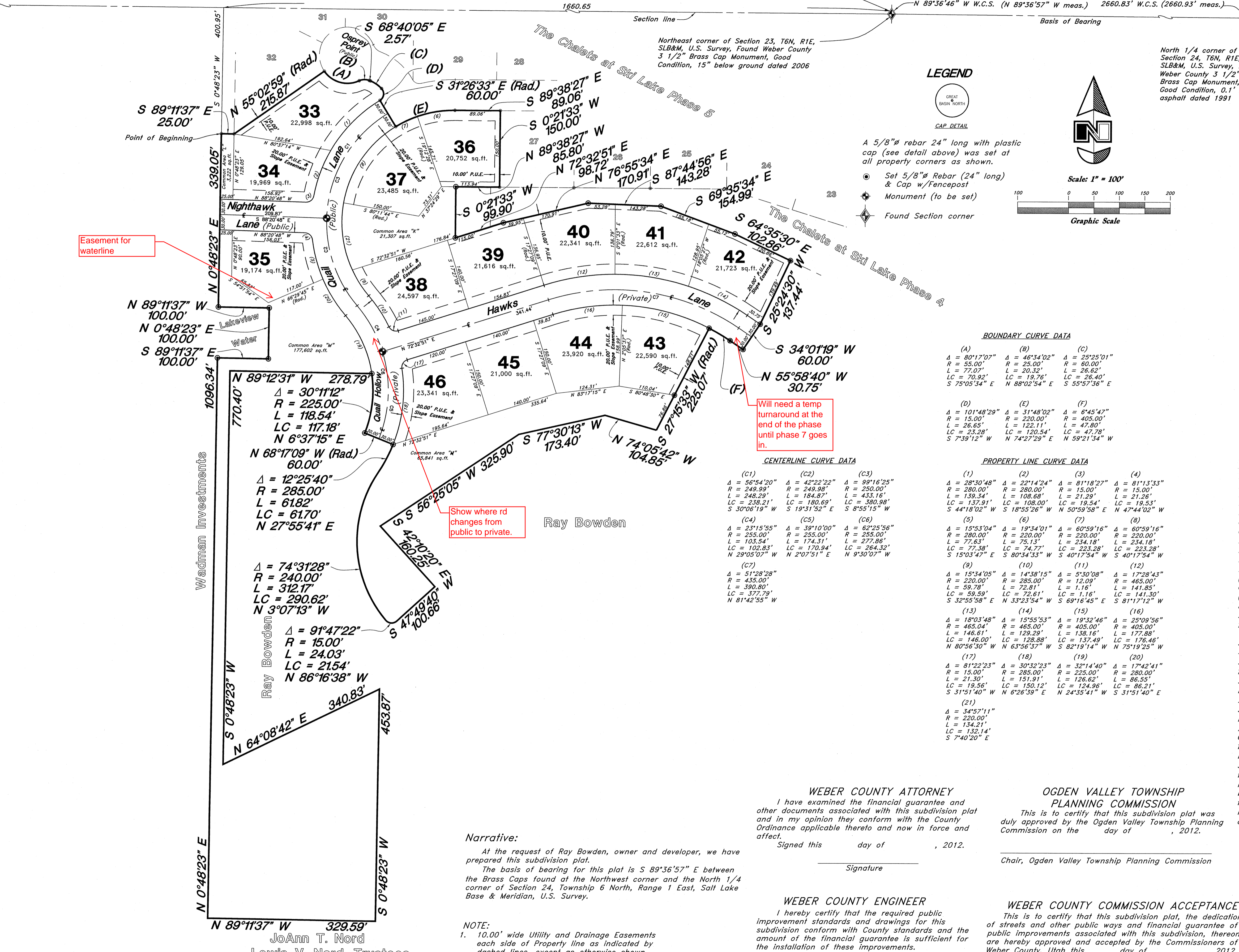


# The Chalets at Ski Lake Phase 6

A Cluster Subdivision  
a part of the of Northeast 1/4 of Section 23, T6N, R1E, SLB&M, U.S. Survey  
Weber County, Utah  
April 2012

North 1/4 corner of Section 23, T6N, R1E, SLB&M, U.S. Survey, Found Bureau of Land Management, Brass Cap, Good Condition, 0.4' above natural ground dated 1967  
N 89°38'44" W W.C.S. (N 89°38'27" W)

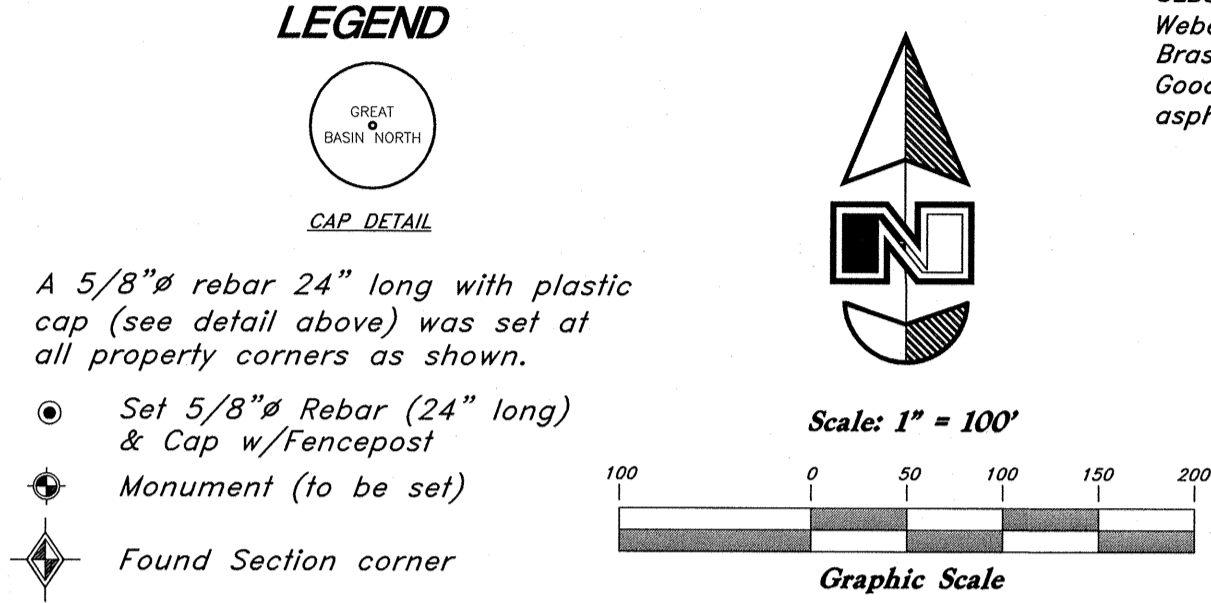


SURVEYOR'S CERTIFICATE  
I, Mark E. Babbitt, do hereby certify that I am a Registered Professional Land Surveyor in the State of Utah, and that I hold Certificate No. 166484 in accordance with Title 58 Chapter 22, Professional Engineers and Land Surveyors Licensing Act. I also do hereby certify that The Chalets at Ski Lake Phase 6, A Cluster Subdivision in Weber County, Utah has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office, and of a survey made on the ground in accordance with Section 17-23-17, Monumented Lot corners have been set as shown on this drawing.  
I also certify that all the lots within The Chalets at Ski Lake Phase 5, A Cluster Subdivision meet the frontage area requirements of the Weber County Zoning Ordinance.  
Signed this 4th day of April, 2012.

166484  
License No. Mark E. Babbitt

OWNER'S DEDICATION  
I, the undersigned owner of the herein described tract of land, do hereby set apart and subdivide the same into lots and streets as shown on the plat and name this tract The Chalets at Ski Lake Phase 6, a Cluster Subdivision and do hereby dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares, also grant and convey to the subdivision lot (unit) Owners Association, all those parts or portions of said tract of land designated as Common Areas to be used for recreational and open space purposes for the benefit of each lot (unit) Owners Association member in common with all others in the subdivision and grant and dedicate to Weber County a perpetual Open Space Right and Easement on and over the Common Areas to guarantee to Weber County that the Common Areas remain open and undeveloped except for approved recreational, parking and open space purposes, and also grant and dedicate a perpetual right and easement over, upon and under the lands designated hereof as public utility, storm water detention ponds drainage easements and canal maintenance easements, the same to be used for the installation, maintenance and operation of public utility service lines, storm drainage facilities, irrigation canals or for the perpetual preservation of water channels in their natural state whichever is applicable as may be authorized by governing authority with no buildings or structures being erected within such easements.  
Dedicate, grant and convey to Weber County, Utah, or its designee, all those parts or portions of said tract of land designated as parks the same to be used as public open space.  
Signed this 4th day of April, 2012.

Valley Enterprise Investment Company, LLC.



(A)	(B)	(C)
$\Delta = 80^{\circ}17'07"$ $R = 280.00'$ $L = 77.07'$ $LC = 70.92'$ $S 79^{\circ}05'34" E$	$\Delta = 46^{\circ}34'02"$ $R = 26.00'$ $L = 20.32'$ $LC = 19.54'$ $N 89^{\circ}02'54" E$	$\Delta = 23^{\circ}25'01"$ $R = 60.00'$ $L = 26.62'$ $LC = 26.40'$ $S 55^{\circ}57'36" E$

(D)	(E)	(F)
$\Delta = 101^{\circ}48'29"$ $R = 15.00'$ $L = 26.65'$ $LC = 23.28'$ $S 7^{\circ}39'12" W$	$\Delta = 31^{\circ}48'02"$ $R = 220.00'$ $L = 122.11'$ $LC = 120.54'$ $N 74^{\circ}27'29" E$	$\Delta = 6^{\circ}45'47"$ $R = 405.00'$ $L = 47.89'$ $LC = 47.78'$ $N 59^{\circ}21'34" W$

(1)	(2)	(3)	(4)
$\Delta = 26^{\circ}30'48"$ $R = 280.00'$ $L = 139.34'$ $LC = 137.91'$ $S 44^{\circ}18'02" W$	$\Delta = 22^{\circ}14'24"$ $R = 280.00'$ $L = 108.68'$ $LC = 108.00'$ $S 18^{\circ}55'26" W$	$\Delta = 81^{\circ}18'27"$ $R = 15.00'$ $L = 21.29'$ $LC = 19.54'$ $N 50^{\circ}59'58" E$	$\Delta = 81^{\circ}13'33"$ $R = 60.00'$ $L = 21.26'$ $LC = 19.53'$ $N 47^{\circ}44'02" E$
(5)	(6)	(7)	(8)
$\Delta = 15^{\circ}53'04"$ $R = 280.00'$ $L = 77.33'$ $LC = 77.38'$ $S 15^{\circ}03'47" E$	$\Delta = 19^{\circ}34'01"$ $R = 220.00'$ $L = 75.13'$ $LC = 74.77'$ $S 80^{\circ}34'33" W$	$\Delta = 60^{\circ}59'16"$ $R = 220.00'$ $L = 234.18'$ $LC = 223.28'$ $S 40^{\circ}17'54" W$	$\Delta = 80^{\circ}59'16"$ $R = 220.00'$ $L = 234.18'$ $LC = 223.28'$ $S 40^{\circ}17'54" W$
(9)	(10)	(11)	(12)
$\Delta = 15^{\circ}34'05"$ $R = 220.00'$ $L = 59.78'$ $LC = 59.59'$ $N 81^{\circ}42'55" W$	$\Delta = 14^{\circ}38'15"$ $R = 285.00'$ $L = 72.81'$ $LC = 72.61'$ $N 33^{\circ}23'54" W$	$\Delta = 5^{\circ}50'08"$ $R = 12.09'$ $L = 1.16'$ $LC = 1.16'$ $S 81^{\circ}17'12" W$	$\Delta = 17^{\circ}28'43"$ $R = 465.00'$ $L = 141.89'$ $LC = 141.50'$ $S 81^{\circ}17'12" W$
(13)	(14)	(15)	(16)
$\Delta = 18^{\circ}03'48"$ $R = 465.04'$ $L = 146.61'$ $LC = 146.00'$ $N 80^{\circ}56'30" W$	$\Delta = 15^{\circ}55'53"$ $R = 405.00'$ $L = 128.29'$ $LC = 128.88'$ $N 62^{\circ}19'14" W$	$\Delta = 19^{\circ}32'46"$ $R = 405.00'$ $L = 138.16'$ $LC = 137.49'$ $N 82^{\circ}19'25" W$	$\Delta = 25^{\circ}09'56"$ $R = 280.00'$ $L = 177.88'$ $LC = 176.46'$ $S 40^{\circ}17'54" W$
(17)	(18)	(19)	(20)
$\Delta = 81^{\circ}22'23"$ $R = 15.00'$ $L = 21.30'$ $LC = 19.56'$ $S 31^{\circ}51'40" W$	$\Delta = 30^{\circ}32'23"$ $R = 285.00'$ $L = 151.91'$ $LC = 150.12'$ $N 6^{\circ}26'39" E$	$\Delta = 32^{\circ}14'40"$ $R = 225.00'$ $L = 126.62'$ $LC = 124.96'$ $N 24^{\circ}35'41" W$	$\Delta = 17^{\circ}42'41"$ $R = 280.00'$ $L = 86.55'$ $LC = 86.21'$ $S 31^{\circ}51'40" E$

(C1)	(C2)	(C3)
$\Delta = 56^{\circ}54'20"$ $R = 249.99'$ $L = 248.29'$ $LC = 238.21'$ $S 30^{\circ}05'19" W$	$\Delta = 42^{\circ}22'22"$ $R = 249.98'$ $L = 184.87'$ $LC = 180.69'$ $S 19^{\circ}51'32" E$	$\Delta = 99^{\circ}16'25"$ $R = 250.00'$ $L = 433.16'$ $LC = 380.98'$ $S 6^{\circ}53'15" W$
(C4)	(C5)	(C6)
$\Delta = 23^{\circ}15'55"$ $R = 255.00'$ $L = 103.54'$ $LC = 102.83'$ $N 29^{\circ}05'07" W$	$\Delta = 39^{\circ}10'00"$ $R = 255.00'$ $L = 174.31'$ $LC = 170.84'$ $N 2^{\circ}07'51" E$	$\Delta = 62^{\circ}25'56"$ $R = 255.00'$ $L = 277.86'$ $LC = 264.32'$ $N 9^{\circ}30'07" W$
(C7)	(C8)	(C9)
$\Delta = 51^{\circ}28'28"$ $R = 435.00'$ $L = 390.80'$ $LC = 371.79'$ $N 81^{\circ}42'55" W$	$\Delta = 62^{\circ}25'56"$ $R = 255.00'$ $L = 277.86'$ $LC = 264.32'$ $N 9^{\circ}30'07" W$	$\Delta = 17^{\circ}28'43"$ $R = 465.00'$ $L = 141.89'$ $LC = 141.50'$ $S 81^{\circ}17'12" W$

Will need a temp turnaround at the end of the phase until phase 7 goes in.

Show where rd changes from public to private.

Ray Bowden

WEBER COUNTY ATTORNEY  
I have examined the financial guarantee and other documents associated with this subdivision plat and in my opinion they conform with the County Ordinance applicable thereto and now in force and effect.  
Signed this day of , 2012.

Narrative:  
At the request of Ray Bowden, owner and developer, we have prepared this subdivision plat.  
The basis of bearing for this plat is S 89°36'57" E between the Brass Caps found at the Northwest corner and the North 1/4 corner of Section 24, Township 6 North, Range 1 East, Salt Lake Base & Meridian, U.S. Survey.

NOTE:  
1. 10.00' wide Utility and Drainage Easements each side of Property line as indicated by dashed lines, except as otherwise shown.  
2. 20.00' cut and fill easements along front of lots as shown.  
3. Centerline monuments to be set upon completion of improvements, as shown  
4. Common areas may be used as Public Utility Easements.

