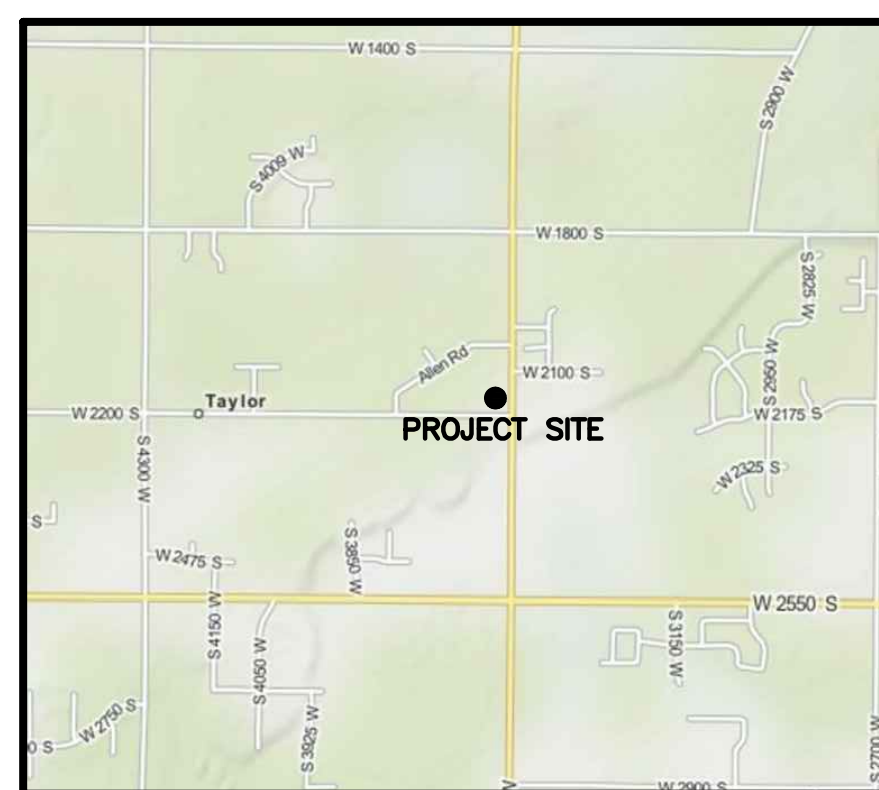


# ALLEN HORSEPLAY CLUSTER SUBDIVISION

PART OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY  
WEBER COUNTY, UTAH  
AUGUST, 2012



**VICINITY MAP**  
NOT TO SCALE

## BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE EAST QUARTER CORNER AND THE NORTHEAST CORNER OF SECTION 28, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. SHOWN HEREON AS: N00°36'51"E

## NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AS SHOWN. ALL BOUNDARY AND REAR LOT CORNERS WERE SET WITH A 5/8" X 24" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES". ALL FRONT LOT CORNERS WERE SET WITH A LEAD PLUG IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.

## BOUNDARY DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF 3500 WEST STREET AND THE NORTH RIGHT OF WAY LINE OF 2200 SOUTH STREET, SAID POINT BEING N00°36'51"E 33.00 FEET AND N89°13'14"W 33.00 FEET FROM THE EAST QUARTER CORNER OF SECTION 28; THENCE N89°13'14"W ALONG THE NORTH RIGHT OF WAY LINE OF 2200 SOUTH STREET 990.39 FEET; THENCE N00°46'46"E 303.48 FEET; THENCE N32°28'59"E 72.51 FEET; THENCE N57°56'50"E 300.14 FEET; THENCE N70°50'18"E 302.53 FEET; THENCE S89°13'43"E 413.87 FEET TO THE WEST RIGHT OF WAY LINE OF 3500 WEST STREET; THENCE S00°36'51"W ALONG SAID WEST RIGHT OF WAY LINE 631.14 FEET TO THE POINT OF BEGINNING.

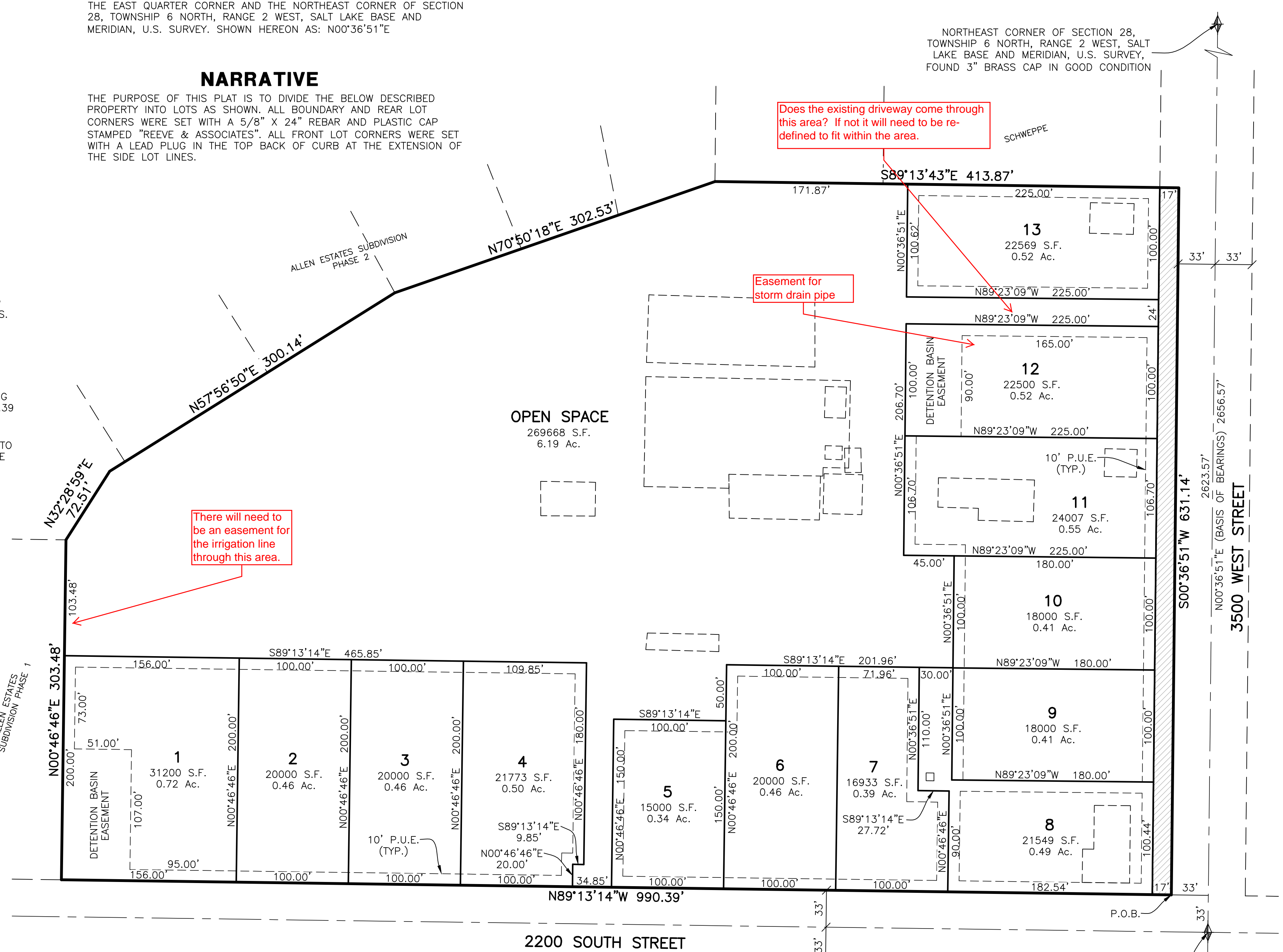
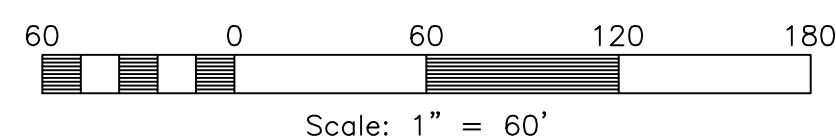
CONTAINING 551,929 SQUARE FEET OR 12.67 ACRES

## DEVELOPER:

VAUGHN ALLEN  
2191 S. 3500 W.  
OGDEN, UT 84401  
(801) 391-3880

## LEGEND

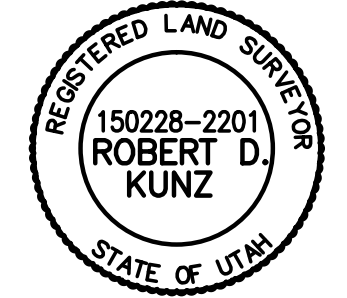
- = SECTION CORNER
- = BOUNDARY LINE
- = LOT LINE
- = ADJOINING PROPERTY
- = EASEMENTS
- = SECTION TIE LINE
- = ROAD CENTERLINE
- = EXISTING STRUCTURE
- = ROAD DEDICATION
- = PUBLIC UTILITY EASEMENT



Does the existing driveway come through this area? If not it will need to be re-defined to fit within the area.

Easement for storm drain pipe

There will need to be an easement for the irrigation line through this area.



**SURVEYOR'S CERTIFICATE**  
I, ROBERT D. KUNZ, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF ALLEN HORSEPLAY CLUSTER SUBDIVISION IN WEBER COUNTY, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE WEBER COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND, I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF WEBER COUNTY CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

150228  
UTAH LICENSE NUMBER      ROBERT D. KUNZ

**OWNERS DEDICATION AND CERTIFICATION**  
WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT ALLEN HORSEPLAY CLUSTER SUBDIVISION, AND DO HEREBY DEDICATE TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND ALSO TO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY, STORM WATER DETENTION PONDS DRAINAGE EASEMENTS AND CANAL MAINTENANCE EASEMENT, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

**ACKNOWLEDGMENT**  
STATE OF UTAH )ss.  
COUNTY OF \_\_\_\_\_ )  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, \_\_\_\_\_ (AND) \_\_\_\_\_ SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME \_\_\_\_\_ SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.  
COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC

**ACKNOWLEDGMENT**  
STATE OF UTAH )ss.  
COUNTY OF \_\_\_\_\_ )  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, \_\_\_\_\_ (AND) \_\_\_\_\_ AND \_\_\_\_\_ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.  
COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC

**Project Info.**  
Surveyor: R. KUNZ  
Designer: N. ANDERSON  
Begin Date: 08-13-12  
Name: ALLEN HORSEPLAY CLUSTER SUBDIVISION  
Number: 5125-02  
Revision: \_\_\_\_\_  
Scale: 1"=60'  
Checked: \_\_\_\_\_

920 CHAMBERS STREET, SUITE 14, OGDEN, UT 84403  
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com

**WEBER COUNTY PLANNING COMMISSION APPROVAL**  
THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

**WEBER COUNTY ENGINEER**  
I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH THE COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.  
WEBER COUNTY ENGINEER

**WEBER COUNTY COMMISSION ACCEPTANCE**  
THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WORKS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
CHAIRMAN, WEBER COUNTY COMMISSION  
ATTEST

**WEBER COUNTY SURVEYOR**  
I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
WEBER COUNTY SURVEYOR

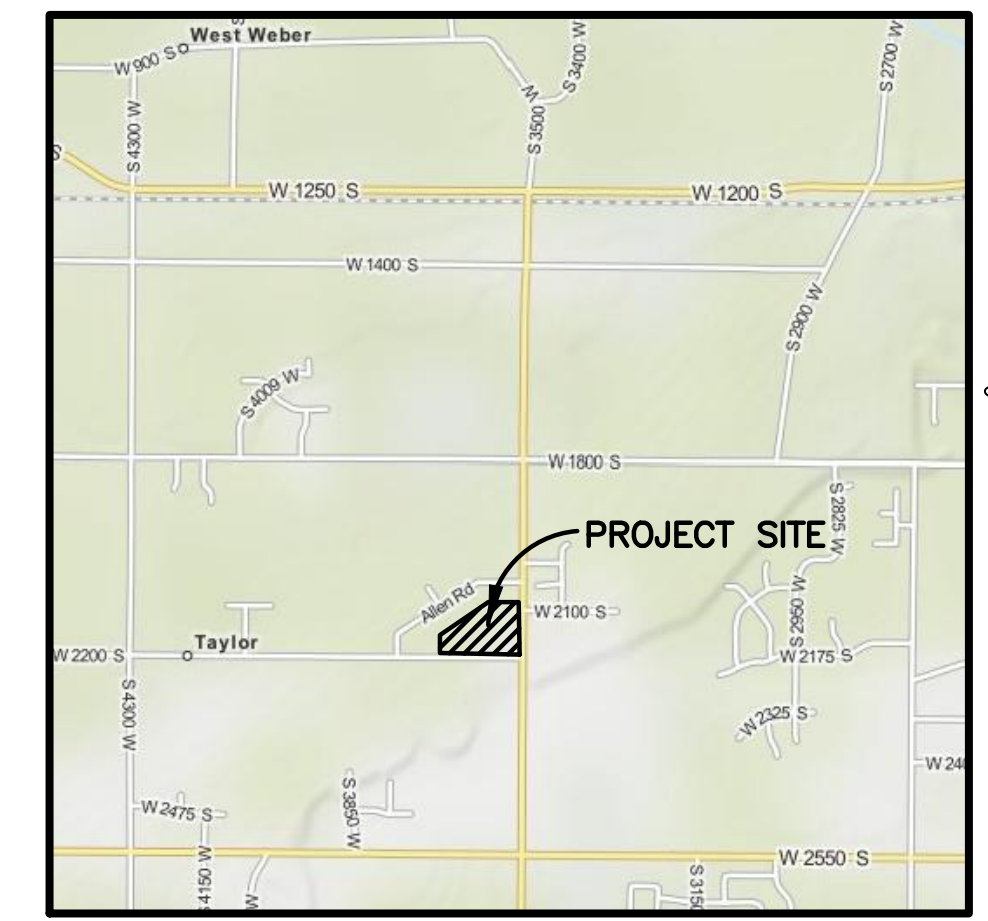
**WEBER COUNTY ATTORNEY**  
I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
WEBER COUNTY ATTORNEY

