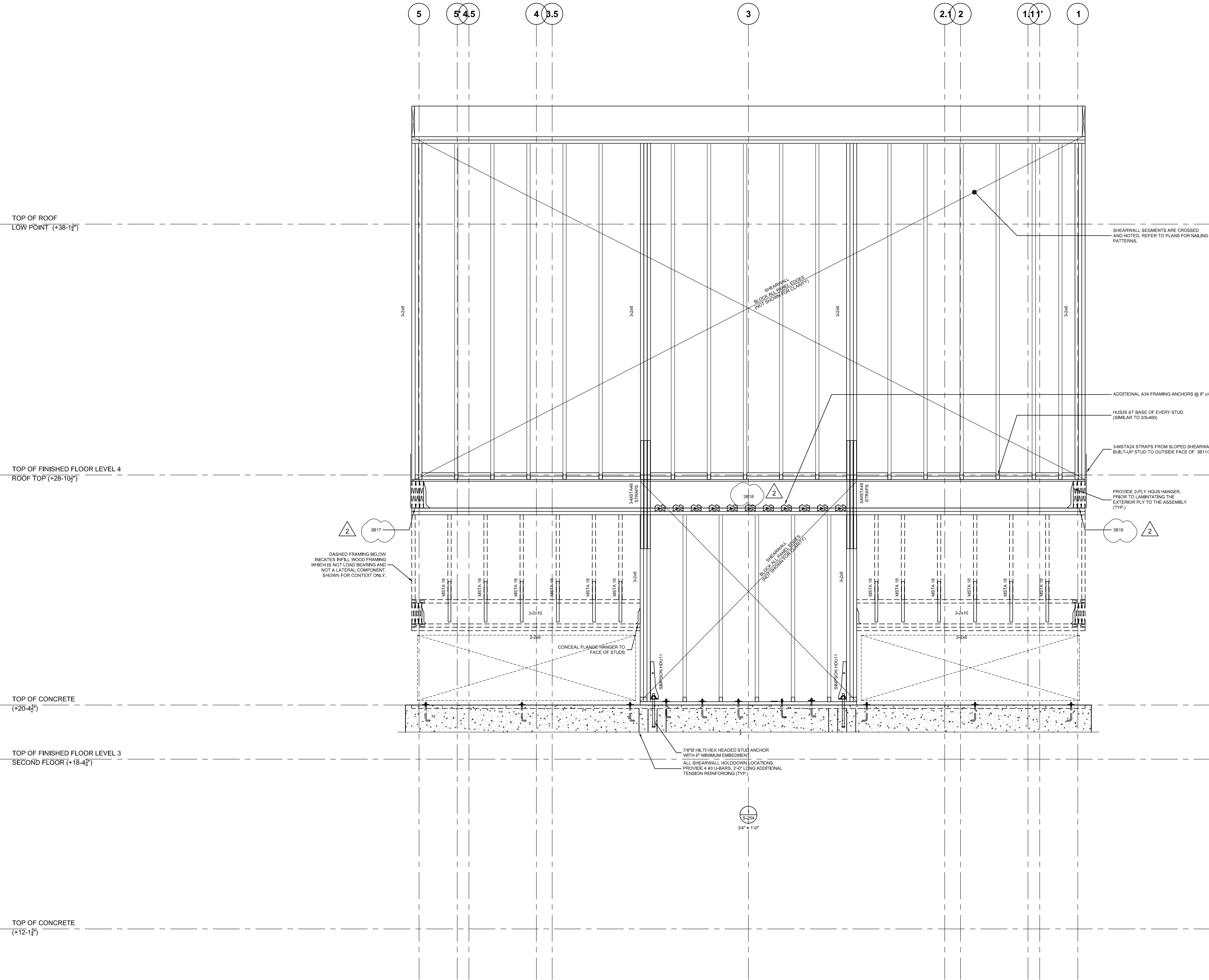
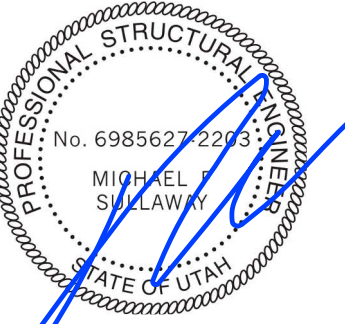
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BY: **MEM** DATE: **03/04/19**
WEST COAST CODE CONSULTANTS, INC.

S-204

SEAL:



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	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
SCALE: AS NOTED

