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CIVIL

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STRUCTURAL

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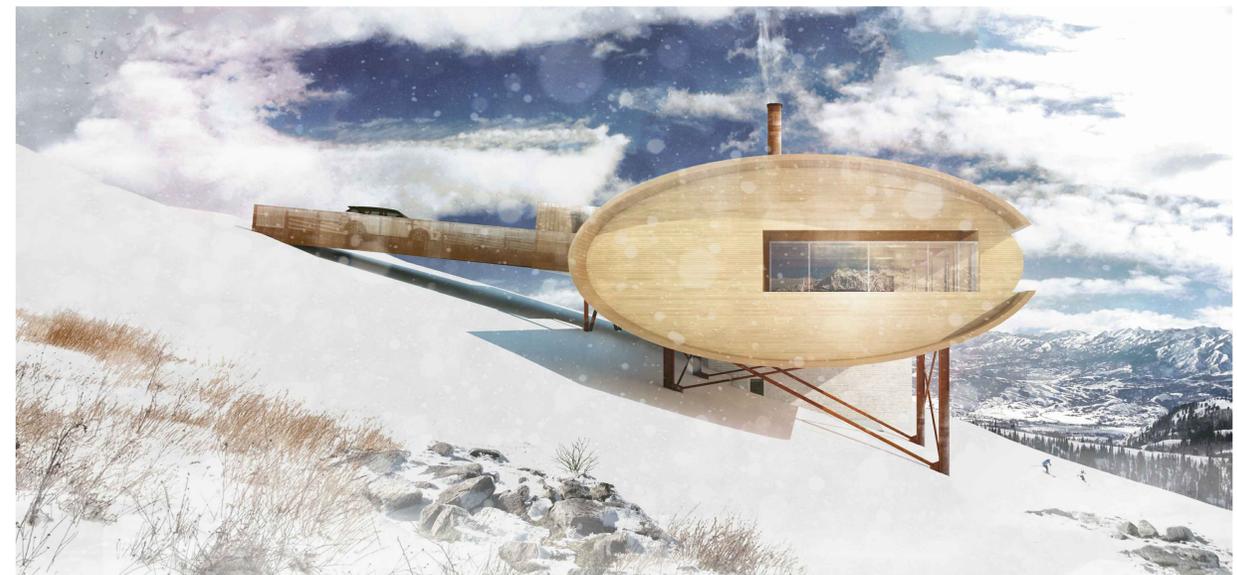
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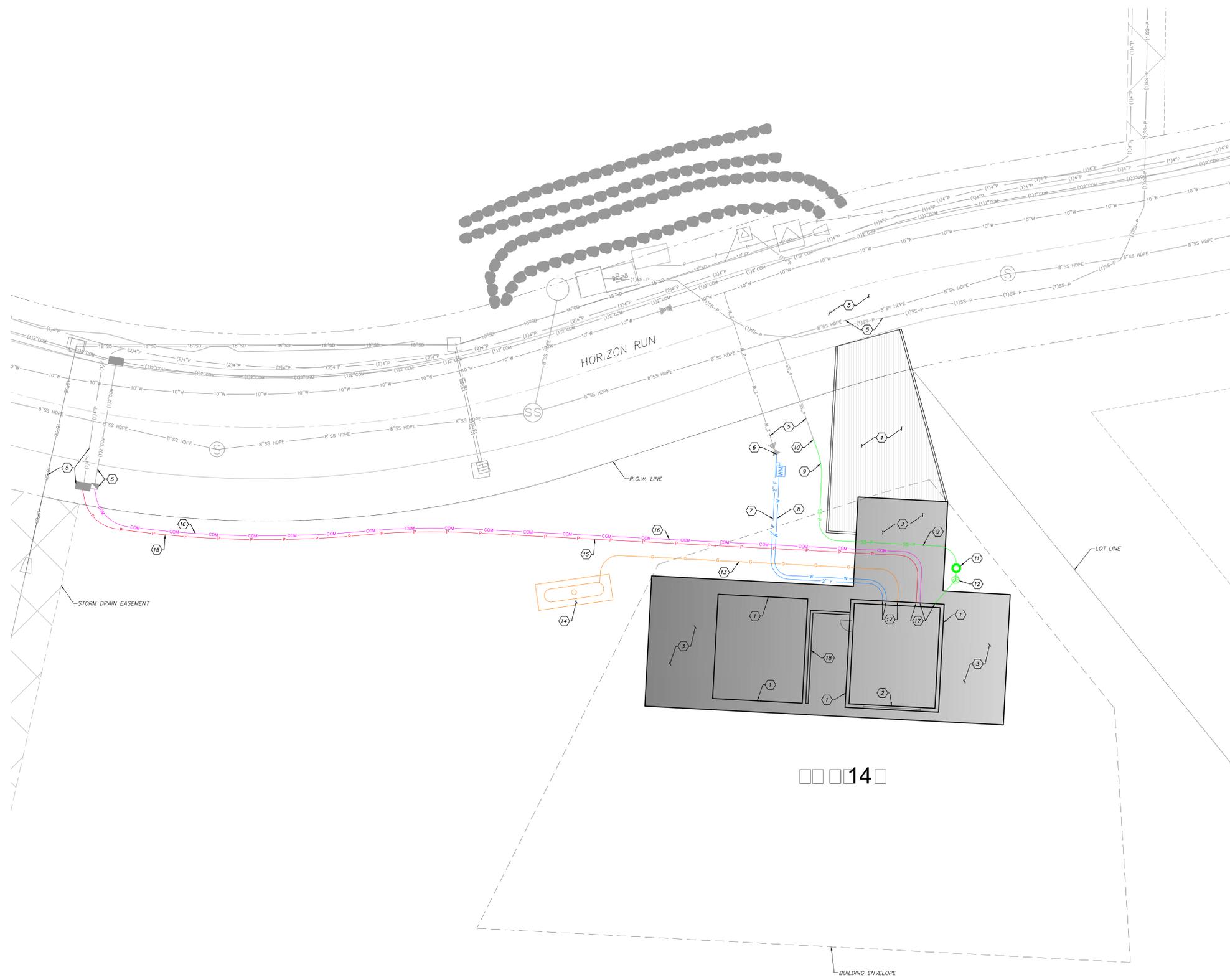
ARCHITECTURAL

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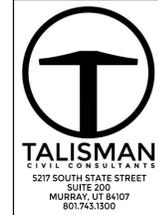


Lot 14R Mountain House

Summit Powder Mountain, Eden, Utah



- GENERAL NOTES:**
 THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO WEBER COUNTY ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY WEBER COUNTY. ALSO, INSPECTORS WILL HAVE THE RIGHT TO REQUEST CHANGES TO THE FACILITIES AS NEEDED.
- DUST MUST BE KEPT TO A MINIMUM. CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTACT POWDER MOUNTAIN WATER & SEWER IMPROVEMENT DISTRICT TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER.
- THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
- ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS.
- THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE UTAH DEPARTMENT OF ENVIRONMENTAL QUALITY DIVISION OF WATER QUALITY.
- ENSURE ALL GRADING SLOPES AWAY FROM STRUCTURE AT 5% FOR A MINIMUM OF 10' PER IRC R401.3
- UTILITIES:**
 ENSURE MINIMUM BURIED DEPTH PER BUILDING CODE FOR ALL BURIED UTILITIES. IMPROVEMENTS, INCLUDING LANDSCAPING, SHALL NOT INTERFERE WITH ANY DRAINAGE CULVERT, RIP RAP, AND DRAINAGE PATTERN ASSOCIATED WITH ANY DRAINAGE EASEMENT.
- KEY NOTES:**
- BUILDING FOOTPRINT. SEE ARCHITECTURAL PLANS.
 - EGRESS WINDOW. SEE ARCHITECTURAL PLANS.
 - BUILDING PORTION ABOVE. SEE ARCHITECTURAL PLANS.
 - INSTALL PREFABRICATED STEEL BRIDGE. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
 - PROTECT IN PLACE EXISTING IMPROVEMENTS/UTILITIES IN PLACE. IF DAMAGED, REPLACE AT CONTRACTOR'S EXPENSE.
 - CONNECT TO EXISTING 2" WATER LATERAL PER DETAIL B/SHEET C601.
 - INSTALL 2" PVC FIRE LINE, MINIMUM COVER OF 60" DEEP.
 - INSTALL 3/4" PVC WATER LATERAL, MINIMUM COVER OF 60" DEEP.
 - INSTALL 1 1/2" DR-11 IPS PRESSURE SEWER PIPE, MINIMUM COVER OF 60", SEWER PRESSURE LINE TO CROSS UNDER WATER LATERAL WITH A MINIMUM OF 18" CLEAR BETWEEN PIPES AT CROSSING.
 - CONNECT 1 1/2" PRESSURE SEWER PIPE TO EXISTING 4" SEWER LATERAL.
 - INSTALL E/ONE GRINDER PUMP STATION MODEL DHD71 WITH E/ONE ENTRY ALARM PANEL INCLUDING GENERATOR RECEPTACLE WITH AUTO TRANSFER AND GFCI RECEPTACLE. ALARM PANELS SHALL BE INSTALLED WITHIN LINE OF SIGHT OF ENTRY TO UNIT. SEE DETAIL SHEET C602.
 - INSTALL 4" SEWER LATERAL AND CLEANOUT PER APWA STANDARD PLAN NO. 431.
 - GAS PIPES, AND STORAGE TANKS (1,000 GAL) TO BE EXCAVATED AND TRENCHED BY CONTRACTOR. INSTALLATION BY OTHERS. GAS PIPE MINIMUM COVER OF 24".
 - PROPANE TANK PIT PER DETAIL C/SHEET 601.
 - INSTALL 2" ELECTRICAL CONDUIT WITH MULE TAPE, MINIMUM COVER OF 24". CONTRACTOR TO COORDINATE ELECTRICAL INSTALLATION WITH ROCKY MOUNTAIN POWER.
 - INSTALL 2" COMMUNICATIONS CONDUIT WITH MULE TAPE, MINIMUM COVER OF 24". CONTRACTOR TO COORDINATE WITH SUMMIT FOR COMMUNICATIONS SERVICE AND INSTALLATION.
 - SEE MECHANICAL PLANS FOR CONTINUATION OF UTILITY WITHIN BUILDING.
 - CONCRETE RETAINING WALL. SEE ARCHITECTURAL AND STRUCTURAL PLANS.



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No.	Description	Date

NOTES:
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ARCHITECTS' RE: UREMENTS AND APPROVALS
 It is the Builders' responsibility to notify MacKay-Lyons Sweetapple Architects Ltd. and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Architect.

ENGINEER'S RE: UREMENTS AND APPROVALS
 It is the Builders' responsibility to notify MacKay-Lyons Sweetapple Architects Ltd. and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Engineer.

AUTHORITIES' RE: UREMENTS AND APPROVALS
 All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builders' responsibility to gain necessary approval from all relevant Authorities.

DIMENSIONS:
 All dimensions must be verified on site. Do not scale off drawings. Plans take precedence over elevations. In the absence of dimensions, all dimensions are to be taken from the centerline of the building. All minimum dimensions are to comply with the International Building Code, 2009 Edition.

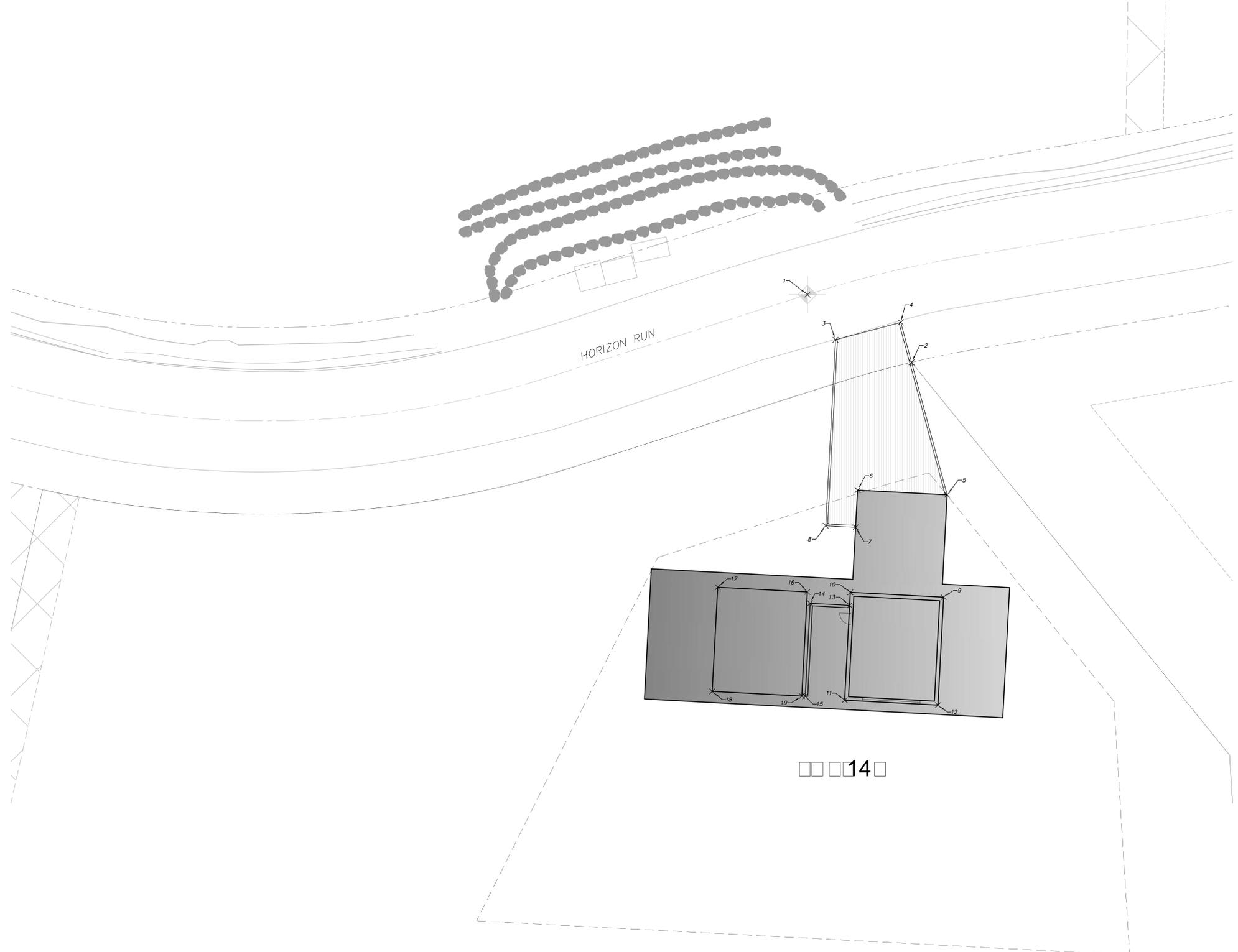
SHOP DRAWINGS:
 See: All shop drawings to the Architect and Engineer for approval prior to installation of any related elements of the building.

Site Utility Plan

Scale: 1" = 10'
 Date: 05.02.2011
 Drawn: JLB
 Check: RWC

C201

Point #	Northing	Easting
1	3657488.79	1568127.71
2	3657470.62	1568135.56
3	3657476.65	1568135.24
4	3657481.33	1568132.89
5	3657435.03	1568165.10
6	3657436.29	1568141.13
7	3657426.30	1568140.61
8	3657426.72	1568132.62
9	3657407.54	1568164.16
10	3657408.85	1568139.19
11	3657379.89	1568137.67
12	3657378.58	1568162.64
13	3657405.36	1568139.01
14	3657405.36	1568128.41
15	3657380.94	1568127.13
16	3657408.95	1568127.68
17	3657410.21	1568103.71
18	3657382.25	1568102.25
19	3657380.99	1568126.21



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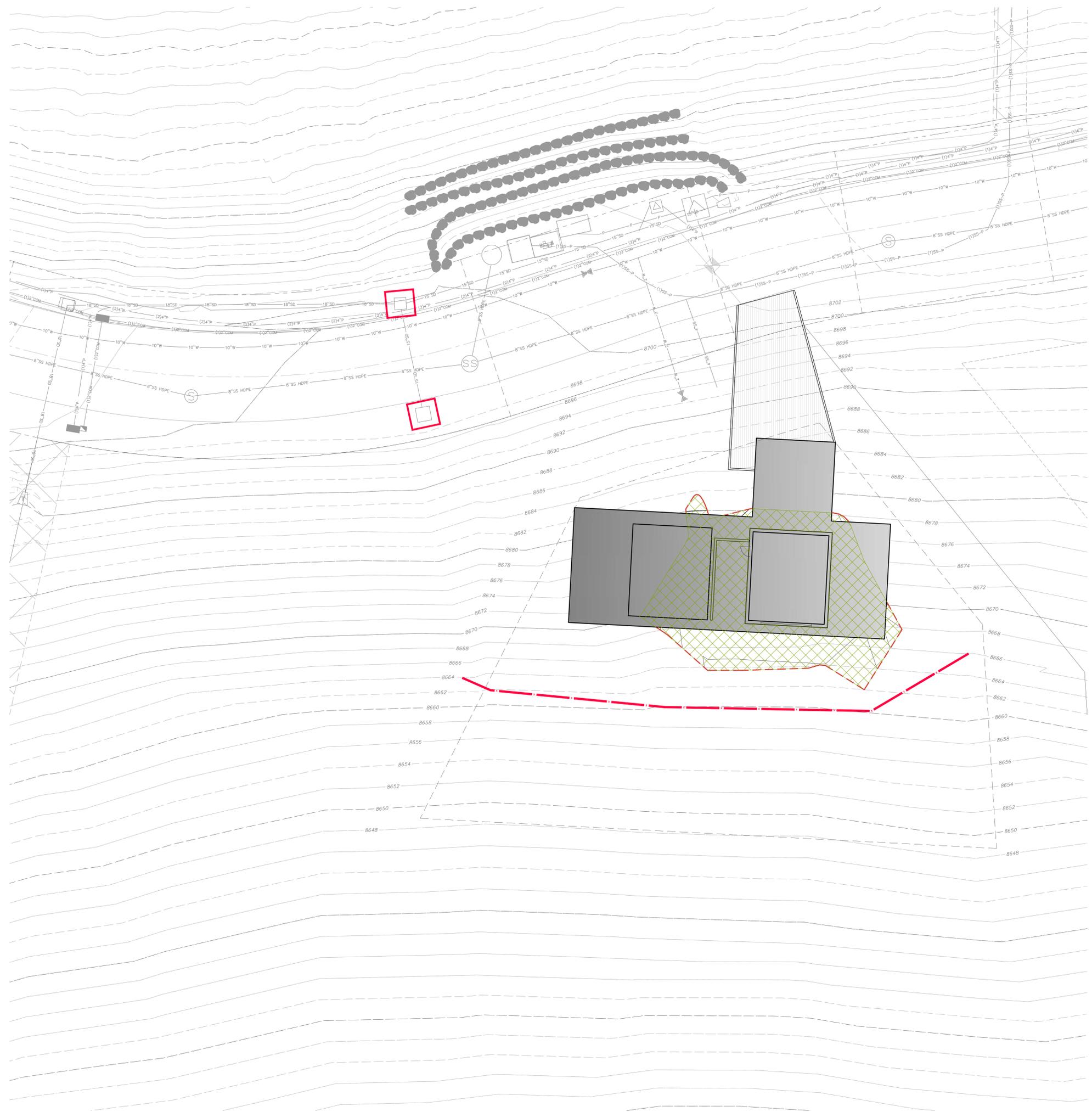


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AUTHORITIES' REQUIREMENTS AND APPROVALS:
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DIMENSIONS:
 All dimensions must be verified on site. Do not scale off drawings. Plans take precedence over elevations. In the absence of dimensions, all dimensions must be verified on site. All dimensions are to comply with the International Building Code, 2009 Edition.
SHOP DRAWINGS:
 Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.



Horizontal Control Plan
 scale: 1" = 10'
 date: 05.02.2011
 drawn: L.B.
 checked: R.W.C.
C202



EROSION CONTROL GENERAL NOTES:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO WEBER COUNTY ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTY. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS.
THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE UTAH DIVISION OF WATER QUALITY.

ALL AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITIES OUTSIDE OF DESIGNATED SITE GRADING SHALL BE RETURNED TO NATURAL GRADE AND SEEDED PER SEEDING INSTRUCTIONS UNDER SCOPE OF WORK.

MAINTENANCE:
ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL VEGETATION IS RE-ESTABLISHED.
THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.
SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPOSED SLOPES:
ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
B) TRACKING STRAW PERPENDICULAR TO SLOPES
C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

-  HATCHING INDICATES AREAS TO RECEIVE 4" TOPSOIL AND TO BE SEEDED FOR NATURAL VEGETATION. AREAS RECEIVING SEEDING FOR NATURAL REVEGETATION ON SLOPES OF 3:1 OR STEEPER MUST BE COVERED WITH AN EROSION CONTROL BLANKET AFTER THE FINAL GRADING AND SEEDING ARE FINISHED. INSTALL NORTH AMERICAN GREEN SC-150 BLANKET OR APPROVED EQUAL. FOLLOW MANUFACTURER'S SPECIFICATIONS.
-  INSTALL INLET PROTECTION IN FORM OF CONCRETE BLOCKS / FILTER CLOTH / GRAVEL OR SILT SACK AT EXISTING AND PROPOSED CATCH BASINS AS SHOWN ON PLAN. SEE EROSION CONTROL DETAILS ON SHEET C701.
-  INSTALL SILT FENCE ALONG DOWN GRADIENT LIMITS OF DISTURBANCE AS SHOWN ON PLAN. SEE EROSION CONTROL DETAILS ON SHEET C701.
-  INSTALL ORANGE SAFETY FENCING AROUND OUTER LIMITS OF PROJECT PRIOR TO GRADING.

SEED MIXTURE FOR REVEGETATION:
40% MOUNTAIN BROOME (BROMUS MARGINATUS)
25% SLENDER WHEATGRASS (ELYMUS TRACHYCAULUS SSP. TRACHYCAULUS)
5% SHEEP FESCUE (FESTUCA OVINA SPP. DURUSCULA)
5% ALPINE BLUEGRASS (POA ALPINA)
25% THICKSPIKE WHEATGRASS (ELYMUS LANCEOLATUS SSP. LANCEOLATUS)

SEEDING RATE IS 40 POUNDS PER ACRE.



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ARCHITECT'S REPRESENTATIONS AND APPROVALS:
I, the undersigned, hereby certify that I am a duly licensed Architect in the State of Utah and I am the author of the design and drawings herein and I am not aware of any fraud or error in the design or drawings.

ENGINEER'S REPRESENTATIONS AND APPROVALS:
I, the undersigned, hereby certify that I am a duly licensed Professional Engineer in the State of Utah and I am the author of the design and drawings herein and I am not aware of any fraud or error in the design or drawings.

AUTHORITY'S REPRESENTATIONS AND APPROVALS:
All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builder's responsibility to obtain necessary approval from all relevant Authorities.

DIMENSIONS:
All dimensions must be verified on site. Do not scale off drawings. Plans take precedence over elevations. In the absence of dimensions, all dimensions shall be taken from the center of the drawing. All minimum dimensions are to comply with the International Building Code, 2009 Edition.

SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of any fabricated elements of the building.

Erosion Control Plan

scale: 1" = 10'
date: 05.03.2011
drawn: JLB
checked: RWC

C601



01000 GENERAL

- CONFORM TO THE REQUIREMENTS OF THE BUILDING CODE OF BC 2016, LATEST EDITION, AND ALL OTHER APPLICABLE LOCAL CODES AND REGULATIONS HAVING JURISDICTION.
- READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH THE SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS.
- BEFORE PROCEEDING WITH WORK, CHECK ALL THE DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND REPORT DISCREPANCIES TO THE CONSULTANT.
- REFER TO THE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LOCATIONS AND DIMENSIONING OF OPENINGS AND SLEEVES NOT SHOWN ON THE STRUCTURAL DRAWINGS. HOWEVER, OBTAIN THE CONSULTANT'S PRIOR APPROVAL FOR INSTALLING OPENINGS, SLEEVES, ETC. WHICH ARE NOT SHOWN ON STRUCTURAL DRAWINGS.
- SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR LOCATIONS OF FITS, BASES, SLUMPS, TRENCHES, DEPRESSIONS, GROOVES, CURBS, CHAMFERS AND SLOPES NOT SHOWN ON STRUCTURAL DRAWINGS.
- HORIZONTAL AND VERTICAL DESIGN LOADS ARE NOTED. THEY SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
- TYPICAL STRUCTURAL DETAILS SHALL GOVERN THE WORK. IF DETAILS DIFFER ON THE DRAWINGS, THE MOST STRINGENT SHALL GOVERN.
- ALL TEMPORARY WORKS INCLUDING SHORING ARE TO BE PROVIDED BY THE CONTRACTOR.

01000 DESIGN NOTES

- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS AND REQUIREMENTS OF THE FOLLOWING CODES:
 - THE BC 2016, AND ALL OTHER APPLICABLE LOCAL CODES AND REGULATIONS HAVING JURISDICTION.
 - AMERICAN SOCIETY OF CIVIL ENGINEERS: ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
 - AMERICAN CONCRETE INSTITUTE (ACI): ACI 318-14 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC): AISC 325 AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL, 14TH EDITION.
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC): AISC 360-16 SPECIFICATIONS FOR STRUCTURAL STEEL STRUCTURES.
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC): AISC 341-16 SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS.
 - AMERICAN WOOD COUNCIL (AWC): NDS-2015 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION COMMENTARY - WITH SUPPLEMENT 2016 EDITION.
 - AMERICAN WOOD COUNCIL (AWC): 2015 NATIONAL DESIGN SPECIFICATIONS FOR WIND AND SEISMIC.
 - FORCES ON STRUCTURAL FRAME.

- DEAD: VARIES REFER TO NOTES UNDER PLANS
- LIVE: VARIES REFER TO NOTES UNDER PLANS
- SNOW: EXPOSURE FACTOR (E) = +1
THERMAL FACTOR (T) = +1
WIND IMPORTANCE FACTOR (I) = +1
ROOF SLOPE FACTOR (S) = +1
GROUND SNOW LOAD (PS) = +27psf
FLAT ROOF SNOW LOAD (PS) = +18psf
SLOPED ROOF SNOW LOAD (PS) = +18psf
- FROST DEPTH: = 40in
- WIND: BASIC WIND SPEED (V) = +115mph
WIND IMPORTANCE FACTOR (I) = +1
EXPOSURE FACTOR: = +C

- SEISMIC ANALYSIS:
 - SEISMIC IMPORTANCE FACTOR (I): = +1
 - RISK CATEGORY: = +II
 - SPECTRAL RESPONSE ACCELERATION (S_a): = +0.83g
 - SPECTRAL RESPONSE ACCELERATION (S_w): = +0.27g
 - SITE CLASSIFICATION: = +C
 - SEISMIC SPECTRAL RESPONSE (SDS): = +0.562g
 - SEISMIC SPECTRAL RESPONSE (SD1): = +0.281g
 - SEISMIC DESIGN CATEGORY: = +D

- LATERAL LOAD RESISTING SYSTEMS
 - LATERAL SYSTEM: STEEL SPECIAL CONCENTRICALLY BRACED FRAMES
 - RESPONSE MOD. COEFFICIENT (R): 6
 - OVERSTRENGTH FACTOR (O): 2
 - DEFLECTION MODIFICATION FACTOR (C_d): 5
 - LATERAL SYSTEM: STEEL ORDINARY CONCENTRICALLY BRACED FRAMES
 - RESPONSE MOD. COEFFICIENT (R): 3.5
 - OVERSTRENGTH FACTOR (O): 2
 - DEFLECTION MODIFICATION FACTOR (C_d): 3.5
 - LATERAL SYSTEM: ORDINARY CONCRETE SHEAR WALLS
 - RESPONSE MOD. COEFFICIENT (R): 4
 - OVERSTRENGTH FACTOR (O): 4
 - DEFLECTION MODIFICATION FACTOR (C_d): 4
- SEISMIC ANALYSIS PROCEDURE:
 - ANALYSIS SOFTWARE: EQUIVALENT LATERAL FORCE (RSA/FLOOR3D)

- LATERAL LOAD ON FOUNDATIONS
 - A GEOTECHNICAL REPORT "GEOTECHNICAL AND GEOLOGIC HAZARD INVESTIGATION: LOT 148 OF SUBMIT EDDN PHASE 1A POWDER MOUNTAIN RESORT WEBER COUNTY, UTAH PROJECT" NUMBER 2020-001, DATED MARCH 8TH, 2017 HAS BEEN PREPARED BY G&S INC. THE CONTRACTOR IS TO READ THE REPORT AND BE FAMILIAR WITH ITS CONTENTS.
 - FOUNDATION WALLS ARE DESIGNED ASSUMING THERE IS FREE DRAINAGE BACKFILL OR THAT OTHER PROVISIONS HAVE BEEN MADE, SUCH THAT THE WALLS ARE NOT SUBJECT TO HYDROSTATIC PRESSURE.

02000 CONCRETE

- NOMINAL MAXIMUM SIZE OF AGGREGATE SHALL BE 3/4". USE SMALLER AGGREGATES AS APPROPRIATE IN AREAS OF CONGESTED REINFORCING STEEL OR TO IMPROVE WORKABILITY. MODIFY MIX DESIGN TO SUIT.

CATEGORY	DESCRIPTION	EXPOSURE PER AREA 1	CONCRETE STRENGTH	MAX W/C RATIO	AIR CONTENT	SCOPE
CM1	FOUNDATION MIX	3500			5-8%	FOOTING AND CAPS
CM2	SLAB ON GRADE MIX	3000				SLABS ON GRADE
CM3	SLAB AND BEAM MIX	4500				FRAMED SLABS AND BEAMS
CM4	COLUMN AND WALL MIX	4500				CONC. COLUMNS AND WALLS NOT EXPOSED TO FREEZE THAW OR DE-ICING CHEMICALS
CM5	TOPPING MIX	3000				TOPPING ON CONCRETE
CM6	COMPOSITE DECK MIX	3000				SLABS ON METAL DECKS
CM7	PARKING SLAB AND BEAM MIX	C-1 ²	5000	0.40	5-8%	FOUNDATION WALLS ADJACENT TO PAVING FRAMED SLABS AND BEAMS EXPOSED TO DE-ICING CHEMICALS
CM8	PAVING MIX	C-2	4700	0.45	5-8%	EXTERIOR PAVING AND SIDEWALKS
CM9	PARKING MIX	C-4	3500	0.55	4-7%	SLAB ON GRADE IN PARKING GARAGE EXPOSED TO DE-ICING CHEMICALS BUT NOT TO FREEZE THAW
CM10	INTENTIONALLY LEFT BLANK					
CM11	EXTERIOR WALL MIX	F-2	3500	0.55	4-7%	FOUNDATION WALLS AND OTHER WALLS EXPOSED TO FREEZE THAW BUT NOT EXPOSED TO DE-ICING CHEMICALS

- WHERE AGGREGATES SMALLER THAN 14 mm ARE USED, INCREASE AIR CONTENT BY 1%.
- REINFORCED CONCRETE EXPOSED TO DE-ICING CHEMICALS TO HAVE DCl CORROSION INHIBITOR @ 111cc/m. DOSAGE OR APPROVED EQUIVALENT.

- REINFORCEMENT:
 - CONFORM TO THE REQUIREMENTS OF ASTM A615 AND ASTM A706 IF WELDABLE REINFORCEMENT IS USED.
 - REINFORCING BARS: MINIMUM ASTM A615 GRADE 60 AND WELDED WIRE FABRIC SHALL BE MINIMUM ASTM A185. SUPPLY IN FLAT SHEETS.
 - SLAB ON GRADE:
 - PLACE SLABS ON GRADE ON MATERIAL, CAPABLE OF 05 SUSTAINING 500psf WITHOUT SETTLEMENT RELATIVE TO BUILDING FOOTINGS.
 - BEFORE PLACING SLAB, PLACE MINIMUM 4" OF 3/4" MAXIMUM SIZE CLEAR CRUSHED STONE OVER THE SUB GRADE, THOROUGHLY ROLL AND CONSOLIDATE TO THE LINES AND LEVELS REQUIRED.
 - CONCRETE AND REINFORCEMENT:
 - PROVIDE DOWELS TO WALLS AND COLUMNS SIMILAR IN NUMBER, SIZE, AND SPACING TO VERTICAL STEEL IN THE WALL OR COLUMN EXCEPT WHEN NOTED OTHERWISE.
 - PROVIDE 1/2" x 2" CHAIRS AT ALL CONSTRUCTION JOINTS UNLESS NOTED OTHERWISE.
 - CONCRETE COVER TO REINFORCEMENT TO CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AND ACI 318 AND THE FOLLOWING COVER REQUIREMENTS:

REINFORCING TYPE:	
SLABS NOT EXPOSED TO WEATHER AND INTERIOR WALL SURFACES:	3/4in
EXTERIOR WALL SURFACES, SLABS EXPOSED TO WEATHER #5 AND SMALLER:	1 1/2in
EXTERIOR WALL SURFACES, SLABS EXPOSED TO WEATHER LARGER THAN #5:	2in
COLUMN AND BEAMS TIES:	1 1/2in
CLEAR DISTANCE BETWEEN BARS FORMED DIRECTLY AGAINST EARTH:	3in

- SECURELY TIE IN PLACE AND ADEQUATELY SUPPORT ALL REINFORCEMENT. LAP ALL BARS MARKED "CONTINUOUS JOINTS" (CONT.) MINIMUM 40B.
- WHERE CHEMICAL ANCHORS ARE REQUIRED, USE MIL HT11 HY 200 EPOXY OR APPROVED EQUAL.

03000 STRUCTURAL STEEL

- ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL SHALL BE DETAILED, FABRICATED AND ERRECTED IN CONFORMANCE WITH AISC 325.
- ALL STRUCTURAL STEEL SHALL CONFORM TO THE NOTED ASTM STANDARDS UNO.
 - W-SHAPES: A992
 - HSS (RECTANGULAR AND SQUARE): A500 (Fy = 45ksi)
 - HSS (CIRCULAR): A500 (Fy = 45ksi)
 - ANGLE/SC-CHANNEL/SMC-CHANNELS: A36
 - ALL OTHER STEEL PLATES: A36
- WHERE SPECIFIED, GALVANIZED STEEL IS TO BE COMPLETED IN ACCORDANCE WITH ASTM A123 HD DP PROCESS.
- ALL TEMPORARY BRACES, SHORING, AND ERECTION CHAIRS REQUIRED BY THE CONTRACTOR ARE NOT SHOWN. WORK IS TO CONFORM TO OSHA REQUIREMENTS.
- SHOP DRAWINGS ARE TO BE SUBMITTED TO CONSULTANTS FOR REVIEW PRIOR TO FABRICATION.
- TESTING AND INSPECTION AGENCIES SHALL SEND STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE CONSULTANT.
- CONNECTIONS
 - ALL STEEL-TO-STEEL BOLTED CONNECTIONS TO BE MADE WITH HIGH STRENGTH BOLTS AS PER SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.
 - UNLESS NOTED BOLTS IN CONNECTIONS SHALL BE BEARING TYPE WITH THREADS EXCLUDED FROM THE SHEAR PLANE. USE ASTM A325 BOLTS UNLESS NOTED.
 - STEEL WELDERS CONFORM TO ASME, NITS TO CONFORM TO A853.
 - ANCHOR BOLTS AND ANCHOR RODS TO CONFORM TO ASTM F1554 GRADE 36.
 - ALL WELDED CONNECTIONS TO BE COMPLETED IN ACCORDANCE WITH THE "STRUCTURAL WELDING CODE - STEEL" (AWS D1.1) AND HAVE A MINIMUM TENSILE STRENGTH OF 70KA FOR ALL ELECTRODES.
 - ALL WELDERS ARE TO BE QUALIFIED IN ACCORDANCE WITH AWS D1.1 FOR ALL WELDS THEY WILL BE COMPLETING.
 - WELD LENGTHS CALLED FOR ON STRUCTURAL DRAWINGS ARE NET EFFECTIVE LENGTH. IF NO LENGTH IS SPECIFIED USE THE MINIMUM SIZE AS SPECIFIED IN AISC 360 SECTION 2.2B.
 - ALL WELDING TO BE PERFORMED IN ACCORDANCE WITH A WRITTEN WELDING PROCEDURE SPECIFICATION (WPS). SUBMIT ALL WPS TO CONSULTANT WHICH OUTLINES ALL PROCEDURES, ELECTRODE SPECIFICATIONS, DATA SHEETS AND LIMITATIONS.
 - RUN-OFF TABS PER AWS D1.1 ARE REQUIRED FOR ALL COMPLETE JOINT PENETRATION WELDS. START AND COMPLETE ALL WELDS ON RUN-OFF TABS. WELDS ARE NOT TO BE COMPLETED AT CORNER HOLE LOCATIONS.
 - INSPECTED AND EXAMINED BY ULTRASONIC TESTING. ALL TESTING AND INSPECTION SHALL CONFORM TO BC REQUIREMENTS.
 - ALL HEADS STUDS WELD TO BEAMS OR CONCRETE CONNECTIONS SHALL BE NELSON STUDS OR APPROVED EQUAL.
 - HEADED STUDS SHALL BE AUTOMATICALLY WELDED IN SHOP OR FIELD WELDED WITH EQUIPMENT APPROVED BY THE MANUFACTURER OF THE STUDS.

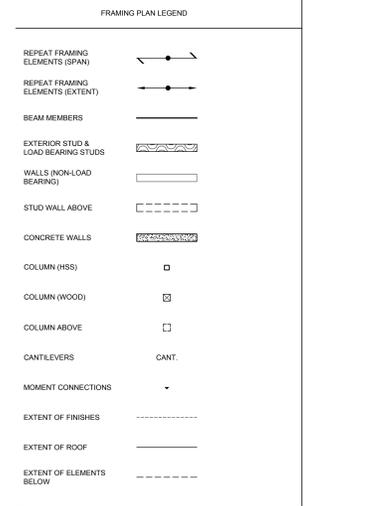
- GENERAL REVIEW BY COMPONENT ENGINEERS
 - COMPONENT ENGINEER RESPONSIBLE FOR GENERAL REVIEW OF THE CONSTRUCTION FOR THE PORTION OF THE WORK PREPARED UNDER THEIR PROFESSIONAL SEAL. THIS SHALL PROVIDE:
 - REPORTS FOR EACH SITE VISIT
 - A PROJECT COMPLETE NOTICE
 - ENGINEER COMPONENTS INCLUDE: PRECAST CONCRETE, OPEN WEB STEEL JOISTS, METAL DECK, PRE-ENGINEERED WOOD TRUSSES, DEEP FOUNDATIONS, MISCELLANEOUS METALS, STRUCTURAL GLASS, GLASS CONNECTIONS, CURTAINWALL, HELICAL PERS, GEOPERS, MICROPILES.

03000 FOUNDATIONS

- A GEOTECHNICAL REPORT "GEOTECHNICAL AND GEOLOGIC HAZARD INVESTIGATION: LOT 148 OF SUBMIT EDDN PHASE 1A POWDER MOUNTAIN RESORT WEBER COUNTY, UTAH PROJECT" NUMBER 2020-001, DATED MARCH 8TH, 2017 HAS BEEN PREPARED BY G&S INC. READ THIS REPORT, AND BE THOROUGHLY FAMILIARIZED WITH THEIR FINDINGS.
- FOUND FOOTINGS ON NATURALLY CONSOLIDATED UNDISTURBED SOIL CAPABLE OF SAFELY SUSTAINING AN ALLOWABLE BEARING VALUE OF 2000 PSF.
- FOUND FOOTINGS EXPOSED TO FREEZING BELOW THE LEVEL AT WHICH POTENTIAL DAMAGE RESULTING FROM FROST ACTION CAN OCCUR, BUT A MINIMUM OF 40in BELOW FINISHED GRADE IF NOT NOTED OTHERWISE.
- THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 1 IN A RUN OF 10.
- DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (OTHER THAN CANTILEVER WALLS) UNTIL THE FLOOR CONSTRUCTION AT TOP AND BOTTOM OF THE WALLS IS POURED AND HAS ATTAINED 70% OF ITS SPECIFIED STRENGTH.
- CARRY OUT BACKFILLING AGAINST FOUNDATION WALLS WHERE THERE IS GRADE ON BOTH SIDES IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 1'-8" DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL.

SCHEDULE OF SPECIAL INSPECTIONS

VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	DETAILED INSTRUCTIONS AND FREQUENCIES
REINFORCED CONCRETE (BC 1705.3 & 1705.12.1)			
REINFORCING STEEL		X	VERIFY PRIOR TO PLACING CONCRETE THAT REINFORCING IS OF SPECIFIED TYPE, GRADE AND SIZE, THAT IT IS LOCATED AND SPACED PROPERLY, THAT HOOKS, BENDS, TIES, STRUTTERS, AND SUPPLEMENTAL REINFORCEMENT ARE PLACED CORRECTLY, THAT TAP LENGTHS, STAGGER AND OFFSETS ARE PROVIDED, AND THAT ALL MECHANICAL CONNECTIONS ARE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND/OR EVALUATION REPORT.
ANCHORAGE		X	INSPECTION OF ANCHORS CAST IN CONCRETE.
USE OF REQUIRED MIX DESIGN		X	VERIFY THAT ALL MIXTURES USED COMPLY WITH THE APPROVED CONSTRUCTION DOCUMENTS, ACI 318, CH. 4, 5.2-5.4, AND IBC 1904.3, 1913.2, 1913.3.
CONCRETE SAMPLING FOR STRENGTH TESTS, SLUMP, AIR CONTENT, AND TEMPERATURE	X		
CONCRETE PLACEMENT	X		
CURING TEMPERATURE AND TECHNIQUES		X	VERIFY THAT AMBIENT TEMPERATURE FOR CONCRETE IS KEPT + 50°F FOR AT LEAST 7 DAYS AFTER PLACEMENT. HIGH-EARLY-STRENGTH CONCRETE SHALL BE KEPT + 50°F FOR AT LEAST 3 DAYS. ACCELERATED CURING METHODS MAY BE USED (SEE ACI 318.11.3). ALL CONCRETE MATERIALS, REINFORCEMENT, FORMS, FILLERS, AND GROUND SHALL BE FREE FROM FROST IN HOT WEATHER CONDITIONS. ENSURE THAT APPROPRIATE MEASURES ARE TAKEN TO AVOID PLASTIC SHRINKAGE CRACKING AND THAT THE SPECIFIED WATER/CEMENT RATIO IS NOT EXCEEDED.
STRENGTH VERIFICATION		X	VERIFY THAT ADEQUATE STRENGTH HAS BEEN ACHIEVED PRIOR TO THE REMOVAL OF FORMS.
FORMWORK		X	VERIFY THAT FORMS ARE PLACED PLUMB AND CONFORM TO THE SHAPES, LINES, AND DIMENSIONS OF THE MEMBERS AS REQUIRED BY THE APPROVED CONSTRUCTION DOCUMENTS.
STRUCTURAL STEEL - PRIOR TO WELDING (TABLE NS 4-1, AISC 360-10)		X	VERIFY WELDING PROCEDURES (WPS) AND CONSUMABLE CERTIFICATES.
MATERIAL IDENTIFICATION		X	VERIFY TYPE AND GRADE OF MATERIAL.
WELDER IDENTIFICATION		X	A SYSTEM SHALL BE MAINTAINED BY WHICH A WELDER WHO HAS WELDED A JOINT OR MEMBER CAN BE IDENTIFIED.
FIT-UP GROOVE WELDS		X	VERIFY JOINT PENETRATION, DIMENSIONS, CLEANLINESS, TACKING, AND BACKING.
ACCESS HOLES		X	VERIFY CONFIGURATION AND FINISH.
FIT-UP FILLET WELDS		X	VERIFY ALIGNMENT, GAPS AT JOINT, CLEANLINESS OF STEEL SURFACES, AND TACK WELD QUALITY AND LOCATION.
STRUCTURAL STEEL - DURING WELDING (TABLE NS 4-2, AISC 360-10)		X	VERIFY THAT WELDERS ARE APPROPRIATELY QUALIFIED.
CONTROL AND HANDLING OF WELDING CONSUMABLES		X	VERIFY PACKAGING AND EXPOSURE CONTROL.
CRACKED TACK WELDS		X	VERIFY THAT WELDING DOES NOT OCCUR OVER CRACKED TACK WELDING.
ENVIRONMENTAL CONDITIONS		X	VERIFY THAT WIND SPEED, PRECIPITATION, AND TEMPERATURE ARE WITHIN LIMITS.
WPS FOLLOWED		X	VERIFY ITEMS SUCH AS SETTINGS ON WELDING EQUIPMENT, TRAVEL SPEED, WELDING MATERIALS, SHIELDING GAS TYPE/FLOW RATE, PREHEAT APPLIED, INTERPASS TEMPERATURE MAINTAINED, AND PROPER POSITION.
WPS FOLLOWED		X	VERIFY ITEMS SUCH AS SETTINGS ON WELDING EQUIPMENT, TRAVEL SPEED, WELDING MATERIALS, SHIELDING GAS TYPE/FLOW RATE, PREHEAT APPLIED, INTERPASS TEMPERATURE MAINTAINED, AND PROPER POSITION.
WELDING TECHNIQUES		X	VERIFY INTERPASS AND FINAL CLEANING. EACH PASS IS WITHIN PROPER LIMITATIONS, AND QUALITY OF EACH PASS.
STRUCTURAL STEEL - AFTER WELDING (TABLE NS 4-3, AISC 360-10)		X	VERIFY THAT WELDS HAVE BEEN PROPERLY CLEANED.
WELDS CLEANED		X	VERIFY THAT WELDS HAVE BEEN PROPERLY CLEANED.
SIZE, LENGTH, AND LOCATION OF WELDS		X	
WELDS MEET VISUAL ACCEPTANCE CRITERIA		X	
ARC STRIKES		X	
KAREA		X	
BACKING AND WELD TABS REMOVED		X	
REPAIR ACTIVITIES		X	
DOCUMENT ACCEPTANCE OR REJECTION OF WELDED JOINT/MEMBER		X	



VERIFICATION AND INSPECTION

VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	DETAILED INSTRUCTIONS AND FREQUENCIES
NON-DSTRUCTIVE TESTING (SECTION NS.4, AISC 360-10)			
CJP WELDS		X	ULTRASONIC TESTING SHALL BE PERFORMED ON 10% OF CJP GROOVE WELDS IN BUTT, T- AND CORNER JOINTS SUBJECTED TO TRANSVERSELY APPLIED TENSION/LOADING IN MATERIALS 5/16" THICK OR GREATER. TESTING RATE MUST BE INCREASED IF > 5% OF WELDS TESTED HAVE UNACCEPTABLE DEFECTS.
ACCESS HOLES (FLANGE > 2")	X		
WELD JOINTS SUBJECT TO FATIGUE	X		
OTHER STEEL INSPECTIONS (SECTION NS.7, AISC 360-10, TABLES J6-1 & J10-1, AISC 341-10)			
STRUCTURAL STEEL DETAILS		X	ALL FABRICATED STEEL OR STEEL FRAMES SHALL BE INSPECTED TO VERIFY COMPLIANCE WITH THE DETAILS SHOWN IN THE CONSTRUCTION DOCUMENTS, SUCH AS BRACES, STIFFENERS, MEMBER LOCATIONS, AND PROPER APPLICATION OF JOINT DETAILS AT EACH CONNECTION.
ANCHOR RODS AND OTHER EMBEDMENTS SUPPORTING STRUCTURAL STEEL		X	SHALL BE ON THE PREMISES DURING THE PLACEMENT OF ANCHOR RODS AND OTHER EMBEDMENTS SUPPORTING STRUCTURAL STEEL FOR COMPLIANCE WITH CONSTRUCTION DOCUMENTS. VERIFY THE DIAMETER, GRADE, TYPE, AND LENGTH OF THE ANCHOR ROD OR EMBEDMENT ITEM, AND THE EXTENT OR DEPTH OF EMBEDMENT PRIOR TO PLACEMENT OF CONCRETE.
WOOD CONSTRUCTION (IBC 1705.10.1 & 1705.11.2)			
HIGH-LOAD DIAPHRAGMS		X	VERIFY THICKNESS AND GRADE OF SHEATHING, SIZE OF FRAMING MEMBERS AT PANEL EDGES, WALL STAKE DIAMETERS AND LENGTH, AND THE NUMBER OF FASTENER LINES AND FASTENER SPACING PER APPROVED PLANS. PERFORMED BY CODE INSPECTION FIRM.
STRUCTURAL WOOD		X	WHERE FASTENER SPACING IS < 4" o.c., VERIFY PROPER NAILING, BOLTING, ANCHORING, AND OTHER FASTENING OF SHEAR WALLS, DIAPHRAGMS, BRACES, AND HOLD-DOWNS PERFORMED BY CODE INSPECTION FIRM.
SOILS (IBC 1705.6)		X	PRIOR TO PLACEMENT OF CONCRETE.
VERIFY SUBGRADE IS ADEQUATE TO ACHIEVE DESIGN BEARING CAPACITY		X	PRIOR TO PLACEMENT OF COMPACTED FILL OR CONCRETE.
VERIFY EXCAVATIONS EXTEND TO PROPER DEPTH AND MATERIAL		X	PRIOR TO PLACEMENT OF COMPACTED FILL.
VERIFY SUBGRADE HAS BEEN APPROPRIATELY PREPARED PRIOR TO PLACING COMPACTED FILL		X	PRIOR TO PLACEMENT OF COMPACTED FILL.
PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS		X	ALL MATERIALS SHALL BE CHECKED AT EACH LIFT FOR PROPER CLASSIFICATIONS AND GRADATIONS NOT LESS THAN ONCE FOR EACH 10,000 SQ. FT. OF SURFACE AREA.
VERIFY PROPER MATERIALS, DENSITIES, AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION		X	ALL MATERIALS SHALL BE CHECKED AT EACH LIFT FOR PROPER CLASSIFICATIONS AND GRADATIONS NOT LESS THAN ONCE FOR EACH 10,000 SQ. FT. OF SURFACE AREA.