**WEBER-MORGAN HEALTH DEPARTMENT**  
I HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITIONS FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
WEBER-MORGAN HEALTH DEPARTMENT

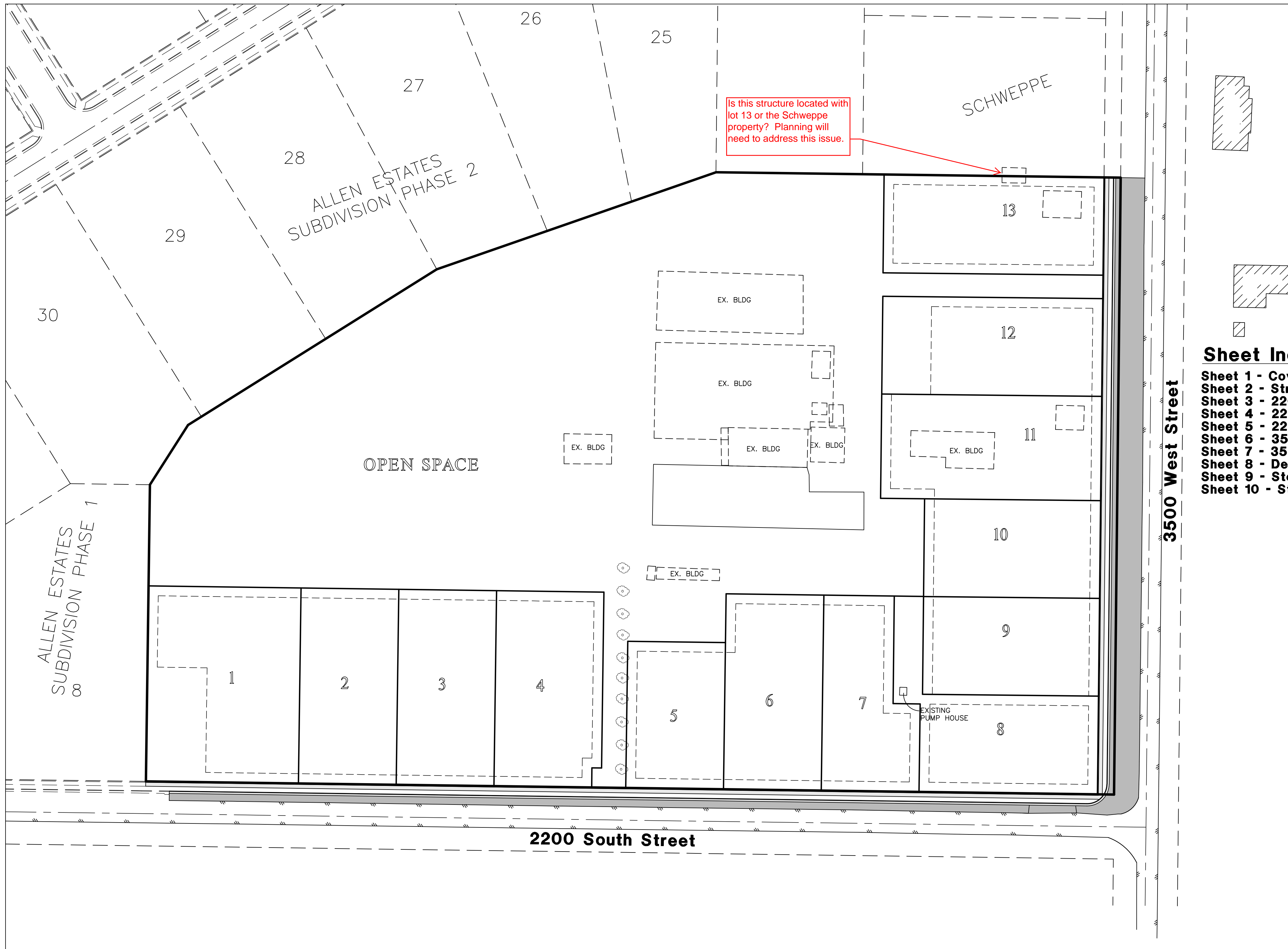
**Weber County Recorder**  
Entry No. \_\_\_\_\_ Fee Paid \_\_\_\_\_  
Filed For Record \_\_\_\_\_  
And Recorded, \_\_\_\_\_  
At \_\_\_\_\_ in Book \_\_\_\_\_  
Of The Official Records, Page \_\_\_\_\_  
Recorded For: \_\_\_\_\_  
Weber County Recorder  
Deputy.

# Allen Horseplay Cluster Subdivision Improvement Plans

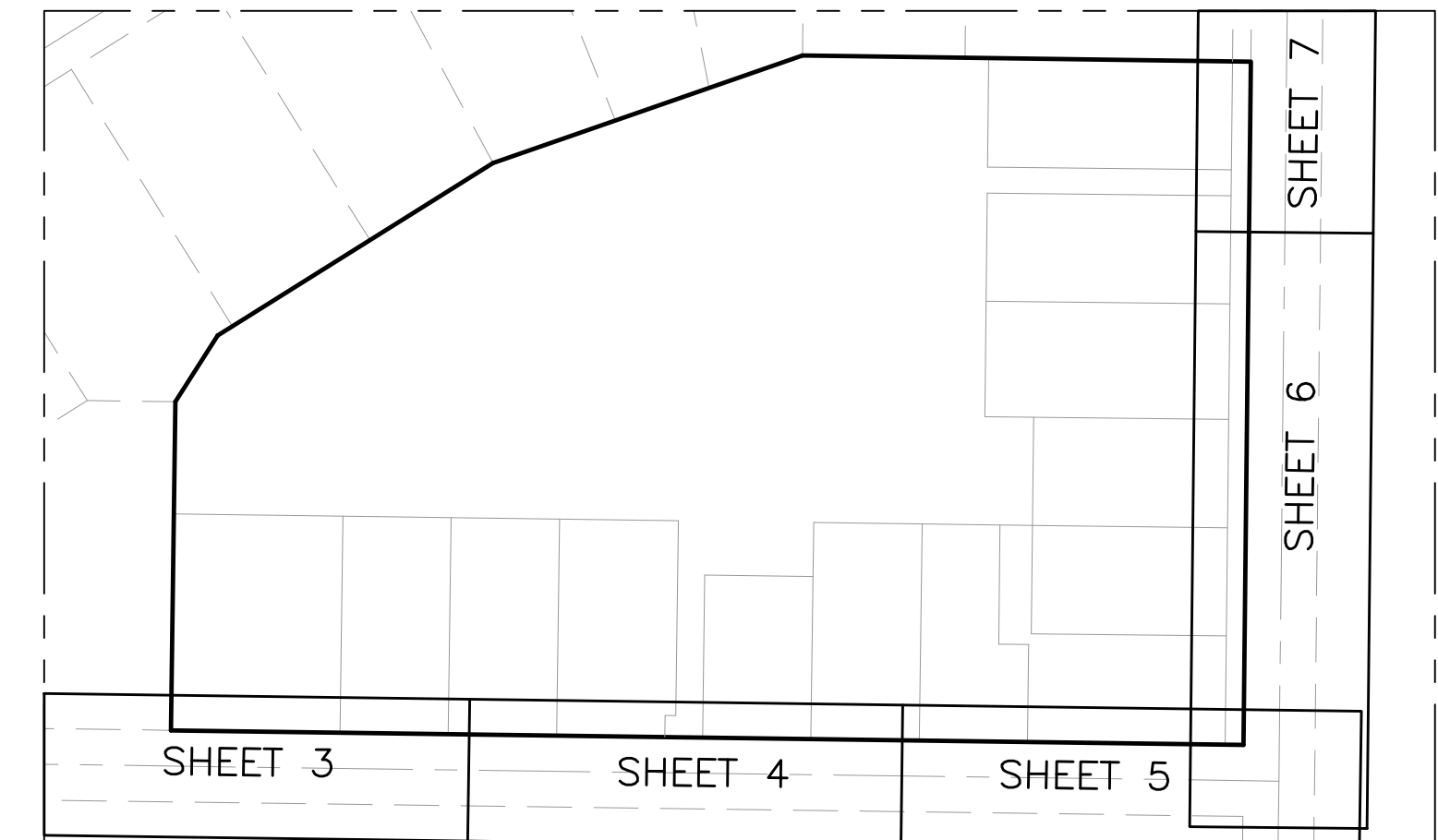
WEBER COUNTY, UTAH  
AUGUST, 2012



Vicinity Map  
NOT TO SCALE



Is this structure located with lot 13 or the Schweppe property? Planning will need to address this issue.



Sheet Index Key Map  
NOT TO SCALE

### Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Street Cross-Sections/Legend/Notes
- Sheet 3 - 2200 South Street (26+00 - 30+00)
- Sheet 4 - 2200 South Street (30+00 - 34+00)
- Sheet 5 - 2200 South Street (34+00 - 38+00)
- Sheet 6 - 3500 West Street (1+50 - 7+00)
- Sheet 7 - 3500 West Street (7+00 - 12+50)
- Sheet 8 - Detention Basins
- Sheet 9 - Storm Water Pollution Prevention
- Sheet 10 - Storm Water Pollution Prevention

### General Notes

- CONSTRUCTION STAKING TO BE PROVIDED BY REEVE & ASSOCIATES, INC.
- ANY MODIFICATION TO THIS CONSTRUCTION PACKAGE OR TO THE CONSTRUCTION SCHEDULE SHALL BE APPROVED BY THE ARCHITECT PRIOR TO SAID APPROVAL. ALL IMPROVEMENT DRAWINGS SHALL BE RESUBMITTED AND APPROVED BY THE ARCHITECT.
- THE CONTRACTOR SHALL LOCATE, RETAIN AND PROTECT ALL EXISTING UTILITIES UNLESS OTHERWISE DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL MAINTAIN 10 FOOT HORIZONTAL AND 18 INCH VERTICAL SEPARATION, CULINARY WATER LINES, SANITARY SEWER, AND STORM DRAIN LINES.
- THE CONTRACTOR SHALL INSTALL ALL SANITARY SEWER MAINS, SERVICE LINES AND STORM DRAIN LINES PRIOR TO INSTALLING ANY WATER SYSTEM IMPROVEMENTS. ADJUST WATER MAIN DEPTH PER JURISDICTION AS REQUIRED TO AVOID SANITARY SEWER SERVICE LINES.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ALL UTILITY CONFLICTS UPON DISCOVERY.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY. OWNER SHALL PAY ALL ASSOCIATED UTILITY COMPANY FEES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SLOPE AND CONSTRUCTION OF CONNECTING SEWER PIPING.
- CONTRACTOR SHALL BE RESPONSIBLE OF PROPER BACKFILLING, COMPACTING, AND PAVEMENT RESTORATION.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMIT(S) AND COMPLY WITH ALL PERMITTING REQUIREMENTS.
- ALL THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL. ALL VALVES, FITTINGS, AND APPURTENANCES TO BE BLOCKED.
- ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH A NON-OXIDE WASH AND WRAPPED IN 8-MIL POLYETHYLENE AS DIRECTED BY GEOTECHNICAL STUDY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCIES STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES FOR WARRANTY PERIOD.
- ALL EXISTING ASPHALT SHALL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO EXCAVATION.
- CONTRACTOR TO INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL PVC PIPING.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE PROJECT.
- TRAFFIC CONTROL IS TO CONFORM TO THE CURRENT CITY AND/OR STATE TRANSPORTATION ENGINEERS' MANUAL.
- A UPDES GENERAL CONSTRUCTION STORM WATER PERMIT MUST BE OBTAINED BY THE GENERAL CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF ALL LOCAL, D.O.T. & APPLICABLE STANDARD SPECIFICATIONS AND DRAWINGS.