CHECKED: —
PROJECT NUMBER: 170450

SHEET TITLE:
WOOD SHEARWALL ELEVATIONS CONT'D

PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

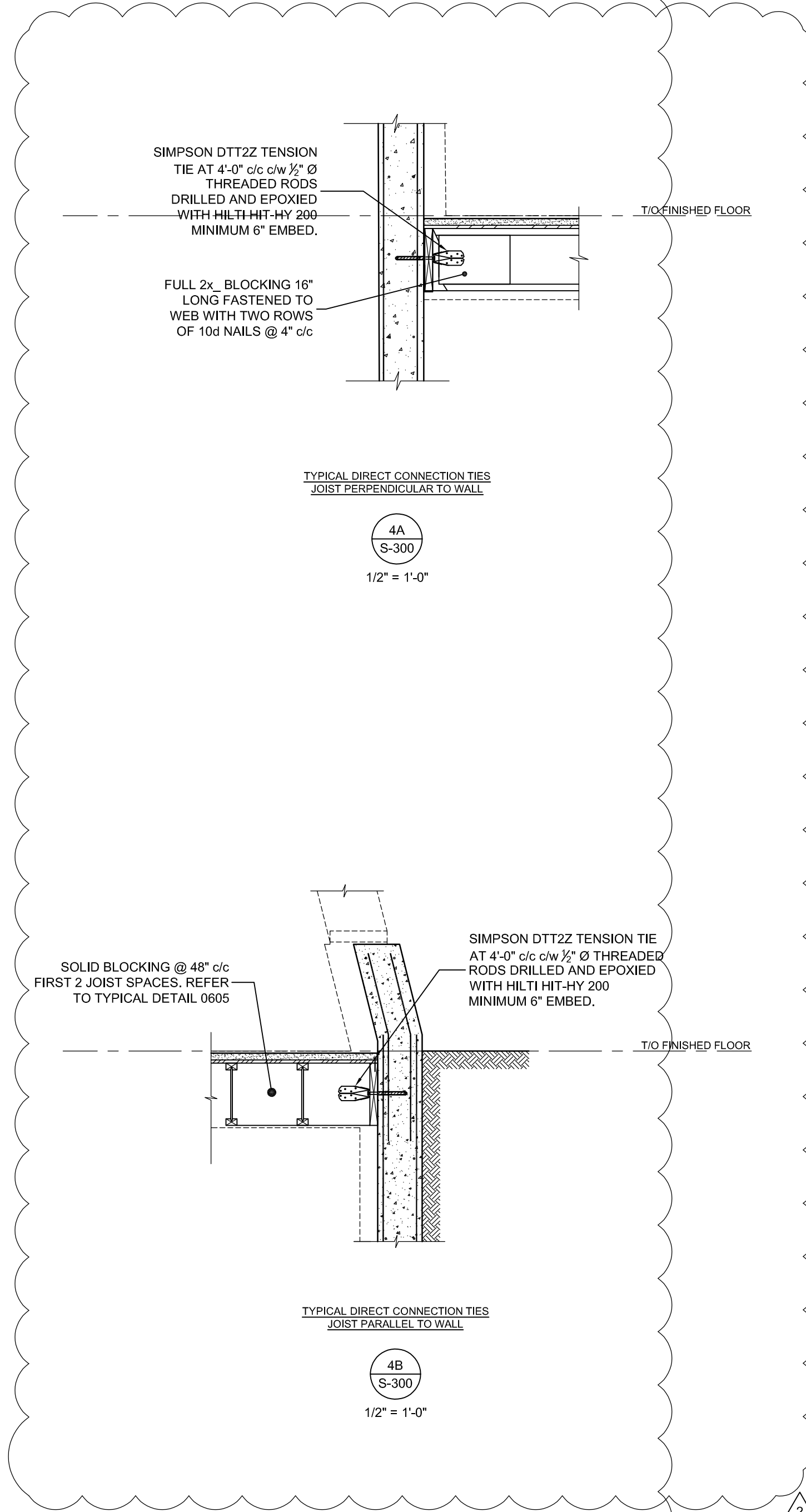
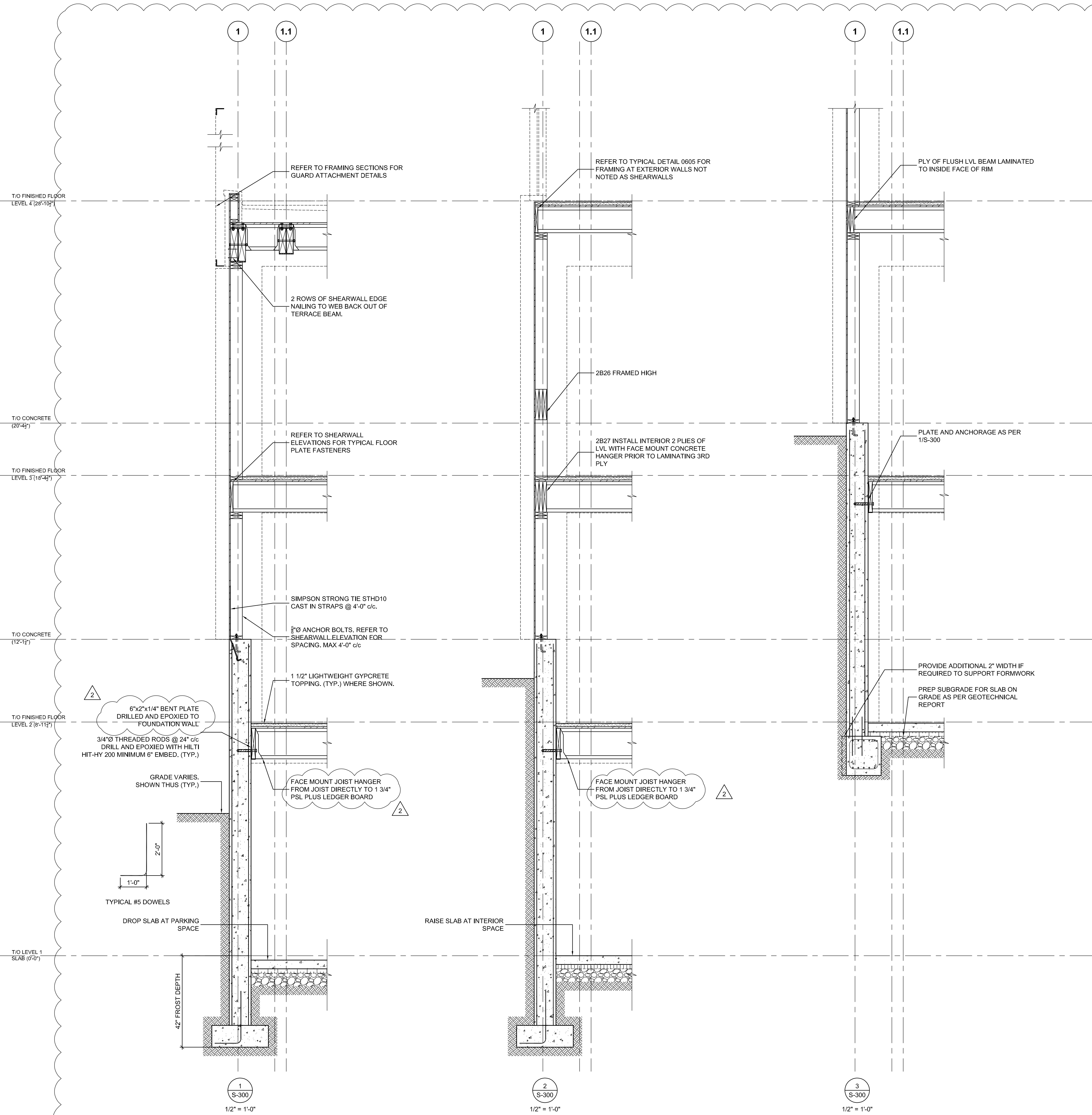
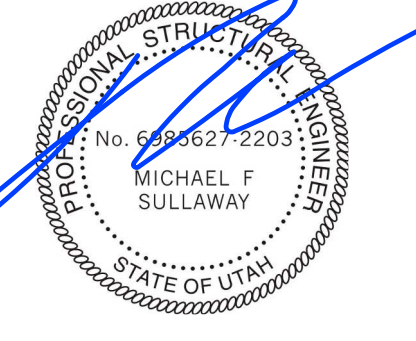
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BY: MEM DATE: 03/04/19
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S-205