- SPECIAL INSPECTORS SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO PERFORMING ANY DUTIES.
- SPECIAL INSPECTORS SHALL PROVIDE PROOF OF LICENSE BY THE STATE OF UTAH FOR EACH TYPE OF INSPECTION.
- SPECIAL INSPECTIONS AND TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THIS STATEMENT, AND THE BC SECTIONS 1704 AND 1705.
- INSPECTION REPORTS WILL BE SUBMITTED TO THE CODE CONSULTANT, THE ARCHITECT, AND THE STATE OF UTAH BUILDING OFFICIAL WITHIN 48 HOURS OF PERFORMING INSPECTIONS.
- A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS, TESTING AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS AND A STATEMENT INDICATING THAT THE STRUCTURE IS IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS AND APPLICABLE CODES SHALL BE SUBMITTED.

Lot 14 Mountain House

Summit Project Services
1998-1999

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SHALL BE ON THE PREMISES DURING THE PLACEMENT OF ANCHOR RODS AND OTHER EMBEDMENTS SUPPORTING STRUCTURAL STEEL FOR COMPLIANCE WITH CONSTRUCTION DOCUMENTS. VERIFY THE DIAMETER, GRADE, TYPE, AND LENGTH OF THE ANCHOR ROD OR EMBEDMENT ITEM, AND THE EXTENT OR DEPTH OF EMBEDMENT PRIOR TO PLACEMENT OF CONCRETE.

VERIFY THICKNESS AND GRADE OF SHEATHING, SIZE OF FRAMING MEMBERS AT PANEL EDGES, WALL STAKE DIAMETERS AND LENGTH, AND THE NUMBER OF FASTENER LINES AND FASTENER SPACING PER APPROVED PLANS. PERFORMED BY CODE INSPECTION FIRM.

WHERE FASTENER SPACING IS < 4" o.c., VERIFY PROPER NAILING, BOLTING, ANCHORING, AND OTHER FASTENING OF SHEAR WALLS, DIAPHRAGMS, BRACES, AND HOLD-DOWNS PERFORMED BY CODE INSPECTION FIRM.

PRIOR TO PLACEMENT OF CONCRETE.

PRIOR TO PLACEMENT OF COMPACTED FILL OR CONCRETE.

PRIOR TO PLACEMENT OF COMPACTED FILL.

ALL MATERIALS SHALL BE CHECKED AT EACH LIFT FOR PROPER CLASSIFICATIONS AND GRADATIONS NOT LESS THAN ONCE FOR EACH 10,000 SQ. FT. OF SURFACE AREA.

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21	Issued for Coeding	2018.05.30
No.	Description	Date
Revision:		

NOTES:

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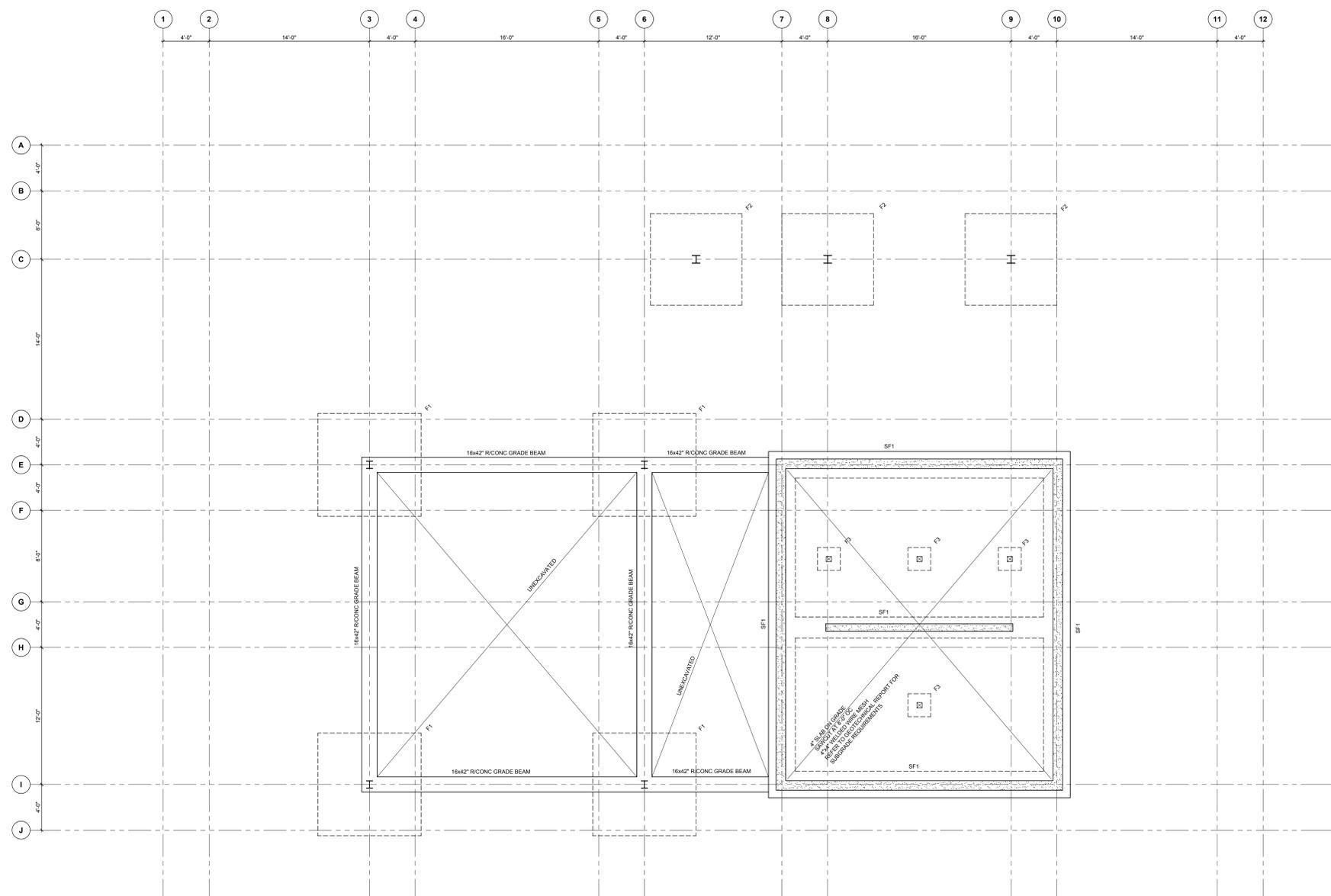
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SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of pre-fabricated elements of the building.

name:	NOT TO SCALE
date:	2018-05-30
drawn:	DP
checked:	TJ

General Notes

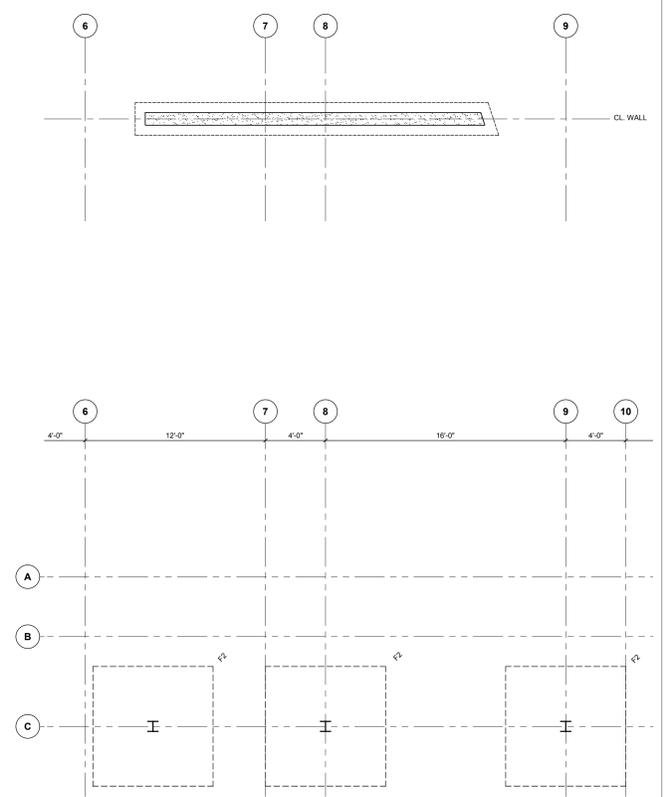
S001



1
S100
FOUNDATION PLAN
 1/4" = 1'-0"

- FOUNDATION PLAN NOTES**
1. BASEMENT FLOOR DATUM ELEVATION, 20'-0" BELOW MAIN FLOOR DATUM.
 2. WHERE CROSSED AND NOTED THE LOCAL DATUM FOR RAISED OR LOWERED AREAS ARE GIVEN RELATIVE TO THE LOWER FLOOR DATUM.
 3. EXCEPT AS CROSSED AND NOTED TOP OF FINISHED FLOOR IS 0" BELOW THE LOWER FLOOR DATUM.
 4. WHERE CROSSED AND NOTED, SLAB DEPRESSIONS OR LOCALLY RAISED AREAS ARE GIVEN RELATIVE TO THE BASEMENT FLOOR DATUM.
 5. FOUND FOOTINGS AT THE ELEVATIONS RELATIVE TO THE GROUND FLOOR DATUM SHOWN IN PLAN.
 6. REFER TO THE ARCHITECTURAL DRAWINGS FOR THE GEODEIC ELEVATION OF THE GROUND FLOOR DATUM.

- FOOTING SCHEDULE**
- F1: 9'-0"x8'-0"x1'-6" PAD FOOTING
 12-20M BARS BOTTOM EACH WAY
- F2: 8'-0"x8'-0"x1'-2" PAD FOOTING
 10-20M BARS BOTTOM EACH WAY
- F3: 2'-0"x2'-0"x1'-0" PAD FOOTING
 PLAIN
- SF1: 2'-0"x1'-0" STRIP FOOTING
 4-20M CONTINUOUS LONG DIRECTION



2
S103
PART PLAN - BRIDGE FOUNDATIONS
 1/4" = 1'-0"

No.	Description	Date
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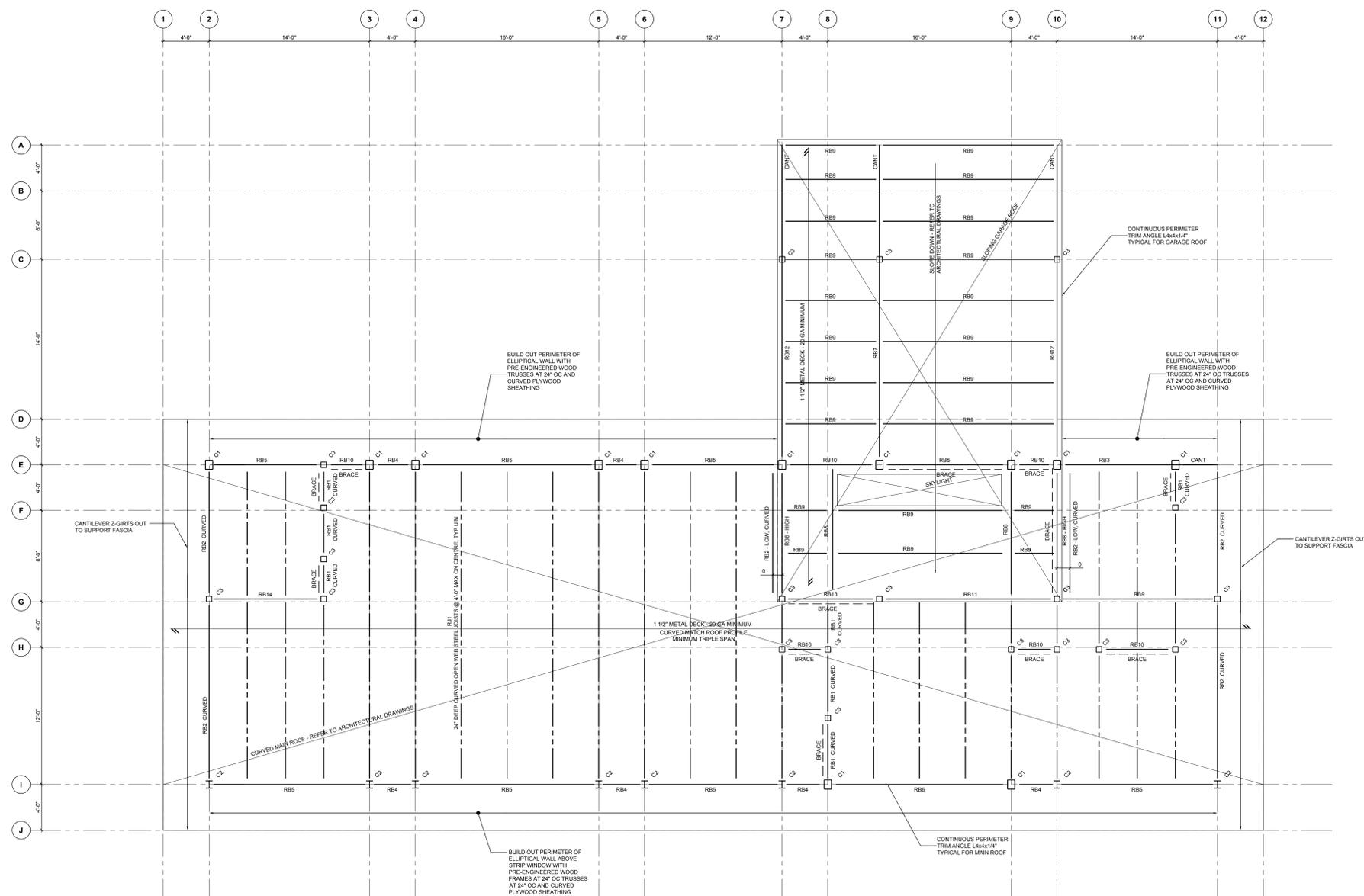
ARCHITECT'S REQUIREMENTS AND APPROVALS:
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- 1**
S104
ROOF FRAMING PLAN
 1/4" = 1'-0"
- ROOF FRAMING NOTES**
- ROOF IS CURVED - REFER TO ARCHITECTURAL DRAWINGS FOR UNDERSIDE OF DECK ELEVATIONS
 - TOP OF STEEL BEAMS ARE 4" BELOW THE UNDERSIDE OF THE METAL DECK UNLESS NOTED OTHERWISE IN PLAN.
 - SUPERIMPOSED LOADS USED IN THE DESIGN:
 SNOW + RAIN - 192psf PLUS SNOW ACCUMULATION SHOWN ON PLAN
 DEAD:
 ROOFING AND INSULATION 10psf
 SUSPENDED MECHANICAL EQUIPMENT 50psf
 SELF WEIGHT OF STRUCTURE USED IN THE DESIGN:
 METAL DECK 20psf
 STRUCTURAL STEEL 8psf (INCLUDES OPEN WEB STEEL JOISTS)

BEAM MARK	BEAM SECTION	REACTIONS (kips)				CAMBER	REMARKS
		LEFT END		RIGHT END			
		SNOW	DEAD	SNOW	DEAD		
RB-1	W16x22	2.4	0.5	2.4	0.5		AXIAL FORCE P _{req} = 200kips CURVE TO MATCH ROOF CURVE TO MATCH ROOF
RB-2	W16x26	10.0	1.5	10.0	1.5		
RB-3	W16x26	4.2	0.5	19.8	3.7		
RB-4	W16x26	0.5	0.5	0.5	0.5		
RB-5	W16x26	19.6	2.8	19.6	2.8		
RB-6	W16x22	12.6	1.9	12.6	1.9		
RB-7	W16x50	14.6	2.3	50.2	7.8		CAMBER FOR DEAD LOAD
RB-8	W16x22	11.9	1.7	11.9	1.7		
RB-9	C10x15.3	6.1	1.0	6.1	1.0		
RB-10	W16x26	5.3	0.8	5.3	0.8		AXIAL FORCE P _{req} = 200kips
RB-11	W16x26	19.1	2.7	23.8	3.4		
RB-12	W16x26	8.8	1.4	30.3	4.8		CAMBER FOR DEAD LOAD
RB-13	W16x26	15.2	2.2	15.2	2.2		AXIAL FORCE P _{req} = 200kips
RB-14	W16x26	14.0	2.0	14.0	2.0		
RB-15	W16x26	11.0	1.7	11.0	1.7		
BRACE	HSS 152x152x6.4						

- STEEL BEAM SCHEDULE NOTES**
- LEFT AND RIGHT ENDS OF BEAMS ARE DEFINED BY THE ORIENTATION OF THE BEAM MARK ON PLAN.
 - WHERE A BEAM MARK IS INDICATED WITH THE SUFFIX "R" ON PLAN THE REACTIONS ARE TO APPLY AT THE OPPOSITE ENDS.
 - REACTIONS GIVEN ARE SERVICE LOADS IN kips.
 - BEARING PLATE DIMENSION GIVEN FIRST IS PARALLEL TO THE BEAM WEB.
 - CENTRE BEARING PLATES UNDER BEAMS UNLESS NOTED OTHERWISE. PROVIDE 2 - 3/4" DIA. ANCHOR BOLTS, 3/4" LG. WITH 2" HOOK AND 4" THICKNESS, FOR BEARING PLATES BEARING ON CONCRETE OR MASONRY. UNLESS NOTED OTHERWISE. ALTERNATIVELY ANCHOR RODS MAY BE WELDED TO UNDERSIDE OF BEARING PLATE. GROUT MASONRY AS INDICATED IN THE GENERAL NOTES, UNLESS NOTED.
 - DESIGN CONNECTIONS FOR AXIAL FORCE (P), END MOMENT (M), TORSION (T) OR OUT OF PLANE HORIZONTAL FORCE (H) SHOWN IN THE REMARKS COLUMN, IN ADDITION TO THE VERTICAL SHEAR PROVIDED IN THE REACTION COLUMN.
 - CAMBERS ARE IN INCHES.

COLUMN SCHEDULE		
MEMBER MARK	MEMBER DESCRIPTION	REMARKS
C1	HSS10x8x3/8	MAX. LOAD, P _t = 1305 kN
C2	W8x26	MAX. LOAD, P _t = 1340 kN
C3	HSS6x4x1/4	MAX. LOAD, P _t = 320kN

- STEEL COLUMN SCHEDULE NOTES**
- CENTRE COLUMNS, CAPS AND FOOTINGS ON GRIDS UNLESS NOTED OTHERWISE.
 - COLUMN LOADS INDICATED ARE FACTORED COMPRESSION.
 - REFER TO STANDARD DETAIL 0303 TYPICAL FOOTING AND COLUMN BASE DETAILS UNLESS NOTED OTHERWISE.
 - PROVIDE 4-3/4" DIA. ANCHOR BOLTS AS PER STANDARD DETAIL 0303 UNLESS NOTED OTHERWISE.

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GENERAL NOTES

- CONSULT ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL LIGHTING FIXTURES.
- VERIFY ALL EQUIPMENT DIMENSIONS AND LOCATIONS BEFORE BEGINNING ROUGH IN. CONSULT ALL APPLICABLE CONTRACT DRAWINGS AND SHOP DRAWINGS TO INSURE NEC CODE CLEARANCES REQUIRED AROUND ALL ELECTRICAL EQUIPMENT.
- CONTRACTOR SHALL VERIFY ALL ELECTRICAL LOADS, VOLTAGE, PHASE, CONNECTION REQUIREMENTS, ETC.) OF EQUIPMENT FURNISHED UNDER DIVISION 23 (15) WITH APPROVED MECHANICAL SHOP DRAWINGS BEFORE BEGINNING ROUGH IN.
- SEE SECTION 262100 (165110) OF THE SPECIFICATION REQUIRED COORDINATION MEETINGS WITH MECHANICAL AND CEILING CONTRACTORS.
- SEE APPLICABLE SHOP DRAWINGS FOR ROUGH IN LOCATION OF ALL EQUIPMENT, WIRING DEVICES, ETC. WHERE APPLICABLE MOUNT ALL WIRING DEVICES ABOVE BACK SPLASH EXCEPT THOSE SERVING UNDER COUNTER EQUIPMENT.
- FINISHES OF ALL LIGHT FIXTURES SHALL BE AS SELECTED BY ARCHITECT.
- THE ELECTRICAL CONTRACTOR SHALL NOTIFY AND COOPERATE WITH THE MECHANICAL CONTRACTOR SUCH THAT NO PIPING, DUCTS, OR EQUIPMENT FOREGO TO THE OPERATION OF THE ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE INSTALLED IN, ENTER OR PASS THRU ELECTRICAL ROOMS OR SPACES, OR ABOVE OR BELOW ELECTRICAL EQUIPMENT IN OTHER AREAS.
- ELECTRICAL BOXES SHALL NOT BE LOCATED IN MASONRY COLUMNS IN BRICK WALLS OR IN GROUDED CELLS ADJACENT TO OPENINGS. COORDINATE LOCATION OF BOXES WITH MASONRY CONTRACTOR.
- ALL PENETRATIONS OF FIRE RATED FLOORS, WALLS, AND CEILINGS SHALL BE SEALED WITH APPROVED MATERIAL TO MAINTAIN FIRE RATING OF SURFACE PENETRATED.
- CIRCUITS EXTENDING OVER 70' FOR 120 VOLT AND 115' FOR 277 VOLT 20 AMP CIRCUITS SHALL BE RUN WITH CONDUCTORS PER TABLE BELOW.

20 AMP MINIMUM BRANCH CIRCUIT CONDUCTOR SIZING			
MAXIMUM LENGTH	BRANCH CIRCUIT VOLTAGE		
CONDUCTOR LENGTH (FT)	120 VOLT	277 VOLT	
<70	MIN. #12 AWG	MIN. #12 AWG	
70 - 115	MIN. #10 AWG	MIN. #10 AWG	
115 - 170	MIN. #8 AWG	MIN. #10 AWG	
170 - 270	MIN. #8 AWG	MIN. #8 AWG	
271 - 380	NOTE B	MIN. #8 AWG	
>380	NOTE B	NOTE B	

- A. THESE ARE BASED ON MAXIMUM LENGTH OF CIRCUIT.
- B. PERFORM VOLTAGE DROP CALCULATIONS AND PROVIDE CONDUCTOR SIZE TO KEEP BRANCH CIRCUIT VOLTAGE DROP LESS THAN 3% WITH A 15 AMP LOAD.
- C. CONTRACTOR SHALL ENSURE THAT THE INSTALLATION OF EACH BRANCH CIRCUIT STAYS WITHIN 3% VOLTAGE DROP FOR A 15 AMP LOAD. IF NECESSARY, CONTRACTOR SHALL INCREASE WIRE AND CONDUIT SIZE TO MEET THE STANDARD AT NO ADDITIONAL COST TO OWNER.

FLOOR BOX SCHEDULE

13 x

LIGHT FIXTURE ABBREVIATION SCHEDULE		LIGHT FIXTURE GENERAL NOTES	
NOTE: NOT ALL ABBREVIATIONS WILL NECESSARILY BE USED.			
A.F.F.	ABOVE FINISH FLOOR	1.	REFER TO THE ARCHITECTURAL REFLECTED CEILING PLANS FOR LOCATIONS OF LIGHT FIXTURES. BRING ALL DISCREPANCIES OF LOCATIONS AND QUANTITIES TO THE ATTENTION OF THE ARCHITECT AND ELECTRICAL ENGINEER PRIOR TO BIDDING.
WALL/BGL	WALL MOUNT AT CORNER OF WALL AND CEILING	2.	REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHTS AND LOCATIONS OF LIGHT FIXTURES. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING.
COBA	CUSTOM PAINTED COLOR AS SELECTED BY THE ARCHITECT	3.	REFER TO THE SPECIFICATIONS FOR OTHER LIGHT FIXTURE, FUSING, BALLAST, AND LAMP REQUIREMENTS AND ACCEPTABLE MANUFACTURERS.
SCBA	STANDARD PAINTED COLOR AS SELECTED BY THE ARCHITECT	4.	REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR LOWER REQUIREMENTS AS REQUIRED.
CFBA	CUSTOM FINISH AS SELECTED BY THE ARCHITECT	5.	CONFIRM AVAILABLE MOUNTING DEPTHS OF ALL LIGHT FIXTURES AND COMPARE WITH DEPTHS SHOWN ON SHOP DRAWINGS. BRING ALL POTENTIAL CONFLICT AREAS TO THE ATTENTION OF THE ARCHITECT AND ELECTRICAL ENGINEER PRIOR TO RELEASE.
SFBA	STANDARD FINISH AS SELECTED BY THE ARCHITECT	6.	CONFIRM AVAILABLE MOUNTING DEPTHS OF ALL LIGHT FIXTURES AND COMPARE WITH DEPTHS SHOWN ON SHOP DRAWINGS. BRING ALL POTENTIAL CONFLICT AREAS TO THE ATTENTION OF THE ARCHITECT AND ELECTRICAL ENGINEER PRIOR TO RELEASE.
WDB	MODIFY STANDARD LIGHT FIXTURE AS INDICATED		

BIDDING REQUIREMENTS	
1.	BID ONLY PRODUCTS THAT ARE SPECIFIED OR APPROVED BY ADDENDUM.
2.	PACKAGING OF LIGHT FIXTURES WITH FINISHES IS NOT ALLOWED.
3.	WHEN ONLY ONE PRODUCT IS APPROVED FOR BIDDING, THE PRICE FOR THAT ITEM SHALL BE BROKEN OUT SEPARATELY WHEN SUBMITTING PRICING TO VARIOUS DISTRIBUTORS AND/OR CONTRACTORS.
4.	WHEN A CONTRADICTION EXISTS BETWEEN A SPECIFIC MODEL NUMBER AND THE DESCRIPTION, THE DESCRIPTION SHALL GOVERN.

PRIOR APPROVAL REQUIREMENTS	
1.	PRIOR APPROVAL IS REQUIRED BEFORE BIDDING THIS PROJECT.
2.	PRIOR APPROVALS SHALL BE SUBMITTED TO THE ELECTRICAL ENGINEER'S OFFICE AT LEAST (8) EIGHT WORKING DAYS BEFORE THE BID. PRIOR APPROVALS RECEIVED AFTER THIS TIME PERIOD SHALL BE REJECTED.
3.	PRIOR APPROVALS SHALL BE SIGNED BY A PRINCIPAL OF THE SUBMITTING ORGANIZATION STATING THAT THEY HAVE PREPARED AND/OR REVIEWED THE SUBMITTAL AND THAT THE PRODUCTS PROPOSED ARE EQUIVALENT TO THOSE SPECIFIED. ANY EXCEPTIONS SHALL BE SO NOTED.
4.	ITEMS THAT ARE SUBMITTED AND HAVE BEEN APPROVED WILL BE LISTED IN THE ADDENDUM(S). VERBAL APPROVAL WILL NOT BE GIVEN ON ANY ITEM.
5.	IT IS NOT THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER TO NOTIFY THE SUBMITTING PARTY OF ERRORS IN THE SUBMITTAL. NOTIFICATION OF ERRORS BY THE ELECTRICAL ENGINEER PRIOR TO ISSUANCE OF THE ADDENDUM(S) MAY NOT BE GIVEN.
6.	PRIOR APPROVALS SHALL CONSIST OF TWO SETS OF CUT SHEETS DESCRIBING THE PRODUCTS BEING SUBMITTED AS EQUIVALENTS. FAXES ARE NOT ACCEPTABLE. ALL SPECIFICATION INFORMATION SHALL BE CLEARLY MARKED, WITH NON-APPLICABLE INFORMATION CROSSED OUT. COMPLETE PHOTOMETRIC DATA SHALL BE PROVIDED. PRODUCTS WITHOUT PHOTOMETRIC DATA WILL NOT BE APPROVED.
7.	SUPPLY POINT-BY-POINTS AS REQUIRED BY THE ELECTRICAL ENGINEER AND/OR LIGHTING DESIGNER.
8.	SAMPLE FIXTURES MUST BE SUPPLIED WITH A CORD, PLUG AND 120V BALLAST.

LIGHTING SHOP DRAWING REQUIREMENTS	
1.	REFER TO SPECIFICATIONS 262050, 265100, 265600 (16001, 16510 & 16551).
2.	MUST INCLUDE BALLAST AND LAMP CUT SHEETS.
3.	LINEAR LIGHTING MUST INCLUDE DETAILED DRAWINGS WITH SUPPORT DETAILS, STEM LOCATIONS AND HAVE ALL LENGTHS IDENTIFIED WITH STEM LOCATIONS.
4.	COLOR SAMPLES MUST BE INCLUDED IN FIRST SUBMITTAL.
5.	CUT SHEETS MUST BE STAMPED WITH THE FACTORY REPRESENTATIVE'S COMPANY NAME.
6.	VALUE ENGINEERING CONDUCTED WITHOUT THE DESIGN TEAM (E, ARCHITECT, OWNER, ENGINEER & LIGHTING CONSULTANT/DESIGNER) WILL NOT BE ALLOWED, REVIEWED OR APPROVED.
7.	PROVIDE A LIST OF SPARE PARTS, EQUIPMENT & LAMPS.

FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTS	TOTAL WATTS	LAMPS
DM	RECESSED DIMLESS ADJUSTABLE MULTIPLE					
DR	RECESSED ROUND WHITE TRIM FINISH AND REFLECTOR ADJUSTABLE	30	30-DL4000-15-580-27K-600-120V-DM-WT-W-NO-SFTD	120	15.6	LED INCLUDED
DB	RECESSED SQUARE TRIMLESS INVOUD CEILING	LIQHTHEAD	2-820-TL-W850A-PR60-27-80V-SL	120	9	LED INCLUDED
L	RECESSED 3" WIDE ALUMINUM FINISH	LIQHTMARK	VIA-3PCH-LED-LED-80-30K-XX-120V-DS-1-5W-NS-CAL	120	16W/4	LED INCLUDED
01	LINEAR WET LOCATION LED STRIP LIGHT W/ POWER SUPPLY	QTRAM	IQ67-2709K-35-90-1-6-1H-WCE			
02	WALL MOUNTED LIGHT FIXTURE IN EXTERIOR SKIN OUT					
03	DECORATIVE WALL SCENE					
SMR	ROUND RECESSED WET LOCATION DOWNLIGHT WHITE FINISH WITH LINSE	CONTECH	RANC-3-27K-12-0FCA322-WHT-SL-WL	120	20	LED INCLUDED
UC	UNDERCOUNTER LINEAR LIGHTING	QTRAM	GA-VEVE-XX-0F-CL-PS	120		LED INCLUDED
V1	WALL MOUNTED VANITY LIGHT FIXTURE			120		LED INCLUDED
V2	WALL MOUNTED VANITY LIGHT FIXTURE			120		LED INCLUDED
V3	WALL MOUNTED VANITY LIGHT FIXTURE			120		LED INCLUDED
WL	WALL MOUNTED LINEAR WHITE FINISH FLAT LENSE, MOUNTED ABOVE DOOR Z IN LENGTH	LLMAX	QNLB27L-3K-24-6-FAT-WHITE-40TON-BB800	120	39	LED INCLUDED
WL2	WALL MOUNTED LINEAR WHITE FINISH FLAT LENSE, MOUNTED ABOVE DOOR Z IN LENGTH	LLMAX	QNLB27L-3K-24-6-FAT-WHITE-40TON-SENSOR	120	39	LED INCLUDED
WS	RECESSED SQUARE STEP LIGHT WHITE FINISH	LUOPER	88L-1-LED-1-WH80L-02B-1-8A-24V-40-1-1-22	120	3.4	LED INCLUDED

EQUIPMENT SCHEDULE

UNIT #	FUNCTION	LOAD	VOLT	PHASE	FULL LOAD AMPS	CONDUIT SIZE	WIRES NO. SIZES	WIRE SIZE	WIRE EQUIP. COND.	DCPD TYPE	DCPD AMPS	REF NOTES	OTHER DISCONNECTS	OTHER	REMARKS
B-1	BOILER	54 VA	120	1	0.45	3/4"	1 2 12 12	CB	15						
C-1	CONDENSER	35.8 FLA	240	1	33.60	3/4"	1 2 6 60	CB	45						
F-1	FURNACE	128 FLA	120	1	12.80	3/4"	1 2 12 28	CB	30						
HP-1	HEAT PUMP OUTDOOR UNIT	42 MCA	240	1	33.60	3/4"	1 2 6 60	CB	60						

- NOTES:
- NON-FUSED DISCONNECT SWITCH
 - FUSED DISCONNECT SWITCH
 - DISCONNECT ENCLOSURE
 - MANUAL STARTER WITH THERMAL OVERLOAD
 - MAGNETIC STARTER
 - MAGNETIC STARTER WITH NON-FUSED DISCONNECT COMBINATION
 - MAGNETIC STARTER WITH FUSED DISCONNECT COMBINATION
 - MAGNETIC STARTER WITH BREAKER COMBINATION
 - VARIABLE FREQUENCY DRIVE
 - REDUCED VOLTAGE STARTER
 - DIRECT CONNECTION
 - RECEPTACLE SPECIAL PURPOSE OUTLET/ETC
 - TWO-SPEED STARTER COORDINATE WITH MOTOR TYPE
 - SOLID STATE SOFT STARTER
- A. FURNISHED, INSTALLED, AND CONNECTED UNDER DIVISION 26
 B. FURNISHED AND INSTALLED UNDER ANOTHER DIVISION REQUIRING CONNECTION UNDER DIVISION 26
 C. FURNISHED UNDER ANOTHER DIVISION BUT INSTALLED AND CONNECTED UNDER DIVISION 26
 D. FURNISHED, INSTALLED AND CONNECTED UNDER ANOTHER DIVISION
- CB = CIRCUIT BREAKER, THERMAL MAGNETIC
 CH = CHALLENGE WATTS
- NOTE 1: PER 250.122(A), EQUIPMENT GROUND IS NOT REQUIRED TO BE LARGER THAN PHASE CONDUCTOR

ELECTRICAL SYMBOL SCHEDULE

STANDARD MOUNTING HEIGHT UNLESS OTHERWISE NOTED ON PLANS		SYMBOL DESCRIPTION		MOUNTING HEIGHT		NOTES	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
—	ONE CIRCUIT, HOME RUN TO PANEL	⊖	CLOCK OUTLET	⊖	FLOOR BOX - SEE SCHEDULE	⊖	FLOOR SEE DIAGRAM SPEC.
—	TWO CIRCUIT, HOME RUN TO PANEL	⊖	POKE THRU - SEE SCHEDULE	⊖	FLIP-TOP BOX	⊖	FLOOR SEE DIAGRAM SPEC.
—	THREE CIRCUIT, HOME RUN TO PANEL	⊖	JUNCTION BOX (F" IN FLOOR)	⊖	MOTOR OUTLET	⊖	TO SUIT EQUIP.
—	CONDUIT RUN CONCEALED IN WALL OR CEILING	⊖	PUSHBUTTON	⊖	NON-FUSED DISCONNECT SWITCH	⊖	+4'-0"
—	CONDUIT RUN CONCEALED IN FLOOR OR GROUND	⊖	NON-FUSED DISCONNECT SWITCH WITH PILOT LIGHT	⊖	FUSED DISCONNECT SWITCH	⊖	+5'-0"
—	CONDUIT UP	⊖	MAGNETIC STARTER	⊖	MANUAL STARTER THERMAL OVERLOAD SWITCH WITH PILOT LIGHT	⊖	+4'-0"
—	CONDUIT DOWN	⊖	MAGNETIC STARTER / DISCONNECT COMBINATION	⊖	MAGNETIC STARTER	⊖	+5'-0"
—	CONDUIT STUB LOCATION	⊖	VARIABLE FREQUENCY DRIVE	⊖	PANEL BOARD	⊖	TOP AT +5'-0"
—	CONDUIT/CIRCUIT CONTINUATION	⊖	PANEL BOARD	⊖	MAIN DISTRIBUTION PANEL	⊖	
—	CABLE TRAY	⊖	TELEPHONE TERMINAL BOARD	⊖	GROUND BUS BAR	⊖	
—	CEILING LIGHT FIXTURE	⊖	EQUIPMENT CABINET/RACK	⊖	EQUIPMENT CABINET/RACK	⊖	CIRCUIT TO 120V
—	WALL LIGHT FIXTURE	⊖	BELL	⊖	CHIME	⊖	+7'-6"
—	RECESSED DOWNLIGHT FIXTURE	⊖	FIRE ALARM MANUAL STATION	⊖	FIRE ALARM SIGNAL HORN/STROBE	⊖	+4'-0"
—	RECESSED WALL-WASH FIXTURE	⊖	FIRE ALARM SIGNAL HORN/STROBE	⊖	CONCEALED FIRE ALARM SIGNAL HORN/STROBE	⊖	+8'-0"
—	LIGHT FIXTURE	⊖	CONCEALED FIRE ALARM SIGNAL HORN/STROBE	⊖	CONCEALED FIRE ALARM SIGNAL HORN/STROBE WALL	⊖	+8'-0"
—	EGRESS LIGHT FIXTURE	⊖	FIRE ALARM SIGNAL SPEAKER/STROBE	⊖	FIRE ALARM SIGNAL SPEAKER/STROBE	⊖	+8'-0"
—	AREA LIGHT POLE AND FIXTURE	⊖	CONCEALED FIRE ALARM SIGNAL SPEAKER/STROBE	⊖	FIRE ALARM STROBE	⊖	+8'-0"
—	FLOOR OR TRACK FIXTURE	⊖	CONCEALED FIRE ALARM SIGNAL SPEAKER/STROBE WALL	⊖	CONCEALED FIRE ALARM SIGNAL SPEAKER/STROBE WALL	⊖	+8'-0"
—	CEILING/WALL MOUNTED EXIT LIGHT	⊖	FIRE ALARM STROBE	⊖	CONCEALED FIRE ALARM SIGNAL STROBE	⊖	+8'-0"
—	SINGLE POLE SWITCH	⊖	CONCEALED FIRE ALARM SIGNAL STROBE WALL	⊖	FIRE ALARM SPEAKER ONLY	⊖	+8'-0"
—	THREE-WAY SWITCH	⊖	FIRE ALARM SIGNAL STROBE WITH BLUE COLORED LENS (VISUAL ALARM)	⊖	ASPIRATING SMOKE DETECTION SYSTEM	⊖	CEILING MOUNT AS PER. W/M
—	FOUR-WAY SWITCH	⊖	ASPIRATING SMOKE DETECTION SYSTEM	⊖	SMOKE DETECTOR	⊖	CEILING
—	KEY OPERATED SWITCH	⊖	SMOKE DETECTOR	⊖	SMOKE/CARBON MONOXIDE DETECTOR	⊖	CEILING
—	SWITCH WITH PILOT LIGHT	⊖	SMOKE/CARBON MONOXIDE DETECTOR	⊖	CARBON MONOXIDE DETECTOR	⊖	CEILING
—	VARIABLE INTENSITY SWITCH	⊖	CARBON MONOXIDE DETECTOR	⊖	HEAT DETECTOR	⊖	CEILING
—	TIMER SWITCH	⊖	HEAT DETECTOR	⊖	DUCT SMOKE DETECTOR	⊖	MTD. IN DUCT
—	MOMENTARY CONTACT SWITCH, CENTER POSITION OFF	⊖	DUCT SMOKE DETECTOR	⊖	FIRE/SMOKE DAMPER	⊖	
—	LOW VOLTAGE WALL STATION (SUBSCRIPT INDICATES CONFIGURATION & CONTROL SEQUENCE SEE DIAGRAM)	⊖	FIRE/SMOKE DAMPER	⊖	DOOR HOLDER	⊖	AS NOTED
—	BIAS TECHNOLOGY WALL MOUNTED OCCUPANCY SENSOR (SUBSCRIPT DIMMING AND DAY-LIGHT CONTROL)	⊖	DOOR HOLDER	⊖	FLOW SWITCH	⊖	
—	POWER PACK	⊖	FLOW SWITCH	⊖	TAMPER SWITCH	⊖	
—	DIGITAL ROOM CONTROLLER (SUBSCRIPT INDICATES NUMBER OF RELAYS, #E INDICATES EM ENABLED RC)	⊖	TAMPER SWITCH	⊖	WATER FLOOD INDICATOR	⊖	
—	EMERGENCY LIGHTING CONTROL UNIT	⊖	WATER FLOOD INDICATOR	⊖	O.S. & Y. VALVE	⊖	SEE DIAGRAM
—	RECEPTACLE SWITCH PACK	⊖	O.S. & Y. VALVE	⊖	FIRE ALARM RELAY OR SECURITY RELAY	⊖	
—	AUTOMATIC RELAY PACK	⊖	FIRE ALARM RELAY OR SECURITY RELAY	⊖	FIRE ALARM CONTROL MODULE	⊖	
—	LOW VOLTAGE TRANSFORMER	⊖	FIRE ALARM CONTROL MODULE	⊖	FIRE ALARM MONITOR MODULE	⊖	
—	PHOTO-ELECTRIC CONTROL	⊖	FIRE ALARM MONITOR MODULE	⊖	TWO-WAY COMMUNICATION SYSTEM ANNUNCIATOR PANEL	⊖	+4'-0"
—	DIGITAL DAYLIGHT SENSOR	⊖	TWO-WAY COMMUNICATION SYSTEM ANNUNCIATOR PANEL	⊖	TWO-WAY COMMUNICATION CALL STATION	⊖	+4'-0"
—	TIME CLOCK	⊖	TWO-WAY COMMUNICATION CALL STATION	⊖	DURESS PUSHBUTTON	⊖	+4'-0"
—	DUPLEX RECEPTACLE UPPER OUTLET SWITCH CONTROLLED	⊖	DURESS PUSHBUTTON	⊖	DUPLEX RECEPTACLE DOOR SWITCH	⊖	DOOR JAMB
—	SIMPLEX RECEPTACLE	⊖	DUPLEX RECEPTACLE DOOR SWITCH	⊖	SECURITY SYSTEM OVERHEAD DOOR SWITCH	⊖	CEILING MOUNT AS PER. W/M
—	SIMPLEX RECEPTACLE WITH USB OUTLET	⊖	SECURITY SYSTEM OVERHEAD DOOR SWITCH	⊖	MAGNETIC SHEAR LOCK	⊖	
—	DUPLEX RECEPTACLE	⊖	MAGNETIC SHEAR LOCK	⊖	SECURITY SYSTEM KEYPAD ACCESS SWITCH	⊖	+4'-0"
—	DUPLEX RECEPTACLE WITH USB OUTLET	⊖	SECURITY SYSTEM KEYPAD ACCESS SWITCH	⊖	SECURITY SYSTEM KEYPAD	⊖	+4'-0"
—	DUPLEX RECEPTACLE WITH CONTROL	⊖	SECURITY SYSTEM KEYPAD	⊖	INFRARED SENSOR	⊖	AS NOTED
—	DUPLEX RECEPTACLE	⊖	INFRARED SENSOR	⊖	SECURITY MOTION DETECTOR	⊖	MOUNT AS PER. W/M
—	DUPLEX RECEPTACLE	⊖	SECURITY MOTION DETECTOR	⊖	SECURITY SYSTEM POP-IT	⊖	MOUNT AS PER. W/M
—	ELECTRIC WATER COOLER RECEPTACLE	⊖	SECURITY SYSTEM POP-IT	⊖	GLASS BREAK DETECTOR	⊖	CEILING
—	WEATHERPROOF RECEPTACLE	⊖	GLASS BREAK DETECTOR	⊖	ELECTRIC DOOR STRIKE	⊖	12.
—	ISOLATED GROUND RECEPTACLE	⊖	ELECTRIC DOOR STRIKE	⊖	ELECTRIC DOOR LOCK	⊖	12.
—	GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE	⊖	ELECTRIC DOOR LOCK	⊖	ACCESS CONTROL SYSTEM, REQUEST TO EXIT	⊖	
—	DUPLEX RECEPTACLE EMERGENCY POWER (RED)	⊖	ACCESS CONTROL SYSTEM, REQUEST TO EXIT	⊖	ACCESS CONTROL CARD READER	⊖	+4'-0"
—	FOURPLEX RECEPTACLE	⊖	ACCESS CONTROL CARD READER	⊖	ACCESS CONTROL BIOMETRIC READER	⊖	+4'-0"
—	GROUND FAULT INTERRUPTER FOURPLEX RECEPTACLE	⊖	ACCESS CONTROL BIOMETRIC READER	⊖	CAMERA - SEE SCHEDULE	⊖	AS NOTED SEE DIAGRAM SPEC.
—	FOURPLEX RECEPTACLE EMERGENCY POWER (RED)	⊖	CAMERA - SEE SCHEDULE	⊖	DOOR POSITION INDICATING SWITCH	⊖	
—	TVSS PROTECTED RECEPTACLE	⊖	DOOR POSITION INDICATING SWITCH	⊖	LIGHT FIXTURE (LETTER DESIGNATES TYPE)	⊖	
—	SPECIAL PURPOSE OUTLET	⊖	LIGHT FIXTURE (LETTER DESIGNATES TYPE)	⊖	EQUIPMENT NUMBER	⊖	
—	CORD DROP	⊖	EQUIPMENT NUMBER	⊖	ARCHITECTURAL ROOM NUMBER	⊖	
—	CORD REEL	⊖	ARCHITECTURAL ROOM NUMBER	⊖	DEVICE/EQUIPMENT (TEXT DESIGNATES TYPE) SEE SCHEDULE	⊖	
—	TOMBSTONE RECEPTACLE	⊖	DEVICE/EQUIPMENT (TEXT DESIGNATES TYPE) SEE SCHEDULE	⊖			
—	PLUGMOLD	⊖					
—	TELEVISION OUTLET	⊖					
—	POWER POLE	⊖					
—	FLAT PANEL DISPLAY WALL BOX, TVSS RECEPTACLE AND OTHER DEVICES, REFER TO DIAGRAMS	⊖					
—	CEILING PROJECTION SYSTEM CEILING BOX	⊖					
—	DATA OUTLET W/(1) CABLE	⊖					
—	DATA OUTLET W/(2) CABLES	⊖					
—	DATA OUTLET W/(3) CABLES	⊖					
—	DATA OUTLET W/MORE THAN (3) CABLES	⊖					
—	AV DATA OUTLET	⊖					
—	WIRELESS ACCESS POINT, ONE CABLE	⊖					
—	CALL SWITCH	⊖					

INDEX OF ELECTRICAL DRAWINGS

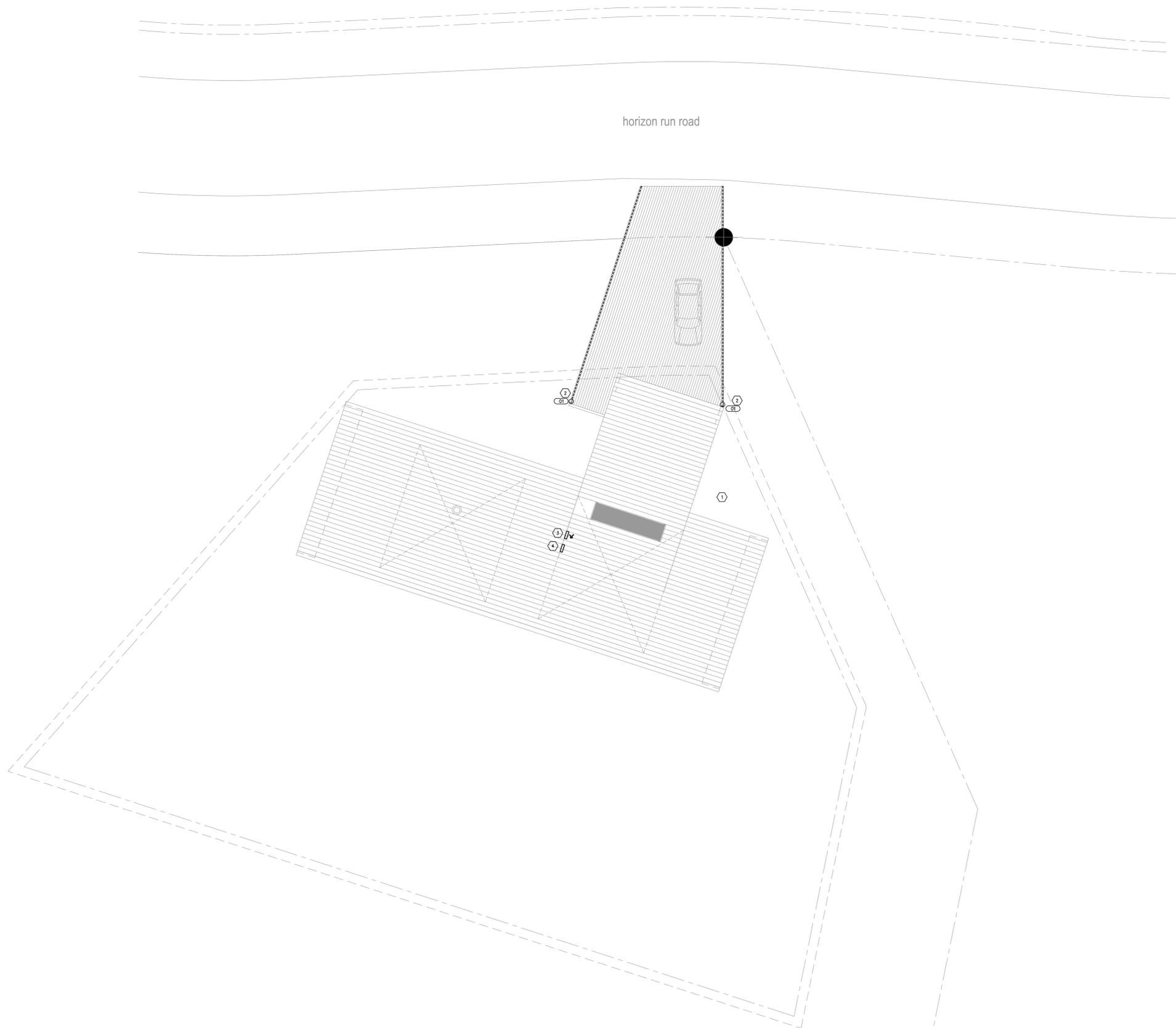
E000	SCHEDULES AND NOTES
E100	ELECTRICAL SITE PLAN
E200	LIGHTING PLAN GROUND LEVEL
E201	LIGHTING PLAN LOWER LEVEL
E202	LIGHTING PLAN MAIN LEVEL
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E300	POWER PLAN GROUND LEVEL
E301	POWER PLAN LOWER LEVEL
E302	POWER PLAN MAIN LEVEL
E303	POWER PLAN UPPER LEVEL
E400	ONE-LINE DIAGRAM AND PANELBOARD SCHEDULES
E500	ELECT

- ① REFER TO CIVIL PLAN FOR POWER AND COMMUNICATION SERVICE ENTRANCE REQUIREMENTS.
- ② LINEAR WET LOCATION LED STRIP LIGHT REFER TO ARCHITECTURAL DETAIL FOR EXACT MOUNTING LOCATION.
- ③ PANEL 'M' IN MECHANICAL ROOM.
- ④ TELE/COMM WALL MOUNTED RACK IN MECHANICAL ROOM, PROVIDED BY OTHERS.