### Engineer's Notice To Contractors

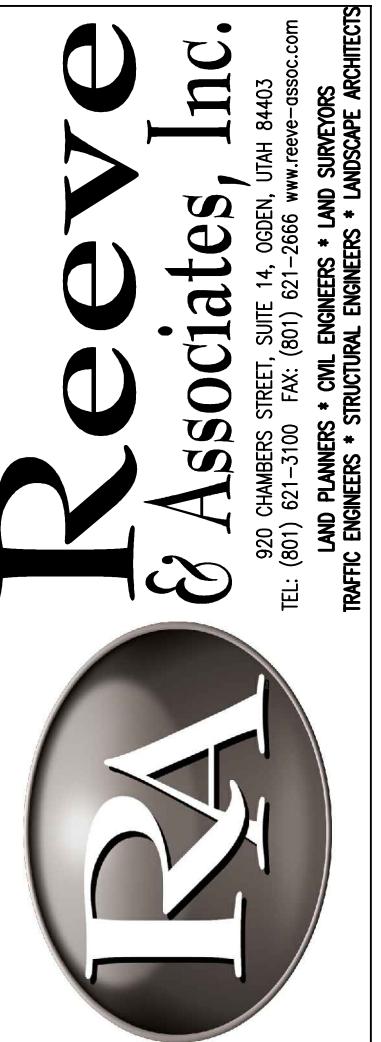
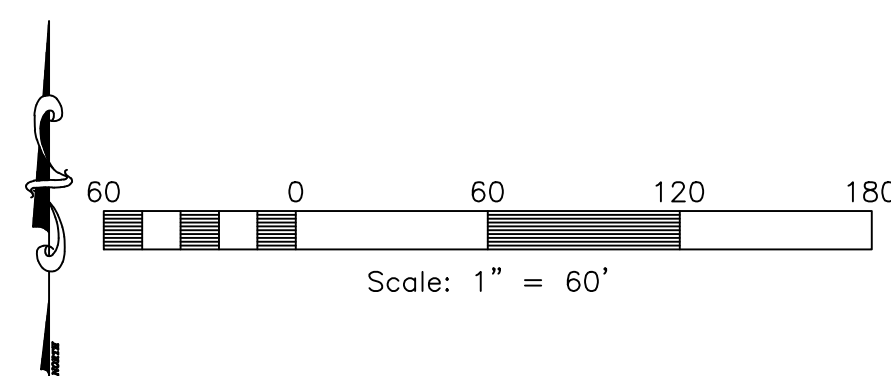
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

### Contact:

Vaughn Allen  
2191 South 3500 West  
Ogden, Utah 84401  
PH: (801) 391-3880

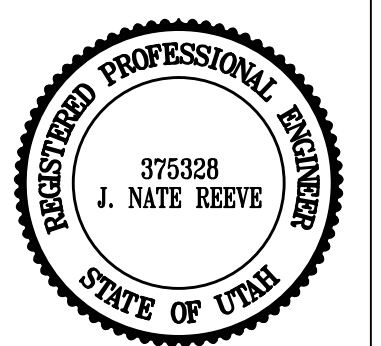
Blue Stakes Location Center

**Call: Toll Free**  
**1-800-662-4111**  
Two Working Days Before You Dig



REVISIONS	DESCRIPTION
DATE	

Allen Horseplay Cluster Subdivision  
WEBER COUNTY, UTAH  
Cover/Index Sheet




**Project Info.**  
Engineer: J. NATE REEVE, P.E.  
Drafted: R. HANSEN  
Begin Date: AUGUST 10, 2012  
Name: ALLEN HORSEPLAY CLUSTER SUBDIVISION  
Number: 5125-02

Sheet **10**  
**1** Sheets

**General Notes**

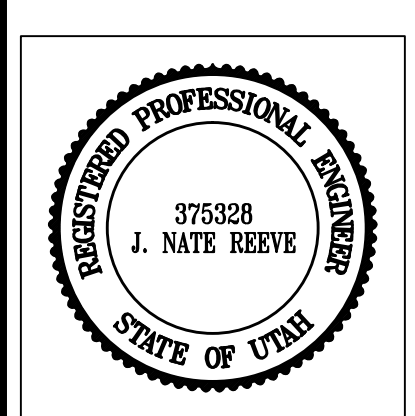
1. ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE DEVELOPMENT STANDARDS OF WEBER COUNTY AND THE DETAIL DRAWINGS CONTAINED THEREIN. WEBER COUNTY PUBLIC WORKS REQUIREMENTS SHALL BE MET.
2. THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
3. ELEVATIONS SHOWN AT THE CURB LINE ARE TOP OF CURB ELEVATIONS.
4. THE STREET STRUCTURAL CROSS SECTION IS PER THE DETAILS CONTAINED WITHIN THESE PLANS.
5. WATER LINE PIPE SHALL BE DR18 C-900 PVC PIPE. ALL CULINARY WATERLINE CONSTRUCTION SHALL CONFORM TO THE WEBER COUNTY WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
6. FIRE HYDRANTS ARE TO BE PACER MODEL BY WATEROUS OR CENTURION BY MUELLER.
7. A REINFORCED CONCRETE COLLAR SHALL BE POURED AROUND VALVE BOXES (COMMON COLLAR AROUND VALVES ON THE SAME FITTING), AND A HOOPER WATER IMPROVEMENT DISTRICT MARKER SET IN SAID COLLAR.
8. SANITARY SEWER LATERALS SHALL BE WHITE, AND FOUNDATION DRAIN LATERALS SHALL BE GREEN TO PREVENT CONFUSION. FOUNDATION DRAIN MANHOLE LIDS SHALL BE MARKED "DRAIN" AND SHALL BE UNVENTED.
9. SECONDARY WATER LINE SHALL BE PVC C-900 DR-18 (4" TO 12"). ALL SECONDARY WATER LINE PLANS AND CONSTRUCTION SHALL CONFORM & BE APPROVED BY THE HOOPER IRRIGATION COMPANY AND PRESSURE IRRIGATION STANDARDS & SPECIFICATIONS.
10. IF UNSUITABLE SOILS FOR BACKFILLING ARE ENCOUNTERED IN THE LAYING OF THE SEWER LINE, IMPORTED MATERIAL WILL BE REQUIRED FOR BACKFILLING SEWER TRENCH.

**Reeve & Associates, Inc.**  
 900 CHAMBERS STREET, SUITE 14, OGDEN, UTAH 84403  
 TEL: (801) 621-2100 FAX: (801) 621-2656 www.reeve-assoc.com  
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

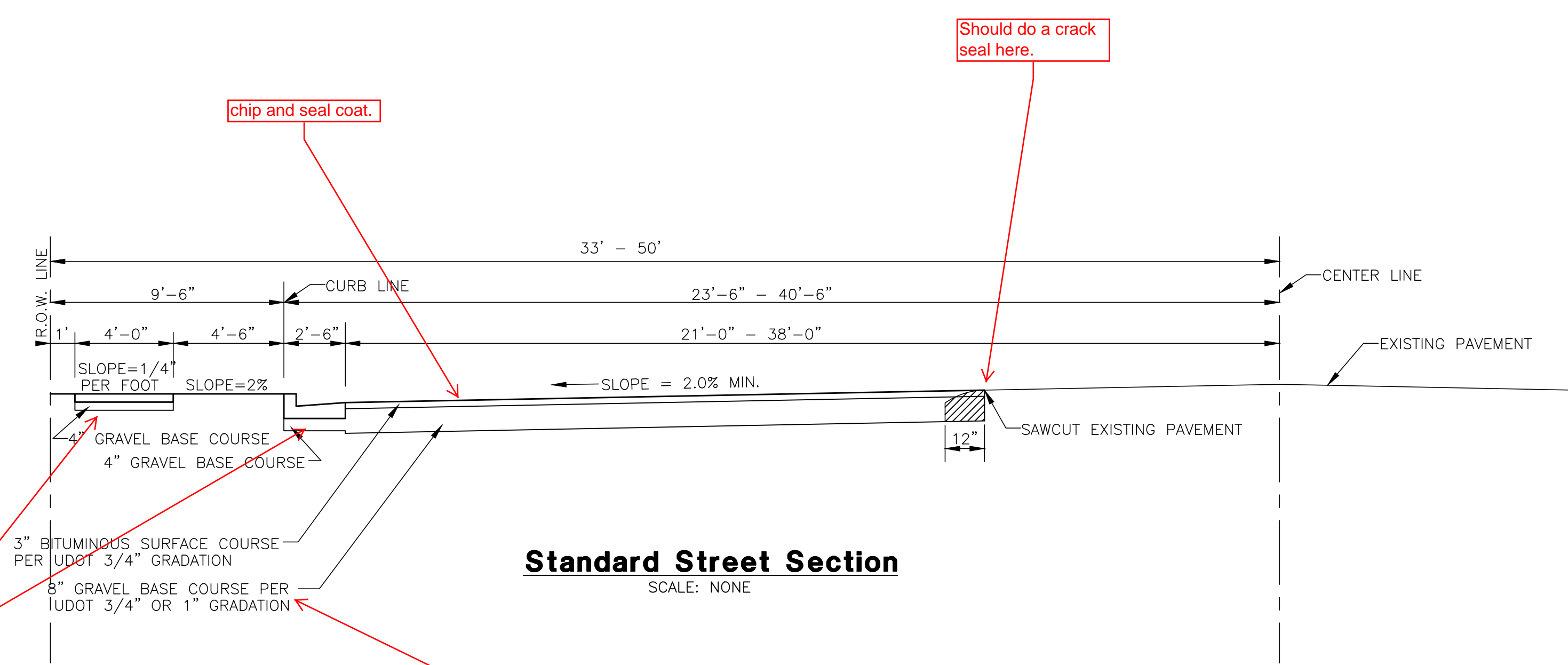


REVISIONS	DESCRIPTION
DATE	

**Allen Horseplay Cluster Subdivision**  
 WEBER COUNTY, UTAH  
**Street Cross-Sections/  
 Master Legend/Notes**



**Project Info.**  
 Engineer: J. NATE REEVE, P.E.  
 Drafter: R. HANSEN  
 Begin Date: AUGUST 10, 2012  
 Name: ALLEN HORSEPLAY CLUSTER SUBDIVISION  
 Number: 5125-02



**Standard Street Section**  
 SCALE: NONE

These are greater at drive crossings. show a detail of drive crossings.

chip and seal coat.

Should do a crack seal here.