SEAL:



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△	2018.08.24	REVISED PERMIT SET
△	2018.06.26	ISSUED FOR PERMIT
△	2018.06.20	ISSUED FOR COORDINATION
△	2018.02.01	ISSUED FOR PERMIT
△	2017.12.13	ISSUED FOR INTERNAL COORD.
△	2017.12.02	ISSUED FOR COORDINATION
△	2017.11.22	ISSUED C GRADE COSTING
△	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
SCALE: AS NOTED

CHECKED: —
PROJECT NUMBER: 170450

SHEET TITLE:
WALL SECTIONS

PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

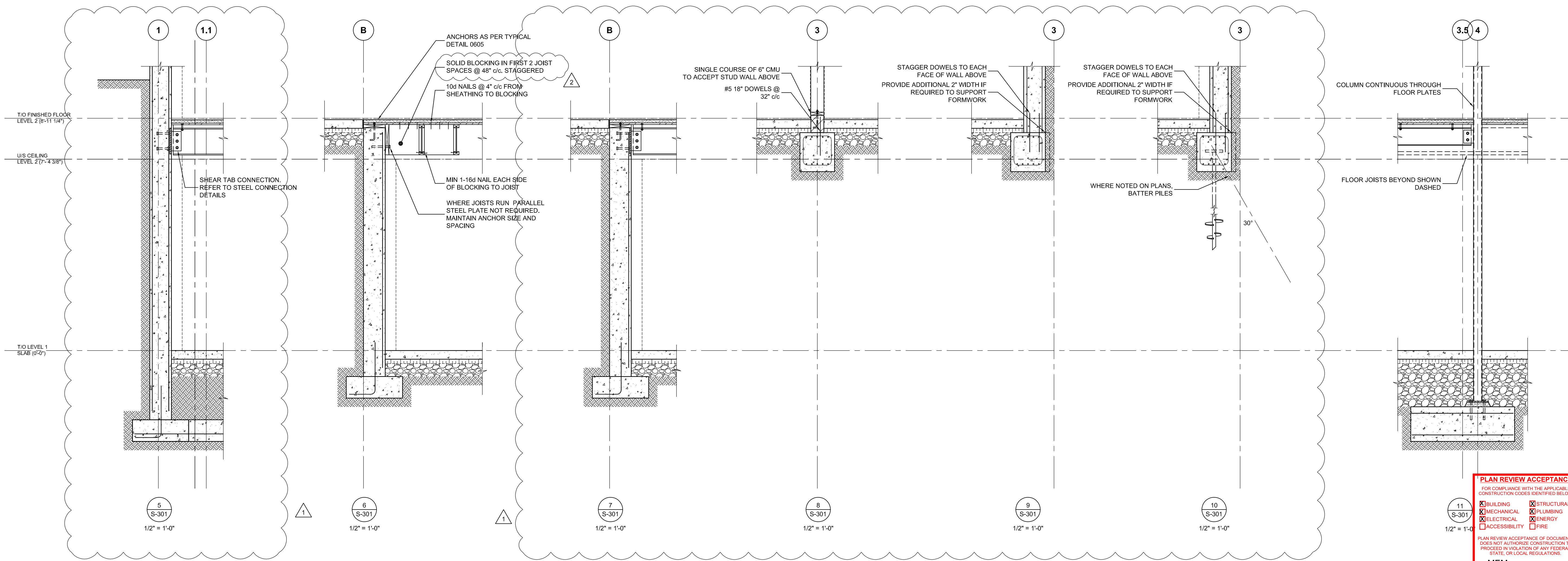
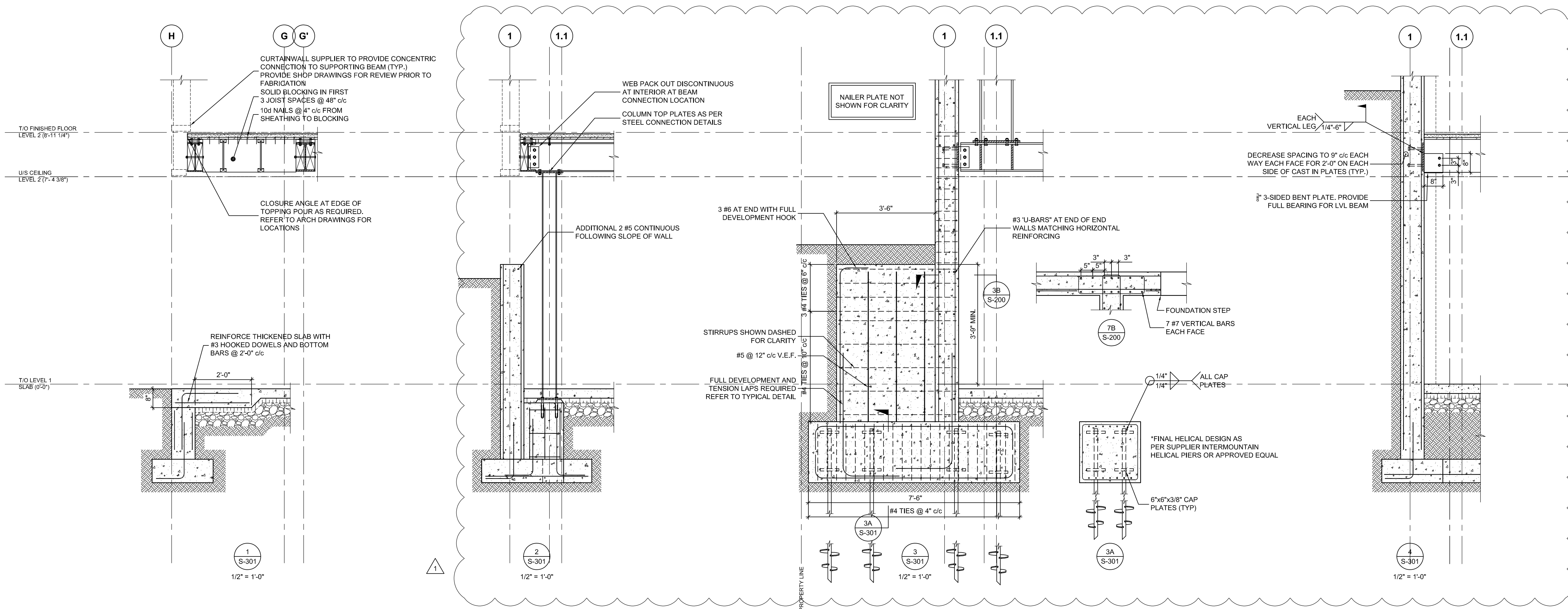
BUILDING STRUCTURAL
 MECHANICAL PLUMBING
 ELECTRICAL ENERGY
 ACCESSIBILITY FIRE

PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, OR LOCAL REGULATIONS.

BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

S-300

SEAL:



2018.08.24	REVISED PERMIT SET	
2018.06.26	ISSUED FOR PERMIT	
2018.06.20	ISSUED FOR COORDINATION	
2018.02.01	ISSUED FOR PERMIT	
2017.12.13	ISSUED FOR INTERNAL COORD.	
2017.12.02	ISSUED FOR COORDINATION	
2017.11.22	ISSUED C GRADE COSTING	
2017.11.07	INTERNAL COORDINATION	
MARK	DATE	DESCRIPTION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
SCALE: AS NOTED

CHECKED: —
PROJECT NUMBER: 170450

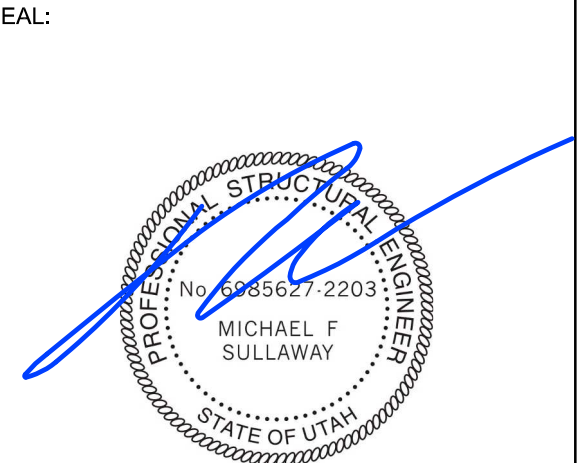
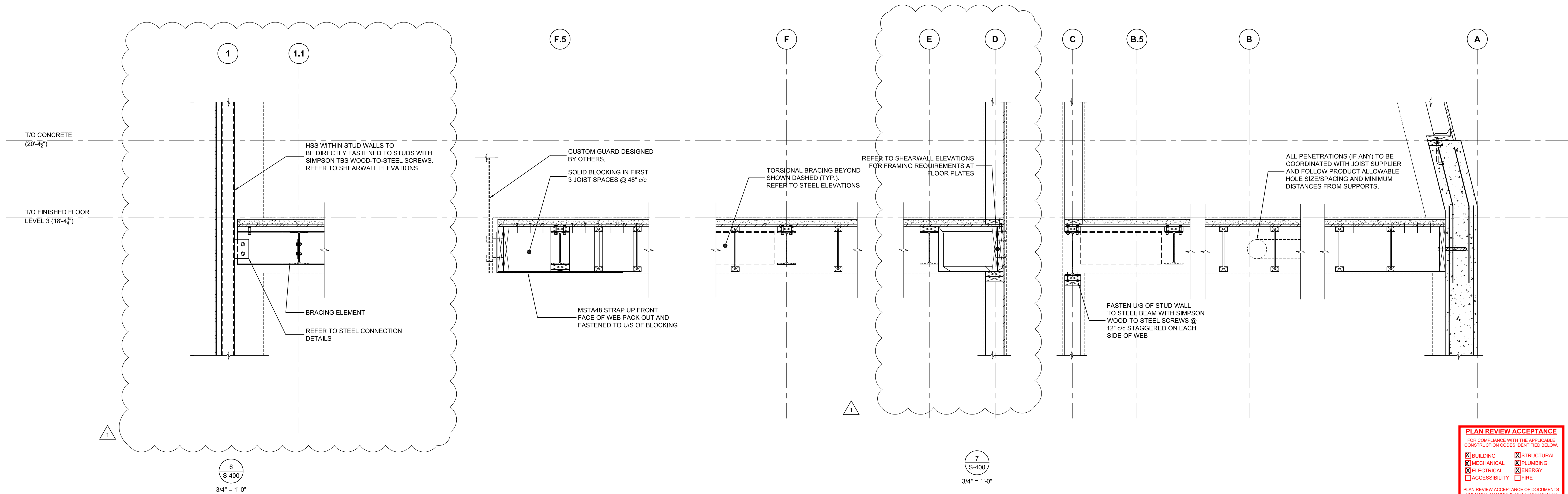
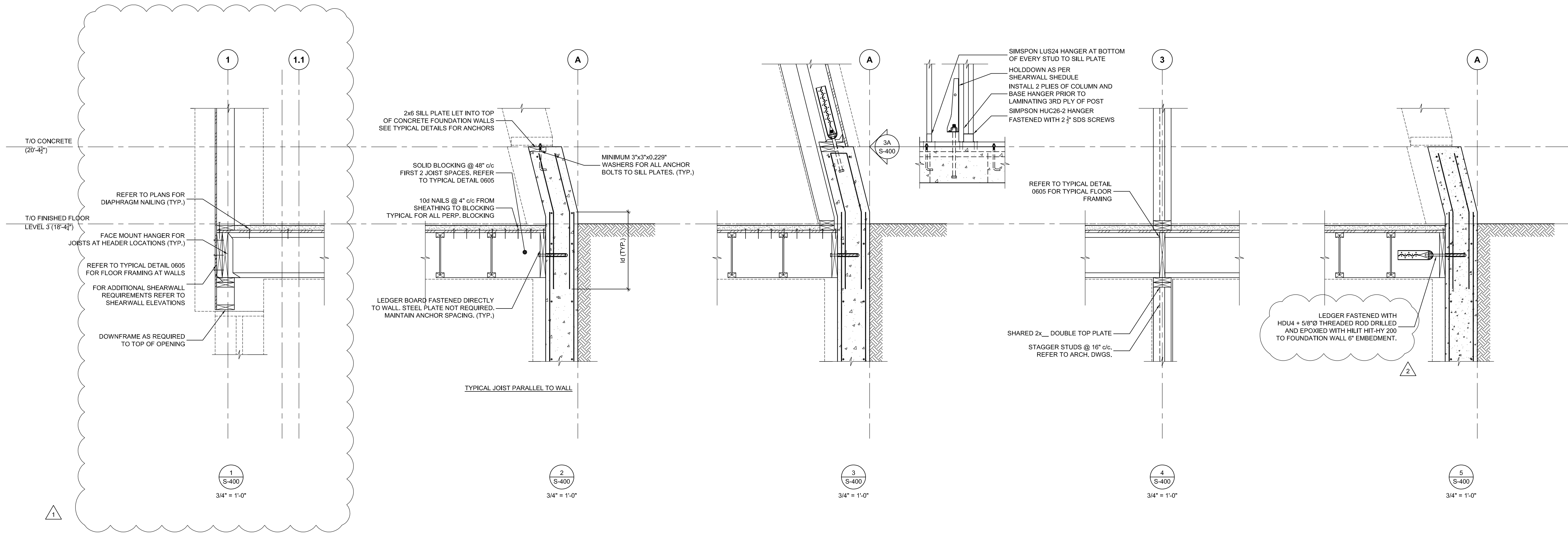
SHEET TITLE:
FOUNDATION SECTIONS

PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

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<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, OR LOCAL REGULATIONS.
BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

S-301



MARK	DATE	DESCRIPTION
△	2018.08.24	REVISED PERMIT SET
△	2018.06.26	ISSUED FOR PERMIT
△	2018.06.20	ISSUED FOR COORDINATION
△	2018.02.01	ISSUED FOR PERMIT
△	2017.12.13	ISSUED FOR INTERNAL COORD.
△	2017.12.02	ISSUED FOR COORDINATION
△	2017.11.22	ISSUED C GRADE COSTING
△	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN:
AVB

CHECKED:
—

SCALE:
AS NOTED

PROJECT NUMBER:
170450

SHEET TITLE:
FRAMING SECTIONS

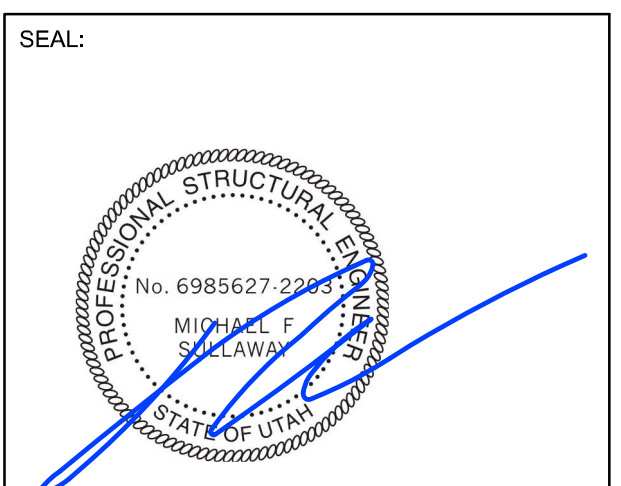
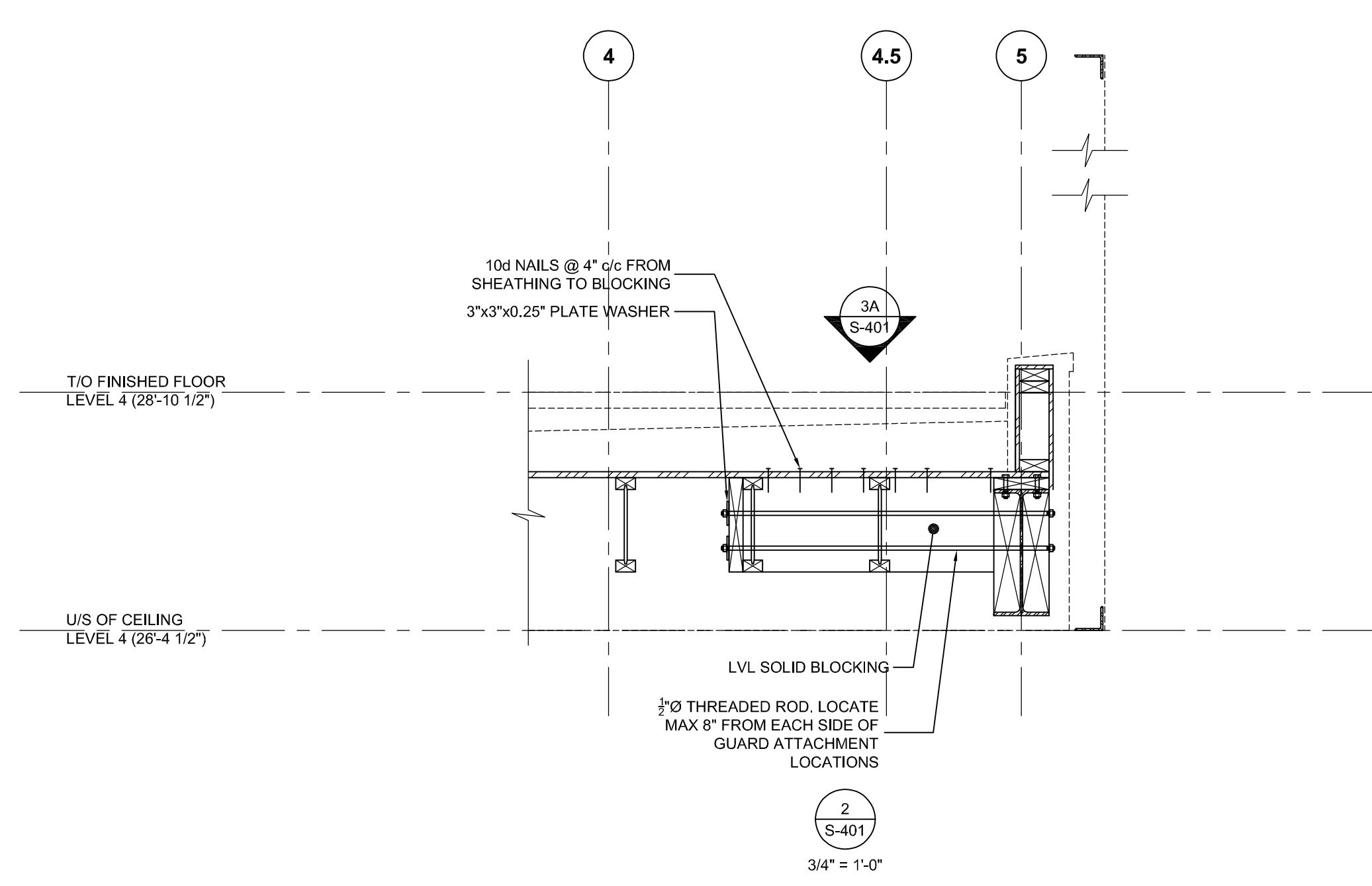
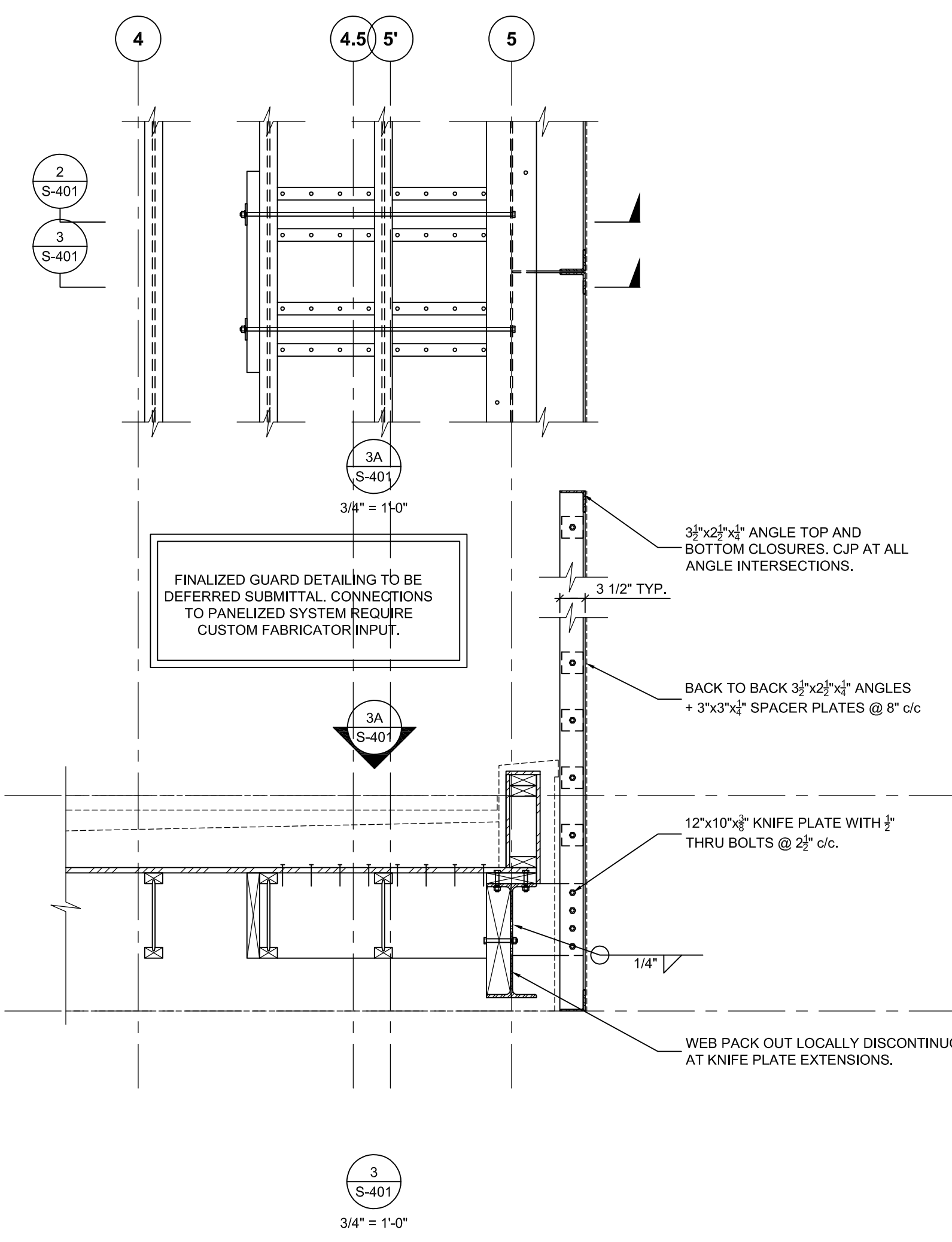
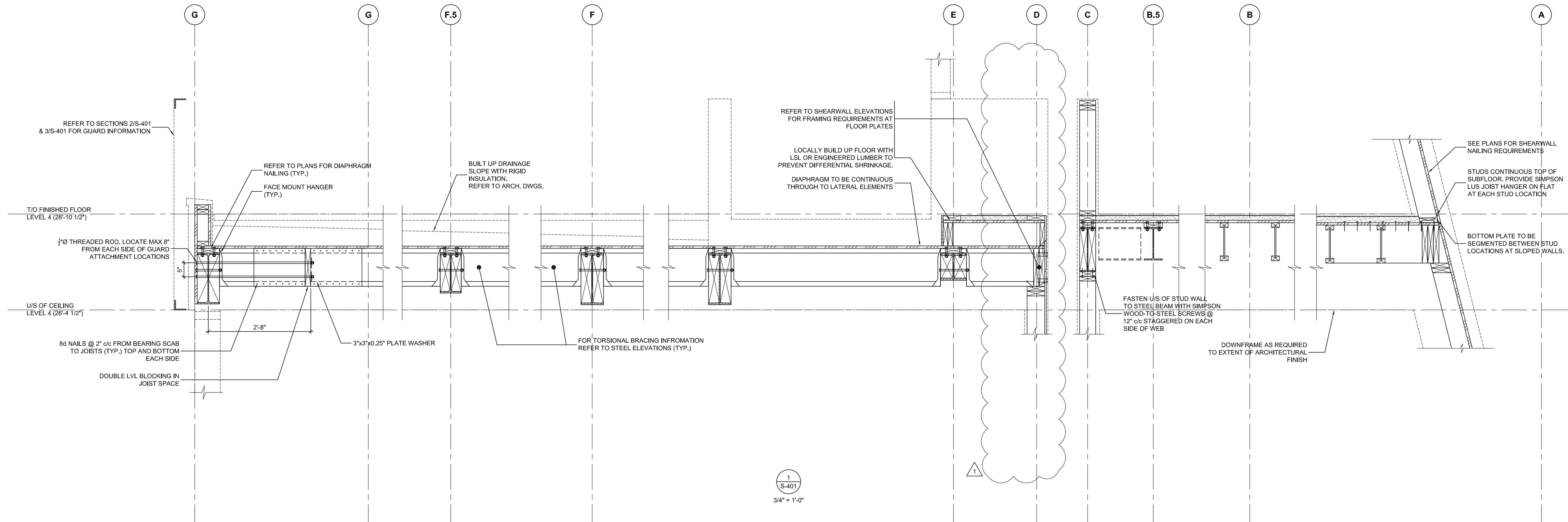
PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