OGDEN VALLEY TOWNSHIP PLANNING COMMISSION  
This is to certify that this subdivision plat was duly approved by the Ogden Valley Township Planning Commission on the day of , 2012.  
Chair, Ogden Valley Township Planning Commission

WEBER COUNTY ENGINEER  
I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and the amount of the financial guarantee is sufficient for the installation of these improvements.  
Signed this day of , 2012.

WEBER COUNTY SURVEYOR  
I hereby certify that the Weber County Surveyor's Office has reviewed this plat for mathematical correctness, section corner data, and for harmony with the lines and monuments on record in the County offices. The approval of this plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith.  
Signed this day of , 2012.

State of } ss  
County of }  
On the day of , 2012, personally appeared before me, Ray Bowden who being by me duly sworn did say that he is President of Valley Enterprise Investment Company, LLC, and that said instrument was signed in behalf of said Corporation by a resolution of its Board of Directors and Ray Bowden acknowledged to me that said Corporation executed the same.  
Residing at: A Notary Public commissioned in Utah  
Commission Expires: Print Name

BOUNDARY DESCRIPTION  
A part of the Northeast Quarter of Section 23, Township 6 North, Range 1 East, Salt Lake Base and Meridian, U.S. Survey:  
Beginning at the Southwest corner of Lot 32 of The Chalets at Ski Lake Phase 5 a Cluster Subdivision in Weber County, which point is 1660.65 feet North 89°38'27" West along the Section line to the Northwest boundary corner of said Chalets at Ski Lake Phase 5, and 400.95 feet South 0°48'23" West along the West boundary line of said Chalets at Ski Lake Phase 5, from the Northeast Corner of said Section 23; and running thence along the Southerly boundary lines of The Chalets at Ski Lake Phases 4 and 5 the following nineteen (19) courses: South 89°11'37" East 25.00 feet, North 55°02'59" East 215.87 feet, Southeasterly along a 55.00 foot radius curve to the left a distance of 77.07' (Central Angle is 80°17'07") and Long Chord bears South 75°05'34" East 70.92 feet, Northeasterly along the arc of a 25.00 foot radius curve to the right a distance of 20.32 feet (Central Angle is 46°34'02") and Long Chord bears North 88°02'54" East 19.76 feet, South 68°40'05" East 2.57 feet, Southeasterly along the arc of a 60.00 foot radius curve to the right a distance of 26.62 feet (Central Angle is 25°25'01") and Long Chord bears South 55°57'36" East 26.40 feet, Southwest along the arc of a 15.00 foot radius curve to the right a distance of 26.65 feet (Central Angle is 101°48'29") and Long Chord bears South 7°39'12" West 23.28 feet, South 31°26'33" East 60.00 feet, Northeasterly along the arc of a 220.00 foot radius curve to the right a distance of 122.11 feet (Central Angle is 31°48'02") and Long Chord bears North 74°27'29" East 120.54 feet, South 89°38'27" East 89.06 feet, South 0°21'53" West 150.00 feet, North 89°38'27" West 85.80 feet, South 0°21'33" West 99.90 feet, North 72°32'51" East 98.72 feet, North 76°55'34" East 170.91 feet, South 87°44'56" East 143.28 feet, South 69°35'34" East 154.99 feet, South 64°35'30" East 120.86 feet; thence South 25°24'30" West 137.44 feet; thence South 34°01'19" West 60.00 feet; thence North 55°58'40" West 30.75 feet; thence Northwesterly along the arc of a 405.00 foot radius curve to the right a distance of 47.89 feet; thence North 59°21'34" West 47.78 feet; thence South 27°15'33" West 225.07 feet; thence North 74°05'42" West 104.85 feet; thence South 77°30'13" West 173.40 feet; thence South 56°25'05" West 325.90 feet; thence North 6°37'15" East 60.00 feet; thence South 74°31'28" East 278.79 feet; thence South 0°48'23" West 770.40 feet; North 64°08'42" East 340.83 feet; thence South 0°48'23" West 453.87 feet to the North line of Nord Investment Company parcel; thence along said Nord parcel line North 89°11'37" West 329.59 feet to the East Boundary line of Wadman Investments LLC parcel; thence along said East boundary line North 0°48'23" East 1096.34 feet to the South boundary line of Lakeview Water Company parcel; thence following said Lakeview Water Company parcel the following three (3) courses: South 89°11'37" East 100.00 feet, North 0°48'23" East 100.00 feet, and North 89°11'37" West 100.00 feet, to the East boundary line of Wadman Investments LLC parcel; thence along said East boundary line North 0°48'23" East 339.05 feet to the point of beginning.

Contains 675,733 sq. ft. or 15.513 acres.

GREAT BASIN ENGINEERING NORTH  
CONSULTING ENGINEERS AND SURVEYORS  
5746 South 1475 East - Suite 200  
Ogden, Utah 84403  
P.O. Box 150048, Ogden, Utah 84415  
Ogden (801)394-4515 Salt Lake City (801)321-0222 Fax (801)392-7544

Developer:  
Valley Enterprise Investment Company, LLC.  
Ray Bowden - President  
3333 East 8850 North  
Eden, UT. 84310

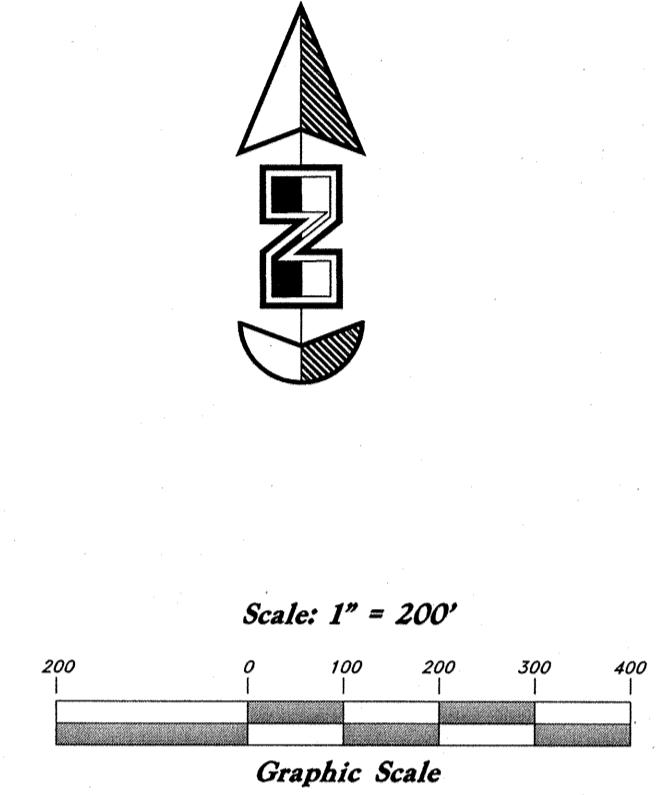
JoAnn T. Nord  
Lewis V. Nord, Trustees

WEBER COUNTY RECORDER

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
RECORDED \_\_\_\_\_ AT \_\_\_\_\_  
\_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL RECORDS, PAGE \_\_\_\_\_ RECORDED FOR \_\_\_\_\_  
WEBER COUNTY RECORDER  
BY: \_\_\_\_\_ DEPUTY

9EN120 PH 6 SUBDIVISION PLAT

Sheet 3



**Legend**

- (Note: All items may not appear on drawing)
- San. Sewer Manhole
  - Water Manhole
  - Storm Drain Manhole
  - Electrical Manhole
  - Catch Basins
  - Exist. Fire Hydrant
  - Fire Hydrant
  - Exist. Water Valve
  - Water Valve
  - Sanitary Sewer
  - Culinary Water
  - Gas Line
  - Irrigation Line
  - Storm Drain
  - Telephone Line
  - Secondary Waterline
  - Power Line
  - Fire Line
  - Land Drain
  - Power pole
  - Power pole w/guy
  - Light Pole
  - Fence
  - Flowline of ditch
  - Overhead Power line
  - Corrugated Metal Pipe
  - Concrete Pipe
  - Reinforced Concrete Pipe
  - Ductile Iron
  - Polyvinyl Chloride
  - Top of Asphalt
  - Edge of Asphalt
  - Centerline
  - Flowline
  - Finish Floor
  - Top of Curb
  - Top of Wall
  - Top of Walk
  - Top of Concrete
  - Natural Ground
  - Finish Contour
  - Exist. Contour
  - Exist. Grade
  - Finish Grade
  - Exist. Grade
  - Ridge Line
  - Direction of Flow
  - Existing Asphalt
  - New Asphalt
  - Heavy Duty Asphalt
  - Concrete
  - Open Face
  - Curb & Gutter

REV	DATE	DESCRIPTION

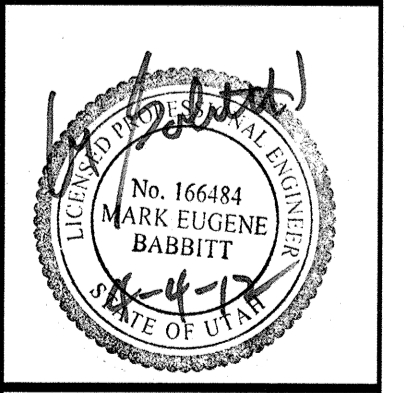
**GREAT BASIN ENGINEERING**

974 SOUTH 1475 EAST, OGDEN, UTAH 84403  
 MAIN: 801-394-4515 FAX: 801-394-7704  
 WWW.GREATBASINENGINEERING.COM

**Key Map**

**The Chalets at Ski Lake No. 6**

A part of the Southwest 1/4 of Section 13, a part of the Northeast 1/4 of Section 23, and a part of the Northwest 1/4 of Section 24, T6N, R1E, SLB&M, U.S. Survey

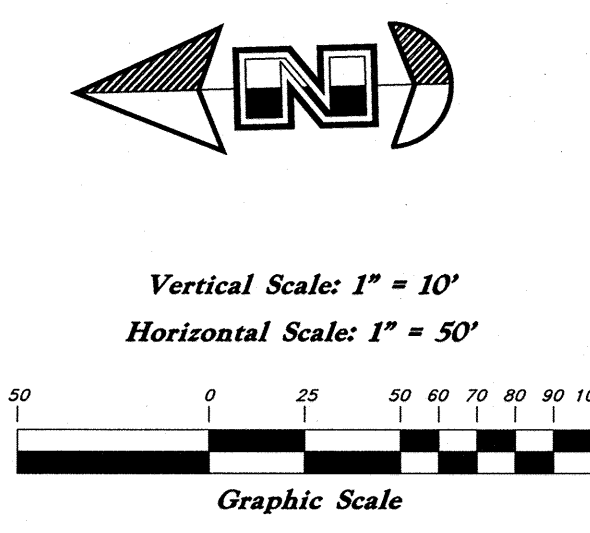
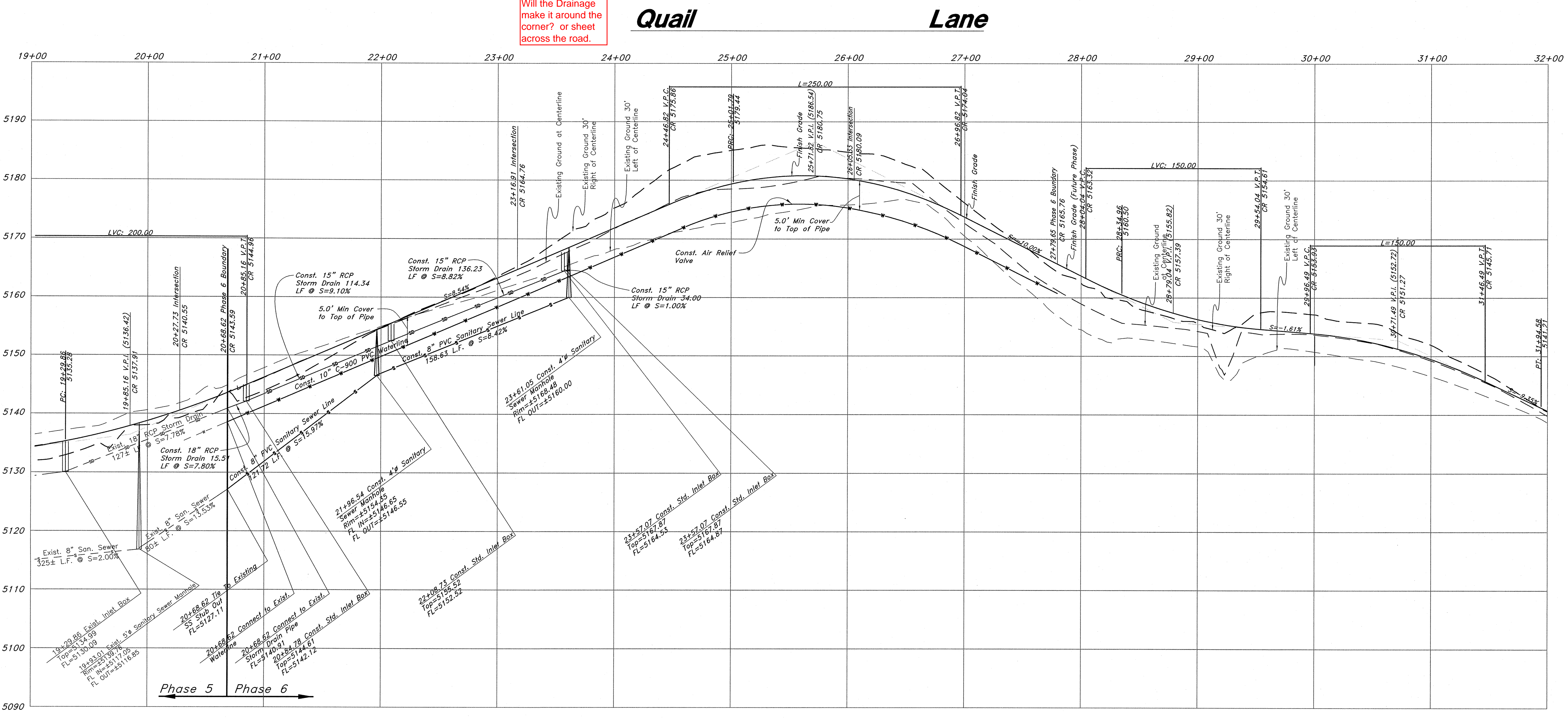
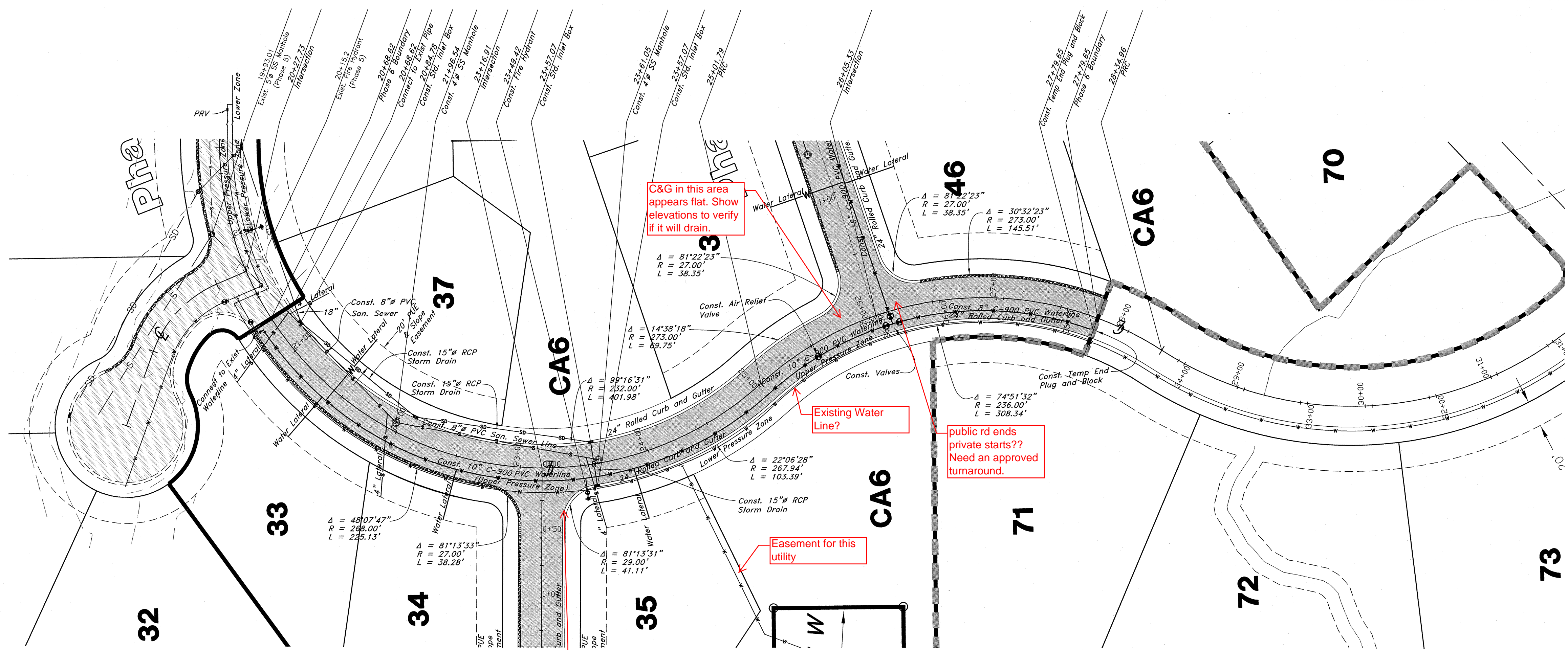


Jan, 2012

SHEET NO.