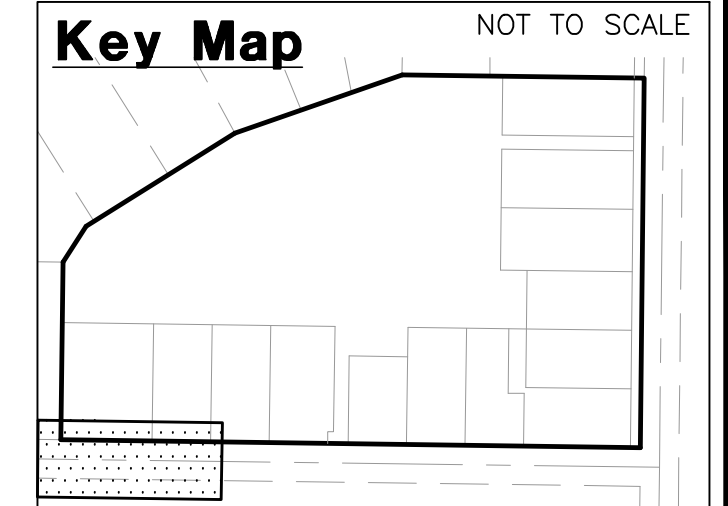
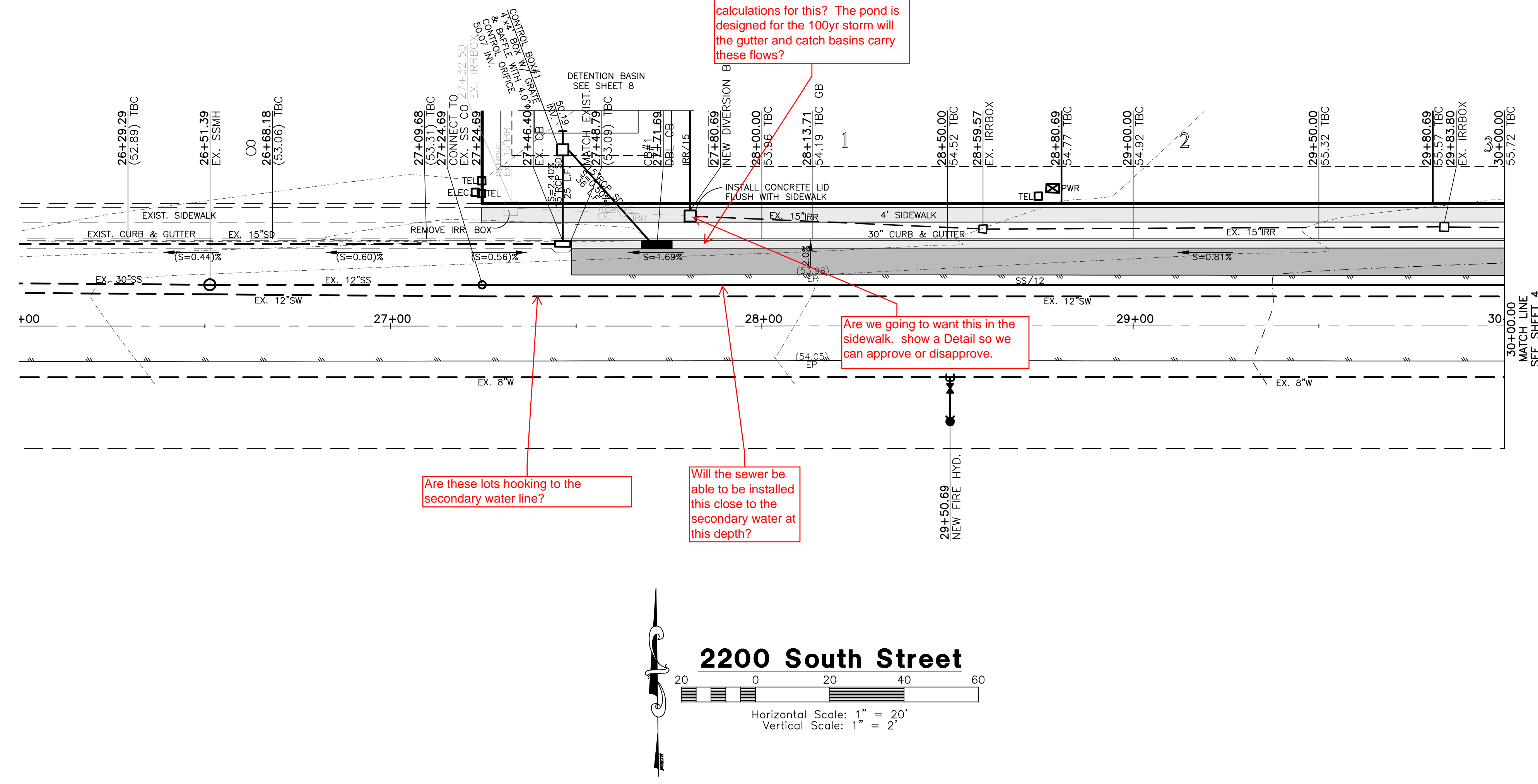
We need to see Details.

County Standard is 8" of 3" minus sub-base granular barrow per UDOT spec and 6" of road-base per UDOT 3/4" compacted to 95%.

Has there been a Geo-Technical Report done on the site?

**Master Legend**

—W— = PROPOSED CULINARY WATER LINE	□ = EXISTING CATCH BASIN	L.F. = LINEAR FEET
- - - EX.W - - - = EXISTING CULINARY WATER LINE	⊙ = EXISTING SPRINKLER	NG = NATURAL GRADE
—SS— = PROPOSED SANITARY SEWER LINE	⊕ = PLUG W/ 2" BLOW-OFF	O.C. = ON CENTER
- - - EX.SS - - - = EXISTING SANITARY SEWER LINE	⊙ = AIR-VAC ASSEMBLY	PC = POINT OF CURVE
—SD— = PROPOSED STORM DRAIN LINE	▼ = PROPOSED REDUCER	PRC = POINT OF REVERSE CURVE
- - - EX.SD - - - = EXISTING STORM DRAIN LINE	⊕ = PLUG & BLOCK	PRVC = POINT OF REVERSE VERTICAL CURVE
—LD— = PROPOSED LAND DRAIN LINE	⊙ = STREET LIGHT	PT = POINT OF TANGENT
- - - EX.LD - - - = EXISTING LAND DRAIN LINE	⊕ = SIGN	PP = POWER/UTILITY POLE
—SW— = PROPOSED SECONDARY WATER LINE	BLDG = BUILDING	P.U.E. = PUBLIC UTILITY EASEMENT
- - - EX.SW - - - = EXISTING SECONDARY WATER LINE	BVC = BEGIN VERTICAL CURVE	R/C = REBAR & CAP
—IRR— = PROPOSED IRRIGATION LINE	C&G = CURB & GUTTER	RCB = REINFORCED CONCRETE BOX
- - - EX.IRR - - - = EXISTING IRRIGATION LINE	CB = CATCH BASIN	RCP = REINFORCED CONCRETE PIPE
- - - OHP - - - = EXISTING OVERHEAD POWER LINE	C.F. = CUBIC FEET	RIM = RIM OF MANHOLE
- - - TEL - - - = EXISTING TELEPHONE LINE	C.F.S. = CUBIC FEET PER SECOND	R.O.W. = RIGHT-OF-WAY
- - - GAS - - - = EXISTING NATURAL GAS LINE	CL = CENTERLINE	SD = STORM DRAIN
≡ = EXISTING EDGE OF PAVEMENT	DI = DUCTILE IRON	SS = SANITARY SEWER
×—×—× = FENCE LINE	EP = EDGE OF PAVEMENT	SW = SECONDARY WATER
■ = MASONRY BLOCK/RETAINING WALL	EVC = END VERTICAL CURVE	TBC = TOP BACK OF CURB
— · · — = DITCH/SWALE FLOWLINE	FC = FENCE CORNER	TOE = TOE OF SLOPE
● = PROPOSED FIRE HYDRANT	FF = FINISH FLOOR	TOP = TOP OF SLOPE
○ = EXISTING FIRE HYDRANT	FFE = FINISH FLOOR ELEVATION	TOW = TOP OF WALL
● = PROPOSED MANHOLE	FG = FINISHED GRADE	TSW = TOP OF SIDEWALK
○ = EXISTING MANHOLE	FH = FIRE HYDRANT	VPI = VERTICAL POINT OF INTERSECT.
● = PROPOSED SEWER CLEAN-OUT	FL = FLOW LINE	W = CULINARY WATER
⊕ = PROPOSED GATE VALVE	GB = GRADE BREAK	WM = WATER METER
⊕ = EXISTING GATE VALVE	HDPE = HIGH DENSITY POLYETHYLENE PIPE	■ = NEW PAVEMENT
⊕ = PROPOSED WATER METER	INV = INVERT	■ = NEW CONCRETE
⊕ = EXISTING WATER METER	IRR = IRRIGATION	
■ = PROPOSED CATCH BASIN	LD = LAND DRAIN	



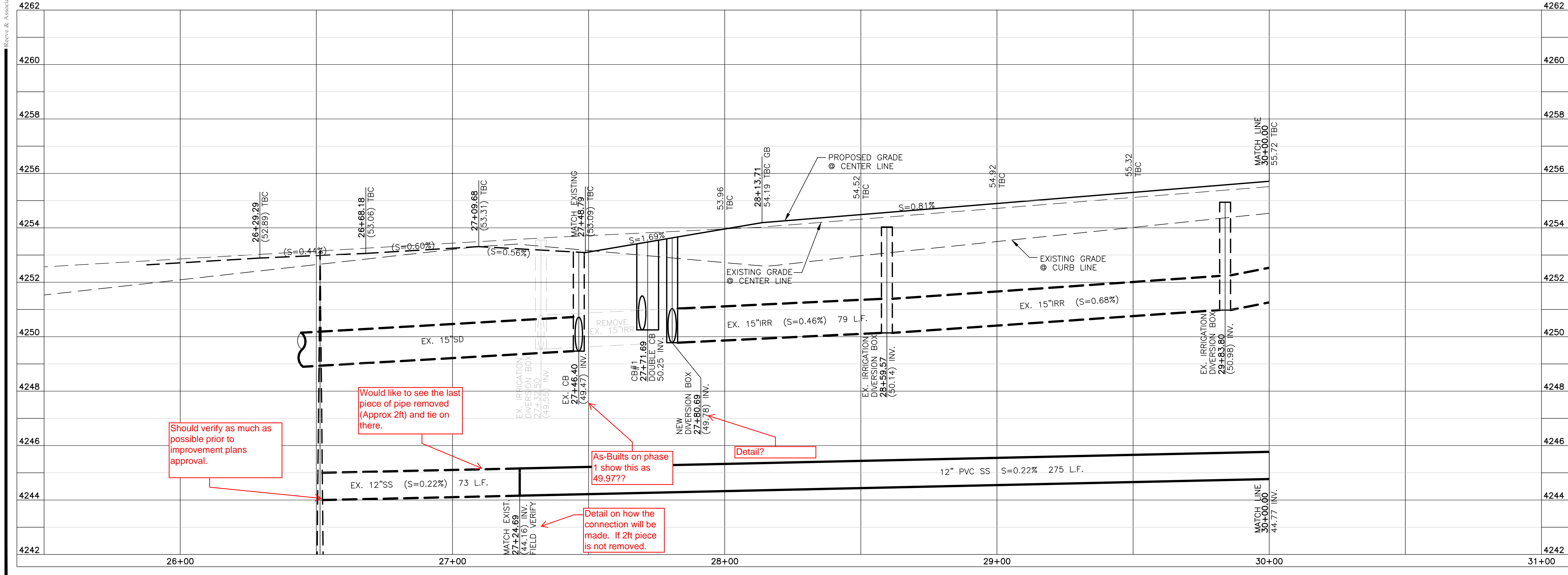
**Construction Notes:**

- ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF WEBER COUNTY.
  - CONSTRUCT HANDICAP RAMP PER ADA AND COUNTY REQUIREMENTS.
- CULINARY WATER**  
 W/8 - 8" PVC C-900 CLASS 200 WATER
- SANITARY SEWER**  
 SS/8 - 8" PVC SDR-35 SEWER LINE  
 SS/12 - 12" PVC SDR-35 SEWER LINE
- STORM DRAIN**  
 SD/15 - 15" RCP STORM DRAIN
- IRRIGATION WATER**  
 IRR/15 - 15" RCP IRRIGATION LINE

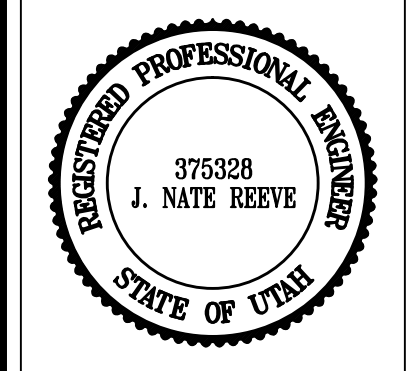
**Reeve & Associates, Inc.**  
 920 CHAMBERS STREET, SUITE 14, OGDEN, UTAH 84403  
 TEL: (801) 621-2100 FAX: (801) 621-2668 www.reeve-assoc.com