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<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

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BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

S-400



MARK	DATE	DESCRIPTION
△	2018.08.24	REVISED PERMIT SET
△	2018.06.26	ISSUED FOR PERMIT
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	2017.12.13	ISSUED FOR INTERNAL COORD.
	2017.12.02	ISSUED FOR COORDINATION
	2017.11.22	ISSUED C GRADE COSTING
	2017.11.07	INTERNAL COORDINATION

PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN: AVB
SCALE: AS NOTED

CHECKED: —
PROJECT NUMBER: 170450

SHEET TITLE:
FRAMING SECTIONS CONT'D

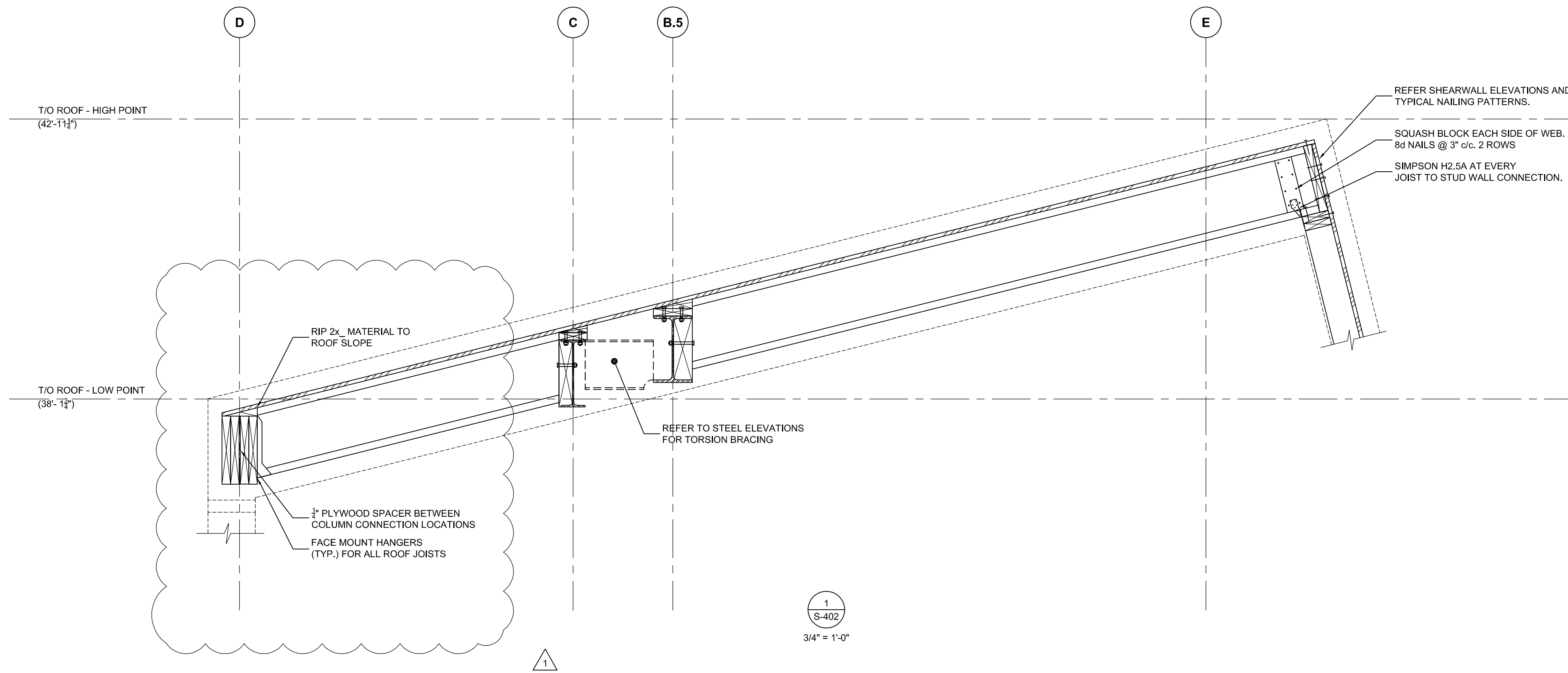
PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

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<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

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BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

S-401



REFER SHEARWALL ELEVATIONS AND TYPICAL NAILING PATTERNS.