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PLAN NORTH
ELECTRICAL SITE PLAN
1/8" = 1'-0"

No.	Description	Date
01	Issued for Coordination	2018-05-08

NOTES:

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The use of this drawing shall be governed by standard copyright law as generally accepted in architectural practice.

ARCHITECT'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify MacKay-Lyons Sweetapple Architects Ltd. and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Architect.

ENGINEER'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify MacKay-Lyons Sweetapple Architects Ltd. and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Engineer.

AUTHORITIES' REQUIREMENTS AND APPROVALS:
All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builder's responsibility to gain necessary approval from all relevant Authorities.

DIMENSIONS:
All dimensions must be verified on site. Do not scale off drawings. Plans take precedence over elevations. In the absence of dimensions, or if discrepancies exist, consult Architect. All minimum dimensions are to comply with the National Building Code of Canada.

SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.

Electrical Site Plan

scale: SEE GRAPH
date: 2018-05-11
drawn: BNA
checked: CF

E100

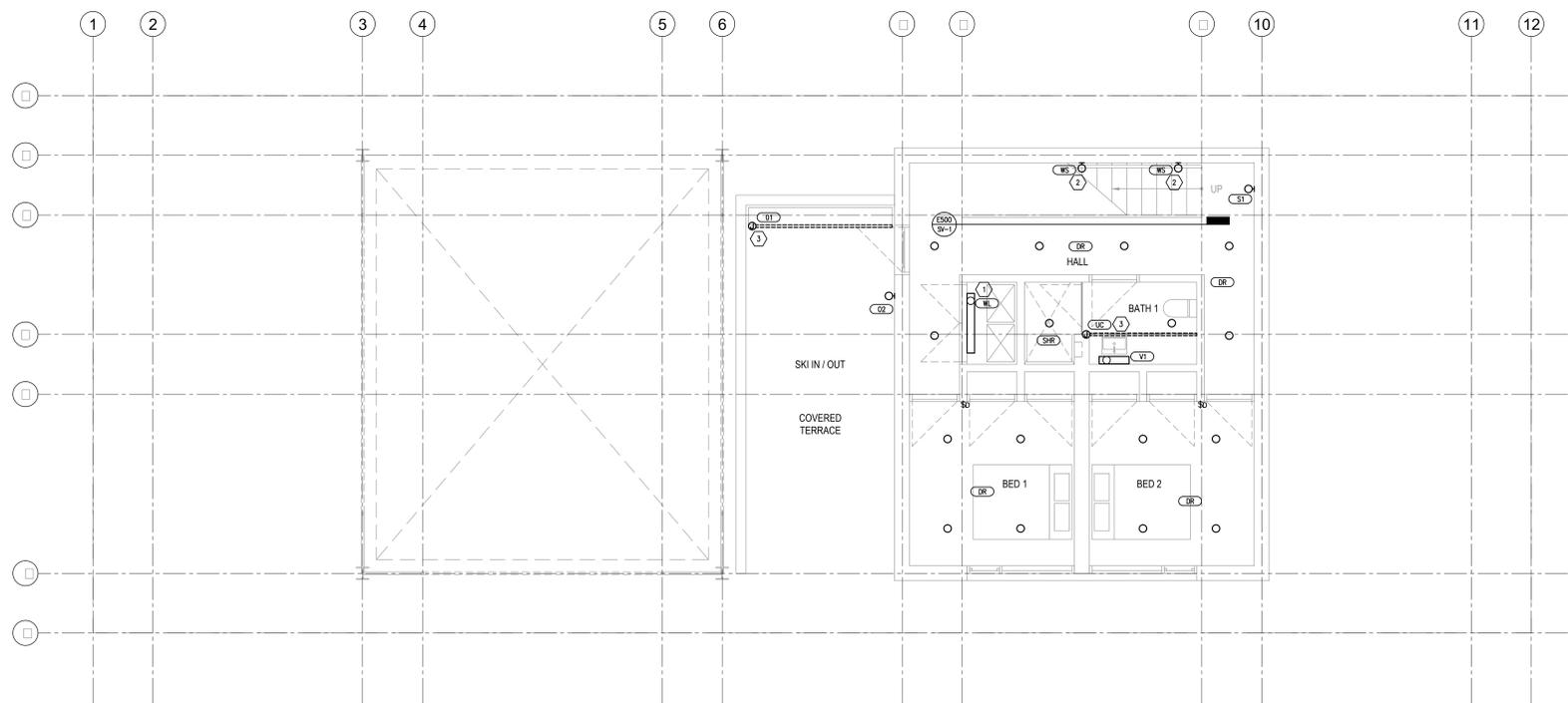
GENERAL SHEET NOTES

1. CONSULT ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL LIGHTING FIXTURES.
2. CONSULT ALL ARCHITECTURAL PLANS, ELEVATIONS & SECTIONS FOR EXACT LOCATIONS OF ALL ELECTRICAL DEVICES. VERIFY ALL EQUIPMENT DIMENSIONS AND LOCATIONS BEFORE BEGINNING ROUGH IN. CONSULT ALL APPLICABLE CONTRACT DRAWINGS AND SHOP DRAWINGS TO INSURE NEC CODE CLEARANCES REQUIRED AROUND ALL ELECTRICAL EQUIPMENT.

SHEET KEYNOTES

- 1 MOUNT WALL MOUNTED LIGHT FIXTURE WL ABOVE DOOR OPENING.
- 2 TYPE WS RECESSED STEP LIGHT SHALL BE MOUNTED +18" ABOVE FINISHED FLOOR AND/OR STEP.
- 3 MOUNT LIGHT FIXTURE IN TOE KICK.

Lot 14 Mountain House
 Secret Place Mount
 MapKay Lyons
 Sweitapple
 Architects
 Limited
 2188 Goughen St
 Halifax, Nova Scotia
 Canada B3K 3S1
 PH: (902) 423-1887
 FX: (902) 423-8223



No.	Description	Date
01	Issued for Coordination	2018-05-08

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SHOP DRAWINGS:
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Lighting Plan
 Ground Floor

scale: SEE GRAPH
 date: 2018-05-11
 drawn: BNA
 checked: CF

E200

By: ksc; May 30, 2018 - 3:13pm
 J:\2018\115\000\115-ED00.dwg

GENERAL SHEET NOTES

1. CONSULT ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL LIGHTING FIXTURES.
2. CONSULT ALL ARCHITECTURAL PLANS, ELEVATIONS & SECTIONS FOR EXACT LOCATIONS OF ALL ELECTRICAL DEVICES. VERIFY ALL EQUIPMENT DIMENSIONS AND LOCATIONS BEFORE BEGINNING ROUGH IN. CONSULT ALL APPLICABLE CONTRACT DRAWINGS AND SHOP DRAWINGS TO INSURE NEC CODE CLEARANCES REQUIRED AROUND ALL ELECTRICAL EQUIPMENT.

SHEET KEYNOTES

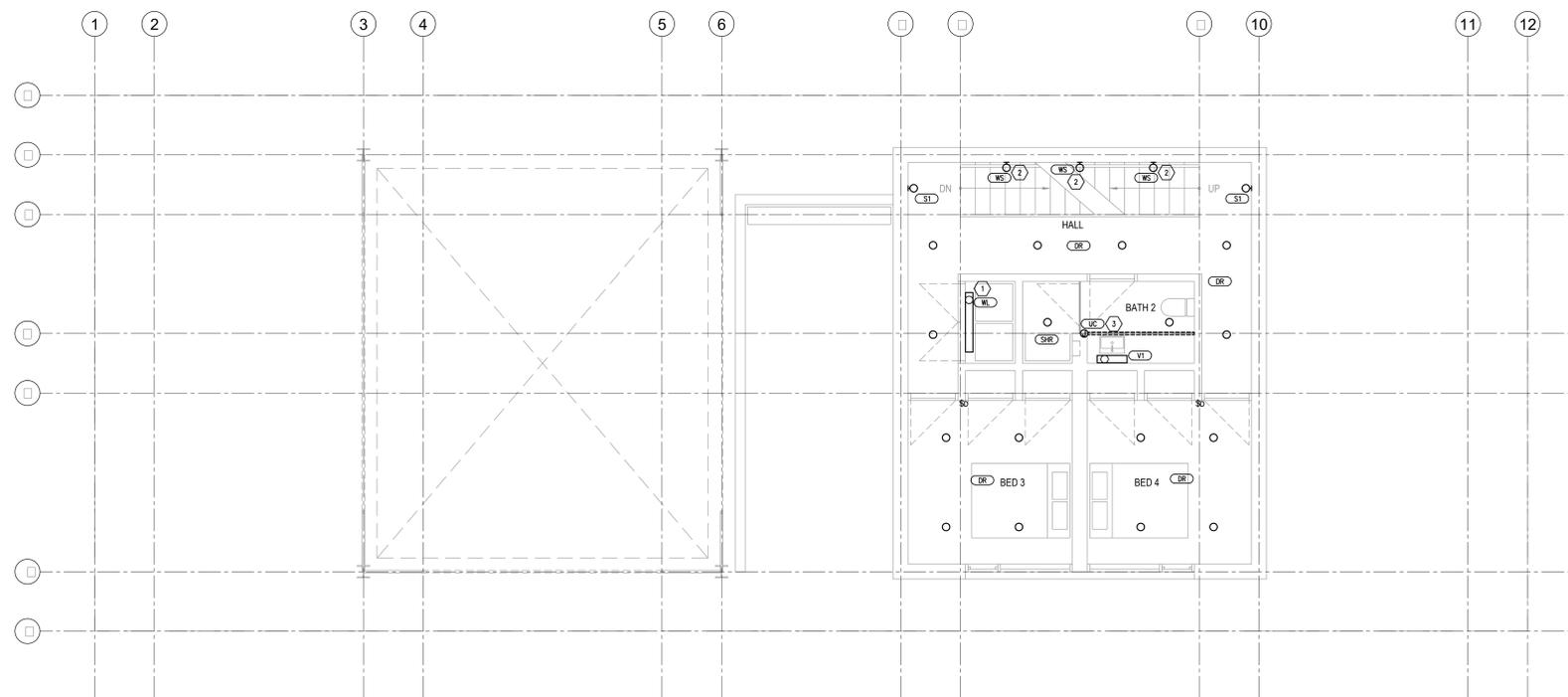
- 1 MOUNT WALL MOUNTED LIGHT FIXTURE WL ABOVE DOOR OPENING.
- 2 TYPE WS RECESSED STEP LIGHT SHALL BE MOUNTED +18" ABOVE FINISHED FLOOR AND/OR STEP.
- 3 MOUNT LIGHT FIXTURE IN TOE KICK.

Lot 14 Mountain House

Secret Privacy Moulding
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Lighting Plan
Lower Floor

scale: SEE GRAPH
date: 2018-05-11
drawn: BNA
checked: CF

E201

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SHEET KEYNOTES

- 1 WALL MOUNT ABOVE DOOR OPENING.
- 2 LIGHT FIXTURE MOUNTED IN TOE KICK.
- 3 LOCATE ABOVE WALL FOR INDIRECT ILLUMINATION ONTO CEILING.
- 4 UNDER COUNTER LIGHT FIXTURE MOUNT TO FACE OF OVERHANG.
- 5 MOUNT +18" ABOVE FINISH FLOOR OR STEP.
- 6 FULL MIRROR LIGHTS TO BORDER THE EDGES OF, AND BE MOUNTED ON, THE MIRROR.

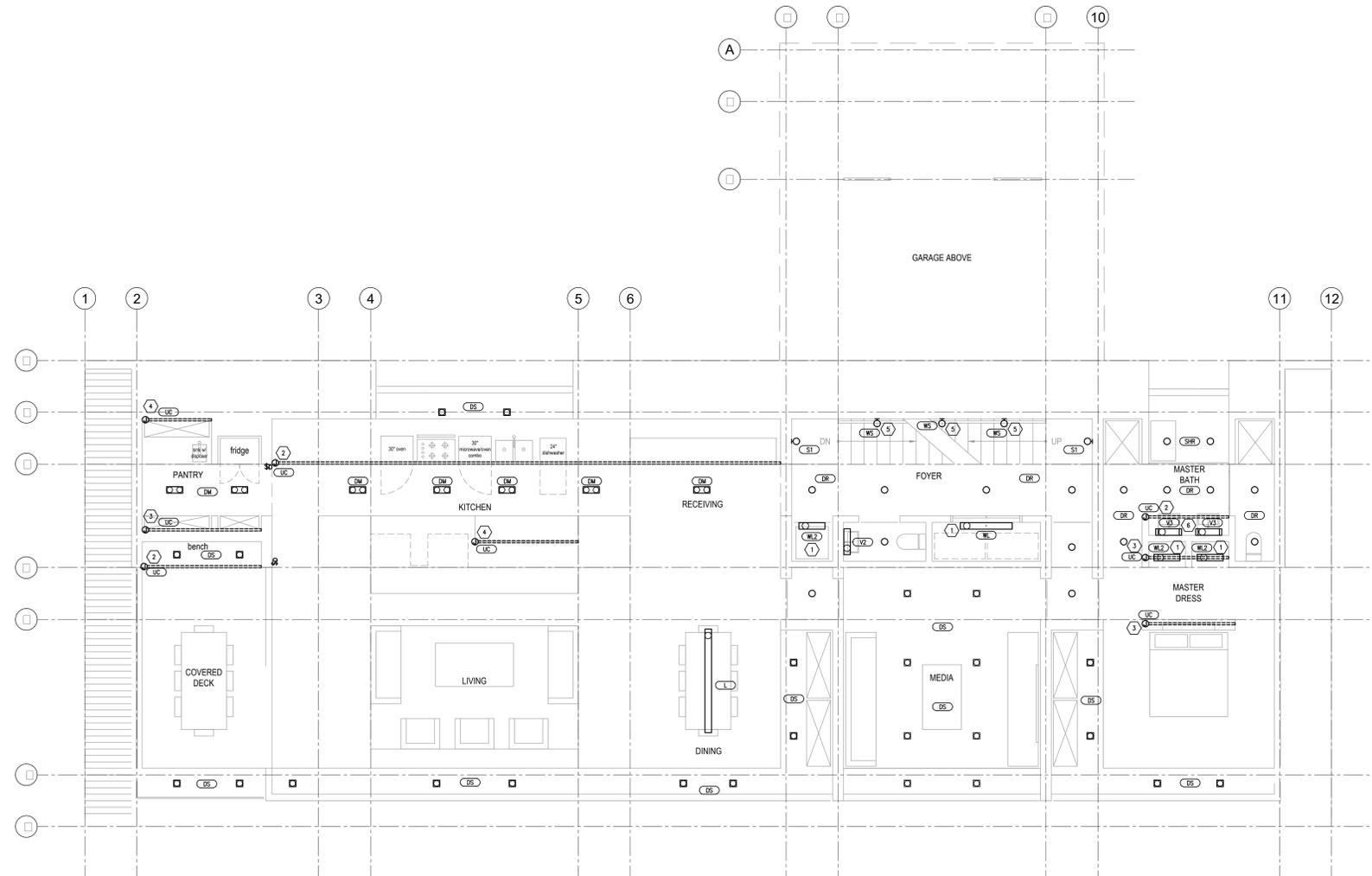
Lot 14 Mountain House

Secret Place Mount
Floor Plan

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Lighting Plan
Main Floor

scale: SEE GRAPH
date: 2018-05-11
drawn: BNA
checked: CF

E202

By: ksl; May 30, 2018 - 3:13pm
J:\2018\115\000\115-ED02.dwg

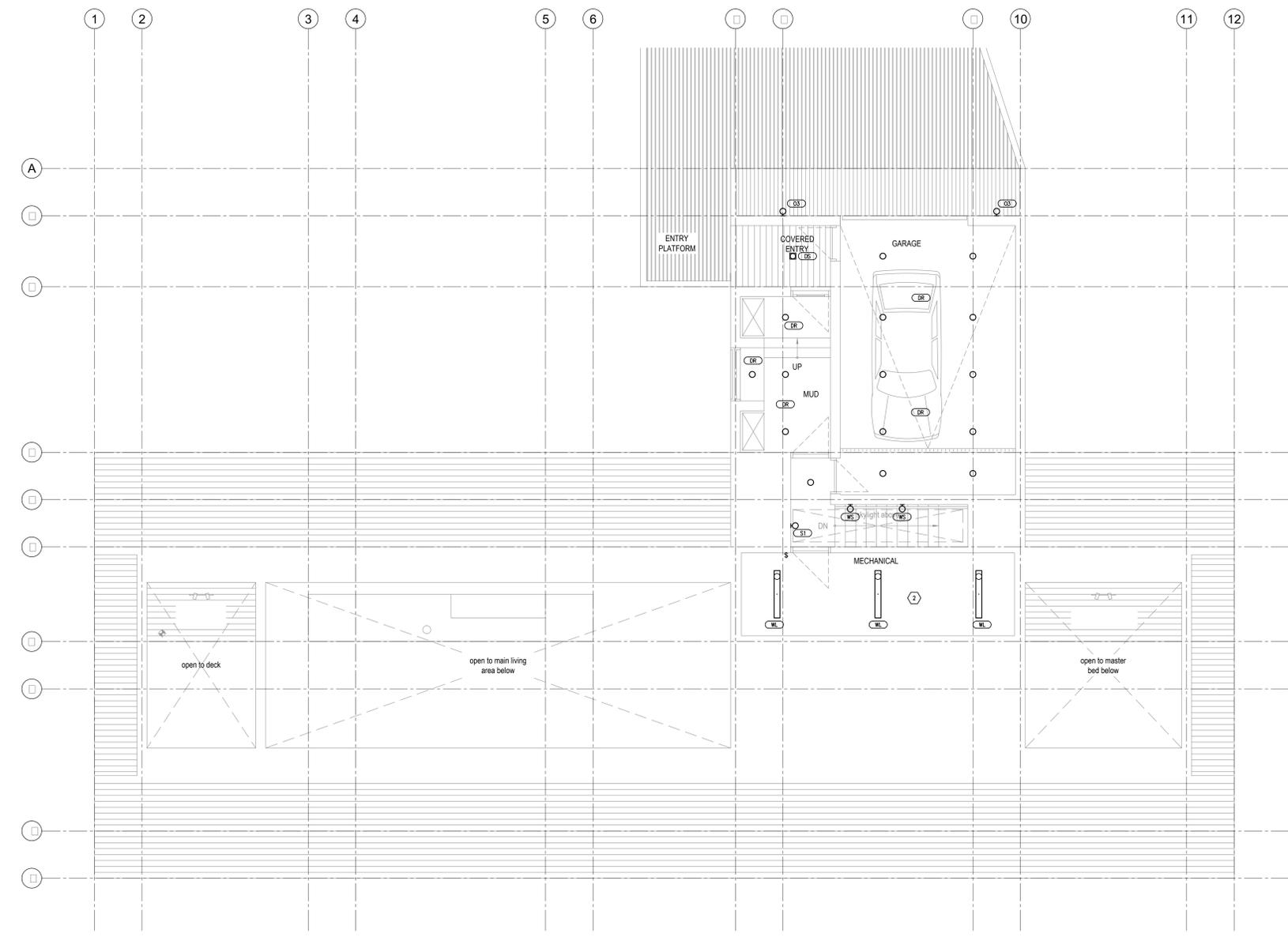
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SHEET KEYNOTES

- 1 MOUNT +18" ABOVE FINISH FLOOR OR STEP.
- 2 SURFACE OR PENDANT MOUNT.

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PLAN NORTH
LIGHTING PLAN UPPER FLOOR
1/4" = 1'-0"

Lighting Plan
Upper Floor

scale: SEE GRAPH
date: 2018-05-11
drawn: BNA
checked: CF

E203

GENERAL SHEET NOTES

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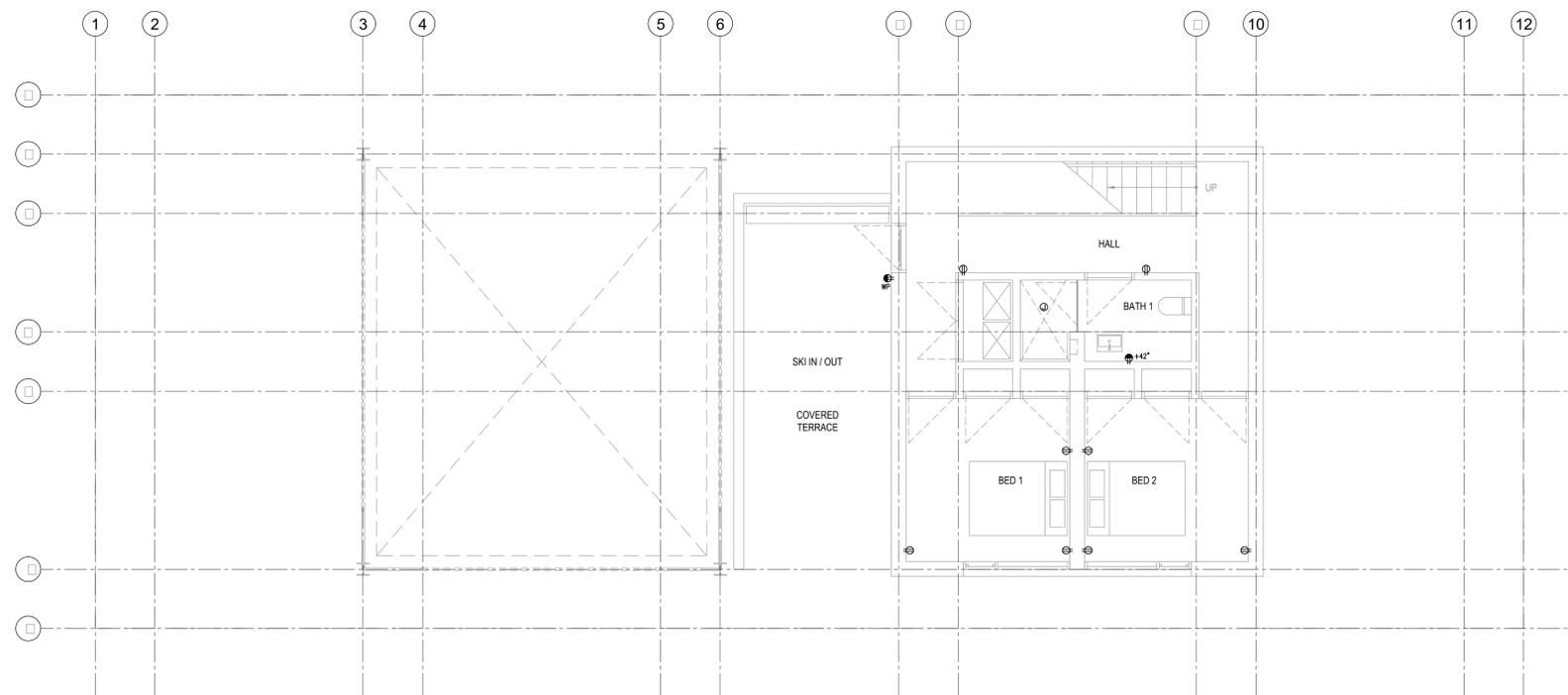
Lot 14 Mountain House

Sheet: Power Plan Ground Floor

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No.	Description	Date
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Revision:

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Power Plan
Ground
Floor

scale: SEE GRAPH
date: 2018-05-11
drawn: BNA
checked: CF

E300

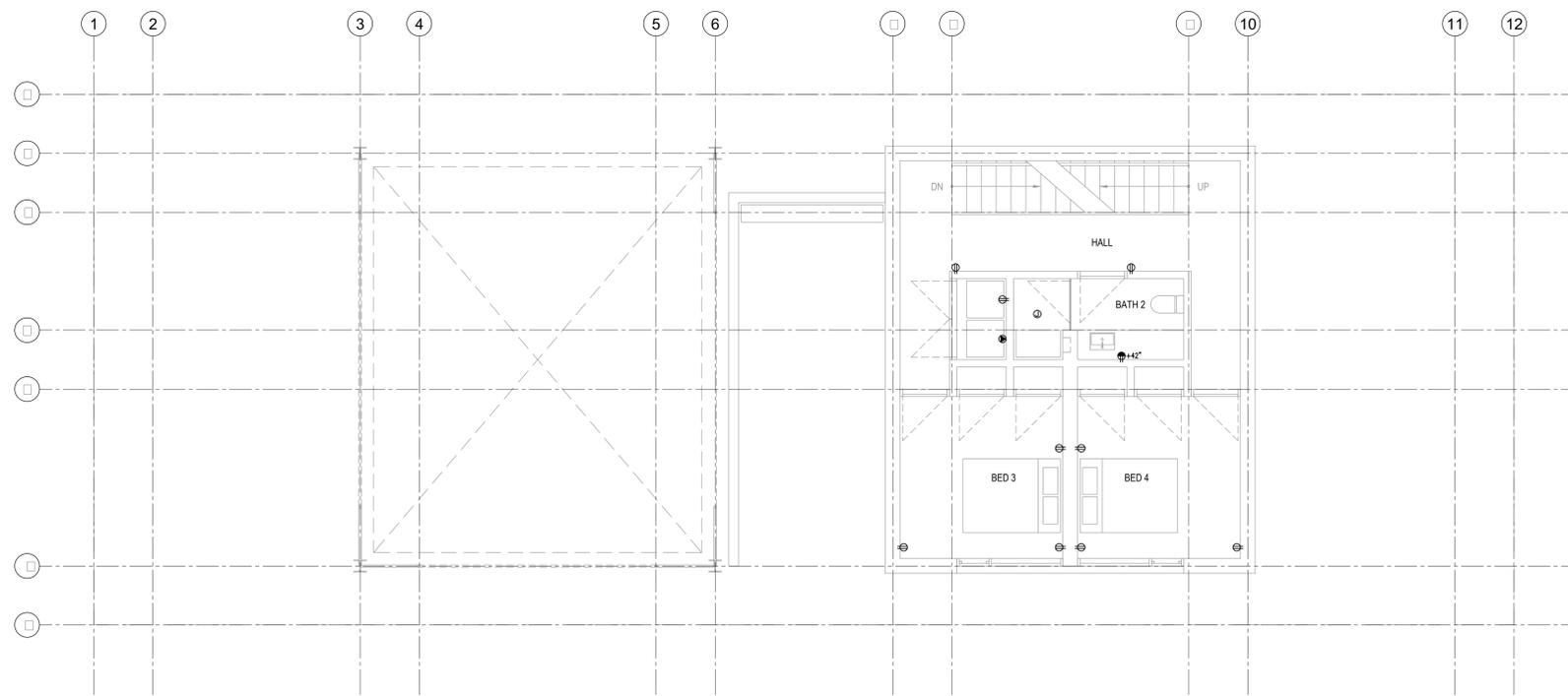
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Lot 14 Mountain House

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Power Plan
Lower
Floor

scale: SEE GRAPH
date: 2018-05-11
drawn: BNA
checked: CF

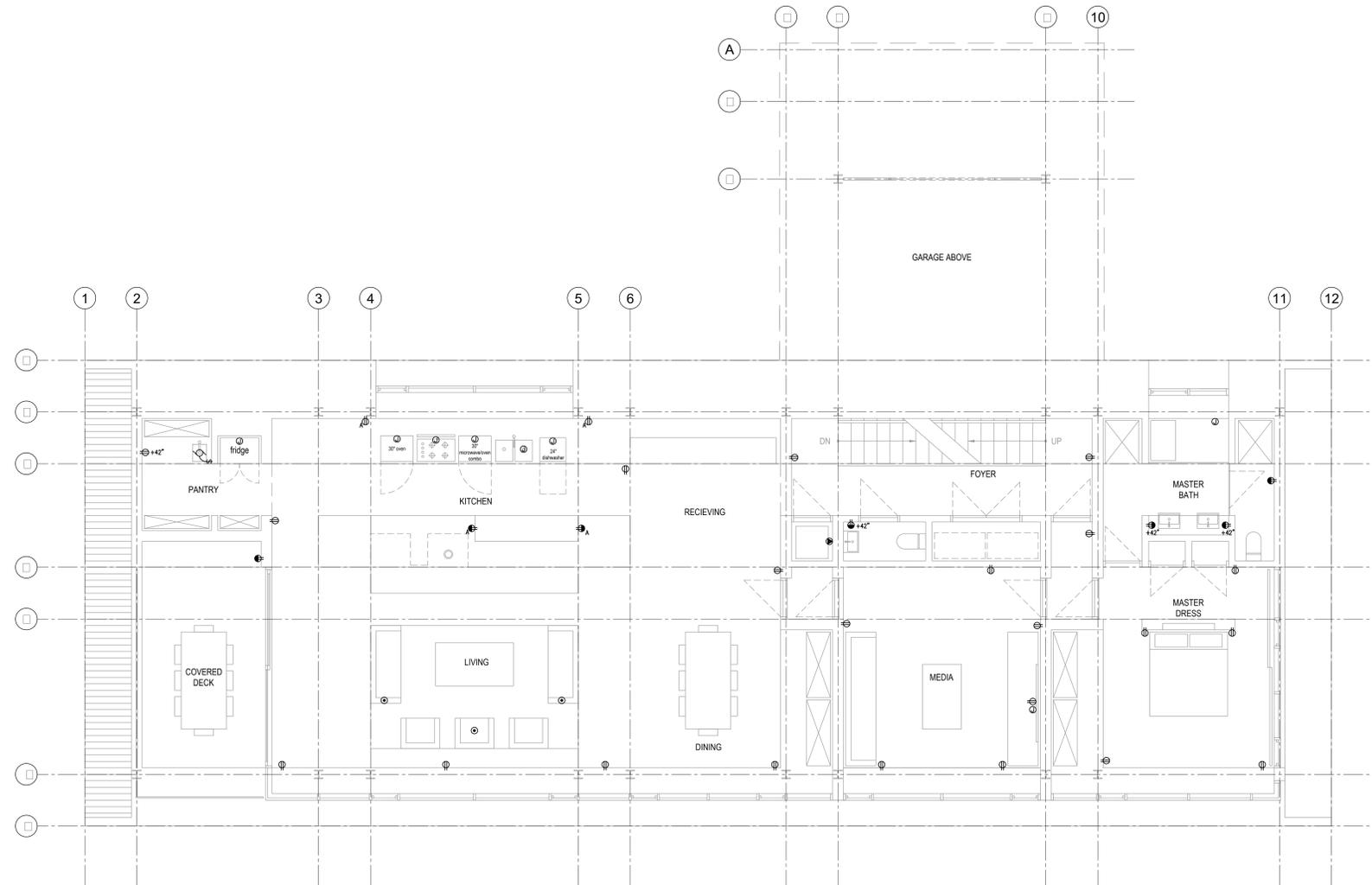
E301

GENERAL SHEET NOTES

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Lot 14 Mountain House

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Power Plan
Main Floor

scale: SEE GRAPH
date: 2018-05-11
drawn: BNA
checked: CF

E302

By: ksc/ May 30, 2018 - 3:13pm
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GENERAL SHEET NOTES

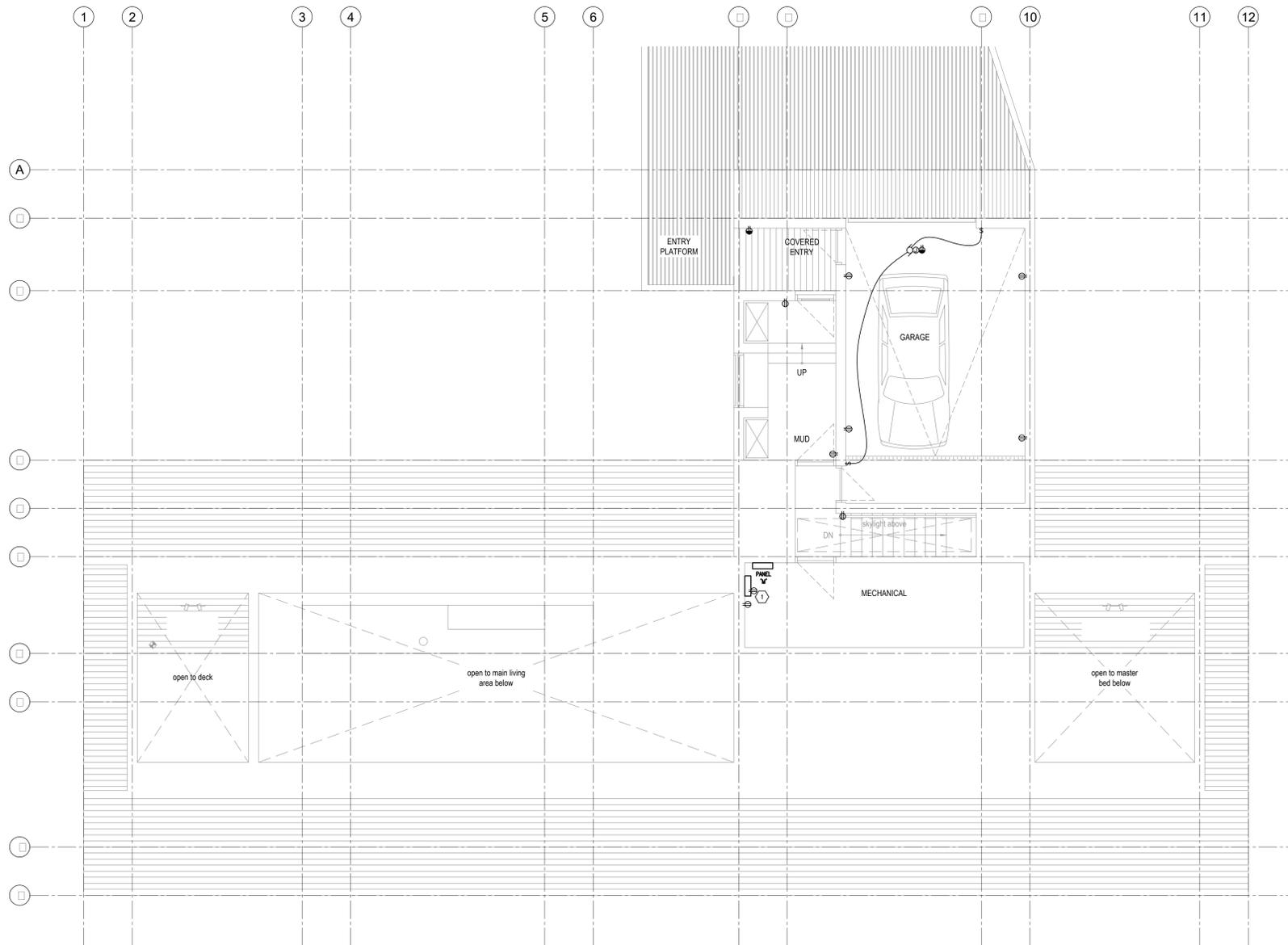
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SHEET KEYNOTES

- 1 TELE/COMM HEAD END EQUIPMENT

Lot 14 Mountain House

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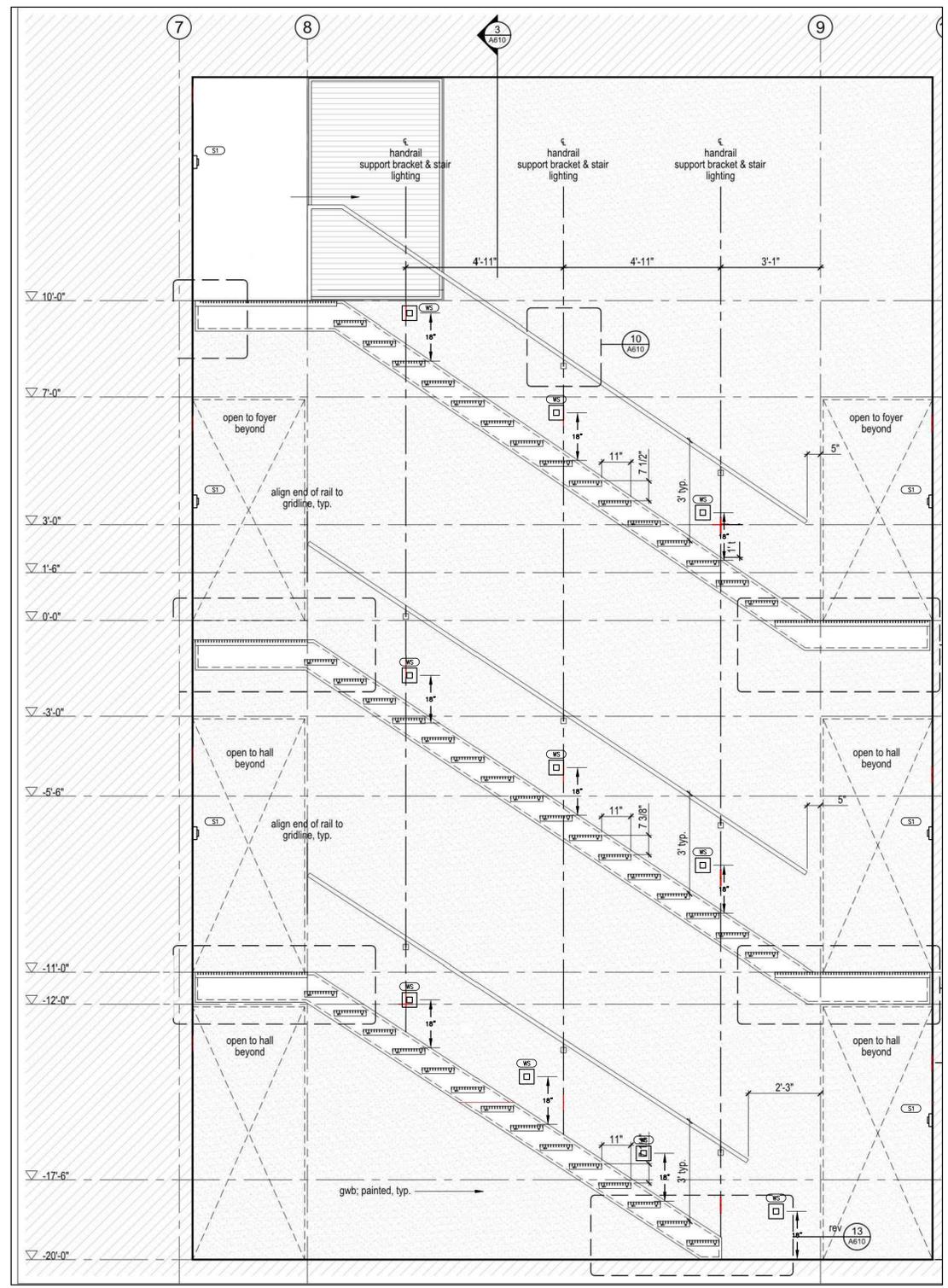
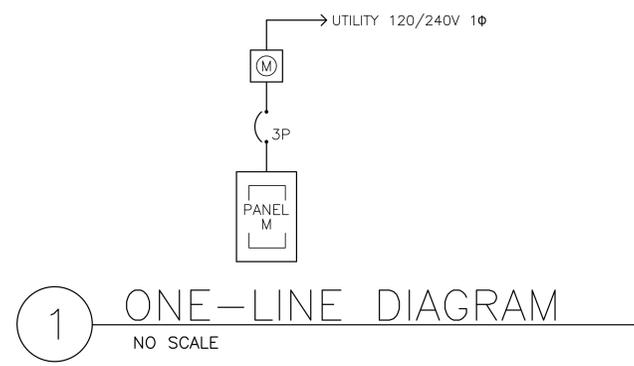
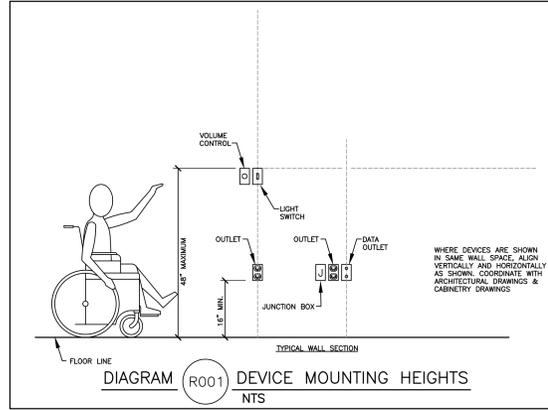


Power Plan
Upper
Floor

scale: SEE GRAPH
date: 2018-05-11
drawn: BNA
checked: CF

E303

By: ksc; May 30, 2018 - 3:13pm
J:\2018\115\000\115-E303.rvt



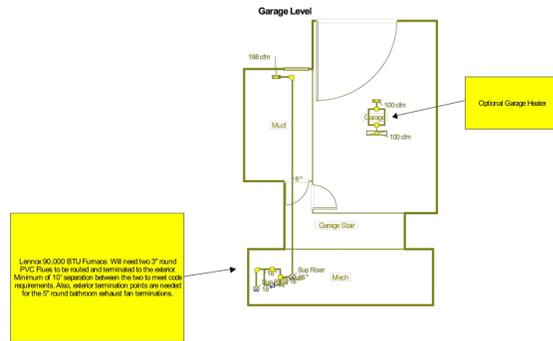
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One-line Diagram and Panelboard Schedules

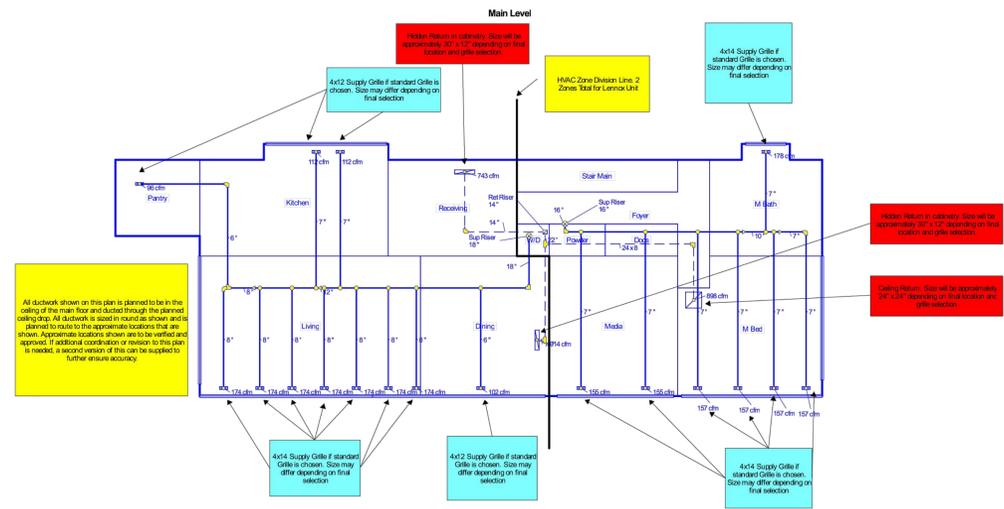
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 checked: CF

E400



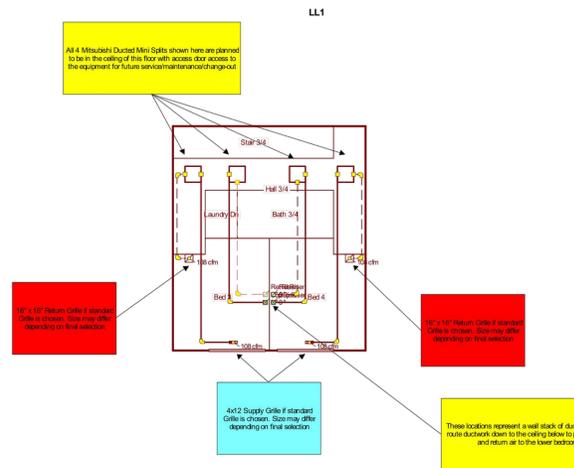
Job #: Performed by Patrick Wallace for: Lot 14 Lot 14 Eden, Utah	Park City, Utah	Page 1 Uponor System Design Software 18.0.16 RSU07680 2018-May-18 16:51:42 ... 14\Heat Loss\Lot 14 Updated.rup
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203
2200 Duct Design Diagram - Upper Level Floor Plan
Scale 1/8" = 1'-0"