**IRA**  
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION

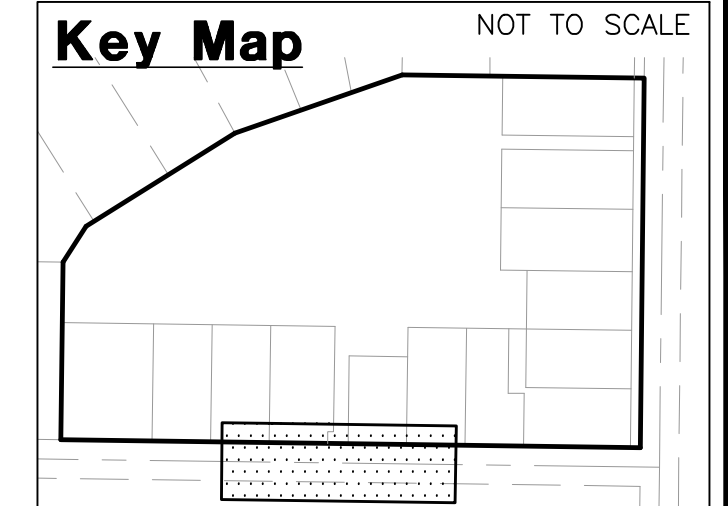
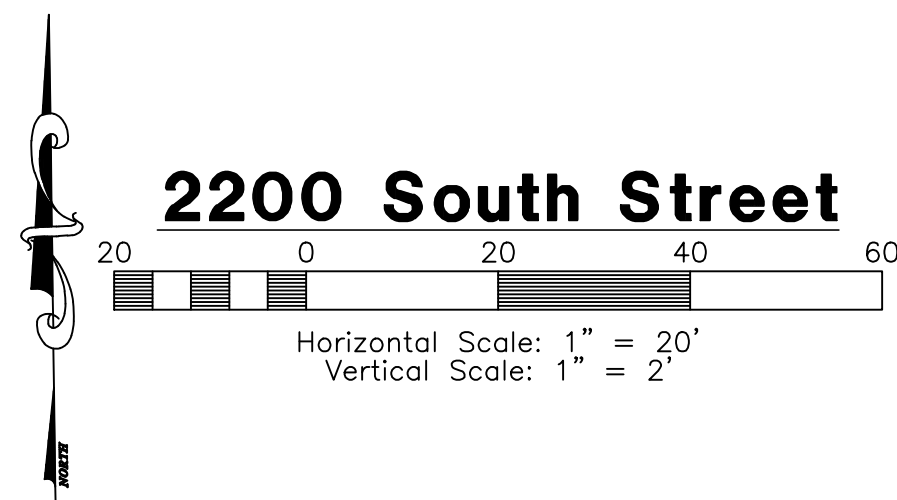
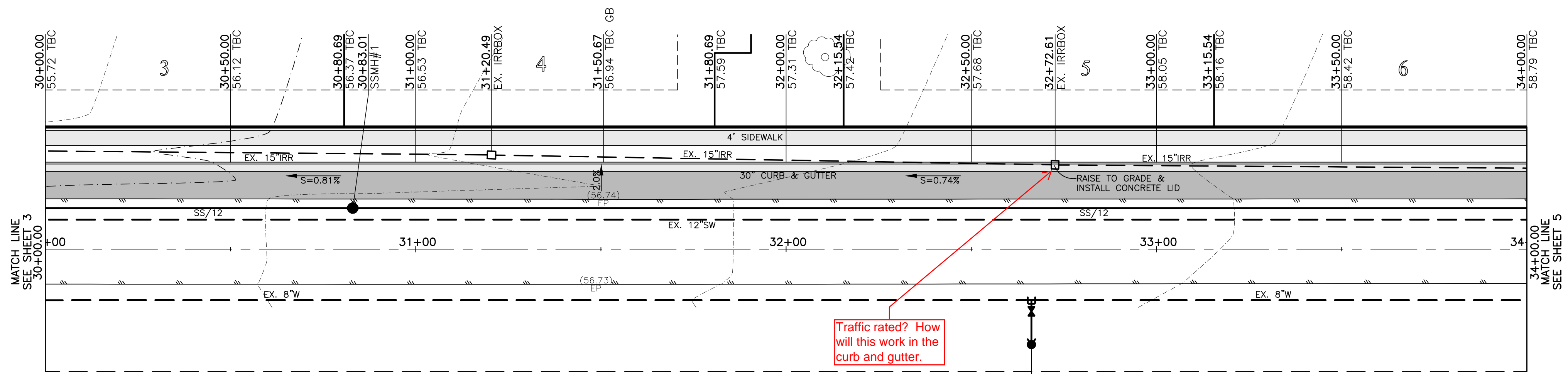


**Allen Horseplay Cluster Subdivision**  
 WEBER COUNTY, UTAH  
**2200 South Street**  
**26+00.00 - 30+00.00**



**Project Info.**  
 Engineer: J. NATE REEVE, P.E.  
 Drafter: R. HANSEN  
 Begin Date: AUGUST 10, 2012  
 Name: ALLEN HORSEPLAY CLUSTER SUBDIVISION  
 Number: 5125-02

Blue Stakes Location Center  
**Call: Toll Free 1-800-662-4111**  
 Two Working Days Before You Dig

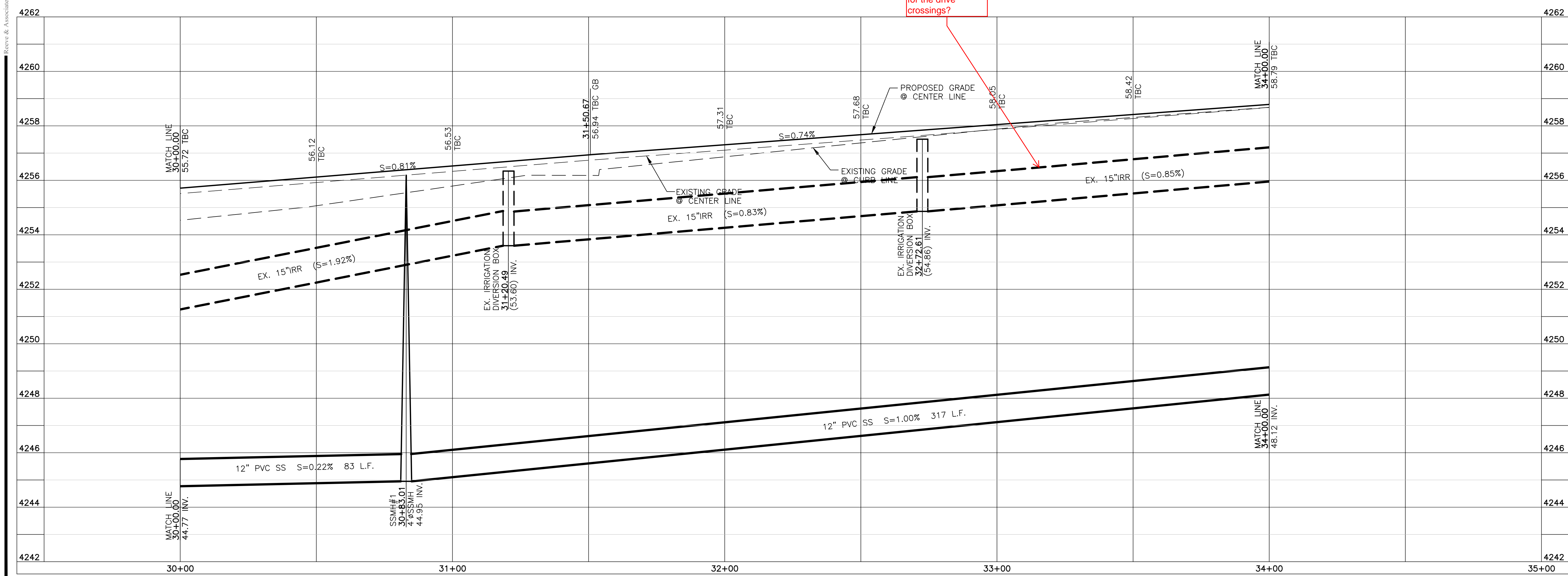


**Construction Notes:**

- ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF WEBER COUNTY.
  - CONSTRUCT HANDICAP RAMP PER ADA AND COUNTY REQUIREMENTS.
- CULINARY WATER**  
W/8 - 8" PVC C-900 CLASS 200 WATER
- SANITARY SEWER**  
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- STORM DRAIN**  
SD/15 - 15" RCP STORM DRAIN
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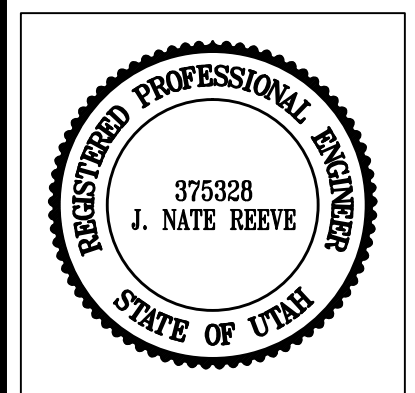
**Reeve & Associates, Inc.**  
920 CHAMBERS STREET, SUITE 14, OGDEN, UTAH 84403  
TEL: (801) 621-2100 FAX: (801) 621-2666 WWW.REEVE-ASSOC.COM  
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REVISIONS	DESCRIPTION



Blue Stakes Location Center  
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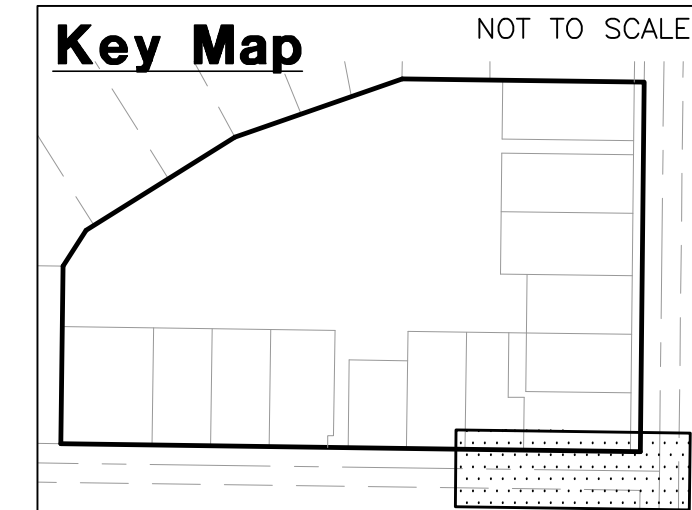
Allen Horseplay Cluster Subdivision  
WEBER COUNTY, UTAH  
**2200 South Street**  
**30+00.00 - 34+00.00**



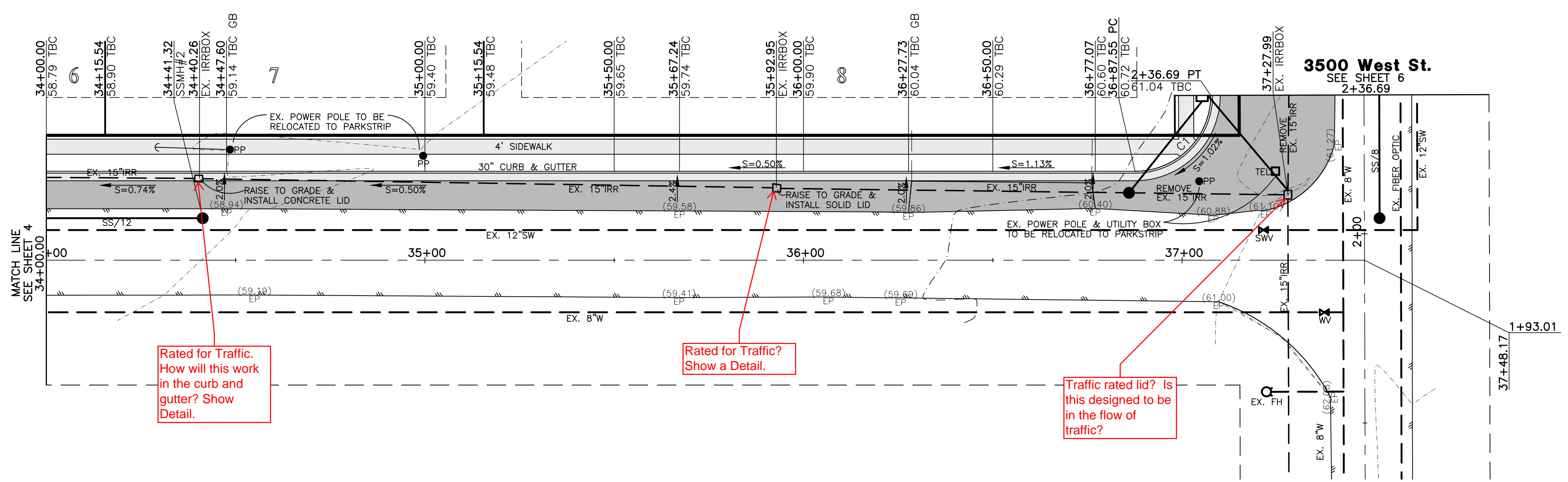
**Project Info.**

Engineer: J. NATE REEVE, P.E.  
 Drafter: R. HANSEN  
 Begin Date: AUGUST 10, 2012  
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Sheet	<b>10</b>
<b>4</b>	Sheets



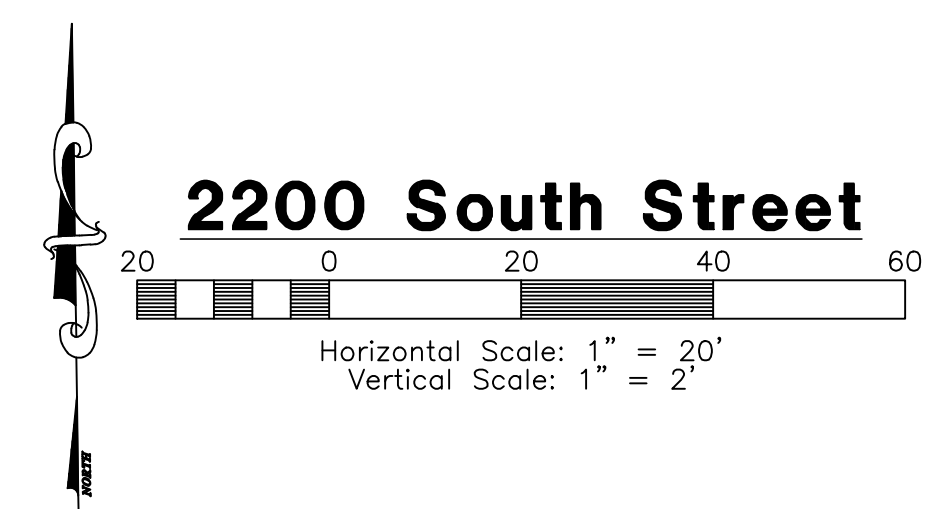
**Reeve & Associates, Inc.**  
 920 CHAMBERS STREET, SUITE 14, OGDEN, UTAH 84403  
 TEL: (801) 621-2100 FAX: (801) 621-2668 WWW: REEVE-ASSOC.COM  
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Rated for Traffic.  
How will this work in the curb and gutter? Show Detail.