**KM**

96N120 Waterline



- ### Legend
- (Note: All items may not appear on drawing)
- San. Sewer Manhole
  - Water Manhole
  - Storm Drain Manhole
  - Electrical Manhole
  - Catch Basins
  - Exist. Fire Hydrant
  - Fire Hydrant
  - Exist. Water Valve
  - Water Valve
  - Sanitary Sewer
  - Culinary Water
  - Gas Line
  - Irrigation Line
  - Storm Drain
  - Telephone Line
  - Secondary Waterline
  - Power Line
  - Fire Line
  - Line Drain
  - Power Pole w/guy
  - Light Pole
  - Fence
  - Flowline of ditch
  - Overhead Power line
  - Corrugated Metal Pipe
  - Concrete Pipe
  - Reinforced Concrete Pipe
  - Ductile Iron
  - Polyvinyl Chloride
  - Top of Asphalt
  - EA
  - CL
  - FL
  - FF
  - Top of Walk
  - Top of Wall
  - TWL
  - Top of Concrete
  - TEN
  - NG
  - Natural Ground
  - Finish Contour
  - Exist. Contour
  - Finish Grade
  - Exist. Grade
  - Ridge Line
  - Direction of Flow
  - Existing Asphalt
  - New Asphalt
  - Heavy Duty Asphalt
  - Concrete
  - Open Face
  - Curb & Gutter

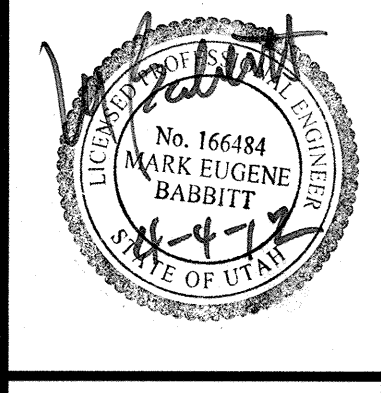
**GREAT BASIN ENGINEERING**

574 SOUTH 1475 EAST, OGDEN, UTAH 84403  
 MAIN: (801) 451-4515, FAX: (801) 392-7544  
 WWW.GREATBASINENGINEERING.COM

**Plan / Profile (Utility)**

**The Chalets at Ski Lake No. 6**

A part of the Southwest 1/4 of Section 13, a part of the Northeast 1/4 of Section 23, and a part of the Northwest 1/4 of Section 24,

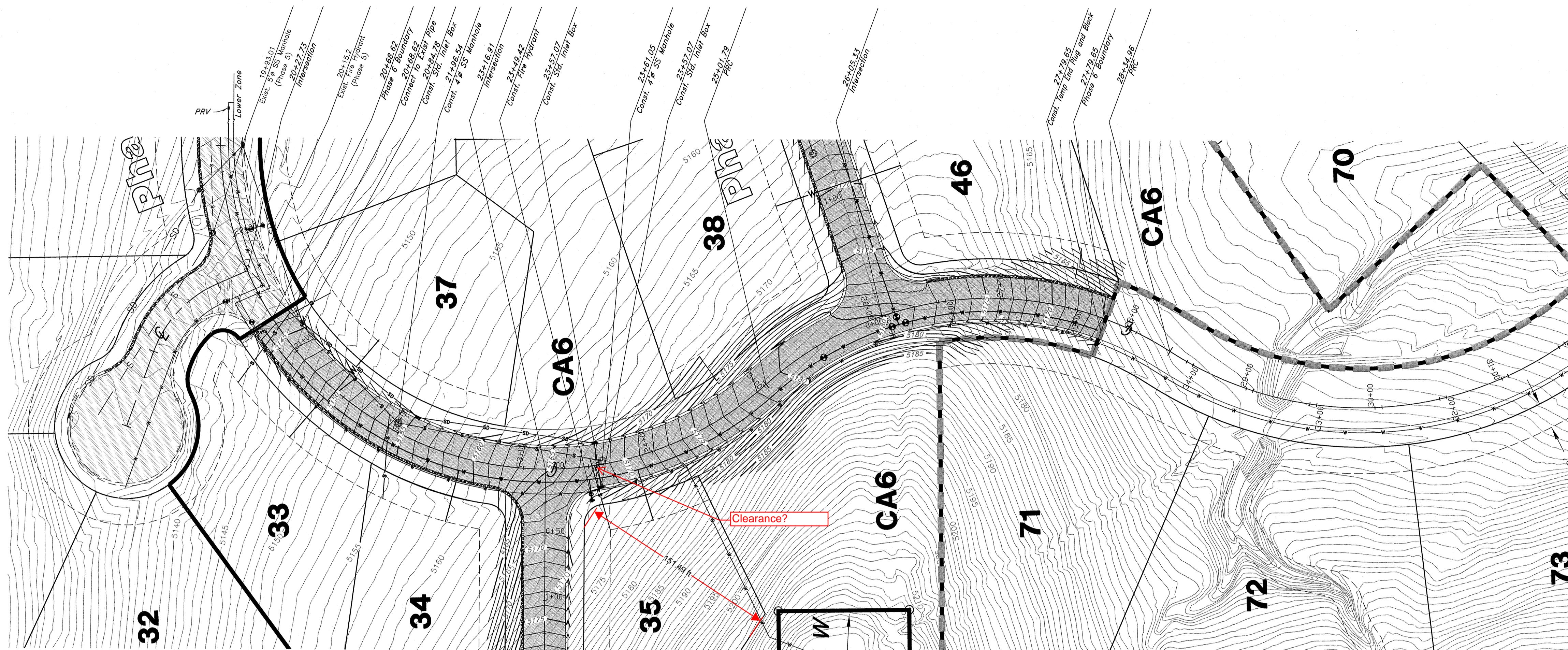


Jan, 2012

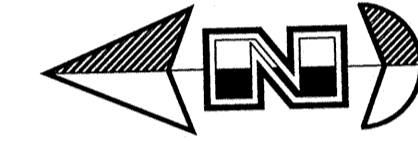
SHEET NO.

**1**

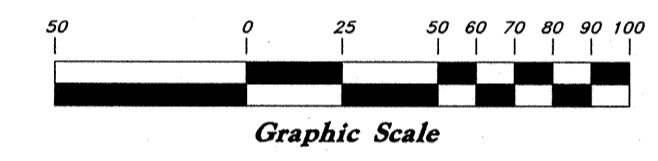
96N120 Waterline



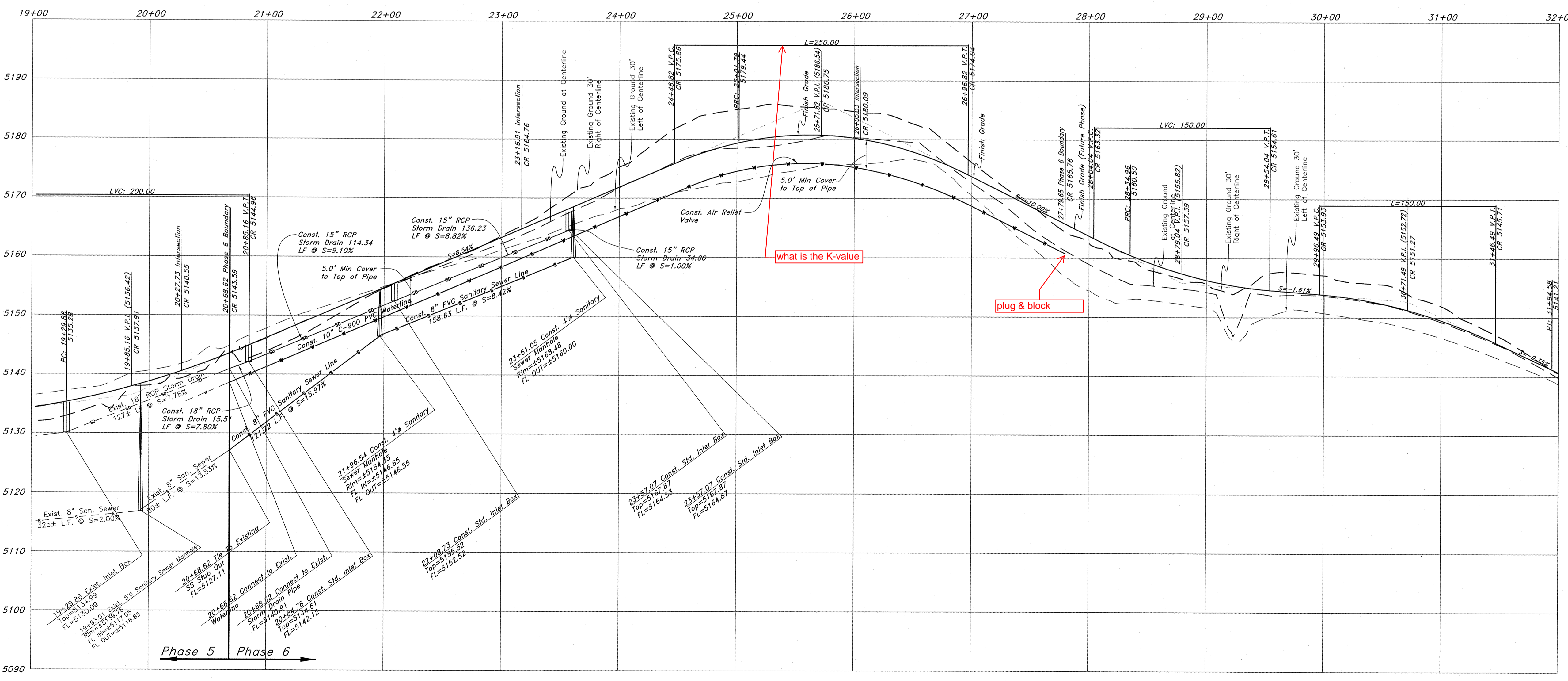
Benchmark: Monument at  
Intersection of Quail Lane and  
Meadow Lark Lane  
Elevation: 5022.34



Vertical Scale: 1" = 10'  
Horizontal Scale: 1" = 50'



**Quail Lane**



**Legend**

(Note: All items may not appear on drawing)

- San, Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Gas Line
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- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Concrete
- Open Face
- Curb & Gutter

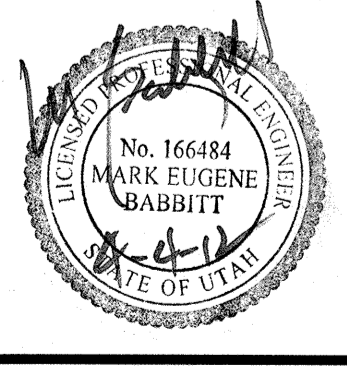
**GREAT BASIN ENGINEERING**

5746 SOUTH 1475 EAST OGDEN, UTAH 84403  
 PHONE: 801-224-4515 S.L.C. (801)521-0222 FAX: (801)992-7544  
 WWW.GREATBASINENGINEERING.COM

**Plan / Profile (Grading)**

**The Chalets at Ski Lake No. 6**

A part of the Southwest 1/4 of Section 13, a part of the Northeast 1/4 of Section 24, 1/4 of Section 23, and a part of the Northwest 1/4 of Section 24,

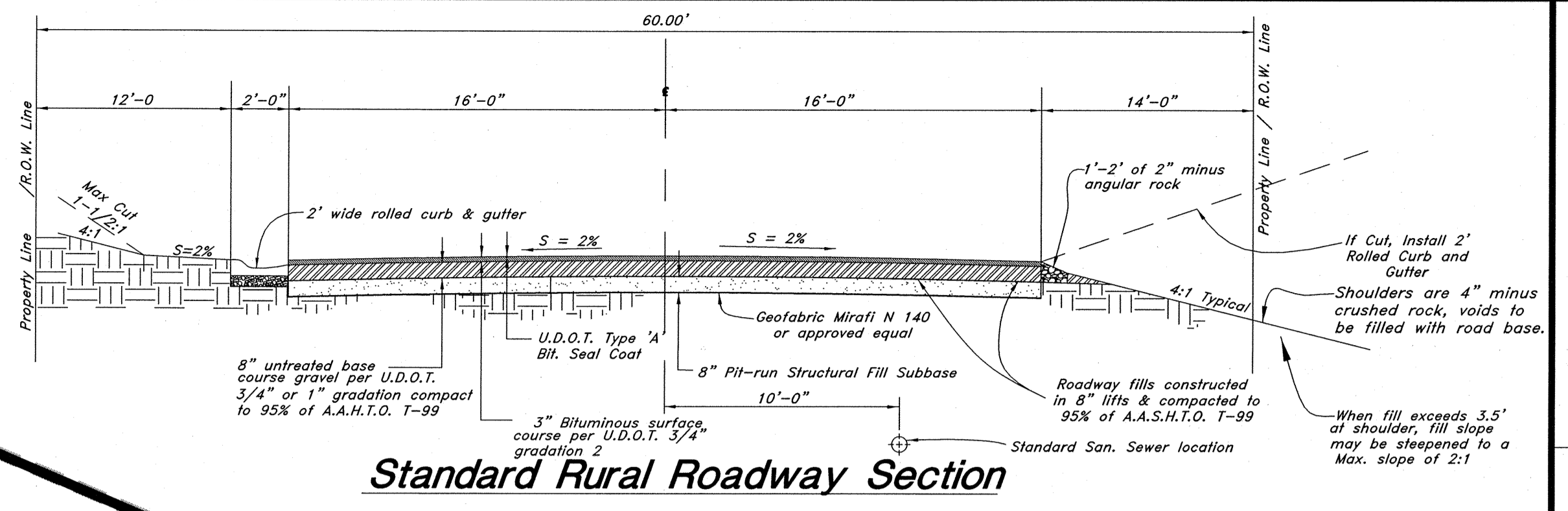
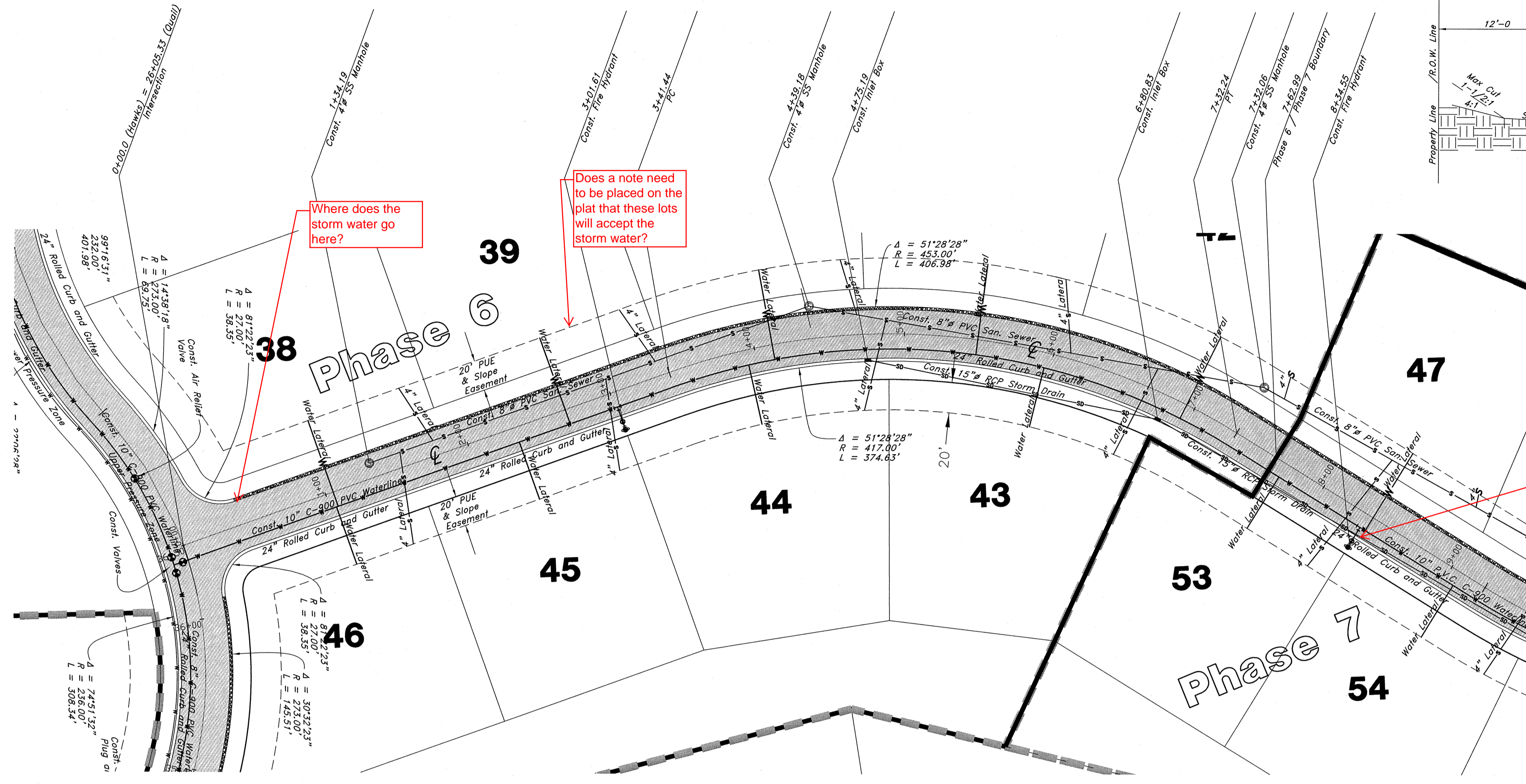


Jan, 2012

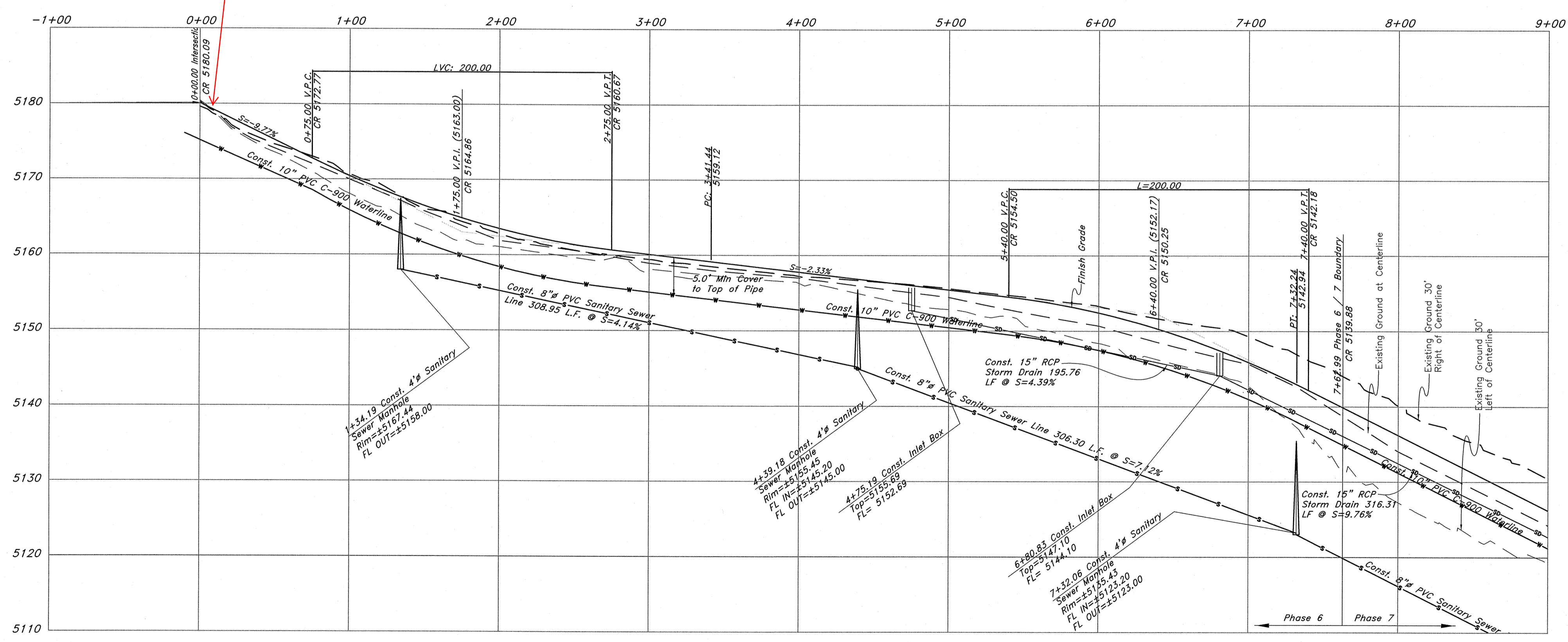
SHEET NO.

**1a**

96N120 Waterline



**Hawks Lane**



**Legend**

- (Note: All items may not appear on drawing)
- San. Sewer Manhole
  - Water Manhole
  - Storm Drain Manhole
  - Electrical Manhole
  - Catch Basins
  - Exist. Fire Hydrant
  - Fire Hydrant
  - Exist. Water Valve
  - Water Valve
  - Sanitary Sewer
  - Culinary Water
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  - Top of Asphalt
  - TA
  - EA
  - CL
  - Centerline
  - Flowline
  - Finish Floor
  - FF
  - Top of Curb
  - TC
  - Top of Wall
  - TW
  - Top of Walk
  - Top of Concrete
  - Natural Ground
  - Finish Contour
  - 90
  - 95.337A
  - 95.727A
  - Exist. Grade
  - R
  - Ridge Line
  - Direction of Flow
  - Existing Asphalt
  - New Asphalt
  - Heavy Duty Asphalt
  - Concrete
  - Open Face Curb & Gutter

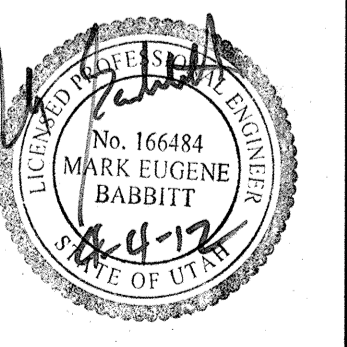
**GREAT BASIN ENGINEERING**

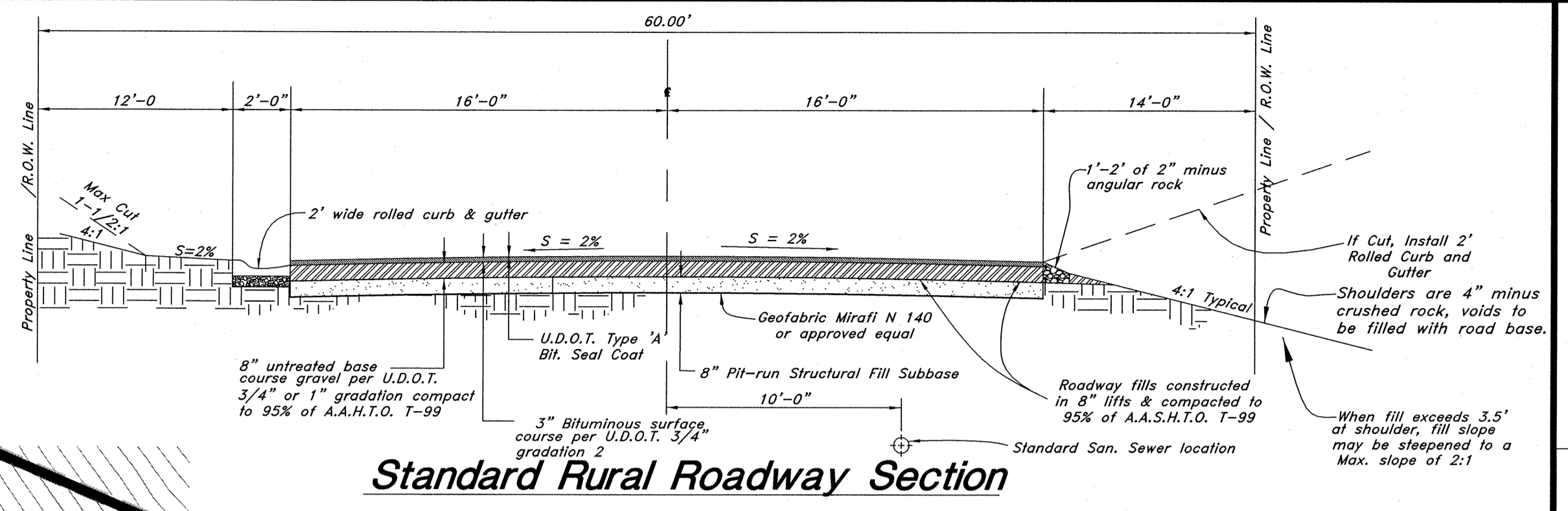
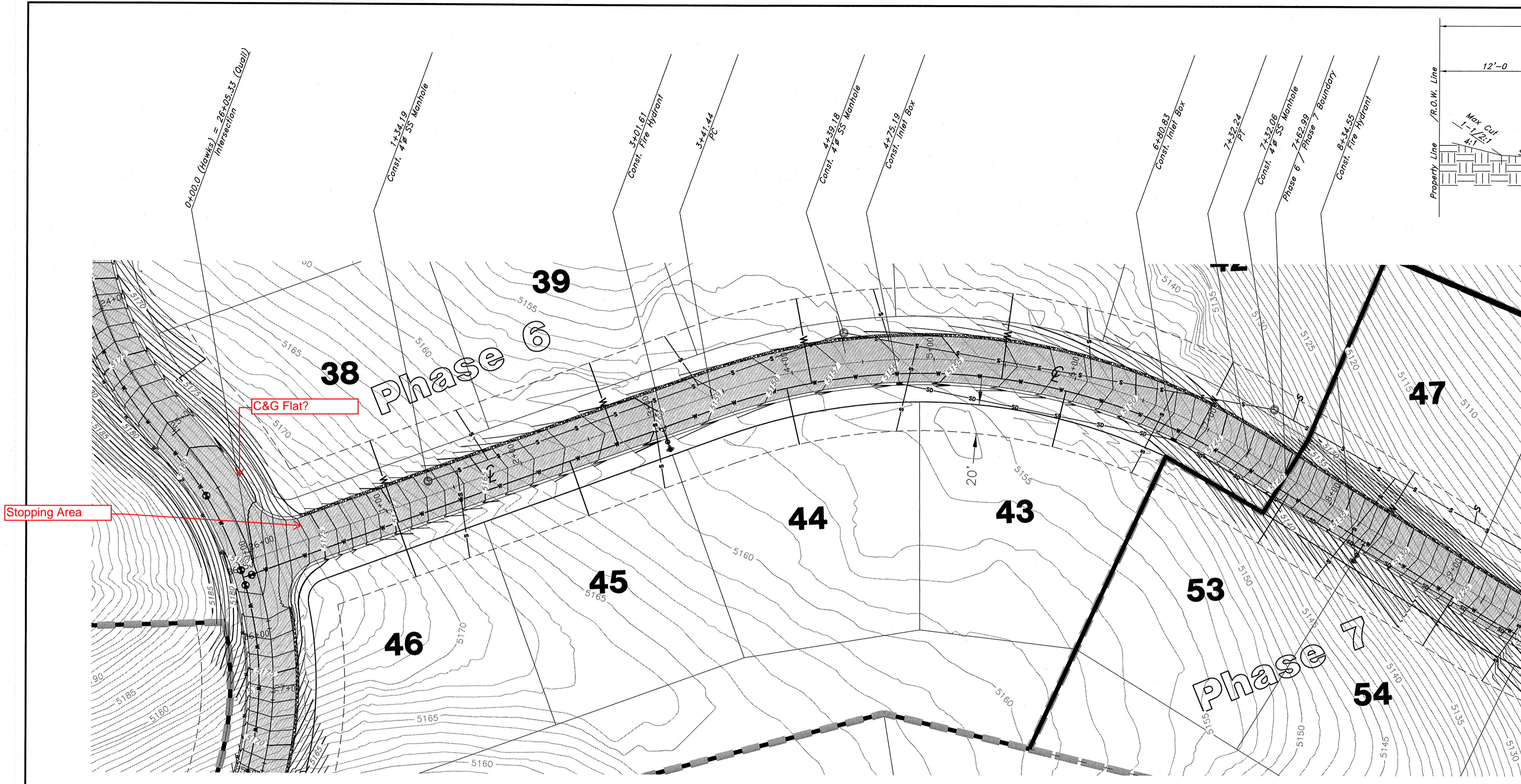
574 SOUTH 1475 EAST, SUITE 202, SALT LAKE CITY, UTAH 84143  
 MAIN: 801-487-4415 FAX: 801-487-9244  
 WWW.GREATBASINENGINEERING.COM

**Plan / Profile (Utility)**

**The Chalets at Ski Lake No. 6**

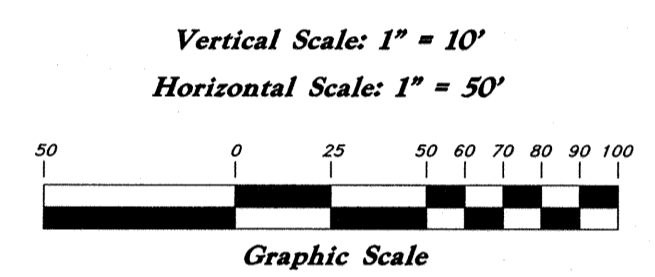
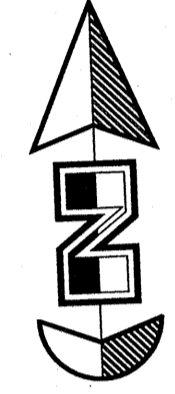
A part of the Southwest 1/4 of Section 13, a part of the Northeast 1/4 of Section 23, and a part of the Northwest 1/4 of Section 24, T6N, R1E, S16&M, U.S. Survey.