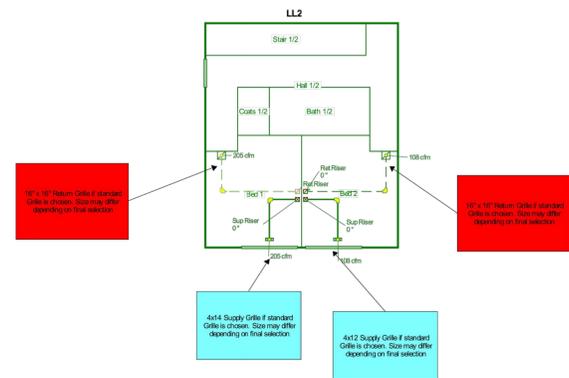
Job #: Performed by Patrick Wallace for: Lot 14 Lot 14 Eden, Utah	Park City, Utah	Page 2 Uponor System Design Software 18.0.16 RSU07680 2018-May-18 16:51:42 ... 14\Heat Loss\Lot 14 Updated.rup
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202
2200 Duct Design Diagram - Main Level Floor Plan
Scale 1/8" = 1'-0"



Job #: Performed by Patrick Wallace for: Lot 14 Lot 14 Eden, Utah	Park City, Utah	Page 3 Uponor System Design Software 18.0.16 RSU07680 2018-May-18 16:51:42 ... 14\Heat Loss\Lot 14 Updated.rup
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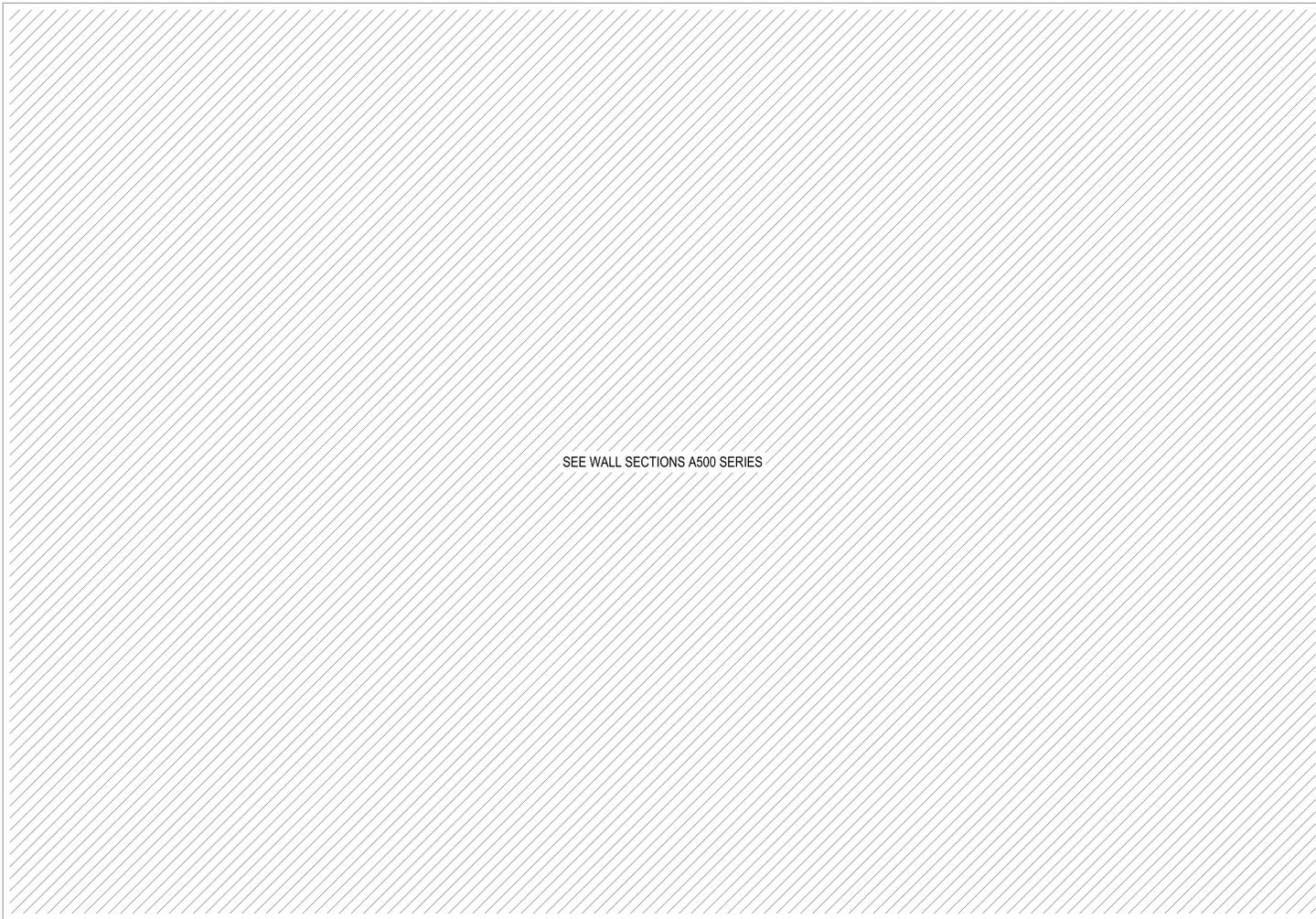
201
2200 Duct Design Diagram - Lower Level Floor Plan
Scale 1/8" = 1'-0"



Job #: Performed by Patrick Wallace for: Lot 14 Lot 14 Eden, Utah	Park City, Utah	Page 4 Uponor System Design Software 18.0.16 RSU07680 2018-May-18 16:51:42 ... 14\Heat Loss\Lot 14 Updated.rup
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200
2200 Duct Design Diagram - Ground Level Floor Plan
Scale 1/8" = 1'-0"

No.	Description	Date
01	DD Issued for Pricing	2018.05.30



6
A001
Exterior Assemblies
NTS

	Trim		North Wall		East Wall		South Wall		West Wall		Floors		Ceiling		Remarks
	Material	Finish	Material	Finish	Material	Finish	South	Finish	Material	Finish	Material	Finish	Material	Finish	
Ground Level															
Bed 1	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB/GLZ	PTC1	GWB	PTC1	WD / CONC	WD3 / SEALED	GWB	PTC3	Price conc. on floor as option.
Bed 2	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB/GLZ	PTC1	GWB	PTC1	WD / CONC	WD3 / SEALED	GWB	PTC3	Price conc. on floor as option.
Bath 1	WD	PTC2	GWB-W	TILE1	GWB-W	TILE1	GWB-W	TILE1	GWB-W	TILE1	TILE / CONC	TILE3 / SEALED	GWB-W	PTC3	Price conc. on floor as option.
Hall 1	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB-W	PTC1	GWB	PTC1	WD / CONC	WD3 / SEALED	GWB	PTC3	Price conc. on floor as option.
Ski Storage	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB	PTC1	GWB	PTC1	WD / CONC	TILE4 / SEALED	GWB	PTC3	Price conc. on floor as option.
Stair 1	WD	PTC2	GWB	PTC1	GWB	PTC1	STL	STL2	GWB	PTC1	STL	STL1	N/A	N/A	

	Trim		North Wall		East Wall		South Wall		West Wall		Floors		Ceiling		Remarks
	Material	Finish	Material	Finish	Material	Finish	South	Finish	Material	Finish	Material	Finish	Material	Finish	
Lower Level															
Bed 3	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB/GLZ	PTC1	GWB	PTC1	WD	WD3 / CONC	GWB	PTC3	Price conc. on floor as option.
Bed 4	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB/GLZ	PTC1	GWB	PTC1	WD	WD3 / CONC	GWB	PTC3	Price conc. on floor as option.
Bath 2	WD	PTC2	GWB-W	TILE1	GWB-W	TILE1	GWB-W	TILE1	GWB-W	TILE1	TILE	TILE3 / CONC	GWB-W	PTC3	Price conc. on floor as option.
Hall 2	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB	PTC1	GWB	PTC1	WD	WD3 / CONC	GWB	PTC3	Price conc. on floor as option.
Stair 2	WD	PTC2	GWB	PTC1	GWB	PTC1	STL	STL2	GWB	PTC1	STL	STL1	N/A	N/A	

	Trim		North Wall		East Wall		South Wall		West Wall		Floors		Ceiling		Remarks
	Material	Finish	Material	Finish	Material	Finish	South	Finish	Material	Finish	Material	Finish	Material	Finish	
Main Level															
Pantry	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB-W	PTC1	GWB	PTC1	WD	WD3	GWB	PTC3	
Kitchen	WD	WD1	WD/GLZ	WD1	WD	WD1	N/A	N/A	WD	WD1	WD	WD3	WD	WD2	
Receiving	WD	WD1	WD/GLZ	WD1	WD	WD1	N/A	N/A	WD	WD1	WD	WD3	WD	WD2	
Water Closet	GWB-W	TILE2	GWB-W	TILE2	GWB-W	TILE2	GWB-W	TILE2	GWB-W	TILE2	TILE	TILE2	GWB-W	PTC3	
Laundry	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB	PTC1	GWB	PTC1	WD	WD3	GWB	PTC3	
Master Bath	GWB-W	TILE2	GWB-W	TILE2	GWB-W	TILE2	GWB-W	TILE2	GWB-W	TILE2	TILE	TILE2	GWB-W	PTC3	
Living	WD	WD1	N/A	N/A	N/A	N/A	WD/GLZ	WD1	WD/GLZ	WD1	WD	WD3	WD/GLZ	WD2	
Dining	WD	WD1	WD	WD1	WD	WD1	WD/GLZ	WD1	N/A	N/A	WD	WD3	WD/GLZ	WD2	
Foyer	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB-W	PTC1	GWB	PTC1	WD	WD3	GWB	PTC3	
Media	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB-W	PTC1	GWB	PTC1	WD	WD3	GWB	PTC3	
Master Bed	WD	WD1	WD	WD1	WD/GLZ	WD1	WD	WD1	WD	WD1	WD	WD3	WD/GLZ	WD2	
Stair 3	WD	PTC2	GWB	PTC1	GWB	PTC1	STL	STL2	GWB	PTC1	STL	STL1	GLZ	N/A	skylight @ ceiling

	Trim		North Wall		East Wall		South Wall		West Wall		Floors		Ceiling		Remarks
	Material	Finish	Material	Finish	Material	Finish	South	Finish	Material	Finish	Material	Finish	Material	Finish	
Upper Level															
Mud	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB-W	PTC1	GWB	PTC1	CONC	SEALED	GWB	PTC3	
Garage	WD	PTC2	GWB	PTC1	GWB	PTC1	GWB-W	PTC1	GWB	PTC1	CONC	SEALED	GWB	PTC3	

Legend

N/A	not applicable
GWB	gypsum wall board per spec.
GWB-W	waterproof sheathing as per spec.
CONC	concrete
TILE	ceramic tile
WD	wood
GLZ	glazing
STL	steel

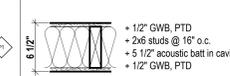
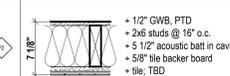
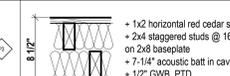
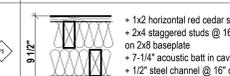
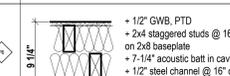
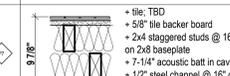
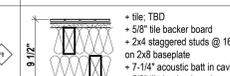
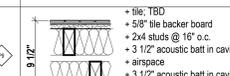
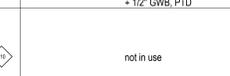
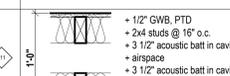
Finish Types

Paint	PTC1 - Benjamin Moore Decorators White - Egg Shell Finish PTC2 - Benjamin Moore Decorators White - Semi Gloss Finish PTC3 - Benjamin Moore Decorators White - Flat Finish (Ceilings Only)
Tile	TILE1 - white subway tile 4x16 TILE2 - white marble tile 12x24 TILE3 - white floor tile TBD TILE4 - slate floor tile TBD
Wood Cladding	WD1 - 1x2 red cedar shiplap, clear sealant, satin WD2 - 1x2 red cedar gapped boards, clear sealant, satin WD3 - 1x6 engineered hardwood flooring on concrete topping, prefinished
Concrete	SEALED - sealed concrete
Steel	STL1 - open bar grating stair treads/landings, weathering steel finish, clear sealant STL2 - wood screen; steel angle frame, weathering steel finish, clear sealant; 1x2 horizontal cedar board infill

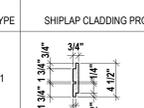
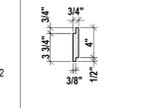
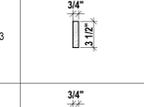
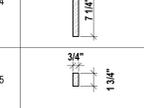
Notes

- "North" is top of drawing page for wall designations
- All wood surface cladding in bathrooms + mudroom to receive clear sealant, satin

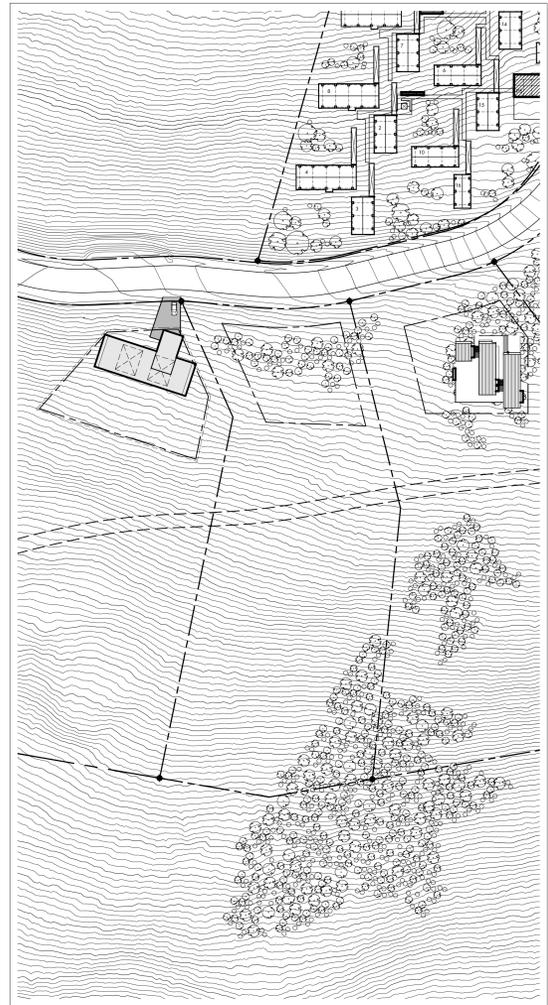
5
A001
Room Finish Schedule
NTS

TYPE	INTERIOR WALL TYPE DESCRIPTION
1	 <ul style="list-style-type: none"> 1/2" GWB, PTD 2x6 studs @ 16" o.c. 5 1/2" acoustic batt in cavity 1/2" GWB, PTD
2	 <ul style="list-style-type: none"> 1/2" GWB, PTD 2x6 studs @ 16" o.c. 5 1/2" acoustic batt in cavity 5/8" tie backer board tile, TBD
3	 <ul style="list-style-type: none"> 1x2 horizontal red cedar shiplap 2x4 staggered studs @ 16" o.c. on 2x8 baseplate 7-1/4" acoustic batt in cavity 1/2" GWB, PTD
4	not in use
5	 <ul style="list-style-type: none"> 1x2 horizontal red cedar shiplap 2x4 staggered studs @ 16" o.c. on 2x8 baseplate 7-1/4" acoustic batt in cavity 1/2" steel channel @ 16" o.c. 2 X 1/2" GWB, PTD
6	 <ul style="list-style-type: none"> 1/2" GWB, PTD 2x4 staggered studs @ 16" o.c. on 2x8 baseplate 7-1/4" acoustic batt in cavity 1/2" steel channel @ 16" o.c. 2 X 1/2" GWB, PTD
7	 <ul style="list-style-type: none"> tile, TBD 5/8" tie backer board 2x4 staggered studs @ 16" o.c. on 2x8 baseplate 7-1/4" acoustic batt in cavity 1/2" steel channel @ 16" o.c. 2 X 1/2" GWB, PTD
8	 <ul style="list-style-type: none"> tile, TBD 5/8" tie backer board 2x4 staggered studs @ 16" o.c. on 2x8 baseplate 7-1/4" acoustic batt in cavity 5/8" tie backer board tile, TBD
9	 <ul style="list-style-type: none"> tile, TBD 5/8" tie backer board 2x4 studs @ 16" o.c. 3 1/2" acoustic batt in cavity airspace 3 1/2" acoustic batt in cavity 2x4 studs @ 16" o.c. 1/2" GWB, PTD
10	not in use
11	 <ul style="list-style-type: none"> 1/2" GWB, PTD 2x4 studs @ 16" o.c. 3 1/2" acoustic batt in cavity airspace 3 1/2" acoustic batt in cavity 2x4 studs @ 16" o.c. 1/2" GWB, PTD
12	 <ul style="list-style-type: none"> 1/2" GWB, PTD 1/2" steel channel 8" concrete as per Structural 1/2" steel channel 1/2" GWB, PTD
13	 <ul style="list-style-type: none"> tile, TBD 5/8" tie backer board 8" concrete as per Structural 1/2" steel channel 1/2" GWB, PTD
14	not in use
15	not in use

4
A001
Interior Partition Types
NTS

TYPE	SHIPLAP CLADDING PROFILE
1	 <ul style="list-style-type: none"> 1x2 horizontal shiplap boards; clear western red cedar
2	 <ul style="list-style-type: none"> 1x4 horizontal shiplap boards; select tight knot western red cedar
3	 <ul style="list-style-type: none"> 1x4 horizontal boards; select tight knot western red cedar
4	 <ul style="list-style-type: none"> 1x8 vertical & horizontal boards; select tight knot western red cedar boards
5	 <ul style="list-style-type: none"> 1x2 horizontal boards; clear western red cedar

3
A001
Cladding Profiles
NTS



2
A001
Key Plan
Scale 1/64" = 1'-0"

AD	AREA DRAIN	MO	MASONRY OPENING
ADJ	ADJACENT	MECH	MECHANICAL
AFF	ABOVE FINISHED FLOOR	MEMBR	MEMBRANE
ALUM	ALUMINUM	MIN	MINIMUM
ANOD	ANODIZED	MRGWB	MOISTURE RESISTANT GYPSUM WALL BOARD
BSMT	BASEMENT		
BYOND	BEYOND		
BOT	BOTTOM	MTL	METAL
B/W	BETWEEN	NIC	NOT IN CONTRACT
CHNL	CHANNEL	NOM	NOMINAL
CJ	CONTROL JOINT	OC	ON CENTER
CLG	CEILING	OH	OPPOSITE HAND
CLR	CLEAR	OZ	OUNCE
CMU	CONCRETE MASONRY UNIT	PCC	PRE-CAST CONCRETE
COP	CENTERLINE OF WOOD FRAMING	PLYD	PLYWOOD
COL	COLUMN	PT	PRESSURE TREATED
CONC	CONCRETE	PTD	PAINTED
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CPT	CARPET	RCP	REFLECTED CEILING PLAN
CT	CERAMIC TILE	RD	ROOF DRAIN
DBL	DOUBLE	REQD	REQUIRED
DIA	DIAMETER	REV	REVERSE
DIMS	DIMENSIONS	RM	ROOM
DN	DOWN	SIM	SIMILAR
DR	DOOR	SPEC	SPECIFIED OR SPECIFICATION
DWG	DRAWING	SPK	SPRINKLER
EA	EACH	STL	STAINLESS STEEL
EL	ELEVATION	STC	SOUND TRANSMISSION COEFFICIENT
ELEC	ELECTRICAL	STL	STEEL
ELEV	ELEVATOR / ELEVATION	STRUCT	STRUCTURAL
EQ	EQUAL	TELE	TELEPHONE
FOC	FACE OF CONCRETE	TLT	TOILET
FOF	FACE OF WOOD FRAMING	TOP	TOP OF
FDN	FOUNDATION	TOC	TOP OF CONCRETE
GA	GALVANE	TOS	TOP OF STEEL
GALV	GALVANIZED	TP	TOILET PAPER DISPENSER
GWB	GYPSUM WALL BOARD	TYP	TYPICAL
HC	HOLLOW CORE	UNL	UNLESS OTHERWISE NOTED
HI	HIGH	US	UNDERSIDE
HM	HOLLOW METAL	VIF	VERIFY IN FIELD
HP	HIGH POINT	VP	VISION PANEL
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	VYP	TYPICAL
	IN LIEU OF	VIF	VERIFY IN FIELD
ILO	INSULATED	WI	WITH
INT	INTERIOR	WD	WOOD
LO	LOW	FOC	FACE OF CONCRETE
MAX	MAXIMUM	FOF	FACE OF FRAME

NOTES:

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SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.

Abbreviations, Key Plan & Partition Types

scale: AS NOTED
date: 2016-02-26
drawn: F
checked: BML

A001

1
A001
Abbreviations
NTS

Lot 14 Mountain House

MacKay Lyons Swetshops Architects Limited

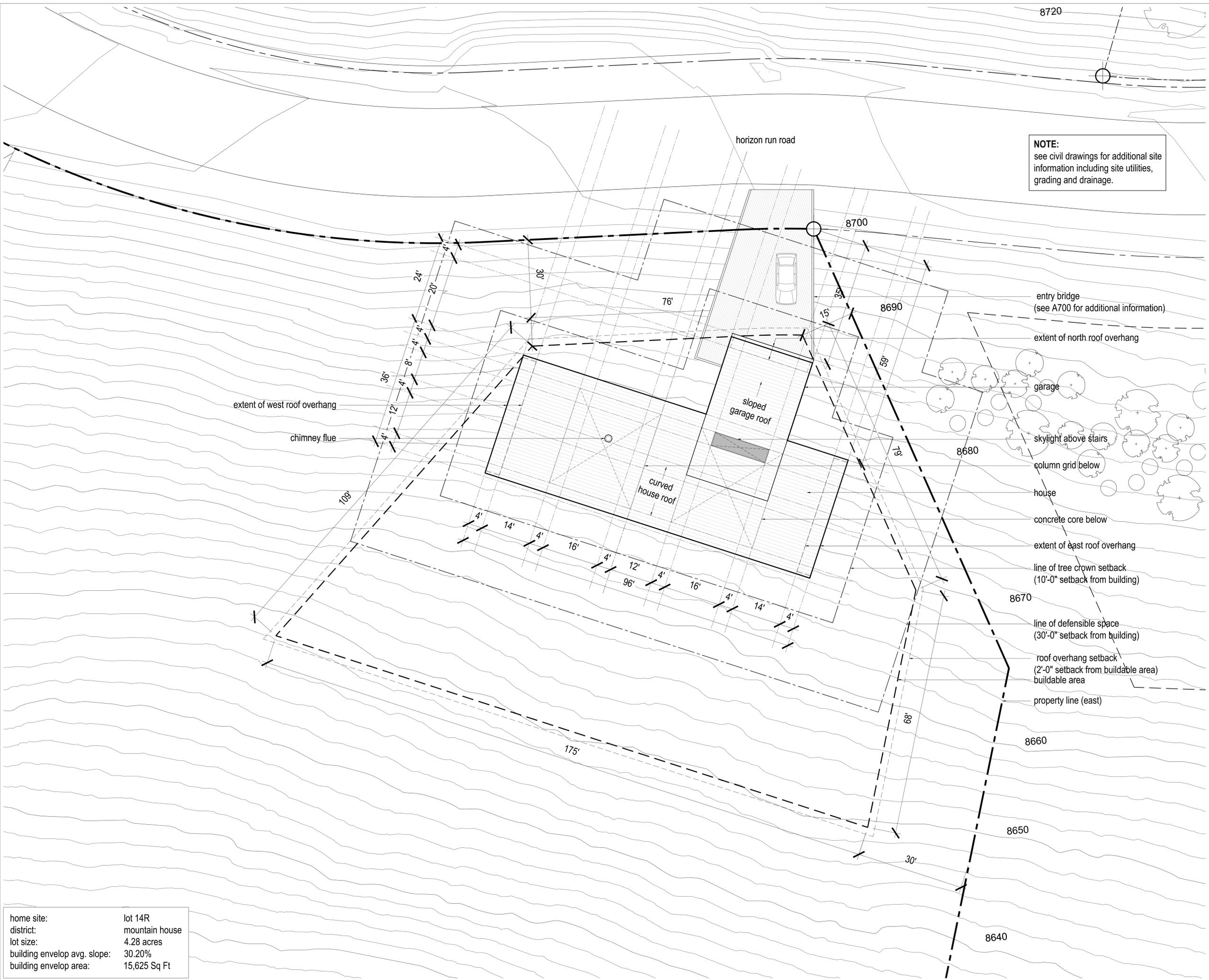
2188 Goffigan St.
Hillside, New South Wales
Canada B3K 3B4

ph: (602) 429-1867
fax: (602) 429-1239

Scale: 1/64" = 1'-0"

Scale: AS NOTED
date: 2016-02-26
drawn: F
checked: BML

A001



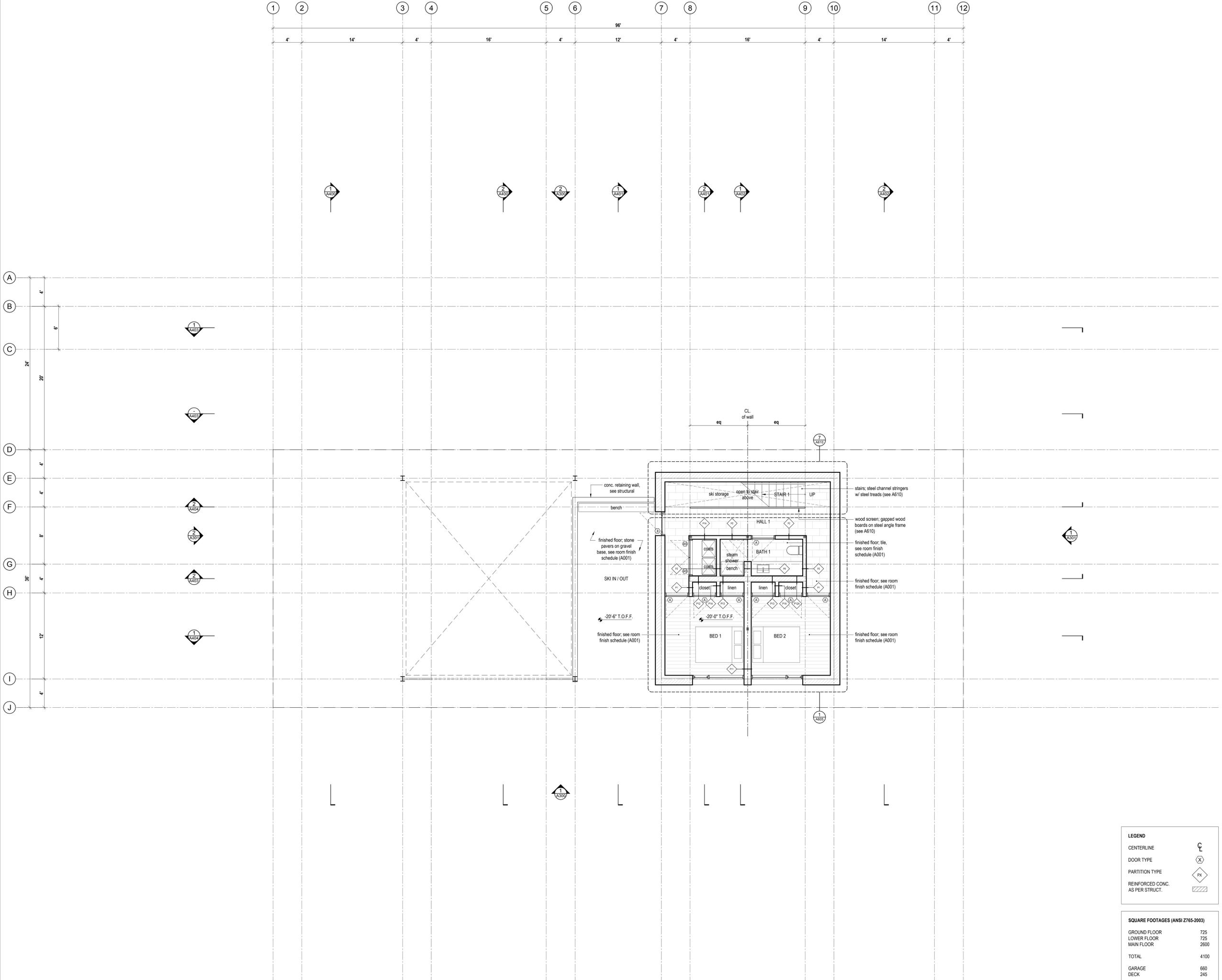
NOTE:
 see civil drawings for additional site
 information including site utilities,
 grading and drainage.

- entry bridge
(see A700 for additional information)
- extent of north roof overhang
- garage
- skylight above stairs
- column grid below
- house
- concrete core below
- extent of east roof overhang
- line of tree crown setback
(10'-0" setback from building)
- line of defensible space
(30'-0" setback from building)
- roof overhang setback
(2'-0" setback from buildable area)
- buildable area
- property line (east)

home site: lot 14R
 district: mountain house
 lot size: 4.28 acres
 building envelop avg. slope: 30.20%
 building envelop area: 15,625 Sq Ft

No.	Description	Date
02	Issued for Pricing	2018.05.30
01	Issued for Coordination	2018.05.08

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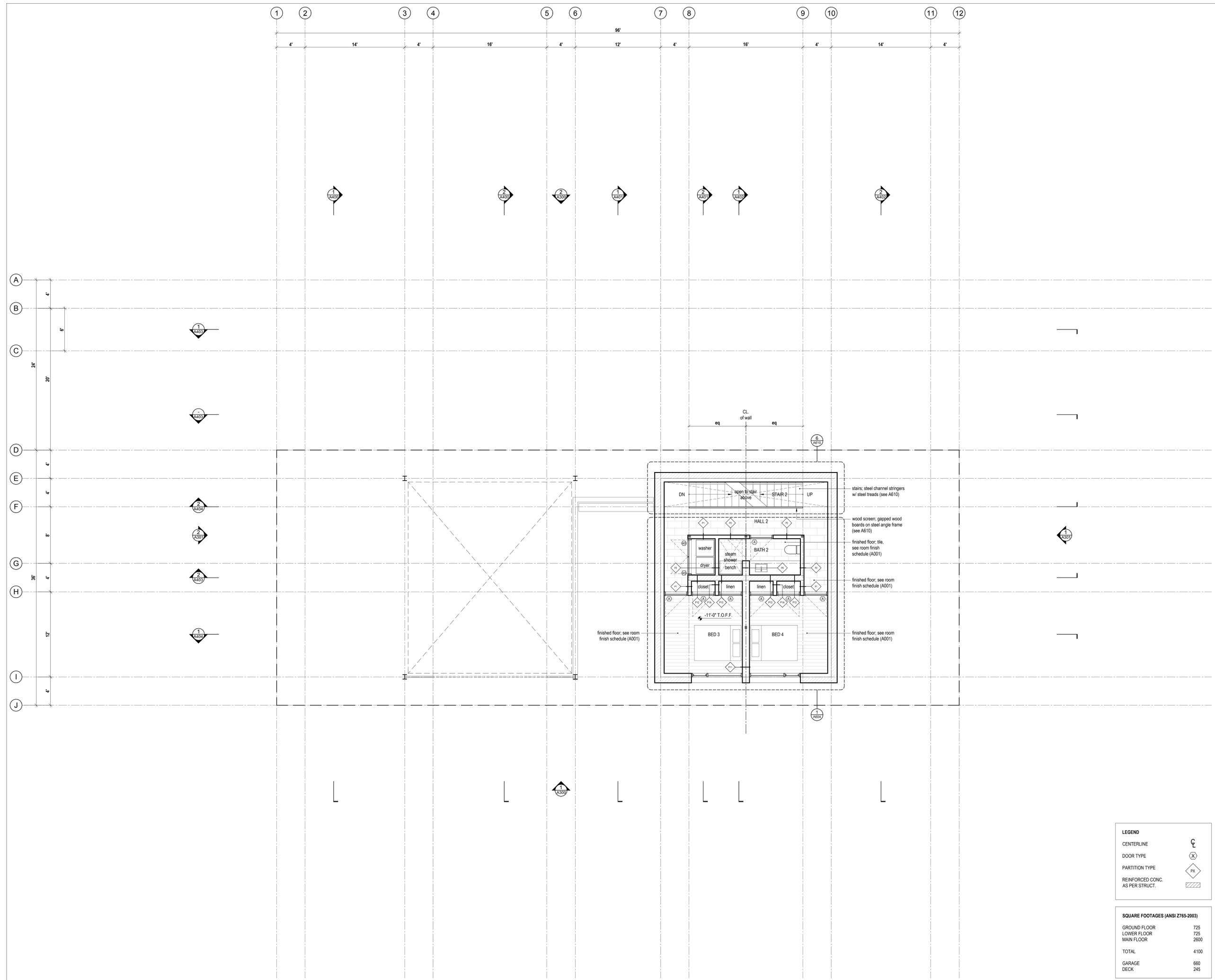
1 Ground Floor Plan
 Scale 1/4" = 1'-0"

LEGEND	
CENTERLINE	
DOOR TYPE	
PARTITION TYPE	
REINFORCED CONC. AS PER STRUCT.	

SQUARE FOOTAGES (ANSI Z765-2003)	
GROUND FLOOR	725
LOWER FLOOR	725
MAIN FLOOR	2600
TOTAL	4100
GARAGE	660
DECK	245

No.	Description	Date
02	Issued for Pricing	2018.05.30
01	Issued for Coordination	2018.05.08

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LEGEND

CENTERLINE

DOOR TYPE

PARTITION TYPE

REINFORCED CONC. AS PER STRUCT.

SQUARE FOOTAGES (ANSI Z765-2003)

GROUND FLOOR	725
LOWER FLOOR	725
MAIN FLOOR	2600
TOTAL	4100
GARAGE	660
DECK	245

02	Issued for Pricing	2018.05.30
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No.	Description	Date
Revision:		

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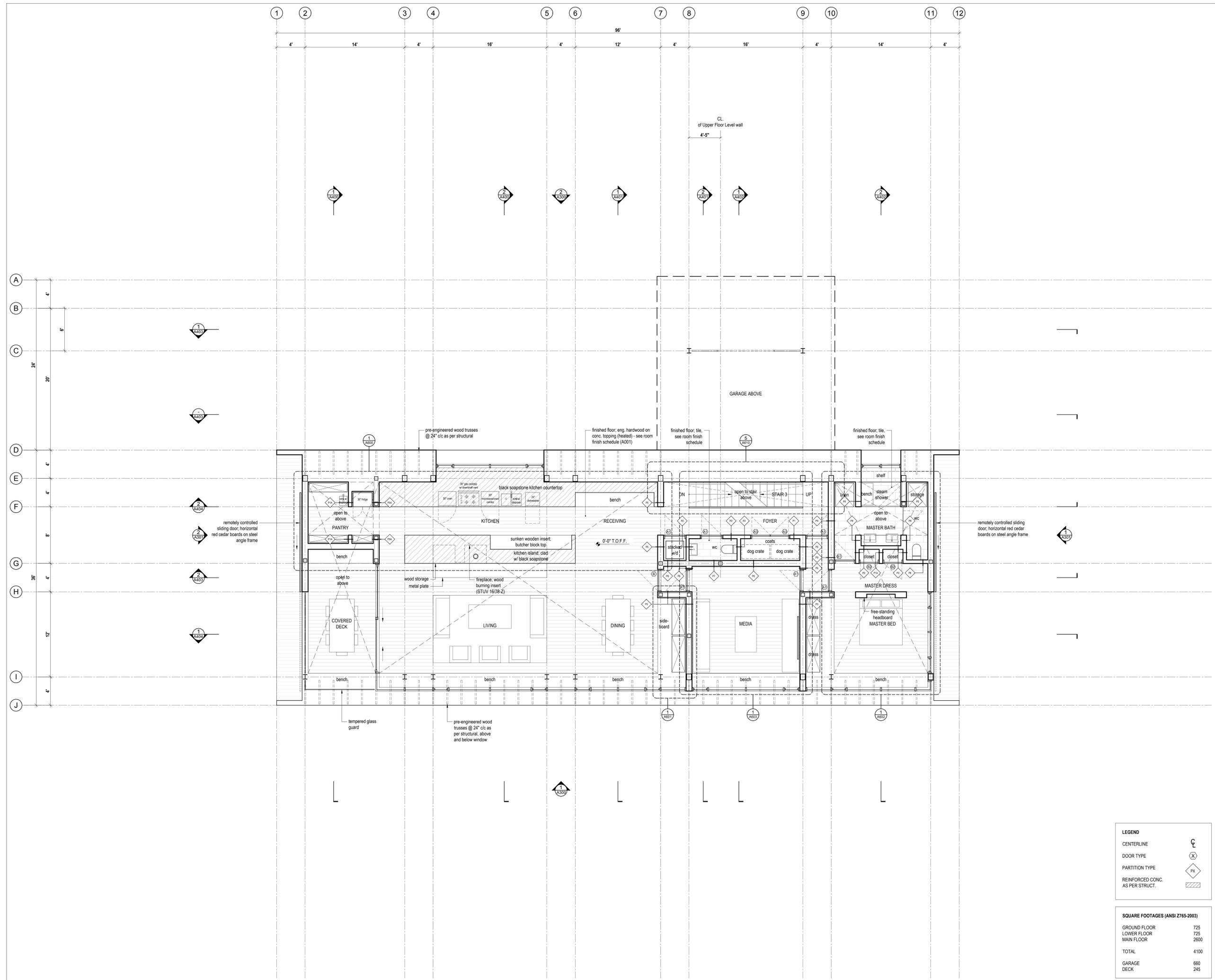
SHOP DRAWINGS:
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Floor Plans

scale: 1/4" = 1'-0"
date: 2018-02-20
drawn: MB
checked: BNL

A201

1 Lower Floor Plan
Scale 1/4" = 1'-0"



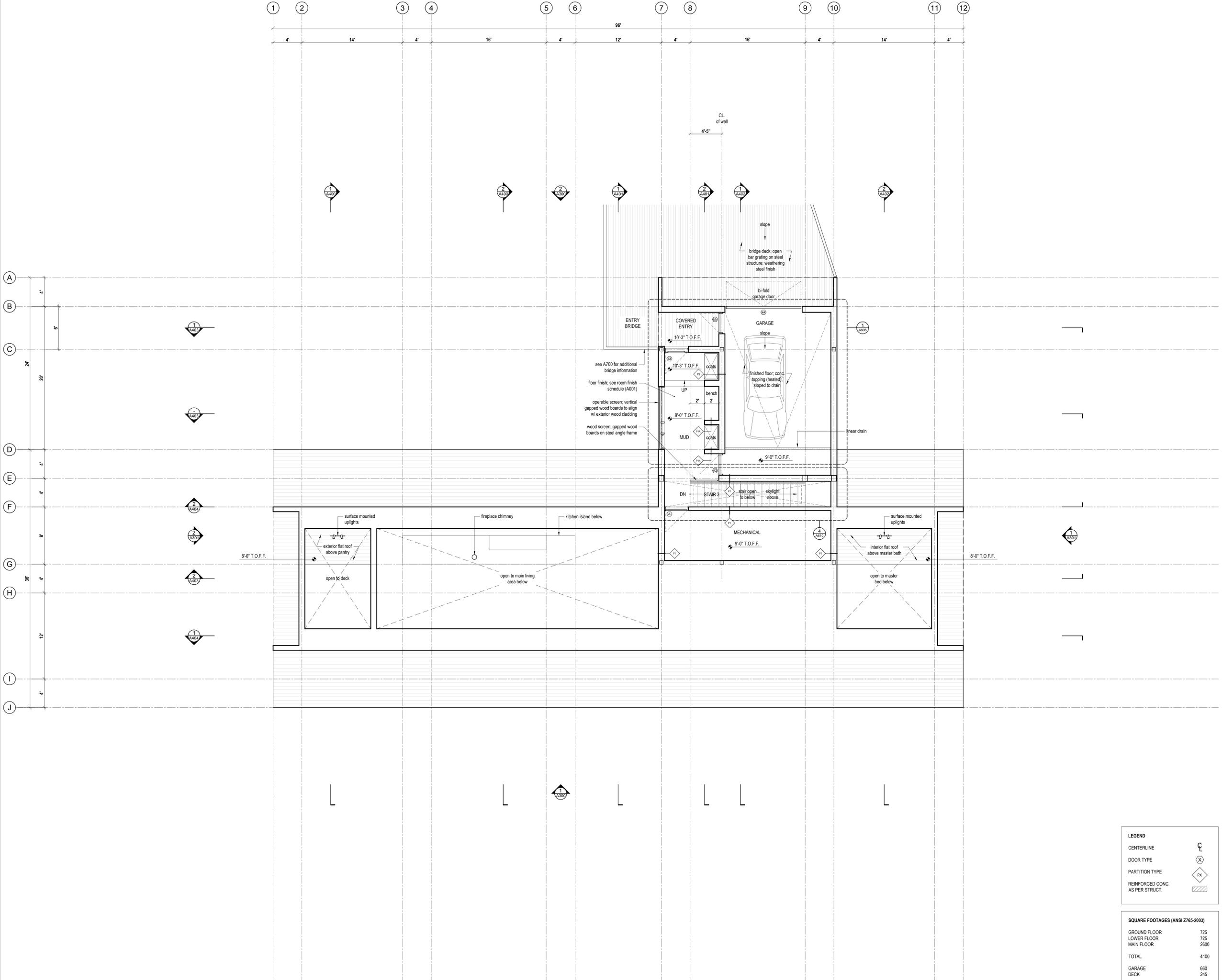
1 Main Floor Plan
 Scale 1/4" = 1'-0"

LEGEND	
CENTERLINE	
DOOR TYPE	
PARTITION TYPE	
REINFORCED CONC. AS PER STRUCT.	

SQUARE FOOTAGES (ANSI Z765-2003)	
GROUND FLOOR	725
LOWER FLOOR	725
MAIN FLOOR	2600
TOTAL	4100
GARAGE	660
DECK	245

No.	Description	Date
02	Issued for Pricing	2018.05.30
01	Issued for Coordination	2018.05.08

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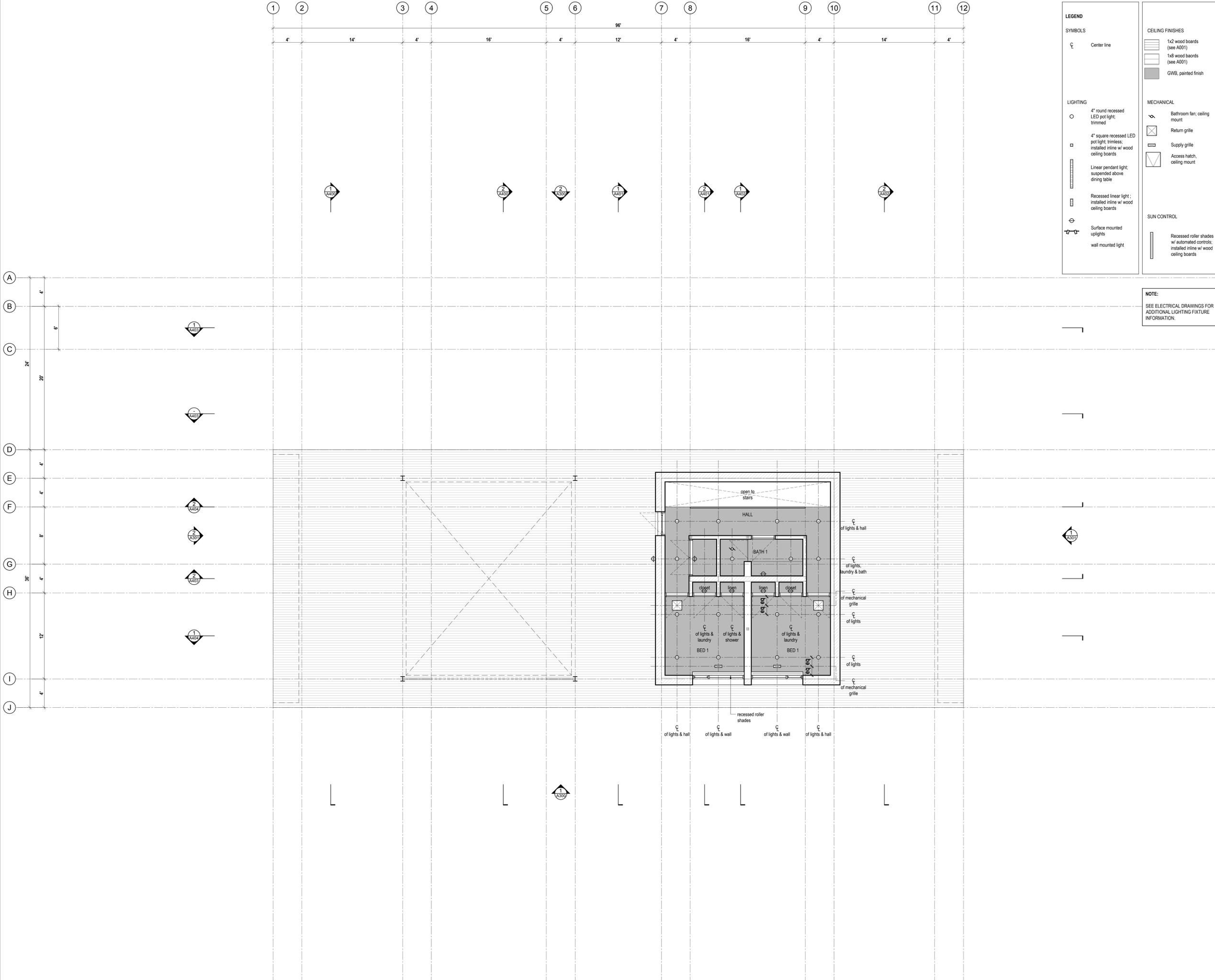
Upper Floor Plan
Scale 1/4" = 1'-0"

LEGEND	
CENTERLINE	
DOOR TYPE	
PARTITION TYPE	
REINFORCED CONC. AS PER STRUCT.	

SQUARE FOOTAGES (ANSI Z765-2003)	
GROUND FLOOR	725
LOWER FLOOR	725
MAIN FLOOR	2600
TOTAL	4100
GARAGE	660
DECK	245

No.	Description	Date
02	Issued for Pricing	2016.05.30
01	Issued for Coordination	2016.05.08

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SHOP DRAWINGS:
 Submit shop drawings to the Architect and Engineer for approval prior to manufacture of precast/concrete elements of the building.



LEGEND

SYMBOLS

Center line

LIGHTING

4" round recessed LED pot light; trimmed

4" square recessed LED pot light; trimless; installed inline w/ wood ceiling boards

Linear pendant light; suspended above dining table

Recessed linear light; installed inline w/ wood ceiling boards

Surface mounted uplights

wall mounted light

CEILING FINISHES

1x2 wood boards (see A001)

1x6 wood boards (see A001)

GWB, painted finish

MECHANICAL

Bathroom fan; ceiling mount

Return grille

Supply grille

Access hatch; ceiling mount

SUN CONTROL

Recessed roller shades w/ automated controls; installed inline w/ wood ceiling boards

NOTE:
SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING FIXTURE INFORMATION.