Rated for Traffic?  
Show a Detail.

Traffic rated lid? Is this designed to be in the flow of traffic?



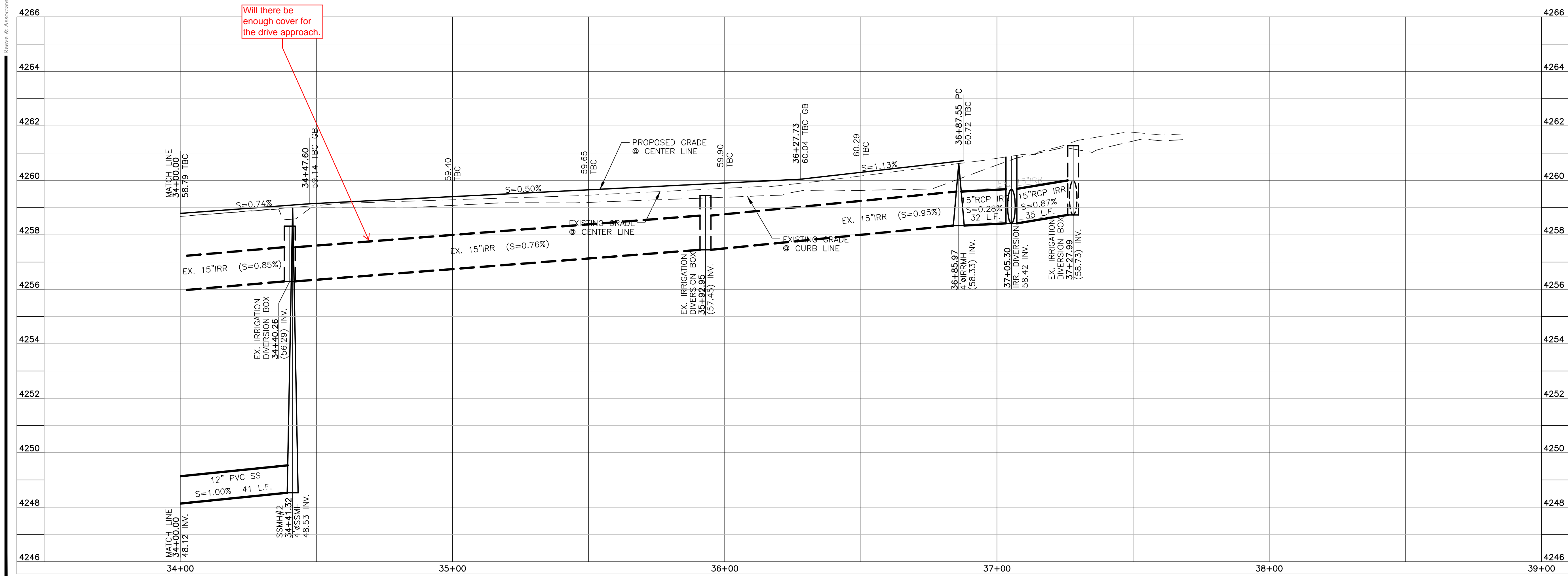
**TBC Curve Data**

#	Delta	Radius	Length	Tangent	Chord	Ch Length
C1	90°09'55"	20.00'	31.47'	20.06'	N45°41'48"E	28.33'

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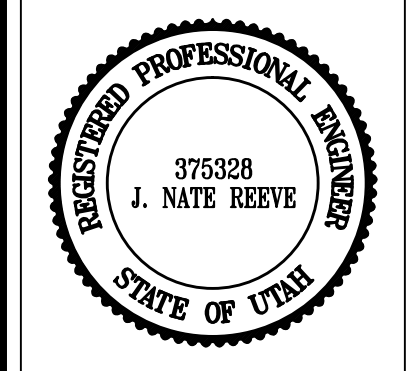
REVISIONS

DATE	DESCRIPTION



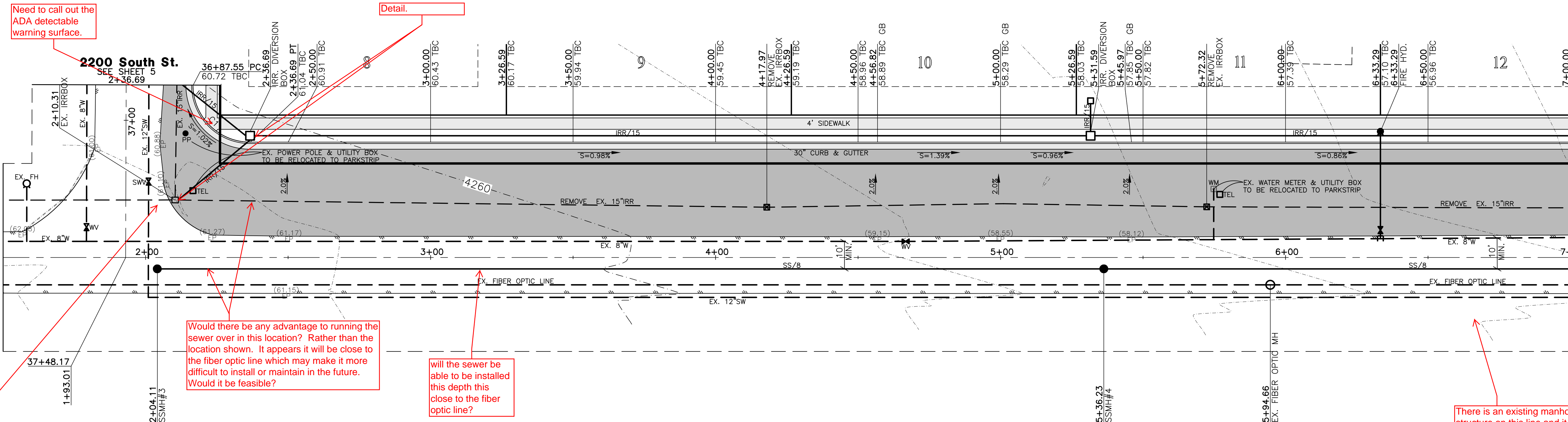
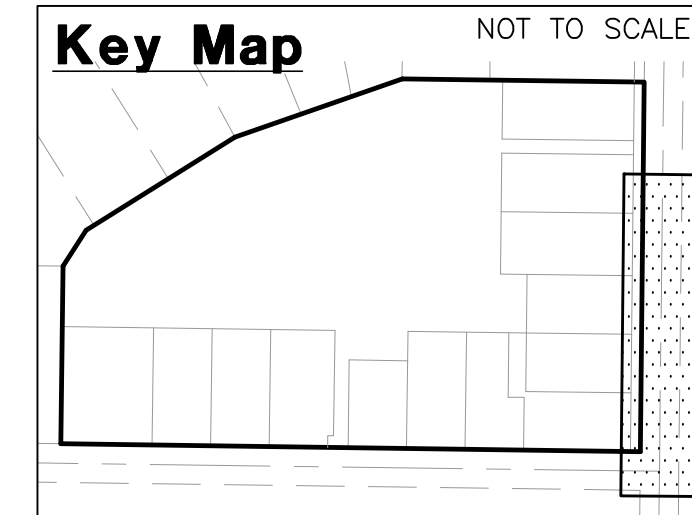
Will there be enough cover for the drive approach.

**Allen Horseplay Cluster Subdivision**  
 WEBER COUNTY, UTAH  
**2200 South Street**  
**34+00.00 - 38+00.00**



**Project Info.**  
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Blue Stakes Location Center  
**Call: Toll Free 1-800-662-4111**  
 Two Working Days Before You Dig

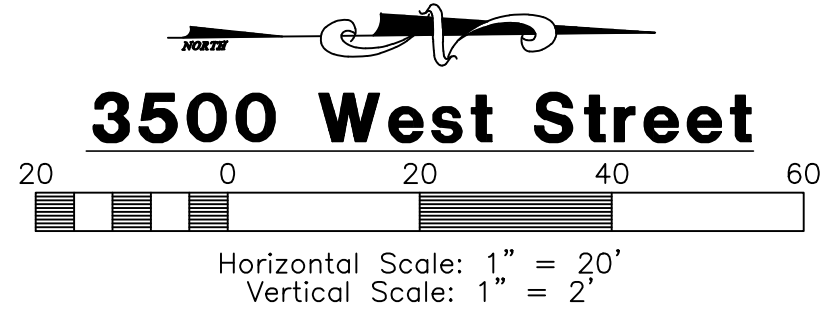


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**TBC Curve Data**

#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	90°09'55"	20.00'	31.47'	20.06'	N45°41'48"E	28.33'



Developer to work with the surveyors office if any construction jeopardizes the monuments.

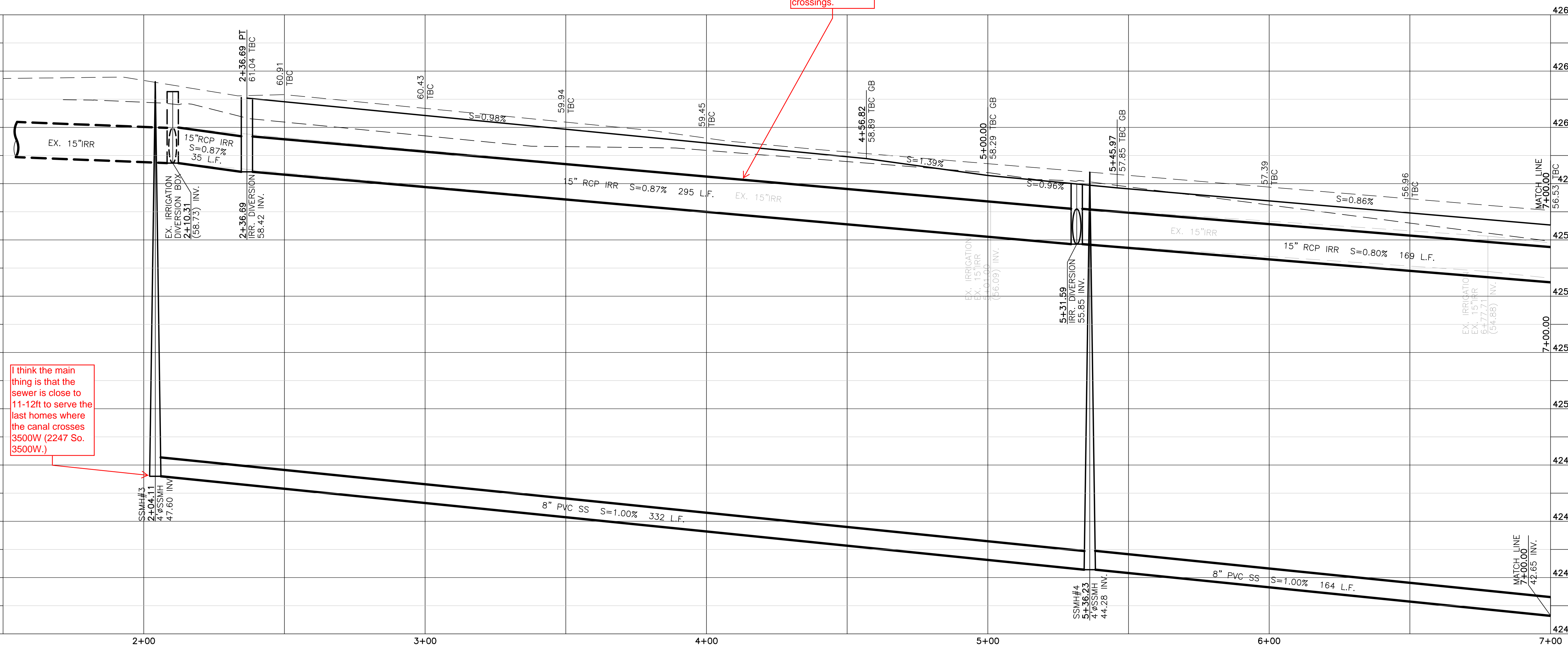
Would there be any advantage to running the sewer over in this location? Rather than the location shown. It appears it will be close to the fiber optic line which may make it more difficult to install or maintain in the future. Would it be feasible?

will the sewer be able to be installed this depth this close to the fiber optic line?

There is an existing manhole like structure on this line and it has a pipe coming from the West side of the road. What is this and where is it coming from? I am not sure what this is or if it is currently carrying storm drainage or not. Please verify and let us know what it is.

Show water, sewer, and secondary water laterals.

is there enough cover over this pipe for the drive crossings.



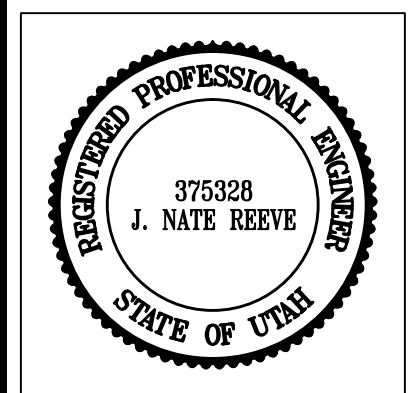
I think the main thing is that the sewer is close to 11-12ft to serve the last homes where the canal crosses 3500W (2247 So. 3500W.)