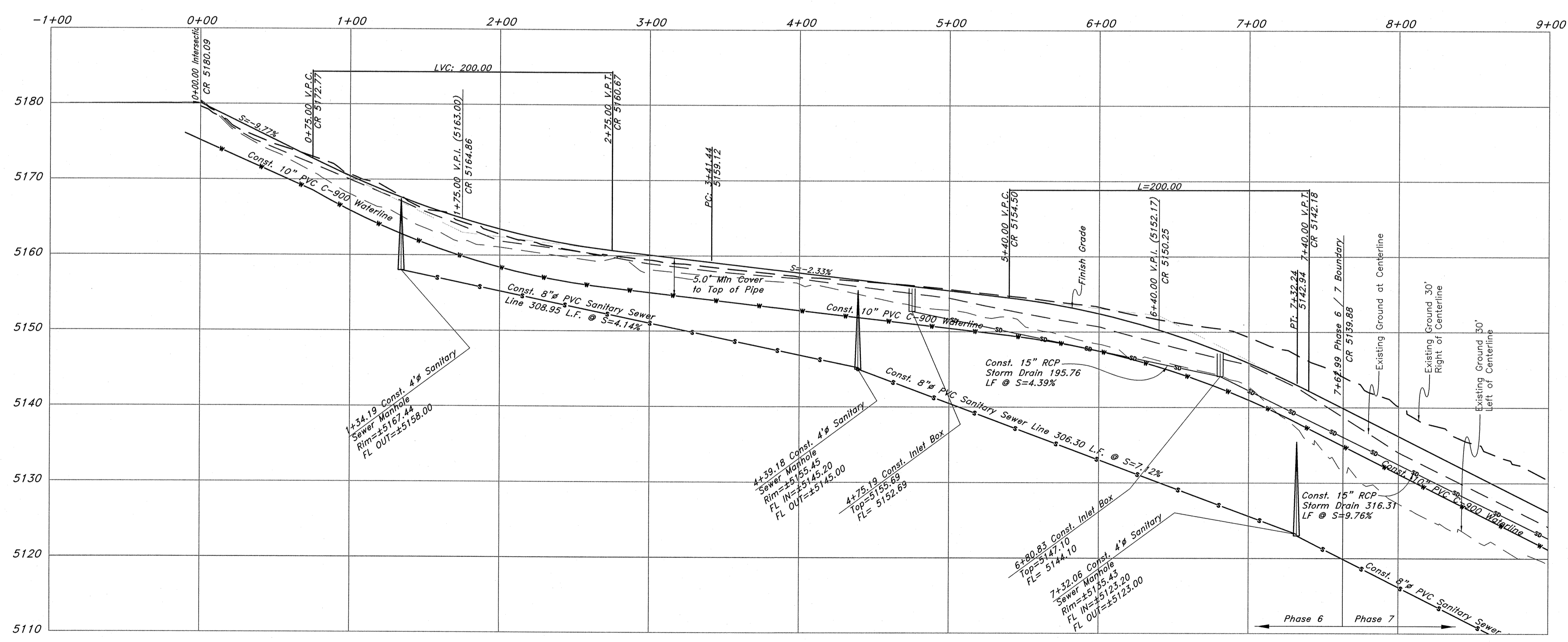


**Standard Rural Roadway Section**

**NOTE: TO PREVENT SOIL EROSION, PROTECT STEEP SLOPES WITH HYDROSEEDING OR EROSION CONTROL BLANKETS.**



**Hawks Lane**



**Legend**

- (Note: All items may not appear on drawing)
- San. Sewer Manhole
  - Water Manhole
  - Storm Drain Manhole
  - Electrical Manhole
  - Catch Basins
  - Exist. Fire Hydrant
  - Fire Hydrant
  - Exist. Water Valve
  - Water Valve
  - Sanitary Sewer
  - Culinary Water
  - Gas Line
  - Irrigation Line
  - Storm Drain
  - Telephone Line
  - Secondary Waterline
  - Power Line
  - Fire Line
  - Land Drain
  - Power pole w/guy
  - Power pole
  - Light Pole
  - Fence
  - Flowline of ditch
  - Overhead Power line
  - Corrugated Metal Pipe
  - Concrete Pipe
  - Reinforced Concrete Pipe
  - Ductile Iron
  - Polyvinyl Chloride
  - Top of Asphalt
  - Edge of Asphalt
  - Centerline
  - Flowline
  - Finish Floor
  - Top of Curb
  - Top of Wall
  - Top of Walk
  - Top of Concrete
  - Natural Ground
  - Finish Contour
  - Exist. Contour
  - Finish Grade
  - Exist. Grade
  - Ridge Line
  - Direction of Flow
  - Existing Asphalt
  - New Asphalt
  - Heavy Duty Asphalt
  - Concrete
  - Open Face
  - Curb & Gutter

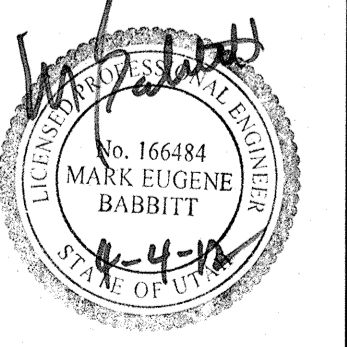
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 4011 4515 S.L.C. (801) 522-2222 FAX (801) 592-7544  
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**Plan / Profile (Grading)**

**The Chalets at Ski Lake No. 6**

A part of the Southwest 1/4 of Section 13, a part of the Northeast 1/4 of Section 23, and a part of the Northwest 1/4 of Section 24, T6N, R1E, SL&M, U.S. Survey

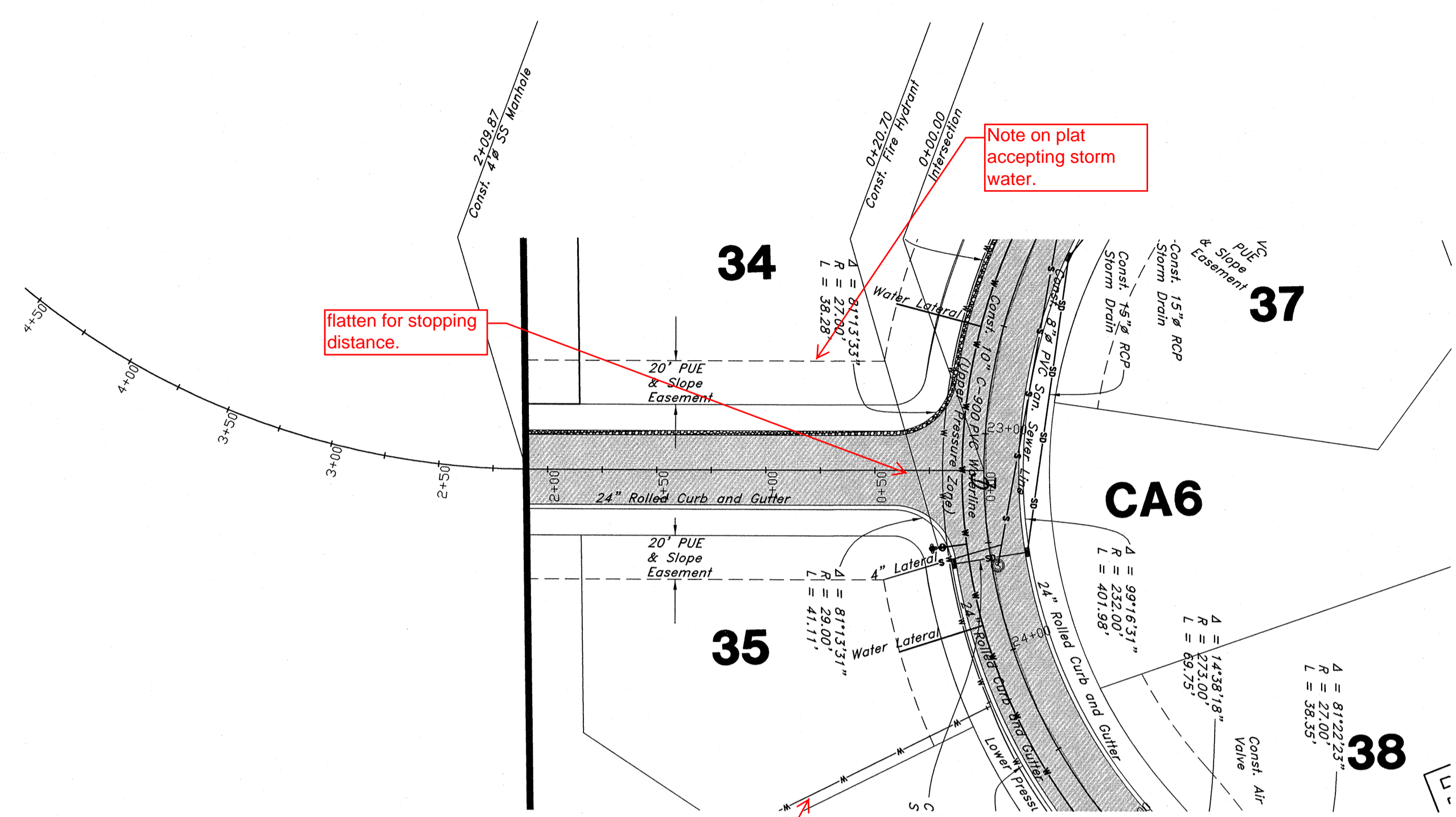


Jan, 2012

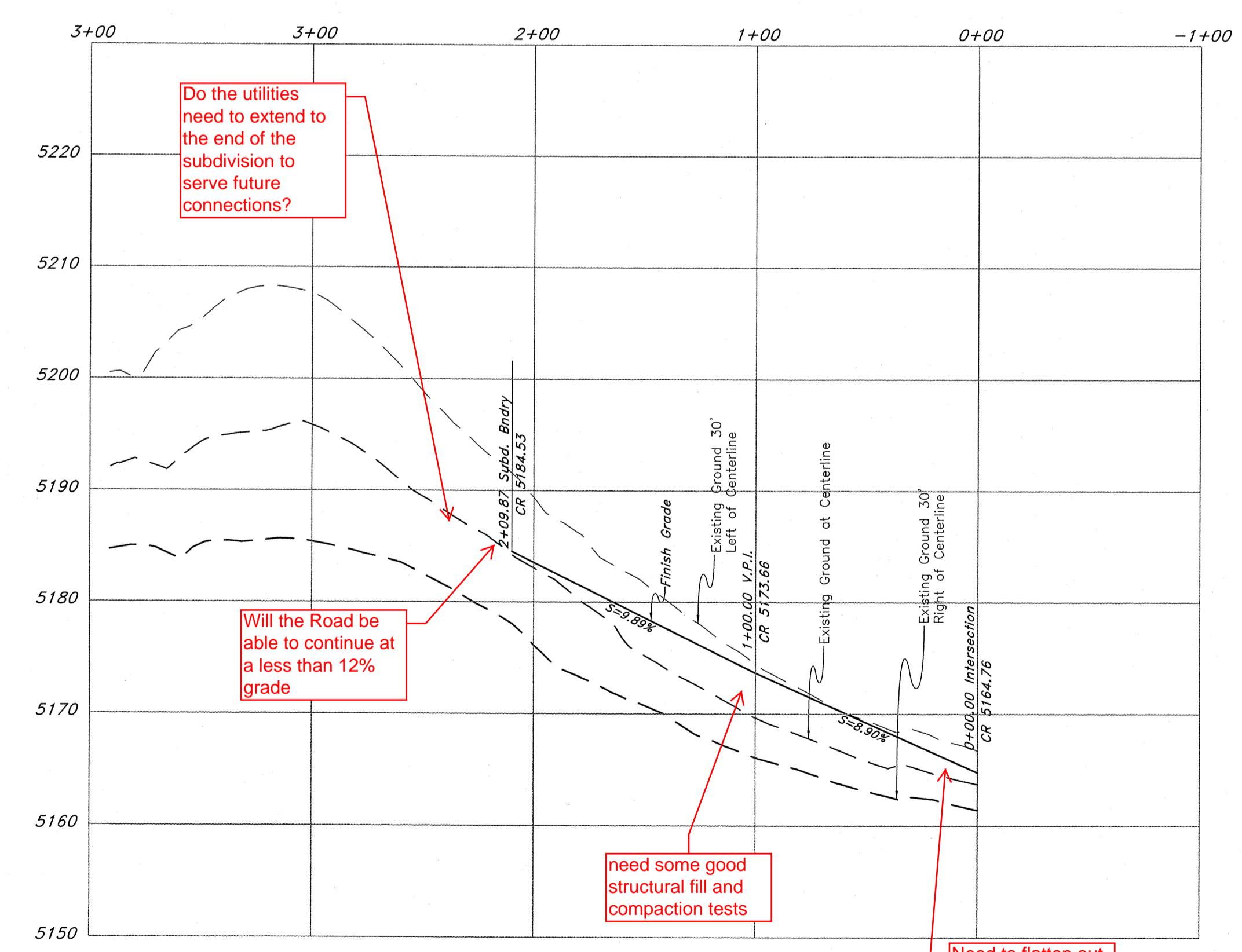
SHEET NO.

**2a**

96N120 Waterline



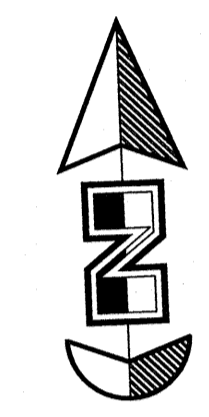
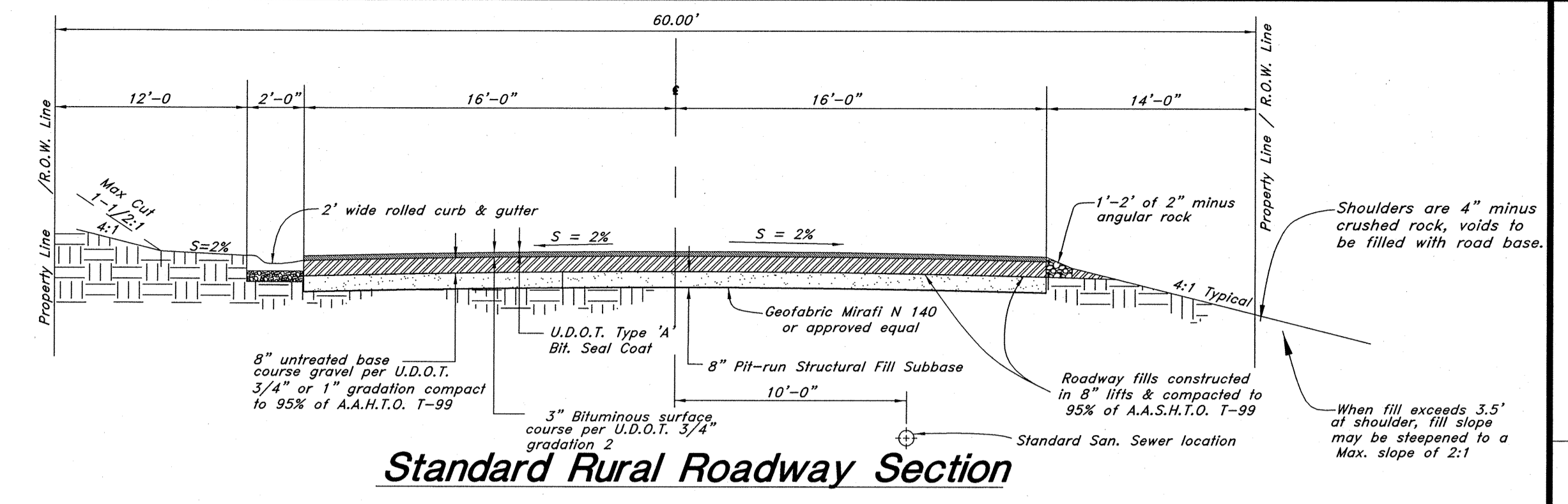
**Knight Hawk Road**



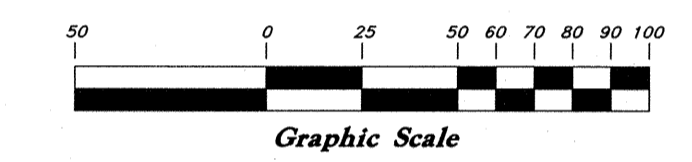
Will the Road be able to continue at a less than 12% grade

need some good structural fill and compaction tests

Need to flatten out so vehicles can stop at the stop sign.



