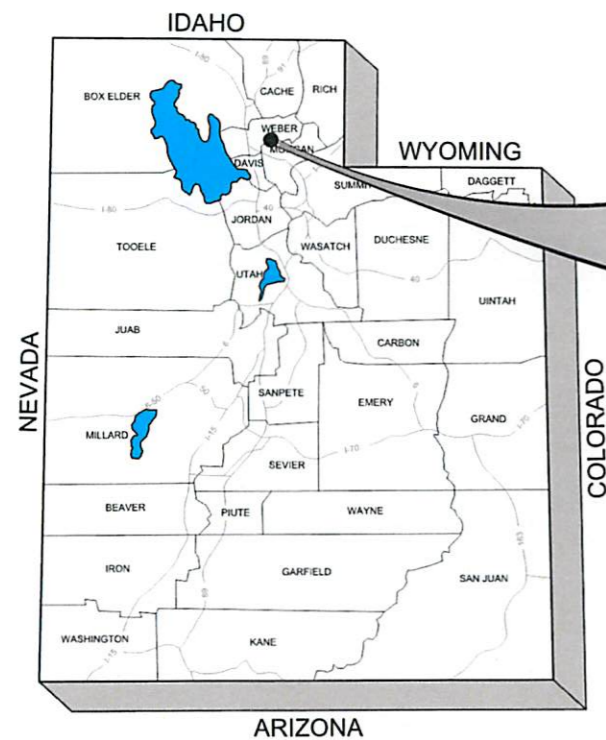


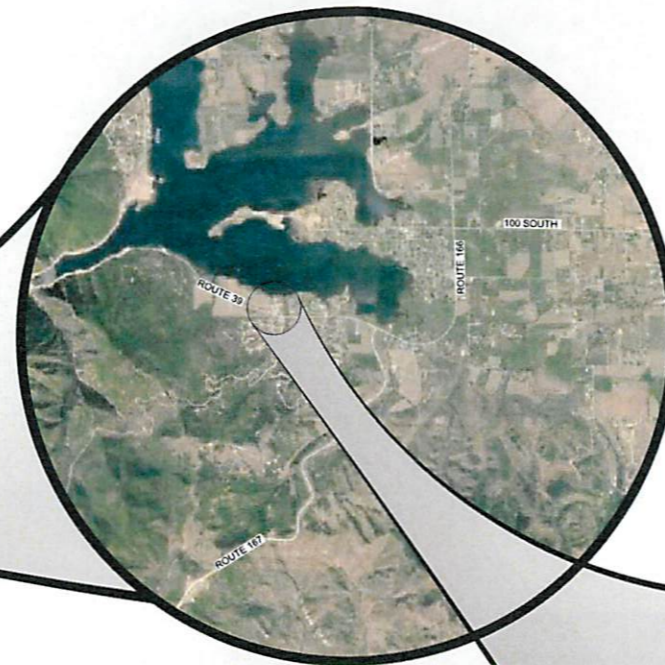
HORROCKS ENGINEERS

IMPROVEMENT DRAWINGS FOR EDGEWATER BEACH RESORT - PHASE 3

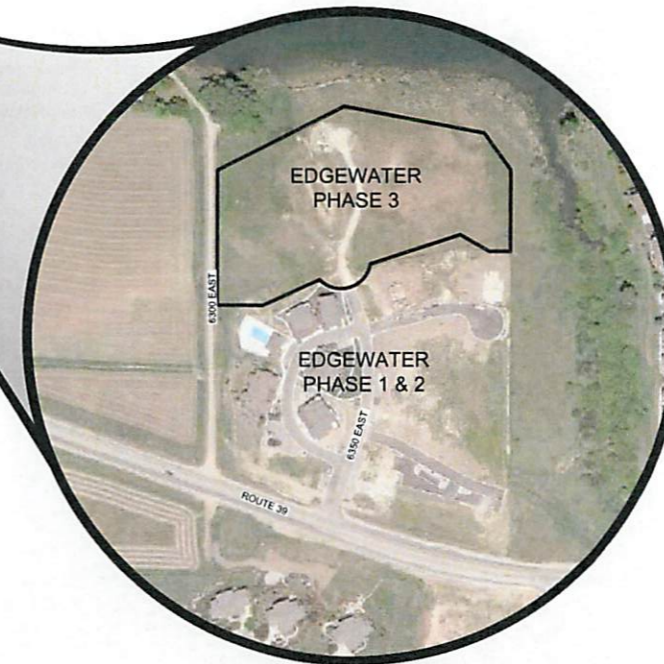
6350 STATE ROUTE 39 HUNTSVILLE, UT



ARIZONA
STATE MAP



VICINITY MAP



PROJECT SITE

BASIS OF BEARING:

THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE SOUTH QUARTER CORNER AND THE SOUTHWEST CORNER OF SECTION 13, TOWNSHIP 6 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS N89°36'57"E

BENCHMARK ELEVATION

MONUMENT NO. 3-JRH
ELEVATION=4969.025'
(MAINTAINED BY WEBER COUNTY SURVEYOR)

ENGINEER:

HORROCKS ENGINEERS
2162 West Grove Pkwy., Suite 400
Pleasant Grove, UT 84062
(801) 763-5100
CONTACT: DAVE PETERSEN, PE

UTILITIES:

POWER- ROCKY MTN POWER
GAS- DOMINION ENERGY
SEWER- MOUNTAIN SEWER
WATER- LAKEVIEW WATER

APPLICANT / OWNER

JACK FISHER HOMES
DAN ROSS
1148 W LEGACY CROSSING BLVD., STE 400
CENTERTVILLE, UTAH 84014
801-335-8500

SHEET INDEX		
PAGE #	SHEET #	SHEET TITLE
1	GI-001	COVER SHEET & SHEET INDEX
2	G1-002	GENERAL NOTES
3	GI-113	ABBREVIATIONS & LEGEND
4	PLAT1	FINAL PLAT PAGE 1
5	PLAT2	FINAL PLAT PAGE 2
6	CD-101	DEMOLITION / SURVEY
7	PP-101	PLAN & PROFILE - EDGEWATER LANE
8	PP-102	PLAN & PROFILE - EDGEWATER LANE
9	PP-103	PLAN & PROFILE - 6310 E / 6360 E
10	PP-104	PLAN & PROFILE - UTILITY TO BASIN
11	CG-101	GRADING PLAN
12	CU-101	UTILITY PLAN
13	CD-501	DETAILS
14	CS-101	S.W.P.P.P.
15	CS-501	S.W.P.P.P. DETAILS
16	LS-101	LANDSCAPING PLAN
17	LS-102	LANDSCAPING PLAN



Know what's below.
Call before you dig.

HORROCKS ENGINEERS

2162 West Grove Pkwy., Suite 400
Pleasant Grove, UT 84062
(801) 763-5100
www.horrock.com

WARNING

IF THIS BAR DOES NOT
MEASURE 2" THEN
DRAWING IS NOT TO SCALE

REVISIONS	REV #	DATE
DRAWING INFO	NOV 1, 2017	
DESIGNED	DM	
DRAWN	SB	
CHECKED	DM	
PROJECT	OC-707-1510	



EDGEWATER PHASE 3

6350 STATE ROUTE 39
HUNTSVILLE, UT

COVER

CLIENT: JACK FISHER HOMES



GI 001

UTILITY CONTACTS

WATER & SEWER
MOUNTAIN SEWER LAKE VIEW WATER
932 SOUTH 6525 EAST
HUNTSVILLE, UT 84317
(801) 394-4515
GREAT BASIN ENGINEERING

STORM DRAIN
WEBER COUNTY
2380 WASHINGTON BLVD SUITE 240
ODGEN, UT 84401
PHONE: (801) 399-8054
BLAINE FRANSDSEN

IRRIGATION
HUNTSVILLE SOUTH BENCH CANAL COMPANY
PHONE: (801) 648-6822
GREG GRAVES

POWER
ROCKY MTN POWER
1438 WEST 2550 SOUTH
ODGEN, UT 84401
PHONE: (503) 813-6993
JOEL SIMMONS

NATURAL GAS
DOMINION ENERGY COMPANY
2974 WASHINGTON BLVD
ODGEN, UT 84401
(801) 324-3970

TELEPHONE
CENTURYLINK
131 SOUTH 7400 EAST
HUNTSVILLE, UT 84317
(801) 974-8130
ARLENE DENNEY

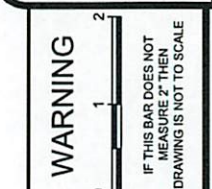
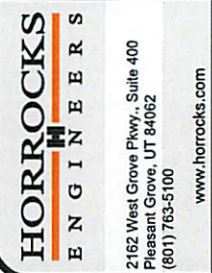


Table with 3 columns: REVISIONS, DRAWING INFO, and PROJECT. Includes fields for DATE, REV #, and DATE.



EDGEWATER PHASE 3
6350 STATE ROUTE 39
HUNTSVILLE, UT
GENERAL NOTES
CLIENT:

General Notes:

- 1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY GOVERNING UTILITY MUNICIPALITY...
2. CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT...
3. TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEERS MANUAL...

Utility Notes:

- 1. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY...
2. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS)...
3. CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION...

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR THE DURATION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES...

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPOSED SLOPES:

ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

- A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
B) TRACKING STRAW PERPENDICULAR TO SLOPES
C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

PROJECT SPECIFICATIONS AND STANDARDS

- 1. HUNTSVILLE CITY STANDARDS
2. APWA MANUAL 2012 EDITION
3. LATEST EDITION MUTCD

ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS...

LEGAL NOTICE TO CONTRACTOR

USE OF THE INFORMATION CONTAINED IN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED AND FOR OTHER THAN THE CLIENT FOR WHOM IT WAS PREPARED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE TO HORROCKS ENGINEERS...



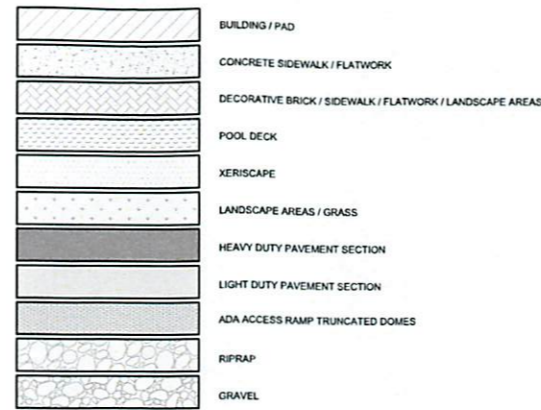
SEWER

Table with columns: EXISTING, UNKNOWN, PROPOSED, EXISTING. Rows show sewer line symbols for various depths (4", 6", 8", 10", 12") and lateral lines.

POWER

Table with columns: EXISTING, PROPOSED. Rows show power line symbols for overhead lines (1-PHASE, 2-PHASE, 3-PHASE) and underground lines (1-PHASE, 2-PHASE).

HATCH PATTERNS



STANDARD SYMBOLS

Table of standard symbols for EXISTING and PROPOSED conditions. Includes symbols for manholes, boxes, valves, gates, and various fittings.

ABBREVIATIONS

Table of abbreviations for various construction and engineering terms, such as AC (ASPHALTIC CEMENT), BC (BACK OF CURB), and many others.

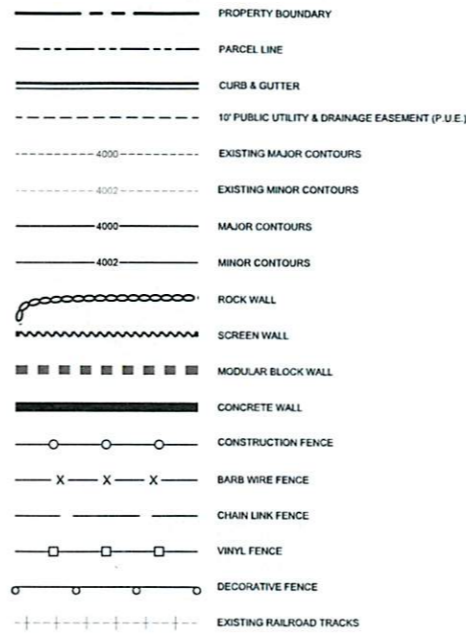
STORM DRAIN

Table with columns: EXISTING, UNKNOWN, PROPOSED, EXISTING. Rows show storm drain symbols for various depths (10", 12", 15", 18", 24", 30", 36").

COMMUNICATIONS

Table with columns: EXISTING, PROPOSED. Rows show communication symbols for TELEPHONE, TV, FIBER, CABLE TV, and COMM.

SURFACE FEATURES



WATER

Table with columns: EXISTING, UNKNOWN, PROPOSED, EXISTING. Rows show water line symbols for various depths (1", 2", 3", 4", 6", 8", 10", 12").

GAS

Table with columns: EXISTING, PROPOSED. Rows show gas line symbols for GAS and HIGH PRESS SERVICE "Y".

CONSTRUCTION KEYNOTE TAGS

Table of construction keynote tags with symbols and descriptions: DEMO PLAN, GRADING PLAN, SITE PLAN, WATER, SEWER, DRAIN, IRRIGATION, CABLE TV, TELEPHONE, GAS, MISCELLANEOUS.

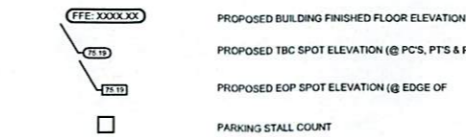
IRRIGATION

Table with columns: EXISTING, UNKNOWN, PROPOSED, EXISTING. Rows show irrigation symbols for various depths (1", 2", 4", 6", 8").

MISCELLANEOUS

Table with columns: EXISTING, PROPOSED. Rows show miscellaneous symbols for SIGNAL.

CALLOUTS



DETAIL REFERENCE

Table of detail reference symbols and notes. Includes symbols for detail identification and notes about curve data and matchlines.

WARNING: IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE.

Table with columns: REVISIONS, DRAWING INFO, DATE, NOV 1, 2017, DESIGNED, DIM, DRAWN, SB, CHECKED, DM, PROJECT, OG-707-1510.



EDGEWATER PHASE 3, 6350 STATE ROUTE 89, HUNTSVILLE, UT. CLIENT: LEGEND



GI 003

EDGEWATER BEACH RESORT PHASE 3

A PLANNED RESIDENTIAL UNIT DEVELOPMENT (P.R.U.D.)

PART OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 6 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UT
OCT 2017

BASIS OF BEARING

THE BASIS OF BEARING IS N.00°25'49"E. (RECORD N.00°25'44"E.) 5316.87' BETWEEN THE SOUTHWEST AND THE NORTHWEST CORNER OF SECTION 13, T.6N., R.1E., SLB&M.

NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO CREATE A SUBDIVISION PLAT TO BE KNOWN AS "EDGEWATER BEACH RESORT PHASE 3". FOUND SECTION CORNERS AND REFERENCE MONUMENTS WERE USED TO DETERMINE THE BASIS OF BEARING. THE BEARING ALONG THE WEST LINE OF SECTION 13 AS IT IS SHOWN ON A RECORD OF SURVEY TITLED "A PORTION OF THE PINEVIEW FEDERAL BOUNDARY PROJECT FOR PROPOSED EDGEWATER BEACH RESORT AT SNOWBASIN ROAD & LAKESIDE VILLAGE CONDOMINIUMS", SURVEY FILING NO. 003429, WAS HELD AS THE BASIS OF BEARING. THE PROPERTY IS BOUNDED BY THE USA LAND ON THE EAST, EDGEWATER BEACH RESORT PHASE 1-1ST AMENDMENT ON THE WEST, AND STATE HIGHWAY 39 ON THE SOUTH. HIGHWAY RIGHT OF WAY MARKERS WERE FOUND ON THE GROUND AND HELD FOR THE LOCATION OF THE HIGHWAY AND THE NORTH LINE OF THIS SURVEY WAS ESTABLISHED BY THE PROPERTY OWNER TO BE THE NORTH LINE OF THIS SUBDIVISION.

NOTES

- ALL PATIOS, DECKS AND DRIVEWAYS TO PADS ARE DEDICATED LIMITED COMMON AREAS. THEY ARE SET ASIDE AND RESERVED FOR THE OWNERS OF THE RESPECTIVE PAD TO WHICH THEY ARE ATTACHED.
- ALL OTHER AREAS CONTAINED WITHIN THE PROJECT, BUT NOT SHOWN WITH DIAGONAL STRIPE OR CROSS HATCHED LINES ARE DEDICATED AS COMMON AREA, INCLUDING PARKING, PRIVATE STREETS, PUBLIC UTILITY, STORM WATER DETENTION AND DRAINAGE EASEMENT AREA. COMMON AREAS ARE "TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH EDGEWATER BEACH RESORT HOA, INC. MEMBER IN COMMON AND GRANT AND DEDICATE TO THE GOVERNING AUTHORITY A PERPETUAL OPEN SPACE RIGHT AND EASEMENT ON AND OVER THE COMMON AREA TO GUARANTEE THAT THE COMMON AREAS REMAIN OPEN AND UNDEVELOPED EXCEPT FOR APPROVED RECREATIONAL, PARKING AND OPEN SPACE PURPOSES".
- CULINARY WATERLINE AND THE SANITARY SEWER MAIN TO BE OWNED AND MAINTAINED BY LAKEVIEW WATER SYSTEM AND MOUNTAIN SEWER CORPORATION RESPECTIVELY.
- THERE ARE NO CONVERTIBLE OR WITHDRAWABLE AREAS IN THIS PROJECT PHASE.
- ALL BUILDING TIE DIMENSIONS ARE PERPENDICULAR TO BOUNDARY LINE OR ROAD CENTERLINE.
- ALL AREAS LABELED AS COMMON AREA, INCLUDING PRIVATE STREETS ARE TO BE DESIGNATED AS A PUBLIC UTILITY EASEMENT. SEE OWNERS DEDICATION AND CONSENT TO RECORD FOR ADDITIONAL INFORMATION.



VICINITY MAP
NO SCALE

DEVELOPER

JACK FISHER HOMES
DAN ROSS
1148 W LEGACY CROSSING BLVD., STE 400
CENTERTVILLE, UTAH 84014
801-335-8500

LAND USE

TOTAL AREA 208,760 S.F. (4.79 ACRES)
COMMON AREA 95,890 S.F. (2.20 ACRES) 46%
ROAD AREA 53,170 S.F. (1.22 ACRES)
OPEN AREA 149,960 S.F. (3.42 ACRES)
PRIVATELY OWNED BUILDING 59,700 S.F. (1.37 ACRES) 28%

OWNERS DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS: _____ WHICH IS THE OWNER OF THE TRACT OF LAND DESCRIBED HEREON MAKE THIS CERTIFICATE FOR AND ON BEHALF OF SAID CORPORATION AND HAVE CAUSED; 1. A SURVEY TO BE MADE AND 2. THIS PLANNED RESIDENTIAL UNIT DEVELOPMENT PLAT, CONSISTING OF (2) SHEETS. WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO UNITS AND PADS AND PUBLIC AND PRIVATE STREETS AS SHOWN HEREON AND NAME SAID TRACT EDGEWATER BEACH RESORT PHASE 2 A PLANNED RESIDENTIAL UNIT DEVELOPMENT, AND DO HEREBY:

DEDICATE TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PUBLIC STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES. DEDICATE AND RESERVE UNTO THEMSELVES, THEIR HEIRS, THEIR GRANTEEES AND ASSIGNS, A RIGHT-OF-WAY TO BE USED IN COMMON WITH ALL OTHERS WITHIN SAID SUBDIVISION (AND THOSE ADJOINING SUBDIVISIONS THAT MAY BE SUBDIVIDED BY THE UNDERSIGNED OWNERS, THEIR SUCCESSORS, OR ASSIGNS) ON, OVER AND ACROSS ALL THOSE PORTIONS OR PARTS OF SAID TRACT OF LAND DESIGNATED ON SAID PLAT AS PRIVATE STREETS AS ACCESS TO THE INDIVIDUAL UNITS AND PADS, TO BE MAINTAINED BY A UNIT AND PAD OWNERS ASSOCIATION WHOSE MEMBERSHIP CONSISTS OF SAID OWNERS, THEIR GRANTEEES, SUCCESSORS, OR ASSIGNS. GRANT AND CONVEY TO EDGEWATER BEACH RESORT HOA, INC., ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS COMMON AREAS TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH EDGEWATER BEACH RESORT HOA, INC. MEMBER IN COMMON WITH ALL OTHERS IN THE SUBDIVISION AND GRANT AND DEDICATE TO WEBER COUNTY A PERPETUAL EASEMENT ON AND OVER THE COMMON AREAS TO GUARANTEE TO WEBER COUNTY THAT THE COMMON AREAS REMAIN OPEN AND UNDEVELOPED EXCEPT FOR APPROVED RECREATIONAL, PARKING AND OPEN SPACE PURPOSES. GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREOF AS PUBLIC UTILITY, STORM WATER DETENTION PONDS DRAINAGE EASEMENTS AND CANAL MAINTENANCE EASEMENT, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS. GRANT AND DEDICATE UNTO ALL OWNERS OF UNITS AND PADS UPON SUCH LAND DRAINS, AN EASEMENT OVER SUCH LAND DRAINS FOR THE PURPOSE OF PERPETUAL MAINTENANCE AND OPERATION. DEDICATE, GRANT AND CONVEY TO THE GOVERNING AUTHORITY, OR ITS DESIGNEE, ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PARKS THE SAME TO BE USED AS A PUBLIC OPEN SPACE. ALL COMMON AREA, INCLUDING THE PRIVATE STREETS, IS CONSIDERED TO BE AN EASEMENT FOR PUBLIC UTILITY AND DRAINAGE PURPOSES.
SIGNED THIS _____ DAY OF _____, 20____.

BOUNDARY DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 6 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH RIGHT OF WAY LINE OF STATE HIGHWAY 39, SAID POINT BEING THE SOUTHEAST CORNER OF EDGEWATER BEACH RESORT PHASE 1 - 1ST AMENDMENT AND LIES N00°25'49"E 901.67 FEET AND N63°12'30"E 6.43 FEET FROM THE SOUTHWEST CORNER OF SECTION 13; THENCE CONTINUING N63°12'30"E 319.26 FEET; THENCE SOUTH 79°03'30" EAST 319.70 FEET; THENCE SOUTH 35°45'20" EAST 101.60 FEET; THENCE SOUTH 0°20'30" WEST 183.33 FEET TO THE NORTH PROPERTY LINE OF EDGEWATER BEACH RESORT PHASE 2; THENCE ALONG SAID BOUNDARY NORTH 89°39'30" WEST 47.12 FEET; THENCE NORTH 60°22'18" WEST 75.49 FEET; THENCE SOUTH 72°01'51" WEST 211.70 FEET; THENCE SOUTH 65°29'31" WEST 139.65 FEET TO A POINT OF A Δ=126°22'53" NON-TANGENT CURVE; THENCE 147.18 FEET ALONG A 66.72' RADIUS CURVE TO THE LEFT (CHD S72° 54' 22.63"W, CHD DST 119.10"); THENCE S65°29'31"W 139.65 FEET; THENCE NORTH 89°34'11" WEST 103.01 FEET THENCE N00°10'04"E 302.43 FEET THENCE ALONG THE EASTERLY BOUNDARY OF SAID SUBDIVISION TO THE POINT OF BEGINNING.

CONTAINING 208,760 SQUARE FEET OR 4.793 ACRES.

SURVEYOR'S CERTIFICATE

I, C. DAVID McKINNEY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED CERTIFICATE NUMBER 5251295. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND WILL PLACE MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET THE REQUIREMENTS OF THE WEBER COUNTY LAND USE CODE.

C. David McKinney
C. DAVID McKINNEY
LIC. 5251295

<p>ACKNOWLEDGMENT</p> <p>STATE OF UTAH)ss. COUNTY OF _____)</p> <p>ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____, SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME _____, SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.</p> <p>_____ COMMISSION EXPIRES _____ NOTARY PUBLIC</p>	<p>ACKNOWLEDGMENT</p> <p>STATE OF UTAH)ss. COUNTY OF _____)</p> <p>ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____, BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.</p> <p>_____ COMMISSION EXPIRES _____ NOTARY PUBLIC</p>
--	--

O:\2017\PG-143-1710 Edgewater Phase 3 & 4\Project Data\Sheet_Files\EDGEWATER PHASE 3 SET.dwg - PLAT 1 - 11/30/2017 12:02pm. .smb

HORROCKS ENGINEERS
2162 West Grove Pkwy., Suite 400
Pleasant Grove, UT 84062
(801) 763-5100

<p>WEBER COUNTY PLANNING COMMISSION APPROVAL</p> <p>THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION. SIGNED THIS _____ DAY OF _____, 20____.</p> <p>_____ CHAIRMAN, WEBER COUNTY PLANNING COMMISSION</p>	<p>WEBER COUNTY ENGINEER</p> <p>I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH THE COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.</p> <p>SIGNED THIS _____ DAY OF _____, 20____</p> <p>_____ WEBER COUNTY ENGINEER</p>	<p>WEBER COUNTY COMMISSION ACCEPTANCE</p> <p>THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH. SIGNED THIS _____ DAY OF _____, 20____.</p> <p>_____ CHAIRMAN, WEBER COUNTY COMMISSION</p> <p>_____ ATTEST TITLE _____</p>	<p>WEBER COUNTY SURVEYOR</p> <p>I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.</p> <p>SIGNED THIS _____ DAY OF _____, 20____</p> <p>_____ WEBER COUNTY SURVEYOR</p>	<p>WEBER COUNTY ATTORNEY</p> <p>I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT.</p> <p>SIGNED THIS _____ DAY OF _____, 20____</p> <p>_____ WEBER COUNTY ATTORNEY</p>	<p>WEBER-MORGAN HEALTH DEPARTMENT</p> <p>I HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITIONS FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS.</p> <p>SIGNED THIS _____ DAY OF _____, 20____</p> <p>_____ DIRECTOR, WEBER-MORGAN HEALTH DEPARTMENT</p>	<p>WEBER COUNTY RECORDER</p> <p>ENTRY NO. _____ FEE PAID _____ FILED FOR RECORD AND RECORDED, _____ AT _____ IN BOOK _____ OF THE OFFICIAL RECORDS, PAGE _____</p> <p>RECORDED FOR: _____ WEBER COUNTY RECORDER _____ DEPUTY</p>
---	---	---	---	---	--	---



0 30' 60'
SCALE: 1" = 30'

CONSTRUCTION KEYNOTES

- 1 INSTALL CURB AND GUTTER (SEE DETAIL 1 - SHEET CS-501)
- 2 INSTALL WALKWAY (SEE DETAIL 2 - SHEET CS-501)
- 3 INSTALL CURB WALL (SEE DETAIL 3 - SHEET CS501)
- 4 INSTALL WATERWAY (SEE DETAIL 4 - SHEET CS501)

HORROCKS ENGINEERS
 2162 West Grove Pkwy., Suite 400
 Pleasant Grove, UT 84062
 (801) 763-5100
 www.horrock.com

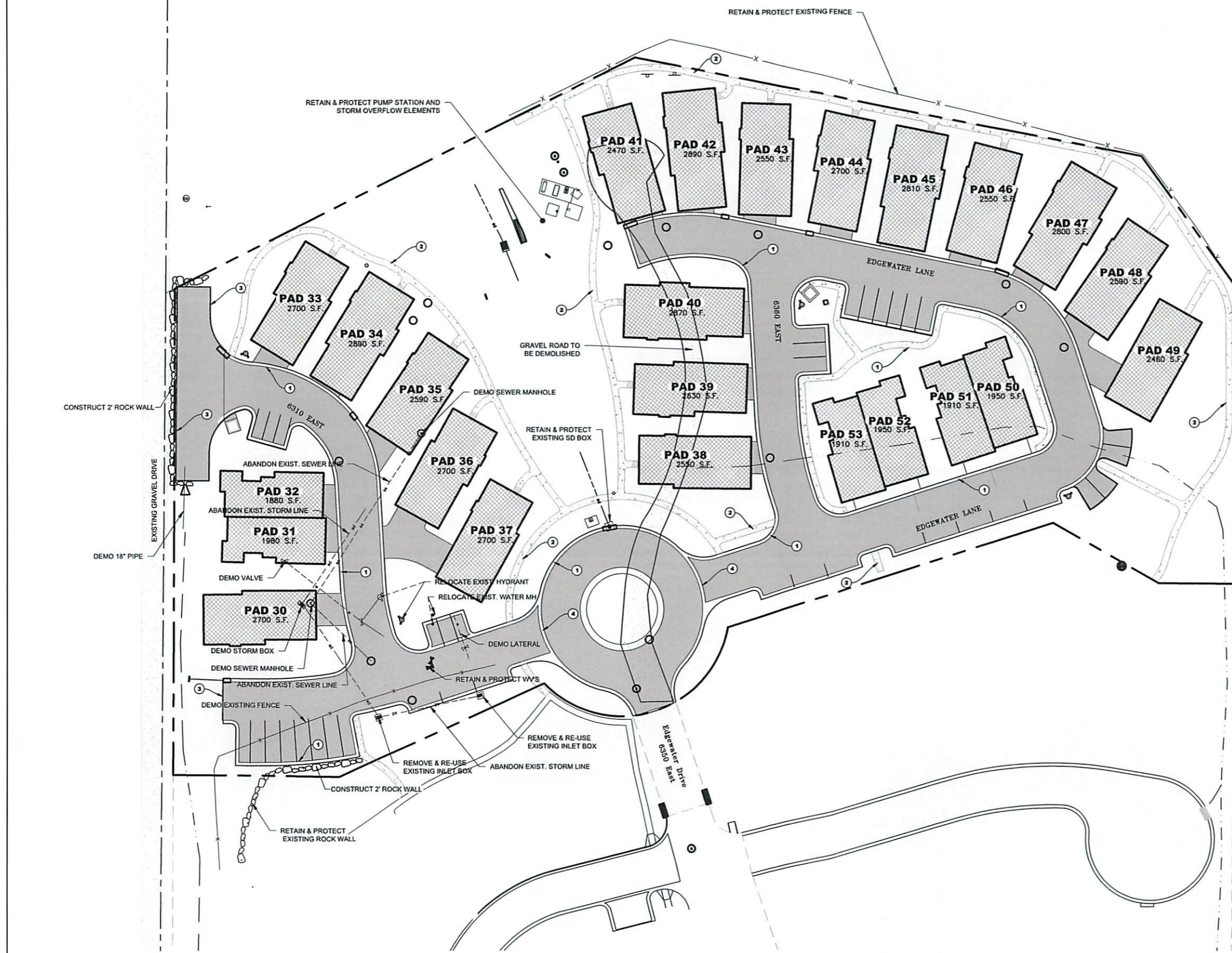
WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

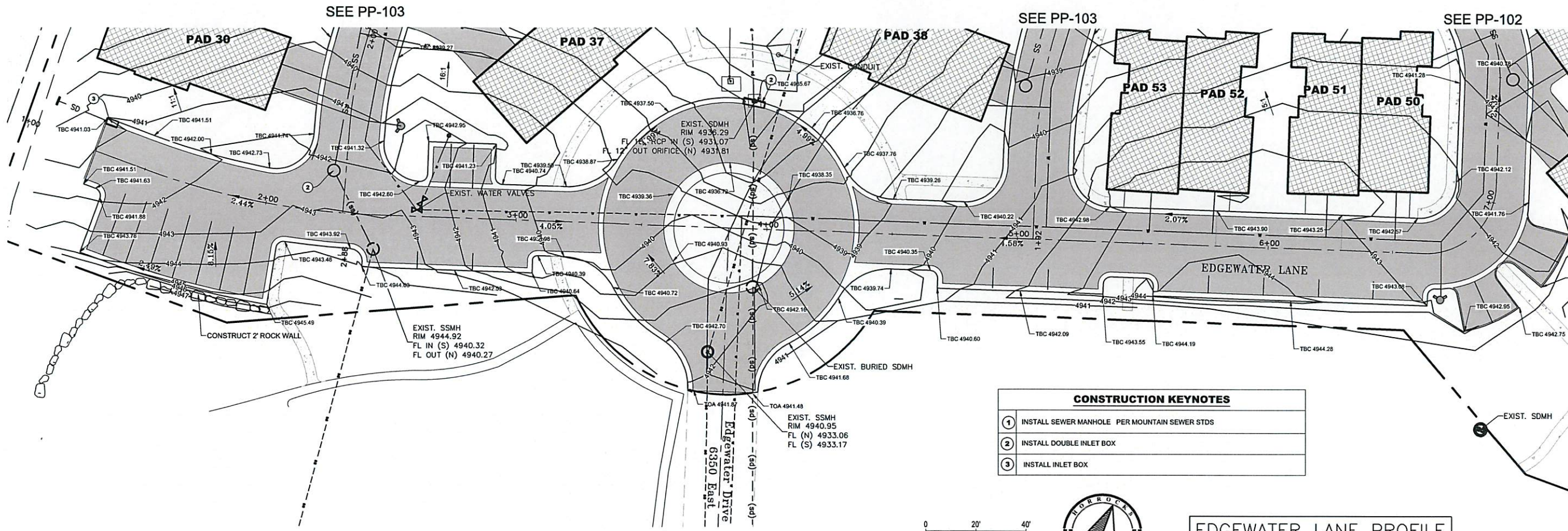
REV #	DATE	REVISIONS

REGISTERED PROFESSIONAL ENGINEER
 JAMES F. WOODRUFF
 270304-2203
 STATE OF UTAH

EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT
 DEMOLITION / SITE PLAN
 CLIENT:

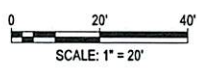
CD-101



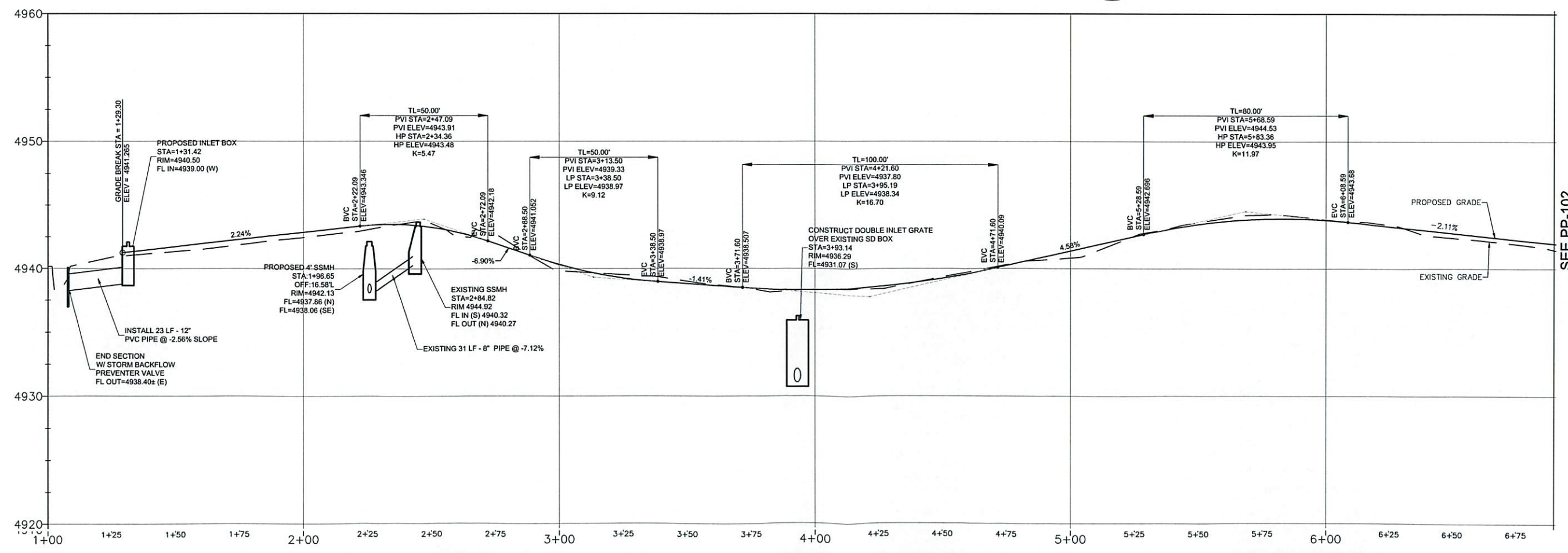


CONSTRUCTION KEYNOTES

1	INSTALL SEWER MANHOLE PER MOUNTAIN SEWER STDS
2	INSTALL DOUBLE INLET BOX
3	INSTALL INLET BOX



EDGEWATER LANE PROFILE



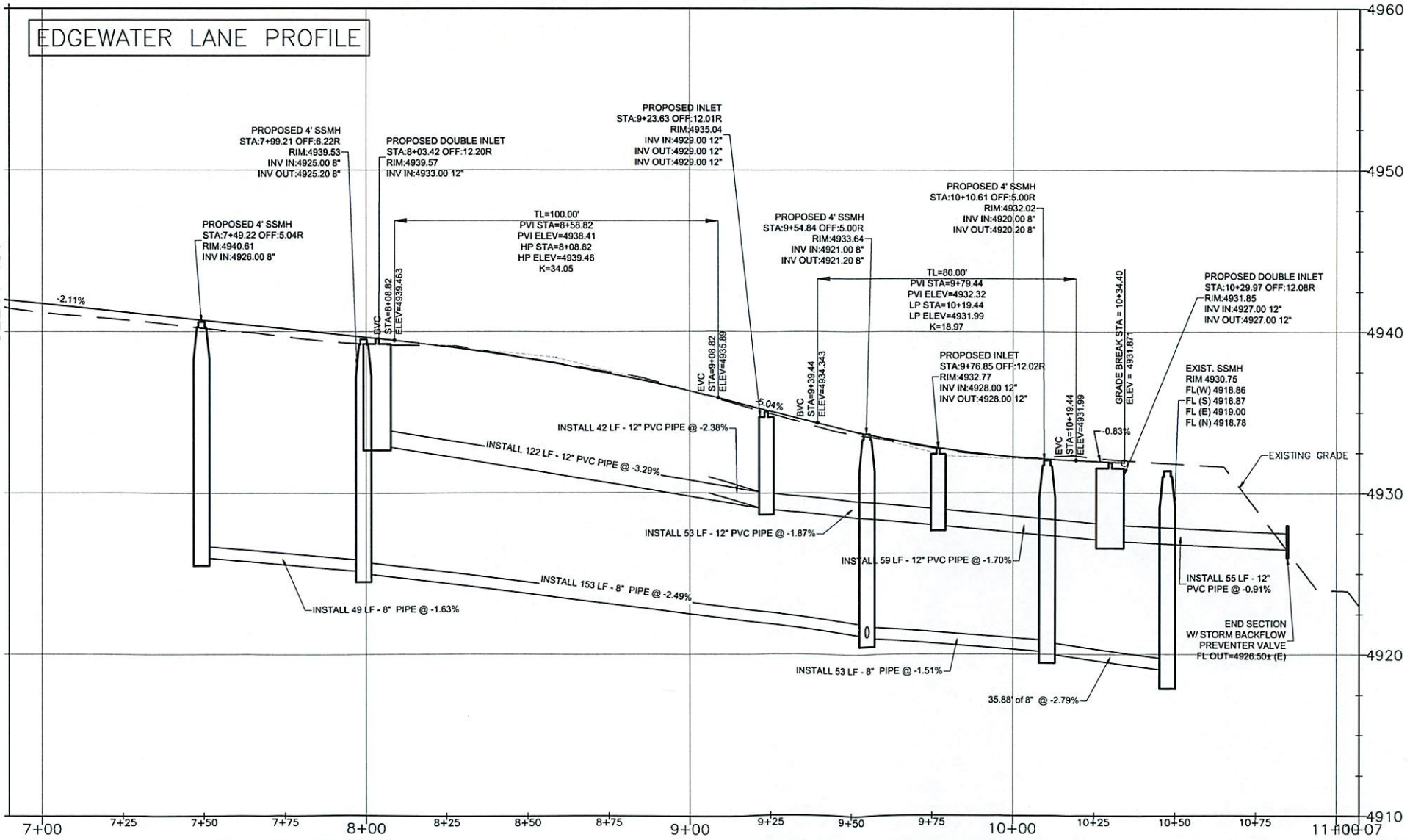
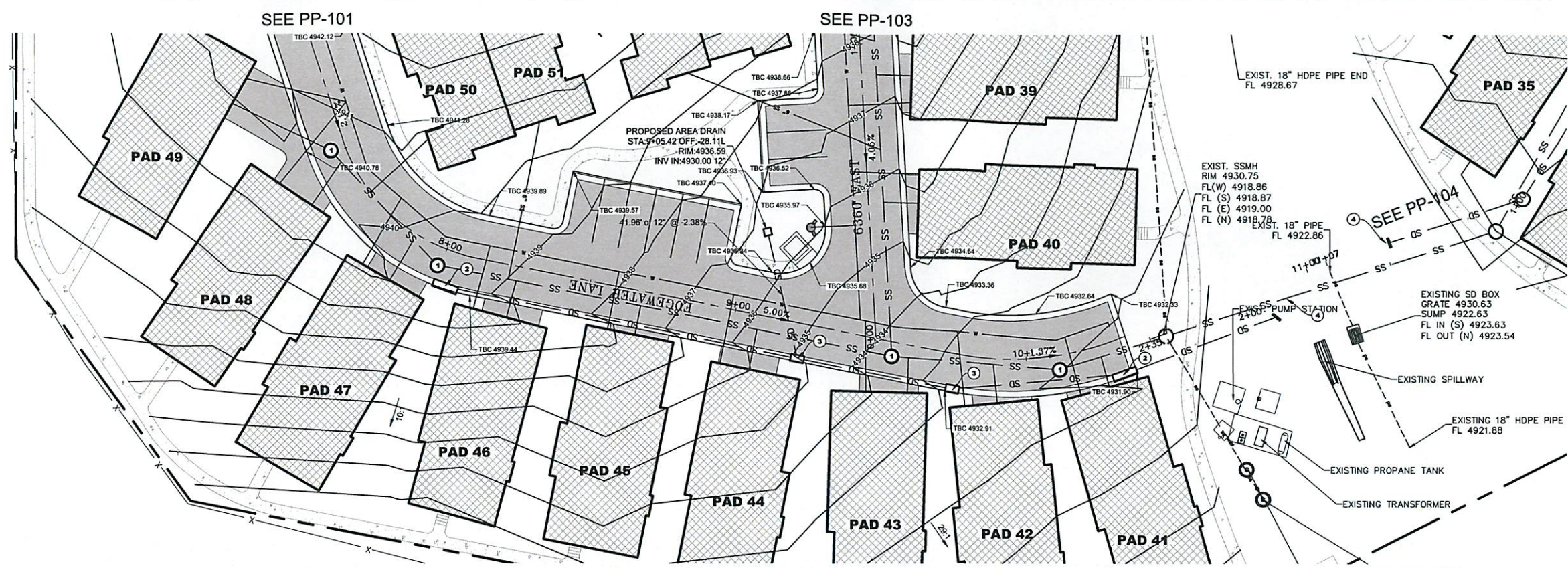
WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REV #	DATE	REVISIONS

DRAWING INFO
 DATE: NOV 1, 2017
 DESIGNED: DM
 DRAWN: SB
 CHECKED: DM
 PROJECT: OG-707-1510

EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT
 PLAN & PROFILE - EDGEWATER LANE
 CLIENT:

X:\proj\2015\OG-707-1510 Edgewater Beach Resort\02 CAD\01 Base Files\Horrocks I D Border - 24x36.dwg



CONSTRUCTION KEYNOTES

1	INSTALL SEWER MANHOLE PER MOUNTAIN SEWER STDS
2	INSTALL DOUBLE INLET BOX
3	INSTALL INLET BOX
4	END SECTION

WARNING

IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

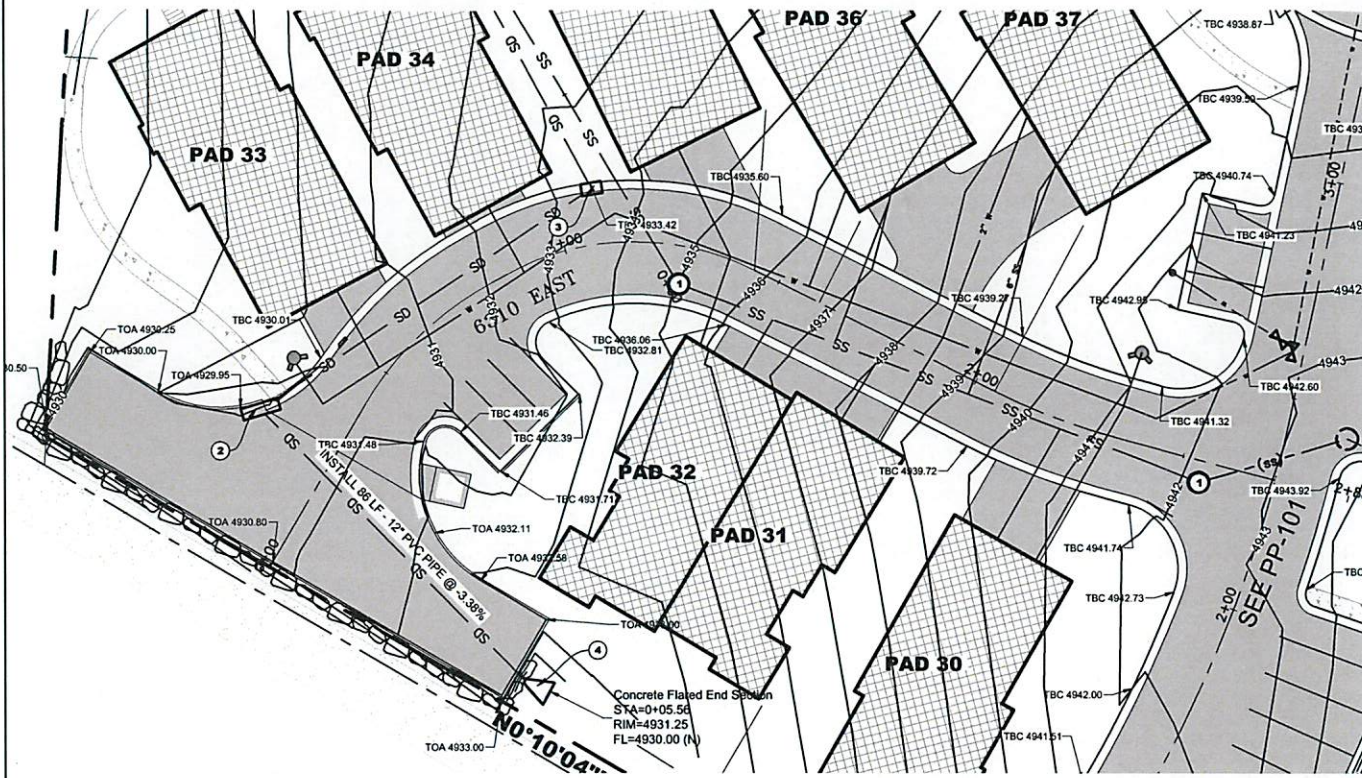
REV#	DATE	DESIGNED	DRAWN	CHECKED	PROJECT
1	NOV 1, 2017	DM	SB	DM	OG-707-1510

SEE 2nd SHEET FOR LISTING

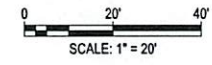
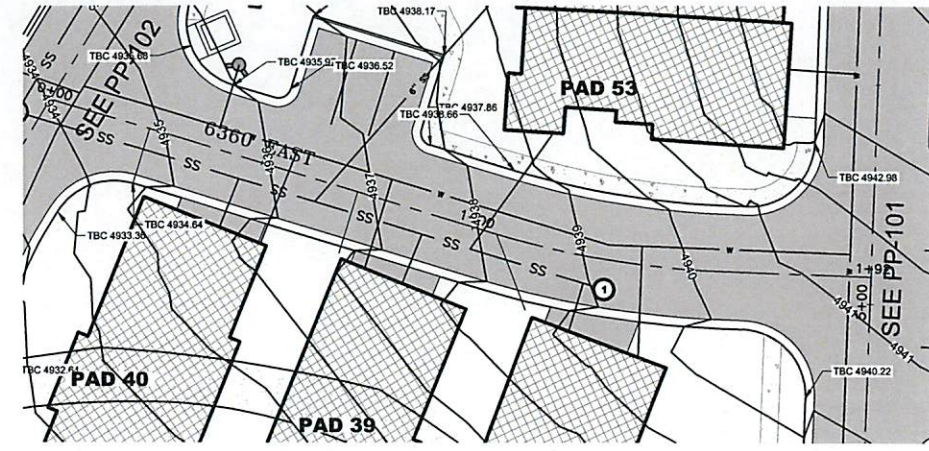


EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT

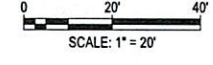
CLIENT: **PLAN & PROFILE - EDGEWATER LANE**



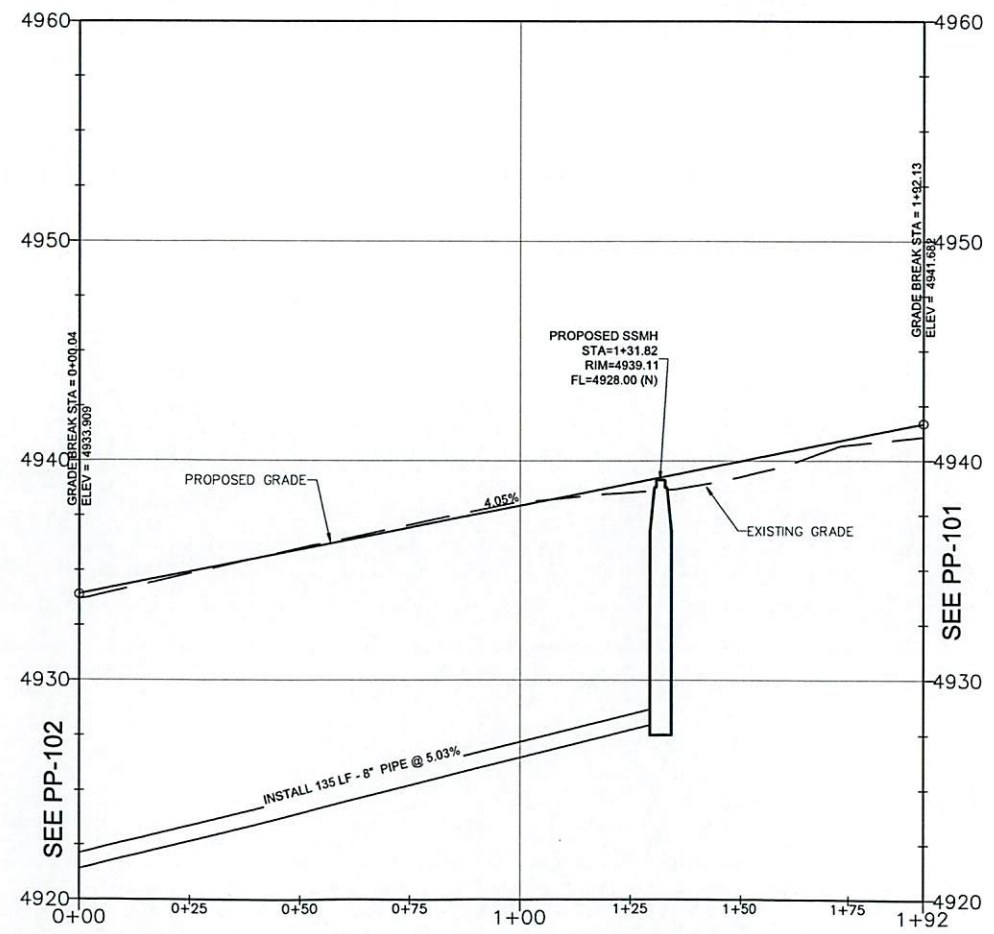
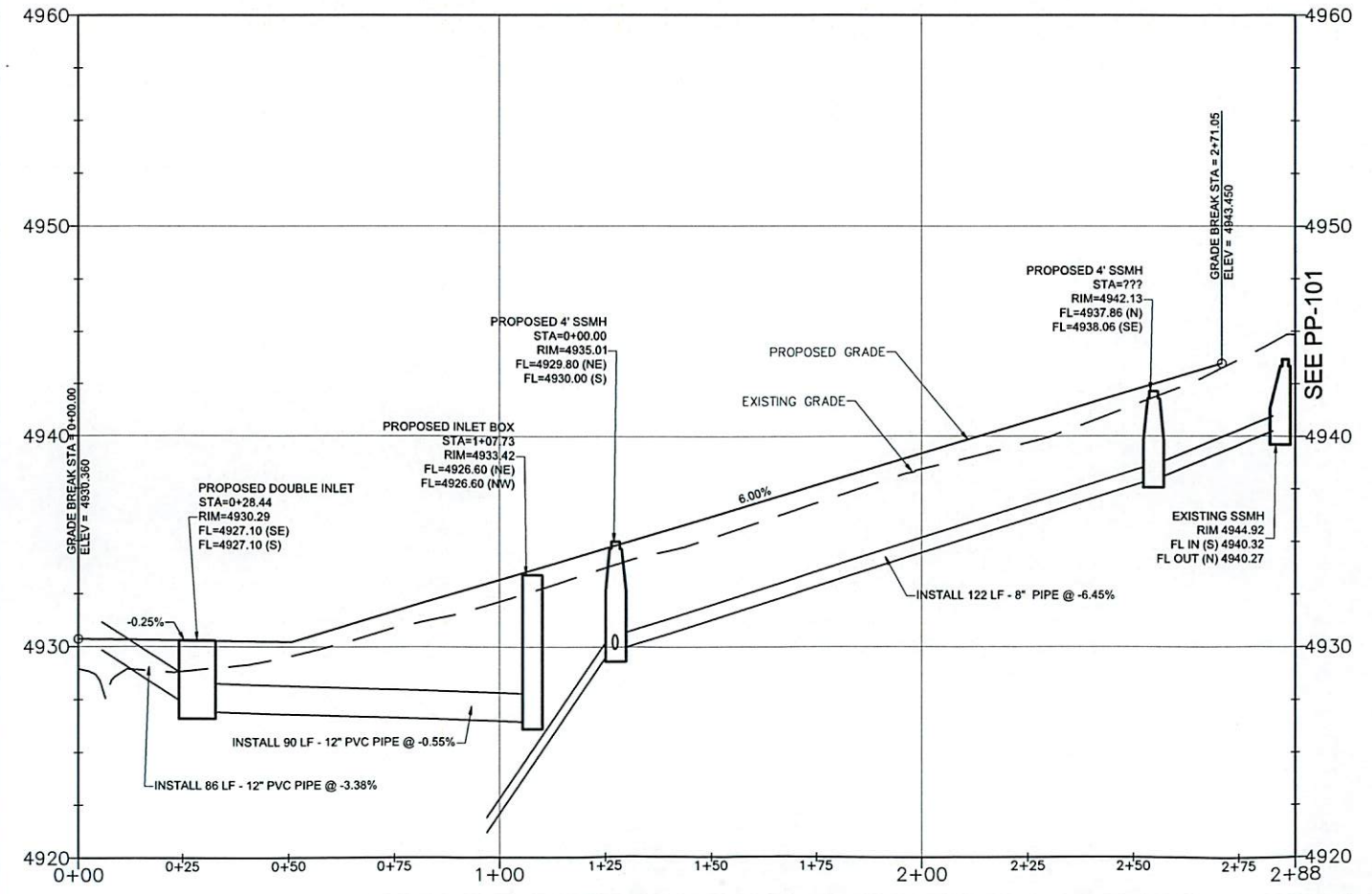
CONSTRUCTION KEYNOTES	
1	INSTALL SEWER MANHOLE PER MOUNTAIN SEWER STDs
2	INSTALL DOUBLE INLET BOX
3	INSTALL INLET BOX
4	END SECTION



6310 E PROFILE



6360 E PROFILE



HORROCKS ENGINEERS
2162 West Grove Pkwy., Suite 400
Pleasant Grove, UT 84062
(801) 763-5100
www.horrockse.com

DRAWING INFO		REVISIONS	
DATE	NOV 1, 2017	REV #	DATE
DESIGNED	DM		
DRAWN	SB		
CHECKED	DM		
PROJECT	OG-707-1510		

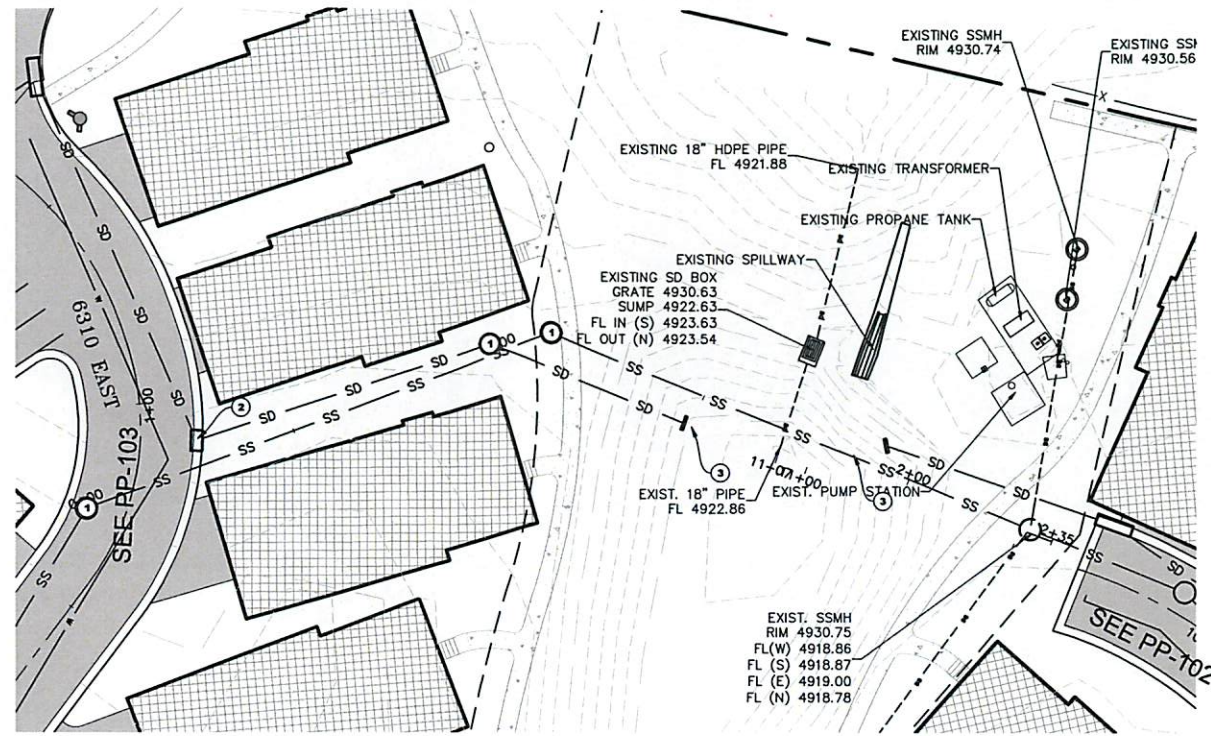


EDGEWATER PHASE 3
6350 STATE ROUTE 39
HUNTSVILLE, UT

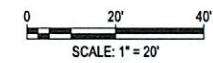
PLAN & PROFILE - 6310 E / 6360 E

CLIENT:

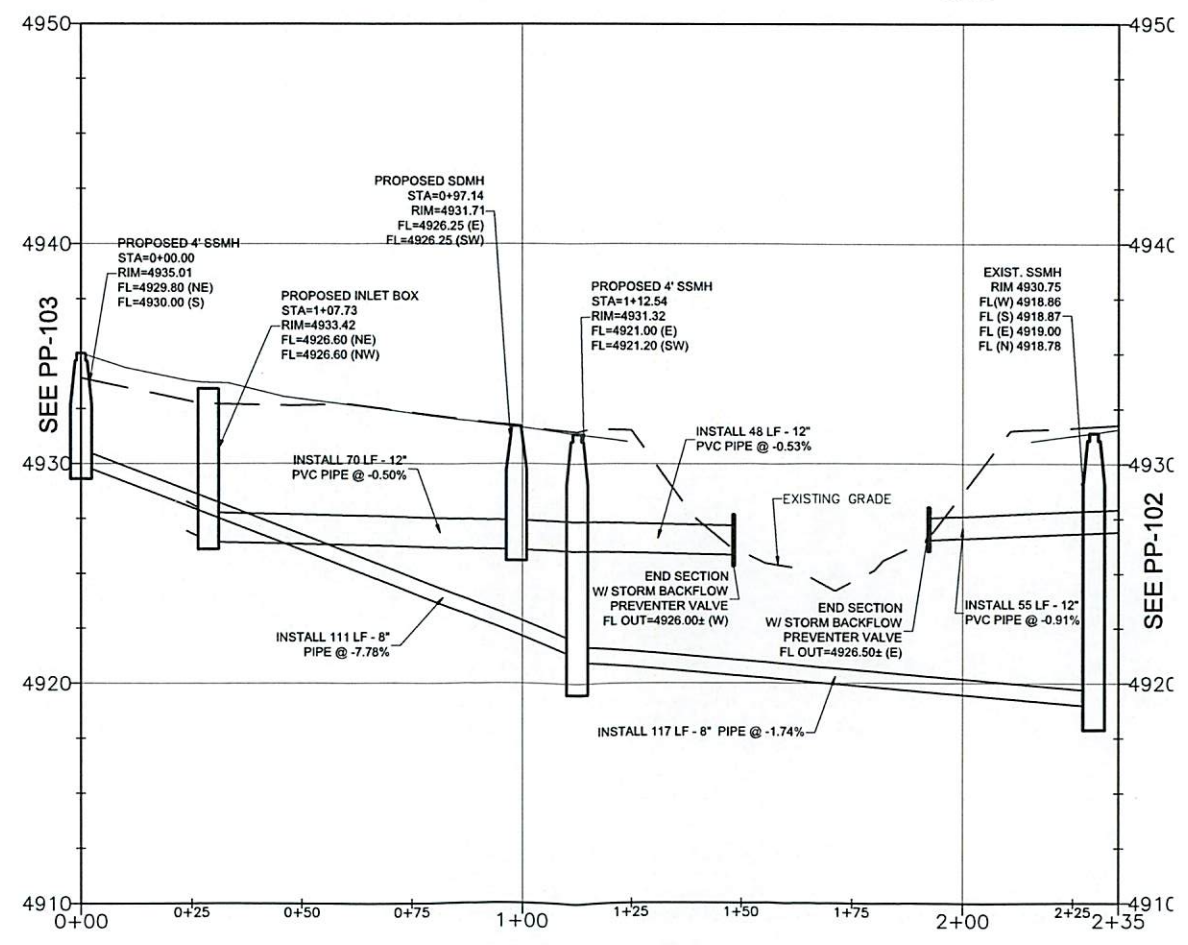
PP-103



CONSTRUCTION KEYNOTES	
1	INSTALL SEWER MANHOLE PER MOUNTAIN SEWER STDS
2	INSTALL INLET BOX
3	END SECTION



UTILITY TO BASIN PROFILE



WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	REV #	DATE

DRAWING INFO	DATE	DESIGNED	DRAWN	CHECKED	PROJECT
	NOV 1, 2017	DM	SB	DM	06-707-1510



EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT

PLAN & PROFILE - UTILITY TO BASIN

CLIENT:

WARNING

IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	DATE	REV #	BY	DATE

DRAWING INFO	DATE	DESIGNED	DM	SB	DM	PROJECT
NOV 1, 2017						CG-707-1510



EDGEWATER PHASE 3

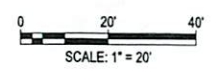
6350 STATE ROUTE 39
 HUNTSVILLE, UT

GRADING PLAN

CLIENT:



- Notes:**
1. ALL RESIDENTIAL UNITS HAVE A BASEMENT
 2. ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE NOTES.
 3. CROSS-SLOPE OF SIDEWALK TO BE A MAXIMUM OF 2.0%.
 4. CONTRACTOR TO SLOPE GROUND AWAY FROM ALL BUILDINGS AT A MINIMUM SLOPE OF 2% FOR 10 FEET.



CG-101



CONSTRUCTION KEYNOTES	
1	INSTALL HYDRANT (SEE DETAIL 8 SHEET CS-501)
2	INSTALL SEWER MANHOLE PER MOUNTAIN SEWER STDS
3	INSTALL SEWER LATERAL (SEE DETAIL SS-3A SHEET CU501)
4	INSTALL 3/4" WATER SERVICE WITH 3/4" METER PER LAKEVIEW WATER STDS
5	INSTALL INLET BOX (SEE DETAIL 315 SHEET CS501)
6	INSTALL DOUBLE INLET BOX (SEE DETAIL 315 SHEET CS501)
7	END SECTION

- NOTES:**
1. ALL SANITARY SEWER GRAVITY PIPE WILL BE PVC C-900 CLASS DR24 WITH MARKED SEWER TAPE AND WIRE
 2. ALL CULINARY WATER PIPE WILL BE C-900 CLASS DR18 WITH MARKED WATER TAPE AND WIRE AND 5" COVER
 3. ALL STEEL CASING WILL BE BORED WITH CASING EXTRUDING 5' PAST EDGE OF ASPHALT
 4. ALL PRESSURE SANITARY SEWER PRESSURE PIPE WILL BE PVC C-900 DR18 WITH MARKED SEWER TAPE AND WIRE
 5. ALL CASINGS WILL BE BORED AND EXTEND 5' BEYOND THE EDGE OF PAYMENT AT BOTH ENDS

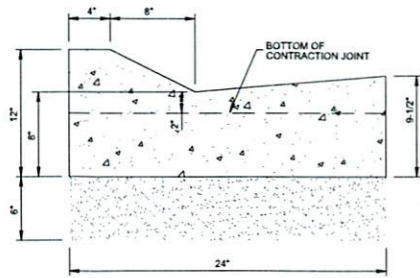
WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

DRAWING INFO	REVISIONS
DATE: NOV 1, 2017	REV # / DATE
DESIGNED: DM	
DRAWN: SB	
CHECKED: DM	
PROJECT: OG-707-1510	

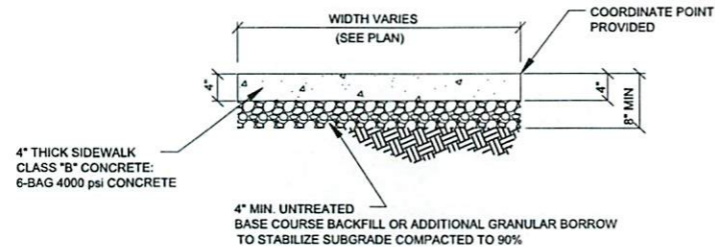


EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT

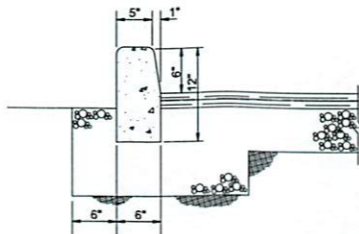
OVERALL UTILITY PLAN
 CLIENT:



1 TYPE "F" CURB AND GUTTER
SCALE: NONE

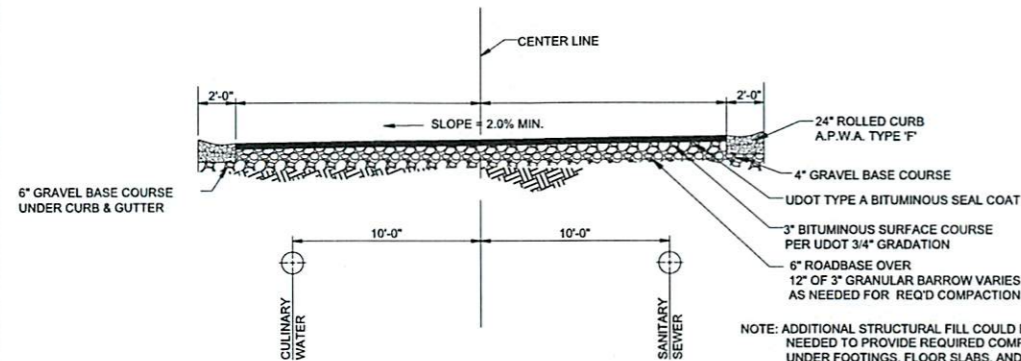


2 WALKWAY
SCALE: NONE
(REFER TO SITE SPECIFIC GEOTECHNICAL REPORT)



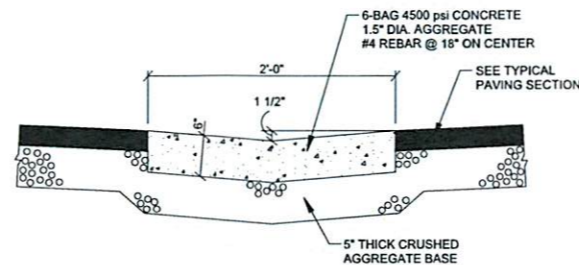
3 CURB DETAIL
SCALE: NONE

NOTE:
PROVIDE 1/8" x 1" DEEP CONTROL JOINTS AT 8' O.C. MAX. JOINTS TO CONTINUE THROUGH CONC. OR CURB & GUTTER. PROVIDE 1/2" EXPANSION JOINTS AT 30° O.C.



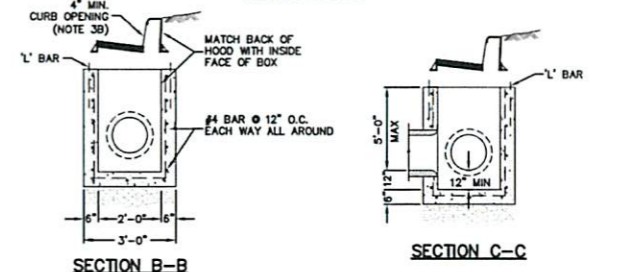
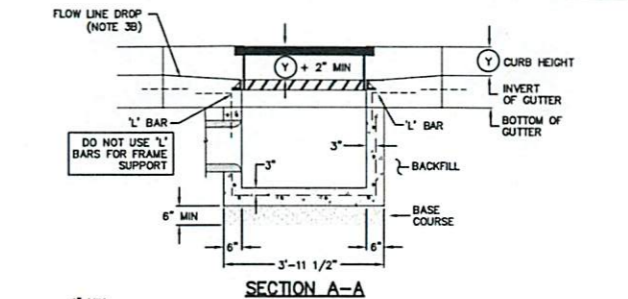
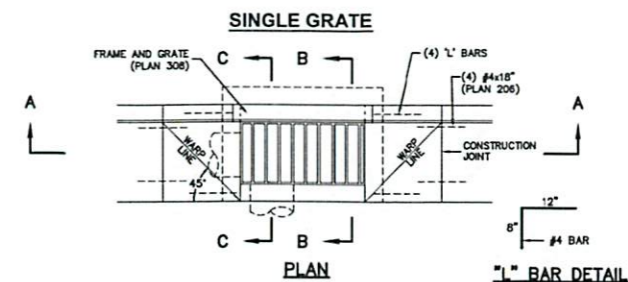
5 PRIVATE ROAD SECTION
SCALE: NONE

NOTE: ADDITIONAL STRUCTURAL FILL COULD BE NEEDED TO PROVIDE REQUIRED COMPACTION UNDER FOOTINGS, FLOOR SLABS, AND PAVEMENT, ETC.

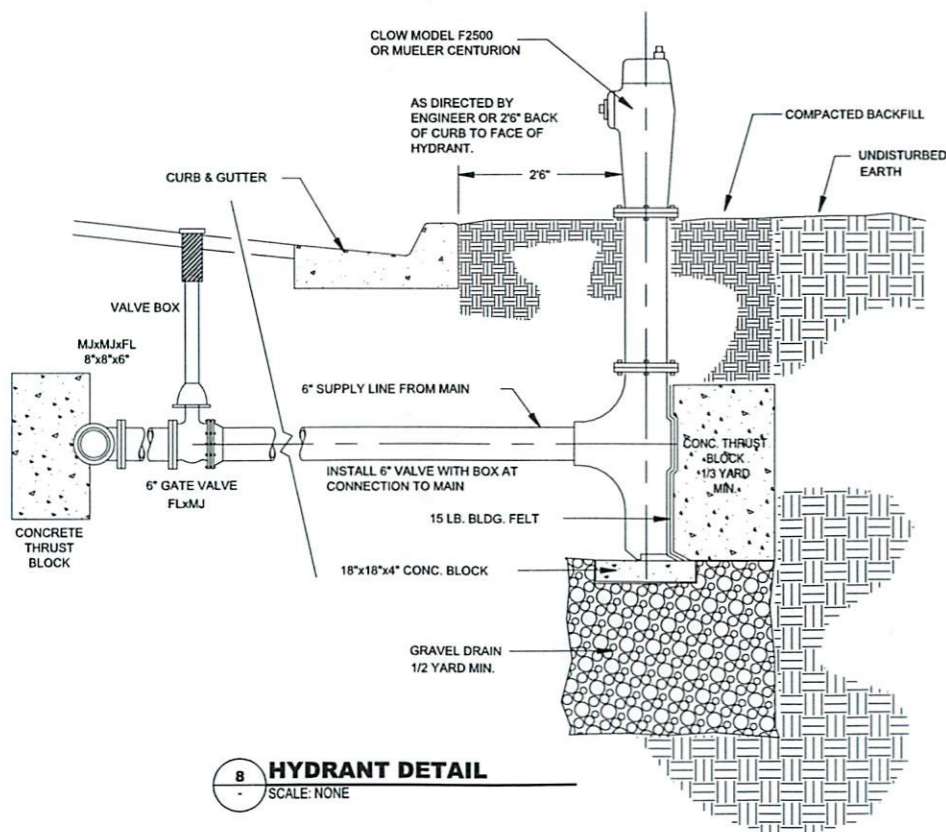


4 2 FT WATERWAY
SCALE: NONE

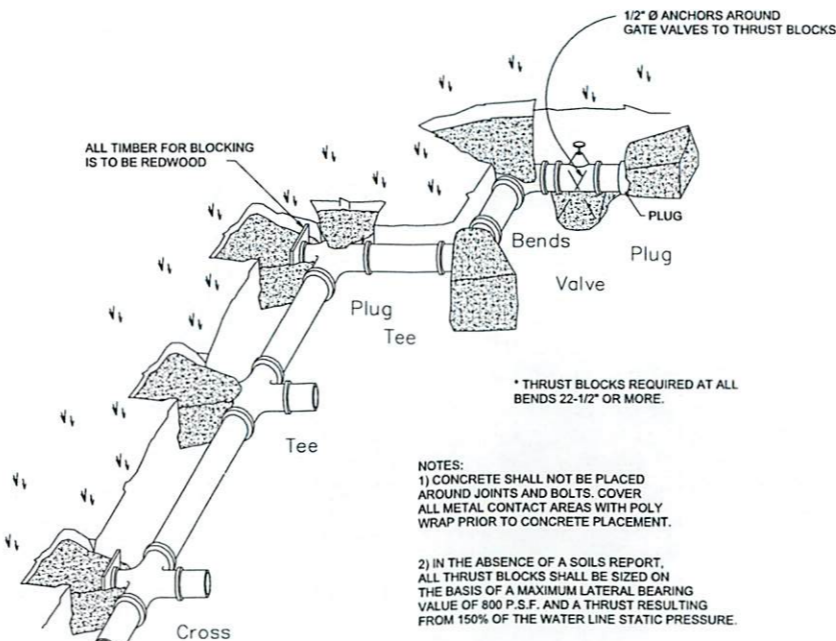
(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT, PREPARED BY GORDON GEOTECHNICAL ENGINEERING, INC. DATED AUGUST 8, 2013. GEOTECHNICAL REPORT TO GOVERN & CONTROL.)



Catch basin
Plan 315
Sheet 1 of 2
September 2010 155

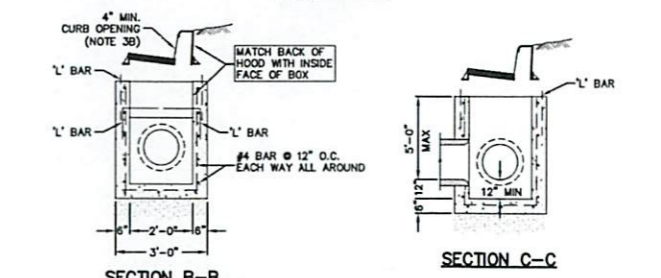
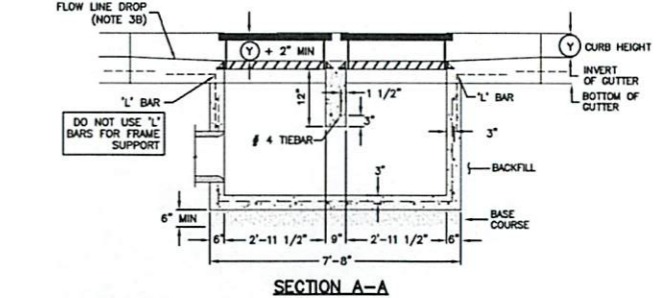
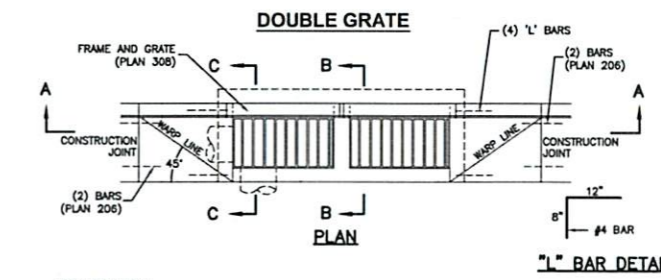


8 HYDRANT DETAIL
SCALE: NONE



9 THRUST BLOCK DETAIL
SCALE: NONE

NOTES:
1) CONCRETE SHALL NOT BE PLACED AROUND JOINTS AND BOLTS. COVER ALL METAL CONTACT AREAS WITH POLY WRAP PRIOR TO CONCRETE PLACEMENT.
2) IN THE ABSENCE OF A SOILS REPORT, ALL THRUST BLOCKS SHALL BE SIZED ON THE BASIS OF A MAXIMUM LATERAL BEARING VALUE OF 800 P.S.F. AND A THRUST RESULTING FROM 150% OF THE WATER LINE STATIC PRESSURE.



Catch basin - double grate
Plan 315
Sheet 2 of 2
September 2010 157

WARNING
IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	DATE	REV #	BY	CHKD
DRAWING INFO	NOV 1, 2017		DM	SB
DESIGNED			DM	
DRAWN				
CHECKED				
PROJECT	OG-707-1510			

REGISTERED PROFESSIONAL ENGINEER
JAMES F. WOODRUFF
270304-2203
11/21/17
STATE OF UTAH

EDGEWATER PHASE 3
6350 STATE ROUTE 39
HUNTSVILLE, UT


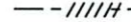






DETAILS
CLIENT:



0 30' 60'
SCALE: 1" = 30'

HORROCKS
ENGINEERS
2162 West Grove Pkwy., Suite 400
Pleasant Grove, UT 84062
(801) 763-5100
www.horrock.com

LEGEND

-  PROPERTY BOUNDARY
-  SILT FENCE (SEE DETAIL 2 SHEET CS-502)
-  DIRECTION OF EXISTING OVERLAND FLOW
-  INLET PROTECTION (SEE DETAIL 3 SHEET CS-502)
-  PORTABLE TOILET CONTAINMENT
-  JOBSITE DUMPSTER
-  CONCRETE WASHOUT AREA (SEE DETAIL 4 SHEET CS-502)
-  STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL 1 SHEET CS-502)

WARNING

IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	REV #	DATE
DRAWING INFO	NOV 1, 2017	
DESIGNED	DM	
DRAWN	SB	
CHECKED	DM	
PROJECT	OG-707-1510	

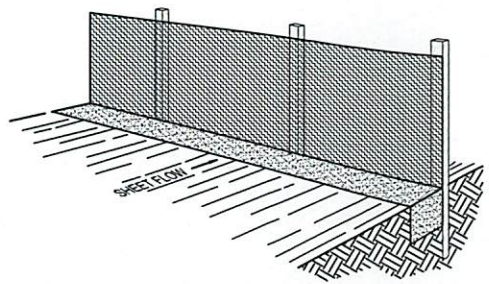


EDGEWATER PHASE 3
6350 STATE ROUTE 39
HUNTSMVILLE, UT

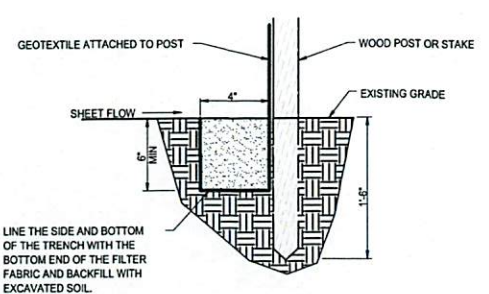
SWPPP PLAN
CLIENT:

CS-101

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
 - Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up property contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
 - On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the Engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the Engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as needed as the project progresses, and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTR300000 identifies the minimum inspection requirements.
 - Part II.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Perspective View



Section

INSTALLATION
The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

PREFABRICATED SILT FENCE ROLLS
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Unroll the silt fence, positioning the post against the downstream wall of the trench.
*Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then about the end posts to create a tight seal as shown in Figure 1.
*Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
*Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY:
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

should generally be less than three (3) times the height of the fence.
*If a steel or plastic mesh is required to reinforce the geotextile, it shall have a minimum mesh opening of 15.2cm (6").
*Fasten the mesh to the upslope side of the posts using heavy duty wire staples, tie wires or hog strings. Extend the mesh into the bottom of the trench.
*The geotextile shall then be stapled or wired to the posts. An extra 20-50cm (8-20") of geotextile shall extend into the trench.

INSPECTION
*Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.
*When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleaning.

REMOVAL
*Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

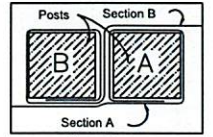
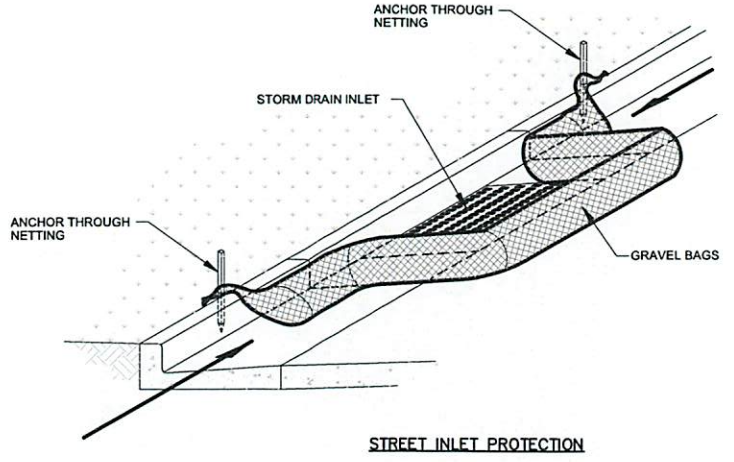
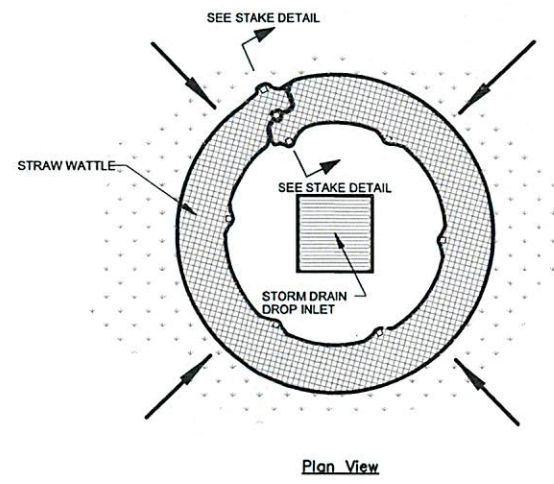


Figure 1: Top View of Roll-to-Roll Connection

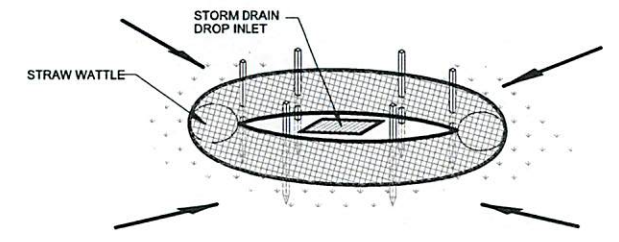
2 SILT FENCE DETAIL
SCALE: NONE



STREET INLET PROTECTION

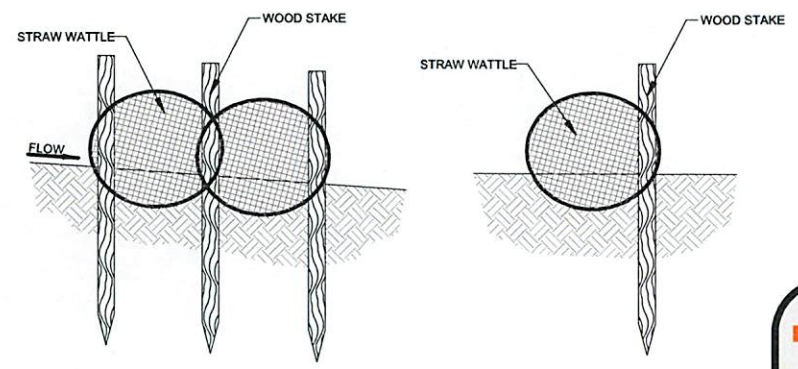


Plan View

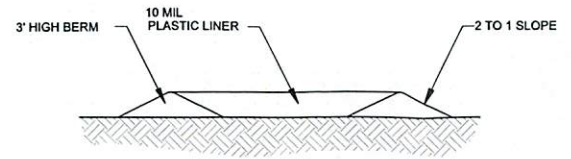


Drop Inlet Protection

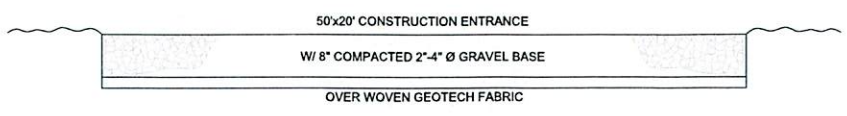
3 INLET PROTECTION
SCALE: NONE



5 STAKE DETAIL
SCALE: NONE



4 CONCRETE WASHOUT W/ 10 MIL PLASTIC LINER
SCALE: NONE



1 CONSTRUCTION ENTRANCE
SCALE: NONE

WARNING
IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REV #	DATE	BY	CHKD	APP'D
1	NOV 1, 2017	DM	SB	DM

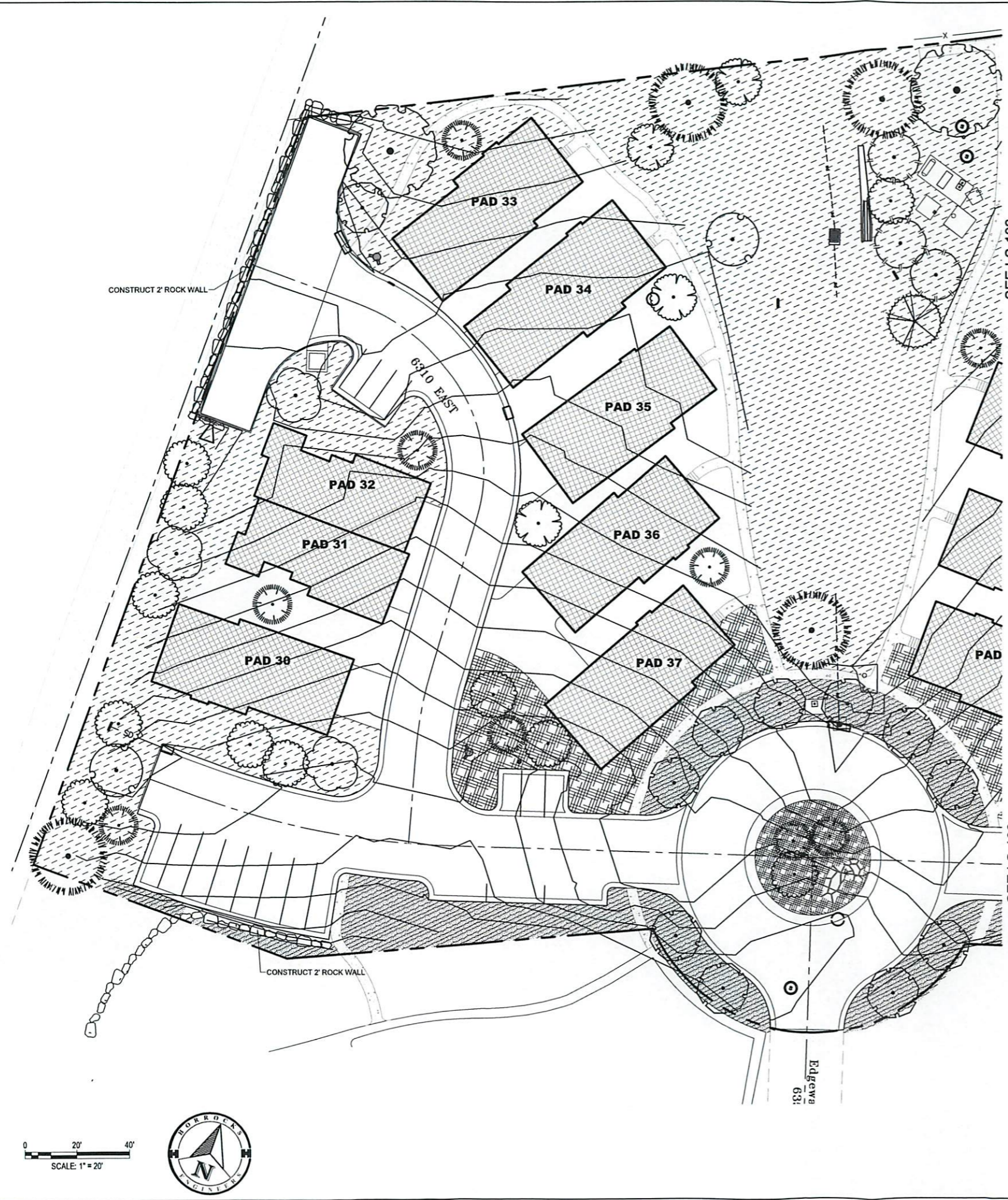
DESIGNED: DM
DRAWN: SB
CHECKED: DM
PROJECT: CG-707-1510



EDGEWATER PHASE 3
6350 STATE ROUTE 39
HUNTSVILLE, UT

SWPPP DETAILS

CLIENT:



PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	ABIES CONCOLOR / WHITE FIR	7-8' H	1
	ACER GINNALA 'FLAME' / FLAME AMUR MAPLE	2" CAL	6
	AMELANCHER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY	1" CAL	8
	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	2" CAL	11
	PICEA PUNGENS 'FAT ALBERT' / COLORADO SPRUCE	7-8' H	4
	PICEA PUNGENS 'GLAUCA' / COLORADO BLUE SPRUCE	7-8' H	9
	PINUS NIGRA / AUSTRIAN BLACK PINE	7-8' H	5
	POPULUS TREMULOIDES / QUAKING ASPEN	2" CAL	22
	PRUNUS VIRGINIANA / CHOKECHERRY	2" CAL	4
	TILIA CORDATA / LITTLELEAF LINDEN	2" CAL	2
GROUND COVERS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	NATIVE GRASS MIX / GRASS SEED MIX	SEED	48,565 SF
	POA PRATENSIS / KENTUCKY BLUEGRASS	SOD	11,800 SF
	SEED MIX VARIETY / WILDFLOWER MIX	SEED	6,472 SF

SHRUB PALLETTE

SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE
CARYOPTERIS CLANDONENSIS	BLUE MIST SPIRES	1-5 GAL.
CHRYSOTHAMNUS NAUSEOSUS	RABBIT BRUSH	1-5 GAL.
CORNUS SERCEA	REDTWIG DOGWOOD	1-5 GAL.
CARGANA ARBORESCENS	SIBERIAN PEA SHRUB	1-5 GAL.
FORSYTHIA X INTERMEDIA 'SPRING GLORY'	SPRING GLORY FORSYTHIA	1-5 GAL.
MAHONIA AQUIFOLIUM 'COMPACTUM'	COMPACT OREGON GRAPE HOLLY	1-5 GAL.
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	1-5 GAL.
PHILADELPHUS SPP.	MOCK ORANGE	1-5 GAL.
PHYSOCARPUS OPULUS	NINEBARK	1-5 GAL.
PINU MUGO 'PUMILIO'	DWARF MUGO PINE	1-5 GAL.
POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	1-5 GAL.
RHUS TRILOBATA	SUMAC	1-5 GAL.
RIBES ALPINUM	ALIPNE CURRANT	1-5 GAL.
ROSA WOODSII	WOOD'S ROSE	1-5 GAL.
SPIREA SPP.	SPIREA	1-5 GAL.
SYMPHORICARPUS	MOUNTAIN SNOWBERRY	1-5 GAL.
SYRINGA SPP.	COMMON LILAC	1-5 GAL.
VIBURNUM OPULUS NANUM	DWARF EUROPEAN CRANBERRY	1-5 GAL.

LANDSCAPE NOTES:

- THE CONTRACTOR MUST EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IN WRITING OF ANY UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- BEFORE ANY EXCAVATION, NOTIFY BLUE STAKES AND COORDINATE WITH THE OWNER'S AUTHORIZED REPRESENTATIVE FOR THE LOCATION OF UTILITIES, SLEEVES, CONDUITS, ETC.
- THE CONTRACTOR MUST COORDINATE WITH ALL OTHER ASSOCIATED TRADES TO BEST FACILITATE PROGRESS ON THE JOB.
- TREAT EXISTING NOXIOUS WEEDS 10 DAYS BEFORE STARTING EARTHWORK OPERATIONS AND IF THEY APPEAR DURING CONSTRUCTION. USE PRE-EMERGENT, SELECTIVE, AND NON-SELECTIVE HERBICIDES AS APPROPRIATE. APPLY HERBICIDE AS DIRECTED ON THE MANUFACTURER'S LABEL.
- THE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS IN LANDSCAPED AREAS. ALLOW FOR 3" OF MULCH OVER BARRIER FABRIC IN ALL PLANTING AREAS CONTAINING PLANT MATERIAL AS NOTED FINISH GRADE OF MULCH TO BE 1" BELOW TOP OF CURB OR SIDEWALK. ANY STONE MULCH TO BE WASHED CLEAN AND FREE OF STICKS, CLAY OR FOREIGN MATERIALS. CONTRACTOR TO SUBMIT SAMPLE FOR APPROVAL.
- ALL BEDS SHALL HAVE A 3" LAYER OF SHREDDED BARK MULCH. REPLENISH ANNUALLY TO MAINTAIN MULCH DEPTH.
- INSTALL LANDSCAPE EDGING AS SHOWN ON THE PLANS AND ACCORDING PER THE MANUFACTURER'S INSTRUCTIONS.
- ALL PLANT MATERIALS MUST MEET SIZES INDICATED IN SCHEDULES. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED OF THE PROJECT. ALL EVERGREEN TREES SHALL BE TRUE TO FORM AND HAVE A SINGLE, STRAIGHT VERTICAL LEADER. PROVIDE HEALTHY, VIGOROUS PLANTS MEETING GOOD HORTICULTURAL STANDARDS AND MEETING STANDARDS THE AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS AND ANSI 260.1 - STANDARD FOR NURSERY STOCK. ANY PLANT MATERIAL FOUND TO BE UNACCEPTABLE AT ANY INSPECTION SHALL BE IMMEDIATELY REMOVED AND REPLACED. CONTRACTOR MUST GUARANTEE ALL PLANT MATERIALS FOR ONE YEAR FOLLOWING SUBSTANTIAL COMPLETION.
- ANY PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES REQUIRED AND PROVIDE THE PLANTS NECESSARY TO COMPLETE THE PLANTINGS. DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED MATERIAL IS NOT OBTAINABLE, SUBMIT IN WRITING PROOF OF NON-AVAILABILITY AND A PROPOSAL FOR USE OF EQUIVALENT MATERIAL FOR EVALUATION TO BE ACCEPTED OR NOT ACCEPTED PRIOR TO THE BID.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. ALL PLANTS SHALL BE INSTALLED ACCORDING TO THE PLAN. ALL PLANTS SHALL BE AT LEAST 24" FROM BACK OF CURB OR SIDEWALK EXCEPT FOR 1 GALLON PLANTS THAT MAY BE INSTALLED AT LEAST 18" FROM BACK OF CURB OR SIDEWALK. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED ON A REGULAR SCHEDULE DURING THE FIRST GROWING SEASON.
- AN AUTOMATED IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED ACCORDING TO MANUFACTURE RECOMMENDATIONS AND LOCAL CODES BY OWNERS LICENSED LANDSCAPE CONTRACTOR
- COORDINATE WITH GRANITE SEED COMPANY TO ENSURE SAME SEED MIX IN ALL AREAS. 801-768-4422

HORROCKS ENGINEERS
 2162 West Grove Pkwy., Suite 400
 Pleasant Grove, UT 84062
 (801) 765-5100
 www.horrocks.com

WARNING
 IF THE BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS
 REV # DATE

DRAWING INFO
 DATE: NOV 30, 2017
 DESIGNED: MU
 DRAWN: MU
 CHECKED: MU
 PROJECT: OG-707-1510

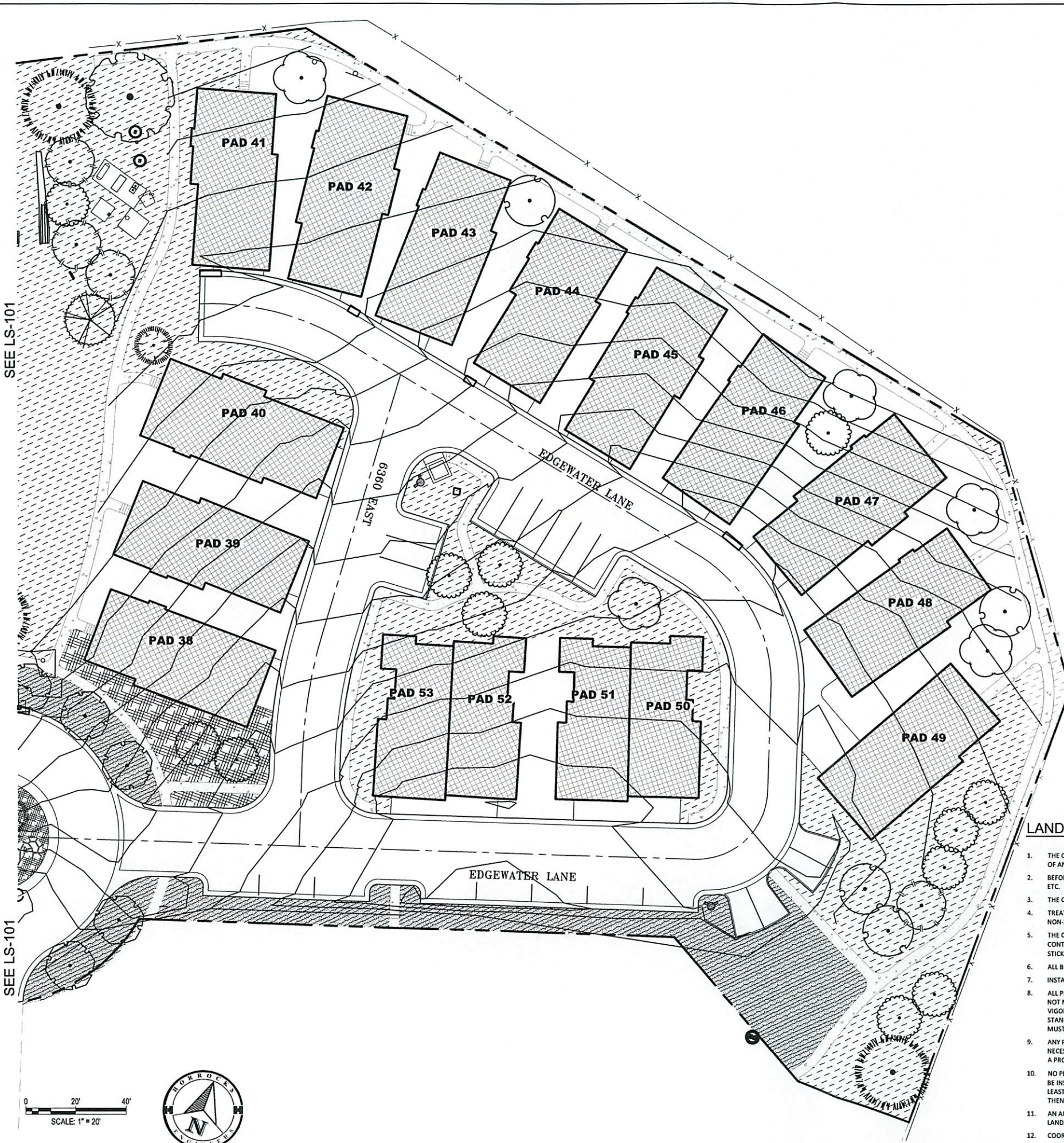
PRELIMINARY NOT FOR CONSTRUCTION

EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT

LANDSCAPE PLAN

CLIENT:

LS-101



SEE LS-101

SEE LS-101

SCALE: 1" = 20'



PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	ABIES CONCOLOR / WHITE FIR	7-8' H	1
	ACER GINNALA 'FLAME' / FLAME AMUR MAPLE	2" CAL	6
	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY	1" CAL	8
	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	2" CAL	11
	PICEA PUNGENS 'FAT ALBERT' / COLORADO SPRUCE	7-8' H	4
	PICEA PUNGENS 'GLAUCA' / COLORADO BLUE SPRUCE	7-8' H	9
	PINUS NIGRA / AUSTRIAN BLACK PINE	7-8' H	5
	POPULUS TREMULOIDES / QUAKING ASPEN	2" CAL	22
	PRUNUS VIRGINIANA / CHOKECHERRY	2" CAL	4
	TILIA CORDATA / LITTLELEAF LINDEN	2" CAL	2

GROUND COVERS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	NATIVE GRASS MIX / GRASS SEED MIX	SEED	48,565 SF
	POA PRATENSIS / KENTUCKY BLUEGRASS	SOD	11,800 SF
	SEED MIX VARIETY / WLDFLOWER MIX	SEED	6,472 SF

SHRUB PALLETTE

SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE
CARYOPTERIS CLANDONENSIS	BLUE MIST SPIRES	1-5 GAL.
CHRYSOTHAMNUS NAUSEOSUS	RABBIT BRUSH	1-5 GAL.
CORNUS SERCEA	REDTWIG DOGWOOD	1-5 GAL.
CARGANA ARBORESCENS	SIBERIAN PEA SHRUB	1-5 GAL.
FORSYTHIA X INTERMEDIA 'SPRING GLORY'	SPRING GLORY FORSYTHIA	1-5 GAL.
MAHONIA AQUIFOLIUM 'COMPACTUM'	COMPACT OREGON GRAPE HOLLY	1-5 GAL.
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	1-5 GAL.
PHILADELPHUS SPP.	MOCK ORANGE	1-5 GAL.
PHYSOCARPUS OPULUS	NINEBARK	1-5 GAL.
PINU MUGO 'PUMILIO'	DWARF MUGO PINE	1-5 GAL.
POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	1-5 GAL.
RHUS TRILOBATA	SUMAC	1-5 GAL.
RIBES ALPINUM	ALIPNE CURRANT	1-5 GAL.
ROSA WOODSII	WOOD'S ROSE	1-5 GAL.
SPIREA SPP.	SPIREA	1-5 GAL.
SYMPHORICARPAS	MOUNTAIN SNOWBERRY	1-5 GAL.
SYRINGA SPP.	COMMON LILAC	1-5 GAL.
VIBURNUM OPULUS NANUM	DWARF EUROPEAN CRANBERRY	1-5 GAL.

LANDSCAPE NOTES:

1. THE CONTRACTOR MUST EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IN WRITING OF ANY UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
2. BEFORE ANY EXCAVATION, NOTIFY BLUE STAKES AND COORDINATE WITH THE OWNER'S AUTHORIZED REPRESENTATIVE FOR THE LOCATION OF UTILITIES, SLEEVES, CONDUITS, ETC.
3. THE CONTRACTOR MUST COORDINATE WITH ALL OTHER ASSOCIATED TRADES TO BEST FACILITATE PROGRESS ON THE JOB.
4. TREAT EXISTING NOXIOUS WEEDS 10 DAYS BEFORE STARTING EARTHWORK OPERATIONS AND IF THEY APPEAR DURING CONSTRUCTION. USE PRE-EMERGENT, SELECTIVE, AND NON-SELECTIVE HERBICIDES AS APPROPRIATE. APPLY HERBICIDE AS DIRECTED ON THE MANUFACTURER'S LABEL.
5. THE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS IN LANDSCAPED AREAS. ALLOW FOR 3" OF MULCH OVER BARRIER FABRIC IN ALL PLANTING AREAS CONTAINING PLANT MATERIAL AS NOTED FINISH GRADE OF MULCH TO BE 1" BELOW TOP OF CURB OR SIDEWALK. ANY STONE MULCH TO BE WASHED CLEAN AND FREE OF STICKS, CLAY OR FOREIGN MATERIALS. CONTRACTOR TO SUBMIT SAMPLE FOR APPROVAL.
6. ALL BEDS SHALL HAVE A 3" LAYER OF SHREDDED BARK MULCH. REPLENISH ANNUALLY TO MAINTAIN MULCH DEPTH.
7. INSTALL LANDSCAPE EDGING AS SHOWN ON THE PLANS AND ACCORDING PER THE MANUFACTURER'S INSTRUCTIONS.
8. ALL PLANT MATERIALS MUST MEET SIZES INDICATED IN SCHEDULES. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED OF THE PROJECT. ALL EVERGREEN TREES SHALL BE TRUE TO FORM AND HAVE A SINGLE, STRAIGHT VERTICAL LEADER. PROVIDE HEALTHY, VIGOROUS PLANTS MEETING GOOD HORTICULTURAL STANDARDS AND MEETING STANDARDS THE AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS AND ANSI 260.1 - STANDARD FOR NURSERY STOCK. ANY PLANT MATERIAL FOUND TO BE UNACCEPTABLE AT ANY INSPECTION SHALL BE IMMEDIATELY REMOVED AND REPLACED. CONTRACTOR MUST GUARANTEE ALL PLANT MATERIALS FOR ONE YEAR FOLLOWING SUBSTANTIAL COMPLETION.
9. ANY PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES REQUIRED AND PROVIDE THE PLANTS NECESSARY TO COMPLETE THE PLANTINGS. DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED MATERIAL IS NOT OBTAINABLE, SUBMIT IN WRITING PROOF OF NON-AVAILABILITY AND A PROPOSAL FOR USE OF EQUIVALENT MATERIAL FOR EVALUATION TO BE ACCEPTED OR NOT ACCEPTED PRIOR TO THE BID.
10. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. ALL PLANTS SHALL BE INSTALLED ACCORDING TO THE PLAN. ALL PLANTS SHALL BE AT LEAST 24" FROM BACK OF CURB OR SIDEWALK EXCEPT FOR 1 GALLON PLANTS THAT MAY BE INSTALLED AT LEAST 18" FROM BACK OF CURB OR SIDEWALK. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED ON A REGULAR SCHEDULE DURING THE FIRST GROWING SEASON.
11. AN AUTOMATED IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED ACCORDING TO MANUFACTURE RECOMMENDATIONS AND LOCAL CODES BY OWNERS LICENSED LANDSCAPE CONTRACTOR.
12. COORDINATE WITH GRANITE SEED COMPANY TO ENSURE SAME SEED MIX IN ALL AREAS. 801-768-4422

HORROCKS ENGINEERS
 2162 West Grove Pkwy., Suite 400
 Pleasant Grove, UT 84062
 (801) 763-5100
 www.horrock.com

WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEIR DRAWING IS NOT TO SCALE

REVISIONS	REV #	DATE
DRAWING INFO	NOV 1, 2017	
DESIGNED	MJ	
DRAWN	MJ	
CHECKED	MJ	
PROJECT	OG-707-1510	



EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT
LANDSCAPE PLAN
 CLIENT:

LS-102

EDGEWATER ESTATES

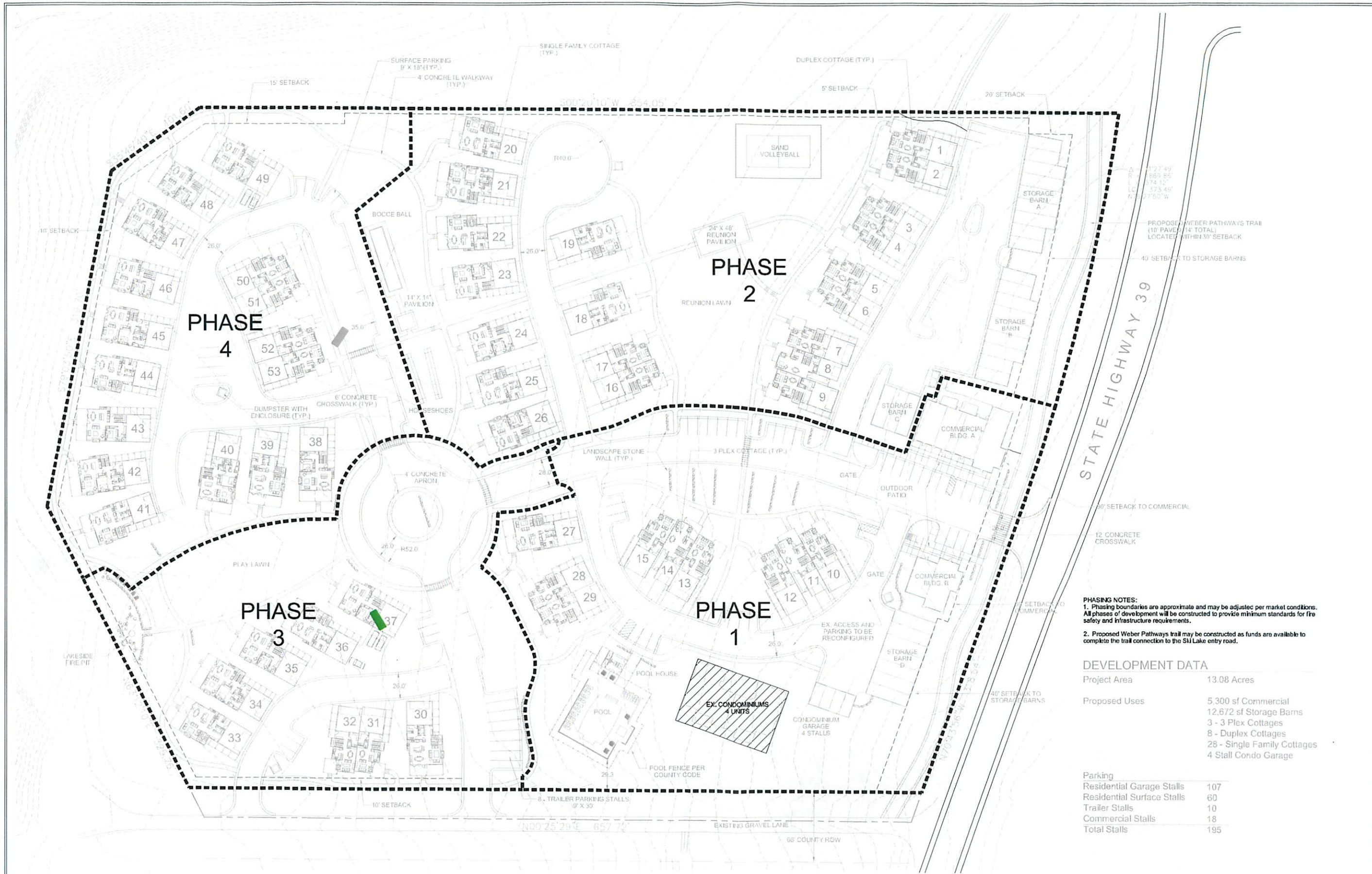
HUNTSVILLE, UTAH



REV.	DATE

PROJECT #: 1111
 DATE: 02/28/12
 TITLE:
 PHASING PLAN

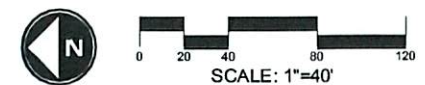
SHEET:
S1.2



PHASING NOTES:
 1. Phasing boundaries are approximate and may be adjusted per market conditions. All phases of development will be constructed to provide minimum standards for fire safety and infrastructure requirements.
 2. Proposed Weber Pathways trail may be constructed as funds are available to complete the trail connection to the SK Lake entry road.

DEVELOPMENT DATA

Project Area	13.08 Acres
Proposed Uses	5,300 sf Commercial 12,672 sf Storage Barns 3 - 3 Plex Cottages 8 - Duplex Cottages 28 - Single Family Cottages 4 Stall Condo Garage
Parking	Residential Garage Stalls 107 Residential Surface Stalls 60 Trailer Stalls 10 Commercial Stalls 18 Total Stalls 195



THIS DOCUMENT IS THE PROPERTY OF BERTOLDI ARCHITECTS © 2012