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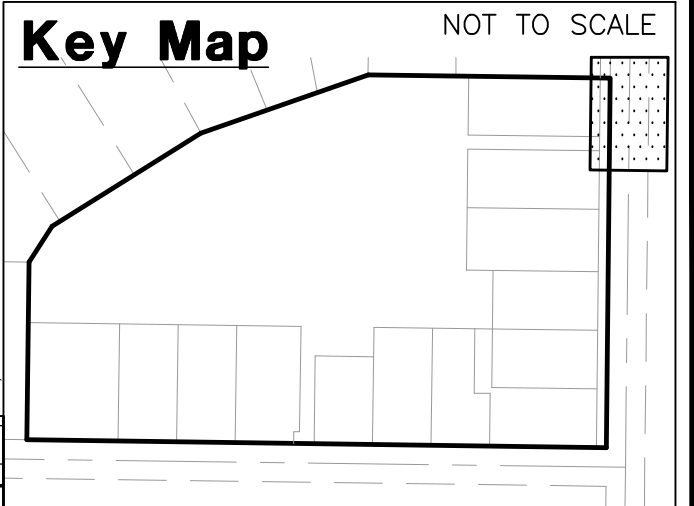
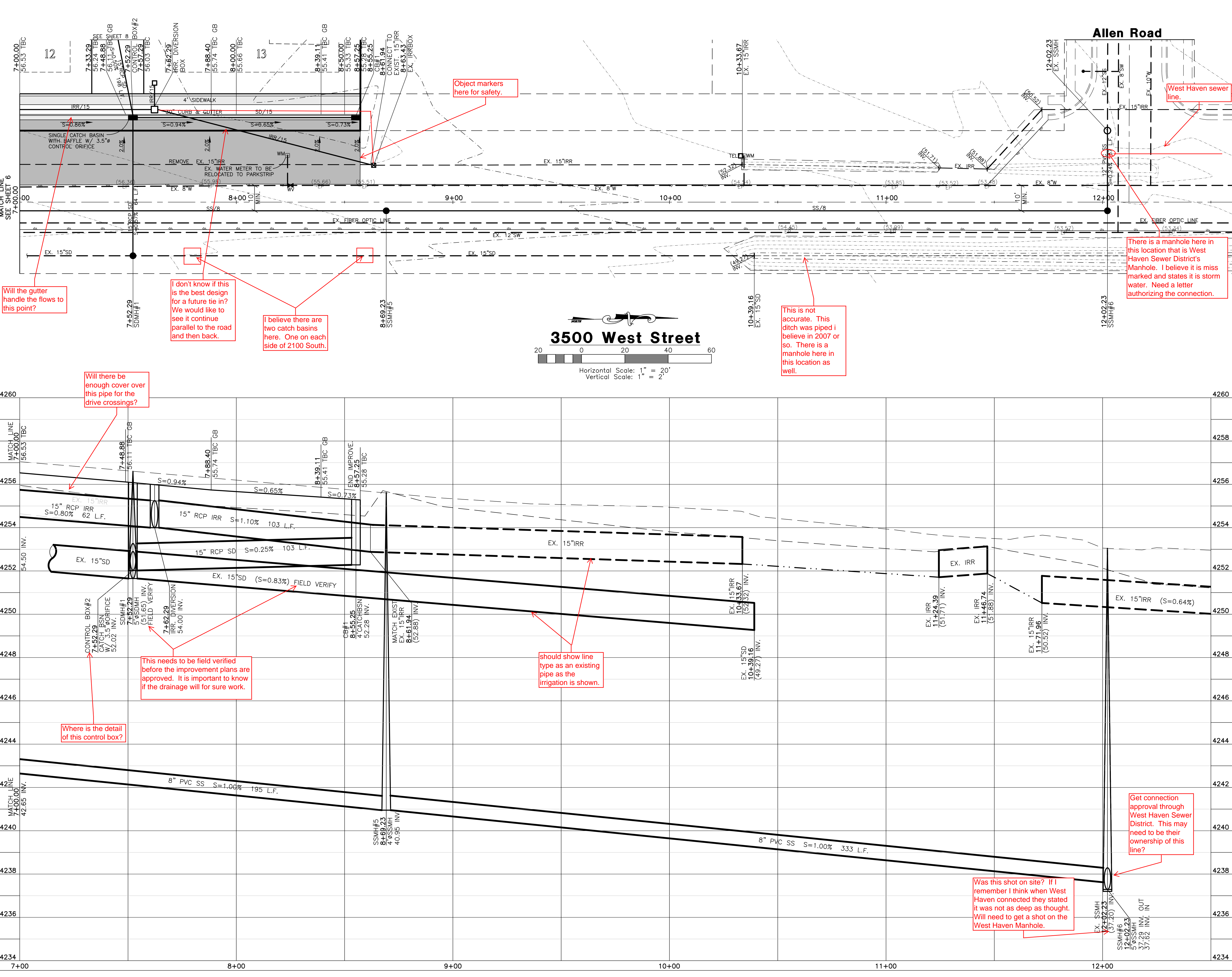
REVISIONS	DESCRIPTION

**Allen Horseplay Cluster Subdivision**  
WEBER COUNTY, UTAH  
**3500 West Street**  
**1+50.00 - 7+00.00**



**Project Info.**  
Engineer: J. NATE REEVE, P.E.  
Drafted: R. HANSEN  
Begin Date: AUGUST 10, 2012  
Name: ALLEN HORSEPLAY CLUSTER SUBDIVISION  
Number: 5125-02

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### Construction Notes:

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**SANITARY SEWER**  
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SS/12 - 12" PVC SDR-35 SEWER LINE

**STORM DRAIN**  
SD/15 - 15" RCP STORM DRAIN

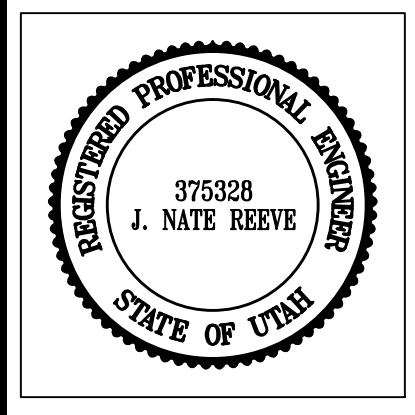
**IRRIGATION WATER**  
IRR/15 - 15" RCP IRRIGATION LINE

REVISIONS	DESCRIPTION

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REVISIONS	DESCRIPTION

**Allen Horseplay Cluster Subdivision**  
WEBER COUNTY, UTAH  
**3500 West Street**  
**7+00.00 - 12+50.00**



**Project Info.**  
Engineer: J. NATE REEVE, P.E.  
Drafted: R. HANSEN  
Begin Date: AUGUST 10, 2012  
Name: ALLEN HORSEPLAY CLUSTER SUBDIVISION  
Number: 5125-02

Blue Stakes Location Center  
**Call: Toll Free**  
**1-800-662-4111**  
Two Working Days Before You Dig



**Storm Runoff Calculations**

**Allen Horseplay Cluster Subdivision - Basin #1**

8/13/2012 srt  
The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the Warren, UT area taken from data compiled by NOAA Atlas14, using a 100 year storm.

Runoff storm water has been calculated for two different sets of conditions, one being the existing undeveloped land and the other with land fully improved. The difference between the two quantities will be detained in a holding pond. All water that runs off and over the property at present will be diverted into the holding pond and released at a reduced rate into the existing drainage system.

The calculations are as follows:

1. Runoff from the undeveloped existing land.  
Runoff Coefficient C = 0.2  
Rainfall Intensity i = 4.91 IN./HR.  
Runoff Quantity Q = CIA  
Acreage A = 3.67 ACRES

$Q(out) = C \cdot i \cdot A =$   
(Calc. Release of 0.2 cfs/acre) 0.73 CFS

2. Runoff from developed land  
Runoff Coefficients  
Paved Area 19,288 C = 0.9  
Landscaped Area 142,421 C = 0.2  
Roof 35,000 C = 0.8

Weighted Runoff Coefficient C = 0.38  
Rainfall Intensity i = varies with time  
Runoff Quantity Q = CIA

3. Detention Basin  
Volume in  $Q \cdot t$   
Volume out  $0.73 \cdot t$

The capacity of the detention basin is calculated as the maximum difference between the volume flowing in and the volume flowing out.

The outflow from the detention basin is limited to outflow if undeveloped.  
Use 0.73 cfs for Q outflow

The required volume of the detention basin is 5,787 cubic feet

USE A 4.0 INCH DIAMETER ORIFICE AT OUTLET

**Storm Runoff Calculations**

**Allen Horseplay Cluster Subdivision - Basin #2**

8/13/2012 srt  
The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the Warren, UT area taken from data compiled by NOAA Atlas14, using a 100 year storm.

Runoff storm water has been calculated for two different sets of conditions, one being the existing undeveloped land and the other with land fully improved. The difference between the two quantities will be detained in a holding pond. All water that runs off and over the property at present will be diverted into the holding pond and released at a reduced rate into the existing drainage system.

The calculations are as follows:

1. Runoff from the undeveloped existing land.  
Runoff Coefficient C = 0.2  
Rainfall Intensity i = 4.91 IN./HR.  
Runoff Quantity Q = CIA  
Acreage A = 2.80 ACRES

$Q(out) = C \cdot i \cdot A =$   
(Calc. Release of 0.2 cfs/acre) 0.56 CFS

2. Runoff from developed land  
Runoff Coefficients  
Paved Area 27,379 C = 0.9  
Landscaped Area 147,830 C = 0.2  
Roof 22,900 C = 0.8

Weighted Runoff Coefficient C = 0.37  
Rainfall Intensity i = varies with time  
Runoff Quantity Q = CIA

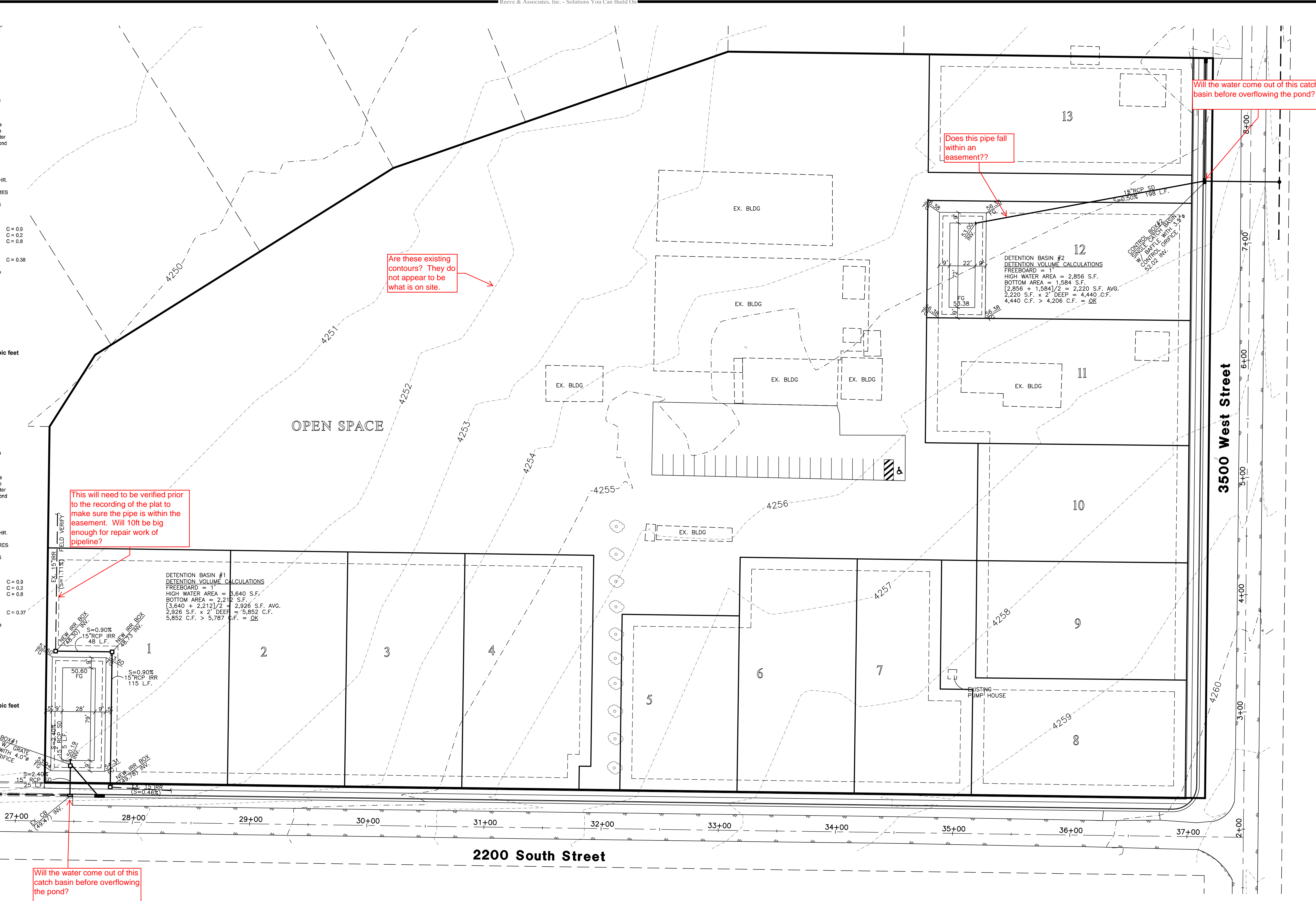
3. Detention Basin  
Volume in  $Q \cdot t$   
Volume out  $0.56 \cdot t$

The capacity of the detention basin is calculated as the maximum difference between the volume flowing in and the volume flowing out.