Vertical Scale: 1" = 10'  
Horizontal Scale: 1" = 50'



**Legend**

- (Note: All items may not appear on drawing)
- San. Sewer Manhole
  - Water Manhole
  - Storm Drain Manhole
  - Electrical Manhole
  - Catch Basins
  - Exist. Fire Hydrant
  - Fire Hydrant
  - Exist. Water Valve
  - Water Valve
  - Sanitary Sewer
  - Culinary Water
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  - Telephone Line
  - Secondary Waterline
  - Power Line
  - Fire Line
  - Land Drain
  - Power pole w/guy
  - Light Pole
  - Fence
  - Flowline of ditch
  - Overhead Power line
  - Corrugated Metal Pipe
  - Concrete Pipe
  - Reinforced Concrete Pipe
  - Ductile Iron
  - PVC
  - Polyvinyl Chloride
  - Top of Asphalt
  - EA
  - Edge of Asphalt
  - Centerline
  - Flowline
  - Finish Floor
  - Top of Curb
  - Top of Wall
  - Top of Walk
  - Top of Concrete
  - Natural Ground
  - Finish Contour
  - Exist. Contour
  - Finish Grade
  - Exist. Grade
  - Ridge Line
  - Direction of Flow
  - Existing Asphalt
  - New Asphalt
  - Heavy Duty Asphalt
  - Concrete
  - Open Face Curb & Gutter

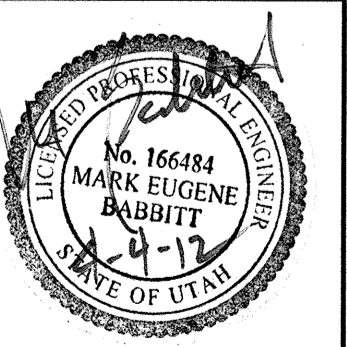
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**Plan / Profile (Utility)**

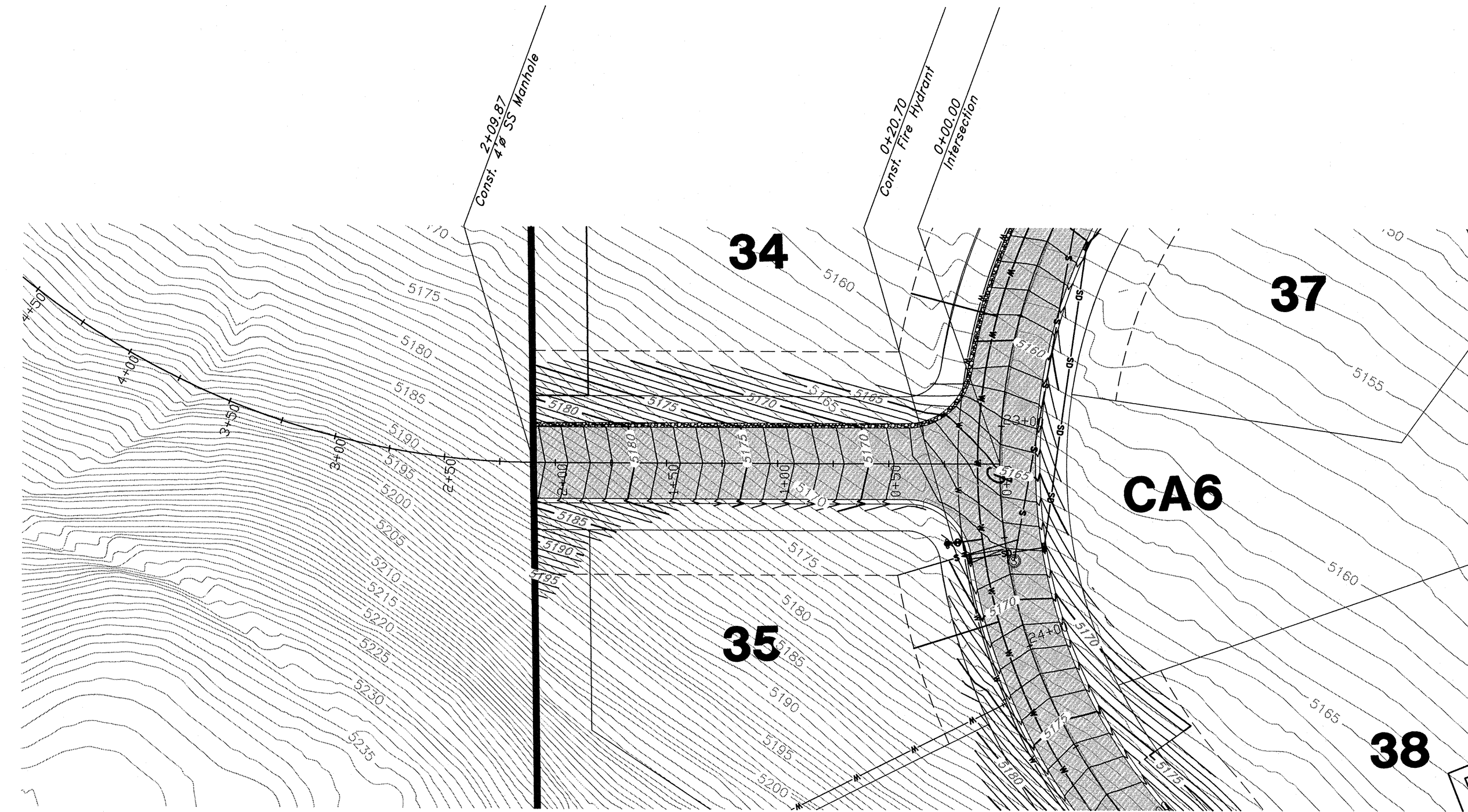
**The Chalets at Ski Lake No. 6**

A part of the Southwest 1/4 of Section 13, a part of the Northeast 1/4 of Section 23, and a part of the Northwest 1/4 of Section 24, T6N, R1E, S16&M, U.S. Survey

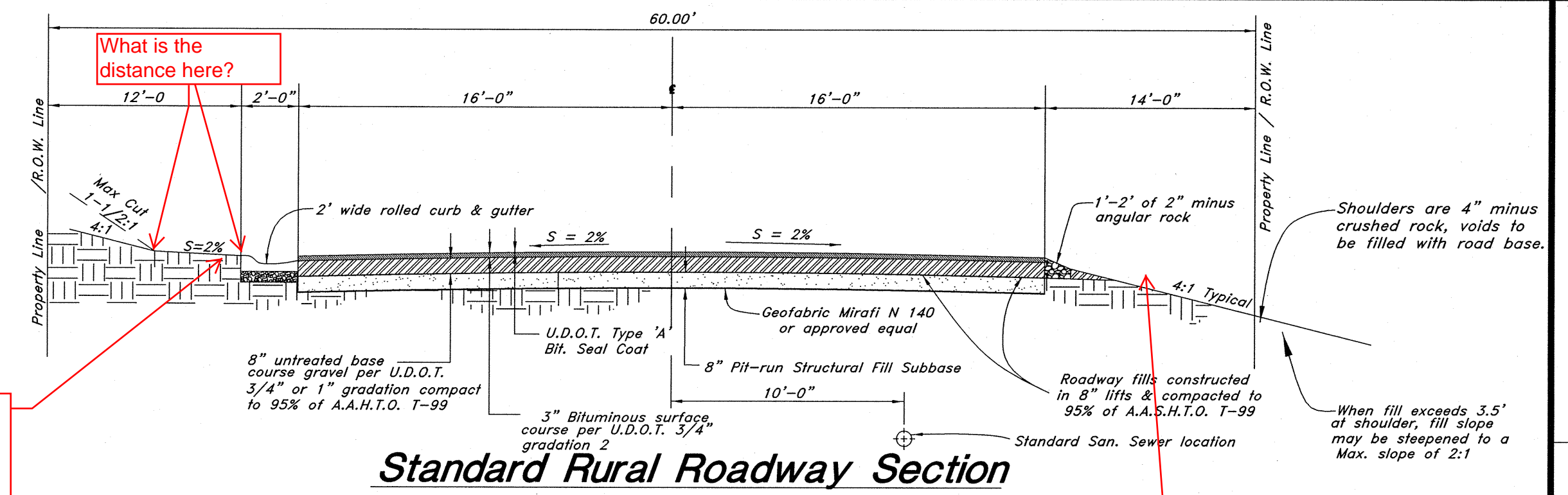
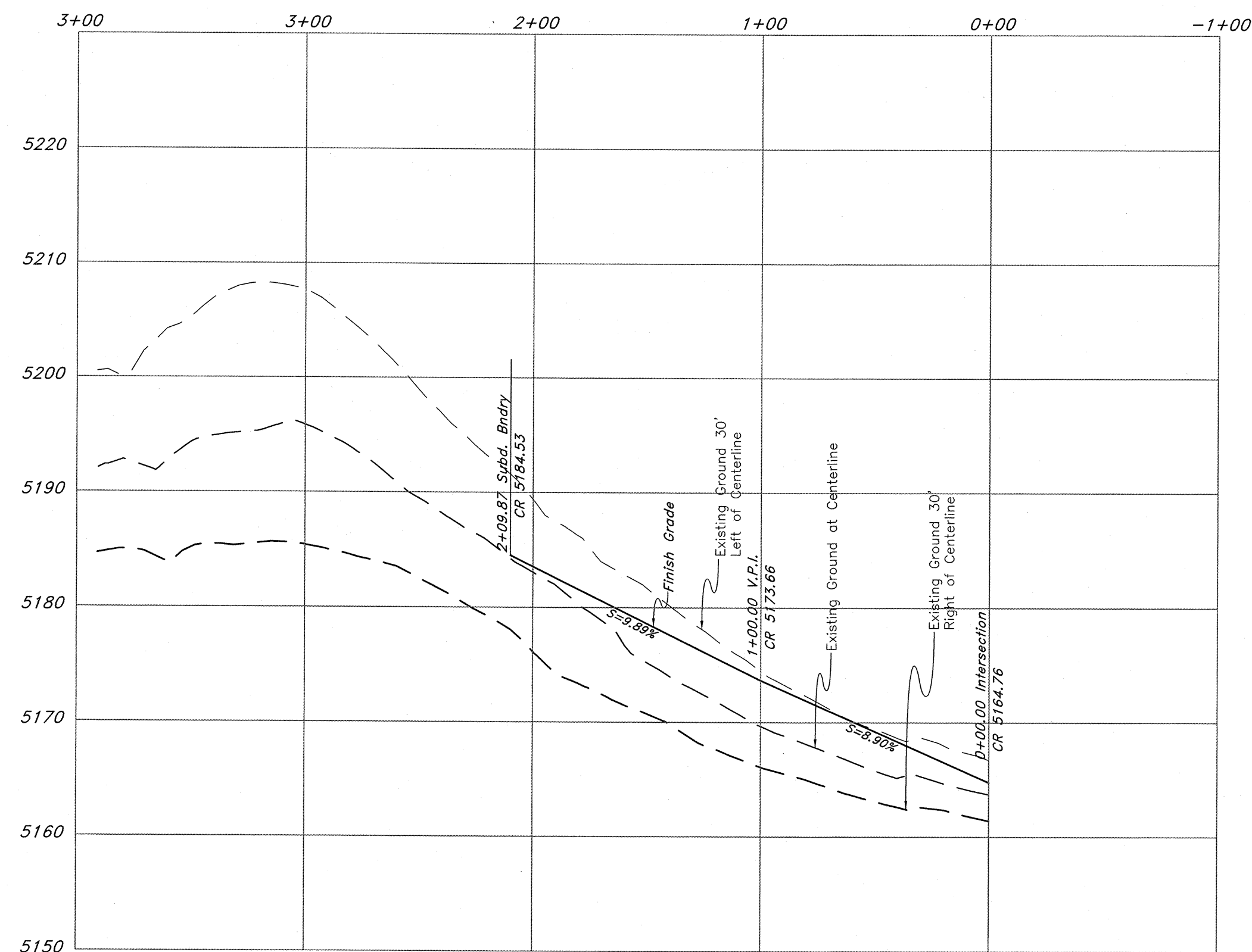


Jan, 2012

SHEET NO. **3**

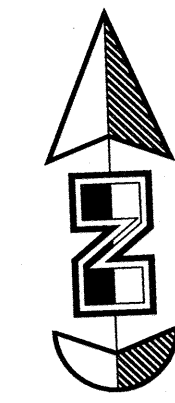


### Knight Hawk Road

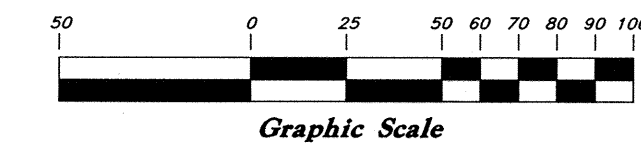


In the steeper locations what keeps the curb from getting undermined?

if water drains onto any of these lots a note needs to be placed on the plat as in phase 5



Vertical Scale: 1" = 10'  
Horizontal Scale: 1" = 50'



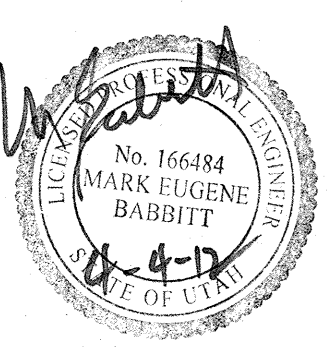
### Legend

- (Note: All items may not appear on drawing)
- San Sewer Manhole
  - Water Manhole
  - Storm Drain Manhole
  - Electrical Manhole
  - Catch Basins
  - Exist. Fire Hydrant
  - Exist. Water Valve
  - Water Valve
  - Sanitary Sewer
  - Culinary Water
  - Gas Line
  - Irrigation Line
  - Storm Drain
  - Telephone Line
  - Secondary Waterline
  - Power Line
  - Fire Line
  - Land Drain
  - Power pole
  - Power pole w/guy
  - Light Pole
  - Fence
  - Flowline of ditch
  - Overhead Power line
  - Corrugated Metal Pipe
  - Concrete Pipe
  - Reinforced Concrete Pipe
  - Ductile Iron
  - Polyvinyl Chloride
  - Top of Asphalt
  - TA
  - EA
  - CL
  - FL
  - Centerline
  - Flowline
  - FF
  - Top of Curb
  - TC
  - Top of Wall
  - TW
  - Top of Walk
  - Top of Concrete
  - ICN
  - Natural Ground
  - NG
  - Finish Contour
  - 90
  - Exist. Contour
  - 90
  - Finish Grade
  - 95.33TA
  - 95.721A
  - Exist. Grade
  - R
  - Ridge Line
  - Direction of Flow
  - Existing Asphalt
  - New Asphalt
  - Heavy Duty Asphalt
  - Concrete
  - Open Face Curb & Gutter

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Plan / Profile (Grading)

**The Chalets at Ski Lake No. 6**  
A part of the Southwest 1/4 of Section 13, a part of the Northeast 1/4 of Section 25, and a part of the Northwest 1/4 of Section 24, T6N, R1E, S1E&M, U.S. Survey



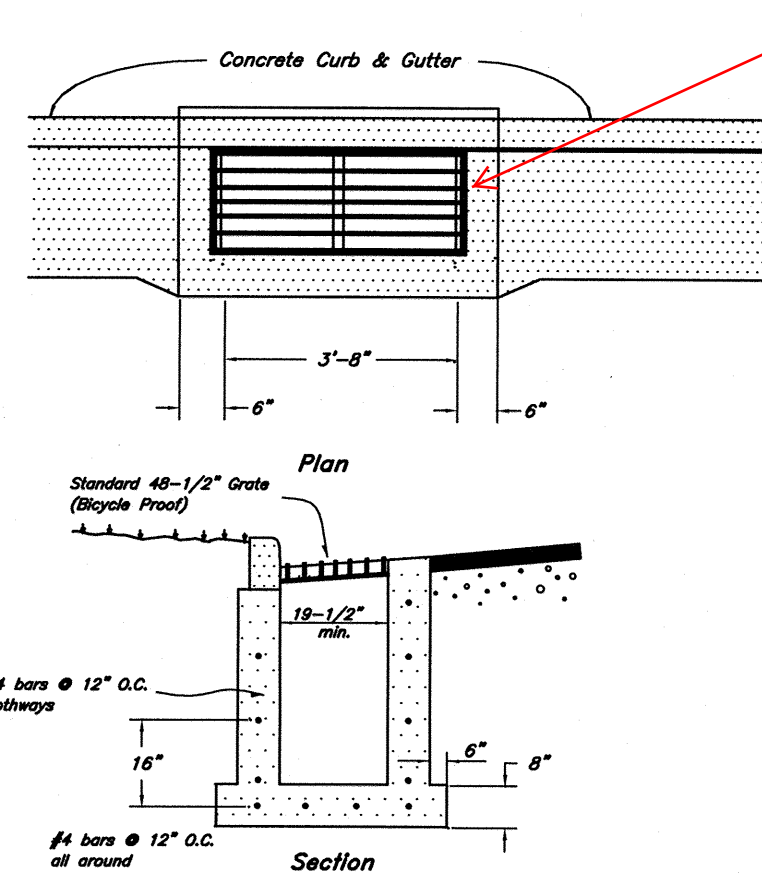
Jan, 2012

SHEET NO.

**3a**

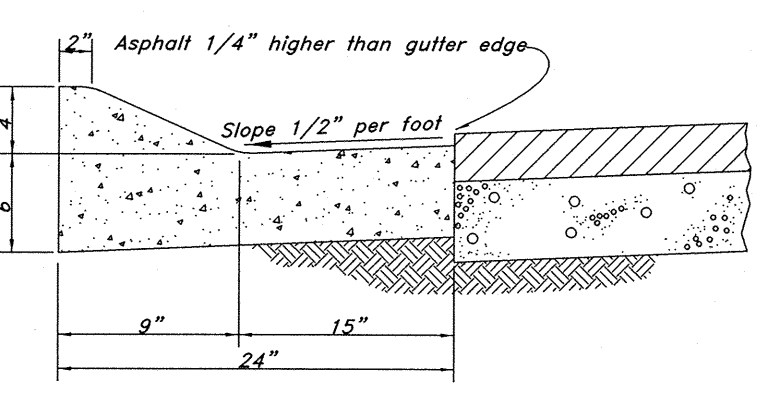
96N120 Waterline





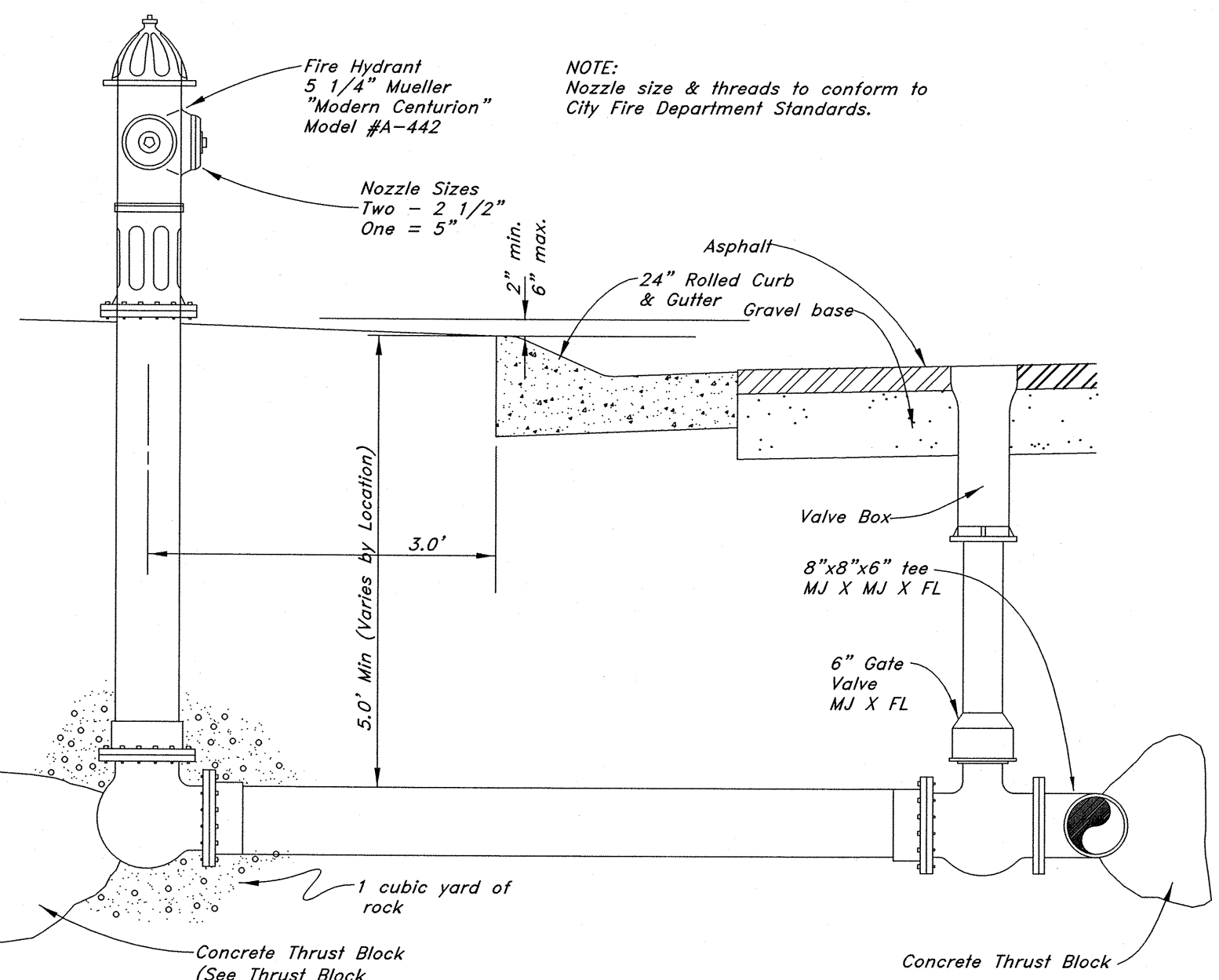
**1 Typical Inlet Box**  
Not to Scale

Will grate work in rolled gutter?

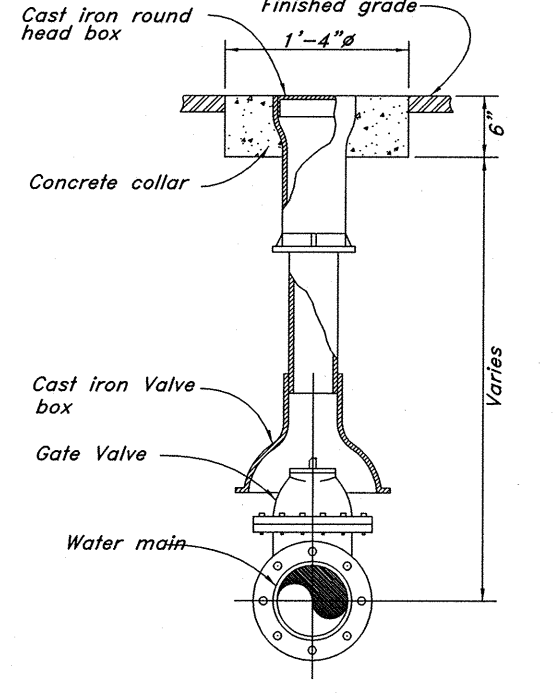


**2 Typical 24" Std. Rolled Curb and Gutter**  
Not to Scale

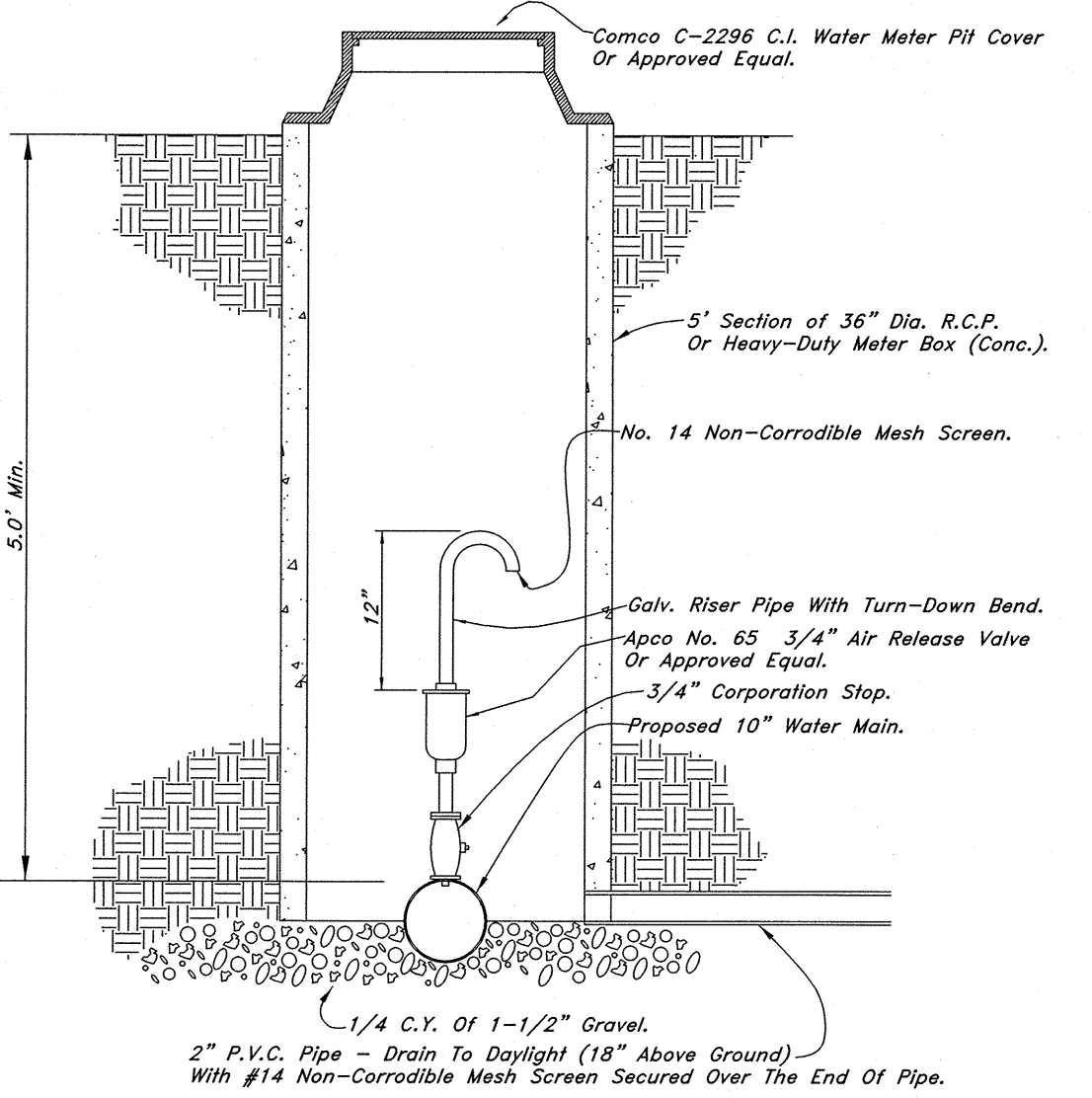
Is this the type F curb and gutter



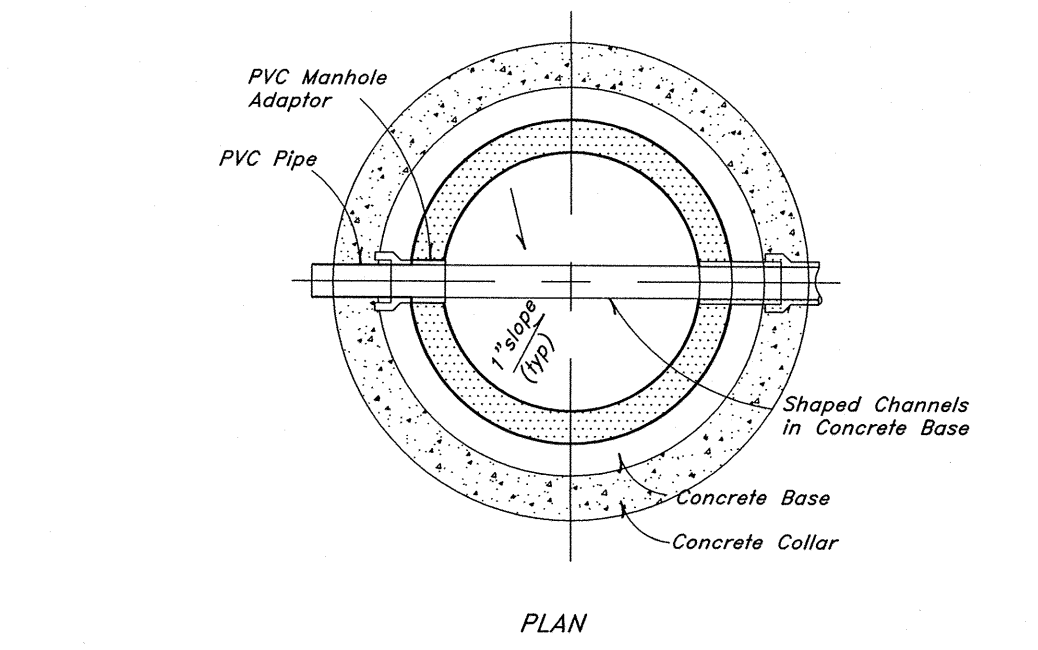
**3 Typical Fire Hydrant & Valve Connection**  
Not to Scale



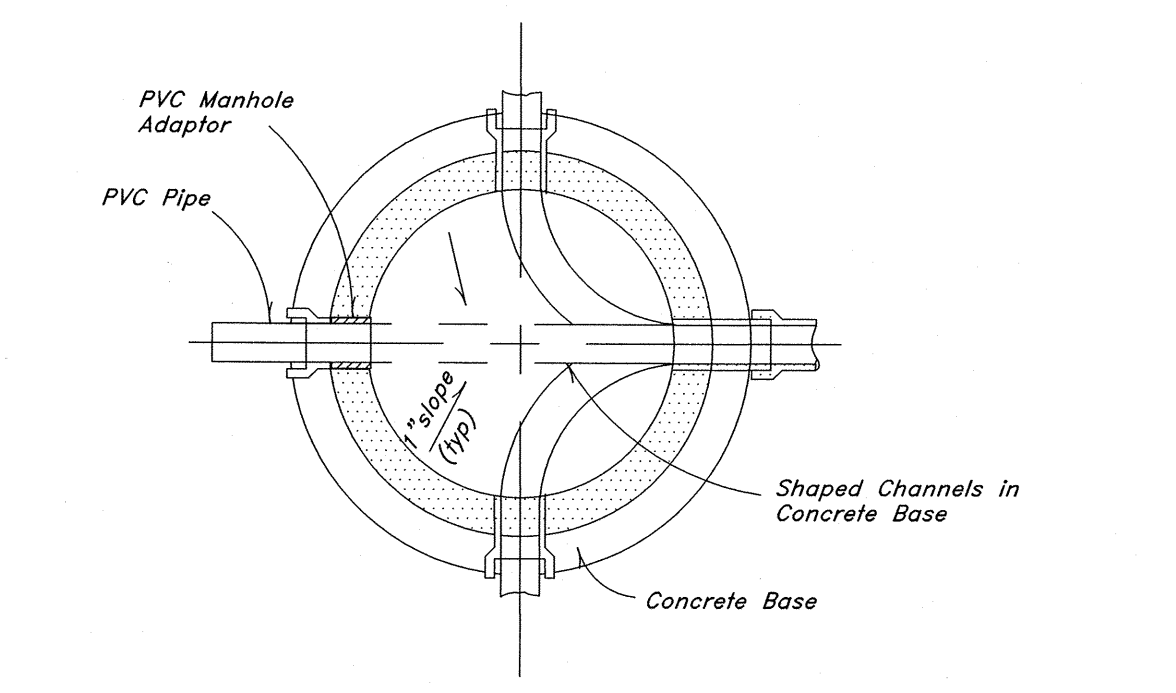
**4 Typical Gate Valve**  
Not to Scale



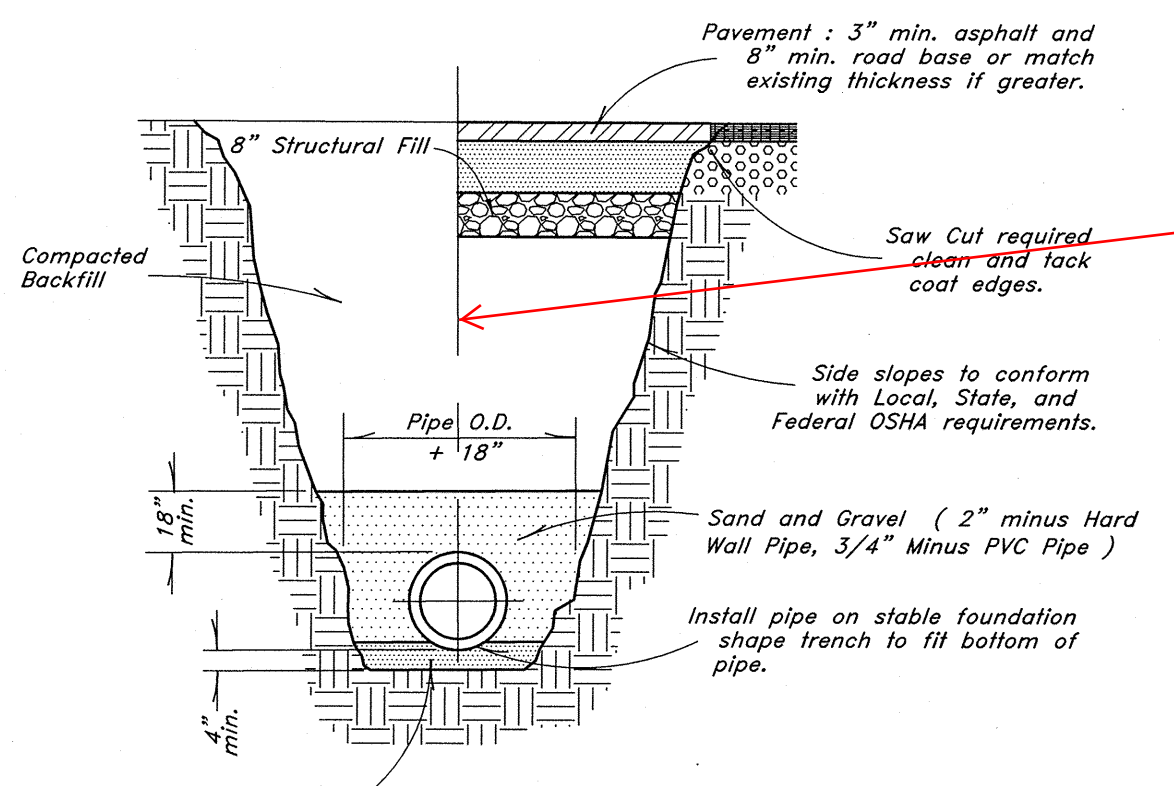
**5 Air Release Detail**  
Not to Scale



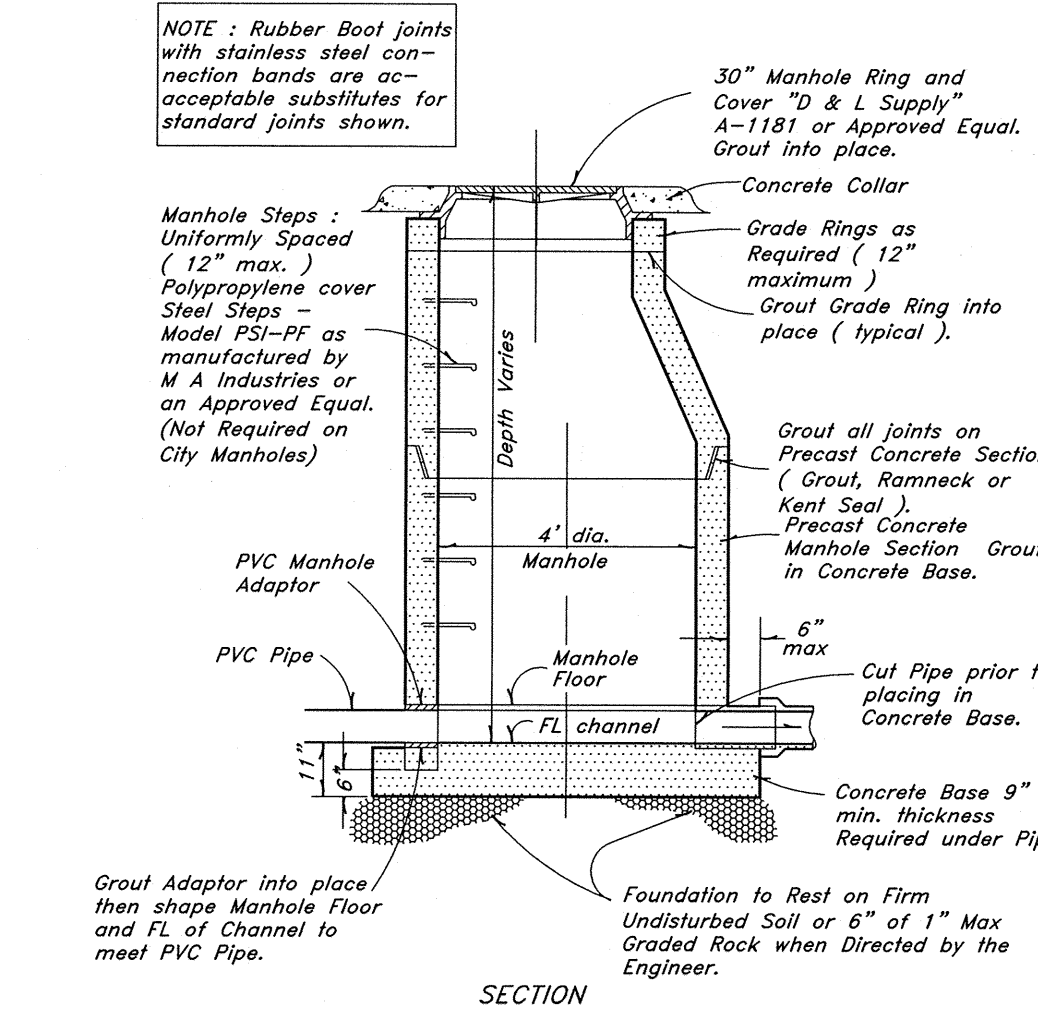
**8 Typical 4.0' Manhole Detail**  
Not to Scale



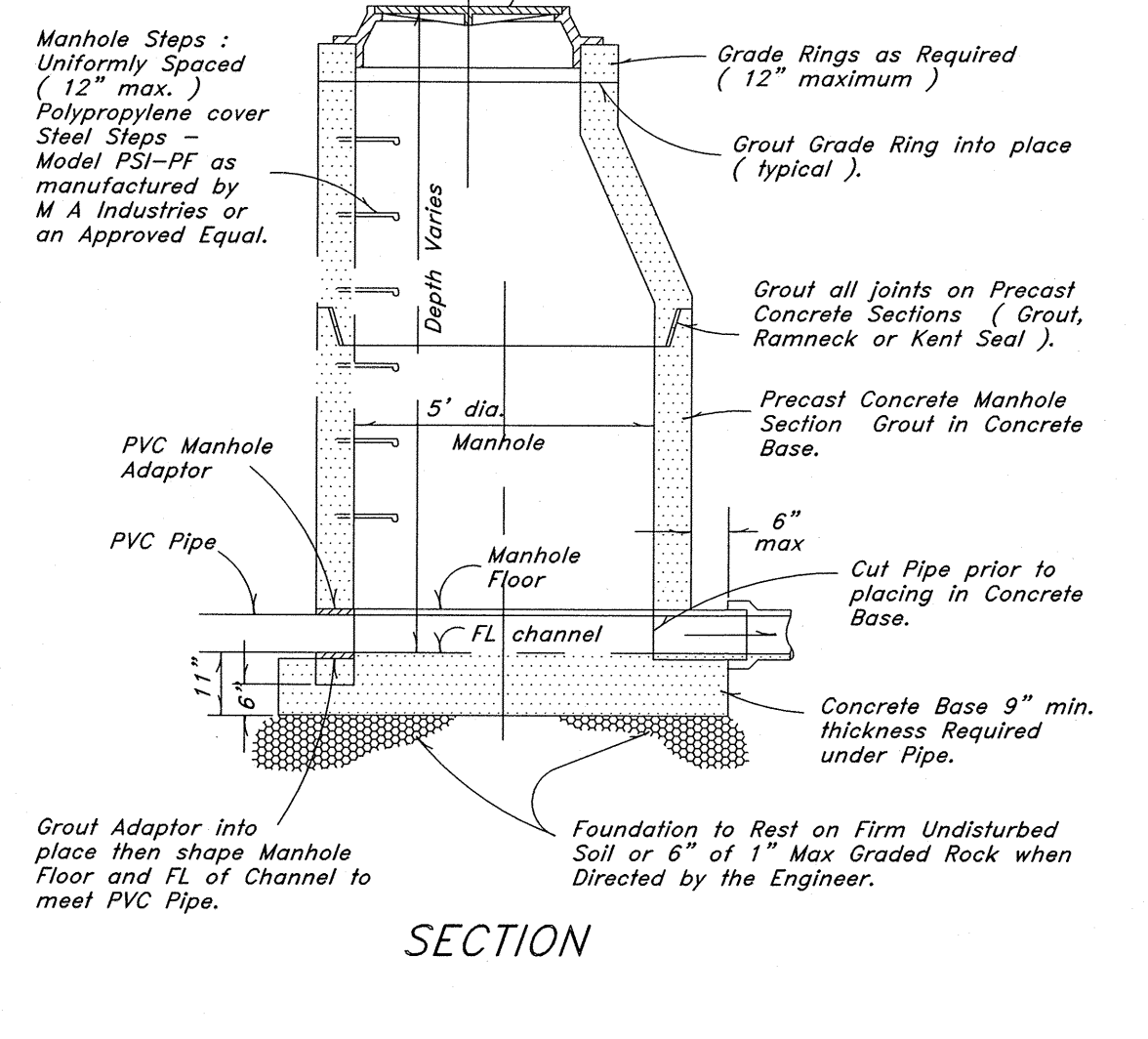
**9 Typical 5.0' Manhole Detail**  
Not to Scale



**10 Typical Trench Detail**  
Not to Scale



**8 Typical 4.0' Manhole Detail**  
Not to Scale

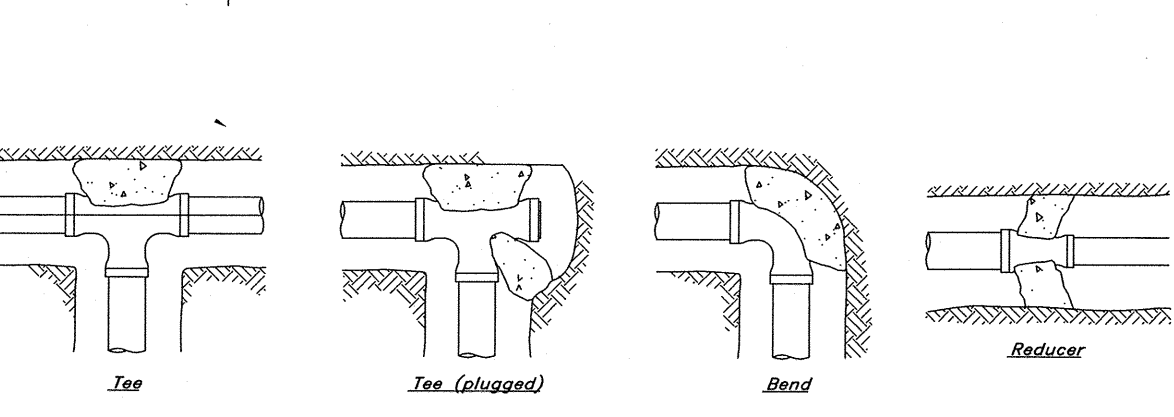


**9 Typical 5.0' Manhole Detail**  
Not to Scale

**DIMENSIONS FOR THRUST BLOCKING**

FITTING SIZE	TEES & FLUGS		90° BEND		45° BEND & WYES		REDUCERS, 1 1/4" & 1 1/2" BENDS	
	A	B	A	B	A	B	A	B
4"	1 7/8"	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
6"	2 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
8"	3 1/4"	3 1/4"	3 1/4"	3 1/4"	3 1/4"	3 1/4"	3 1/4"	3 1/4"
10"	4 1/4"	4 1/4"	4 1/4"	4 1/4"	4 1/4"	4 1/4"	4 1/4"	4 1/4"
12"	5 1/4"	5 1/4"	5 1/4"	5 1/4"	5 1/4"	5 1/4"	5 1/4"	5 1/4"
14"	6 1/4"	6 1/4"	6 1/4"	6 1/4"	6 1/4"	6 1/4"	6 1/4"	6 1/4"

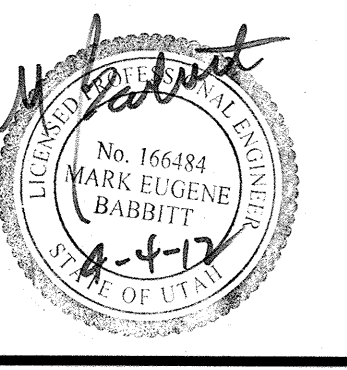
NOTE: This table is based on 150 PSI Main Pressure  
2000 PSI Soil Bearing Pressure



**11 Thrust Blocking Details**  
Not to Scale

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Jan, 2012

SHEET NO. **4**

96N120 Waterline