SQUASH BLOCK EACH SIDE OF WEB.

8d NAILS @ 3" o.c. 2 ROWS

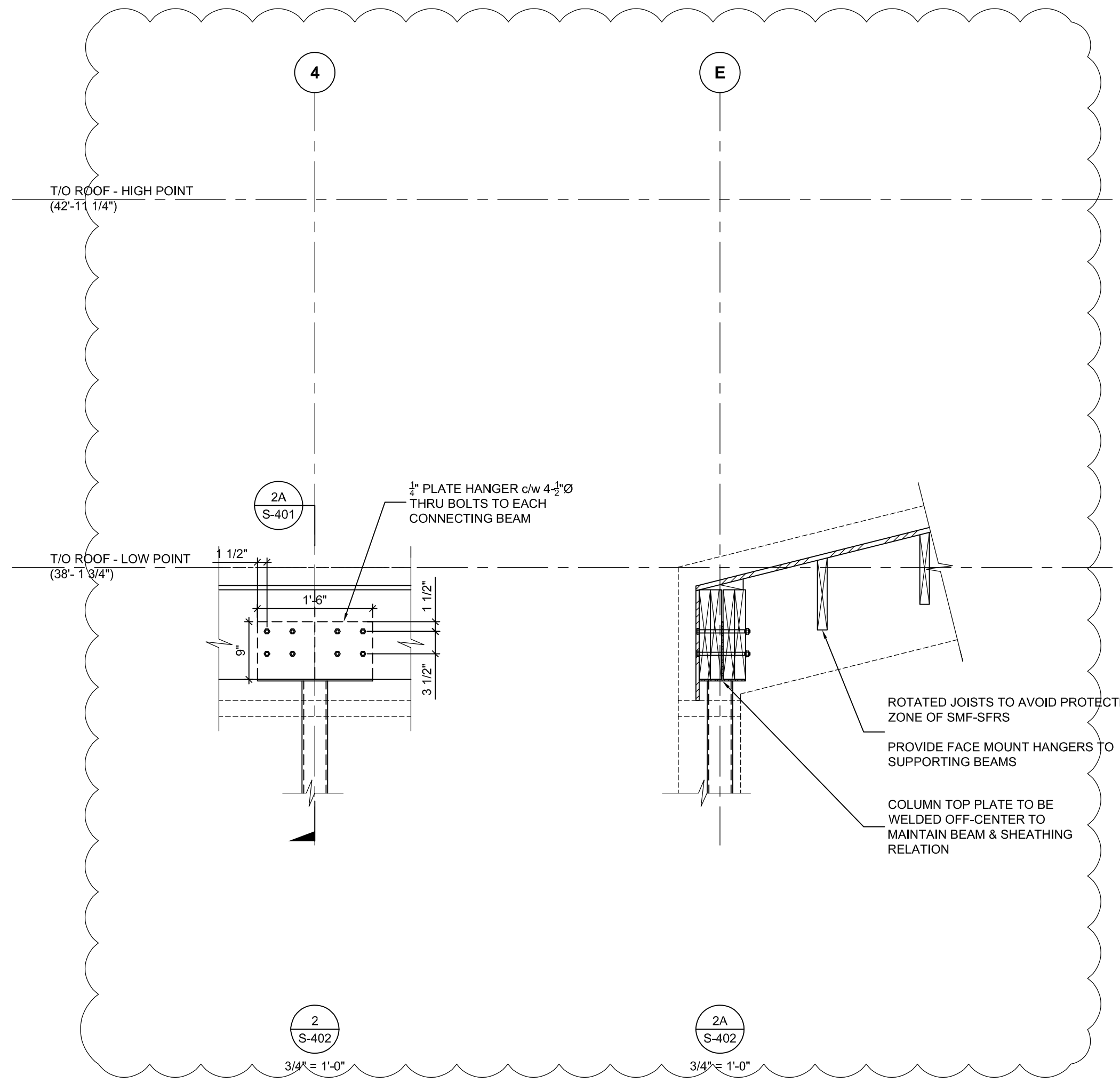
SIMPSON H2.5A AT EVERY JOIST TO STUD WALL CONNECTION.

REFER TO STEEL ELEVATIONS FOR TORSION BRACING

RIP 2x MATERIAL TO ROOF SLOPE

3/4" PLYWOOD SPACER BETWEEN COLUMN CONNECTION LOCATIONS
FACE MOUNT HANGERS (TYP.) FOR ALL ROOF JOISTS

1
S-402
3/4" = 1'-0"



2A S-401
3/4" PLATE HANGER c/w 4-1/2" THRU BOLTS TO EACH CONNECTING BEAM

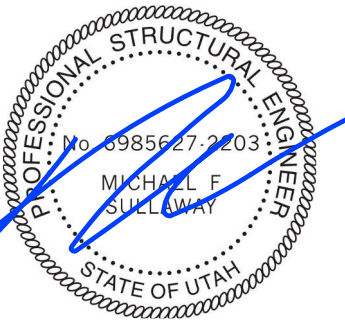
ROTATED JOISTS TO AVOID PROTECTED ZONE OF SMF-SFRS
PROVIDE FACE MOUNT HANGERS TO SUPPORTING BEAMS

COLUMN TOP PLATE TO BE WELDED OFF-CENTER TO MAINTAIN BEAM & SHEATHING RELATION

2
S-402
3/4" = 1'-0"

2A
S-402
3/4" = 1'-0"

SEAL:



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PROJECT NAME:
VILLAGE HOUSE AT LOT 71

PROJECT ADDRESS:
VILLAGE HOUSE LOT 71, SUMMIT POWDER MOUNTAIN

DRAWN:
AVB

CHECKED:
—

SCALE:
AS NOTED

PROJECT NUMBER:
170450

SHEET TITLE:
FRAMING SECTIONS CONT'D

PLAN REVIEW ACCEPTANCE
FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

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BY: MEM DATE: 03/04/19
WEST COAST CODE CONSULTANTS, INC.

S-402