02	Issued for Pricing	2018.05.30
01	Issued for Coordination	2018.05.08
No.	Description	Date

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Reflected Ceiling Plans

scale: 1/4" = 1'-0"

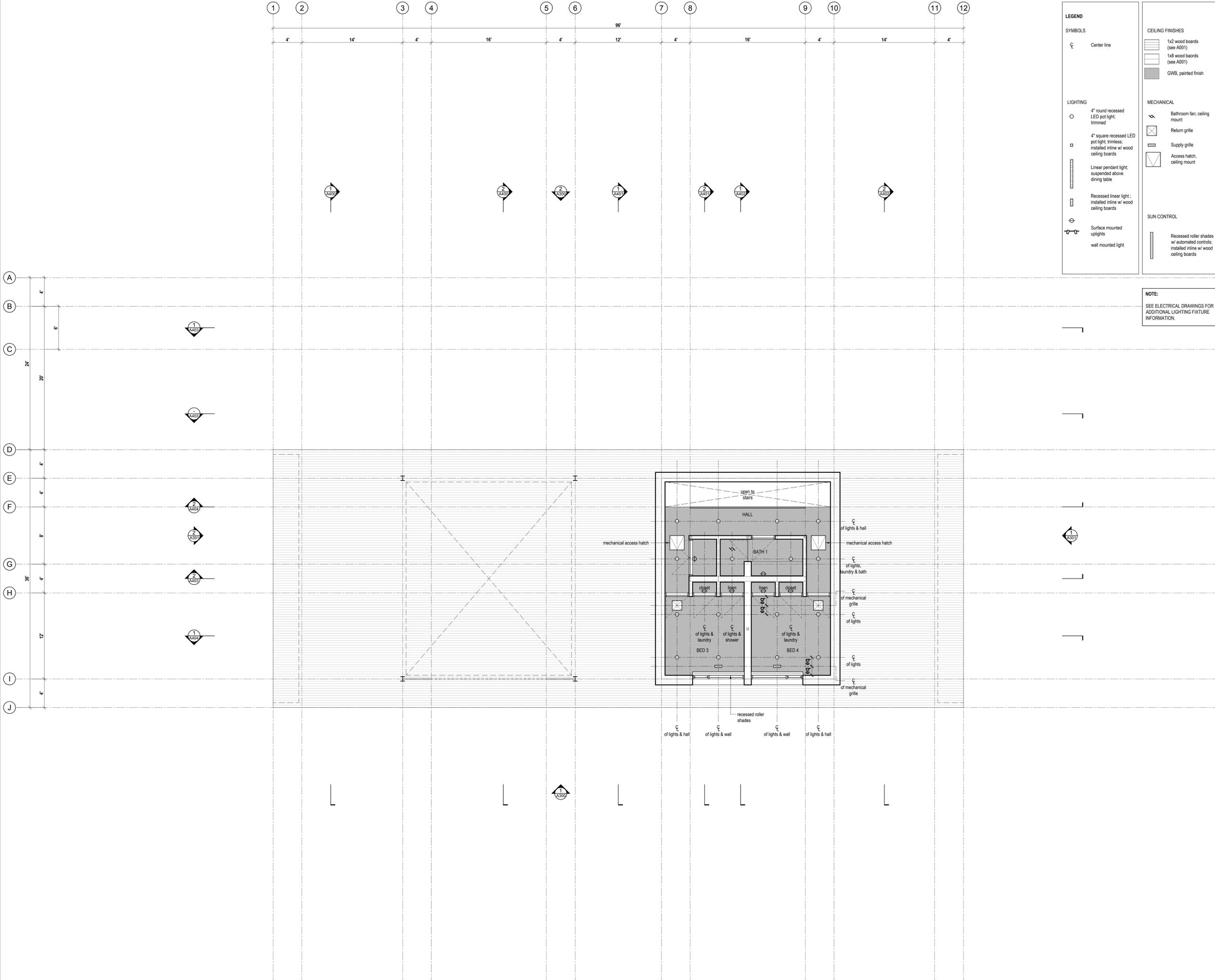
date: 2018-04-10

drawn: MB

checked: BML

A204

Reflected Ceiling Plan - Ground Floor
Scale 1/4" = 1'-0"



LEGEND

SYMBOLS

- Center line

LIGHTING

- 4" round recessed LED pot light; trimmed
- 4" square recessed LED pot light; trimless; installed inline w/ wood ceiling boards
- Linear pendant light; suspended above dining table
- Recessed linear light; installed inline w/ wood ceiling boards
- Surface mounted uplights
- wall mounted light

CEILING FINISHES

- 1x2 wood boards (see A001)
- 1x6 wood boards (see A001)
- GWB, painted finish

MECHANICAL

- Bathroom fan; ceiling mount
- Return grille
- Supply grille
- Access hatch; ceiling mount

SUN CONTROL

- Recessed roller shades w/ automated controls; installed inline w/ wood ceiling boards

NOTE:
SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING FIXTURE INFORMATION.

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01	Issued for Coordination	2016.05.08
No.	Description	Date

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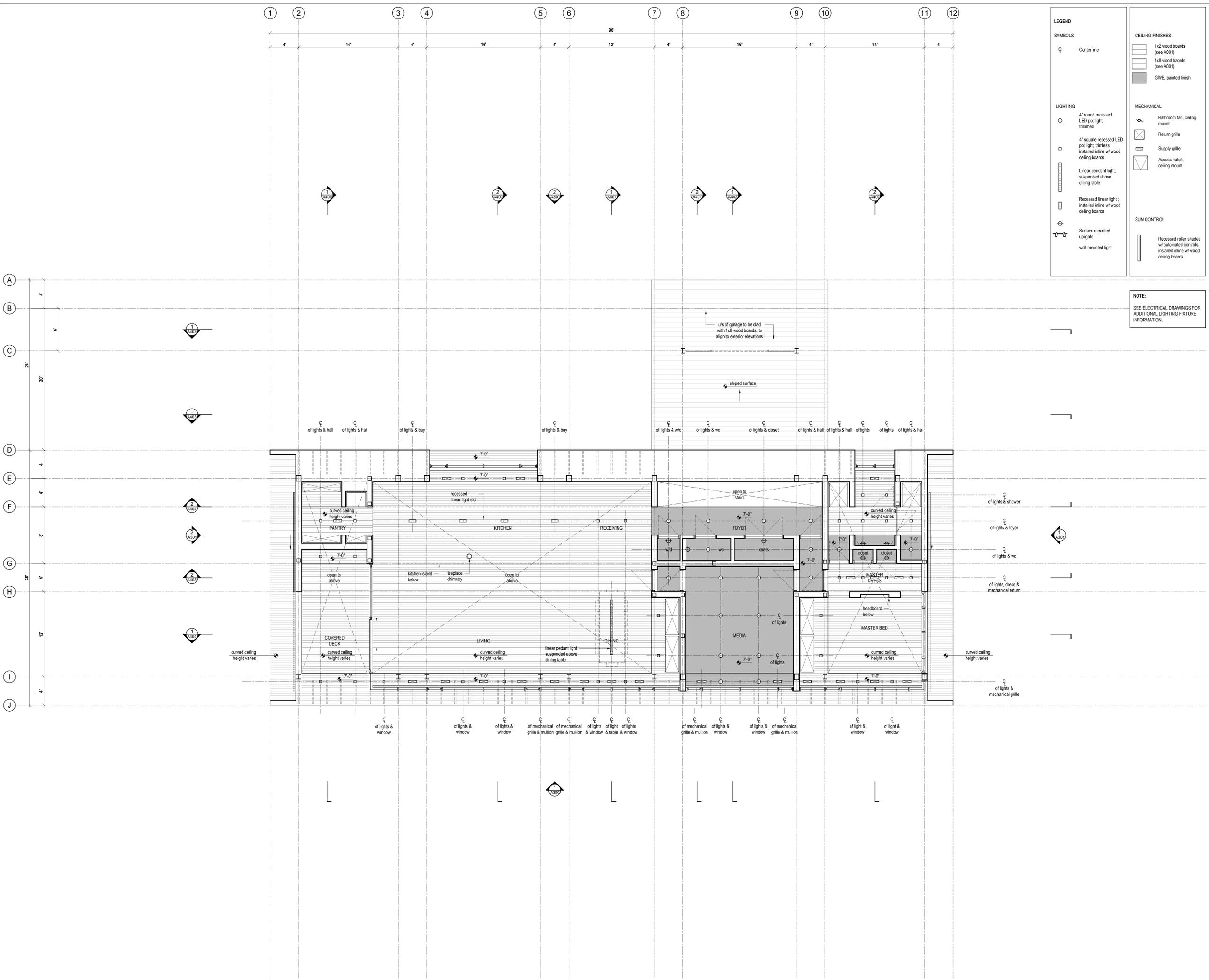
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SHOP DRAWINGS:
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LEGEND

SYMBOLS

Center line

LIGHTING

4" round recessed LED pot light; trimmed

4" square recessed LED pot light; trimless; installed inline w/ wood ceiling boards

Linear pendant light; suspended above dining table

Recessed linear light; installed inline w/ wood ceiling boards

Surface mounted uplights

wall mounted light

CEILING FINISHES

1x2 wood boards (see A001)

1x6 wood boards (see A001)

GWB, painted finish

MECHANICAL

Bathroom fan; ceiling mount

Return grille

Supply grille

Access hatch; ceiling mount

SUN CONTROL

Recessed roller shades w/ automated controls; installed inline w/ wood ceiling boards

NOTE:
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Reflected Ceiling Plan - Main Floor
Scale 1/4" = 1'-0"

LEGEND

SYMBOLS

Center line

LIGHTING

4" round recessed LED pot light; trimmed

4" square recessed LED pot light; trimless; installed inline w/ wood ceiling boards

Linear pendant light; suspended above dining table

Recessed linear light; installed inline w/ wood ceiling boards

Surface mounted uplights

wall mounted light

CEILING FINISHES

1x2 wood boards (see A001)

1x6 wood boards (see A001)

GWB, painted finish

MECHANICAL

Bathroom fan; ceiling mount

Return grille

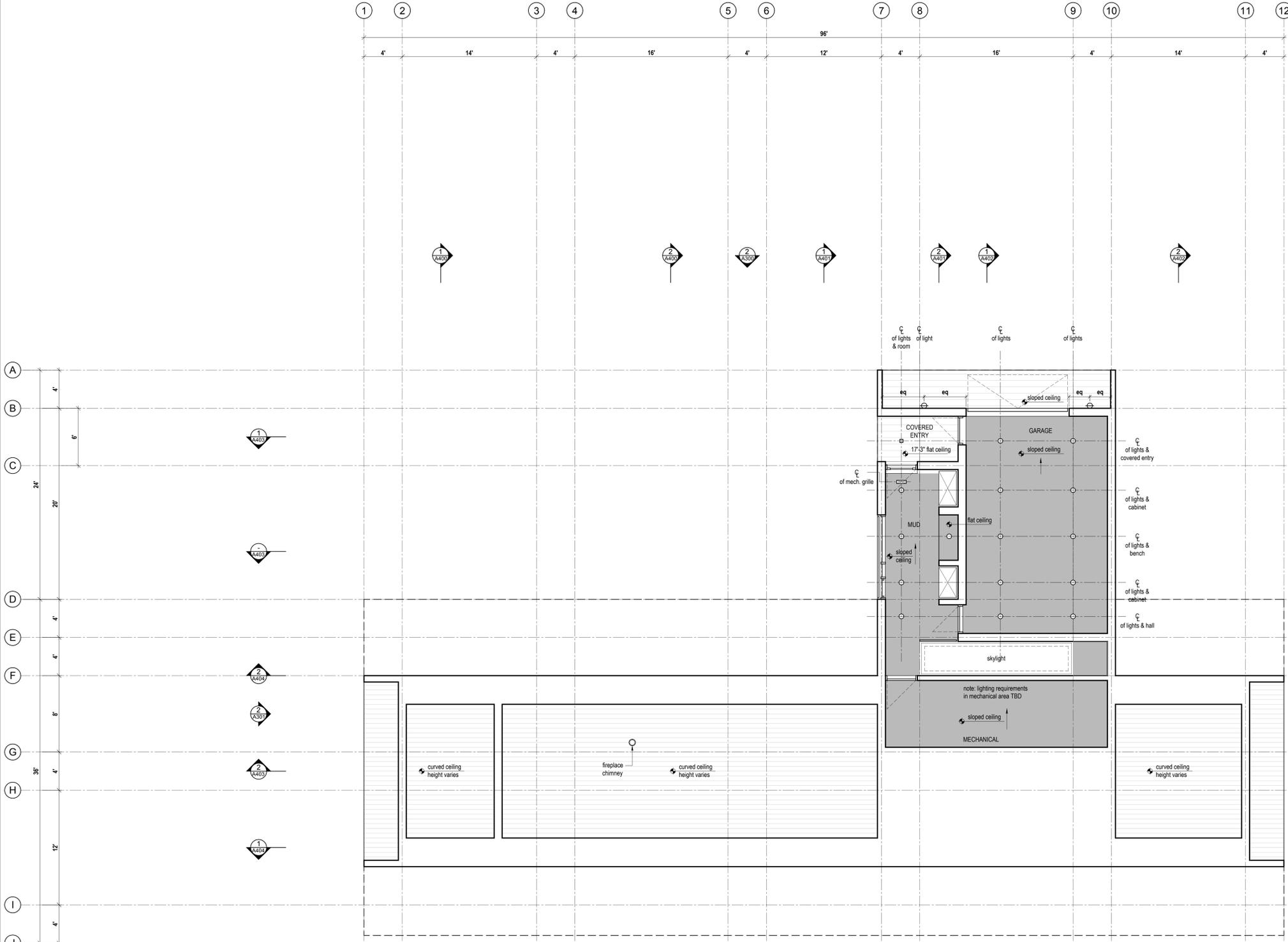
Supply grille

Access hatch; ceiling mount

SUN CONTROL

Recessed roller shades w/ automated controls; installed inline w/ wood ceiling boards

NOTE:
SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING FIXTURE INFORMATION.



Reflected Ceiling Plan - Upper Floor
Scale 1/4" = 1'-0"

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01	Issued for Coordination	2018.05.08

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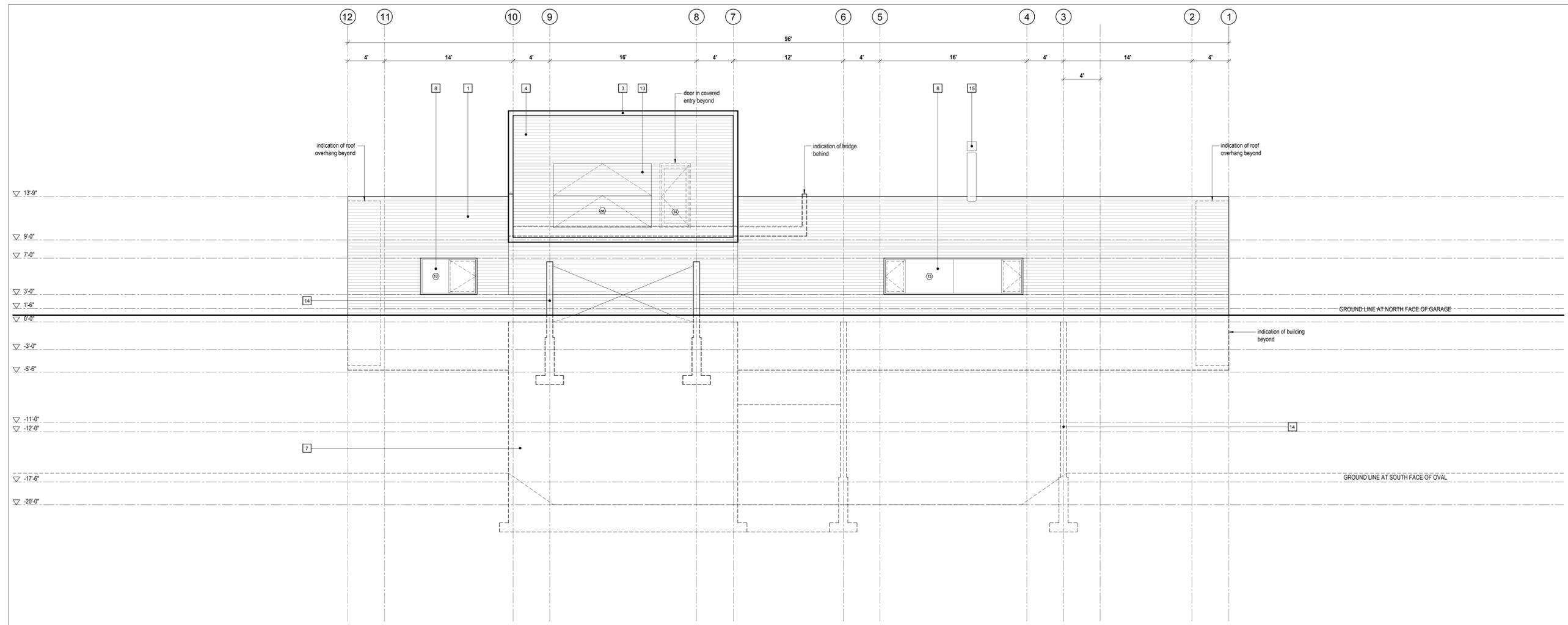
Reflected Ceiling Plans

scale: 1/4" = 1'-0"
date: 2018-04-10
drawn: MB
checked: BML

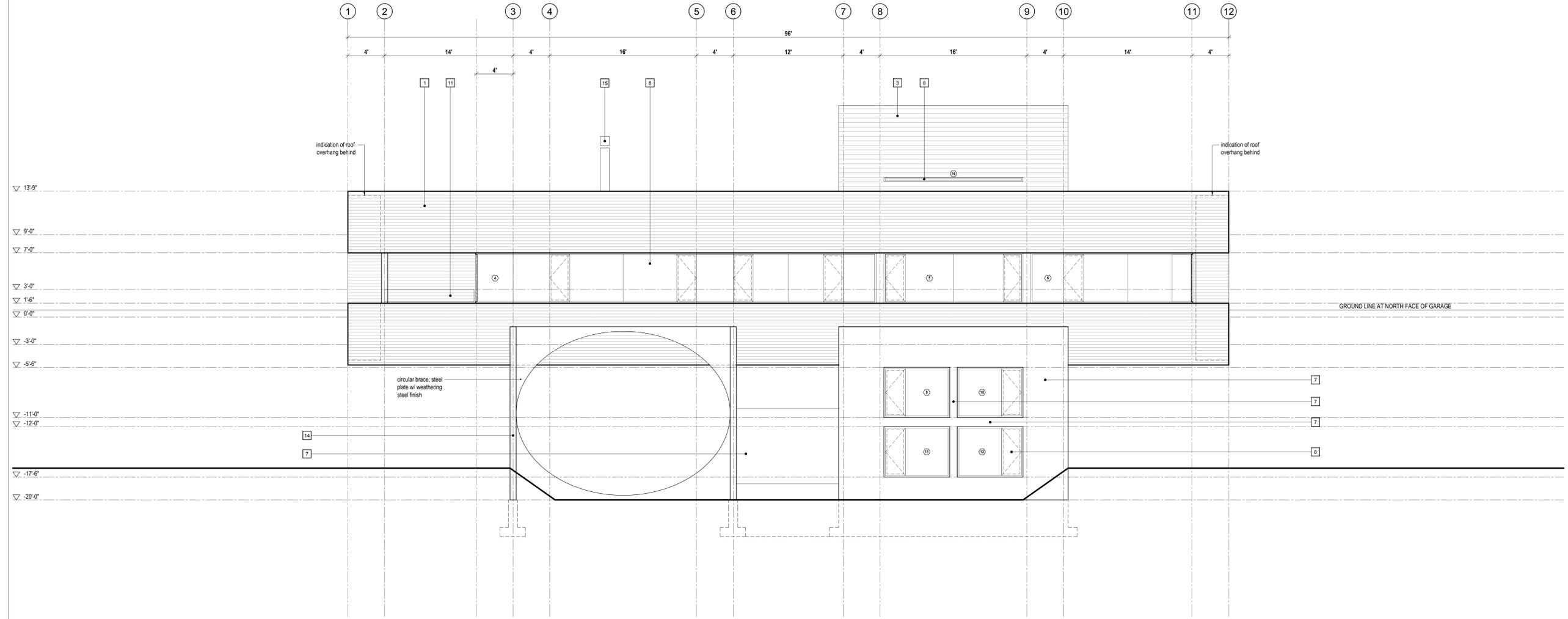
A207

LEGEND

- 1 1x4 horizontal western red cedar boards
- 2 1x8 vertical western red cedar boards
- 3 1x8 horizontal western red cedar boards
- 4 1x4 horizontal western red cedar shiplap
- 5 aluminum flashing, to match window finish
- 6 1x2 horizontal western red cedar shiplap
- 7 horizontal 8" board-formed concrete
- 8 glazing system - see window/door schedule
- 9 sliding glazing system - see window/door schedule
- 10 skylight system - see window/door schedule
- 11 tempered glass guard
- 12 sliding window shutter: 1x4 horizontal western red cedar boards on steel angle frame
- 13 bi-fold garage door clad w/ 1x4 horizontal western red cedar shiplap; align w/ exterior siding
- 14 weathering steel structure
- 15 weathering steel chimney
- 16 bridge, open bar grating on steel structure, weathering steel finish



2 Exterior Elevation - North
Scale 1/4" = 1'-0"



1 Exterior Elevation - South
Scale 1/4" = 1'-0"

No.	Description	Date
01	Issued for Coordination	2018.05.08
02	Issued for Pricing	2018.05.30

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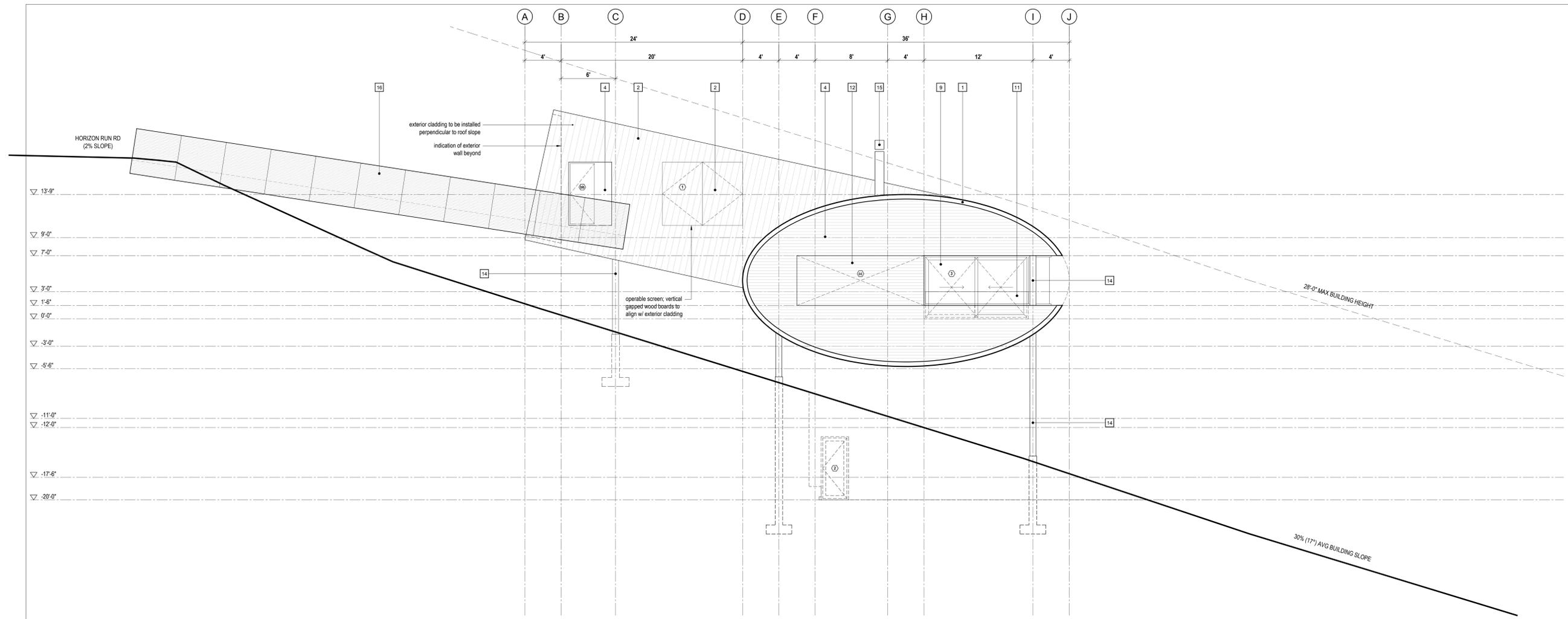
WARNINGS:
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SHOP DRAWINGS:
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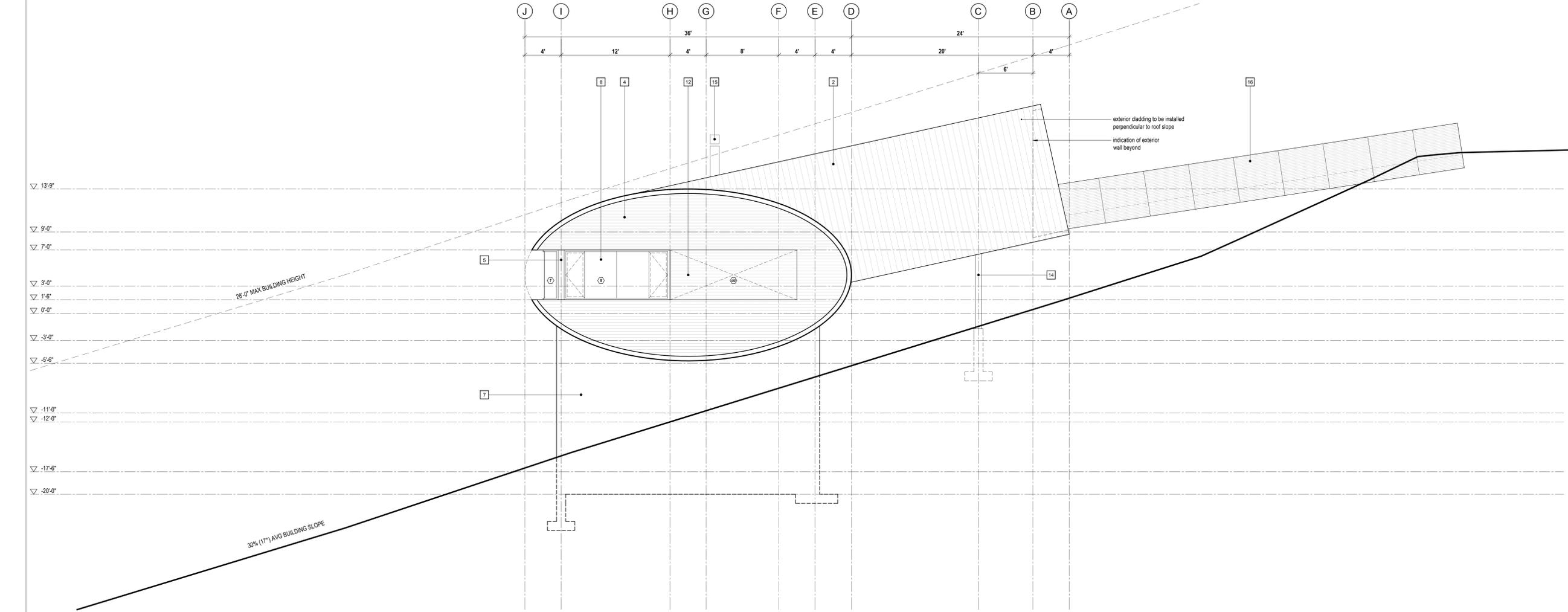
Exterior Elevations

LEGEND

- 1 1x4 horizontal western red cedar boards
- 2 1x6 vertical western red cedar boards
- 3 1x8 horizontal western red cedar boards
- 4 1x4 horizontal western red cedar shiplap
- 5 aluminum flashing, to match window finish
- 6 1x2 horizontal western red cedar shiplap
- 7 horizontal 8" board-formed concrete
- 8 glazing system - see window/door schedule
- 9 sliding glazing system - see window/door schedule
- 10 skylight system - see window/door schedule
- 11 tempered glass guard
- 12 sliding window shutter: 1x4 horizontal western red cedar boards on steel angle frame
- 13 bi-fold garage door clad w/ 1x4 horizontal western red cedar shiplap; align w/ exterior siding
- 14 weathering steel structure
- 15 weathering steel chimney
- 16 bridge, open bar grating on steel structure; weathering steel finish



2 Exterior Elevation - West
Scale 1/4" = 1'-0"



1 Exterior Elevation - East
Scale 1/4" = 1'-0"

02	DD Issued for Pricing	2016.05.30
01	Issued for Coordination	2016.05.08
No.	Description	Date
Revision:		

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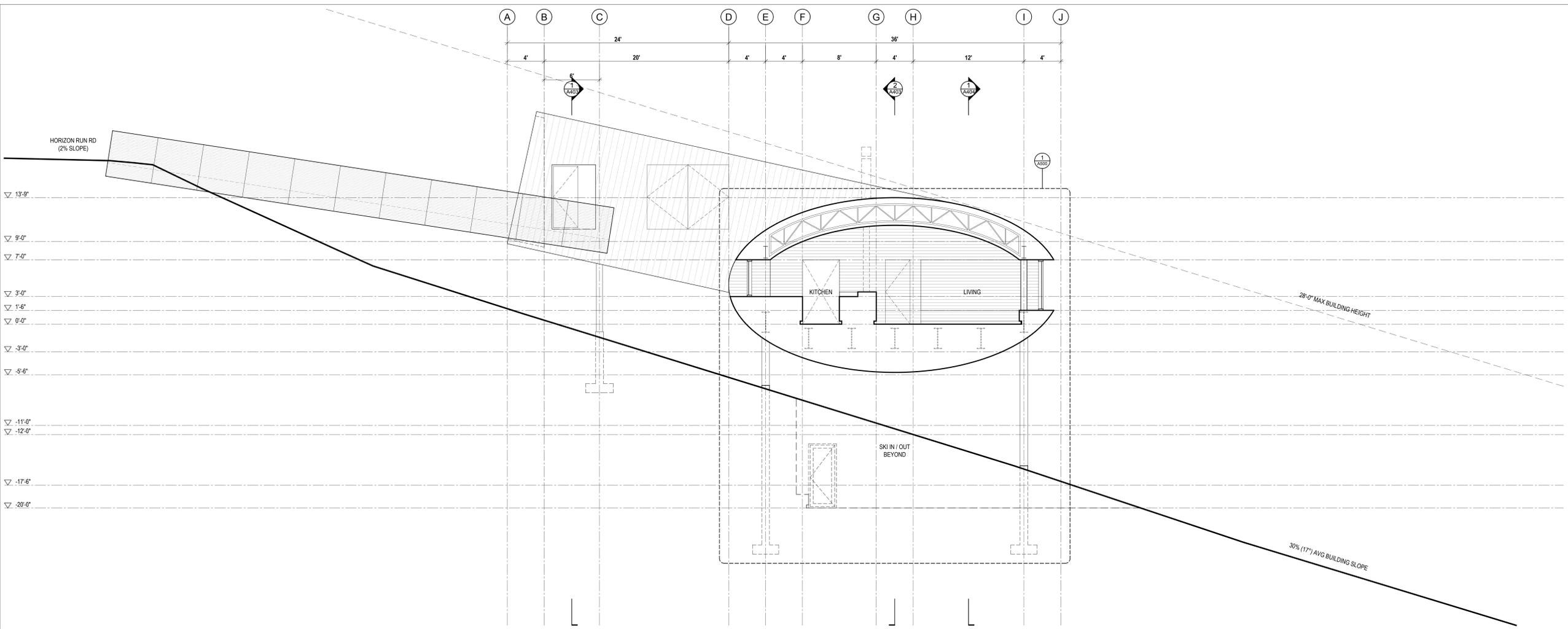
DISCLAIMER:
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SHOP DRAWINGS:
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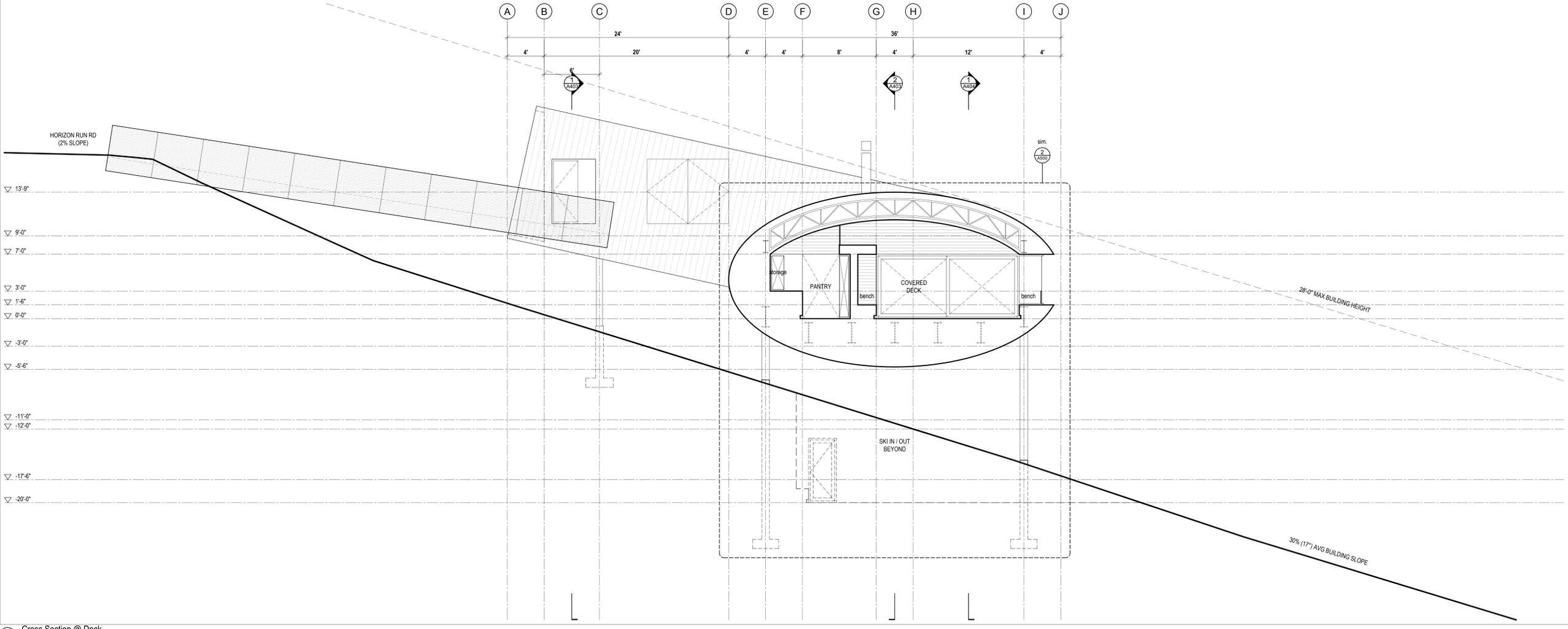
Exterior Elevations

scale: 1/4" = 1'-0"
date: 2016-02-20
drawn: B
checked: BNL

A301



2 Cross Section @ Kitchen
Scale 1/4" = 1'-0"



1 Cross Section @ Deck
Scale 1/4" = 1'-0"

No.	Description	Date
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01	Issued for Coordination	2016.05.08

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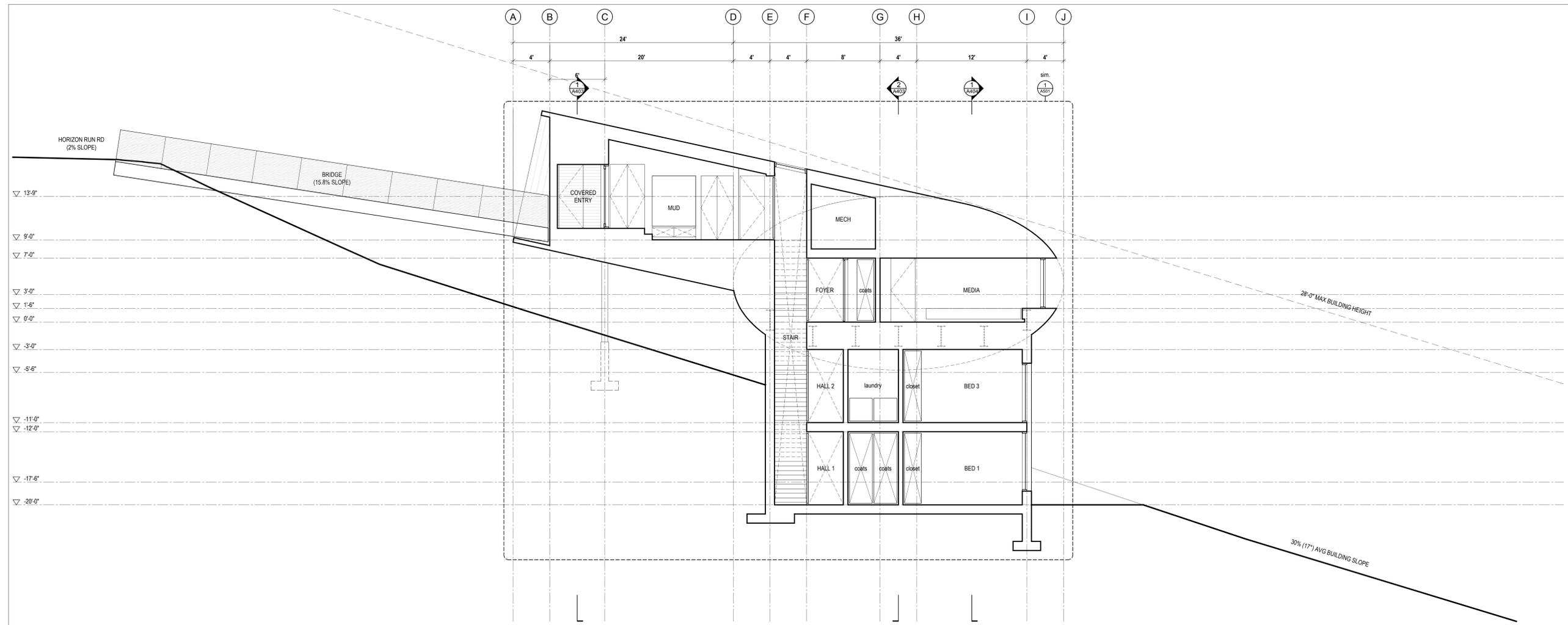
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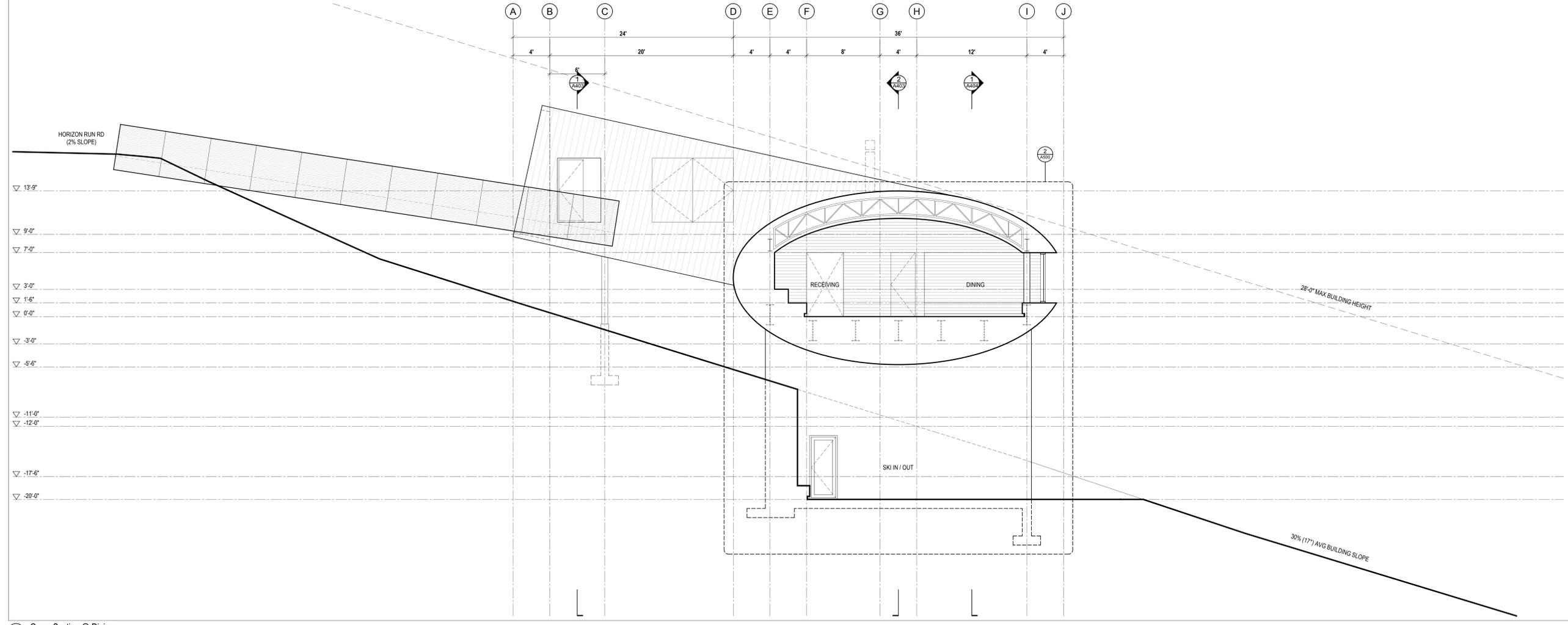
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Building Sections



2 Cross Section @ Mud
Scale 1/4" = 1'-0"



1 Cross Section @ Dining
Scale 1/4" = 1'-0"

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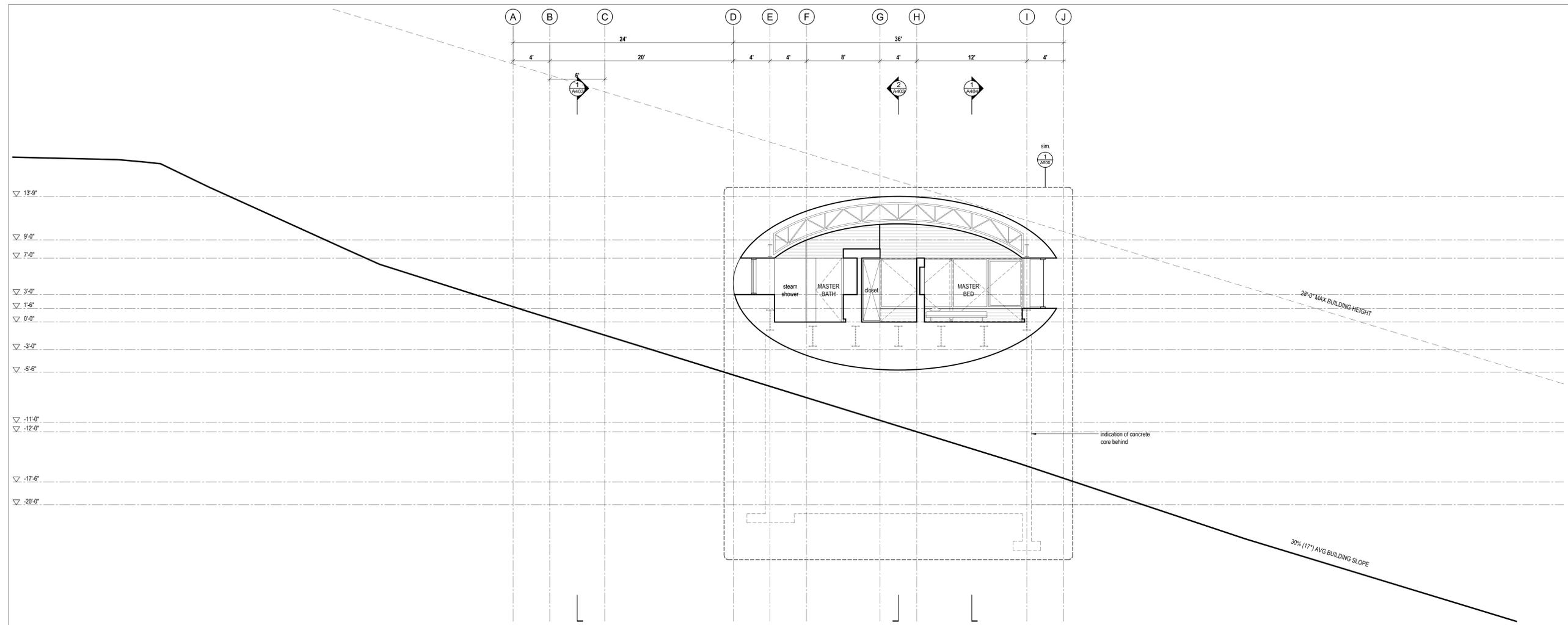
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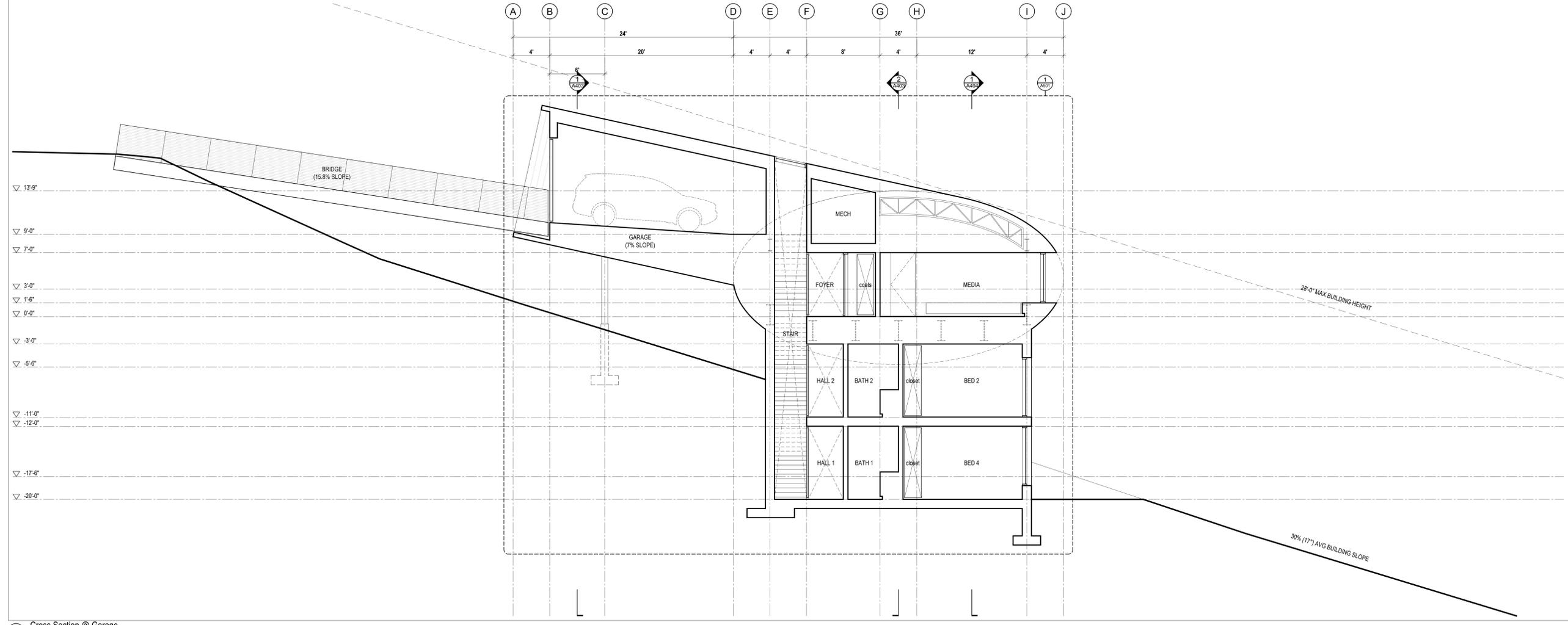
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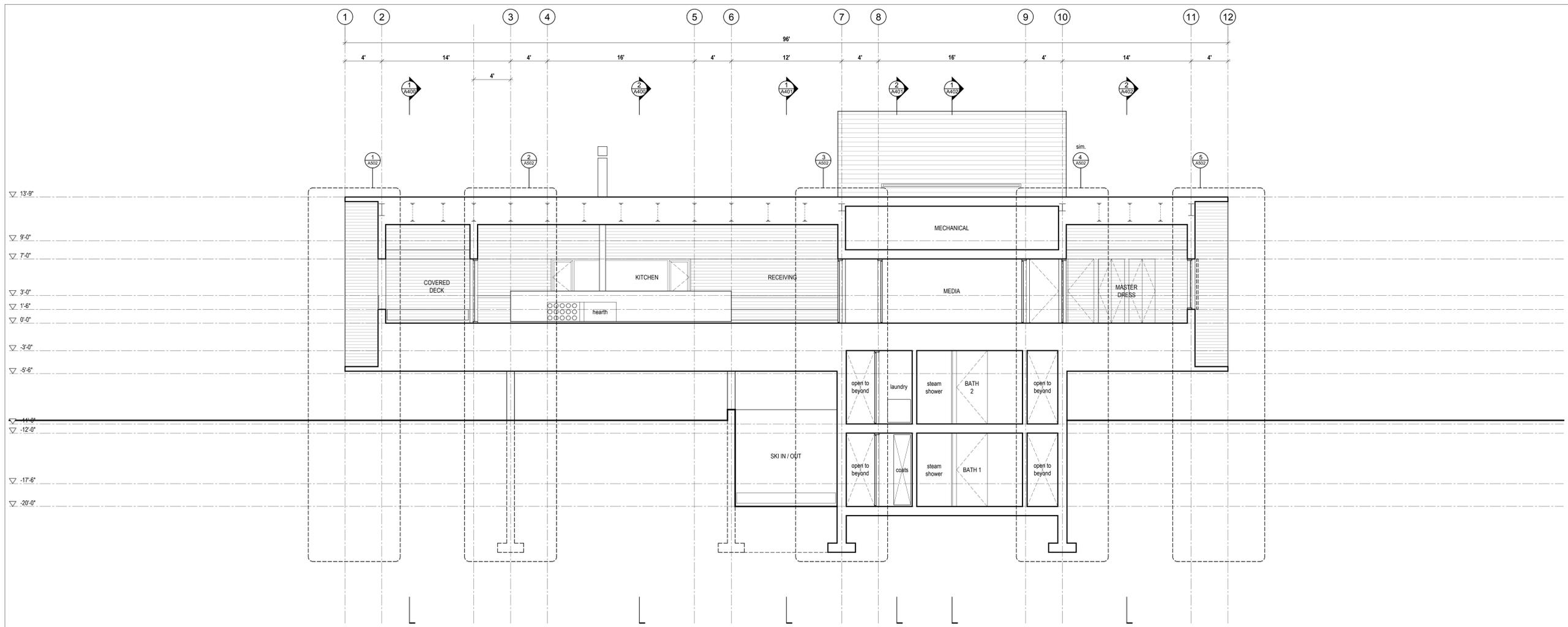
2 Cross Section @ Master Bed
Scale 1/4" = 1'-0"



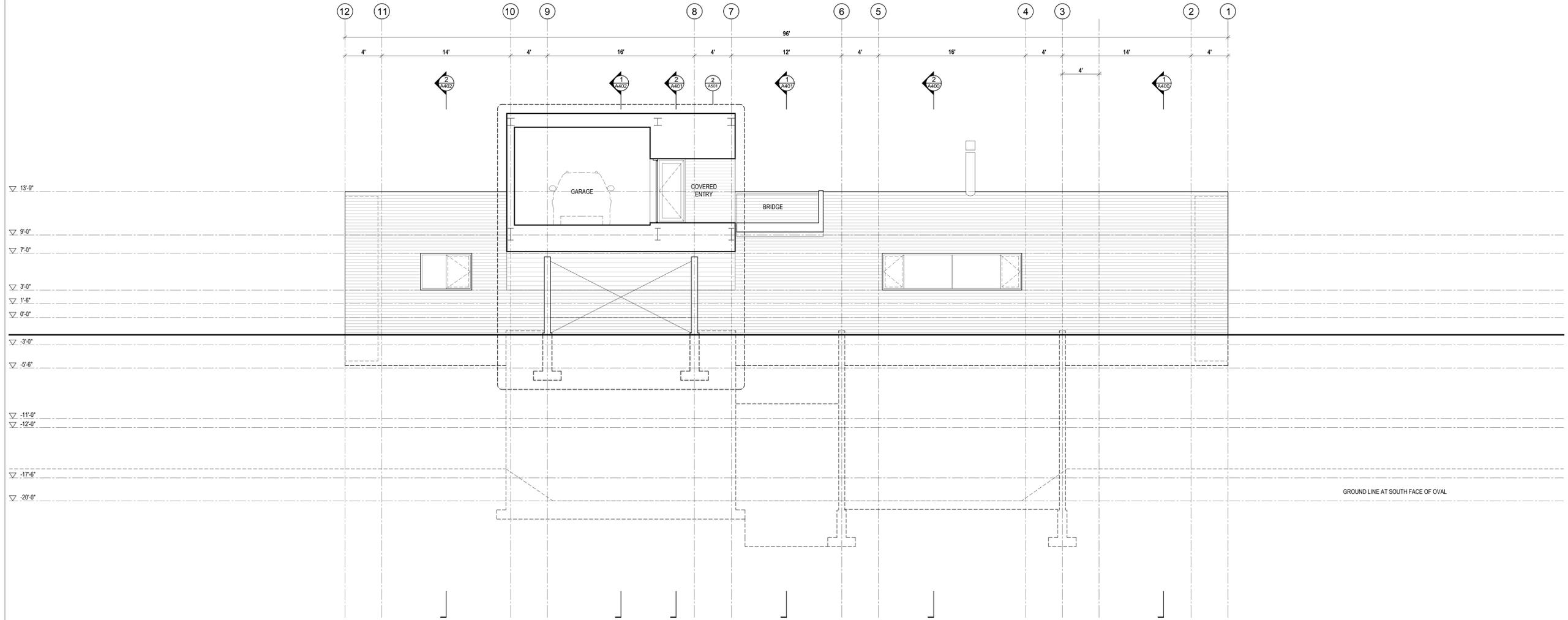
1 Cross Section @ Garage
Scale 1/4" = 1'-0"

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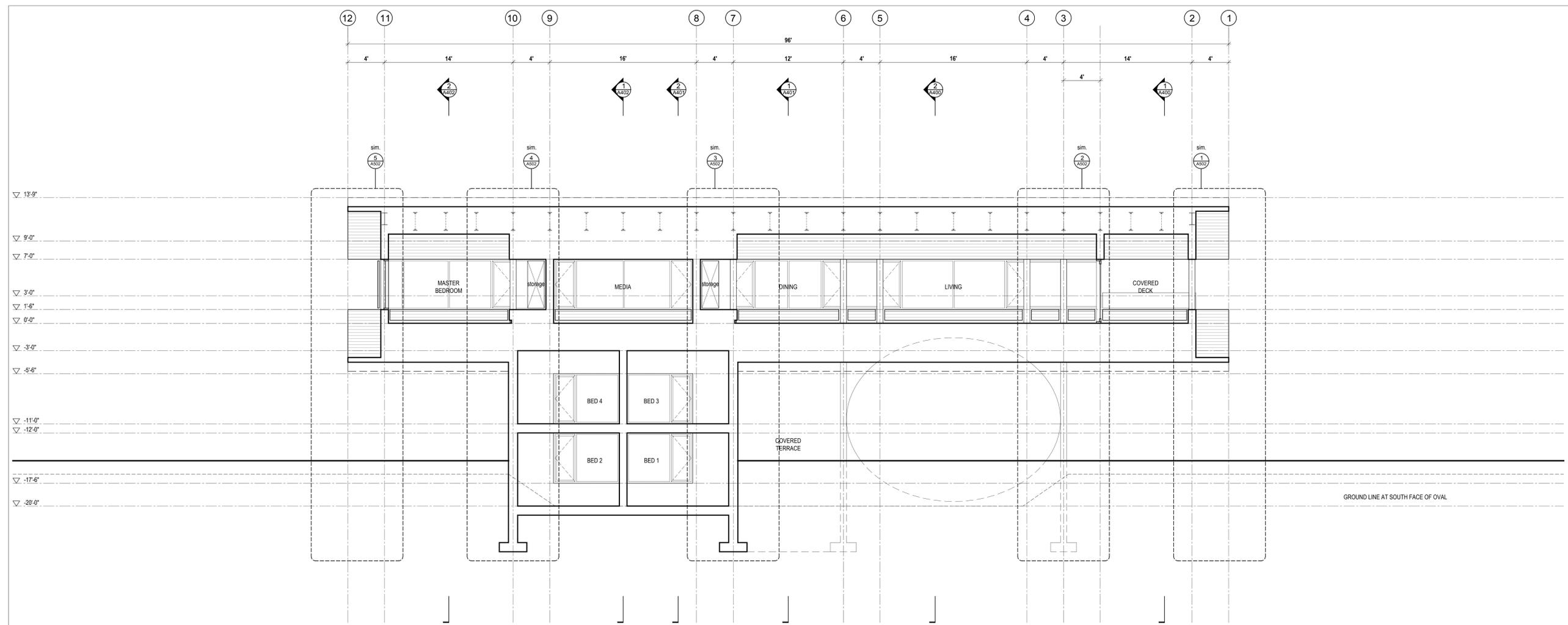
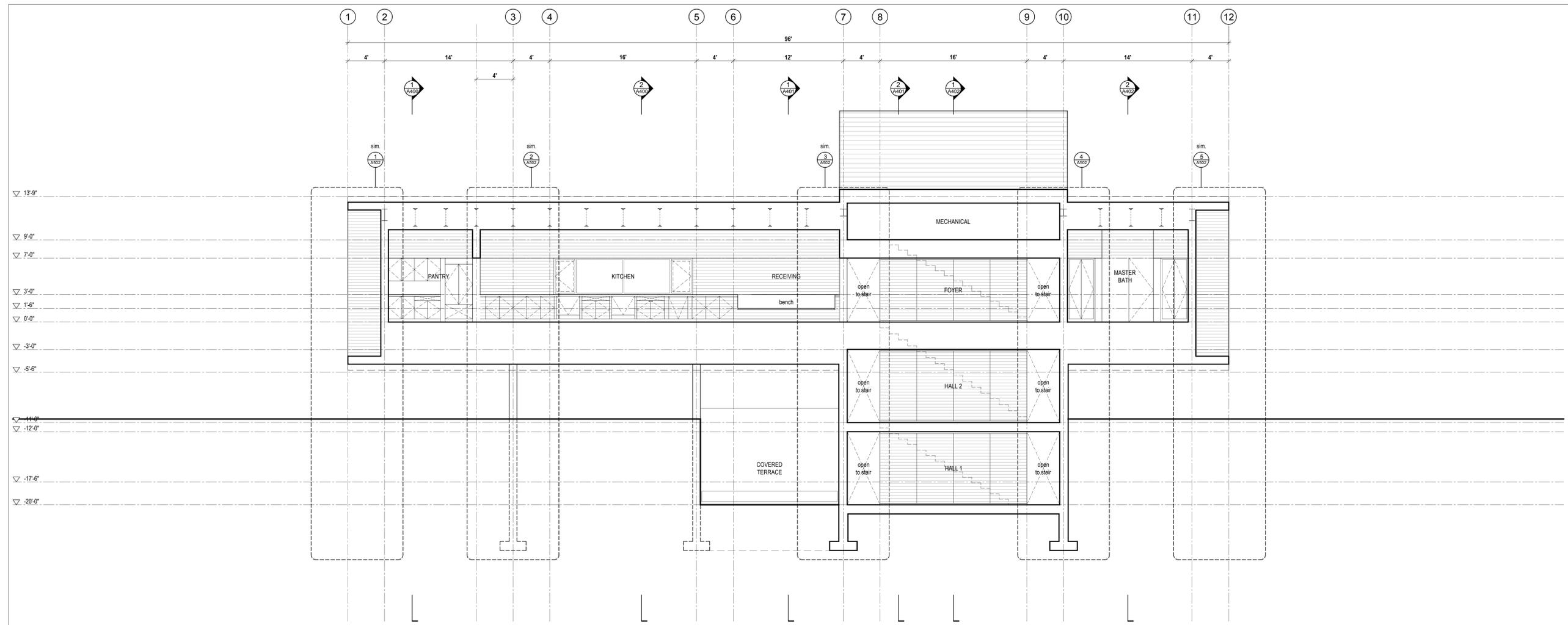
2 Long Section @ Kitchen
 Scale 1/4" = 1'-0"



1 Long Section @ Garage
 Scale 1/4" = 1'-0"

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Long Section @ Living
Scale 1/4" = 1'-0"

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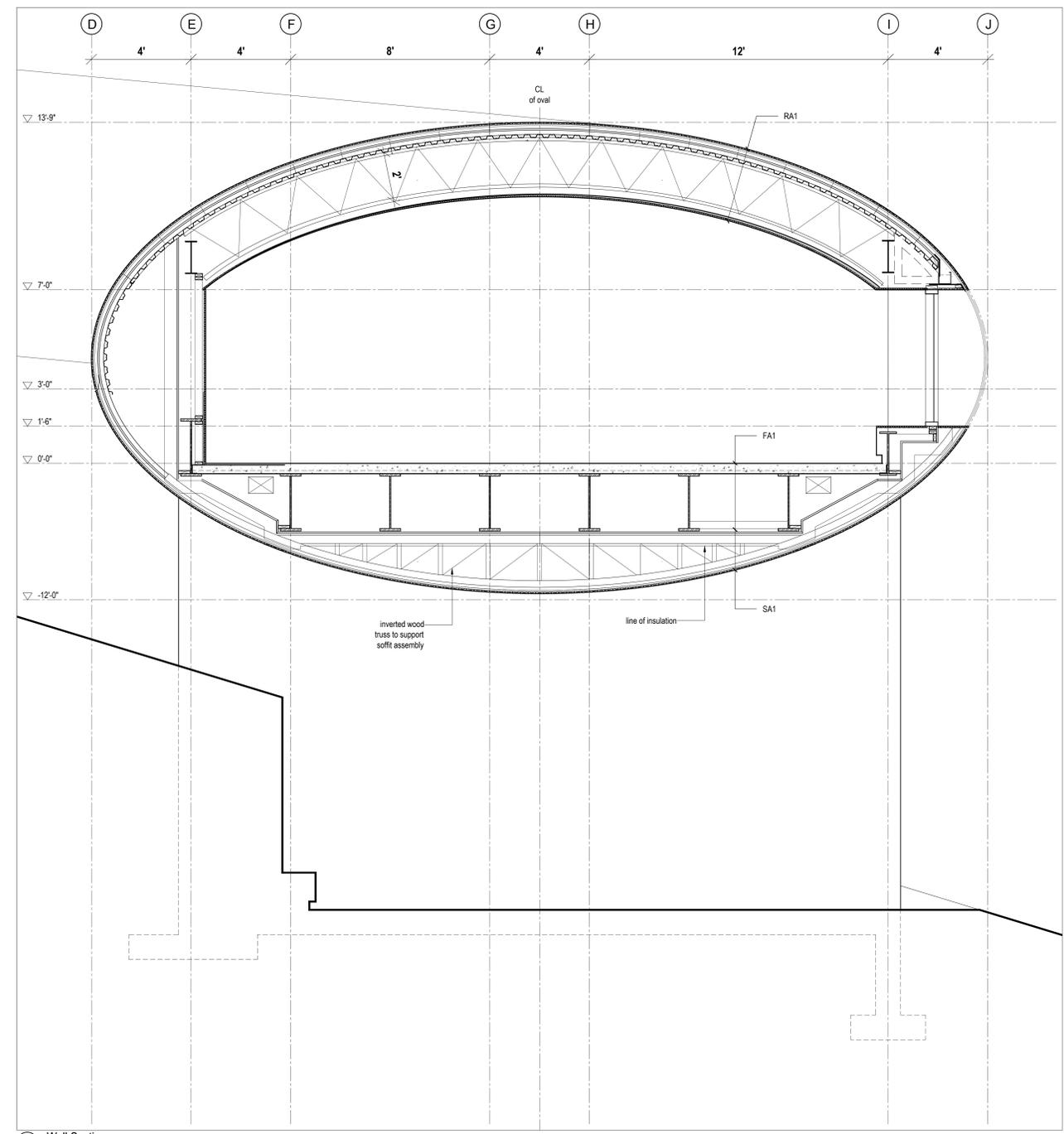
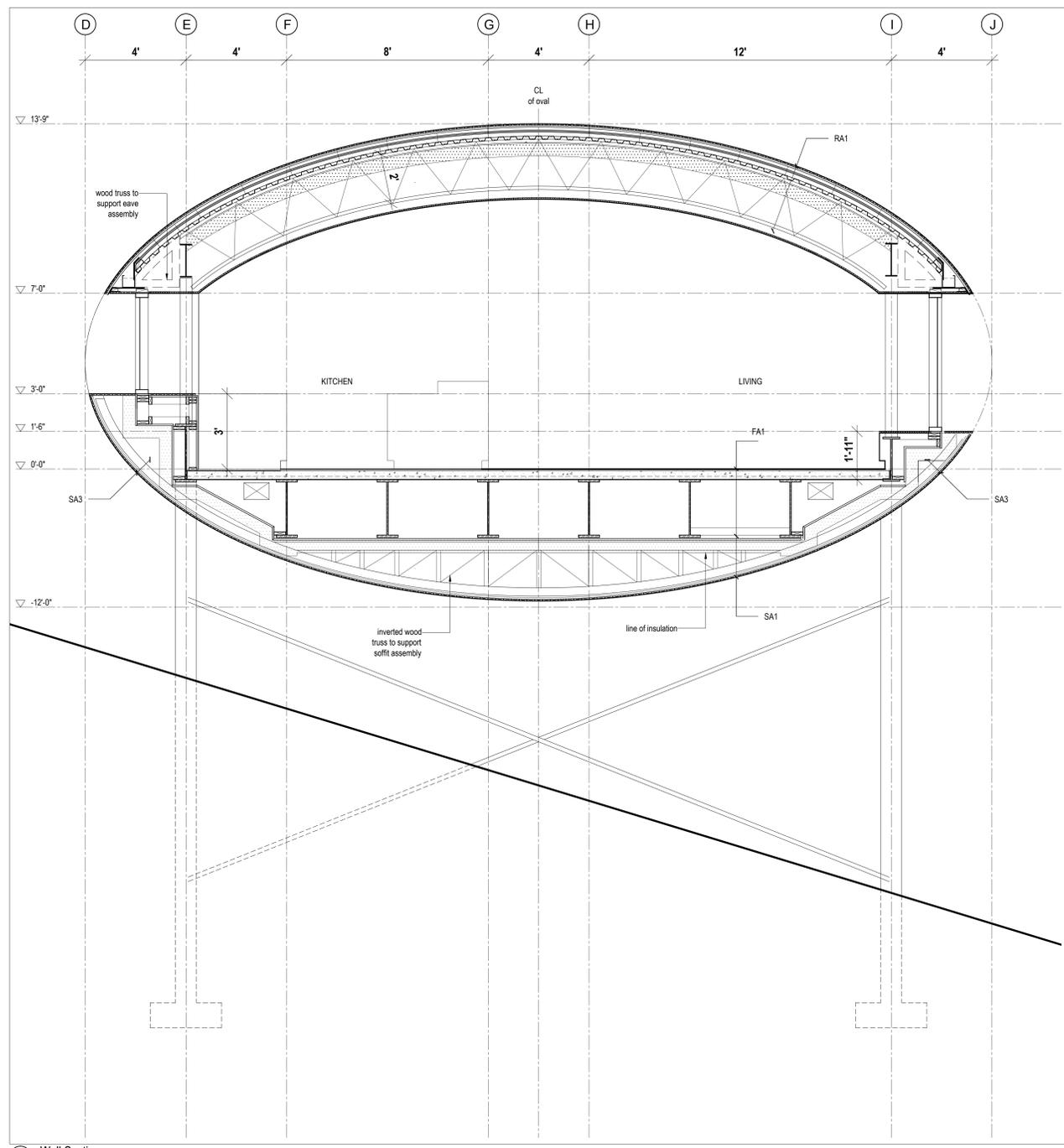
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SHOP DRAWINGS:
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1 Wall Section
Scale 1/2" = 1'-0"

2 Wall Section
Scale 1/2" = 1'-0"

ROOF ASSEMBLIES

- RA1 (typical ellipse)**
 - + 1x4 horizontal western cedar boards
 - + vertical strapping (tbd)
 - + metal thru fastener per spec.
 - + insect screen
 - + fully adhered waterproof membrane
 - + 3/4" plywood sheathing - laminated 1/4" layers where required to meet curve of elliptical form
 - + 2" insulation - tbd., min r8
 - + horizontal metal furring strips
 - + vapor control layer - tbd.
 - + 1-1/2" composite metal decking - horizontal flutes
 - + steel truss as per structural
 - + 6" 2.0lb spray foam insulation, r36
 - + vertical wood strapping
 - + ceiling finish as per room finish schedule
- RA2 (ellipse overhang, uninsulated)**
 - + 1x4 horizontal western cedar boards
 - + vertical strapping (tbd)
 - + metal thru fastener per spec.
 - + fully adhered continuous waterproof membrane
 - + 3/4" plywood sheathing - laminated 1/4" layers where required to meet curve of elliptical form
 - + structural steel channels/studs, tbd.
 - + 1-1/2" composite metal decking - horizontal ribs
 - + vertical strapping (tbd)
 - + 1x4 horizontal western cedar boards
- RA3 (garage, insulated)**
 - + 1x8 western red cedar boards
 - + 1x3 wood strapping
 - + fully adhered waterproof roofing membrane (tbd)
 - + 3" rockwool insulation, r12
 - + vapor control membrane
 - + 3/4" 1-g plywood
 - + 1-1/2" composite metal deck, per structural
 - + steel channels per structural
 - + 6" 2.0 lb sprayfoam insulation, r36
 - + wood strapping
 - + ceiling as per finish schedule
- RA4 (garage, uninsulated)**
 - + 1x8 western red cedar boards
 - + 1x3 wood strapping
 - + fully adhered waterproof roofing membrane (tbd)
 - + 3" rockwool insulation, r12
 - + vapor control membrane
 - + 3/4" 1-g plywood
 - + 1-1/2" composite metal deck, per structural
 - + steel channels per structural
 - + 6" 2.0lb spray foam insulation, r36
 - + ceiling as per finish schedule
- RA5 (garage overhang)**
 - + 1x8 western red cedar boards
 - + wood strapping
 - + fully adhered waterproof roofing membrane (tbd)
 - + 3" rockwool insulation, r12
 - + vapor control membrane
 - + 3/4" 1-g plywood
 - + 1-1/2" metal deck
 - + 1x3 wood strapping
 - + 1x8 western red cedar boards

SOFFIT ASSEMBLIES

- SA1 (typical ellipse)**
 - + 1x4 horizontal western red cedar boards
 - + vertical strapping
 - + inverted wood truss
 - + 2.0lb spray applied insulation, r40.
 - + 5/8" dens-glass sheathing
 - + refer to flooring assemblies
- SA2 (uninsulated ellipse overhang)**
 - + 1x4 horizontal western red cedar boards
 - + wood strapping
 - + insect screen
 - + structure t.b.d.
 - + inset screen
 - + wood strapping
 - + 1x4 horizontal western red cedar boards
- SA3 (slab to slab)**
 - + 1x4 horizontal western red cedar boards
 - + wood strapping
 - + structure t.b.d.
 - + inset screen
 - + air/vapor control membrane
 - + 3/4" plywood
 - + 2x6 wood framing
 - + 0.5 lb spray foam insulation (r20)
 - + 1/2" plywood
 - + 1x2 horizontal western cedar boards
- SA4 (garage)**
 - + 1x8 western cedar boards
 - + wood strapping
 - + inset screen
 - + wood framing
 - + refer to floor assembly FA4
- SA5 (uninsulated garage overhang)**
 - + 1x8 western cedar boards
 - + wood strapping
 - + insect screen
 - + structure t.b.d.
 - + inset screen
 - + wood strapping
 - + 1x8 western cedar boards

EXTERIOR WALL ASSEMBLIES

- WA1 (typical ellipse)**
 - + 1x4 horizontal western cedar boards
 - + vertical strapping (tbd)
 - + metal thru fastener per spec.
 - + fully adhered waterproof membrane
 - + 3/4" plywood sheathing - laminated 1/4" layers where required to meet curve of elliptical form
 - + 2" 2.0lb spray applied foam insulation, r12
 - + 2" steel furring channels
 - + air + vapor control membrane - tbd.
 - + 1-1/2" composite metal decking - horizontal flutes
 - + steel truss as per structural
 - + 6" 2.0lb spray applied foam insulation, r36
 - + vertical wood strapping
 - + wall finish as per room finish schedule
- WA2 (ellipse end wall - insulated)**
 - + 1x4 horizontal western cedar boards
 - + 1x3 vertical wood strapping
 - + 3" cavity rock insulation (r12)
 - + air/vapor control membrane
 - + 3/4" plywood
 - + 2x6 wood framing
 - + 0.5 lb spray foam insulation (r20)
 - + 1/2" plywood
 - + 1x2 horizontal western cedar boards
- WA3 (ellipse end wall - uninsulated)**
 - + 1x4 horizontal western cedar boards
 - + 1x3 vertical wood strapping
 - + weather barrier
 - + 1/2" plywood
 - + 2x6 wood framing
 - + weather barrier
 - + 1x3 vertical wood strapping
 - + 1x4 horizontal western cedar boards
- WA4 (concrete - below grade)**
 - + 2" rockwool comfortboard insulation, r8
 - + waterproofing
 - + reinforced concrete, see structural
 - + 0.5lb spray applied foam insulation, r22
 - + 2x6 studs @ 16" o.c., spaced 1" from face of concrete
 - + vapor control membrane
 - + 5/8" gypsum wallboard
 - + wall finish as per finish schedule
- WA5 (concrete - above grade)**
 - + reinforced boardform concrete, see structural
 - + 0.5lb spray applied foam insulation r22
 - + 2x6 studs @ 16" o.c., spaced 1" from face of concrete
 - + vapor control barrier
 - + 5/8" gypsum wallboard (tie backer board in wet areas)
 - + wall finish as per finish schedule
- WA6 (garage)**
 - + 1x8 vertical western cedar cladding
 - + 2 layers wood strapping (air space)
 - + 3" cavityrock insulation, r12
 - + air/vapor control membrane
 - + 3/4" plywood sheathing
 - + 2x6 wood stud framing as per structural
 - + 0.5lb spray applied foam insulation, r19
 - + 5/8" waterproof drywall w. paint finish per finish schedule
- WA7 (garage exterior, uninsulated)**
 - + 1x8 vertical western red cedar cladding
 - + 2 layers wood strapping
 - + weather barrier
 - + 1/2" plywood sheathing
 - + 2x6 wood stud framing
 - + weather barrier
 - + 2 layers wood strapping
 - + 1x8 vertical western red cedar cladding
- WA8 (garage overhang, uninsulated)**
 - + 1x8 vertical western red cedar cladding
 - + 2 layers wood strapping
 - + 3" wood furring
 - + weather membrane
 - + 3/4" plywood sheathing
 - + 2x6 wood stud framing
 - + 1/2" plywood sheathing
 - + weather membrane
 - + 2 layers wood strapping
 - + 1x8 vertical western red cedar cladding

FLOOR ASSEMBLIES

- FA1**
 - + floor finish as per finishes sched.
 - + 2-1/2" reinforced concrete w. radiant heating
 - + 1-1/2" composite metal deck as per structural
 - + steel w-sections as per structural
 - + refer to soffit assemblies
- FA2**
 - + floor finish as per finishes sched.
 - + 1/8" neoprene acoustic mat
 - + 2-1/2" reinforced concrete w. radiant heating
 - + 1-1/2" composite metal deck as per structural
 - + steel w-sections as per structural
 - + acoustic fibre batt insulation
 - + suspended 5/8" gwb ceiling
- FA3**
 - + floor finish as per finish schedule
 - + warm board - layout by manuf.
 - + 3/4" 1-g plywood
 - + wood joists (size and spacing t.b.d.)
 - + acoustic fibre batt insulation
 - + metal furring channels
 - + 5/8" gwb sheathing, painted.
- FA4 (slab on grade)**
 - + floor finish as per finish schedule
 - + reinforced concrete slab per structural
 - + underslab vapour barrier
 - + 2" rockwool comfortboard rigid insulation
- FA5 (exterior deck)**
 - + 4" cedar decking
 - + treated wood sleepers
 - + steel beam as per structural
 - + refer to soffit assembly SA--
- FA6 (garage)**
 - + 2-1/2" reinforced concrete
 - + 1 1/2" composite metal deck
 - + steel w-section beams per structural
 - + 6" 2.0lb spray applied insulation, r36
 - + refer to soffit assembly SA4

3 Exterior Assemblies
Scale NTS

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	Revision:	

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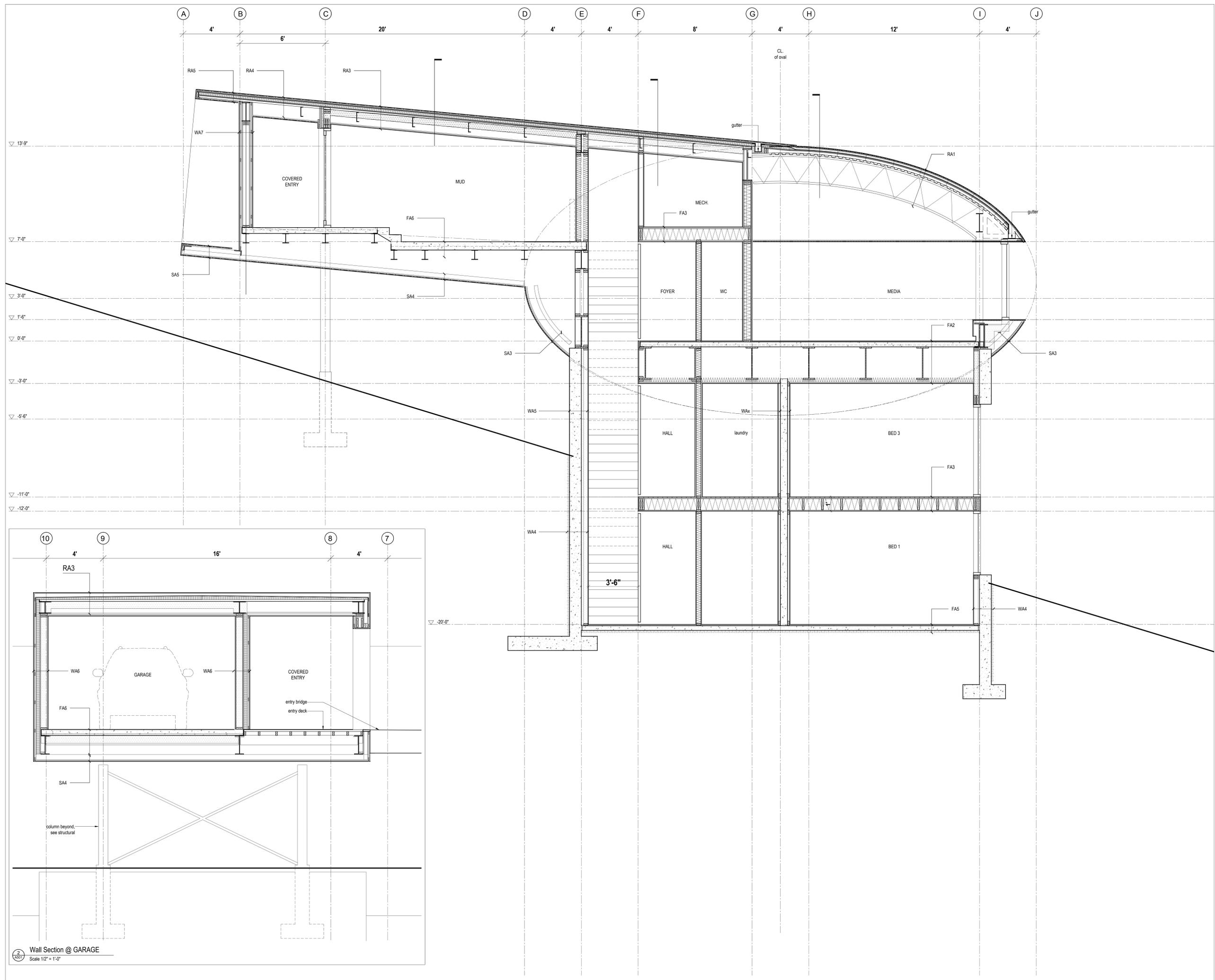
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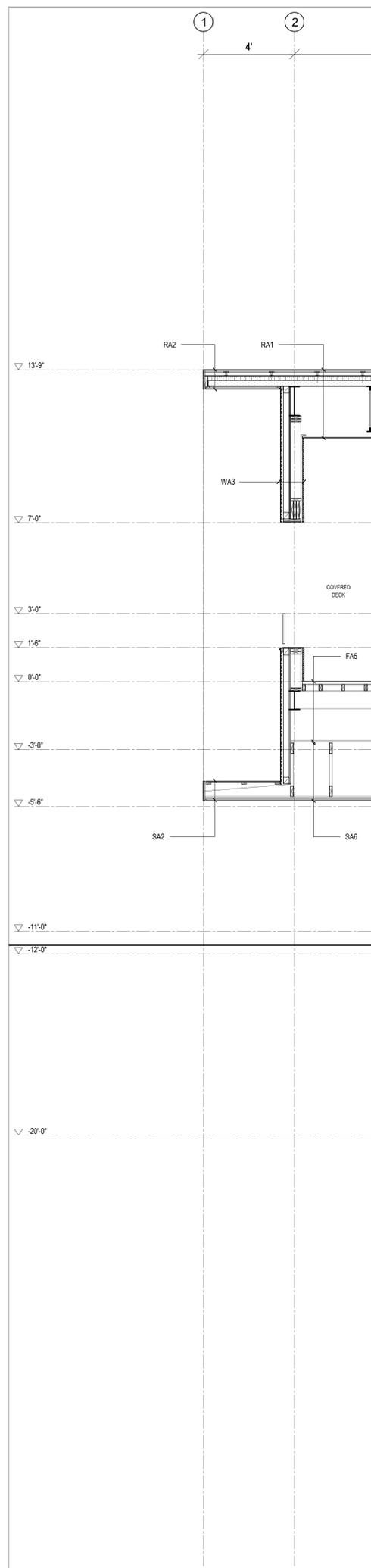
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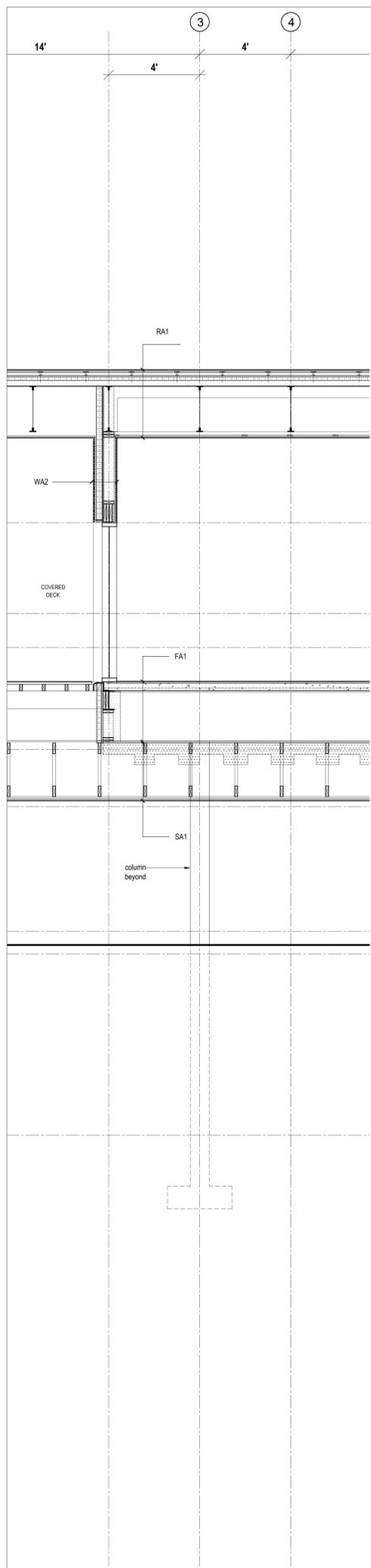
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2
Wall Section @ GARAGE
Scale 1/2" = 1'-0"

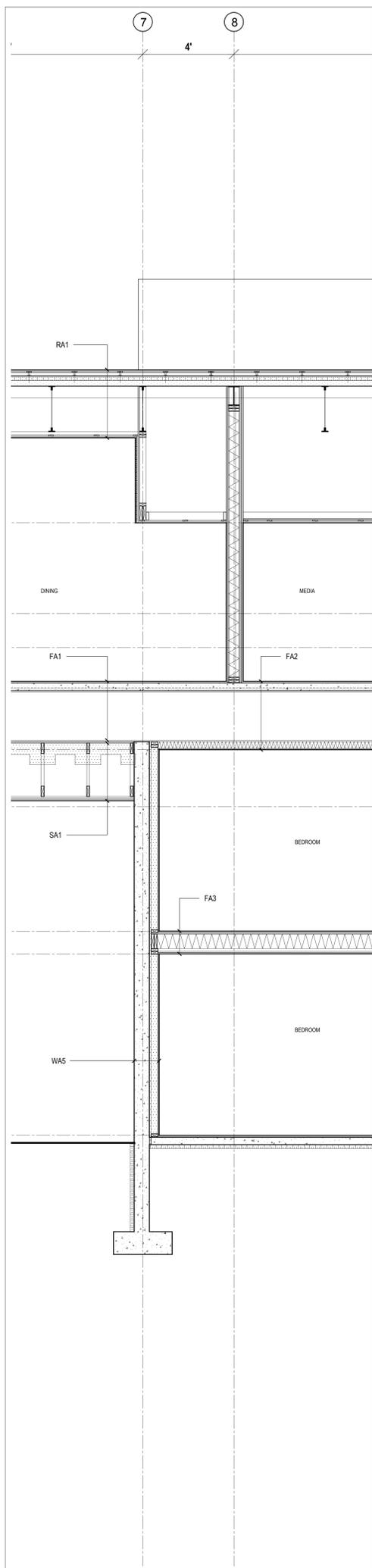
1
Wall Section @ GARAGE
Scale 1/2" = 1'-0"



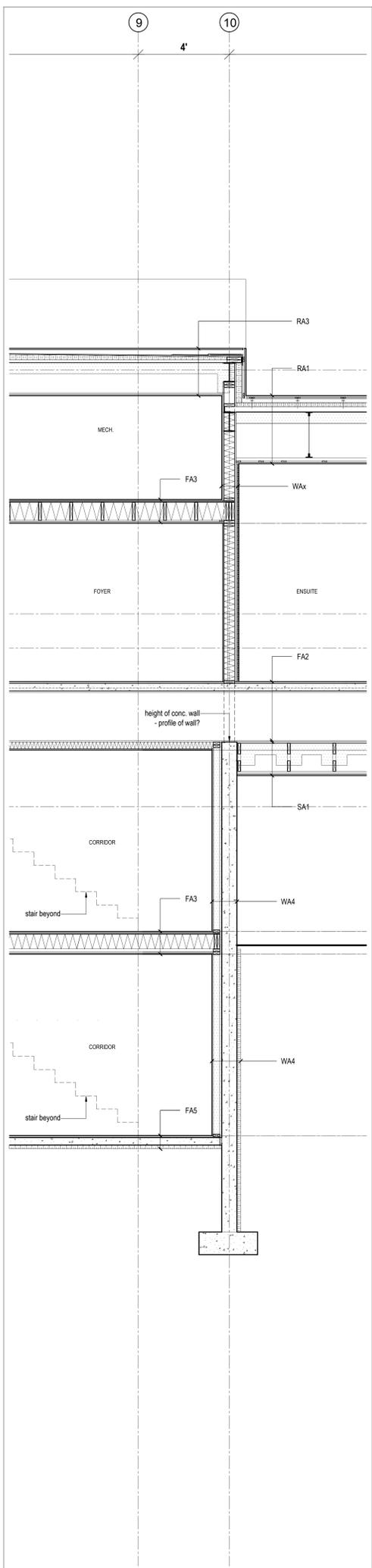
1 Wall Section
Scale 1/2" = 1'-0"



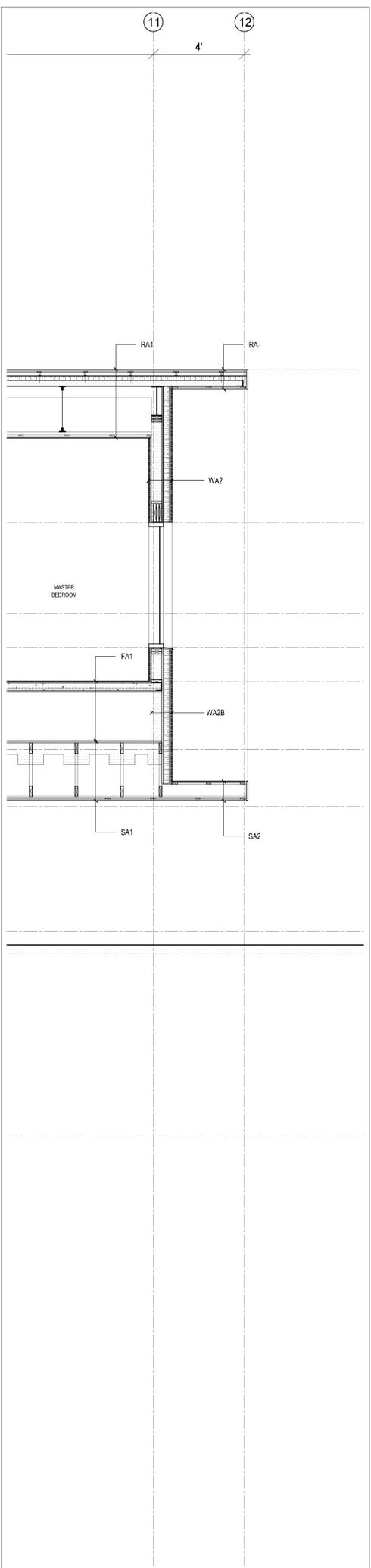
2 Wall Section
Scale 1/2" = 1'-0"



3 Wall Section
Scale 1/2" = 1'-0"



4 Wall Section
Scale 1/2" = 1'-0"

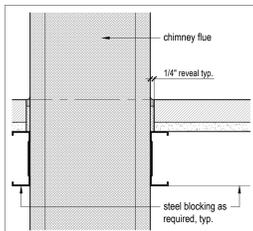


5 Wall Section
Scale 1/2" = 1'-0"

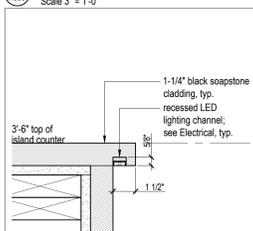
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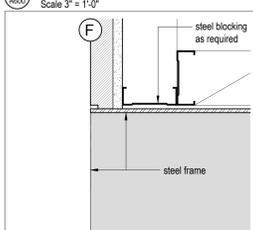
Wall Sections
Scale: 1/2" = 1'-0"
Date: 2018-02-22
Drawn: DC
Checked: BML
A502



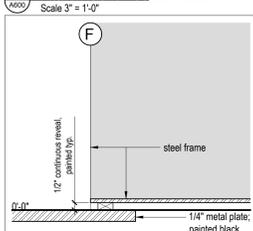
18 Kitchen Island - Section Detail
Scale 3" = 1'-0"



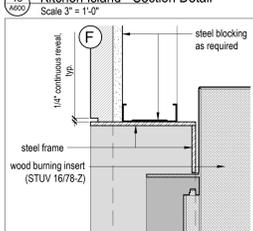
17 Kitchen Island - Section Detail
Scale 3" = 1'-0"



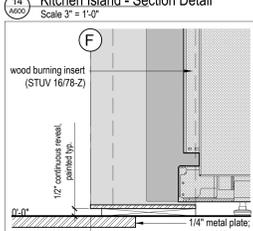
16 Kitchen Island - Section Detail
Scale 3" = 1'-0"



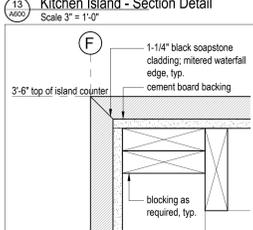
15 Kitchen Island - Section Detail
Scale 3" = 1'-0"



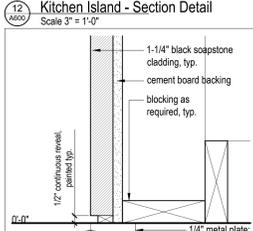
14 Kitchen Island - Section Detail
Scale 3" = 1'-0"



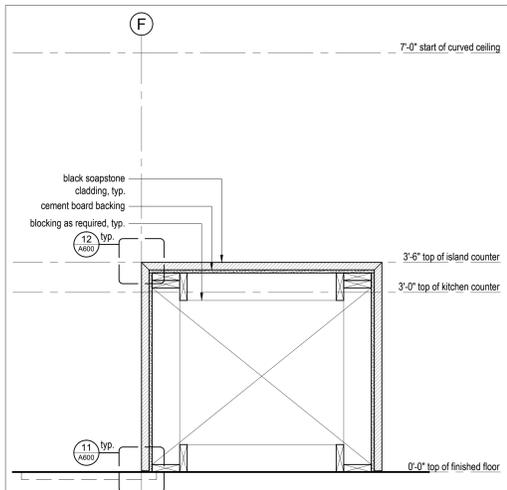
13 Kitchen Island - Section Detail
Scale 3" = 1'-0"



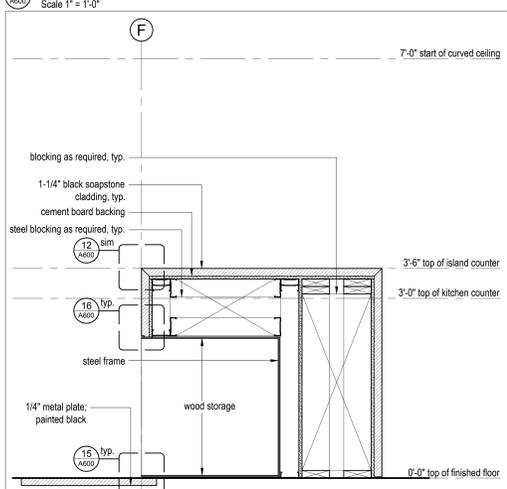
12 Kitchen Island - Section Detail
Scale 3" = 1'-0"



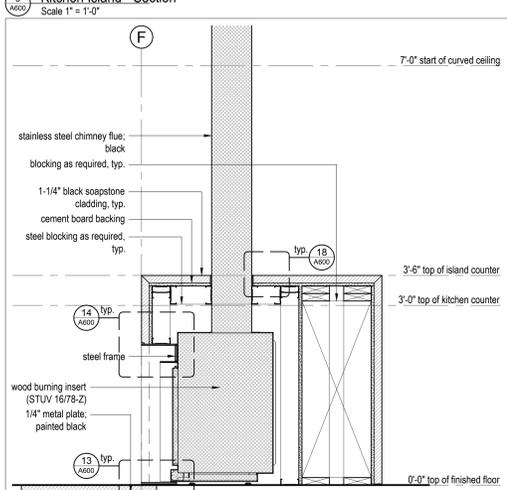
11 Kitchen Island - Section Detail
Scale 3" = 1'-0"



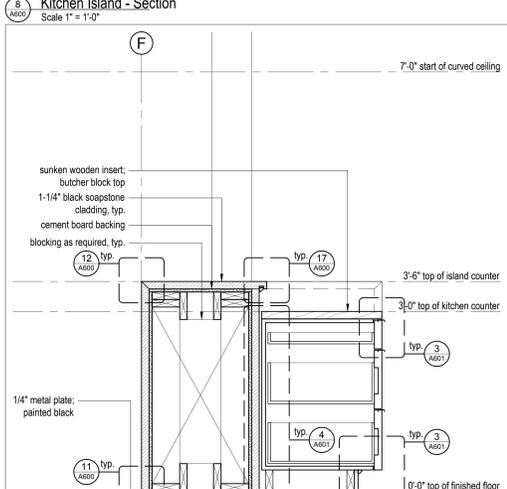
10 Kitchen Island - Section
Scale 1" = 1'-0"



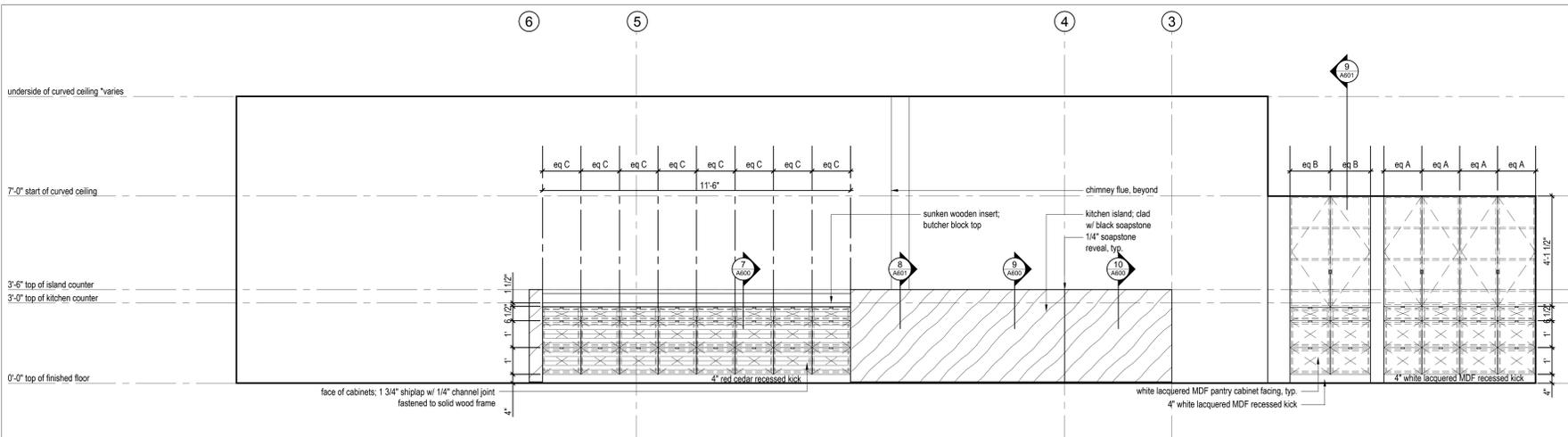
9 Kitchen Island - Section
Scale 1" = 1'-0"



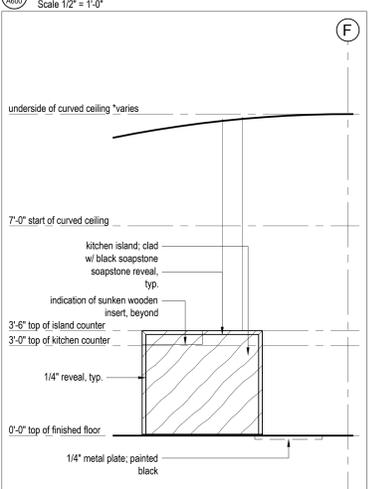
8 Kitchen Island - Section
Scale 1" = 1'-0"



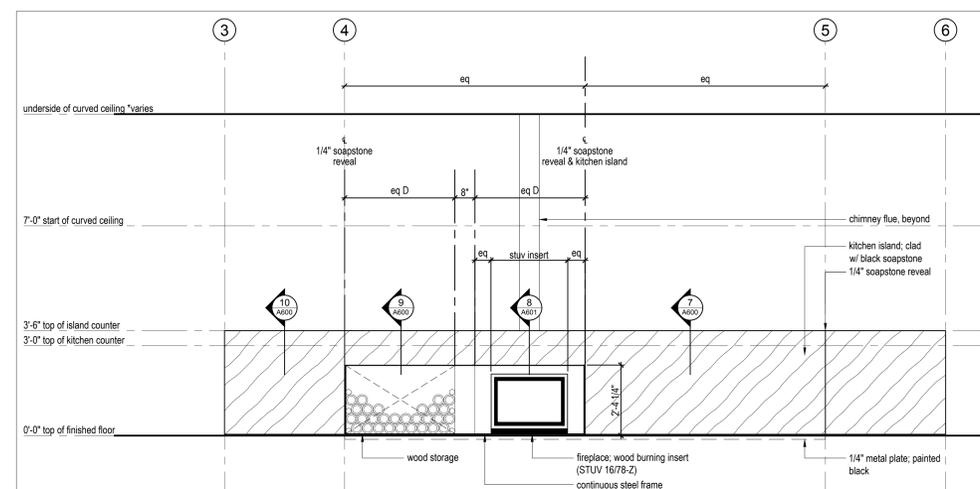
7 Kitchen Island - Section
Scale 1" = 1'-0"



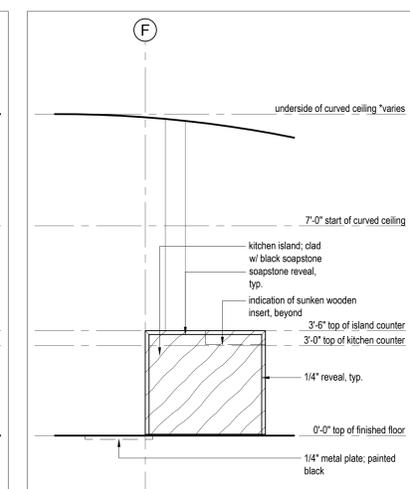
6 Enlarged Kitchen Island & Pantry Elevation
Scale 1/2" = 1'-0"



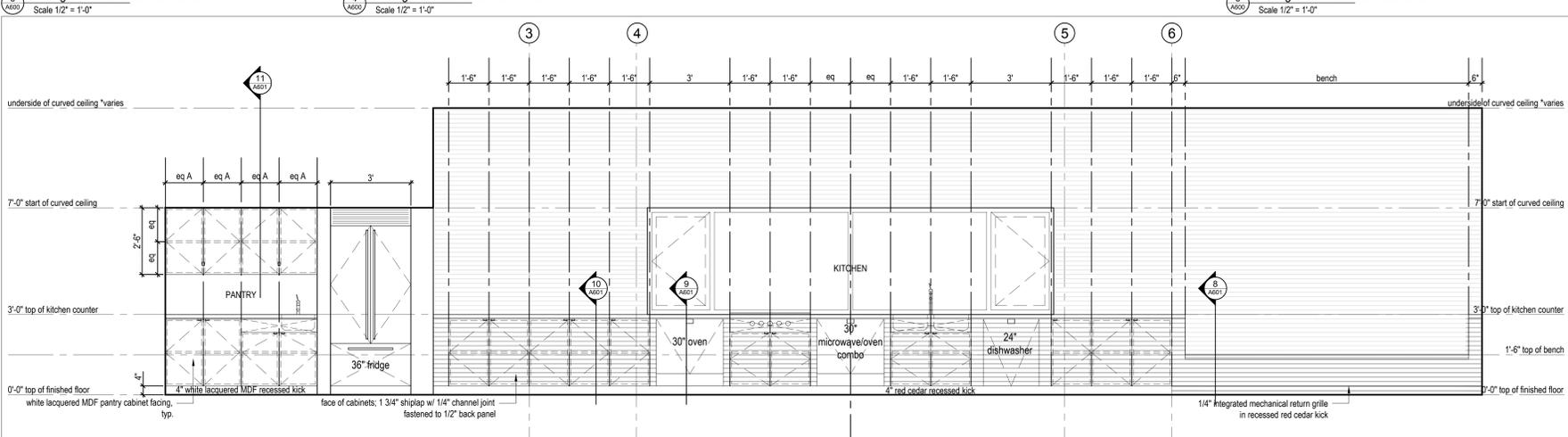
3 Enlarged Kitchen Island Elevation
Scale 1/2" = 1'-0"



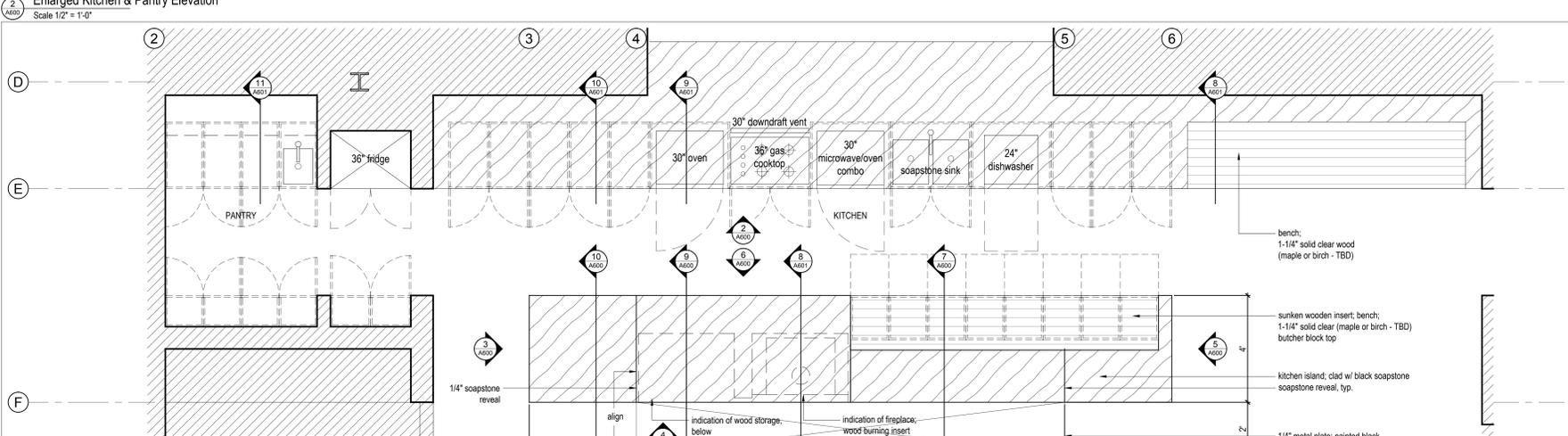
4 Enlarged Kitchen Island Elevation
Scale 1/2" = 1'-0"



5 Enlarged Kitchen Island Elevation
Scale 1/2" = 1'-0"



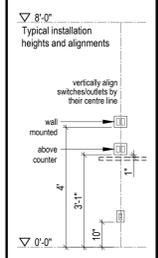
2 Enlarged Kitchen & Pantry Elevation
Scale 1/2" = 1'-0"



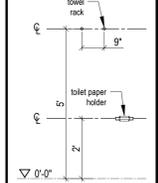
1 Enlarged Kitchen & Pantry Elevation
Scale 1/2" = 1'-0"

- LEGEND**
- 1 gypsum wallboard (painted)
 - 2 2" horizontal red cedar shiplap (clear finish)
 - 3 2" red cedar gapped boards (clear finish)
 - 4 tile 1 as per finish schedule
 - 5 tile 2 as per finish schedule
 - 6 engineered hardwood flooring on concrete topping (heated) - typical
 - 7 exposed concrete topping (heated)
 - 8 glazing system - see window/door schedule

NOTE: all dimensions to be verified in field



Typical installation heights; provide backing as needed



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Revisions:		

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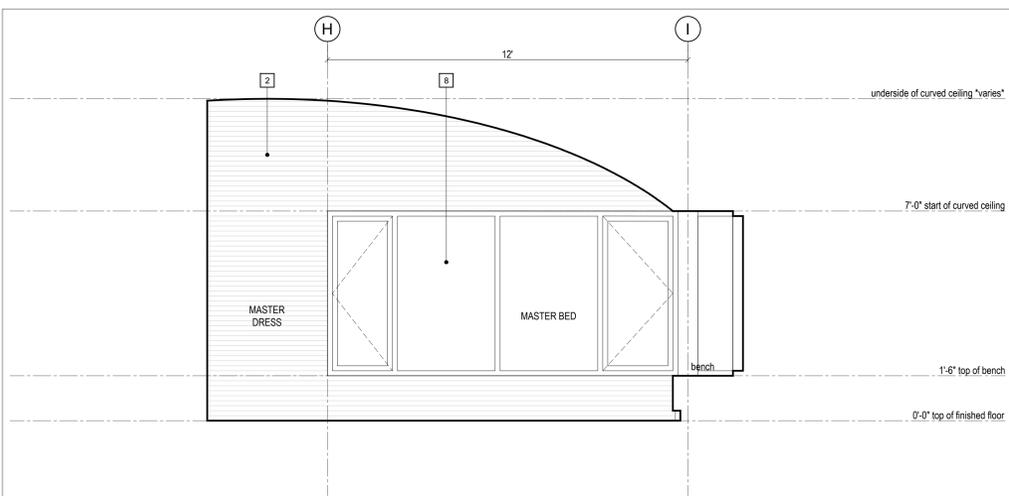
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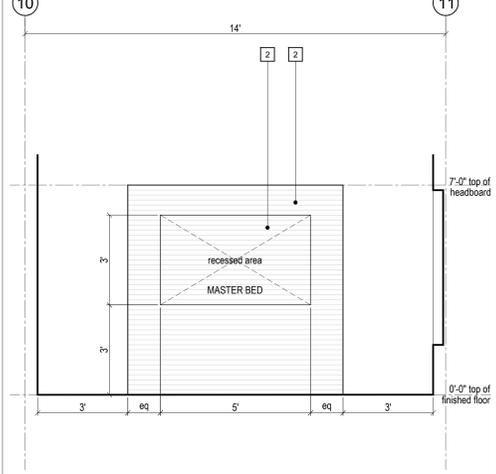
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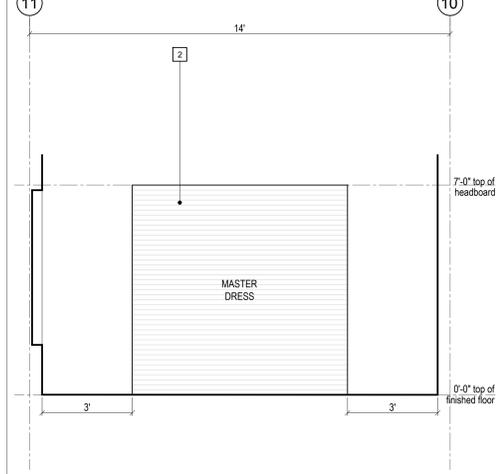
Millwork - Master Suite



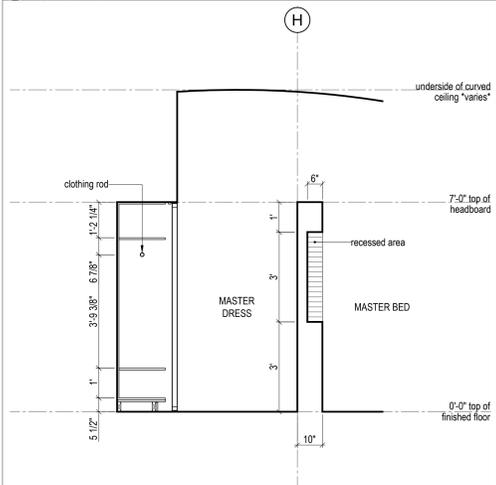
13 Master Bed - Elevation
 Scale 1/2" = 1'-0"



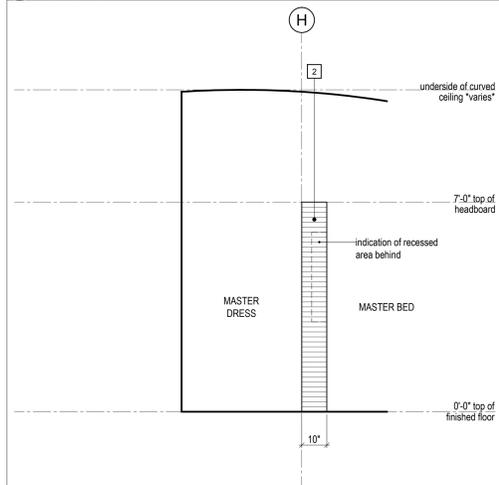
12 Master Bed - Elevation
 Scale 1/2" = 1'-0"



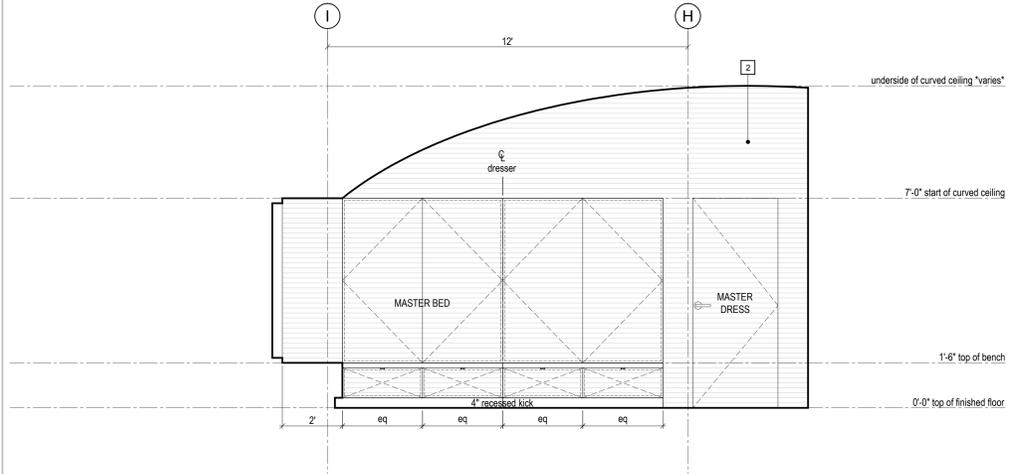
11 Master Dress - Elevation
 Scale 1/2" = 1'-0"



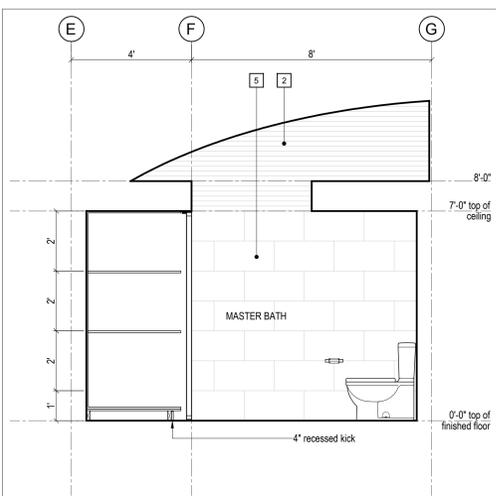
10 Master Bed - Section
 Scale 1/2" = 1'-0"



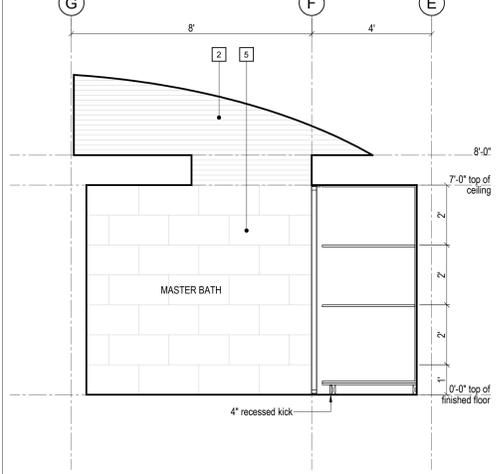
9 Master Bed - Elevation
 Scale 1/2" = 1'-0"



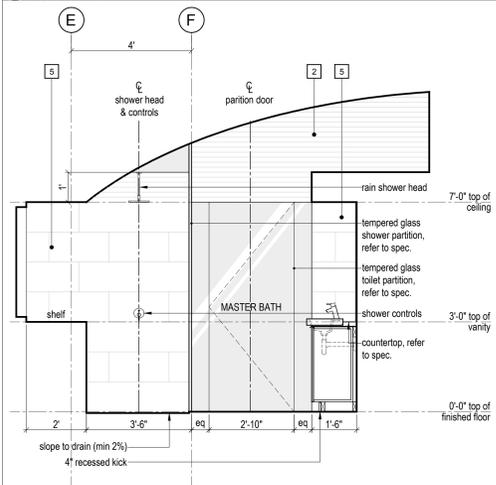
8 Master Bed - Elevation
 Scale 1/2" = 1'-0"



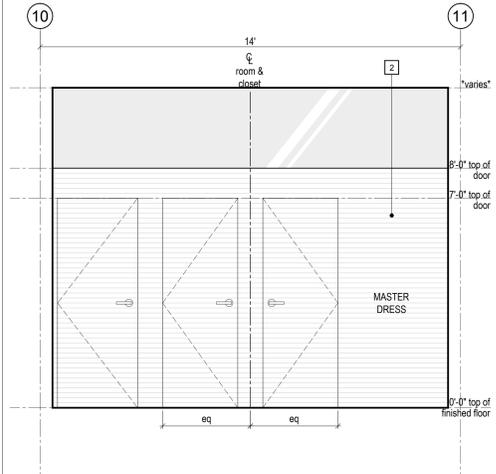
7 Master Bath - Elevation
 Scale 1/2" = 1'-0"



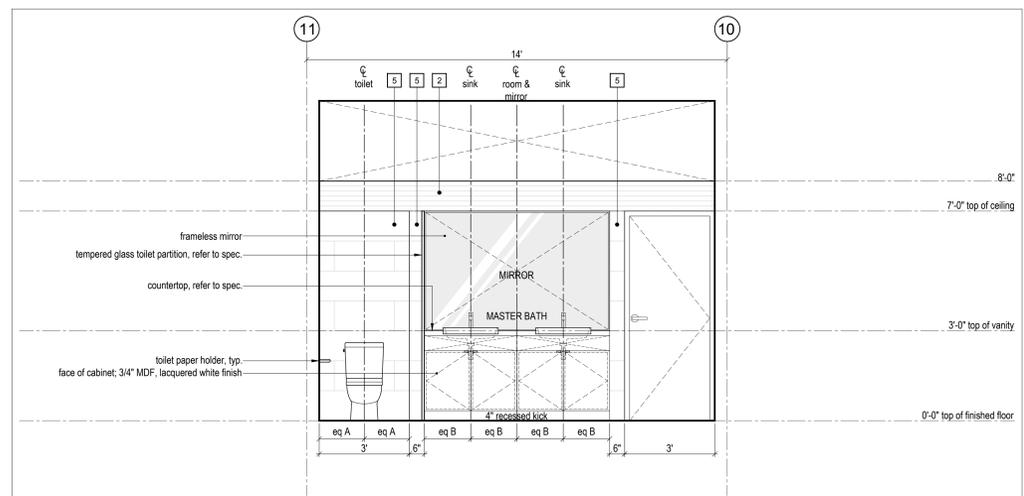
6 Master Bath - Elevation
 Scale 1/2" = 1'-0"



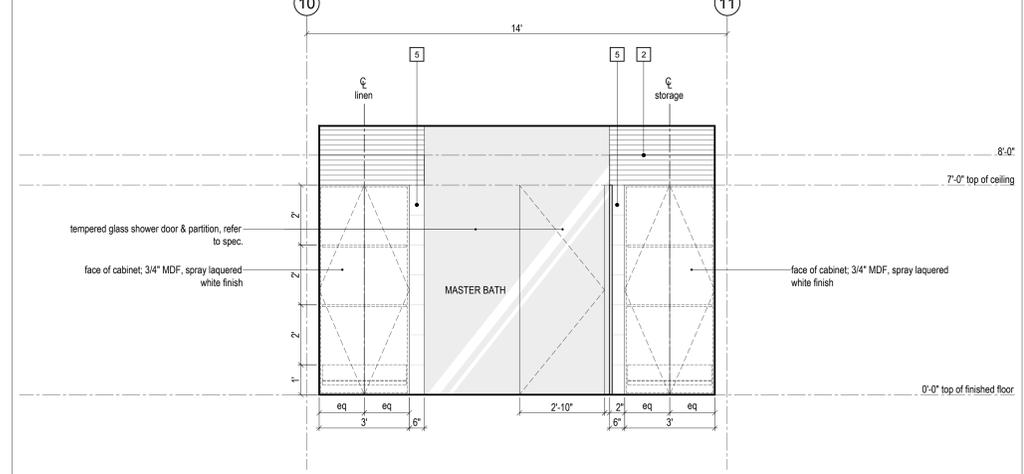
5 Master Bath - Section
 Scale 1/2" = 1'-0"



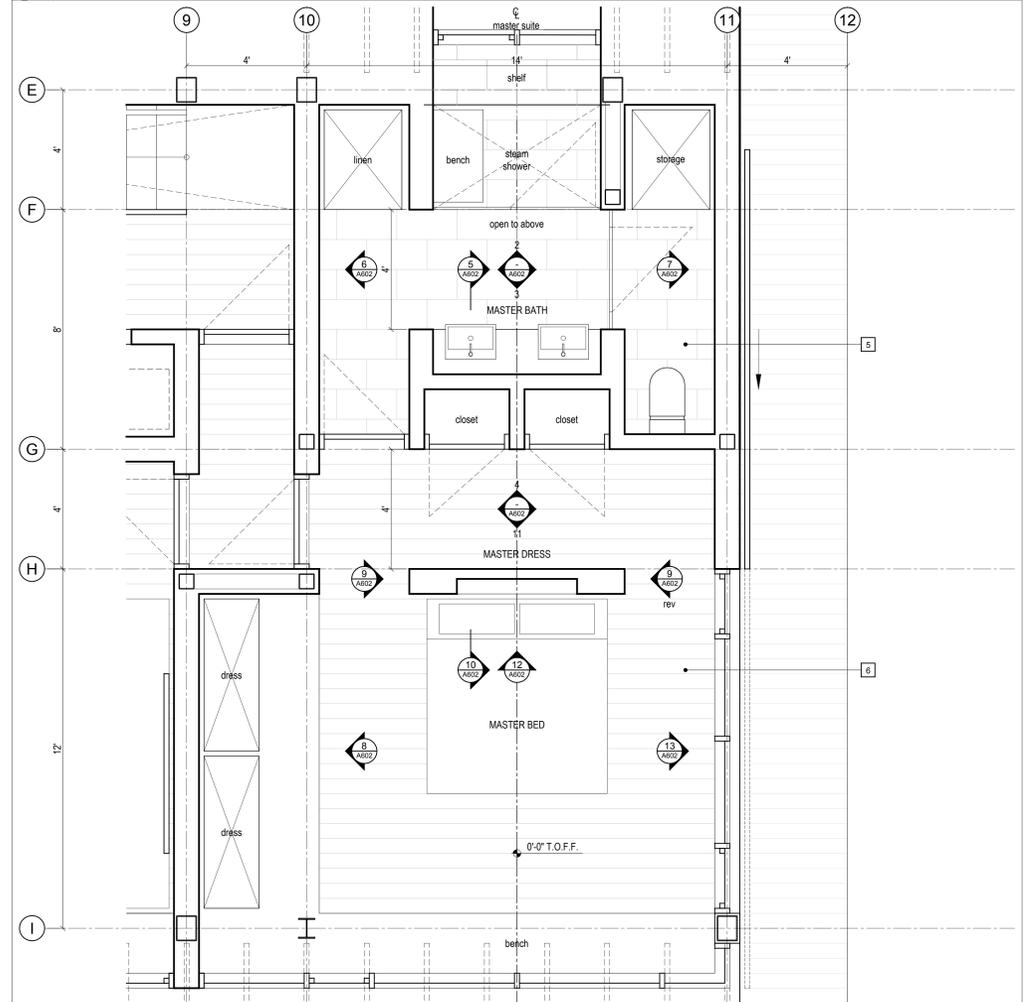
4 Master Dress - Elevation
 Scale 1/2" = 1'-0"



3 Master Bath - Elevation
 Scale 1/2" = 1'-0"



2 Master Bath - Elevation
 Scale 1/2" = 1'-0"

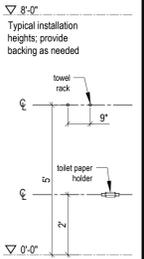
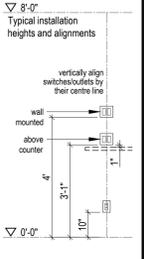


1 Master Bed/Bath - Enlarged Plan
 Scale 1/2" = 1'-0"

LEGEND

- 1 gypsum wallboard (painted)
- 2 2" horizontal red cedar shiplap (clear finish)
- 3 2" red cedar gapped boards (clear finish)
- 4 tile 1 as per finish schedule
- 5 tile 2 as per finish schedule
- 6 engineered hardwood flooring on concrete topping (heated) - typical
- 7 exposed concrete topping (heated)
- 8 glazing system - see window/door schedule

NOTE: all dimensions to be verified in field



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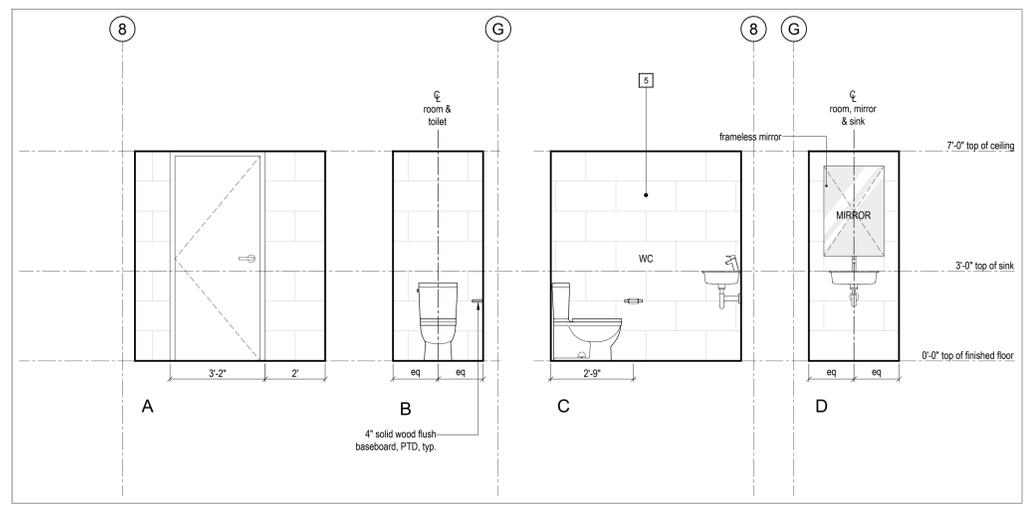
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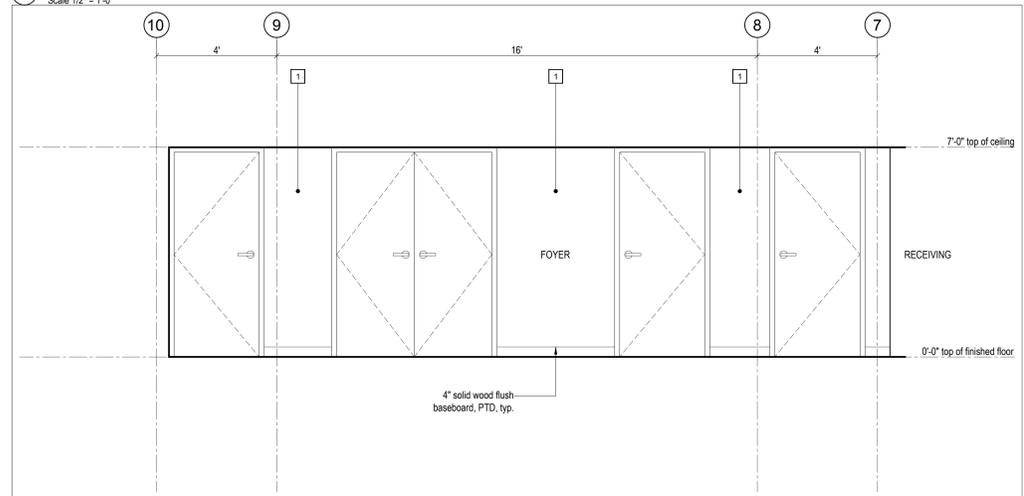
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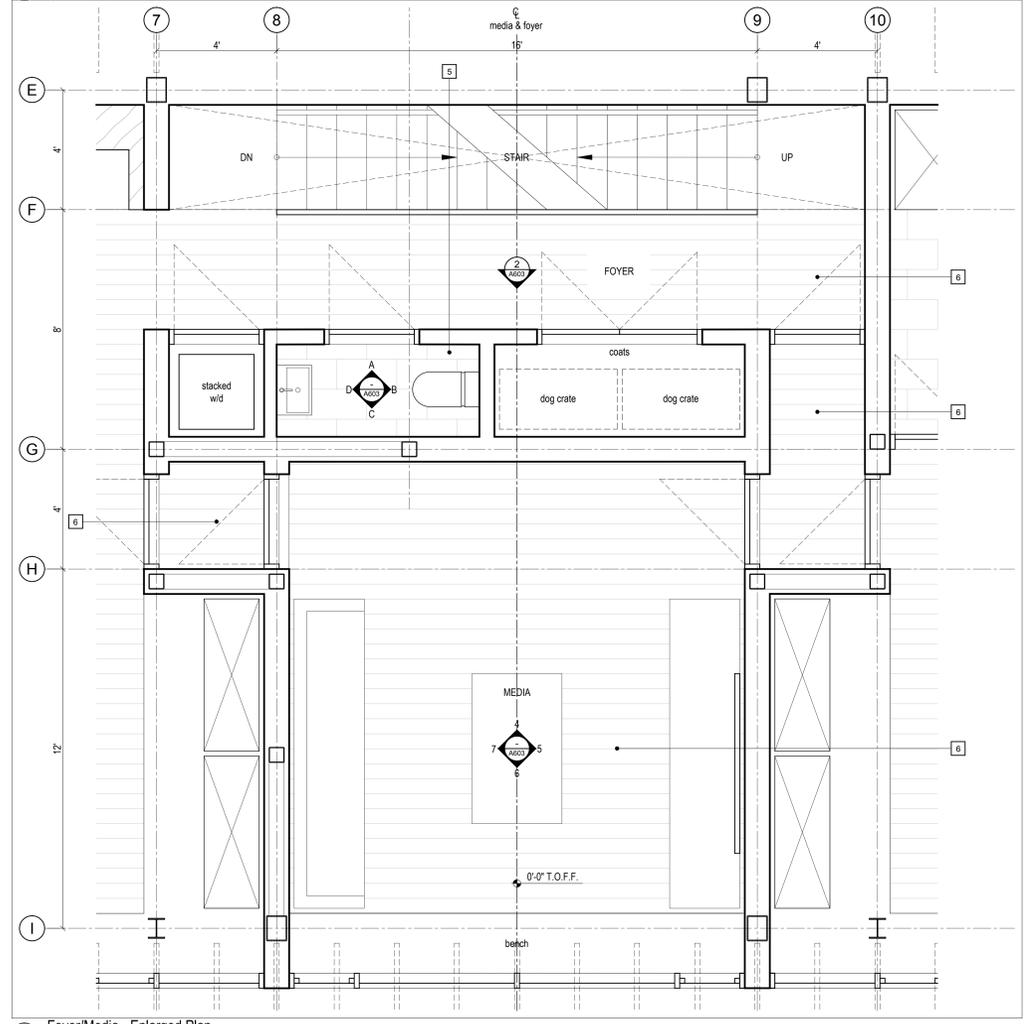
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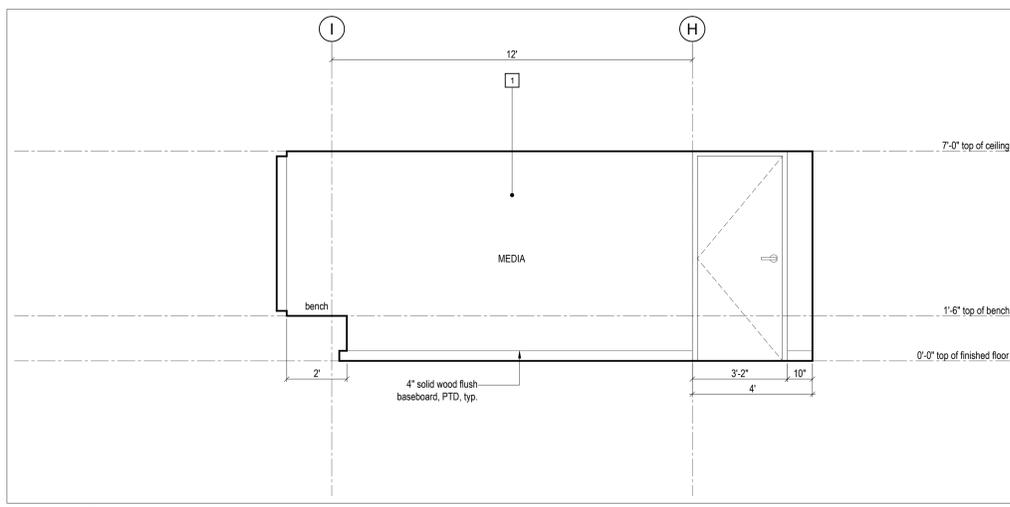
3 Powder Room - Elevation
Scale 1/2" = 1'-0"



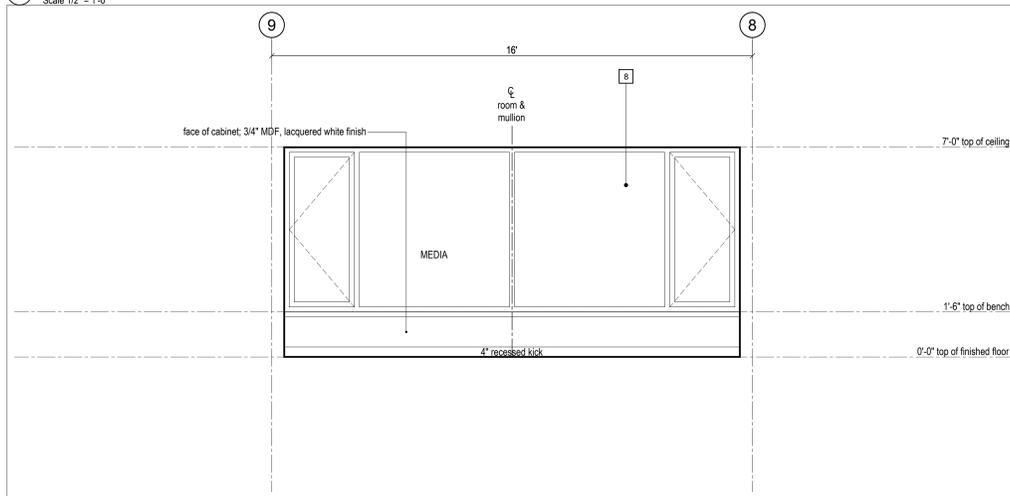
2 Foyer - Elevation
Scale 1/2" = 1'-0"



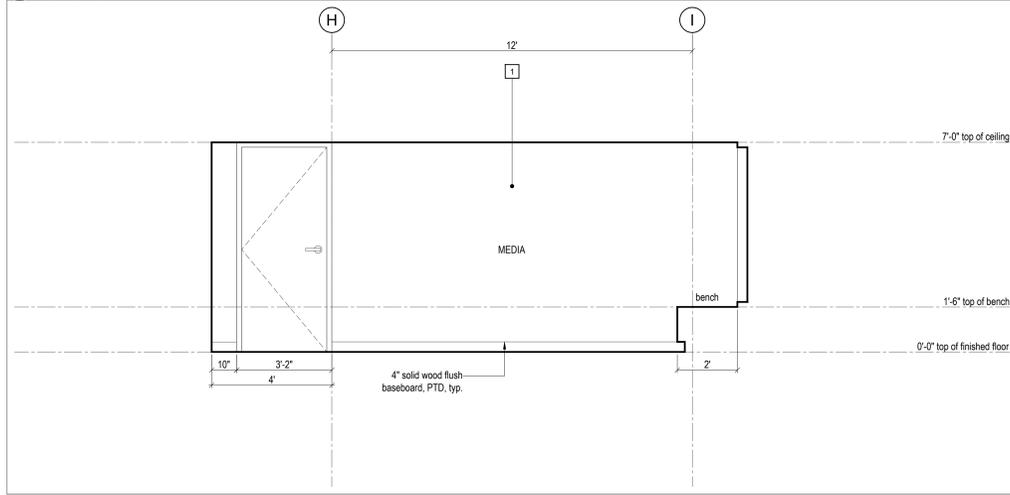
1 Foyer/Media - Enlarged Plan
Scale 1/2" = 1'-0"



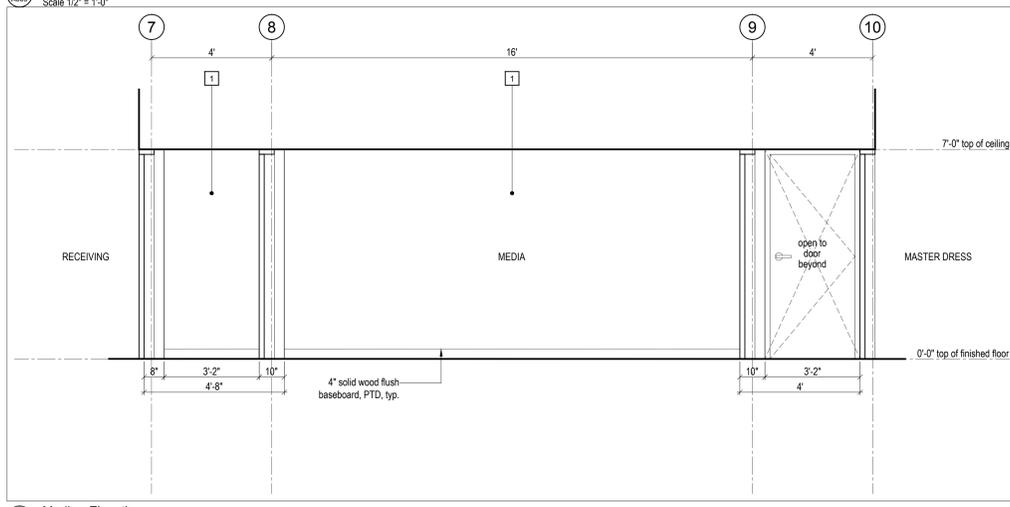
7 Media - Elevation
Scale 1/2" = 1'-0"



6 Media - Elevation
Scale 1/2" = 1'-0"



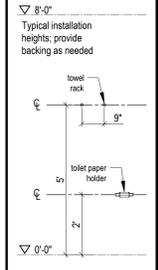
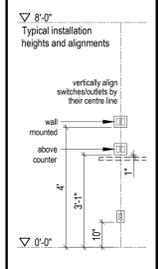
5 Media - Elevation
Scale 1/2" = 1'-0"



4 Media - Elevation
Scale 1/2" = 1'-0"

- LEGEND**
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 - 2 2" horizontal red cedar shiplap (clear finish)
 - 3 2" red cedar gapped boards (clear finish)
 - 4 tile as per finish schedule
 - 5 tile 2 as per finish schedule
 - 6 engineered hardwood flooring on concrete topping (heated) - typical
 - 7 exposed concrete topping (heated)
 - 8 glazing system - see window/door schedule

NOTE: all dimensions to be verified in field



No.	Description	Date
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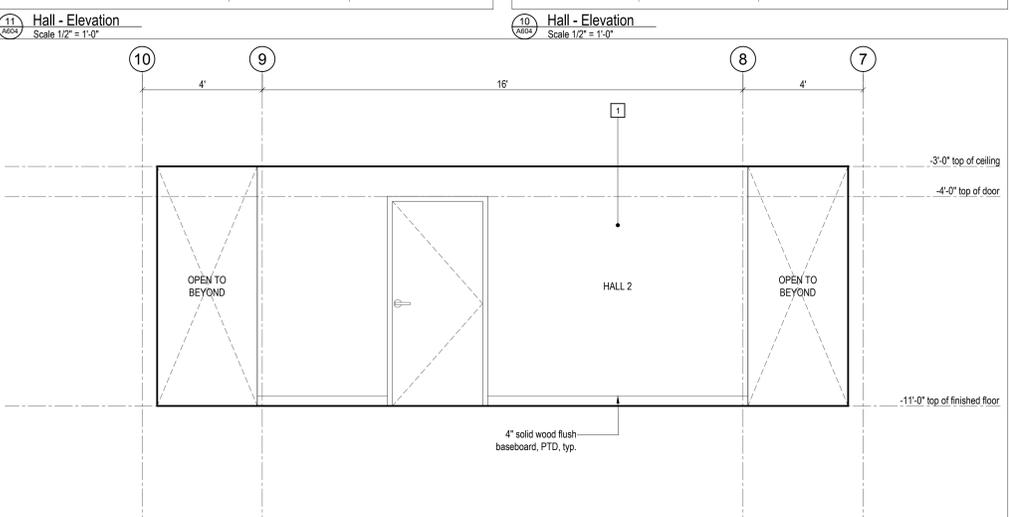
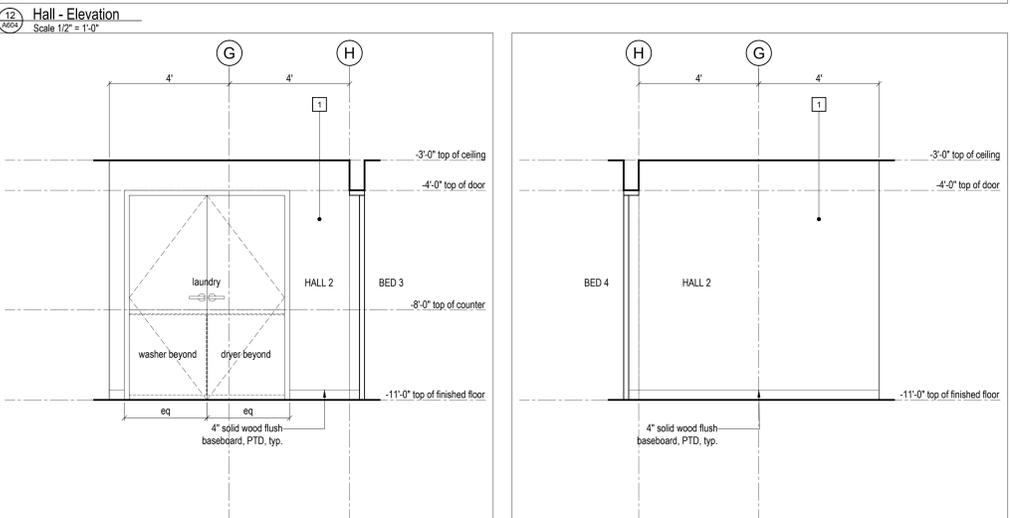
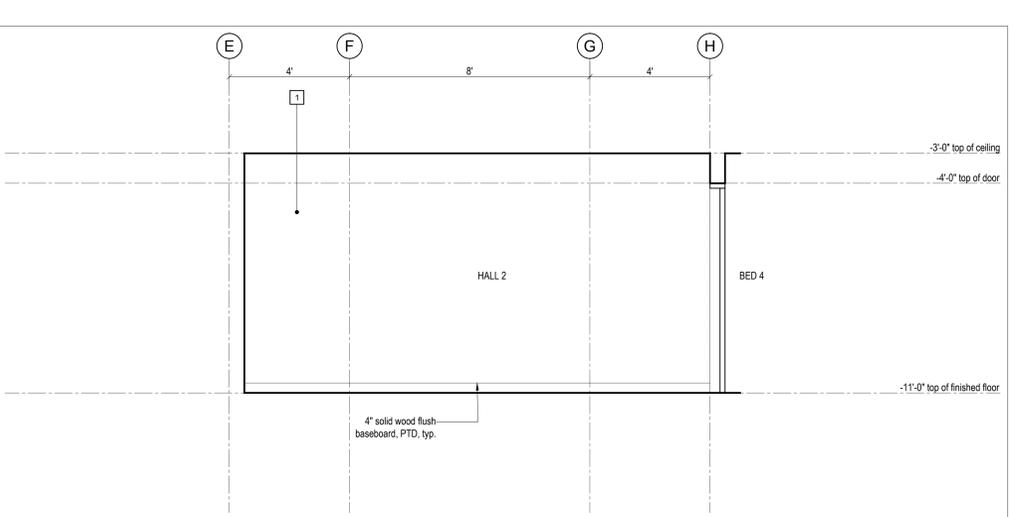
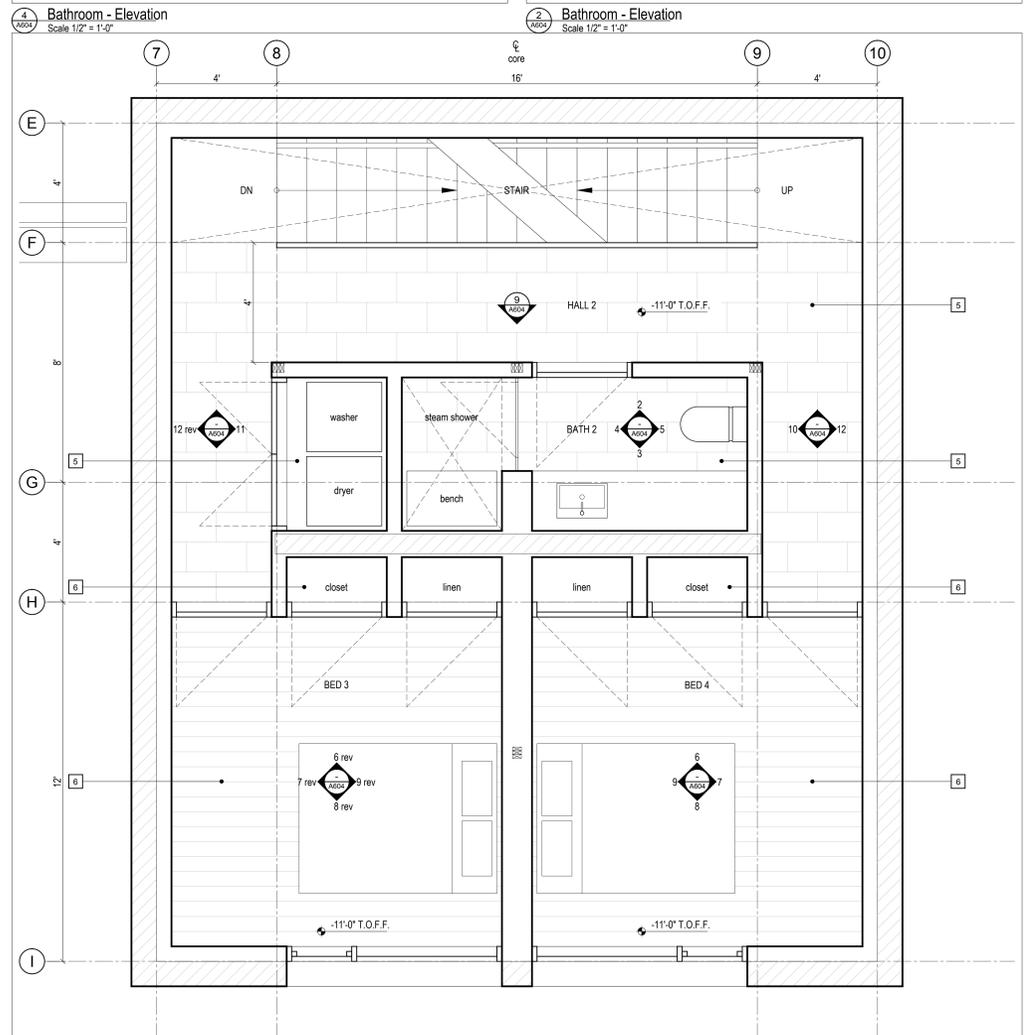
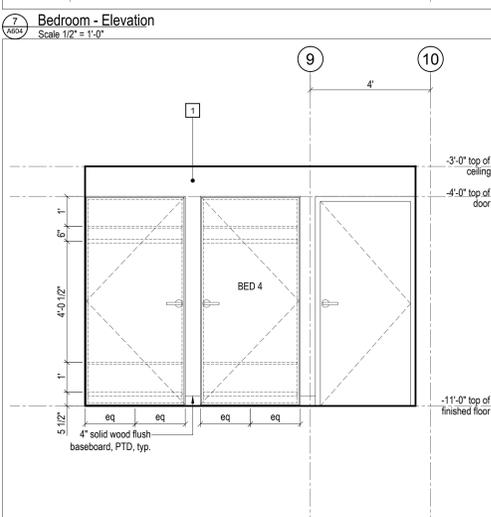
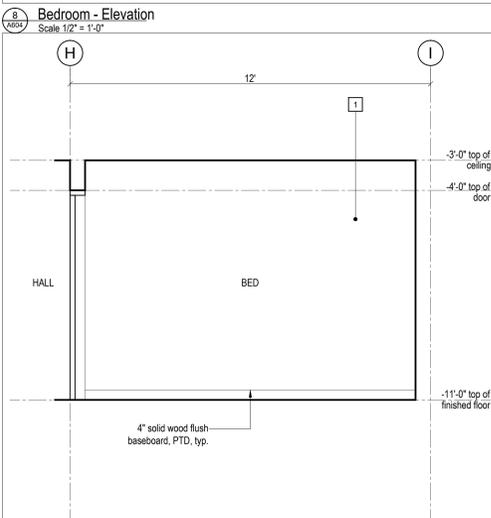
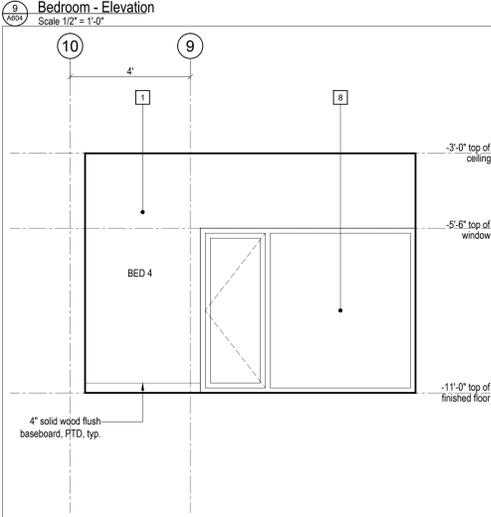
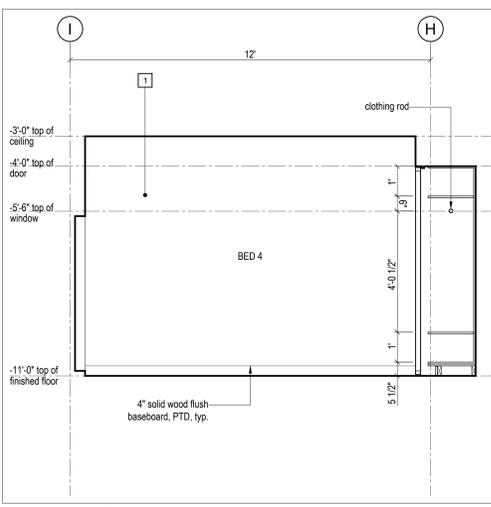
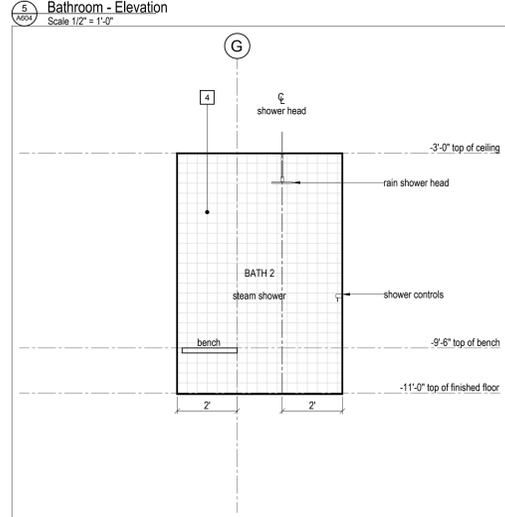
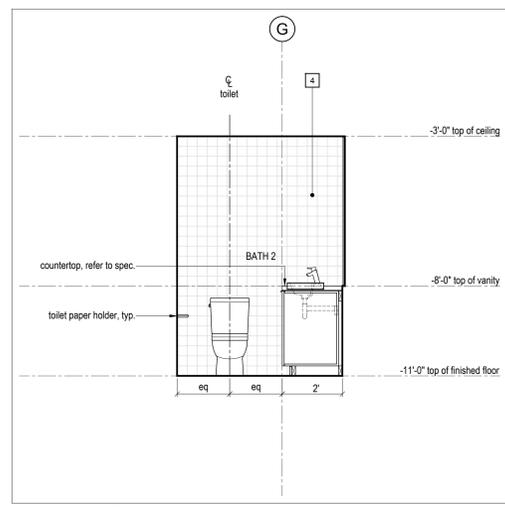
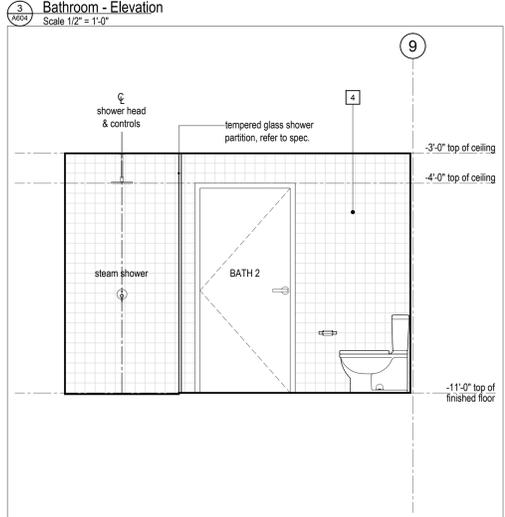
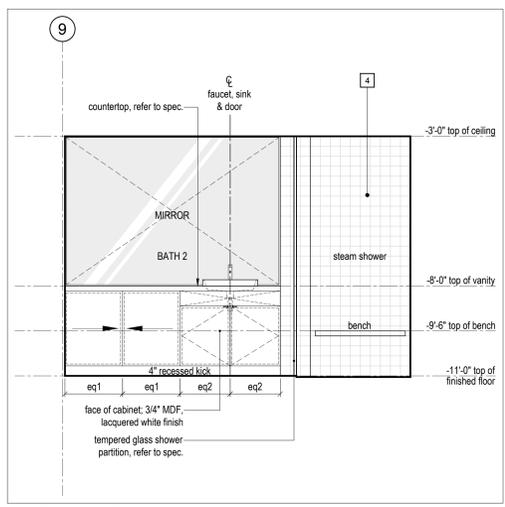
ARCHITECT'S REQUIREMENTS AND APPROVALS:
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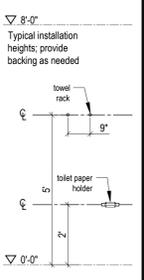
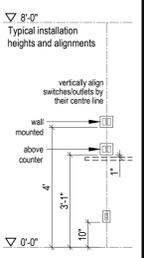
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- LEGEND**
- 1 gypsum wallboard (painted)
 - 2 2" horizontal red cedar shiplap (clear finish)
 - 3 2" red cedar gapped boards (clear finish)
 - 4 tile 1 as per finish schedule
 - 5 tile 2 as per finish schedule
 - 6 engineered hardwood flooring on concrete topping (heated) - typical
 - 7 exposed concrete topping (heated)
 - 8 glazing system - see window/door schedule
- NOTE:** all dimensions to be verified in field



No.	Description	Date
01	DD issued for Pricing	2018.05.10

NOTES:

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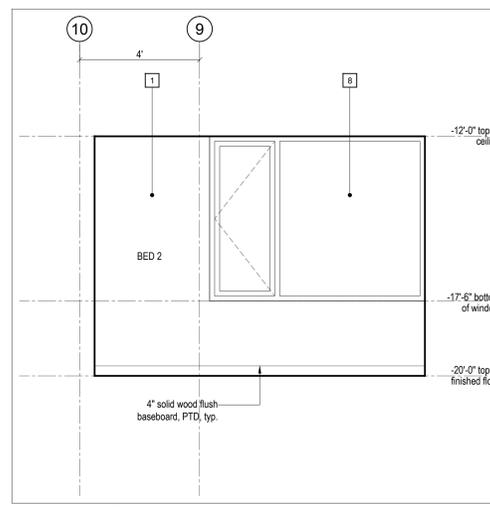
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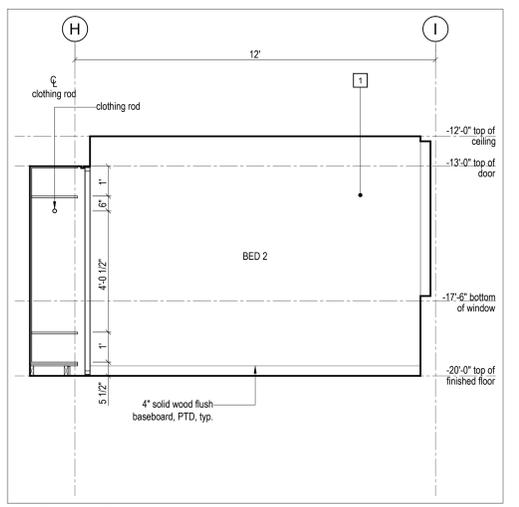
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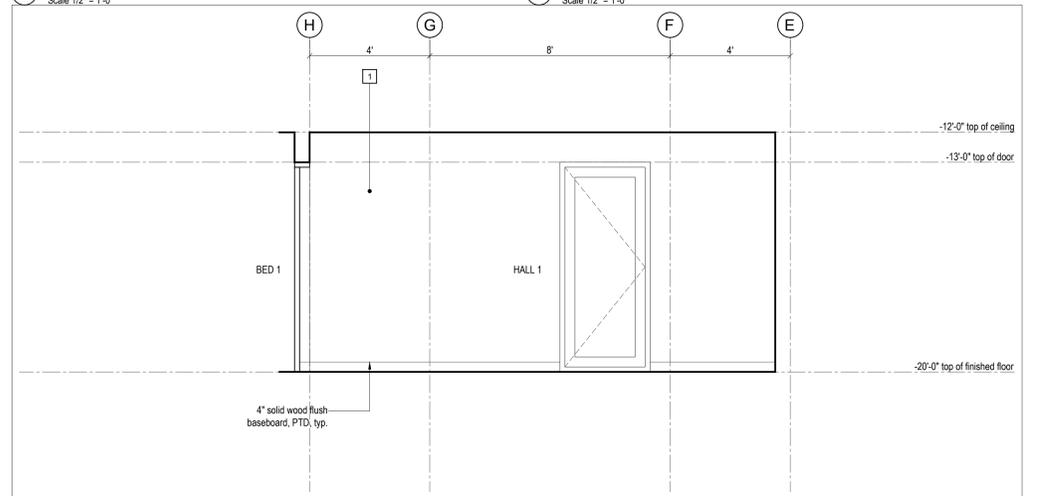
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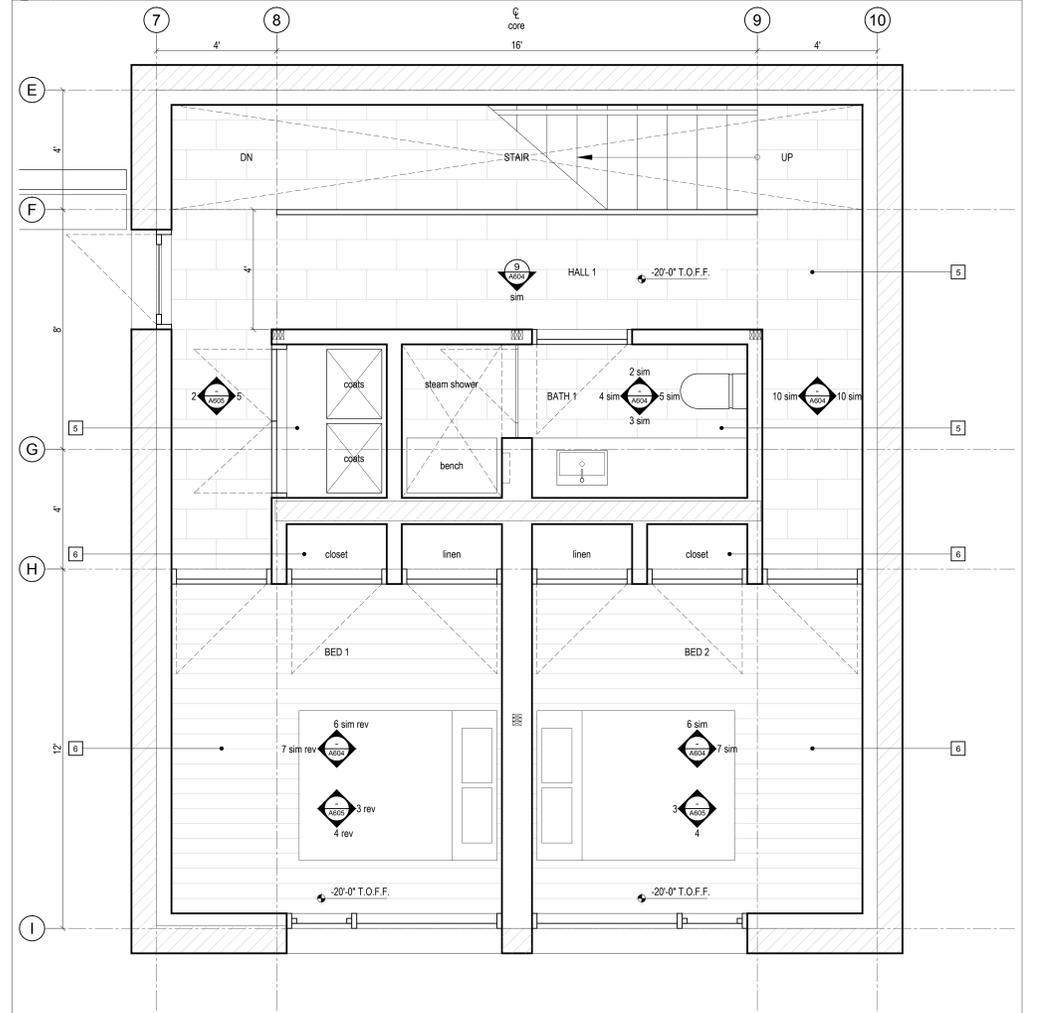
4 Bedroom - Elevation
 Scale 1/2" = 1'-0"



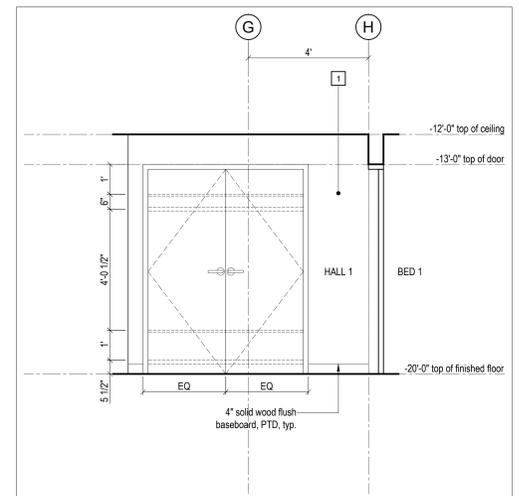
3 Bedroom - Elevation
 Scale 1/2" = 1'-0"



2 Hall - Elevation
 Scale 1/2" = 1'-0"



1 Ground Level - Enlarged Plan
 Scale 1/2" = 1'-0"

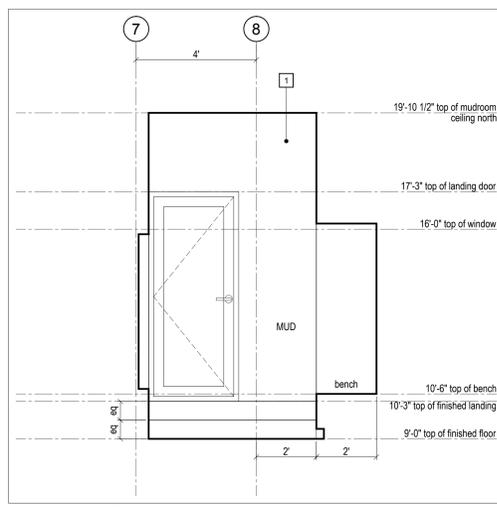
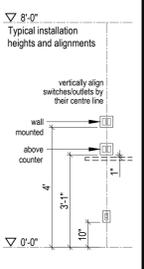


4 Hall - Elevation
 Scale 1/2" = 1'-0"

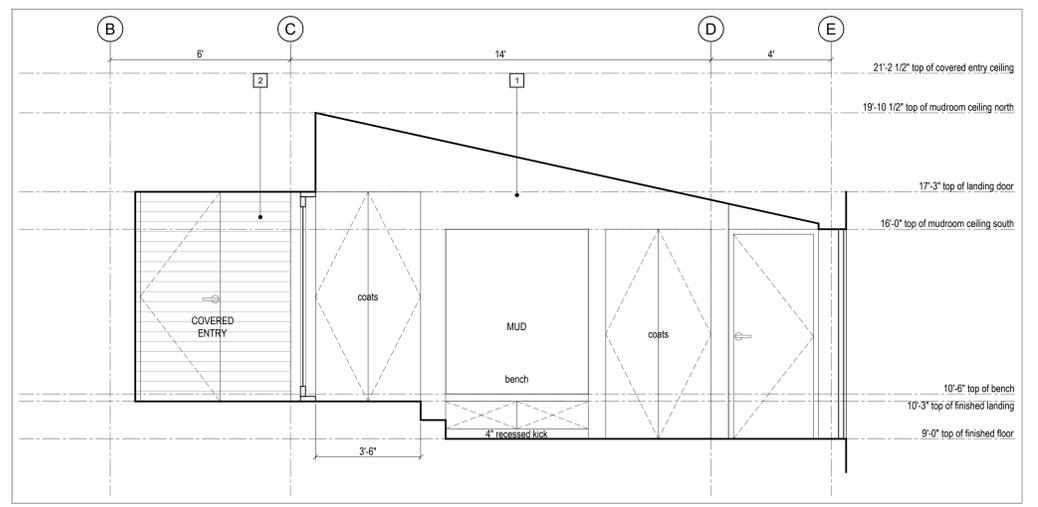
LEGEND

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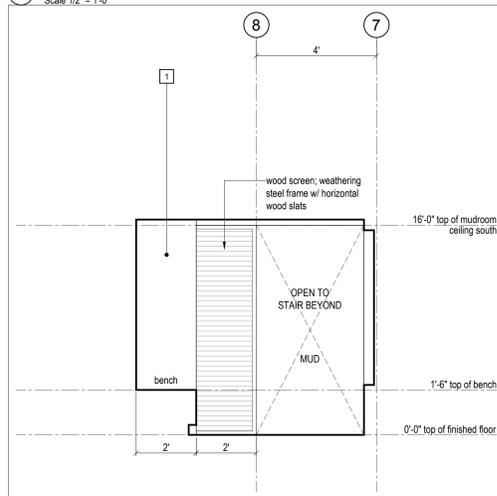
NOTE: all dimensions to be verified in field



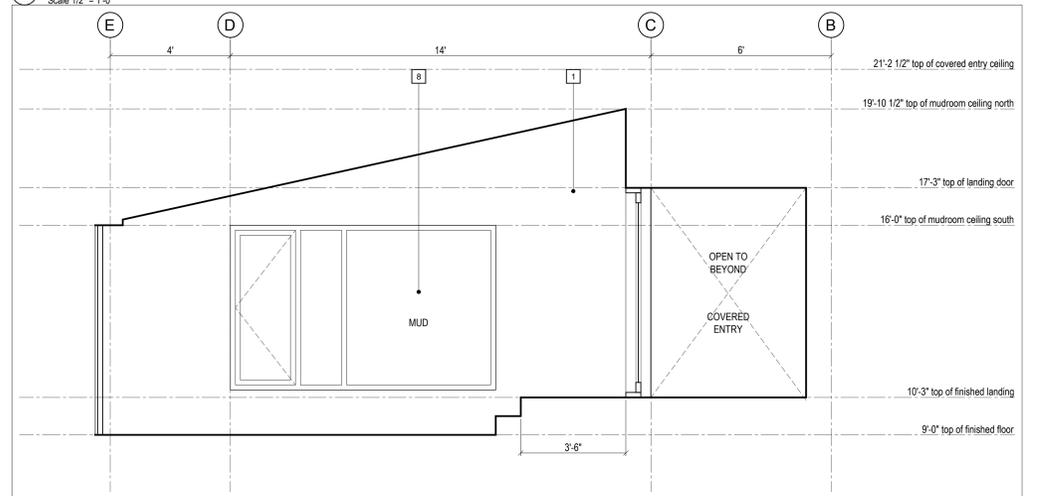
7 Mudroom - Elevation
Scale 1/2" = 1'-0"



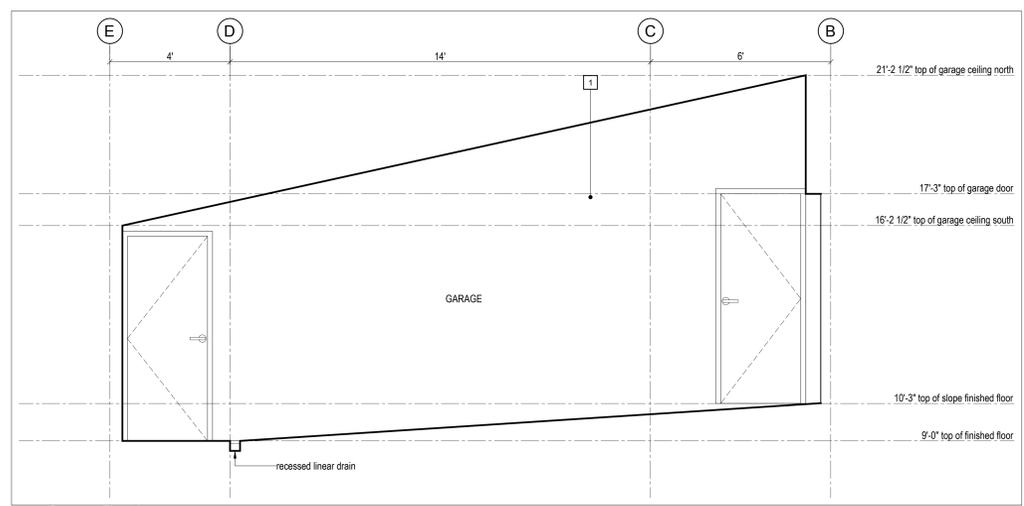
3 Mudroom - Elevation
Scale 1/2" = 1'-0"



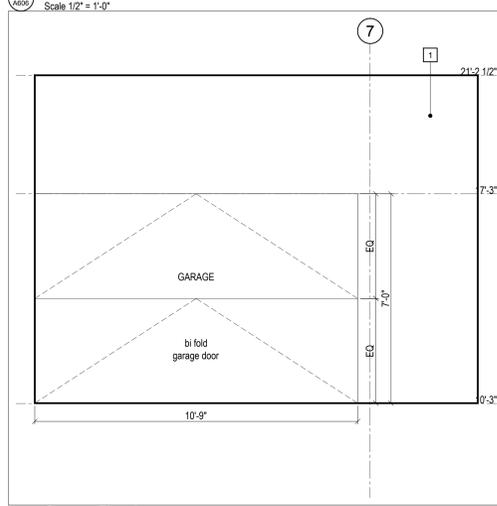
6 Mudroom - Elevation
Scale 1/2" = 1'-0"



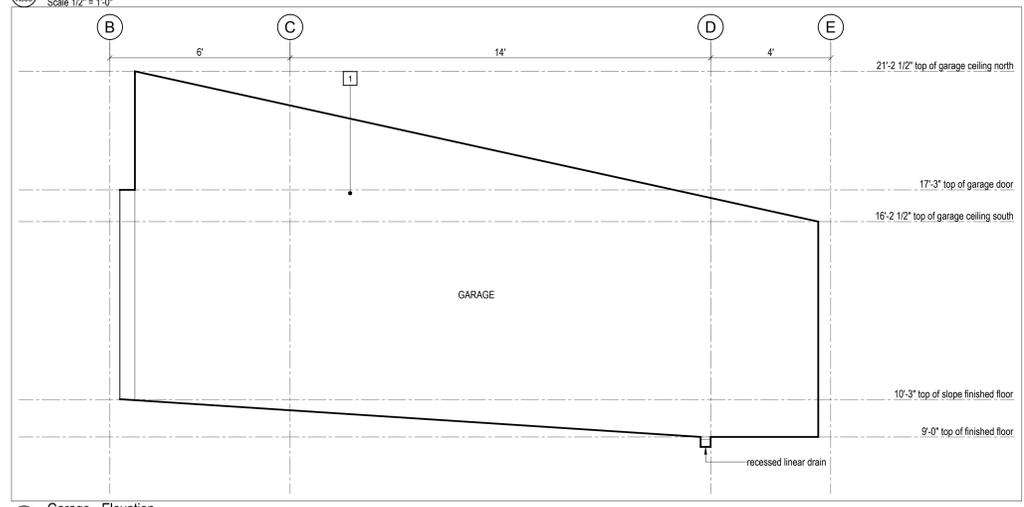
2 Mudroom - Elevation
Scale 1/2" = 1'-0"



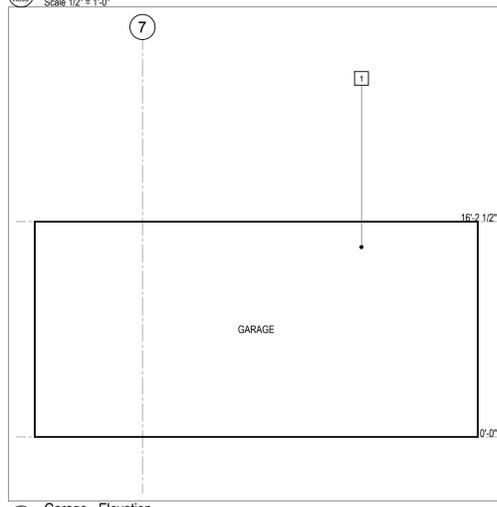
9 Garage - Elevation
Scale 1/2" = 1'-0"



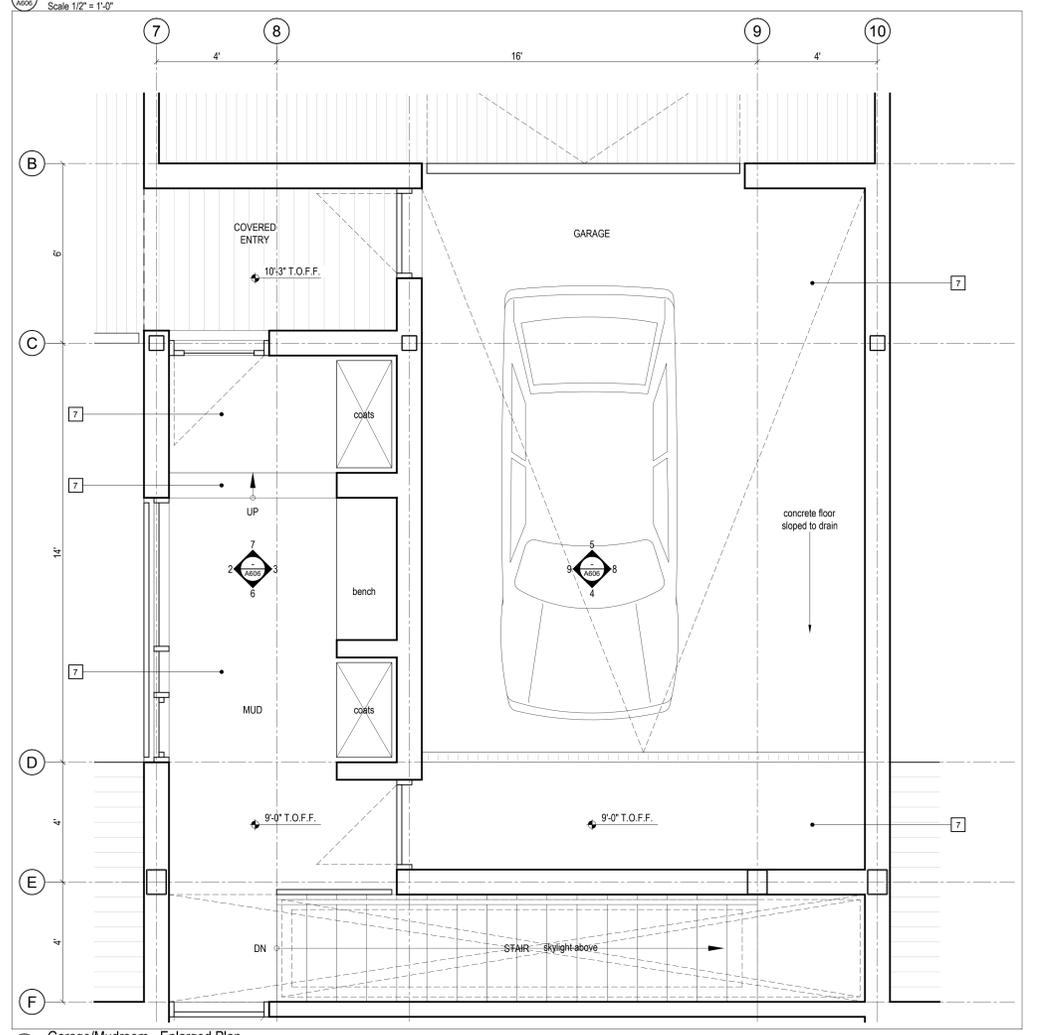
8 Garage - Elevation
Scale 1/2" = 1'-0"



4 Garage - Elevation
Scale 1/2" = 1'-0"



1 Garage - Elevation
Scale 1/2" = 1'-0"



1 Garage/Mudroom - Enlarged Plan
Scale 1/2" = 1'-0"

No.	Description	Date
11	DD Issued for Pricing	2018.05.10

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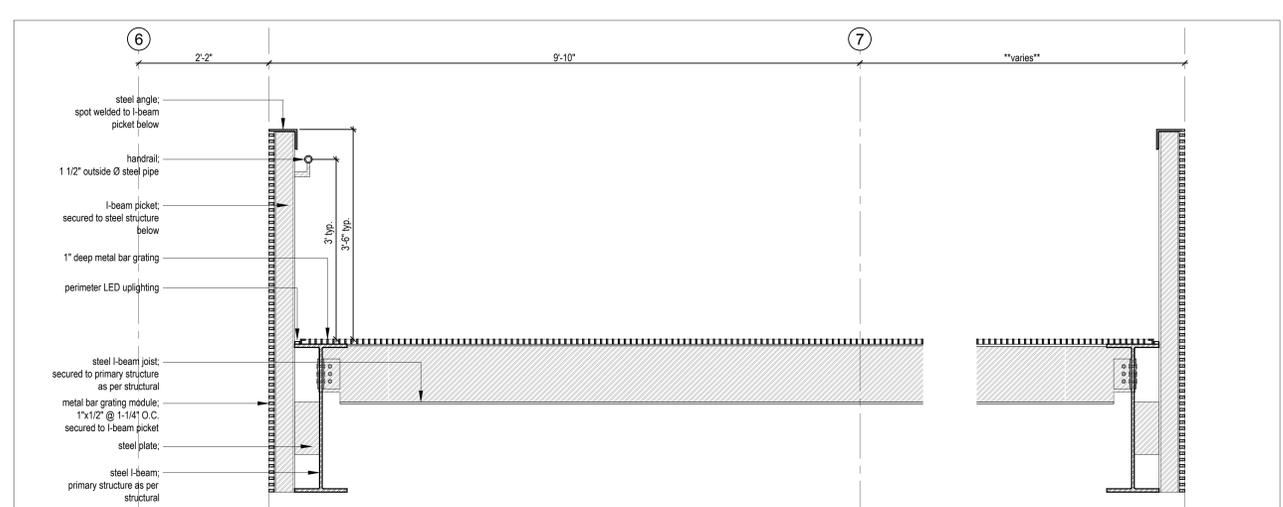
ENGINEER'S REQUIREMENTS AND APPROVALS:
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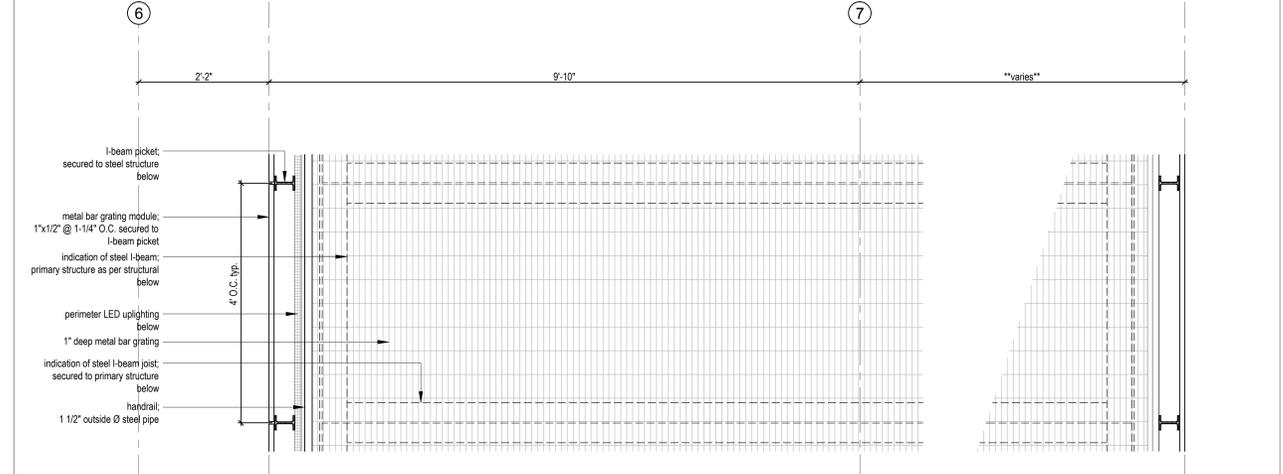
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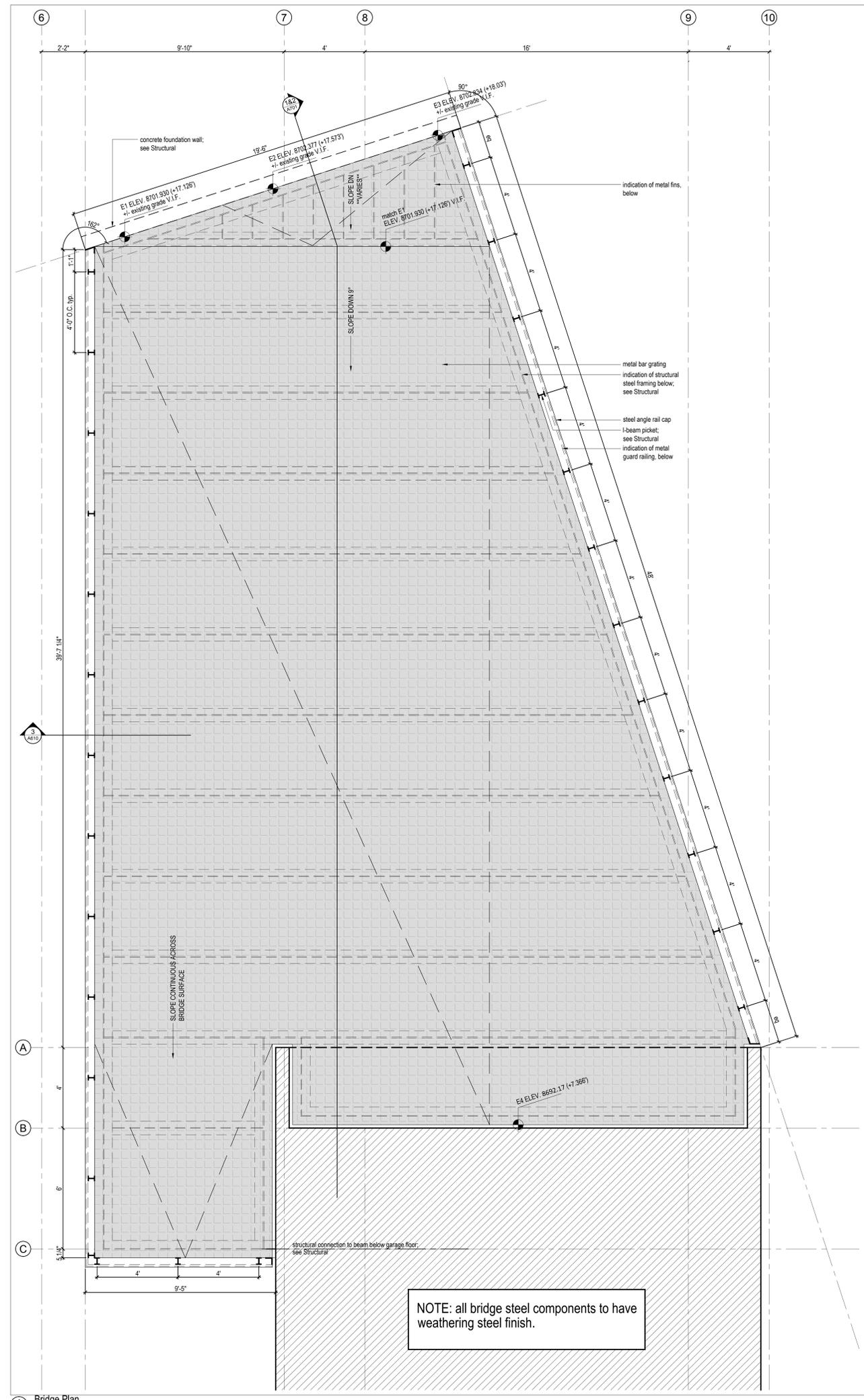
Millwork - Garage / Mudroom



1 Bridge Section Detail, Typical
 Scale 1" = 1'-0"



2 Bridge Plan Detail, Typical
 Scale 1" = 1'-0"



3 Bridge Plan
 Scale 1/2" = 1'-0"

No.	Description	Date
01	Issued for Pricing	2018.05.30

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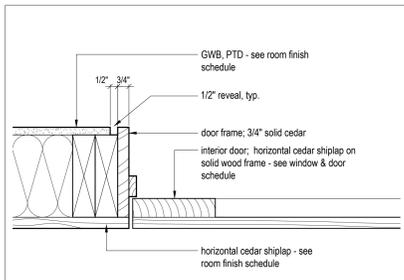
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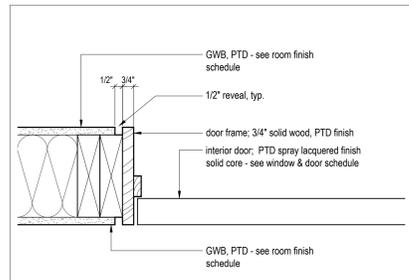
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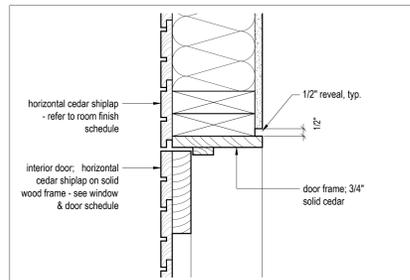
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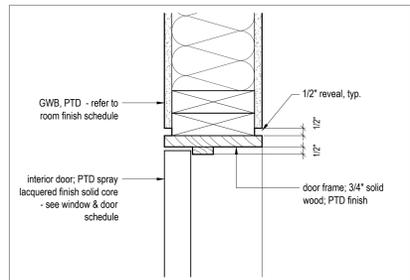
2 Typical Door Frame - Jamb Detail (SHIPLAP)
Scale 3" = 1'-0"



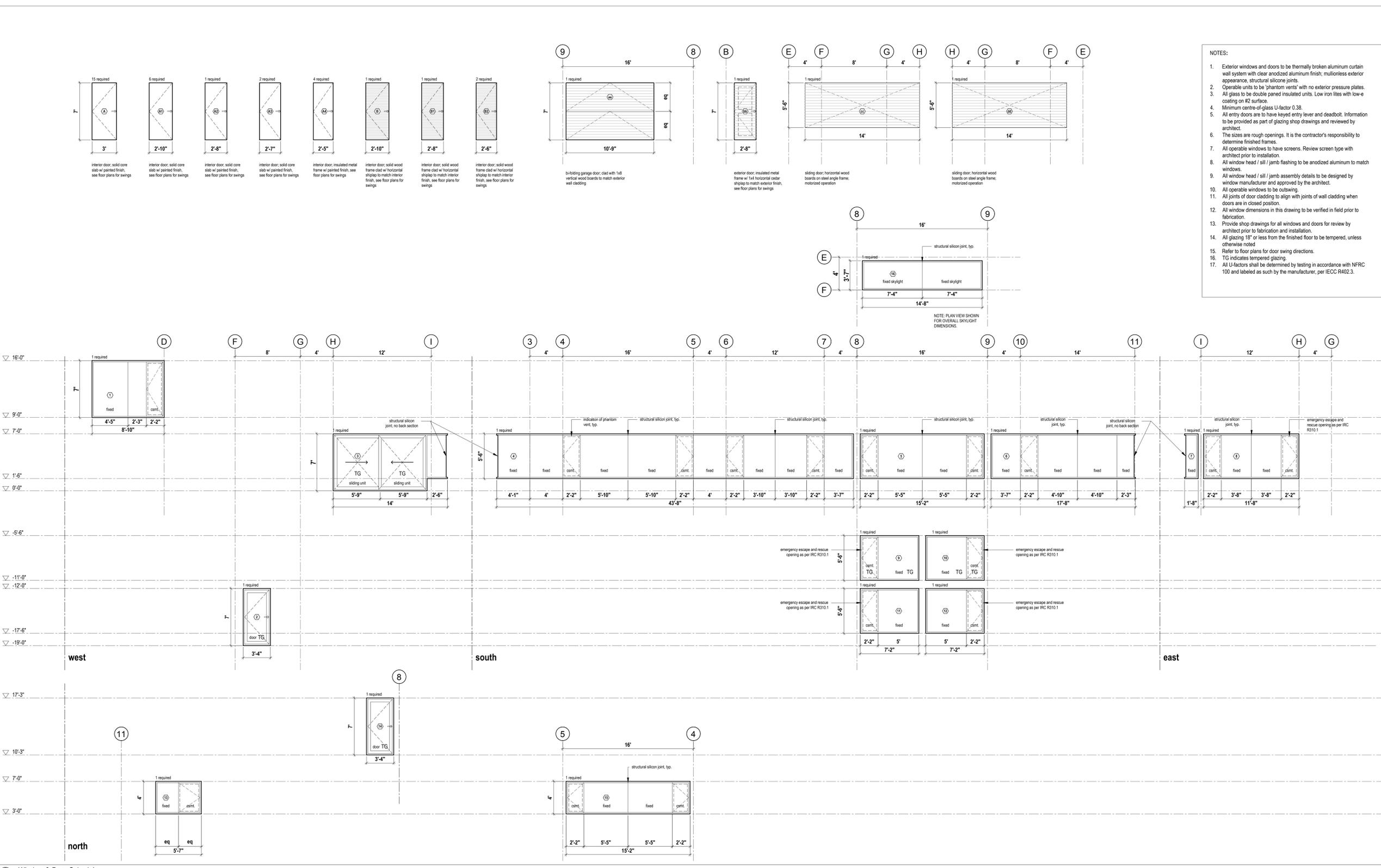
3 Typical Door Frame - Jamb Detail (GWB)
Scale 3" = 1'-0"



4 Typical Door Frame - Head Detail (SHIPLAP)
Scale 3" = 1'-0"



5 Typical Door Frame - Head Detail (GWB)
Scale 3" = 1'-0"



- NOTES:
- Exterior windows and doors to be thermally broken aluminum curtain wall system with clear anodized aluminum finish; multicolored exterior appearance, structural silicone joints.
 - Operable units to be 'phantom vents' with no exterior pressure plates.
 - All glass to be double paned insulated units. Low iron lites with low-e coating on #2 surface.
 - Minimum centre-of-glass U-factor 0.38.
 - All entry doors are to have keyed entry lever and deadbolt. Information to be provided as part of glazing shop drawings and reviewed by architect.
 - The sizes are rough openings. It is the contractor's responsibility to determine finished frames.
 - All operable windows to have screens. Review screen type with architect prior to installation.
 - All window head / sill / jamb flashing to be anodized aluminum to match windows.
 - All window head / sill / jamb assembly details to be designed by window manufacturer and approved by the architect.
 - All operable windows to be outblowing.
 - All joints of door cladding to align with joints of wall cladding when doors are in closed position.
 - All window dimensions in this drawing to be verified in field prior to fabrication.
 - Provide shop drawings for all windows and doors for review by architect prior to fabrication and installation.
 - All glazing 18" or less from the finished floor to be tempered, unless otherwise noted.
 - Refer to floor plans for door swing directions.
 - TG indicates tempered glazing.
 - All U-factors shall be determined by testing in accordance with NFRC 100 and labeled as such by the manufacturer, per IECC R402.3.

6 Window & Door Schedule
Scale 1/4" = 1'-0"

03	Issued for Pricing	2018.05.10
01	Issued for Coordination	2018.05.08
No.	Description	Date
Revision:		

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