The outflow from the detention basin is limited to outflow if undeveloped.  
Use 0.56 cfs for Q outflow

The required volume of the detention basin is 4,206 cubic feet

USE A 3.5 INCH DIAMETER ORIFICE AT OUTLET



This will need to be verified prior to the recording of the plat to make sure the pipe is within the easement. Will 10ft be big enough for repair work of pipeline?

Are these existing contours? They do not appear to be what is on site.

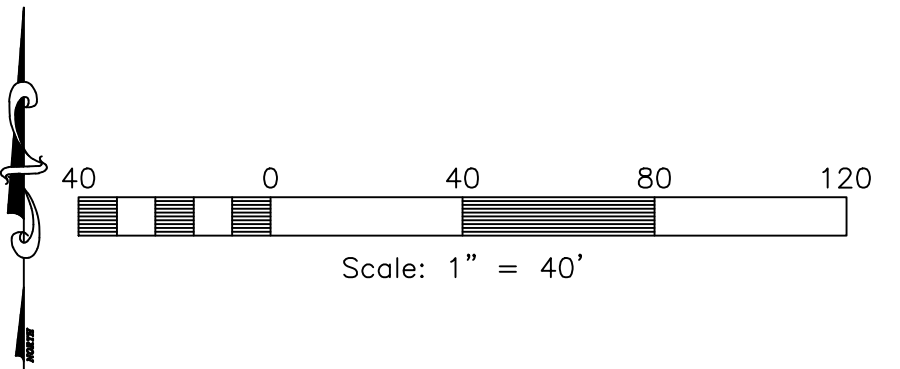
Does this pipe fall within an easement??

Will the water come out of this catch basin before overflowing the pond?

Will the water come out of this catch basin before overflowing the pond?

2200 South Street

3500 West Street



**Reeve & Associates, Inc.**  
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REVISIONS	DESCRIPTION
DATE	

**Allen Horseplay Cluster Subdivision**  
WEBER COUNTY, UTAH

**Detention Basins**

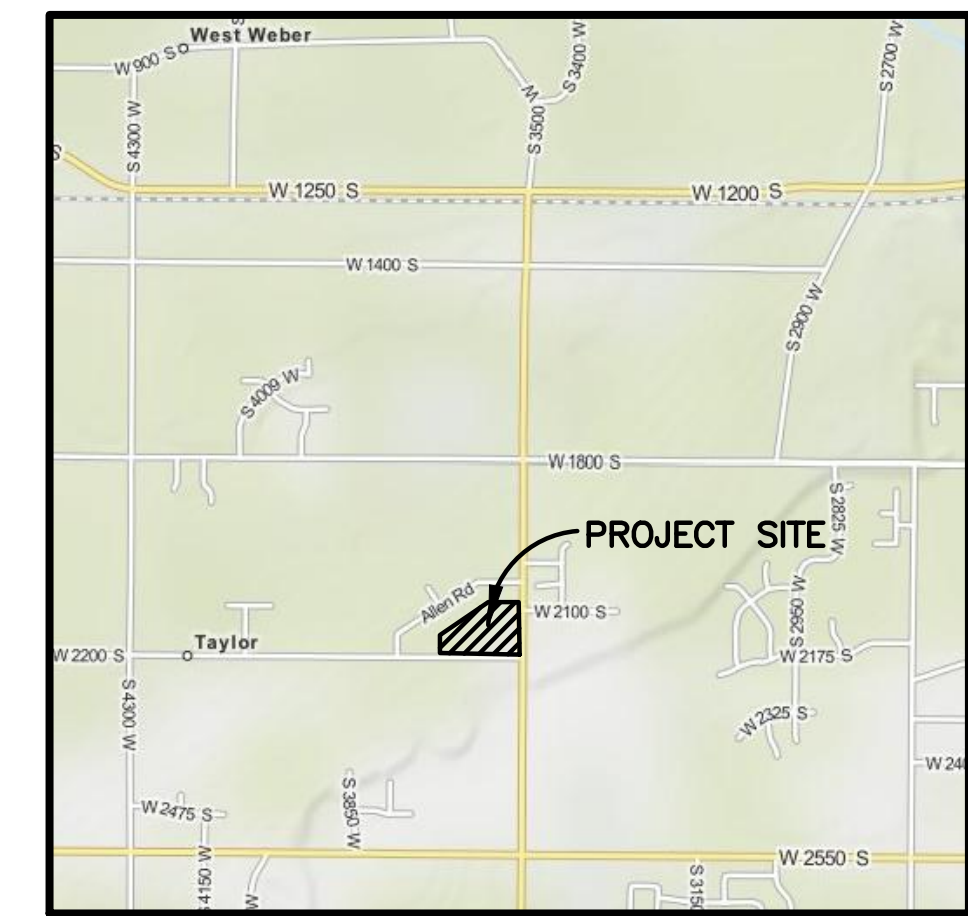
REGISTERED PROFESSIONAL ENGINEER  
375328  
J. NATE REEVE  
STATE OF UTAH

**Project Info.**  
Engineer: J. NATE REEVE, P.E.  
Drafted: R. HANSEN  
Begin Date: AUGUST 10, 2012  
Name: ALLEN HORSEPLAY CLUSTER SUBDIVISION  
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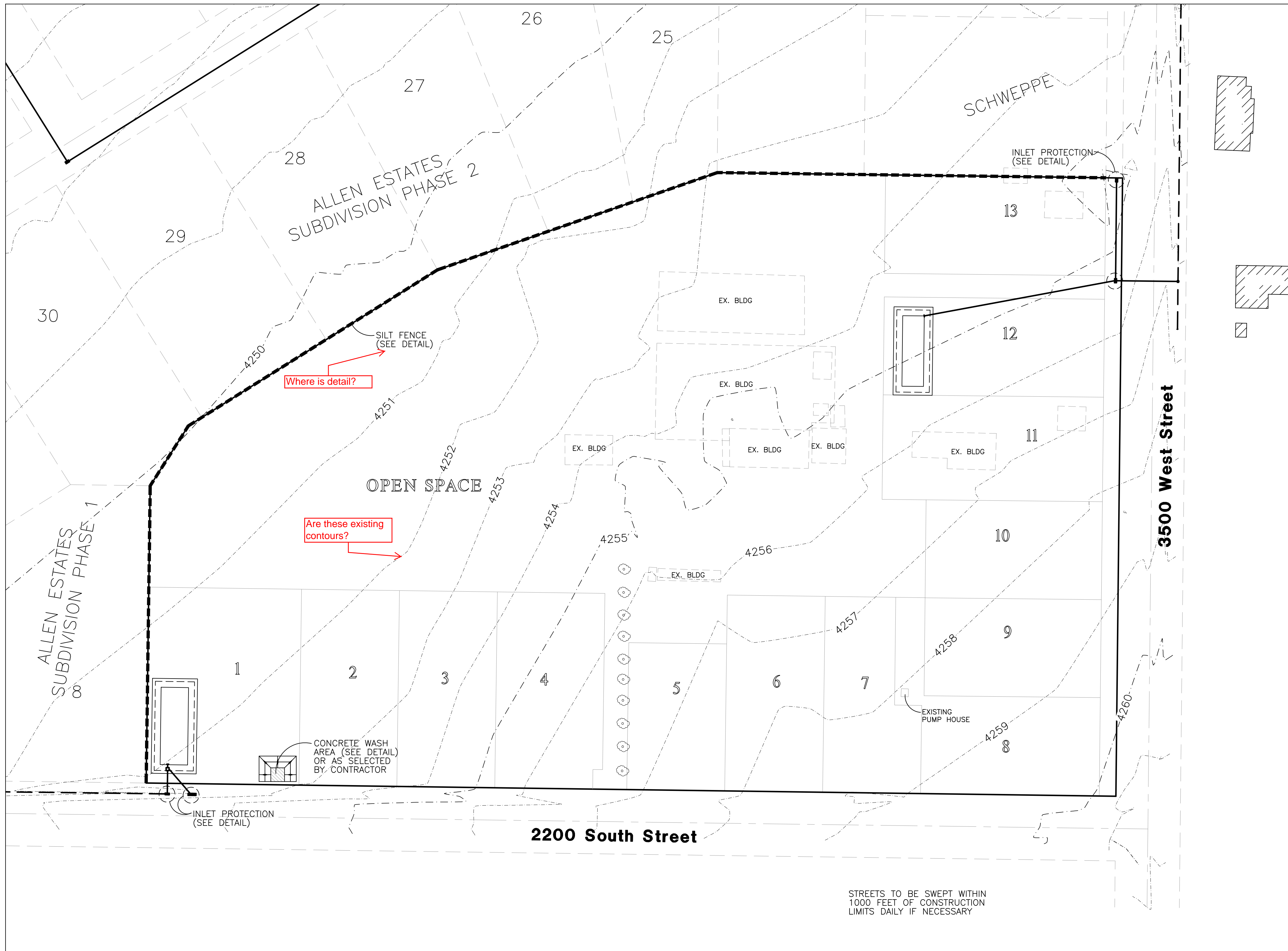
Sheet **10**  
**8** Sheets

# Allen Horseplay Cluster Subdivision Storm Water Pollution Prevention Plan Exhibit

WEBER COUNTY, UTAH  
AUGUST, 2012



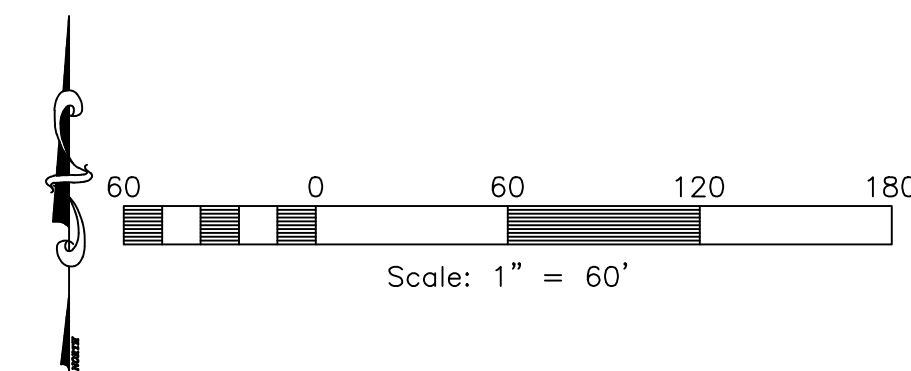
Vicinity Map  
NOT TO SCALE



2200 South Street

3500 West Street

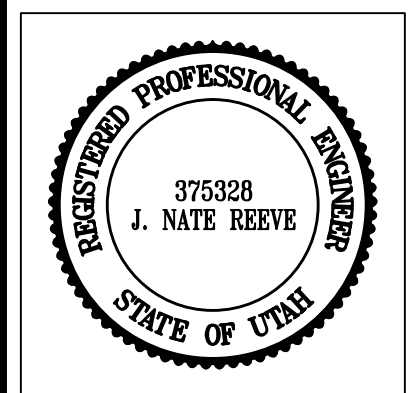
STREETS TO BE SWEEP WITHIN  
1000 FEET OF CONSTRUCTION  
LIMITS DAILY IF NECESSARY



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REVISIONS	DESCRIPTION	DATE

**Allen Horseplay Cluster Subdivision**  
WEBER COUNTY, UTAH  
**Storm Water Pollution Prevention Plan Exhibit**



**Project Info.**

Engineer:	J. NATE REEVE, P.E.
Drafter:	R. HANSEN
Begin Date:	AUGUST 10, 2012
Name:	ALLEN HORSEPLAY CLUSTER SUBDIVISION
Number:	5125-02

**Construction Activity Schedule**

- PROJECT LOCATION.....	WEBER COUNTY, UTAH
- PROJECT BEGINNING DATE.....	AUGUST 2012
- BMP'S DEPLOYMENT DATE.....	AUGUST 2012
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....	VAUGHN ALLEN (801) 391-3880
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER	