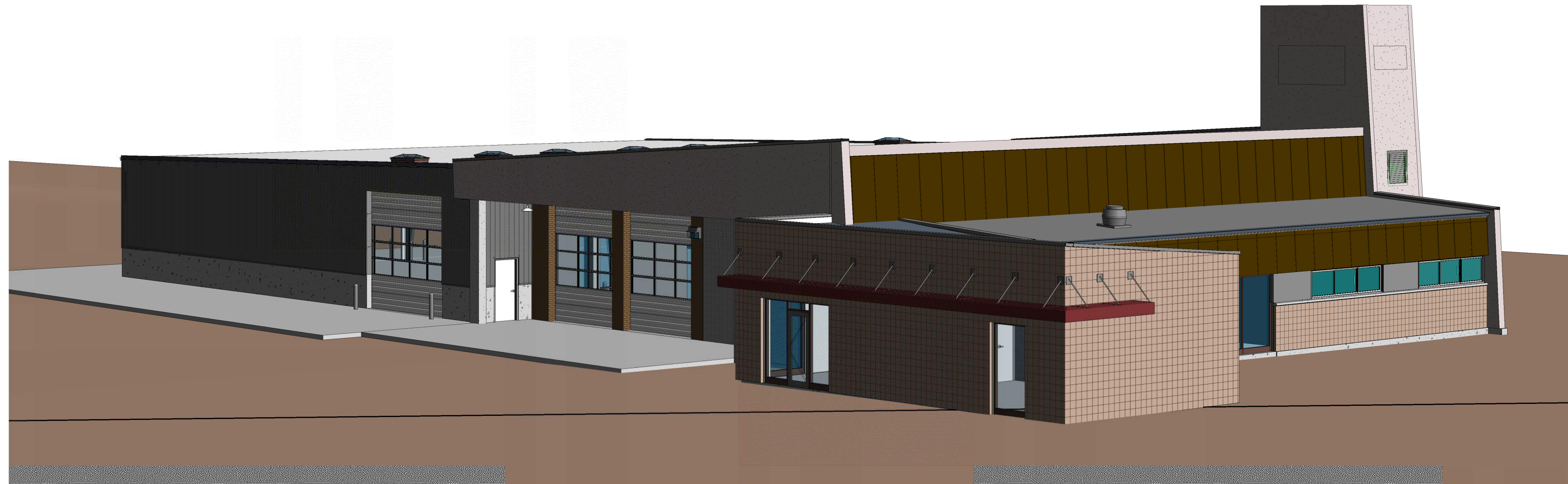


KBR ROOFING NEW ADDITION - PHASE I

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

NOVEMBER 03, 2017
CONSTRUCTION BID DRAWINGS



CIVIL ENGINEER

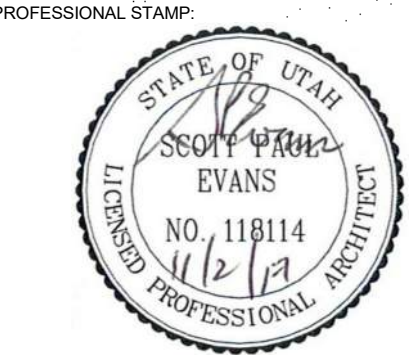


H & A ENTELLUS

181 NORTH 200 WEST SUITE #4 / BOUNTIFUL,
UTAH 84010 / 801.298.2236 / www.entellus.com



SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com



CODE OFFICIAL STAMP:

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/3/2017	CONSTRUCTION BID DRAWINGS

ISSUED:

NO.	DATE	DESCRIPTION
1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: _____
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
GI-001

ABBREVIATIONS

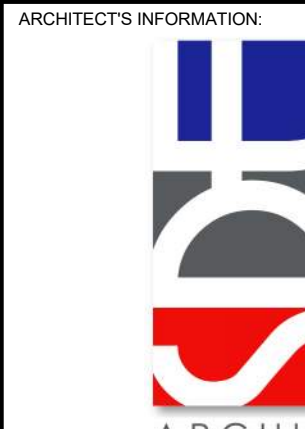
@	at	EA	each	JAN	janitor	RM	room
ABV	above	EIFS	exterior insulation & finish system	JST	joist	RO	rough opening
ACOUS	acoustical	ELEC	electrical	JT	joint	RTU	root top unit (mechanical)
AD	area drain	ELEV	elevation	LAM	laminated	S	south
ADJ	adjustable	EMER	emergency	LAV	lavatory	SAFB	sound attenuation fiber batt
AFF	above finished floor	ENCL	enclosure	LB(S)	pounds	SC	scupper
ALT	alternate	EOS	edge of slab	LDG	landing	SCHED	schedule
ALUM	aluminum	EQ	equal	LT	light	SEAL	sealant
APPROX	approximate	EQUIP	equipment	MAX	maximum	SECT	section
ARCH	architect	ETR	existing to remain	MECH	mechanical	SF	square foot
B.O.	bottom of	EW	each way	MEMB	membrane	SHT	sheet
BALC	balcony	EWC	electric water cooler	MFR	manufacturer	SIM	similar
BD	board	EXP. JT.	expansion joint	MIN	minimum	SPEC	specification
BET	between	EXTG.	existing	MISC	miscellaneous	SQ	square
BLDG	building	F.O.	face of	MO	masonry opening	SS	stainless steel
BLKG	blocking	FA	fire alarm	MTD	mounted	STD	standard
BLW	below	FAP	fire annunciator panel	MTL	metal	STL	steel
BM	beam	FD	floor drain	(N)	new	STOR	storage
BOT	bottom	FE	fire extinguisher	N	north	STRUCT	structural
BRKT	bracket	FEC	fire extinguisher cabinet	NIC	not in contract	SUSP	suspended
BULKHD	bulkhead	FG	finish group	NO	number	SYM	symmetrical
BUR	built up roof	FH	fire hydrant	NOM	nominal	T	tread
		FHC	fire hose cabinet	NTS	not to scale	T&G	tongue & groove
		FIN	finish	O.P.	overflow pipe	TEL	telephone
C.G.	corner guard	FLR	floor	OA	overall	TER	terrazzo
CAB	cabinet	FLUOR	fluorescent	OC	on center	THK	thick
CALK	caulking	FT	foot or feet	OD	outside diameter	THR	threshold
CEM	cement	FUR	furring	OFF	office	TO	top of
CER	ceramic	FV	field verify	OH	opposite hand	TOM	top of masonry
CJ	control joint			OPG	opening	TYP	typical
CLG	ceiling	GAL	gallon	OPP	opposite	UC	undercut
CLOS	closet	GALV	galvanized	PART	partition	UNFIN	unfinished
CLR	clear	GL	glass	PERM	perimeter	UNO	unless noted otherwise
CO	cased opening	GLB	grab bar	PG	paint grade	UON	unless otherwise noted
COL	column	GC	general contractor	PLAM	plastic laminate	UTIL	utility
CONC	concrete	GL	ground	PLAS	plaster	VCT	vinyl composition tile
CONT	continuous	GND	ground	PLYWD	plywood	VERT	vertical
CPT	carpet	GWB	gypsum board	PR	plywood	VIF	verify in field
CT	ceramic tile	GYP	gypsum	PT	paint	VTR	vent termination pipe
CTR	center	H.W.H.	hot water heater	PTD	pointed	WVC	vinyl wall covering
		HC	handicapped	R	riser	W	west
DBL	double	HDWD	hardwood	RAD	radius	W/	with
DET	detail	HDWR	hardware	RCP	reflected ceiling plan	W/O	without
DIA	diameter	HM	hollow metal	RD	roof drain	WC	water closet
DIM	dimension	HORIZ	horizontal	RE	refer	WIN	window
DN	down	HR	hour	REF	refrigerator	WP	waterproof
DR	door	HT	height	REINF	reinforced	WS	wet stack
DS	down spout	ID	inner diameter	REQD	required	WSCT	wainscot
DW	dishwasher	INCAN	incandescent	RESIL	resilient	WT	weight
DWG	drawing	INSUL	insulation				
Ø	diameter	INT	interior				
(E)	existing						
E	east						

GENERAL NOTES

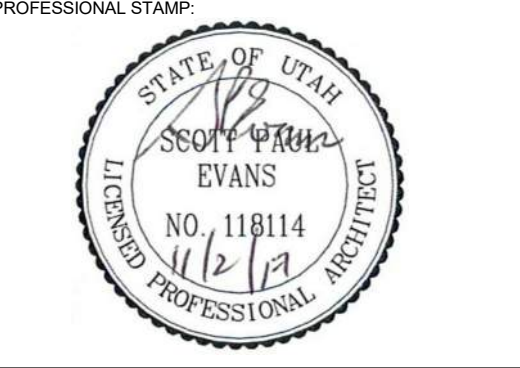
- THE CONTRACTOR IS TO THOROUGHLY FAMILIARIZE HIMSELF WITH THE EXTENT OF WORK AND COORDINATE ALL TRADES.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED - ANY VARIATIONS IN DIMENSIONS ARE TO BE REVIEWED WITH THE ARCHITECT.
- WHERE EXISTING WALLS ARE REMOVED PATCH REMAINING WALLS AS REQUIRED FOR FLUSH FINISHED APPEARANCE.
- THIS CONTRACTOR IS RESPONSIBLE FOR PATCHING/REPAIRING ALL IMPERFECTIONS IN ALL NEW AND EXISTING WALLS AFFECTED BY THIS CONTRACT, INCLUDING HOLES, DENTS, BUMPS WAVES ETC. IT IS THE CONTRACTORS RESPONSIBILITY TO VISIT THE JOB SITE PRIOR TO BIDDING AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SUCH WORK, THAT WILL BE REQUIRED.
- CORRIDORS SHALL NOT BE USED FOR STORAGE OF MATERIALS OR STAGING OF THE WORK.
- PATCH AND REPAIR WALLS AT OUTLETS AND AT OTHER OPENINGS REQUIRED BY THIS REMODELING.
- GRID LINES ARE ORIGINAL BUILDING GRID LINES.
- PROTECT EXTG. FINISHES FROM DAMAGE.
- DO NOT SCALE DRAWINGS. STATED & WRITTEN DIMENSIONS GOVERN. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED BECAUSE OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS, UNLESS THEY CONTRIBUTE TO A CHANGE IN THE SCOPE OF THE WORK. ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR DECISION PRIOR TO ORDERING, MANUFACTURING, OR PROCEEDING WITH THE WORK. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FACE OF FINISH, UNLESS NOTED OTHERWISE. VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB EXCEPT WHERE NOTED TO BE ABOVE FINISHED FLOOR (AFF). DIMENSIONS ARE NOT ADJUSTABLE WITHOUT A APPROVAL OF ARCHITECT UNLESS NOTED +/-.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION IN THE DOCUMENTS. THE GENERAL CONTRACTOR SHALL UTILIZE THE CONSTRUCTION DRAWINGS AND WRITTEN SPECIFICATIONS FOR ALL REQUIRED INFORMATION TO PROVIDE COMPLETE CONSTRUCTION OF THIS PROJECT. ITEMS LISTED IN DRAWINGS MAY NOT BE INCLUDED IN SPECIFICATIONS. ITEMS LISTED IN SPECIFICATIONS MAY NOT BE INCLUDED IN DRAWINGS.
- DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. THE GENERAL CONTRACTOR IS TO CLARIFY WITH THE ARCHITECT ANY SUCH DISCREPANCIES PRIOR TO COMMENCING WORK.
- THE CONTRACTOR IS TO PROVIDE DUST WALL AS REQUIRED TO PERFORM NEW WORK - COORDINATE LOCATION OF DUST WALLS WITH OWNER.
- CONTRACTOR'S STAGING AREA IS TO BE PROVIDED WITH A SECURE, LOCKED, 6'-0" (PER IBC 3306) TALL TEMPORARY CHAIN LINK FENCE. STAGING AREA SHALL NOT BLOCK DOORS, DOCKS, SIDEWALKS ETC. ALL GAPS IN FENCE TO BE MAINTAINED LESS THAN 4". REMOVE AND SECURE ALL LADDERS AT THE END OF EACH DAY. DUMPSTER MUST BE KEPT IN LOCKED FENCED AREA. COORDINATE LOCATION OF STAGING WITH OWNER.

DRAWING INDEX

SHT. #	DRAWING TITLE
GENERAL:	
GI-001	TITLE SHEET
GI-002	GENERAL INFORMATION
GI-003	CODE ANALYSIS PLANS
CIVIL:	
CE-100	CIVIL NOTES
CE-101	LEGEND & ABBREVIATIONS
CE-102	TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
CE-103	SITE PLAN
CE-104	GRADING PLAN
CE-105	DETAILS
CE-106	EROSION CONTROL PLAN
ARCHITECTURAL:	
AS-101	SITE PLAN
AD-101	DEMOLITION PLAN
AD-102	DEMOLITION VIEWS
AE-101	FLOOR PLAN
AE-102	REFLECTED CEILING PLAN
AE-103	ROOF PLAN
AE-201	EXTERIOR ELEVATIONS
AE-202	EXTERIOR ELEVATIONS
AE-301	BUILDING SECTIONS
AE-302	BUILDING SECTIONS
AE-303	WALL SECTIONS
AE-304	WALL SECTIONS
AE-305	WALL SECTIONS
AE-306	WALL SECTIONS
AE-307	WALL SECTIONS
AE-501	DETAILS
AE-502	DETAILS
AE-503	DETAILS
AE-504	DETAILS
AE-505	DETAILS
AE-506	DETAILS
AE-507	DETAILS
AE-601	DOOR SCHEDULE
AE-901	IMAGES
AE-902	IMAGES



SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com



CODE OFFICIAL STAMP:

PROJECT NAME:
**KBR ROOFING
 NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
 OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: _____
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE
 COPYRIGHT: © 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:
GENERAL INFORMATION

SHEET NUMBER:
GI-002

MATERIALS

	EARTH
	STRUCTURAL FILL
	CMU MASONRY
	BRICK MASONRY
	CONCRETE
	GRAVEL
	STEEL
	ALUMINUM
	RIGID INSULATION
	BATT INSULATION
	PLYWOOD
	PARTICLEBOARD
	GYPSUM BOARD
	ASPHALT PAVING
	WOOD (STUDS / NAILERS)
	WOOD (BLOCKING)
	WOOD

GRAPHIC SYMBOLS

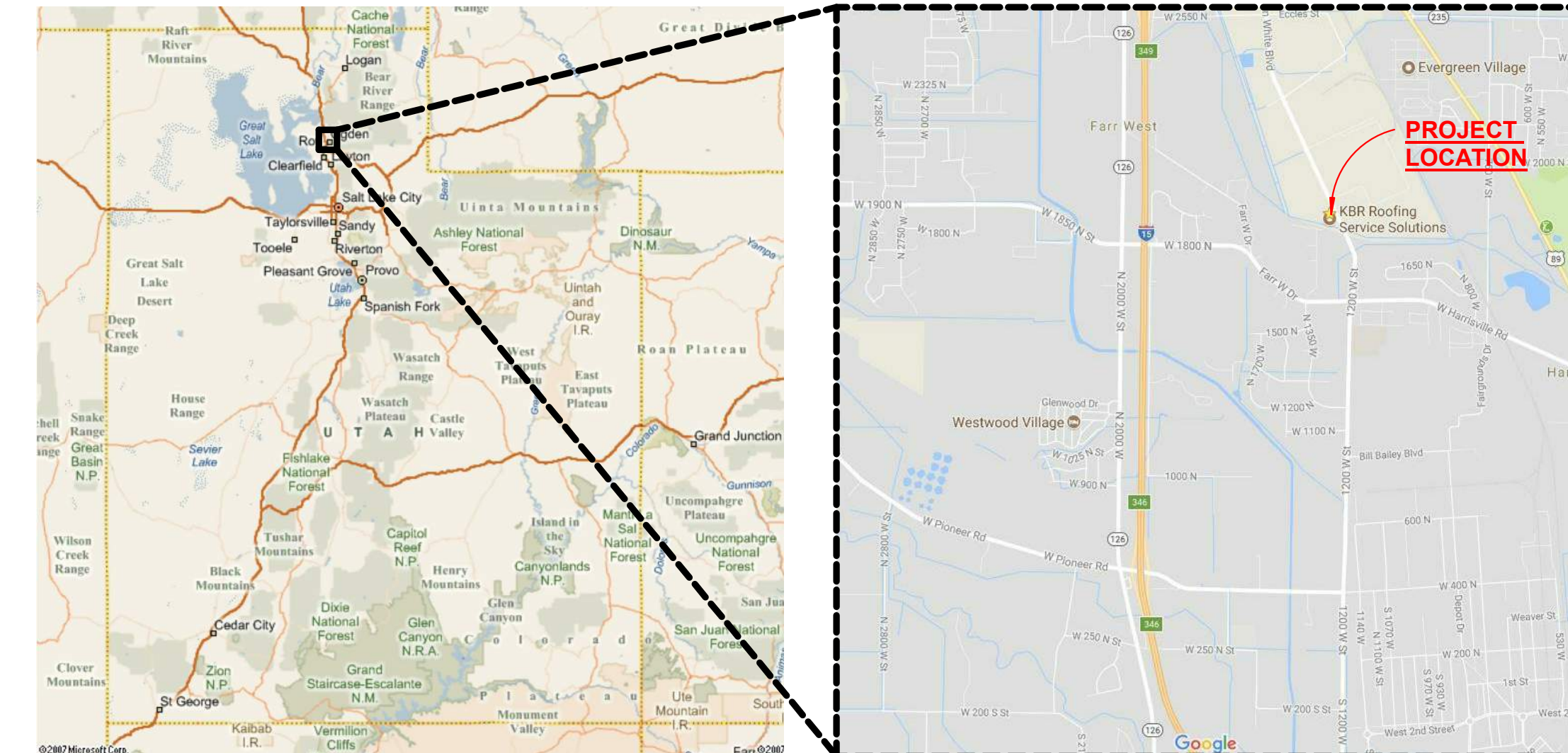
	ROOM NAME
	ROOM NUMBER
	ROOM SQ. FT. (WHERE OCCURS)
	DETAIL CALLOUT
	BUILDING SECTION
	WALL SECTION
	DETAIL SECTION
	DRAWING REVISION
	REVISION NUMBER
	NORTH ARROW
	GRID REFERENCE
	CENTER LINE
	CEILING HEIGHT
	LEVEL ELEVATION
	SPOT ELEVATION
	DOOR NUMBER
	WALL TYPE
	WINDOW TYPE
	KEYED NOTE
	KEYED NOTE
	GLASS TYPE

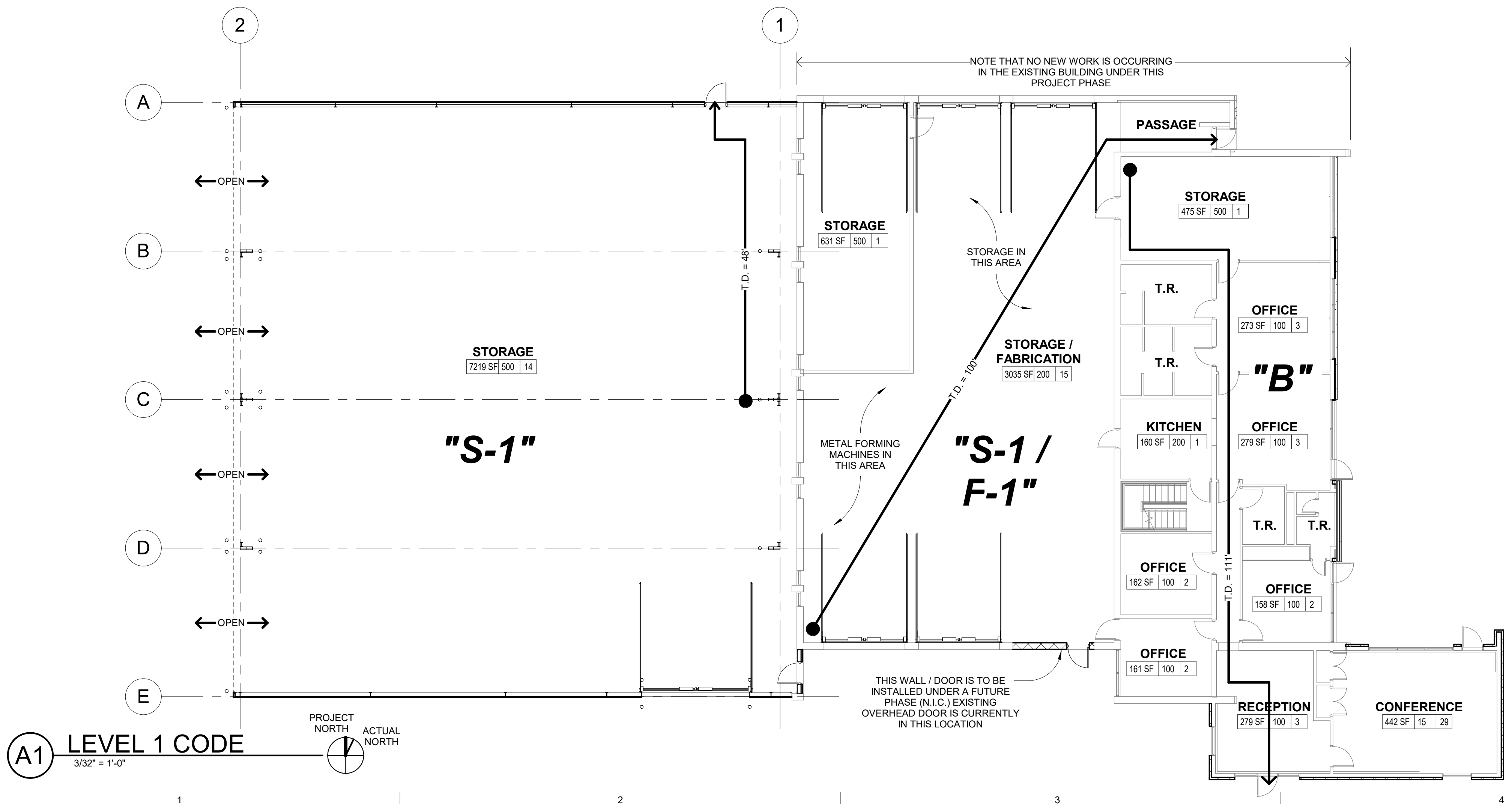
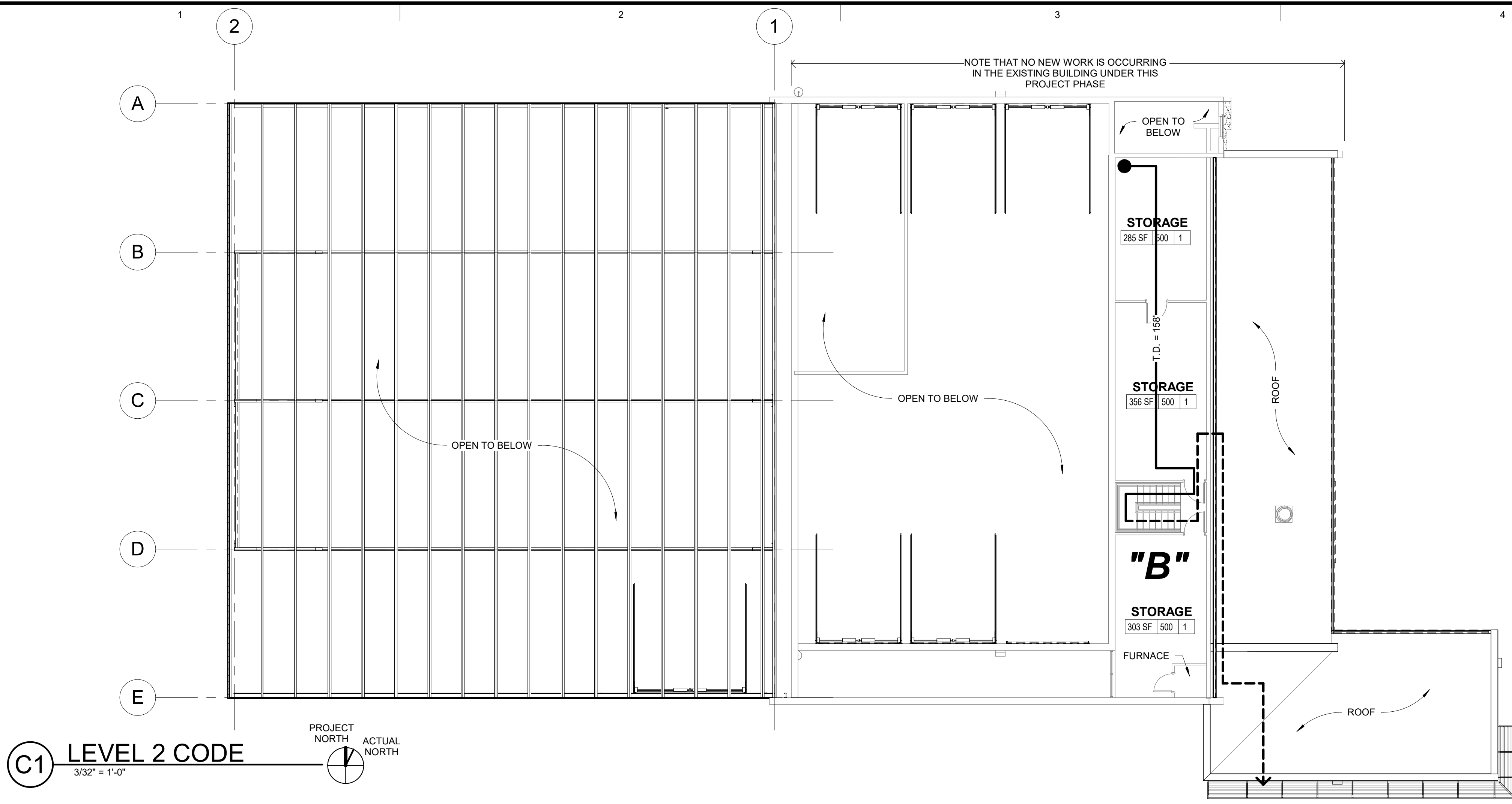
DEFERRED SUBMITTALS

For the purpose of this section, deferred submittals are defined as per section 106.3.4.2 of the IBC. Submittal documents for deferred submittal items shall be submitted to the engineer/architect for their review for general conformance with the design of the building. After submittals are reviewed for general conformance by the architect and engineer of record, deferred submittals must be submitted to the building official for approval and that deferred items are not to be installed until approved by the building official (see IBC 106.3.4.2). Deferred submittals for this project are:

- ITEM #1** PRE-MANUFACTURED METAL BUILDING SYSTEM
- ITEM #2** STRUCTURAL FOOTING & FOUNDATION DRAWINGS
- ITEM #3** DOOR HARDWARE

PROJECT LOCATION





CODE ANALYSIS

APPLICABLE CODES			
	Year		Year
International Building Code	2015	National Electrical Code	2014
International Mechanical Code	2015	Uniform Code for Building Conservation	N.A.
International Plumbing Code	2015	ADA Accessibility Guidelines	2010 ADAG 2009 ANS1117.1
International Fire Code	2015		
International Energy Conservation Code	2015		

- A. Occupancy and Group: B S-1 F-1
- Change in Use: Yes No No X Mixed Occupancy: Yes No No X
Special Use and Occupancy (e.g. High Rise, Covered Mall):
- B. Seismic Design Category: D Design Wind Speed: 90 mph
- C. Type of Construction (circle one):
 I/A I/B II/A II/B III/A III/B IV/HT V/A V/B (SMALL 1994 ADDITION ONLY)
- D. Fire Resistance Rating Requirements for the Exterior Walls based on the fire separation distance (in hours):
 North: 0 South: 0 East: 0 West: 0
- E. Mixed Occupancies: NO Nonseparated Uses: NO
- F. Sprinklers:
 Required: NO Provided: NO Type of Sprinkler System: N/A
- G. Number of Stories: 2 Building Height: 21'-1"
- H. Actual Area per Floor (square feet): 1st FLOOR = 14,697 S.F.
2nd FLOOR = 1,080 S.F.
- I. Tabular Area: 23,000
- J. Area Modifications: N.A.
- K. Fire Resistance Rating Requirements for Building Elements (hours).

Element	Hours	Assembly Listing	Element	Hours	Assembly Listing
Exterior Bearing Walls	0		Floors - Ceiling Floors	0	
Interior Bearing Walls	0		Roofs - Ceiling Roofs	0	
Exterior Non-Bearing Walls	0		Exterior Doors and Windows	0	
Structural Frame	0		Shaft Enclosures	N.A.	
Partitions - Permanent	0		Fire Walls	N.A.	
Fire Barriers	0		Fire Partitions	N.A.	
			Smoke Partitions	N.A.	

- L. Design Occupant Load: 14 (ADDITION ONLY)
 Exit Width Required: 2.8 Exit Width Provided: 72"
 NOTE THAT THE ENTIRE WEST END OF THE ADDITION IS OPEN
- M. Minimum Number of Required Plumbing Facilities: N.A. (AVAILABLE IN EXISTING BUILDING)
- a) Water Closets - Required (m) (f) Provided (m) (f)
- b) Lavatories - Required (m) (f) Provided (m) (f)
- c) Bath Tubs or Showers:
- d) Drinking Fountains: Service Sinks:

- FOOTNOTES:
- In case of conflict with the U.S. Department of Justice Federal Registers Parts I through X - ADA Guidelines and specific reference to the International Building Code Accessibility Chapters, the more restrictive requirement shall govern.
 - Additional Code Information shall be provided at the discretion of the Building Official for Complex Buildings. Including, but not limited to:
 - High Rise Requirements.
 - Atriums.
 - Performance Based Criteria.
 - Means or Egress Analysis.
 - Fire Assembly Locator Sheet.
 - Exterior and Interior Accessibility Route.
 - Fire Stopping, including Tested Design Number.

OCCUPANCY & EXITING LEGEND

ROOM NAME
 ### SF | ### | ###
 # OF OCCUPANTS
 SQUARE FOOTAGE PER OCCUPANT
 SQUARE FOOTAGE OF ROOM

---T.D. = TRAVEL DISTANCE---

--- 1-HR --- 1-HR --- = 1-HR FIRE RATED WALL

(AA) = AUTOMATIC DOOR OPERATOR

● FIRE EXTINGUISHER - SEE AE-101& AE-102 FOR TYPES

□ REQUIRED SPACE FOR DOOR LANDINGS

= # OF PEOPLE LEAVING A SUITE

▨ = 1-HR. RATED CEILING FOR THE CORRIDOR - LOWER CEILING STRUCTURE IS TO BE A 1-1/2" HORIZONTAL CH STUD SHAFT WALL SYSTEM - ALSO INSTALL A 5/8" LAYER OF DRYWALL DIRECTLY TO THE BOTTOM OF THE TRUSSES - REFER TO REFLECTED CEILING PLAN

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #:

SPE PROJECT #: 17-04

DRAWN BY: GTE

CHECKED BY: SPE

DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:

**CODE ANALYSIS
PLANS**

SHEET NUMBER:
GI-003

Last Plotted: 11/3/2017 9:55:23 PM

GENERAL NOTES

- ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY. CONTACT THE PUBLIC WORKS OFFICE BEFORE BEGINNING.
- CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND AVAILABILITY OF EXISTING UTILITIES. UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. SEE UTILITY NOTE 3.
- ALL DIMENSIONS ARE IN FOOT UNITS AND ARE TO THE TOP BACK OF CURB UNLESS SHOWN OR NOTED OTHERWISE.
- PROVIDE HANDICAP RAMP AT ENDS OF WALKWAYS. END 0.1' ABOVE FLOWLINE OF CURB.
- CURB AND GUTTER SHALL BE AS PER APWA STD DWG NO 205 TYPE A.
- UTILITY INFORMATION INDICATED ON DRAWING IS BASED UPON VISUAL OBSERVATION OR INFORMATION FURNISHED BY MUNICIPAL AUTHORITIES WHICH MAY NOT BE VALID. LATERAL LOCATIONS AND ELEVATIONS ARE ASSUMED. SEE UTILITY NOTE 3.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A QUALIFIED SOILS ENGINEER WHO SHALL VERIFY THAT ALL FILL HAS BEEN PLACED IN ACCORDANCE WITH PROVISIONS IN CURRENT INTERNATIONAL BUILDING CODE.
- COMPACTION TEST REPORTS SHALL BE MADE AVAILABLE TO THE ENGINEER WITHIN 24 HOURS OF A REQUEST. FINAL REPORTS AS SPECIFIED IN CURRENT INTERNATIONAL BUILDING CODE SHALL BE SUBMITTED TO THE ENGINEER WITHIN TEN DAYS AFTER COMPLETION OF GRADING.
- ALL STORM DRAIN PIPE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND THE LOCAL GOVERNING MUNICIPALITY'S STANDARDS AND SPECIFICATIONS.
- STORM DRAIN PIPE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S SPECIFICATIONS. PRIVATE STORM DRAIN PIPE OPTIONS SHALL CONSIST IF THE FOLLOWING MATERIALS.
 - PVC PIPE, ASTM D3034, SDR 35, BELL & SPIGOT TYPE.
 - RCP PIPE, CLASS 3, BELL & SPIGOT TYPE.
 - HIGH DENSITY CORRUGATED POLYETHYLENE SMOOTH INTERIOR PIPE, ASTM D3350 WITH WATERTIGHT JOINTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK CONDITIONS AT THE SITE BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION UNLESS SPECIFICALLY DETAILED. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION WILL BE AS FOR SIMILAR WORK. DO NOT SCALE DRAWINGS.
- ANY OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.
- PIPE BEDDING SHALL BE 3/8" MAXIMUM AGGREGATE. USE 3/4" MAXIMUM SIZE ROAD BASE FOR BACKFILL MATERIAL. COMPACT TO 95% STANDARD PROCTOR DENSITY. MAXIMUM LIFT 8 INCHES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC AND OSHA STANDARDS.
- ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2007 EDITION WITH ALL PERTINENT SUPPLEMENTS AND AMENDMENTS AND THE MANUAL OF STANDARD PLANS 2007 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE THE REQUIREMENTS.
- IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THE WORK TO BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORITY FROM THE OWNER AND/OR ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED, WHERE NECESSARY. SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.
- PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

SEQUENCE OF CONSTRUCTION

- CONSTRUCTION EXIT IS TO BE CONSTRUCTED AT TIME OF ENTRY TO SITE.
- CLEAR AND GRUB AREAS FOR SEDIMENT MEASURES.
- INSTALL SILT FENCES.
- COMPLETE CLEARING OF SITE AND BEGIN ROUGH GRADING.
- FILL AREAS SHALL BE FILLED IN 12 INCH MAXIMUM LIFTS AND COMPACTED TO AT LEAST 95% MAXIMUM DENSITY.
- DRAINAGE WILL BE CONTROLLED AND GROUND SLOPED SO AS TO DIRECT RUNOFF TO SEDIMENT CONTROLLED INLETS.
- INSTALL REMAINDER OF STORM DRAIN.
- INSTALL UTILITY LINES, WATER, ETC.
- INSTALL CURBS, WALKS, ETC., AND STABILIZE ALL DISTURBED AREAS.
- INSTALL BASE COURSE.
- REMOVE SEDIMENT CONTROL MEASURES, CLEAN OUT TEMPORARY SEDIMENTATION BASINS AND REGRADE, CLEAN OUT SEDIMENT TRAPS AND CONVERT THEM TO STORM WATER MANAGEMENT STRUCTURES.
- PAVE SITE.
- OWNER TO BE RESPONSIBLE TO CHECK CLEAN OUT INLET BOXES FOR SEDIMENT AND OIL AND CLEAN AS NECESSARY

UTILITY NOTES

- ALL SERVICE LATERALS SHALL BE EXTENDED 2 FEET PAST THE 10 FOOT P.U.E.
- ALL CONSTRUCTION SHALL COMPLY WITH LOCAL GOVERNING MUNICIPALITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS
- LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO FIELD VERIFY CONNECTION POINTS WITH EXISTING UTILITIES, INCLUDING LOCATIONS AND INVERT ELEVATIONS OF ALL EXISTING STRUCTURES OR PIPES, BEFORE STAKING OR CONSTRUCTING ANY NEW UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.
- CONTRACTOR IS RESPONSIBLE TO EXPOSE ALL UTILITY SERVICES STUBBED INTO PROJECT PROPERTY AND GIVE H&A ENTELLUS, INC. 48 HOURS PRIOR NOTICE SO H&A ENTELLUS CAN VERIFY DEPTHS AND INVERT ELEVATIONS TO DETERMINE IF CONFLICTS EXIST. ALSO ANY EXISTING UTILITIES THAT RUN ACROSS PROJECT PROPERTY WHICH MAY CAUSE POTENTIAL CONFLICT NEED TO BE EXPOSED AND LOCATED BOTH HORIZONTALLY AND VERTICALLY. CONTRACTOR PROCEEDS AT OWN RISK IF H&A ENTELLUS IS NOT NOTIFIED TO FIELD VERIFY THE ABOVE MENTIONED CONDITIONS.
- CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS WHERE APPLICABLE.
- NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.
- ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
- ALL SEWER LINES AND LATERALS ARE TO BE SDR 35 PVC PIPE.
- SEWER LATERALS WILL BE INSTALLED AT A UNIFORM SLOPE OF NOT LESS THAN 2% GRADE AND THEY SHALL HAVE A MINIMUM OF 4 FEET OF COVER, UNLESS OTHERWISE NOTED.
- ALL NEW CULINARY AND IRRIGATION WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
- WATER LINES TO BE PVC C-900. WATER LINES SHALL BE A MINIMUM OF 10" HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. (MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR 10' HORIZONTAL SEPARATION FROM SEWER LINES.)
- ALL WATER LINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED.
- WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE, CORP. STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE.
- ALL WATER LINES SHALL BE A MINIMUM 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS.
- CONTRACTOR TO NOTIFY PUBLIC UTILITIES FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE LEFT IN PIPE 24 HOURS MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH LOCAL GOVERNING MUNICIPALITY. ALL TESTS TO BE IN ACCORDANCE WITH AWWA STANDARDS.
- BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4" INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET CITY STANDARDS.
- ALL NEW STORM DRAIN/LAND DRAIN CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
- ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR EQUAL, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO QUESTAR GAS FOR DESIGN OF GAS SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH QUESTAR GAS FOR CONTRACTOR LIMITS OF WORK VERSUS QUESTAR GAS LIMITS.
- ALL GAS LINE TAPS TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.
- ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO-FUSION TECHNOLOGY.
- ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.
- ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.
- CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO COMCAST FOR DESIGN OF CABLE TV SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH COMCAST FOR CONTRACTOR LIMITS OF WORK VERSES COMCAST LIMITS.
- CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO NEW BUILDINGS OR LOTS WITH QWEST. PVC CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES AND LOCATION WITH QWEST.
- ALL UTILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING AGENCY/DISTRICT STANDARDS AND SPECIFICATIONS:
 - WATER - OWNER
 - SEWER - OWNER
 - STORM DRAIN/GROUNDWATER - OWNER
 - IRRIGATION - OWNER
 - ELECTRICAL - ROCKY MOUNTAIN POWER
 - TELEPHONE - QWEST
 - NATURAL GAS - QUESTAR

GRADING NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING IT WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 95% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS. REPORT.
- THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THE PROJECT. SPECIFIC DETAILS SHOWN SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.
- IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
- WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OF CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS, THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO THE PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURS WITHOUT THE APPROVAL OF THE ENGINEER.

EROSION CONTROL

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY.
- ALL SEDIMENT CONTROL MEASURES TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE.
- DAILY INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS WILL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
- ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAINAGE SYSTEM THROUGH THE USE OF SANDBAGS, STRAW BALES, SILT FENCES, GRAVEL, BOARDS, AND OTHER APPLICABLE METHODS.
- ALL DISTURBED AREAS OUTSIDE OF ROADWAYS, PARKING LOTS, SIDEWALKS AND OR BUILDING FOOTPRINTS SHALL BE SEEDED, SODDED AND/OR MULCHED.
- IF SITE IS READY TO RECEIVE FINAL COVER DURING THE NON-PLANTING SEASON, THEN IT SHALL BE PROTECTED BY MULCHING. THE MULCH WILL REMAIN UNTIL THE NEXT PLANTING SEASON AS DEFINED BY THE LOCAL GOVERNING MUNICIPALITY.
- RE-VEGETATE ALL DENUDED AREAS AS PER THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY.
- THE CONTRACTOR AGREES THAT:
 - THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
 - THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
 - THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
 - THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM FINAL PAYMENT.
 - THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTION AT THEIR OWN EXPENSE.
 - UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAG-MEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

181 North 200 West, Suite #4
Bountiful, Utah 84010
Phone 801-298-2236
Fax 801-298-5983

Last Printed: 11/7/2016 2:29:13 PM

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE 1**

1871 N RULON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION

OWNER PROJECT #: ----
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:

CIVIL NOTES

SHEET NUMBER:

CE-100

LEGEND

	SECTION CORNER
	MONUMENT
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	DOWNWARD GRADE
	EXISTING INDEX CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED CONTOUR
	PROPOSED MINOR CONTOUR
	LOT OR BOUNDARY LINE
	PUBLIC UTILITY EASEMENT
	BUILDABLE AREA SETBACK
	CENTER LINE OF ROAD
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING ASPHALT
	PROPOSED ASPHALT
	EXISTING CONCRETE
	PROPOSED CONCRETE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	ADA PARKING
	STREET LIGHT
	LIGHT POLE
	POWER POLE
	TELEPHONE POLE
	UTILITY POLE
	STREET SIGN
	ROCK WALL

	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING FIRE PROTECTION
	PROPOSED FIRE PROTECTION
	WATER MANHOLE
	WATER METER
	FIRE HYDRANT
	BLOWOFF
	VALVE
	TEE
	ELBOW
	REDUCER
	THRUST BLOCK
	EXISTING IRRIGATION LINE
	PROPOSED IRRIGATION LINE
	IRRIGATION MANHOLE
	IRRIGATION METER
	BLOWOFF
	VALVE
	TEE
	ELBOW
	REDUCER
	THRUST BLOCK
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	SEWER MANHOLE
	EXISTING LAND DRAIN
	PROPOSED LAND DRAIN
	LAND DRAIN MANHOLE
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	STORM DRAIN MANHOLE
	CATCH BASIN / CLEANOUT
	CURB INLET
	EXISTING FIBER OPTIC
	PROPOSED FIBER OPTIC
	EXISTING NATURAL GAS
	PROPOSED NATURAL GAS
	EXISTING POWER
	PROPOSED POWER
	EXISTING OVERHEAD POWER
	PROPOSED OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	PROPOSED UNDERGROUND POWER
	EXISTING TELEPHONE
	PROPOSED TELEPHONE

ABBREVIATIONS

Ø	DIAMETER
Δ	DELTA
°	DEGREES
'	MINUTES, FEET
"	SECONDS, INCHES
AD	ALGEBRAIC DIFFERENCE
ADA	AMERICAN DISABILITIES ACT
ADS	CORRUGATED BLACK PLASTIC PIPE
ARCH	ARCHITECT, ARCHITECTURAL
B&C	BAR & CAP
BLA	BOUNDARY LINE AGREEMENT
BLDG	BUILDING
BM	BENCHMARK
BND	BOUNDARY
BOW	BACK OF WALK
BRG	BEARING
BV	BUTTERFLY VALVE
BVC	BEGIN VERTICAL CURVE
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
C&G	CURB AND GUTTER
CB	CATCH BASIN
CH	CHORD
CHB	CHORD BEARING
CI	CAST IRON
CIP	CAST IN PLACE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
COMM	COMMUNICATIONS
CONC	CONCRETE
CONST	CONSTRUCTION
CUL	CULINARY
CW	CULINARY WATER
CWL	CULINARY WATERLINE
DEMO	DEMOLITION
DI	DUCTILE IRON
DIAM	DIAMETER
DIST	DISTANCE
E	EAST, ELECTRICITY, ELECTRICAL
EASE	EASEMENT
EG	EXISTING GRADE
EL	ELBOW
ELEC	ELECTRICAL
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EVC	END VERTICAL CURVE
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX	EXISTING
FF	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FND	FOUNDATION
FP	FIRE PROTECTION
FTG	FOOTING
G	GAS, NATURAL GAS
GB	GRADE BREAK
GV	GATE VALVE
HDPE	HIGH-DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HPE	HIGH POINT ELEVATION
HPS	HIGH POINT STATION
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
INV	INVERT
IRR	IRRIGATION
IRRMH	IRRIGATION MANHOLE
K	RADIUS OF CURVATURE
L	LENGTH
LAT	LATERAL SERVICE
LD	LAND DRAIN
LDMH	LAND DRAIN MANHOLE
LF	LINICAL FEET
LG	LIP OF CUTTER
LP	LOW POINT
LPE	LOW POINT ELEVATION
LPS	LOW POINT STATION
MD	MEASURE DOWN
MECH	MECHANICAL
MH	MANHOLE
MON	MONUMENT
N	NORTH
NE	NORTHEAST
NG	NATURAL GRADE
NR	NON-RADIAL
NW	NORTHWEST
OC	ON CENTER
OD	OUTSIDE DIAMETER
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE
PCC	PORTLAND CONCRETE CEMENT
PI	POINT OF INFLECTION
PL	PROPERTY LINE
PROP	PROPERTY
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PUE&D	PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT
PVI	POINT OF VERTICAL INFLECTION
R	RADIUS
RC	REBAR & CAP
RCL	ROADWAY CENTERLINE
RCF	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
S	SOUTH
SD	STORM DRAIN
SDCB	STORM DRAIN CATCH BASIN
SDCO	STORM DRAIN CLEANOUT
SDMH	STORM DRAIN MANHOLE
SE	SOUTHEAST
SEC	SECONDARY
SEC	SECTION
SL&M	SALT LAKE BASE & MERIDIAN
SPEC	SPECIFICATION
SPECS	SPECIFICATIONS
SPP	STEEL PIPE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
STDS	STANDARDS
SW	SECONDARY WATER
SW	SOUTHWEST
SWL	SECONDARY WATERLINE
TAN	TANGENT
TB	THRUST BLOCK
TBC	TOP BACK OF CURB
TBW	TOP BACK OF WALK
TEL	TELEPHONE
TCW	TOP OF CURB/WALL
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOE	TOE OF SLOPE OR WALL
TOG	TOP OF GRATE
TOW	TOP OF WALL
UTIL	UTILITY
UD	UNDERDRAIN
UGP	UNDERGROUND POWER
VC	VERTICAL CURVE
W	WEST, WATER
W2	SECONDARY WATER
WL	WATERLINE
WM	WORK METER
WP	WORK POINT

Last Printed: 11/7/2016 2:28:13 PM

POWER
TELEPHONE & TV
GAS
SEWER
WATER
IRRIGATION

TWO WORKING DAYS BEFORE YOU DIG CALL

1-800-662-4111
UTAH TOLL FREE OR
801-208-2100
SALT LAKE
IT'S THE LAW TO CALL

H&A Entellus
PROJECT #1061009

181 North 200 West, Suite #4
Bountiful, Utah 84010
Phone 801-298-2236
Fax 801-298-5983

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME:

KBR ROOFING
NEW ADDITION PHASE 1

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION

OWNER PROJECT #: ----
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE
COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:

LEGEND &
ABBREVIATIONS

SHEET NUMBER:

CE-101

ACCESSIBLE AREA CONSTRAINTS

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

ACCESSIBLE PARKING:
 MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

ACCESSIBLE ROUTE:
 MINIMUM WIDTH OF 48". MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE. MAXIMUM CROSS-SLOPE OF 1:48 (2%) IN ANY DIRECTION.

ACCESS ROUTE TURNAROUNDS:
 A CLEAR 60" TURNING DIAMETER. MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

LEVEL LANDING / EXTERIOR DOOR LANDING:
 MINIMUM SIZE OF 60"x60". MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

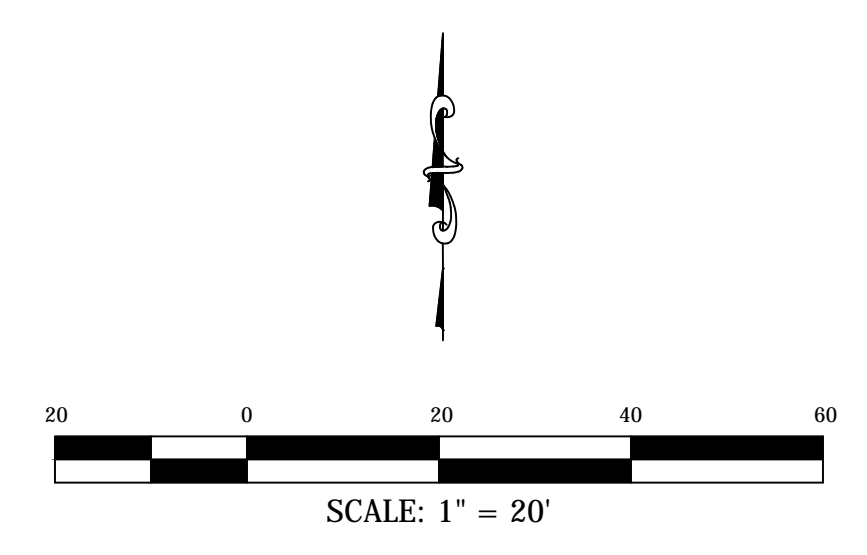
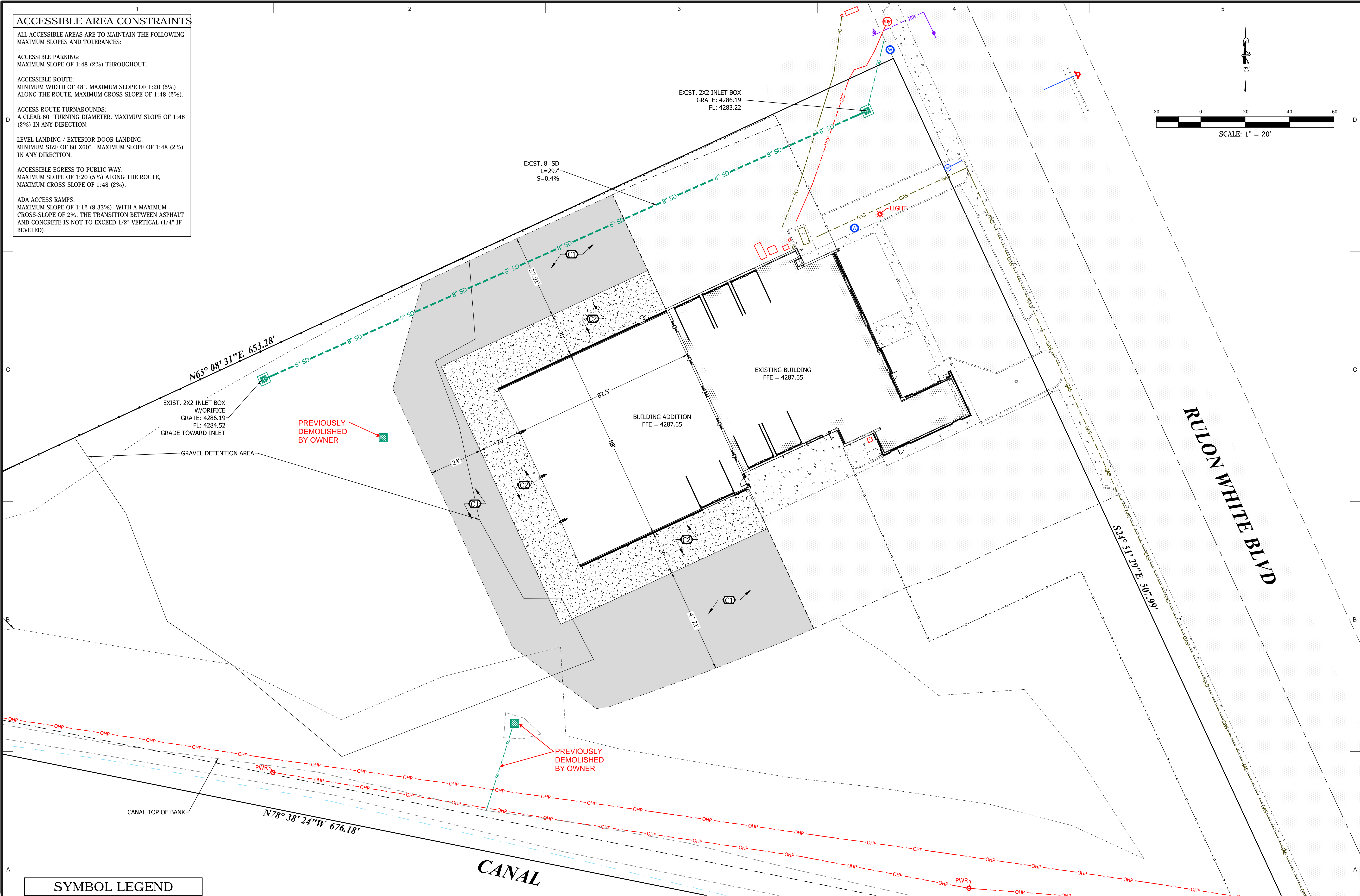
ACCESSIBLE EGRESS TO PUBLIC WAY:
 MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE. MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ADA ACCESS RAMPS:
 MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).

SYMBOL LEGEND

	ASPHALT & BASE PER DETAIL C1, SHEET CE-105
	CONCRETE PAD PER DETAIL C2, SHEET CE-105

ALL ITEMS WITHIN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.



ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com

PROFESSIONAL STAMP

11/2/17
 No. 189586
 SCOTT T. ARGYE
 STATE OF UTAH

CODE OFFICIAL STAMP

PROJECT NAME:
 KBR ROOFING
 NEW ADDITION PHASE 1

1871 N RULON WHITE BLVD.
 OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION

OWNER PROJECT #: -----
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:
 SITE PLAN

SHEET NUMBER:
 CE-103



181 North 200 West, Suite #4
 Bountiful, Utah 84010
 Phone 801-298-2236
 Fax 801-298-5983

ACCESSIBLE AREA CONSTRAINTS

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

ACCESSIBLE PARKING:
MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

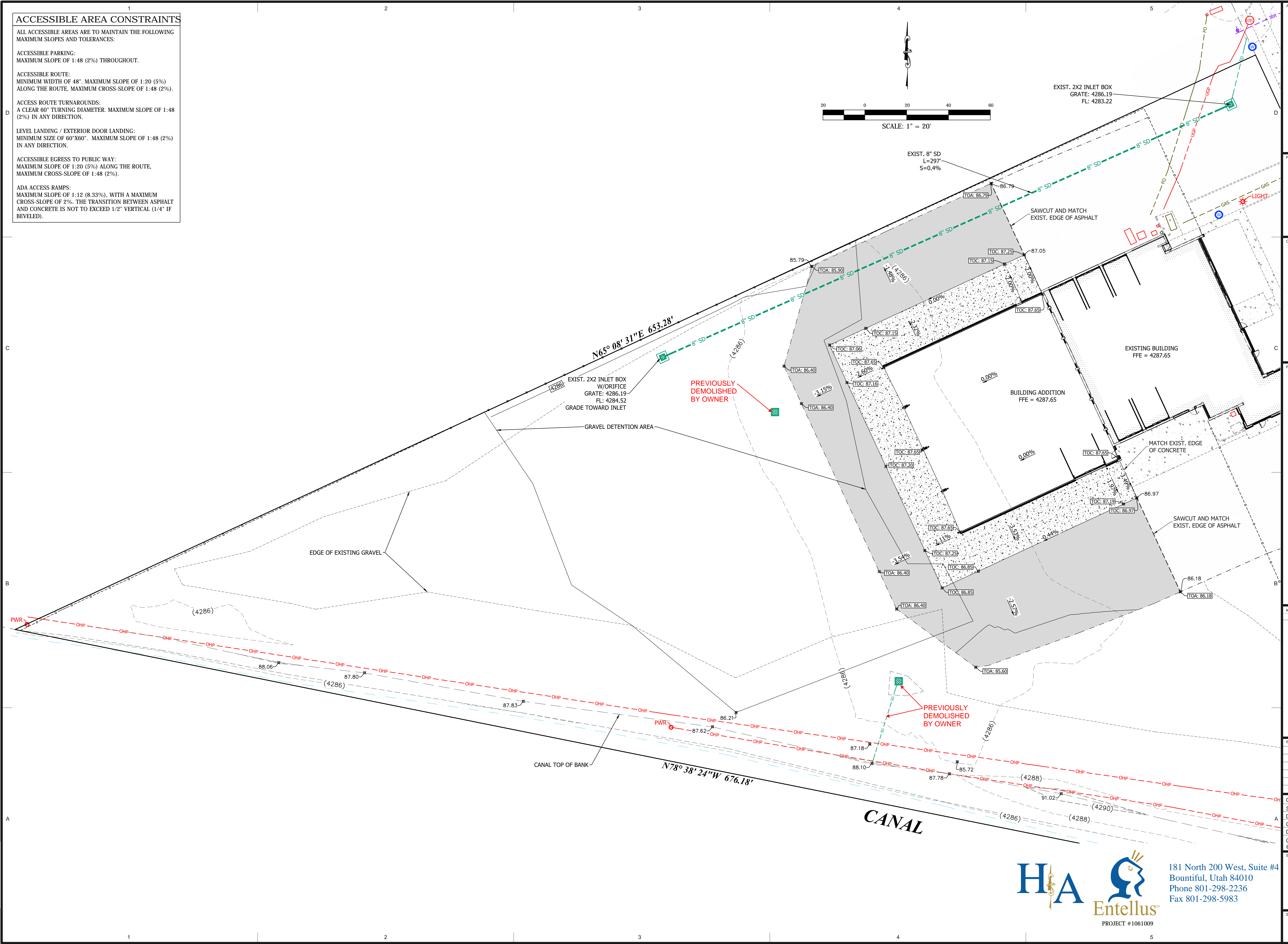
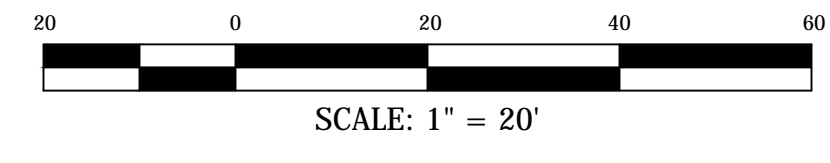
ACCESSIBLE ROUTE:
MINIMUM WIDTH OF 48". MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE. MAXIMUM CROSS-SLOPE OF 1:48 (2%)

ACCESS ROUTE TURNAROUNDS:
A CLEAR 60" TURNING DIAMETER. MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

LEVEL LANDING / EXTERIOR DOOR LANDING:
MINIMUM SIZE OF 60"x60". MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

ACCESSIBLE EGRESS TO PUBLIC WAY:
MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE. MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ADA ACCESS RAMPS:
MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).



ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE 1**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION

OWNER PROJECT #: -----
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:
GRADING PLAN

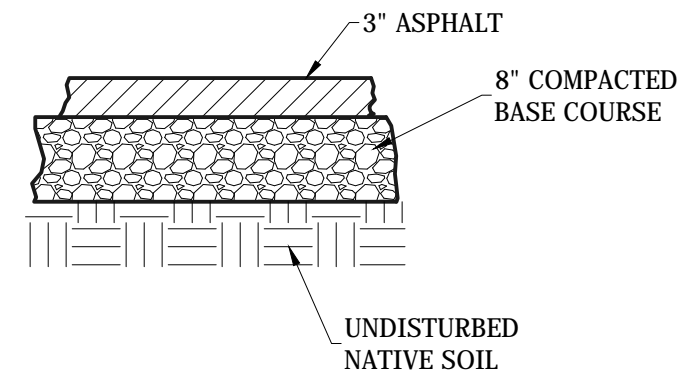
SHEET NUMBER:
CE-104

181 North 200 West, Suite #4
Bountiful, Utah 84010
Phone 801-298-2236
Fax 801-298-5983

PROJECT #1061009

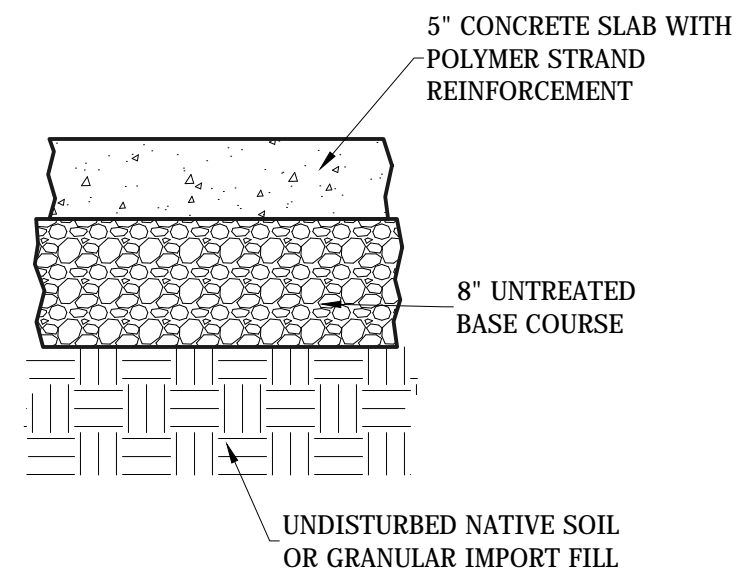
Last Printed: 11/7/2016 2:28:13 PM

NOTES
 1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
 2. PLACE MATERIAL PER APWA SECTION 32 05 10.



PRIVATE ASPHALT SECTION
 C1
 CE-105 TYPICAL
 N.T.S.

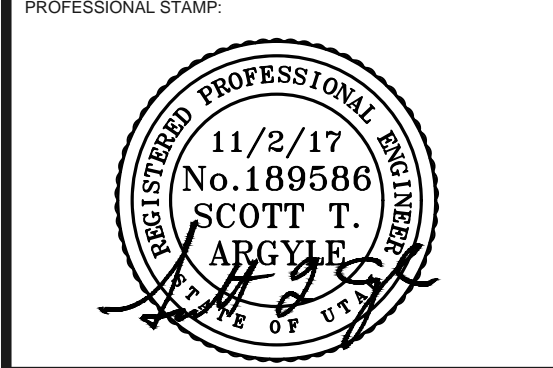
NOTES
 1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
 2. CONCRETE IS TO BE 4,000 PSI TEST.
 3. CONTROL JOINTS AT NO MORE THAN 10' INTERVALS BOTH WAYS.
 4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



PRIVATE CONCRETE PAVING SLAB SECTION
 C2
 CE-105 TYPICAL
 N.T.S.

ARCHITECT'S INFORMATION

ARCHITECT
 SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1-801-298-1368 - 1-801-298-2192
 info@spe-architect.com
 www.spe-architect.com



CODE OFFICIAL STAMP:

PROJECT NAME:
**KBR ROOFING
 NEW ADDITION PHASE 1**
 1871 N. RULON WHITE BLVD.
 OGDEN, UT 84404

REVISIONS:	
NO.	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION

OWNER PROJECT #: ----
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE

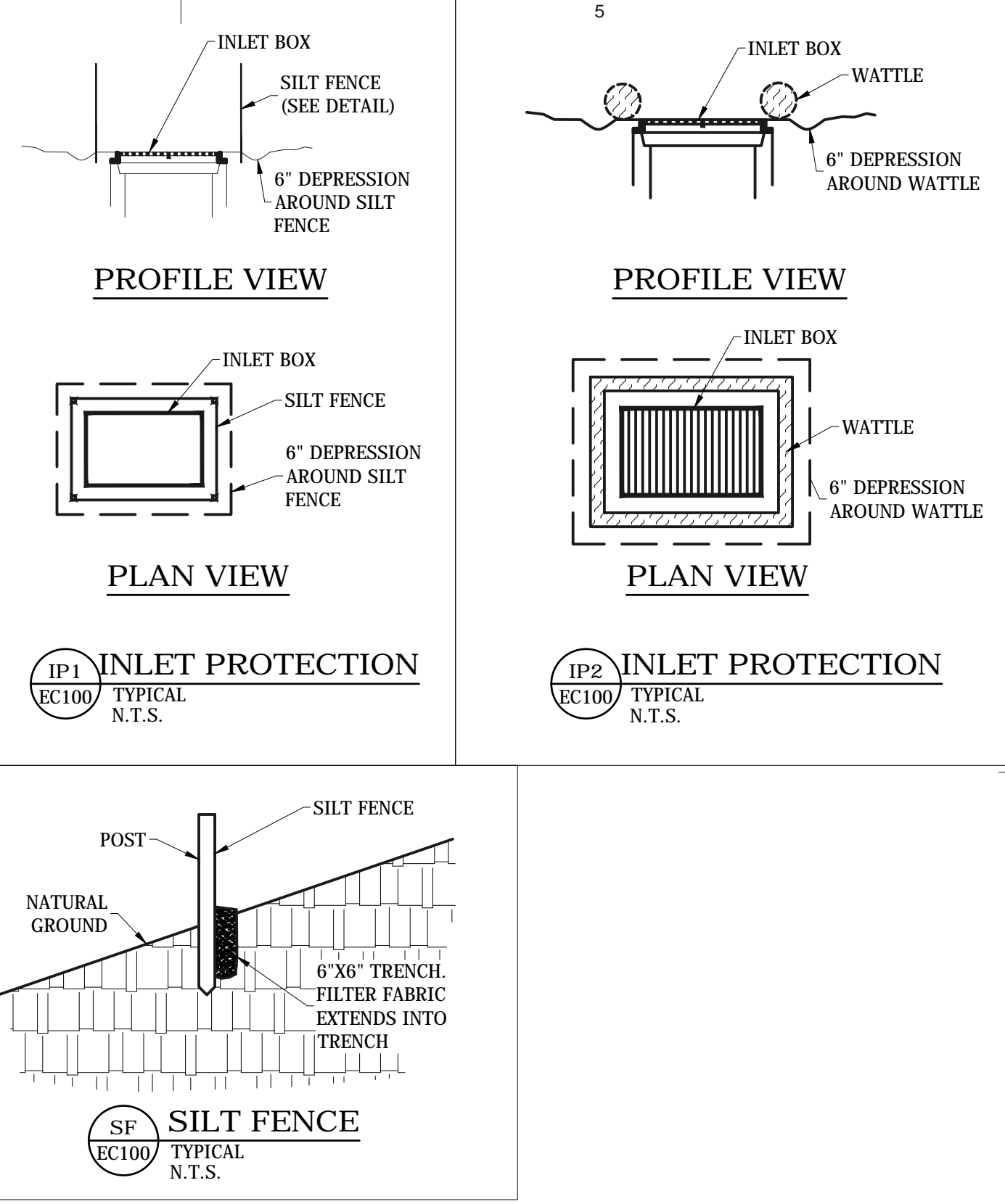
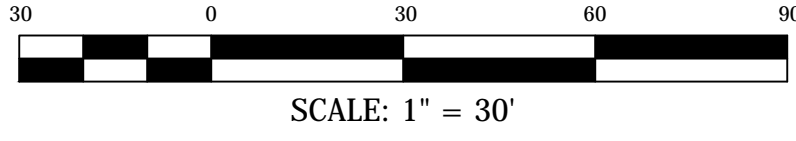
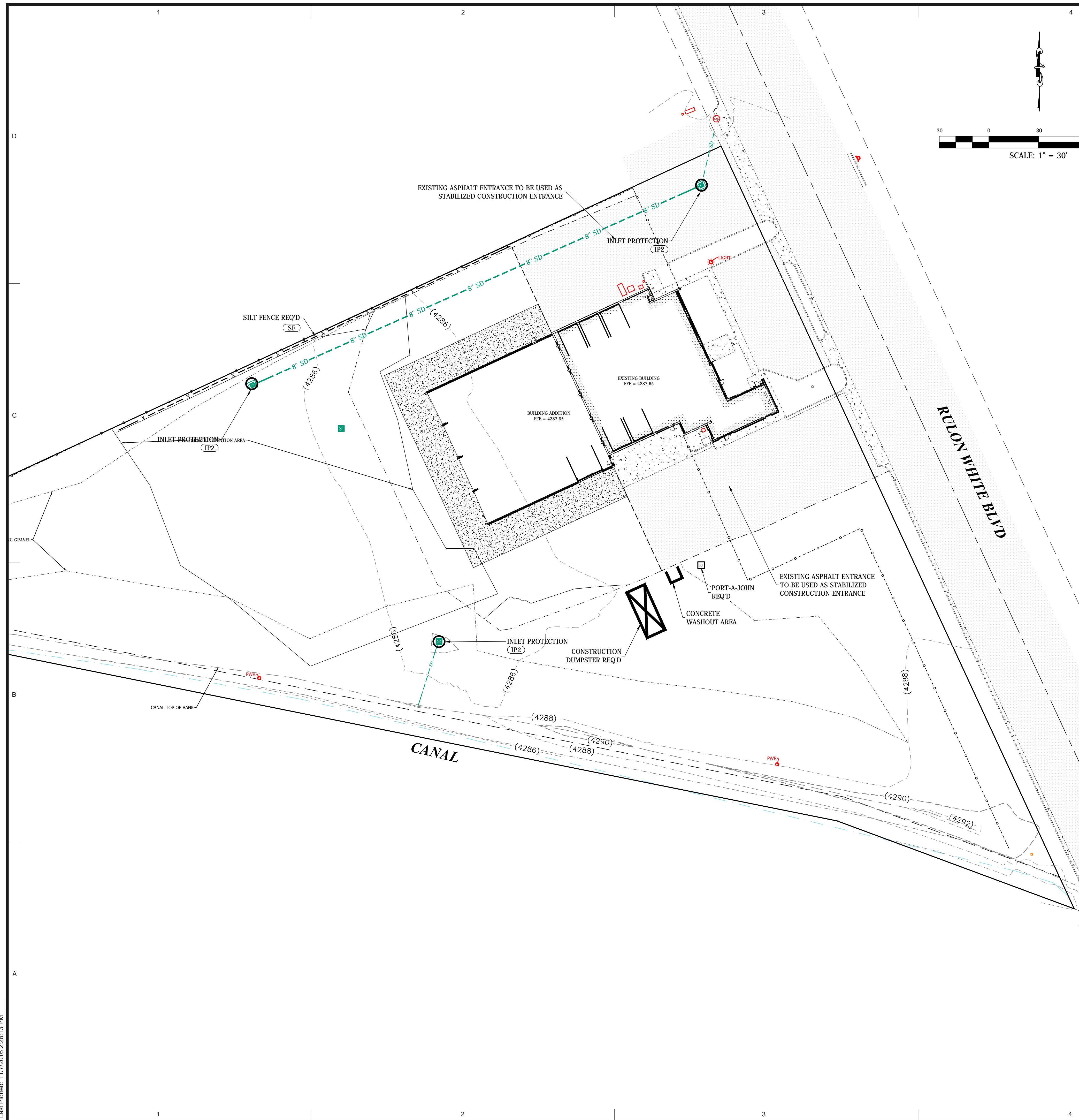
COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:
DETAILS

SHEET NUMBER:
CE-105



181 North 200 West, Suite #4
 Bountiful, Utah 84010
 Phone 801-298-2236
 Fax 801-298-5983



CONSTRUCTION NOTES:

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.

CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.

CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.

CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.

ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.

ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.

A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.

A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE EXCESS DIRT.

INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROJECT WARRANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.

ARCHITECT'S INFORMATION:

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP:

REGISTERED PROFESSIONAL ENGINEER
11/2/17
No. 189586
SCOTT T. ARGYE
STATE OF UTAH

CODE OFFICIAL STAMP:

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE 1**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION

OWNER PROJECT #: ----
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:

EROSION CONTROL PLAN

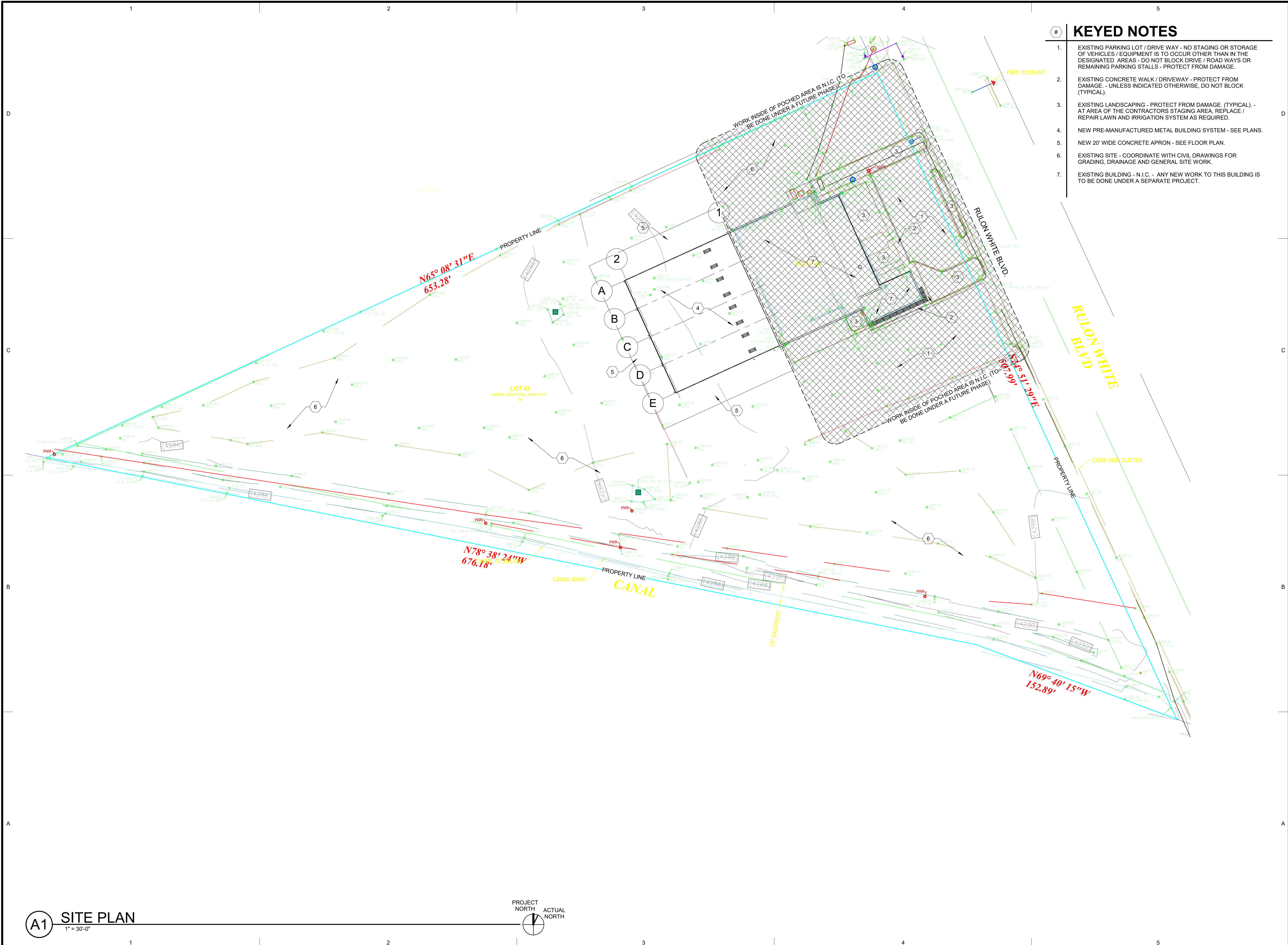
SHEET NUMBER:

CE-106

181 North 200 West, Suite #4
Bountiful, Utah 84010
Phone 801-298-2236
Fax 801-298-5983

PROJECT #1061009

Last Printed: 11/7/2016 2:28:13 PM



- ### # KEYED NOTES
- EXISTING PARKING LOT / DRIVE WAY - NO STAGING OR STORAGE OF VEHICLES / EQUIPMENT IS TO OCCUR OTHER THAN IN THE DESIGNATED AREAS - DO NOT BLOCK DRIVE / ROAD WAYS OR REMAINING PARKING STALLS - PROTECT FROM DAMAGE.
 - EXISTING CONCRETE WALK / DRIVEWAY - PROTECT FROM DAMAGE - UNLESS INDICATED OTHERWISE, DO NOT BLOCK (TYPICAL).
 - EXISTING LANDSCAPING - PROTECT FROM DAMAGE. (TYPICAL) - AT AREA OF THE CONTRACTORS STAGING AREA, REPLACE / REPAIR LAWN AND IRRIGATION SYSTEM AS REQUIRED.
 - NEW PRE-MANUFACTURED METAL BUILDING SYSTEM - SEE PLANS.
 - NEW 20' WIDE CONCRETE APRON - SEE FLOOR PLAN.
 - EXISTING SITE - COORDINATE WITH CIVIL DRAWINGS FOR GRADING, DRAINAGE AND GENERAL SITE WORK.
 - EXISTING BUILDING - N.I.C. - ANY NEW WORK TO THIS BUILDING IS TO BE DONE UNDER A SEPARATE PROJECT.

ARCHITECT'S INFORMATION

SCOTT P. EVANS & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com

PROFESSIONAL STAMP

STATE OF UTAH
 SCOTT P. EVANS
 NO. 118114
 11/2/17
 PROFESSIONAL ARCHITECT

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
 NEW ADDITION PHASE I**

1871 N RULON WHITE BLVD.
 OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: -----
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE

COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT

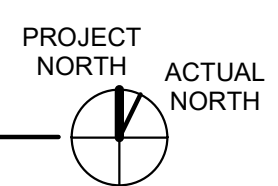
SHEET TITLE

SITE PLAN

SHEET NUMBER

AS-101

A1 SITE PLAN
 1" = 30'-0"



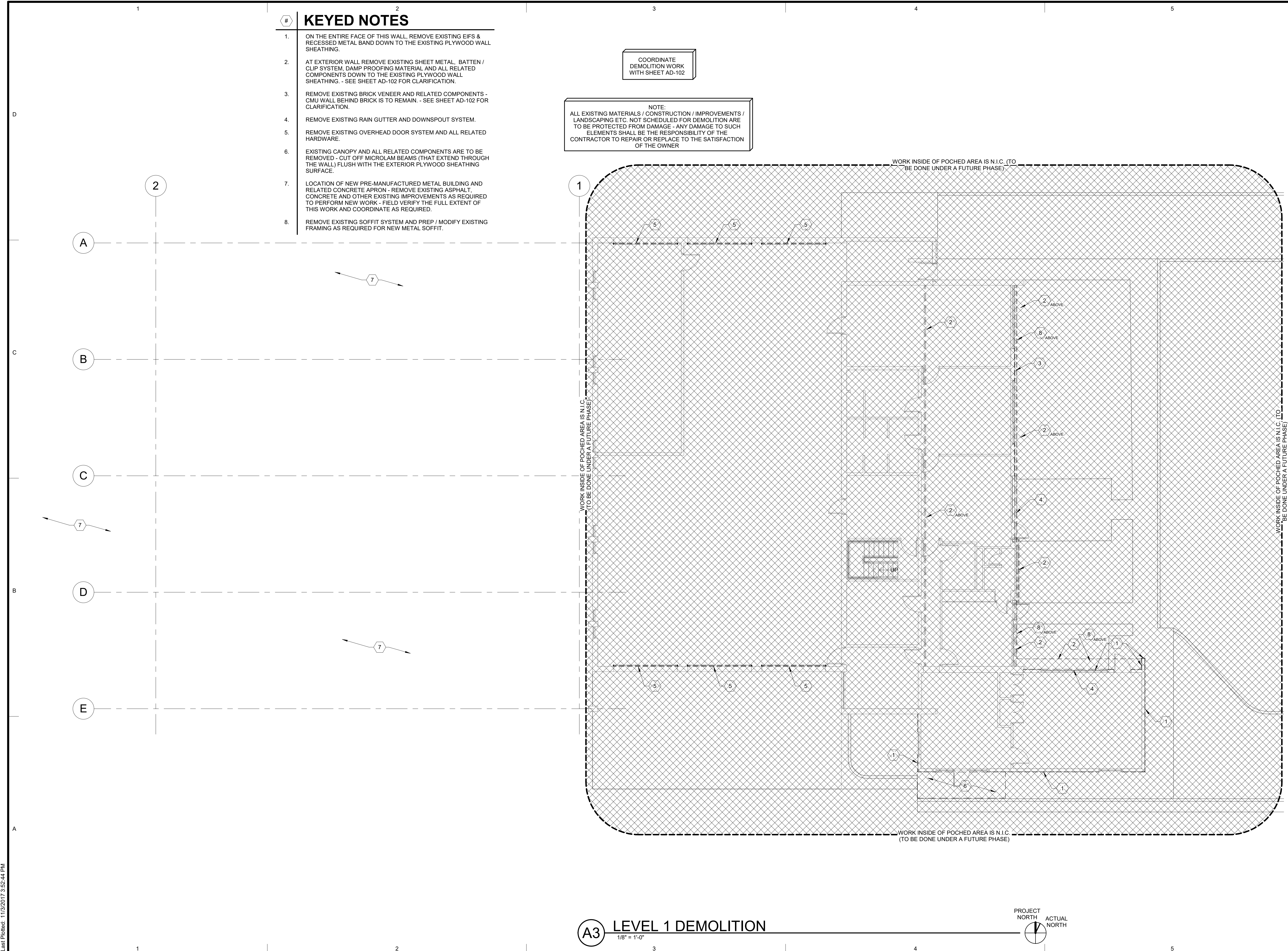
Last Plotted: 11/3/2017 3:53:18 PM

KEYED NOTES

1. ON THE ENTIRE FACE OF THIS WALL, REMOVE EXISTING EIFS & RECESSED METAL BAND DOWN TO THE EXISTING PLYWOOD WALL SHEATHING.
2. AT EXTERIOR WALL REMOVE EXISTING SHEET METAL, BATTEN / CLIP SYSTEM, DAMP PROOFING MATERIAL AND ALL RELATED COMPONENTS DOWN TO THE EXISTING PLYWOOD WALL SHEATHING. - SEE SHEET AD-102 FOR CLARIFICATION.
3. REMOVE EXISTING BRICK VENEER AND RELATED COMPONENTS - CMU WALL BEHIND BRICK IS TO REMAIN. - SEE SHEET AD-102 FOR CLARIFICATION.
4. REMOVE EXISTING RAIN GUTTER AND DOWNSPOUT SYSTEM.
5. REMOVE EXISTING OVERHEAD DOOR SYSTEM AND ALL RELATED HARDWARE.
6. EXISTING CANOPY AND ALL RELATED COMPONENTS ARE TO BE REMOVED - CUT OFF MICROLAM BEAMS (THAT EXTEND THROUGH THE WALL) FLUSH WITH THE EXTERIOR PLYWOOD SHEATHING SURFACE.
7. LOCATION OF NEW PRE-MANUFACTURED METAL BUILDING AND RELATED CONCRETE APRON - REMOVE EXISTING ASPHALT, CONCRETE AND OTHER EXISTING IMPROVEMENTS AS REQUIRED TO PERFORM NEW WORK - FIELD VERIFY THE FULL EXTENT OF THIS WORK AND COORDINATE AS REQUIRED.
8. REMOVE EXISTING SOFFIT SYSTEM AND PREP / MODIFY EXISTING FRAMING AS REQUIRED FOR NEW METAL SOFFIT.

COORDINATE DEMOLITION WORK WITH SHEET AD-102

NOTE:
ALL EXISTING MATERIALS / CONSTRUCTION / IMPROVEMENTS / LANDSCAPING ETC. NOT SCHEDULED FOR DEMOLITION ARE TO BE PROTECTED FROM DAMAGE - ANY DAMAGE TO SUCH ELEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE TO THE SATISFACTION OF THE OWNER




ARCHITECT'S INFORMATION:



SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP:



CODE OFFICIAL STAMP:

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/22/2017	CONSTRUCTION BID DRAWINGS

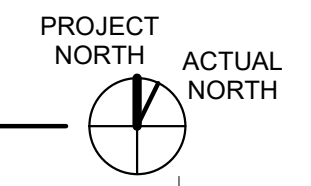
OWNER PROJECT #: -----
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

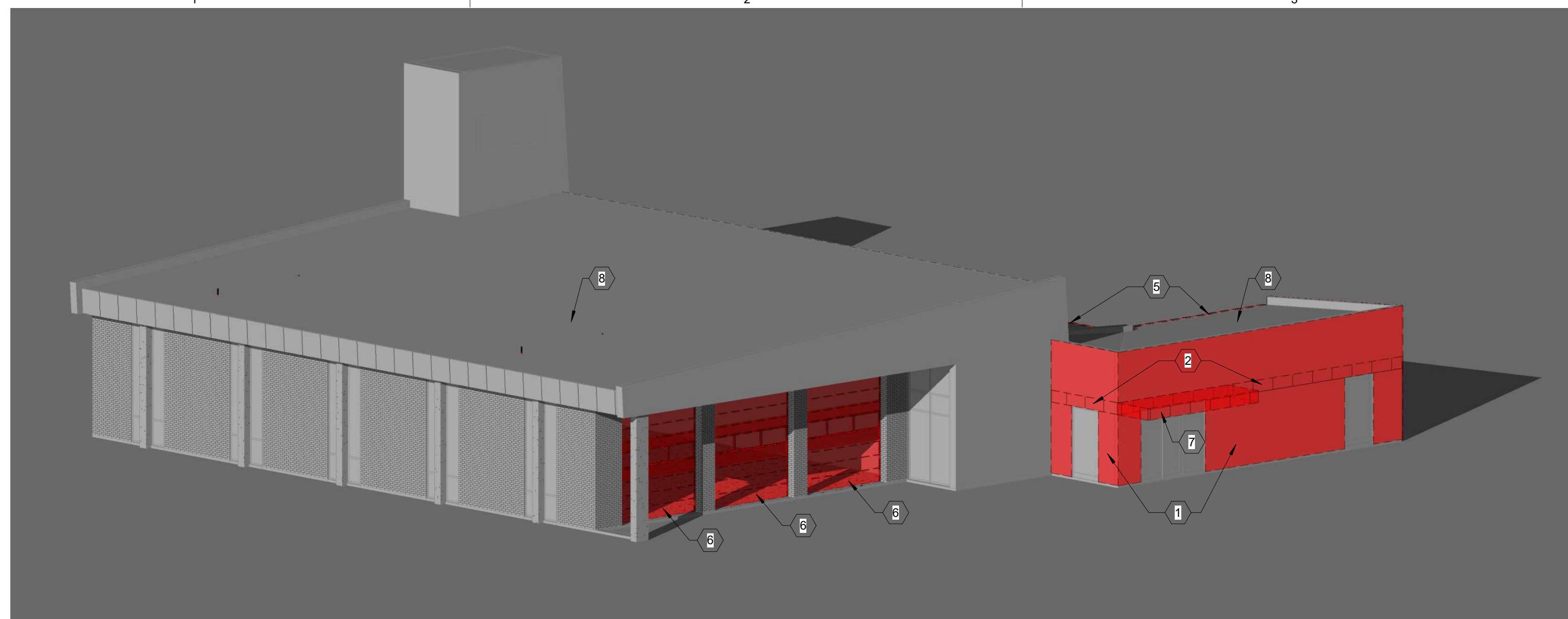
COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:
**DEMOLITION
PLAN**

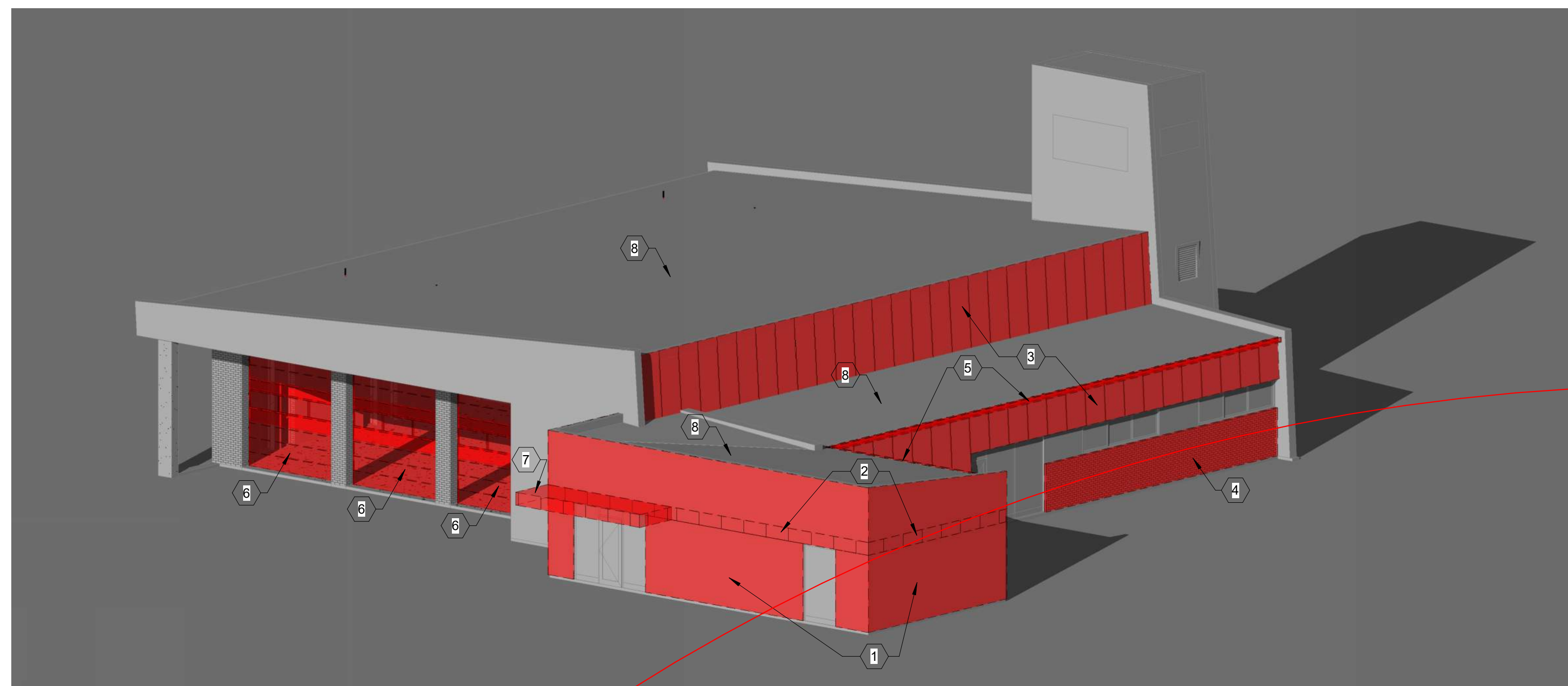
SHEET NUMBER:
AD-101

A3 LEVEL 1 DEMOLITION
1/8" = 1'-0"

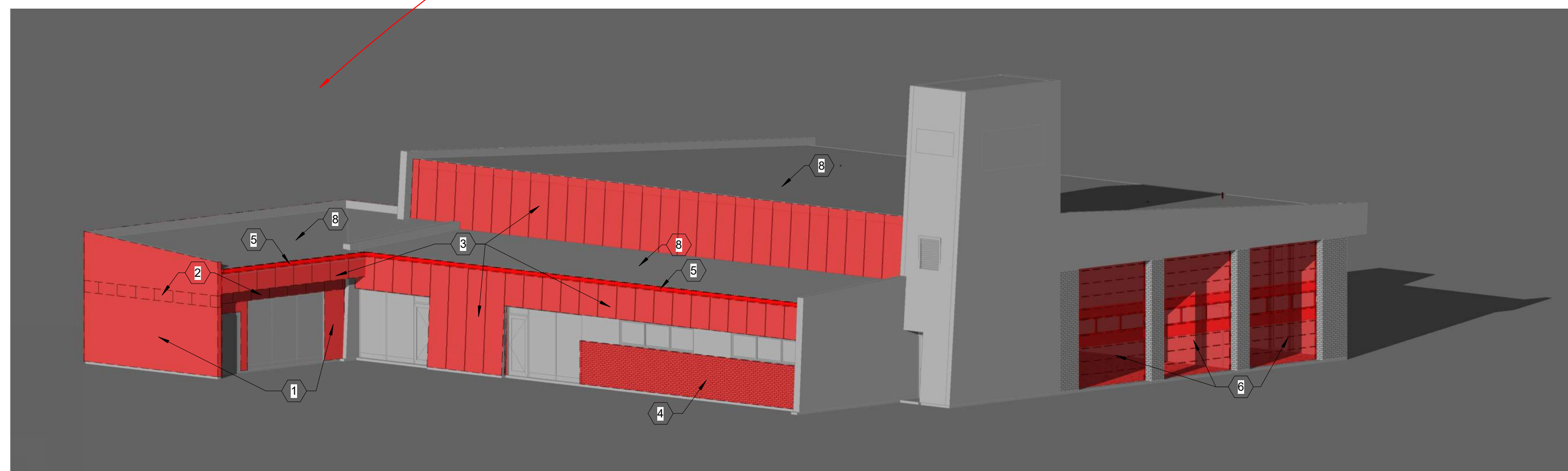




C1 DEMOLITION - SOUTH WEST VIEW
12" = 1'-0"



B1 DEMOLITION - SOUTH EAST VIEW
12" = 1'-0"



A1 DEMOLITION - NORTH EAST VIEW
12" = 1'-0"

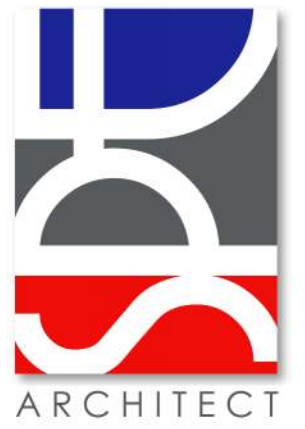
KEYED NOTES

1. ON THE ENTIRE FACE OF THIS WALL, REMOVE EXISTING EIFS SYSTEM DOWN TO THE EXISTING PLYWOOD WALL SHEATHING.
2. REMOVE EXISTING RECESSED METAL BAND AND ANY RELATED MATERIALS DOWN TO THE EXISTING PLYWOOD WALL SHEATHING.
3. REMOVE EXISTING SHEET METAL, BATTEN / CLIP SYSTEM, DAMP PROOFING MATERIAL AND ALL RELATED COMPONENTS DOWN TO THE EXISTING PLYWOOD WALL SHEATHING.
4. REMOVE EXISTING BRICK VENEER AND RELATED COMPONENTS - CMU WALL BEHIND BRICK IS TO REMAIN.
5. REMOVE EXISTING RAIN GUTTER AND DOWNSPOUT SYSTEM.
6. REMOVE EXISTING OVERHEAD DOOR SYSTEM AND ALL RELATED HARDWARE.
7. EXISTING CANOPY AND ALL RELATED COMPONENTS ARE TO BE REMOVED - CUT OFF MICROLAM BEAMS THAT EXTEND THROUGH THE WALL) FLUSH WITH THE EXTERIOR PLYWOOD SHEATHING SURFACE.
8. EXISTING ROOFING SYSTEM IS TO BE REMOVED DOWN TO THE EXISTING DECK - COORDINATE WITH ROOF PLAN AND RELATED DETAILS.

COORDINATE
DEMOLITION WORK
WITH SHEET AD-101

ALL WORK ON THIS SHEET IS N.I.C. (TO
BE DONE UNDER A FUTURE PHASE)

ARCHITECT'S INFORMATION:



SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP:



CODE OFFICIAL STAMP:

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RUI-LON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION
#1	11/22/2017	CONSTRUCTION BID DRAWINGS

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/22/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #:

SPE PROJECT #: 17-04

DRAWN BY: GTE

CHECKED BY: SPE

DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

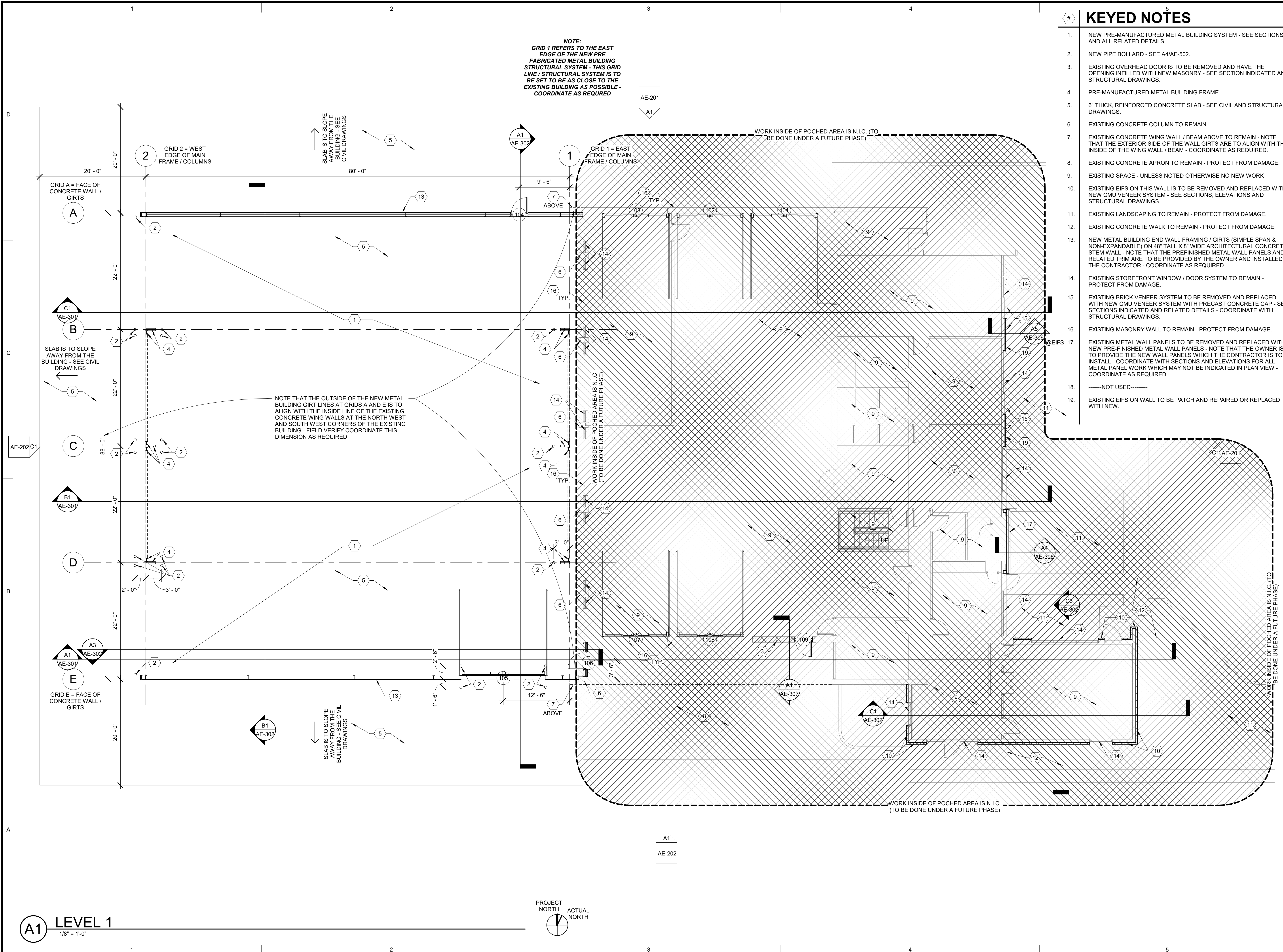
SHEET TITLE:

**DEMOLITION
VIEWS**

SHEET NUMBER:

AD-102

NOTE:
 GRID 1 REFERS TO THE EAST
 EDGE OF THE NEW PRE
 FABRICATED METAL BUILDING
 STRUCTURAL SYSTEM - THIS GRID
 LINE / STRUCTURAL SYSTEM IS TO
 BE SET TO BE AS CLOSE TO THE
 EXISTING BUILDING AS POSSIBLE -
 COORDINATE AS REQUIRED



- ### # KEYED NOTES
- NEW PRE-MANUFACTURED METAL BUILDING SYSTEM - SEE SECTIONS AND ALL RELATED DETAILS.
 - NEW PIPE BOLLARD - SEE A4/AE-502.
 - EXISTING OVERHEAD DOOR IS TO BE REMOVED AND HAVE THE OPENING INFILLED WITH NEW MASONRY - SEE SECTION INDICATED AND STRUCTURAL DRAWINGS.
 - PRE-MANUFACTURED METAL BUILDING FRAME.
 - 6" THICK REINFORCED CONCRETE SLAB - SEE CIVIL AND STRUCTURAL DRAWINGS.
 - EXISTING CONCRETE COLUMN TO REMAIN.
 - EXISTING CONCRETE WING WALL / BEAM ABOVE TO REMAIN - NOTE THAT THE EXTERIOR SIDE OF THE WALL GIRTS ARE TO ALIGN WITH THE INSIDE OF THE WING WALL / BEAM - COORDINATE AS REQUIRED.
 - EXISTING CONCRETE APRON TO REMAIN - PROTECT FROM DAMAGE.
 - EXISTING SPACE - UNLESS NOTED OTHERWISE NO NEW WORK
 - EXISTING EIFS ON THIS WALL IS TO BE REMOVED AND REPLACED WITH A NEW CMU VENEER SYSTEM - SEE SECTIONS, ELEVATIONS AND STRUCTURAL DRAWINGS.
 - EXISTING LANDSCAPING TO REMAIN - PROTECT FROM DAMAGE.
 - EXISTING CONCRETE WALK TO REMAIN - PROTECT FROM DAMAGE.
 - NEW METAL BUILDING END WALL FRAMING / GIRTS (SIMPLE SPAN & NON-EXPANDABLE) ON 48" TALL X 8" WIDE ARCHITECTURAL CONCRETE STEM WALL - NOTE THAT THE PREFINISHED METAL WALL PANELS AND RELATED TRIM ARE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR - COORDINATE AS REQUIRED.
 - EXISTING STOREFRONT WINDOW / DOOR SYSTEM TO REMAIN - PROTECT FROM DAMAGE.
 - EXISTING BRICK VENEER SYSTEM TO BE REMOVED AND REPLACED WITH NEW CMU VENEER SYSTEM WITH PRECAST CONCRETE CAP - SEE SECTIONS INDICATED AND RELATED DETAILS - COORDINATE WITH STRUCTURAL DRAWINGS.
 - EXISTING MASONRY WALL TO REMAIN - PROTECT FROM DAMAGE.
 - EXISTING METAL WALL PANELS TO BE REMOVED AND REPLACED WITH NEW PRE-FINISHED METAL WALL PANELS - NOTE THAT THE OWNER IS TO INSTALL - COORDINATE WITH SECTIONS AND ELEVATIONS FOR ALL METAL PANEL WORK WHICH MAY NOT BE INDICATED IN PLAN VIEW - COORDINATE AS REQUIRED.
 - EXISTING EIFS ON WALL TO BE PATCH AND REPAIRED OR REPLACED WITH NEW.

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
 NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
 OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: _____
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE

COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT

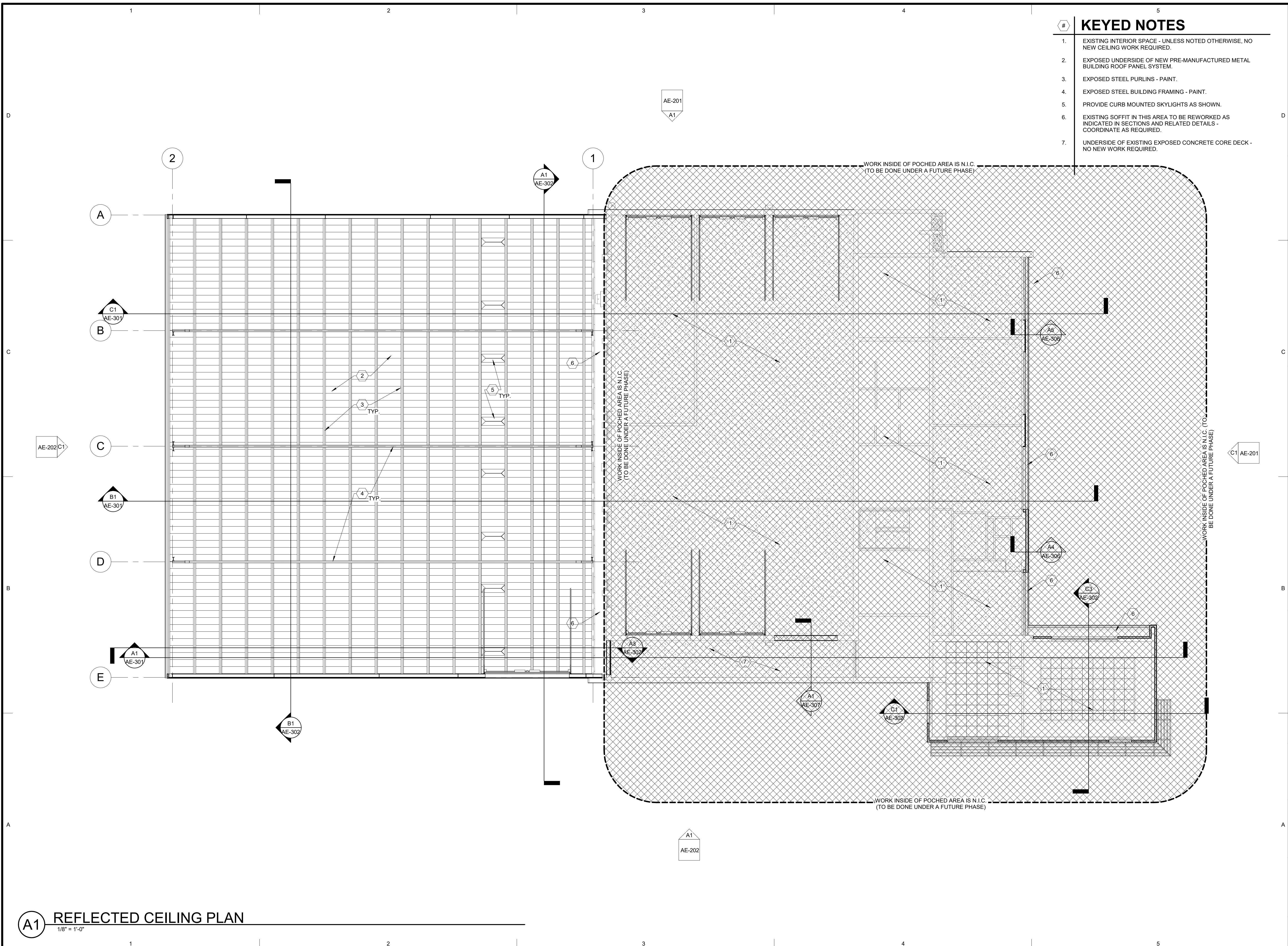
SHEET TITLE

FLOOR PLAN

SHEET NUMBER

AE-101

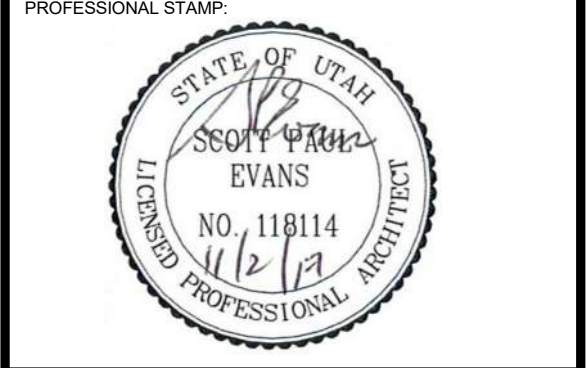
Last Plotted: 11/03/2017 3:52:49 PM



- KEYED NOTES**
- EXISTING INTERIOR SPACE - UNLESS NOTED OTHERWISE, NO NEW CEILING WORK REQUIRED.
 - EXPOSED UNDERSIDE OF NEW PRE-MANUFACTURED METAL BUILDING ROOF PANEL SYSTEM.
 - EXPOSED STEEL PURLINS - PAINT.
 - EXPOSED STEEL BUILDING FRAMING - PAINT.
 - PROVIDE CURB MOUNTED SKYLIGHTS AS SHOWN.
 - EXISTING SOFFIT IN THIS AREA TO BE REWORKED AS INDICATED IN SECTIONS AND RELATED DETAILS - COORDINATE AS REQUIRED.
 - UNDERSIDE OF EXISTING EXPOSED CONCRETE CORE DECK - NO NEW WORK REQUIRED.

ARCHITECT'S INFORMATION:

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com



CODE OFFICIAL STAMP:

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/2/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: -----
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE
 COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:

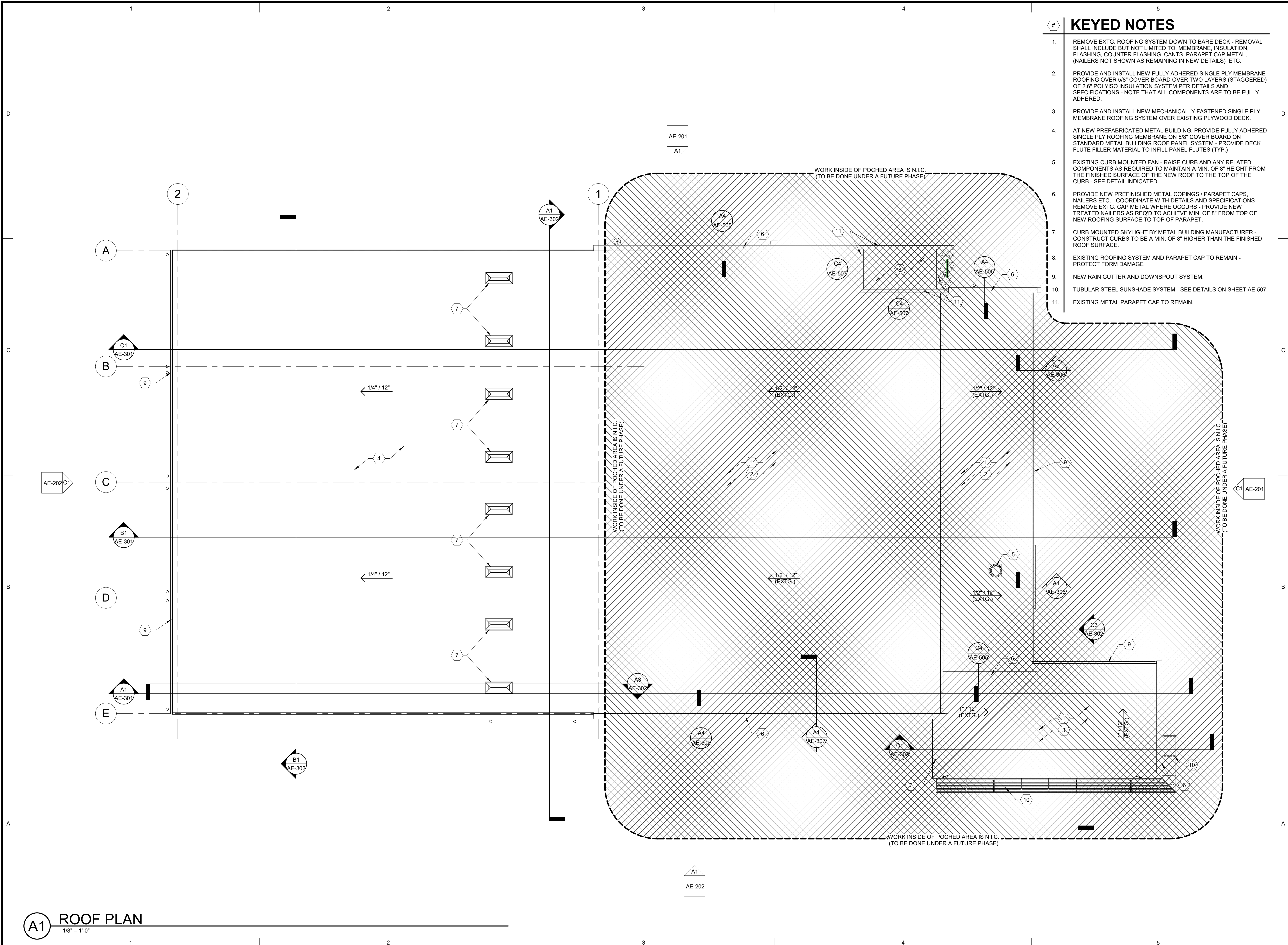
**REFLECTED
CEILING PLAN**

SHEET NUMBER:

AE-102

A1 REFLECTED CEILING PLAN
1/8" = 1'-0"

Last Plotted: 11/02/2017 3:52:51 PM




- ### # KEYED NOTES
- REMOVE EXTG. ROOFING SYSTEM DOWN TO BARE DECK - REMOVAL SHALL INCLUDE BUT NOT LIMITED TO, MEMBRANE, INSULATION, FLASHING, COUNTER FLASHING, CANTS, PARAPET CAP METAL, (NAILERS NOT SHOWN AS REMAINING IN NEW DETAILS) ETC.
 - PROVIDE AND INSTALL NEW FULLY ADHERED SINGLE PLY MEMBRANE ROOFING OVER 5/8" COVER BOARD OVER TWO LAYERS (STAGGERED) OF 2.6" POLYISO INSULATION SYSTEM PER DETAILS AND SPECIFICATIONS - NOTE THAT ALL COMPONENTS ARE TO BE FULLY ADHERED.
 - PROVIDE AND INSTALL NEW MECHANICALLY FASTENED SINGLE PLY MEMBRANE ROOFING SYSTEM OVER EXISTING PLYWOOD DECK.
 - AT NEW PREFABRICATED METAL BUILDING, PROVIDE FULLY ADHERED SINGLE PLY ROOFING MEMBRANE ON 5/8" COVER BOARD ON STANDARD METAL BUILDING ROOF PANEL SYSTEM - PROVIDE DECK FLUTE FILLER MATERIAL TO INFILL PANEL FLUTES (TYP.)
 - EXISTING CURB MOUNTED FAN - RAISE CURB AND ANY RELATED COMPONENTS AS REQUIRED TO MAINTAIN A MIN. OF 8" HEIGHT FROM THE FINISHED SURFACE OF THE NEW ROOF TO THE TOP OF THE CURB - SEE DETAIL INDICATED.
 - PROVIDE NEW PREFINISHED METAL COPINGS / PARAPET CAPS, NAILERS ETC. - COORDINATE WITH DETAILS AND SPECIFICATIONS - REMOVE EXTG. CAP METAL WHERE OCCURS - PROVIDE NEW TREATED NAILERS AS REQ'D TO ACHIEVE MIN. OF 8" FROM TOP OF NEW ROOFING SURFACE TO TOP OF PARAPET.
 - CURB MOUNTED SKYLIGHT BY METAL BUILDING MANUFACTURER - CONSTRUCT CURBS TO BE A MIN. OF 8" HIGHER THAN THE FINISHED ROOF SURFACE.
 - EXISTING ROOFING SYSTEM AND PARAPET CAP TO REMAIN - PROTECT FORM DAMAGE
 - NEW RAIN GUTTER AND DOWNSPOUT SYSTEM.
 - TUBULAR STEEL SUNSHADE SYSTEM - SEE DETAILS ON SHEET AE-103.
 - EXISTING METAL PARAPET CAP TO REMAIN.

ARCHITECT'S INFORMATION



SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com

PROFESSIONAL STAMP



CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS

NO.	DATE	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/22/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: -----
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE

COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE

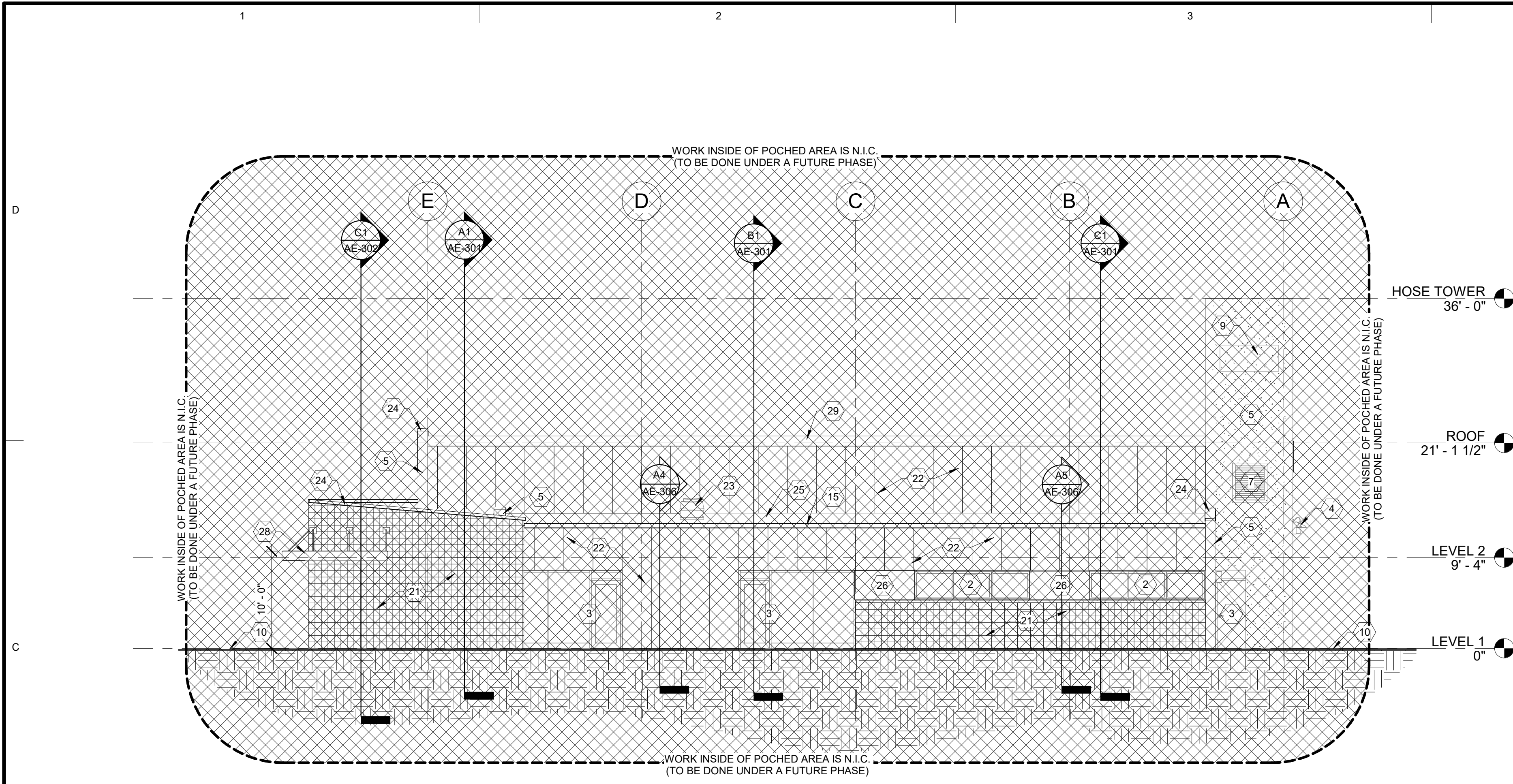
ROOF PLAN

SHEET NUMBER

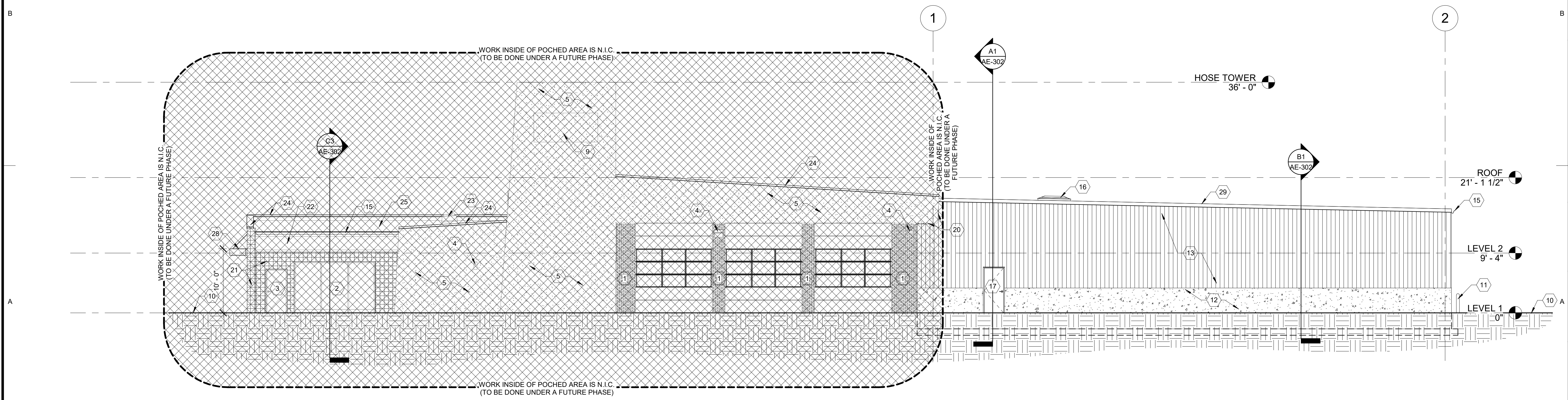
AE-103

A1 ROOF PLAN
1/8" = 1'-0"

Last Plotted: 11/20/2017 3:52:52 PM



C1 EAST ELEVATION
1/8" = 1'-0"



A1 NORTH ELEVATION
1/8" = 1'-0"

KEYED NOTES COORD. WITH SHEETS AE-201 & AE-202

1. EXISTING BRICK / MASONRY WALL TO REMAIN - PROTECT FROM DAMAGE.
2. EXISTING WINDOW SYSTEM TO REMAIN - PROTECT FROM DAMAGE.
3. EXISTING DOOR TO REMAIN - PROTECT FROM DAMAGE.
4. EXISTING LIGHT FIXTURE TO REMAIN - PROTECT FROM DAMAGE.
5. EXISTING CONCRETE BEAM / WALL TO REMAIN - PROTECT FROM DAMAGE.
6. EXISTING CONCRETE COLUMN - PROTECT FROM DAMAGE.
7. EXISTING WALL VENT / LOUVER TO REMAIN - PROTECT FROM DAMAGE.
8. EXISTING POWERED WALL VENTILATOR / FAN TO REMAIN - PROTECT FROM DAMAGE.
9. EXISTING BUILDING SIGNAGE TO REMAIN - PROTECT FROM DAMAGE.
10. APPROXIMATE LINE OF FINISH GRADE - COORDINATE WITH CIVIL DRAWINGS.
11. NEW PAINTED PIPE BOLLARD - SEE A4/AE-502.
12. NEW 48" TALL x 8" WIDE ARCHITECTURAL CONCRETE WALL WITH EXPOSED CONE TIES - SEE STRUCTURAL DRAWINGS.
13. NEW PRE-MANUFACTURED METAL BUILDING WITH PRE-FINISHED METAL PANELS - NOTE THAT THE OWNER WILL PROVIDE THE PANELS THAT SHALL BE INSTALLED BY THE CONTRACTOR.
14. PRE-MANUFACTURED METAL BUILDING STEEL FRAMING - PAINT.
15. NEW RAIN GUTTER AND DOWNSPOUT SYSTEM.
16. NEW CURB MOUNTED SKYLIGHT SYSTEM.
17. NEW DOOR - SEE DOOR SCHEDULE.
18. NEW OVERHEAD DOOR AND OPERATOR - WHERE BEING INSTALLED IN EXISTING CONSTRUCTION, FIELD VERIFY ACTUAL EXISTING CONDITIONS PRIOR TO ORDERING DOOR.
19. NEW WALL INFILL IN THE EXISTING OVERHEAD DOOR OPENING - SEE DETAILS INDICATED.
20. METAL WALL PANELS AND RELATED TRIM IS TO BE INSTALLED AS TO FIT AROUND THE END OF THE EXISTING CONCRETE "WING WALL" - COORDINATE AS REQUIRED - SEAL ALL JOINTS BETWEEN NEW AND EXISTING MATERIALS.
21. NEW MASONRY VENEER SYSTEM ON EXISTING WALL FRAMING - SEE SECTIONS AND RELATED DETAILS - COORDINATE WITH THE STRUCTURAL DRAWINGS.
22. NEW PREFINISHED METAL WALL PANELING TO BE INSTALLED ON EXISTING WALL FRAMING - NOTE THAT THE OWNER WILL PROVIDE THE WALL PANELS WHICH THE CONTRACTOR SHALL INSTALL.
23. EXISTING ROOFTOP EXHAUST FAN TO REMAIN - PROTECT FROM DAMAGE.
24. NEW PREFINISHED METAL PARAPET WALL CAP - SEE SECTIONS AND RELATED DETAILS.
25. NEW ROOFING MATERIALS - SEE ROOF PLAN / SECTIONS AND RELATED DETAILS.
26. PATCH / REPAIR OR REPLACE EXISTING EIFS WHERE AFFECTED BY NEW WORK.
27. EXISTING LIGHT FIXTURE WILL CONFLICT WITH NEW WALL CONSTRUCTION - RELOCATE LIGHT - SEE ELECTRICAL DRAWINGS.
28. TUBULAR STEEL SUNSHADE SYSTEM - SEE DETAILS ON SHEET ????
29. PREFINISHED 24 GA. EDGE METAL - SEE SECTIONS AND RELATED DETAILS.

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #:

SPE PROJECT #: 17-04

DRAWN BY: GTE

CHECKED BY: SPE

DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

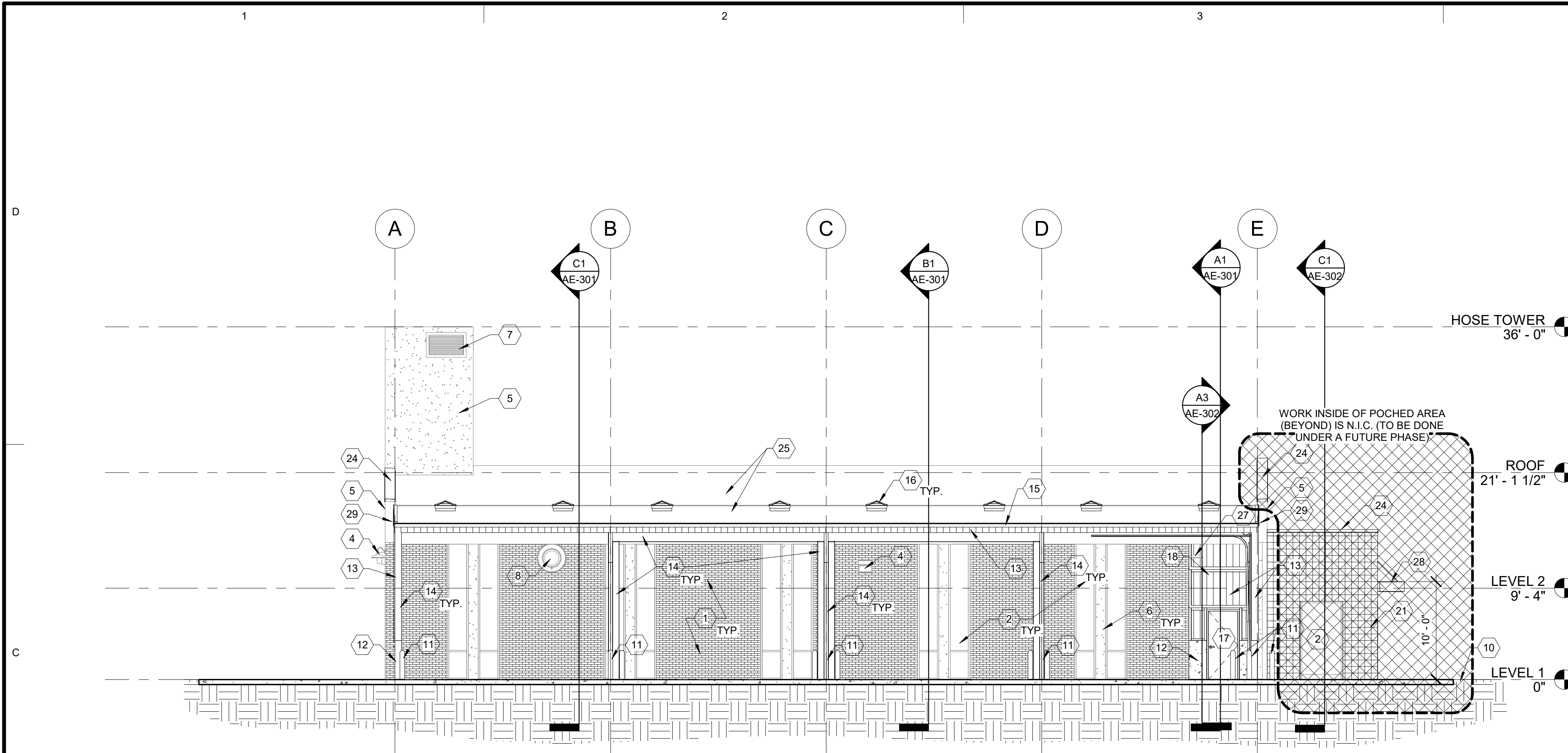
SHEET TITLE

**EXTERIOR
ELEVATIONS**

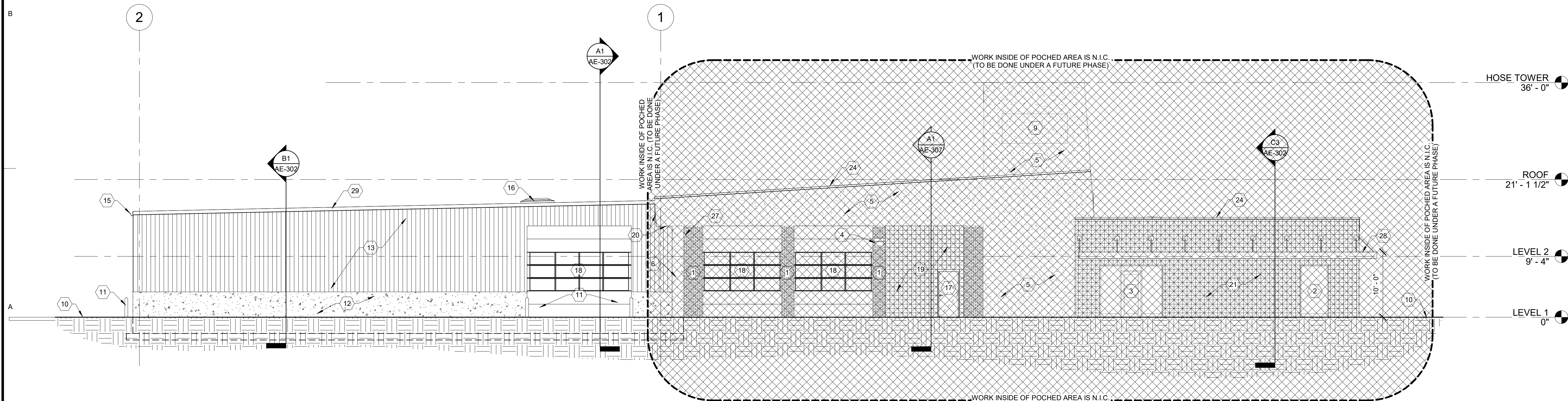
SHEET NUMBER

AE-201

Last Plotted: 11/03/2017 3:52:54 PM



C1 WEST ELEVATION
1/8" = 1'-0"



A1 SOUTH ELEVATION
1/8" = 1'-0"

KEYED NOTES COORD. WITH SHEETS AE-201 & AE-202

1. EXISTING BRICK / MASONRY WALL TO REMAIN - PROTECT FROM DAMAGE.
2. EXISTING WINDOW SYSTEM TO REMAIN - PROTECT FROM DAMAGE.
3. EXISTING DOOR TO REMAIN - PROTECT FROM DAMAGE.
4. EXISTING LIGHT FIXTURE TO REMAIN - PROTECT FROM DAMAGE.
5. EXISTING CONCRETE BEAM / WALL TO REMAIN - PROTECT FROM DAMAGE.
6. EXISTING CONCRETE COLUMN - PROTECT FROM DAMAGE.
7. EXISTING WALL VENT / LOUVER TO REMAIN - PROTECT FROM DAMAGE.
8. EXISTING POWERED WALL VENTILATOR / FAN TO REMAIN - PROTECT FROM DAMAGE.
9. EXISTING BUILDING SIGNAGE TO REMAIN - PROTECT FROM DAMAGE.
10. APPROXIMATE LINE OF FINISH GRADE - COORDINATE WITH CIVIL DRAWINGS.
11. NEW PAINTED PIPE BOLLARD - SEE A4/AE-502.
12. NEW 48" TALL x 8" WIDE ARCHITECTURAL CONCRETE WALL WITH EXPOSED COME TIES - SEE STRUCTURAL DRAWINGS.
13. NEW PRE-MANUFACTURED METAL BUILDING WITH PRE-FINISHED METAL PANELS - NOTE THAT THE OWNER WILL PROVIDE THE PANELS THAT SHALL BE INSTALLED BY THE CONTRACTOR.
14. PRE-MANUFACTURED METAL BUILDING STEEL FRAMING - PAINT.
15. NEW RAIN GUTTER AND DOWNSPOUT SYSTEM.
16. NEW CURB MOUNTED SKYLIGHT SYSTEM.
17. NEW DOOR - SEE DOOR SCHEDULE.
18. NEW OVERHEAD DOOR AND OPERATOR - WHERE BEING INSTALLED IN EXISTING CONSTRUCTION, FIELD VERIFY ACTUAL EXISTING CONDITIONS PRIOR TO ORDERING DOOR.
19. NEW WALL INFILL IN THE EXISTING OVERHEAD DOOR OPENING - SEE DETAILS INDICATED.
20. METAL WALL PANELS AND RELATED TRIM IS TO BE INSTALLED AS TO FIT AROUND THE END OF THE EXISTING CONCRETE "WING WALL" - COORDINATE AS REQUIRED - SEAL ALL JOINTS BETWEEN NEW AND EXISTING MATERIALS.
21. NEW MASONRY VENEER SYSTEM ON EXISTING WALL FRAMING - SEE SECTIONS AND RELATED DETAILS - COORDINATE WITH THE STRUCTURAL DRAWINGS.
22. NEW PREFINISHED METAL WALL PANELING TO BE INSTALLED ON EXISTING WALL FRAMING - NOTE THAT THE OWNER WILL PROVIDE THE WALL PANELS WHICH THE CONTRACTOR SHALL INSTALL.
23. EXISTING ROOFTOP EXHAUST FAN TO REMAIN - PROTECT FROM DAMAGE.
24. NEW PREFINISHED METAL PARAPET WALL CAP - SEE SECTIONS AND RELATED DETAILS.
25. NEW ROOFING MATERIALS - SEE ROOF PLAN / SECTIONS AND RELATED DETAILS.
26. PATCH / REPAIR OR REPLACE EXISTING EIFS WHERE AFFECTED BY NEW WORK.
27. EXISTING LIGHT FIXTURE WILL CONFLICT WITH NEW WALL CONSTRUCTION - RELOCATE LIGHT - SEE ELECTRICAL DRAWINGS.
28. TUBULAR STEEL SUNSHADE SYSTEM - SEE DETAILS ON SHEET ???/???
29. PREFINISHED 24 GA. EDGE METAL - SEE SECTIONS AND RELATED DETAILS.

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #:	-----
SPE PROJECT #:	17-04
DRAWN BY:	GTE
CHECKED BY:	SPE
DESIGNED BY:	SPE
COPYRIGHT:	© 2017 SCOTT P. EVANS - ARCHITECT

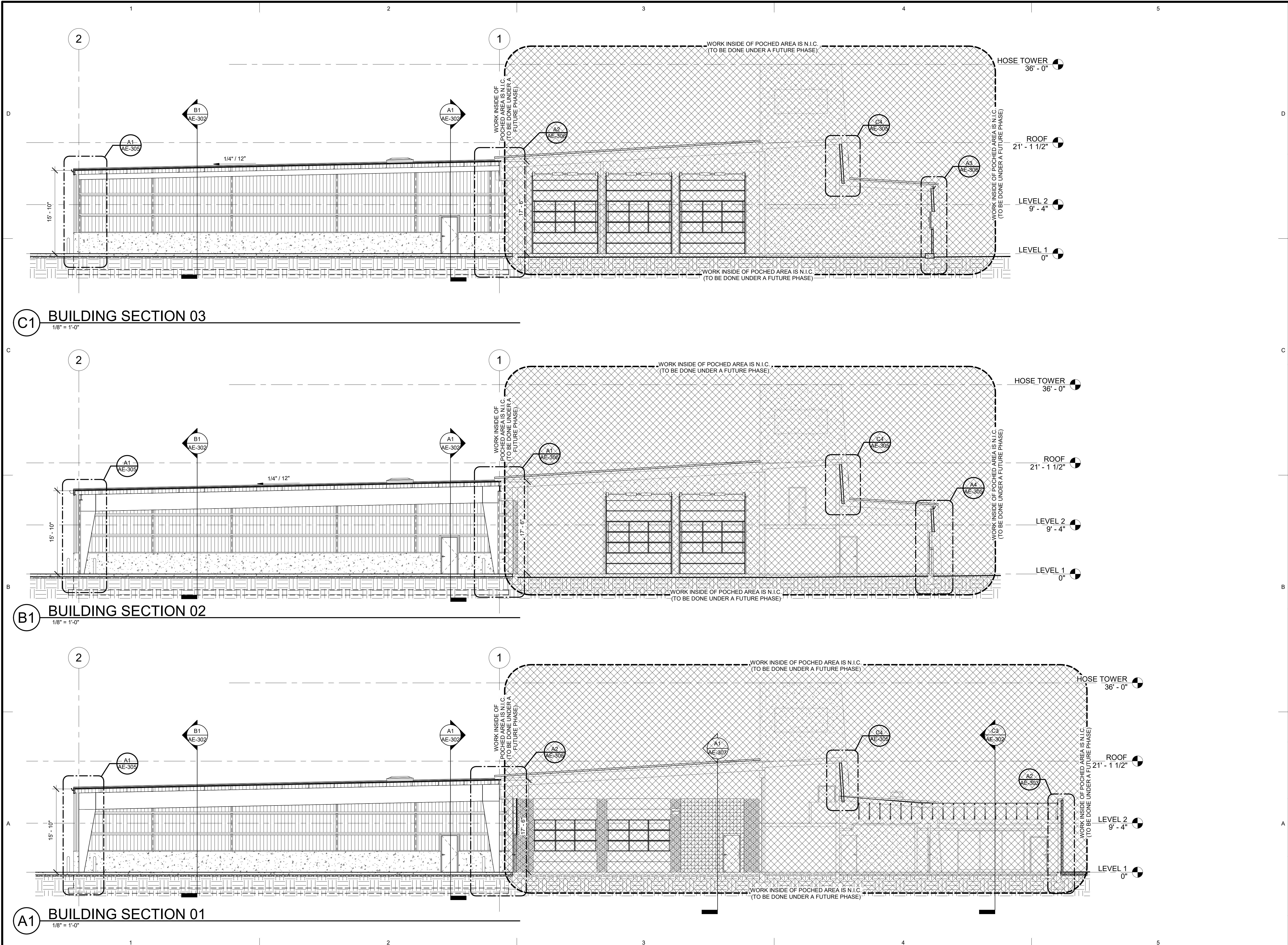
SHEET TITLE

**EXTERIOR
ELEVATIONS**

SHEET NUMBER

AE-202

Last Plotted: 11/3/2017 3:52:57 PM



C1 BUILDING SECTION 03
1/8" = 1'-0"

B1 BUILDING SECTION 02
1/8" = 1'-0"

A1 BUILDING SECTION 01
1/8" = 1'-0"

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

STATE OF UTAH
SCOTT P. EVANS
NO. 118114
1/2/17
PROFESSIONAL ARCHITECT

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #:

SPE PROJECT #: 17-04

DRAWN BY: GTE

CHECKED BY: SPE

DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

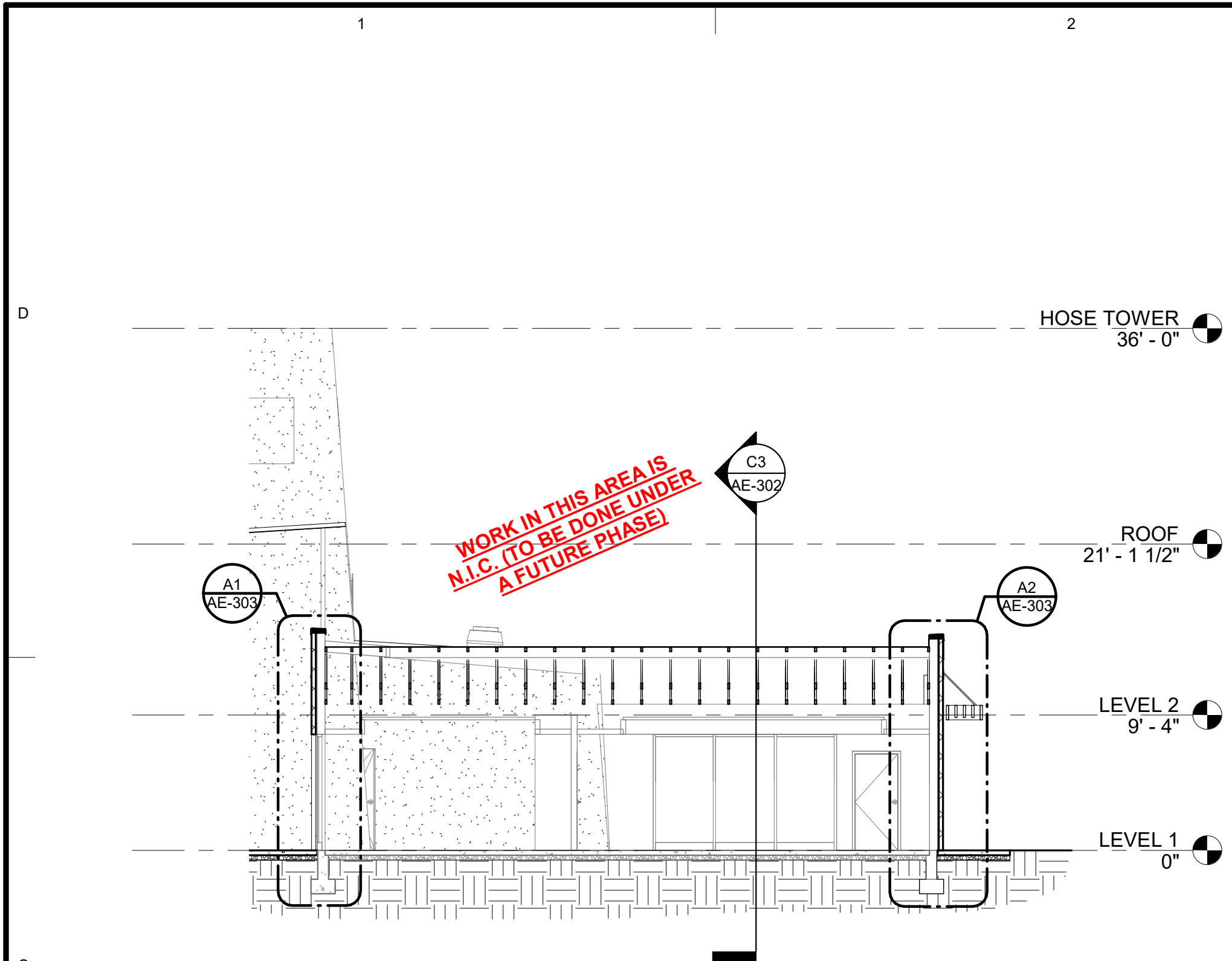
SHEET TITLE

BUILDING SECTIONS

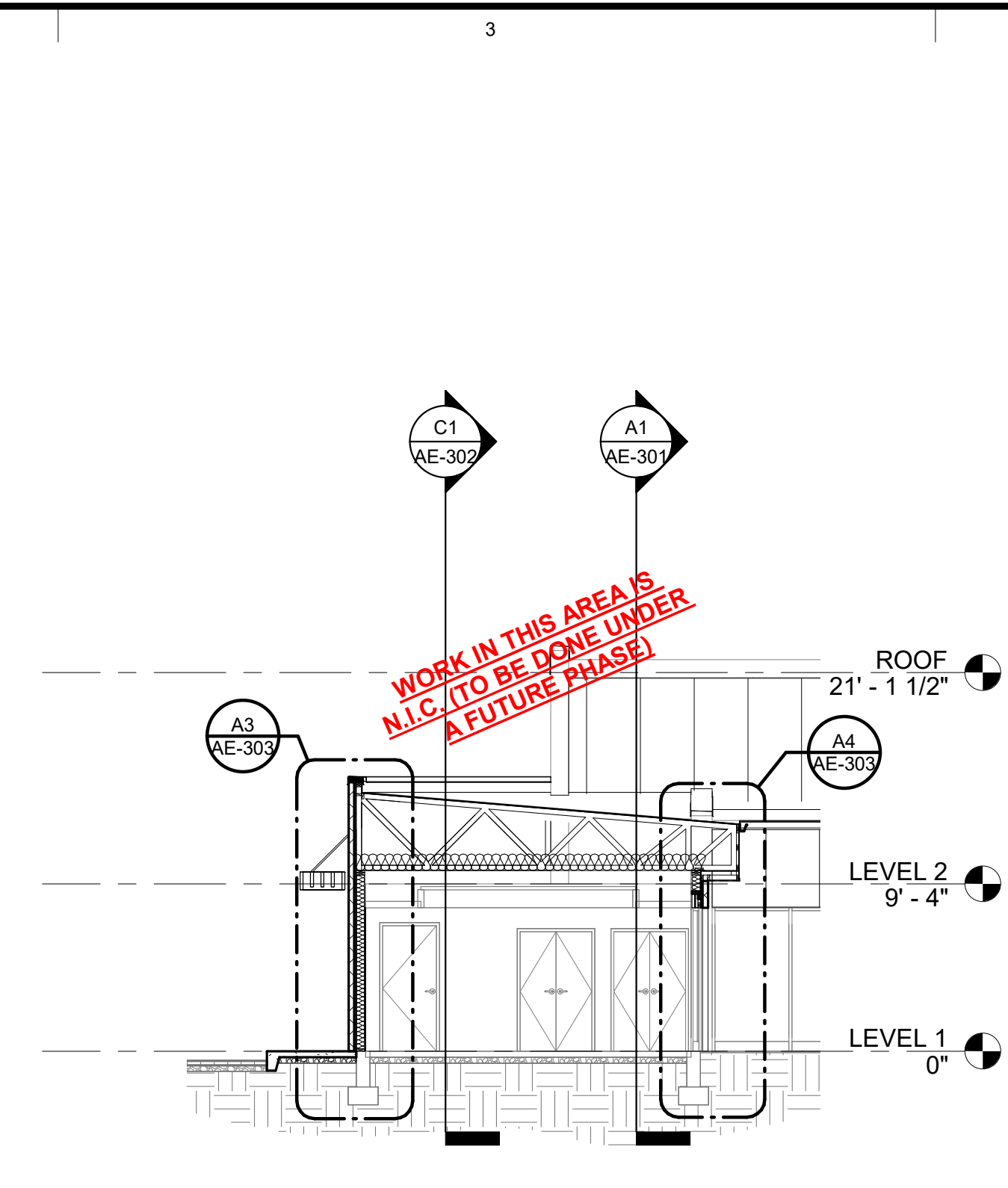
SHEET NUMBER

AE-301

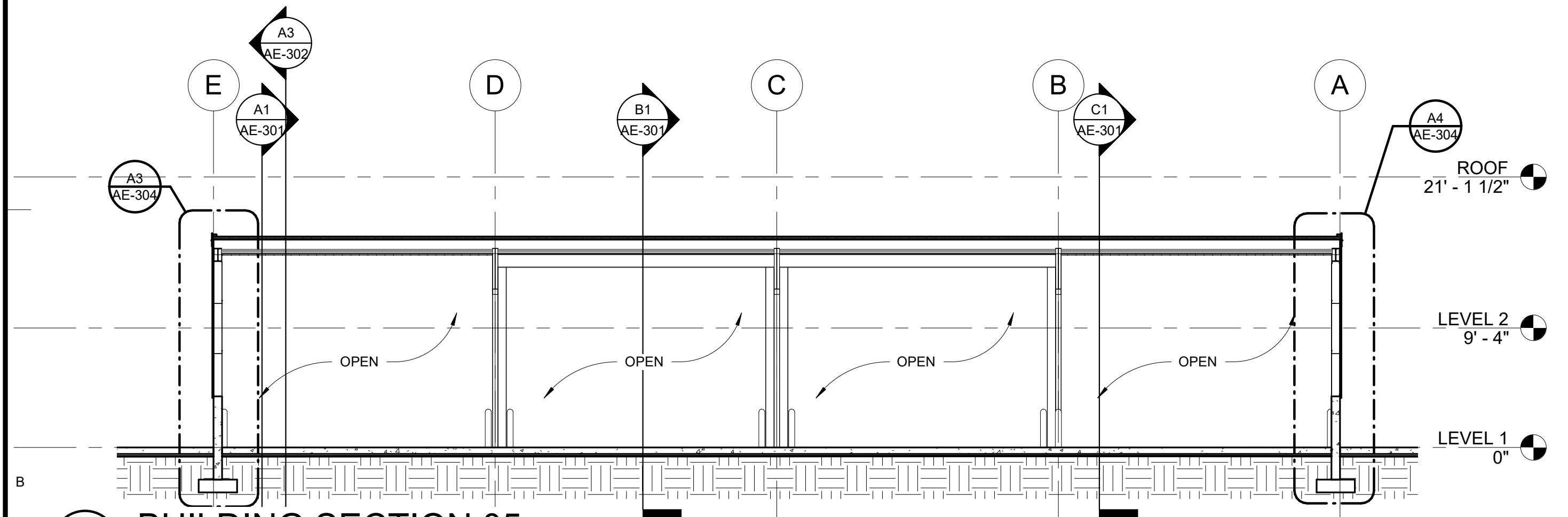
Last Plotted: 11/03/2017 3:52:59 PM



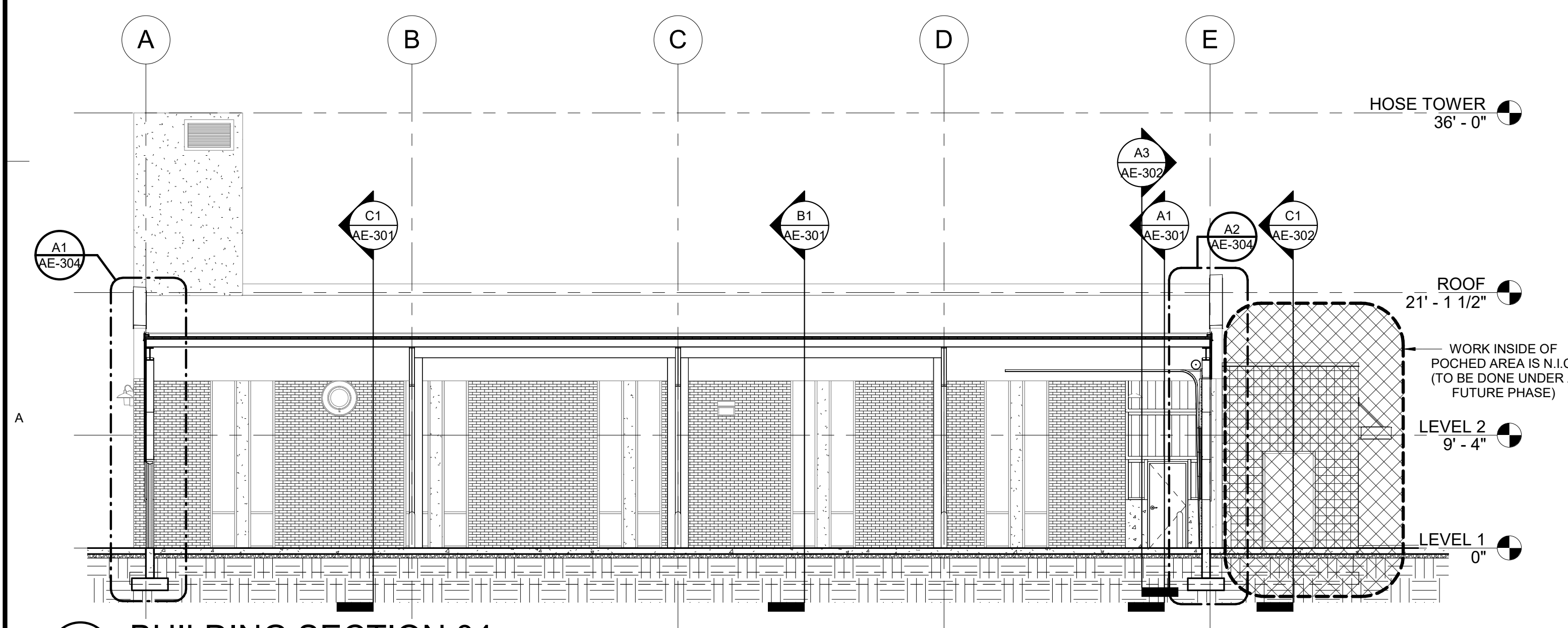
C1 BUILDING SECTION 06
1/8" = 1'-0"



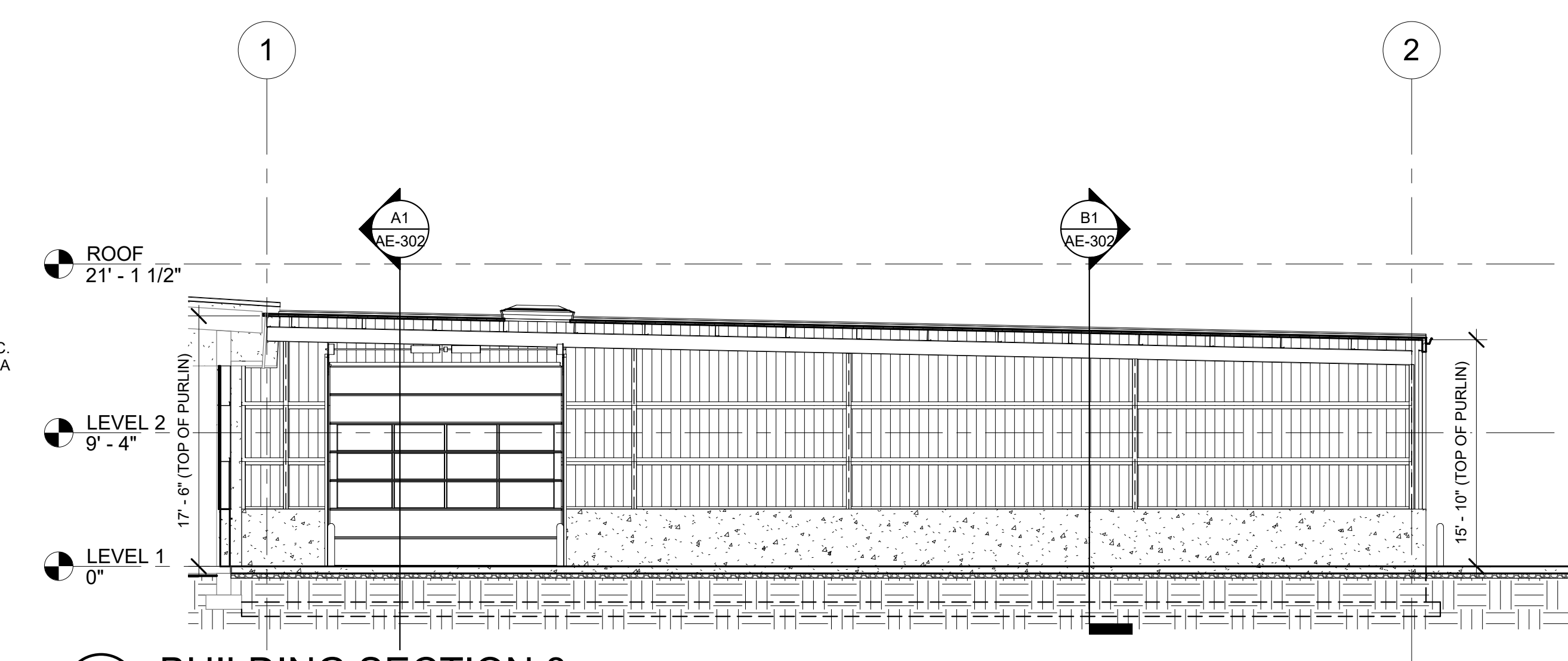
C3 BUILDING SECTION 07
1/8" = 1'-0"



B1 BUILDING SECTION 05
1/8" = 1'-0"



A1 BUILDING SECTION 04
1/8" = 1'-0"

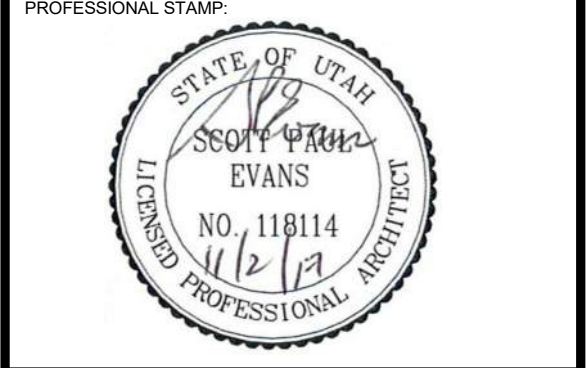


A3 BUILDING SECTION 08
1/8" = 1'-0"

Last Plotted: 11/3/2017 9:55:01 PM

ARCHITECT'S INFORMATION:

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com



PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

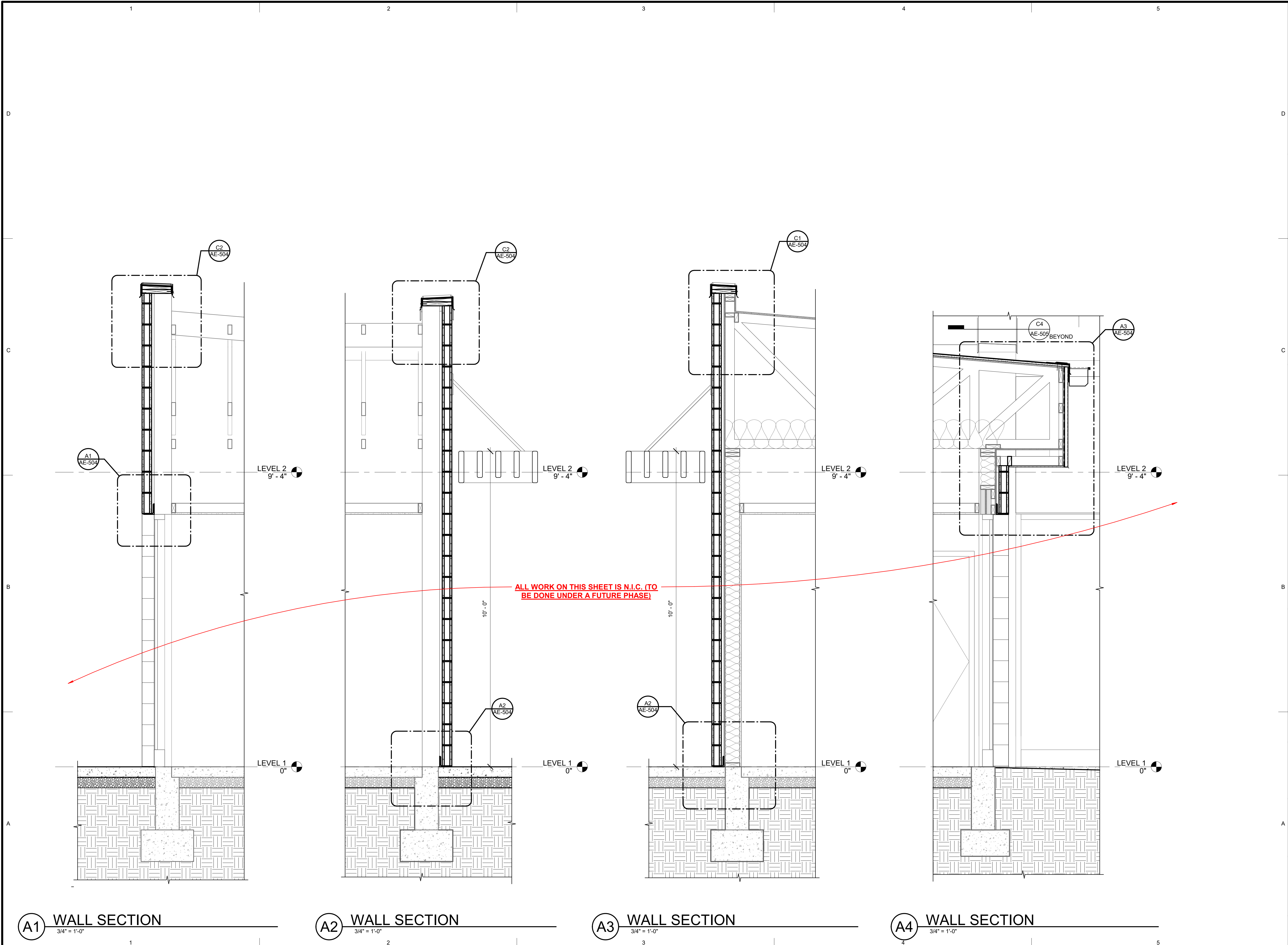
OWNER PROJECT #: _____
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE
 COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:

BUILDING SECTIONS

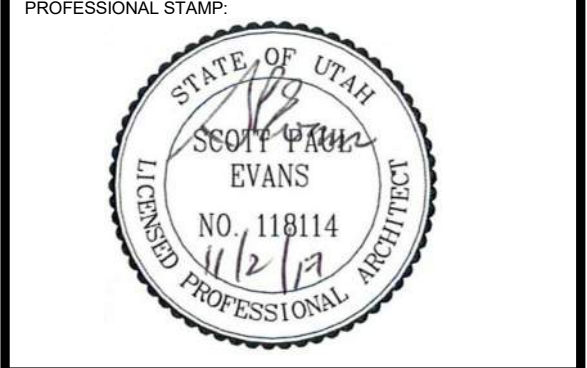
SHEET NUMBER:

AE-302



ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com



PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RUI-LON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/20/17	CONSTRUCTION BID DRAWINGS

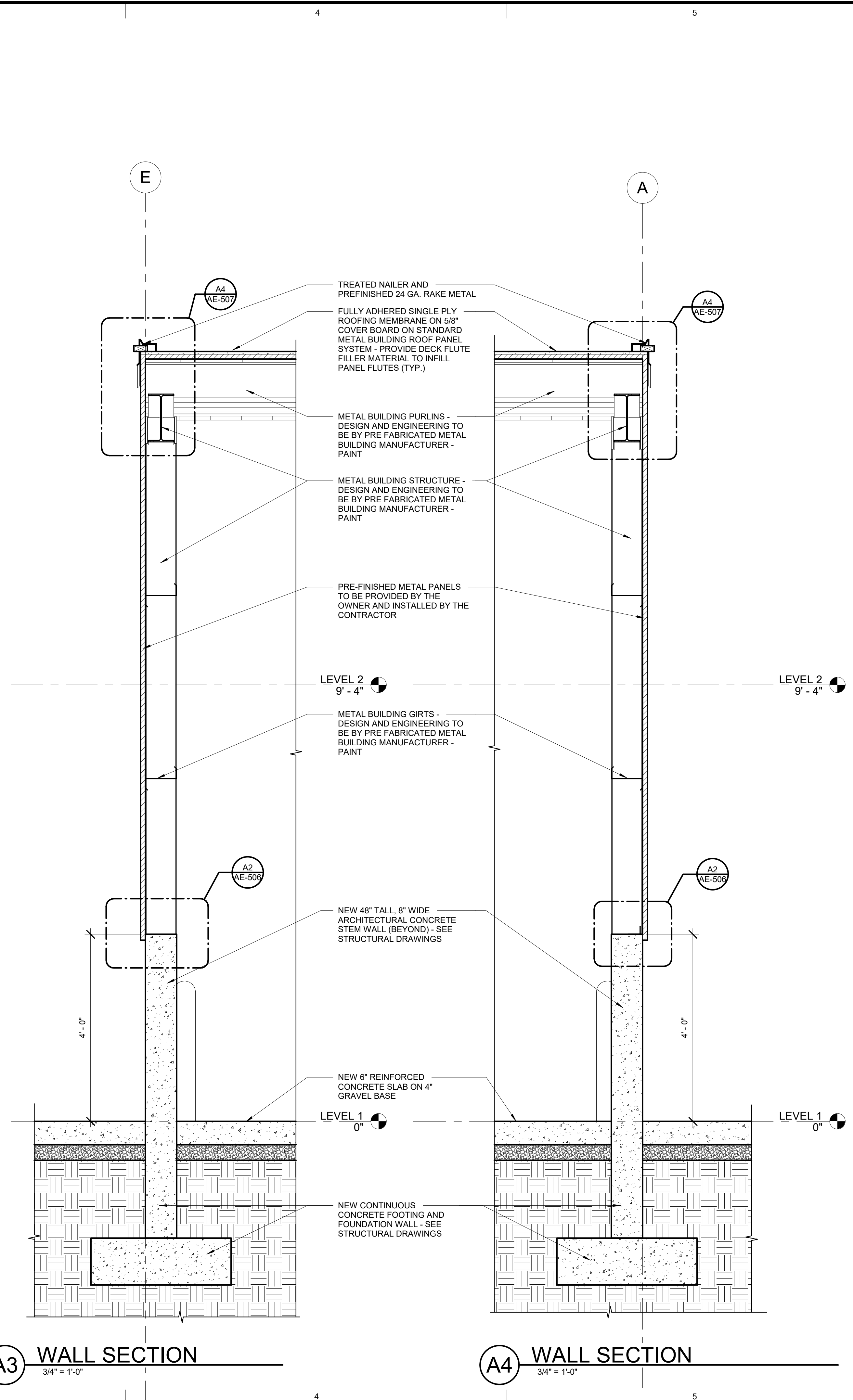
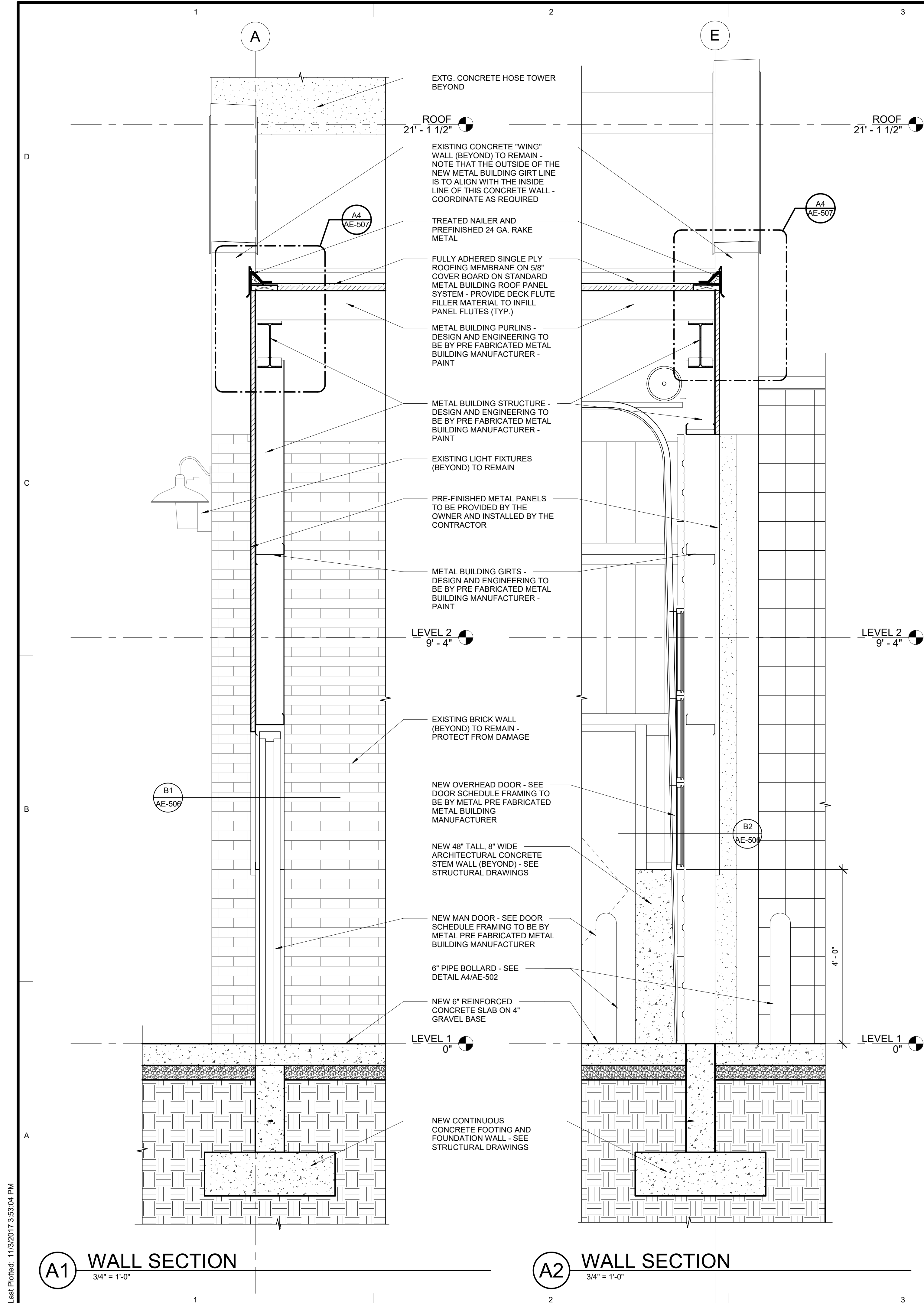
OWNER PROJECT #: _____
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:
WALL SECTIONS

SHEET NUMBER:
AE-303

Last Plotted: 11/20/2017 9:55:02 PM



A1 WALL SECTION
3/4" = 1'-0"

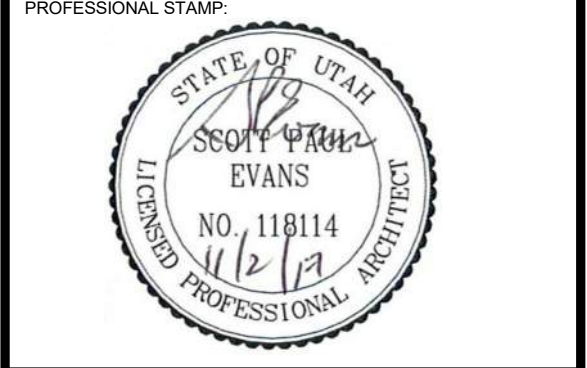
A2 WALL SECTION
3/4" = 1'-0"

A3 WALL SECTION
3/4" = 1'-0"

A4 WALL SECTION
3/4" = 1'-0"

ARCHITECT'S INFORMATION:

ARCHITECT
SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com



CODE OFFICIAL STAMP:
 PROJECT NAME:

**KBR ROOFING
 NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
 OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

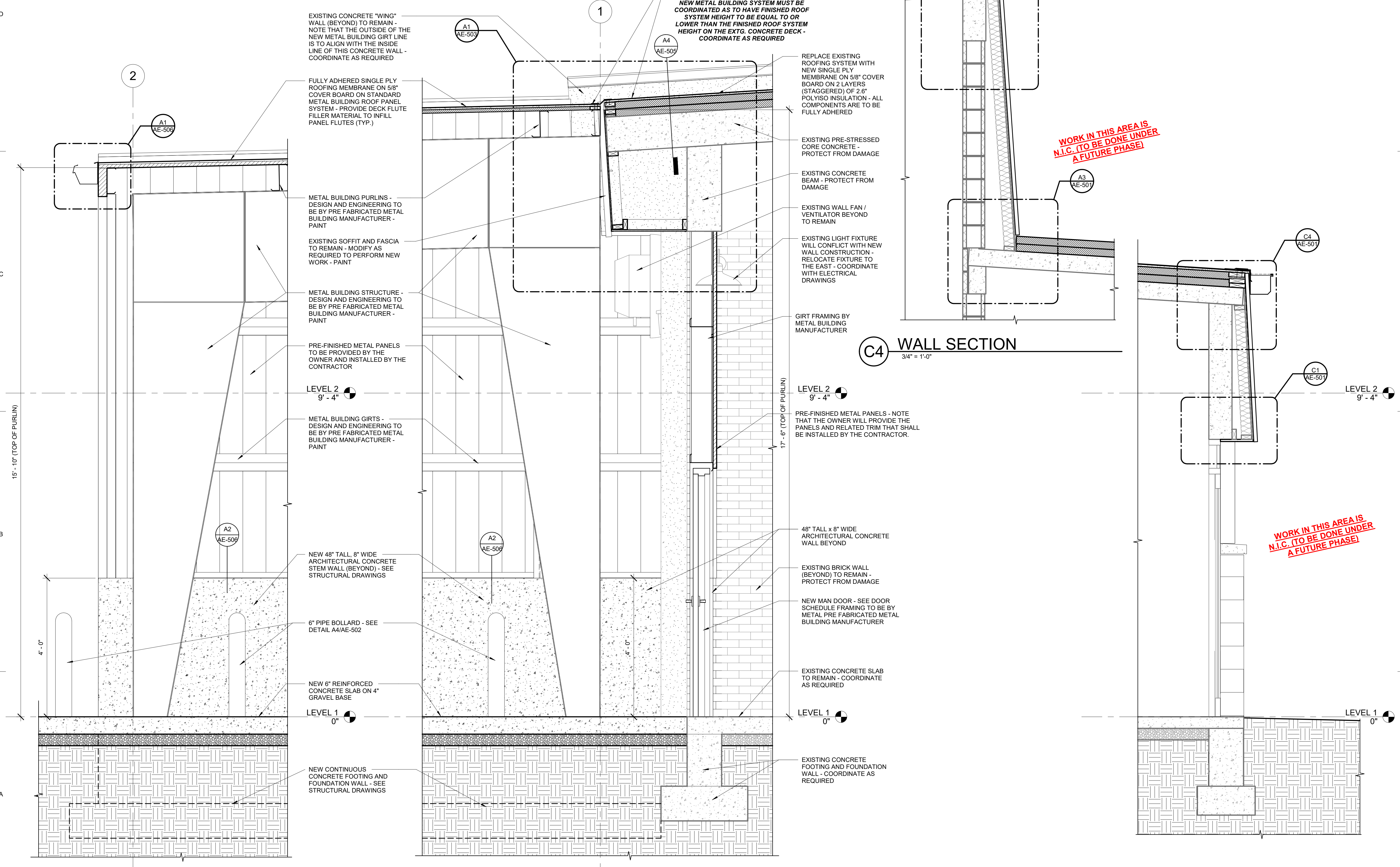
OWNER PROJECT #: _____
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE
 COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:
WALL SECTIONS
 SHEET NUMBER:
AE-304

Last Plotted: 11/3/2017 9:53:04 PM

NOTE:
GRID 1 REFERS TO THE EAST
EDGE OF THE NEW PRE
FABRICATED METAL BUILDING
STRUCTURAL SYSTEM - THIS GRID
LINE / STRUCTURAL SYSTEM IS TO
BE SET TO BE AS CLOSE TO THE
EXISTING BUILDING AS POSSIBLE -
COORDINATE AS REQUIRED

NOTE:
CONTRACTOR IS TO VERIFY HEIGHT OF THE
TOP EDGE OF THE EXISTING CONCRETE
ROOF DECK - DESIGNED HEIGHT OF THE
NEW METAL BUILDING SYSTEM MUST BE
COORDINATED AS TO HAVE FINISHED ROOF SYSTEM
HEIGHT TO BE EQUAL TO OR
LOWER THAN THE FINISHED ROOF SYSTEM
HEIGHT ON THE EXTG. CONCRETE DECK -
COORDINATE AS REQUIRED



A1 WALL SECTION
3/4" = 1'-0"

A2 WALL SECTION
3/4" = 1'-0"

A4 WALL SECTION
3/4" = 1'-0"

C4 WALL SECTION
3/4" = 1'-0"

WORK IN THIS AREA IS
N.I.C. (TO BE DONE UNDER
A FUTURE PHASE)

WORK IN THIS AREA IS
N.I.C. (TO BE DONE UNDER
A FUTURE PHASE)

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #:

SPE PROJECT #: 17-04

DRAWN BY: GTE

CHECKED BY: SPE

DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

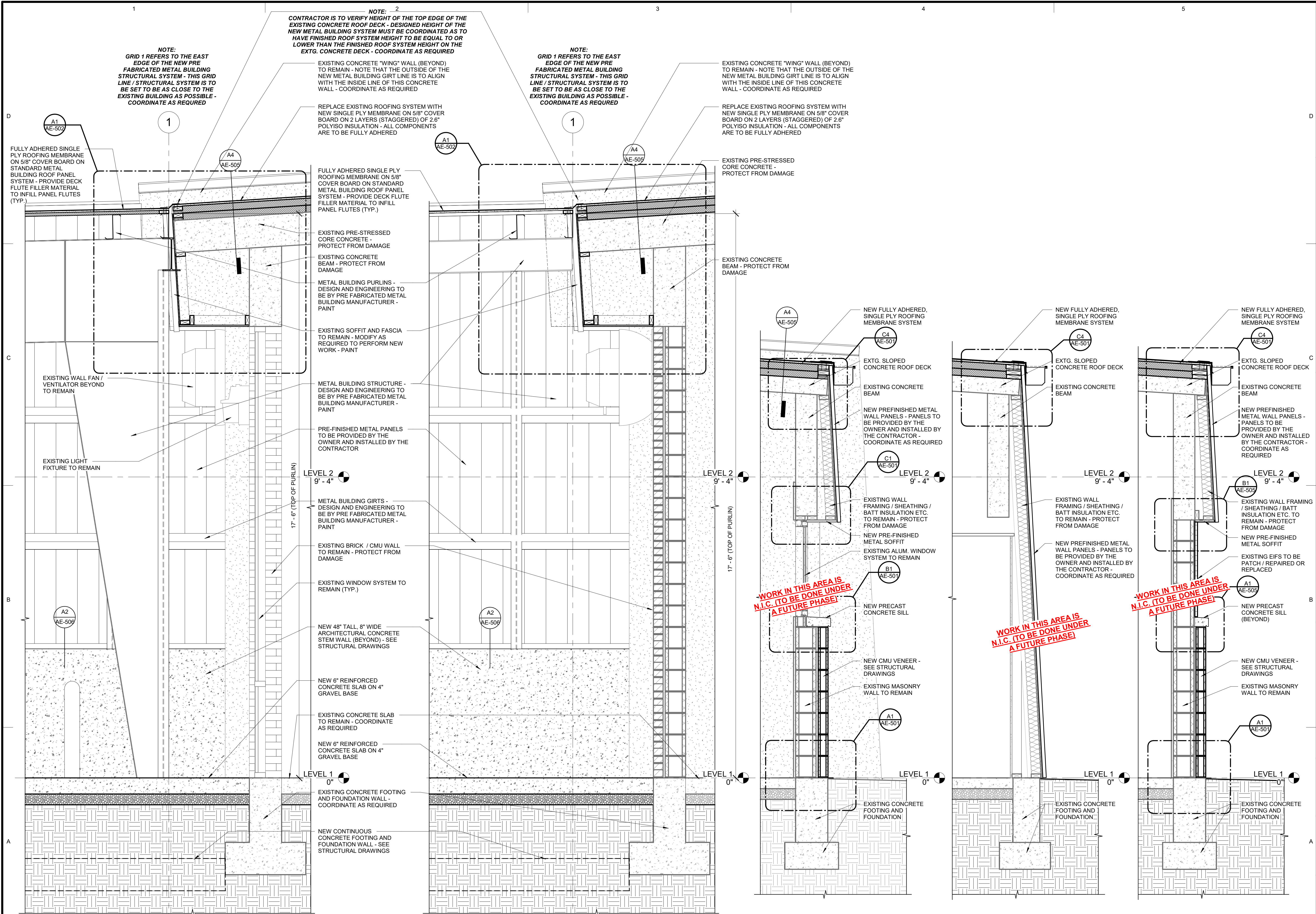
SHEET TITLE

WALL SECTIONS

SHEET NUMBER

AE-305

Last Plotted: 11/3/2017 9:55:05 PM



NOTE:
GRID 1 REFERS TO THE EAST EDGE OF THE NEW PRE FABRICATED METAL BUILDING STRUCTURAL SYSTEM - THIS GRID LINE / STRUCTURAL SYSTEM IS TO BE SET TO BE AS CLOSE TO THE EXISTING BUILDING AS POSSIBLE - COORDINATE AS REQUIRED

NOTE:
GRID 1 REFERS TO THE EAST EDGE OF THE NEW PRE FABRICATED METAL BUILDING STRUCTURAL SYSTEM - THIS GRID LINE / STRUCTURAL SYSTEM IS TO BE SET TO BE AS CLOSE TO THE EXISTING BUILDING AS POSSIBLE - COORDINATE AS REQUIRED

EXISTING CONCRETE "WING" WALL (BEYOND) TO REMAIN - NOTE THAT THE OUTSIDE OF THE NEW METAL BUILDING GIRT LINE IS TO ALIGN WITH THE INSIDE LINE OF THIS CONCRETE WALL - COORDINATE AS REQUIRED

REPLACE EXISTING ROOFING SYSTEM WITH NEW SINGLE PLY MEMBRANE ON 5/8" COVER BOARD ON 2 LAYERS (STAGGERED) OF 2.6" POLYISO INSULATION - ALL COMPONENTS ARE TO BE FULLY ADHERED

EXISTING PRE-STRESSED CORE CONCRETE - PROTECT FROM DAMAGE

EXISTING CONCRETE BEAM - PROTECT FROM DAMAGE

WORK IN THIS AREA IS N.I.C. (TO BE DONE UNDER A FUTURE PHASE)

WORK IN THIS AREA IS N.I.C. (TO BE DONE UNDER A FUTURE PHASE)

WORK IN THIS AREA IS N.I.C. (TO BE DONE UNDER A FUTURE PHASE)

A1 WALL SECTION
3/4" = 1'-0"

A2 WALL SECTION
3/4" = 1'-0"

A3 WALL SECTION
3/4" = 1'-0"

A4 Section 1
3/4" = 1'-0"

A5 Section 2
3/4" = 1'-0"

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.296.1368 - 1.801.296.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME:
**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

ISSUED:

NO.	DATE	DESCRIPTION
17-04		

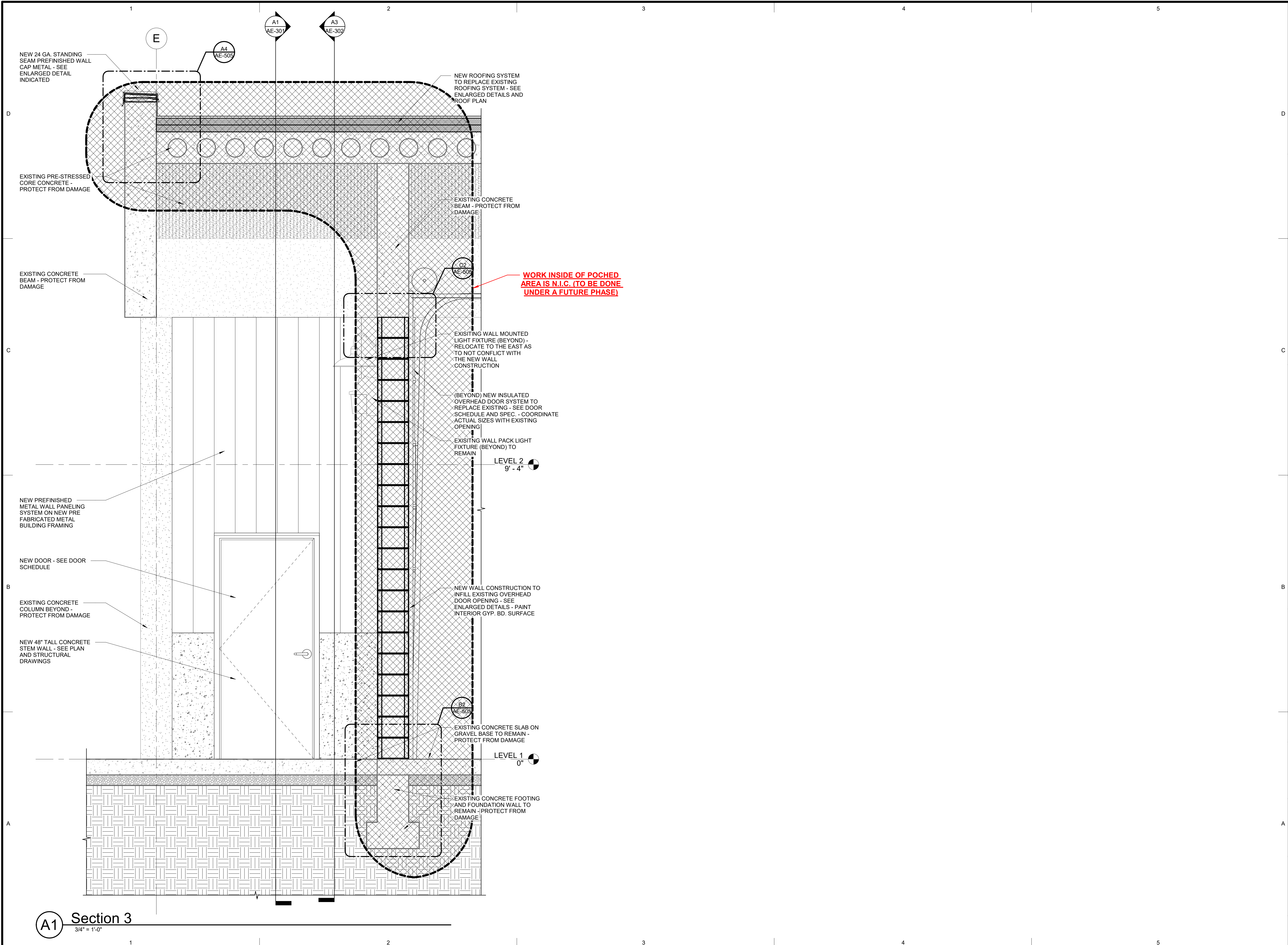
OWNER PROJECT #: _____
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:
WALL SECTIONS

SHEET NUMBER:
AE-306

Last Plotted: 11/3/2017 9:53:07 PM




WORK INSIDE OF POCHED AREA IS N.I.C. (TO BE DONE UNDER A FUTURE PHASE)

A1 Section 3
3/4" = 1'-0"

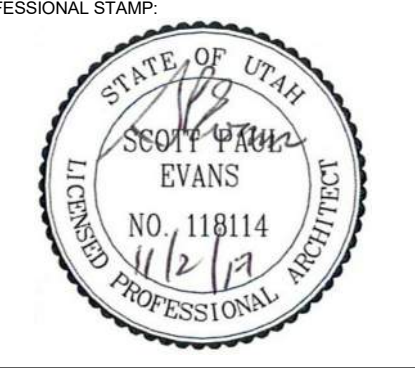
Last Plotted: 11/3/2017 9:55:08 PM

ARCHITECT'S INFORMATION:



SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP:



CODE OFFICIAL STAMP:

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: -----
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

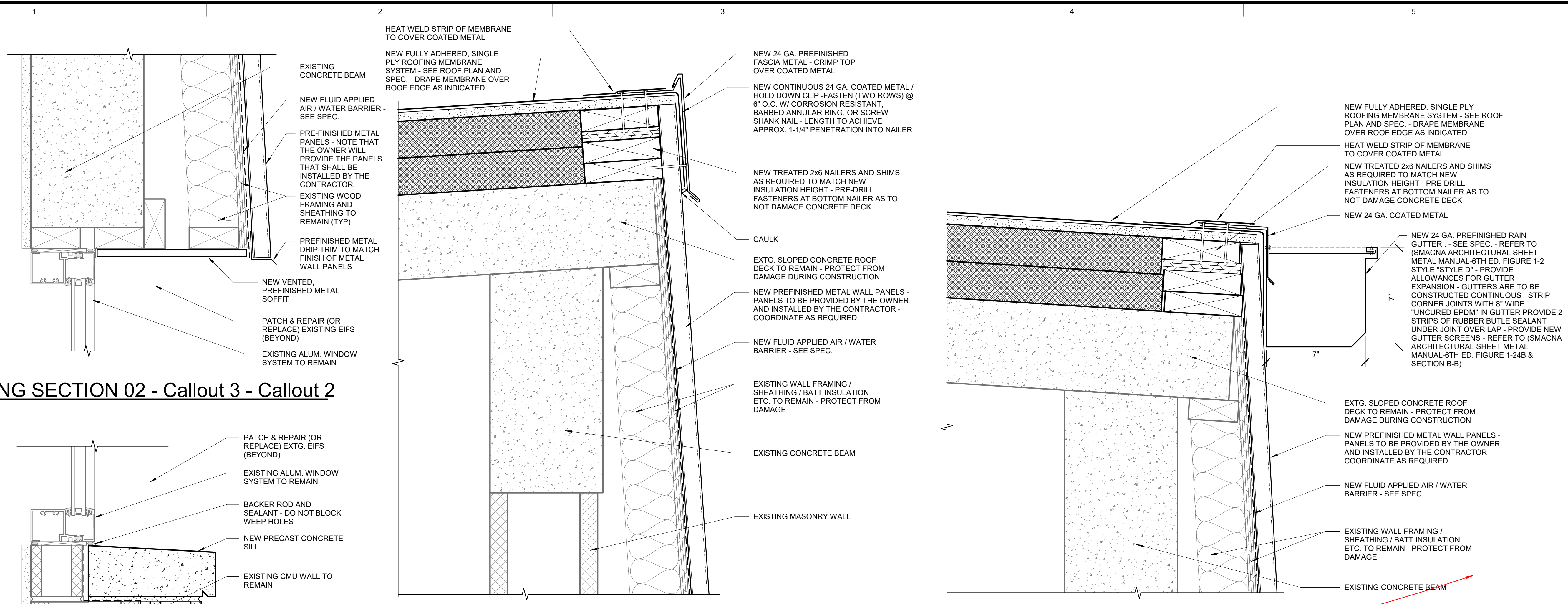
COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE:

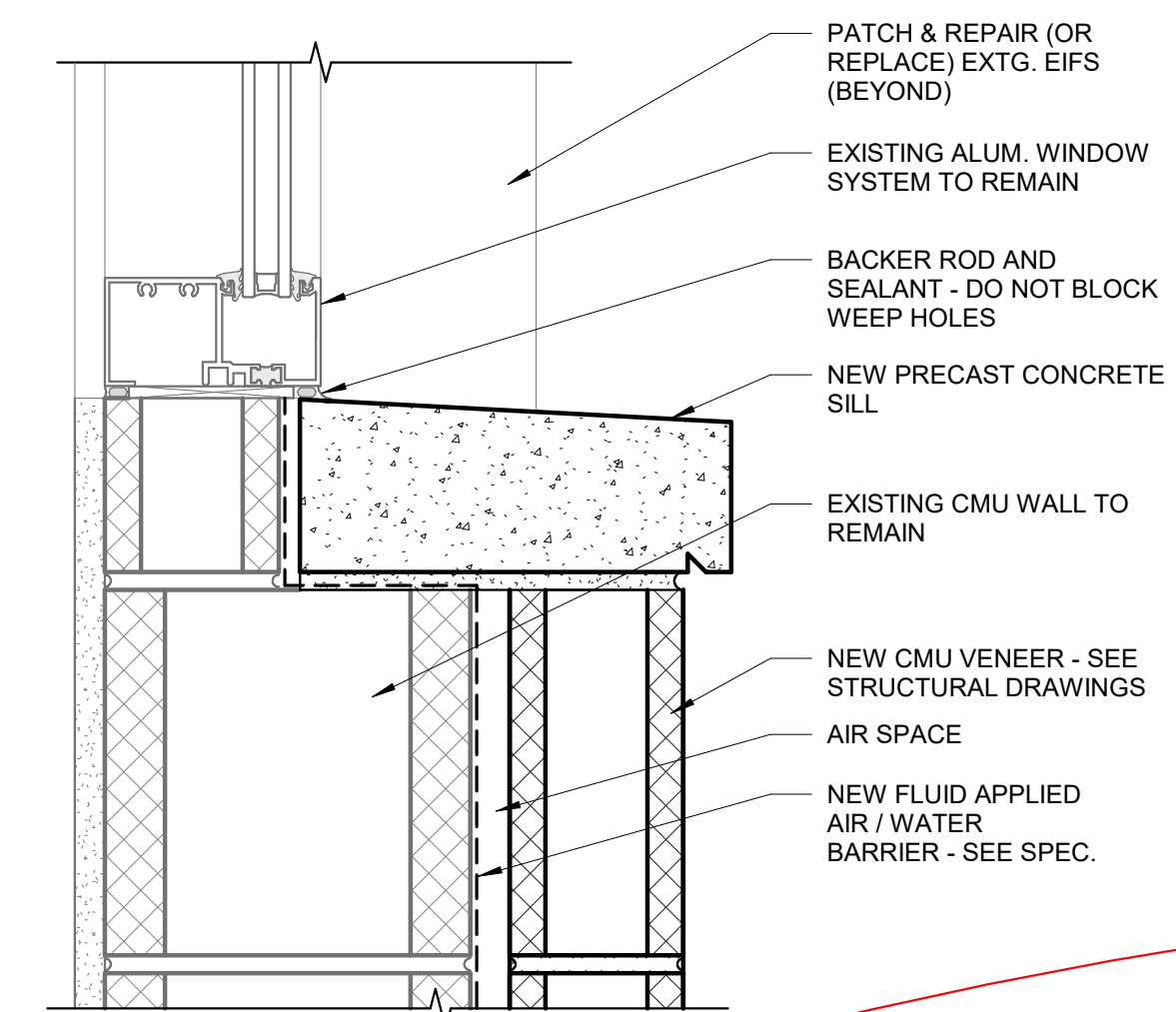
WALL SECTIONS

SHEET NUMBER:

AE-307



C1 BUILDING SECTION 02 - Callout 3 - Callout 2
3" = 1'-0"

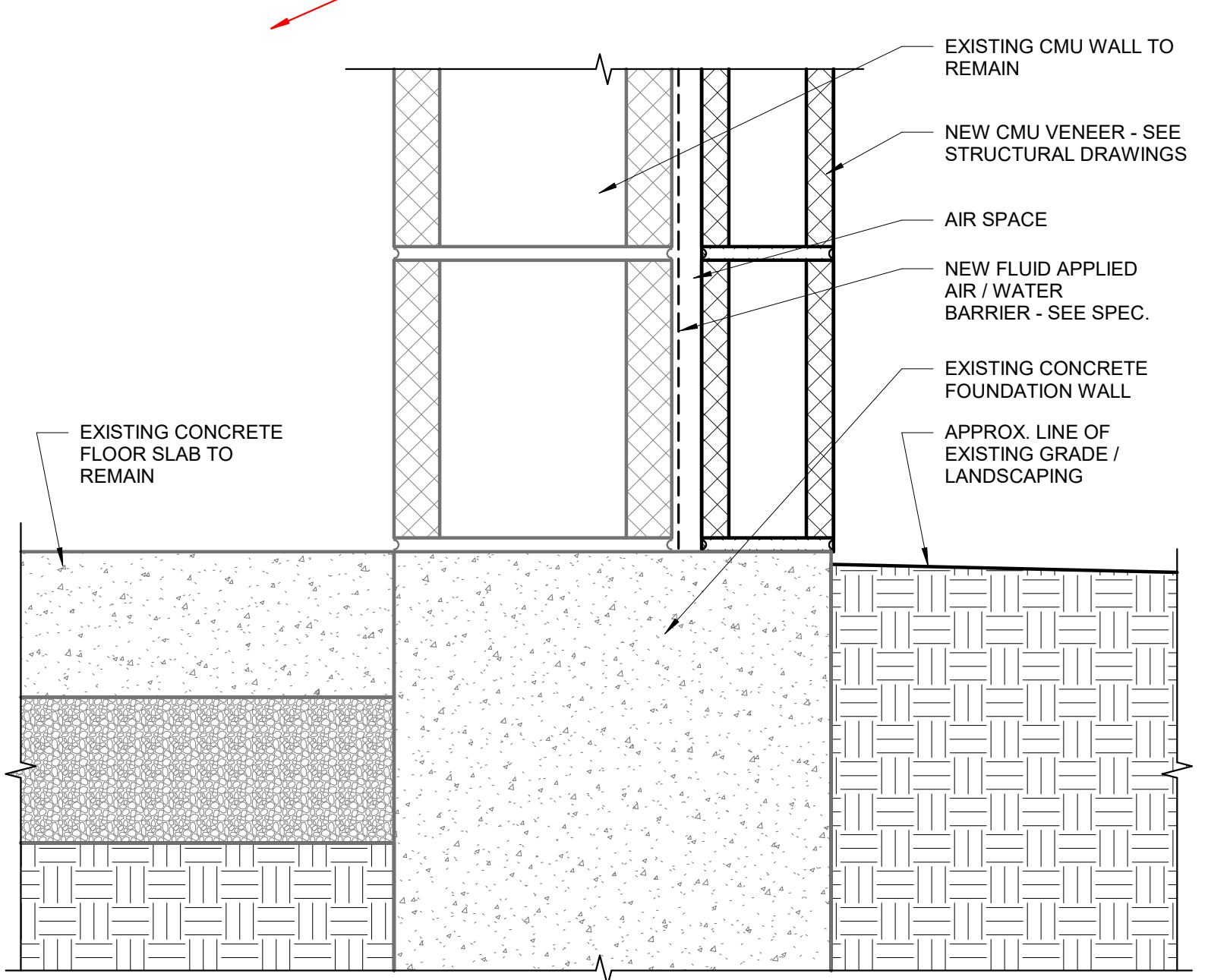


C2 BUILDING SECTION 02 - Callout 2 - Callout 1
3" = 1'-0"

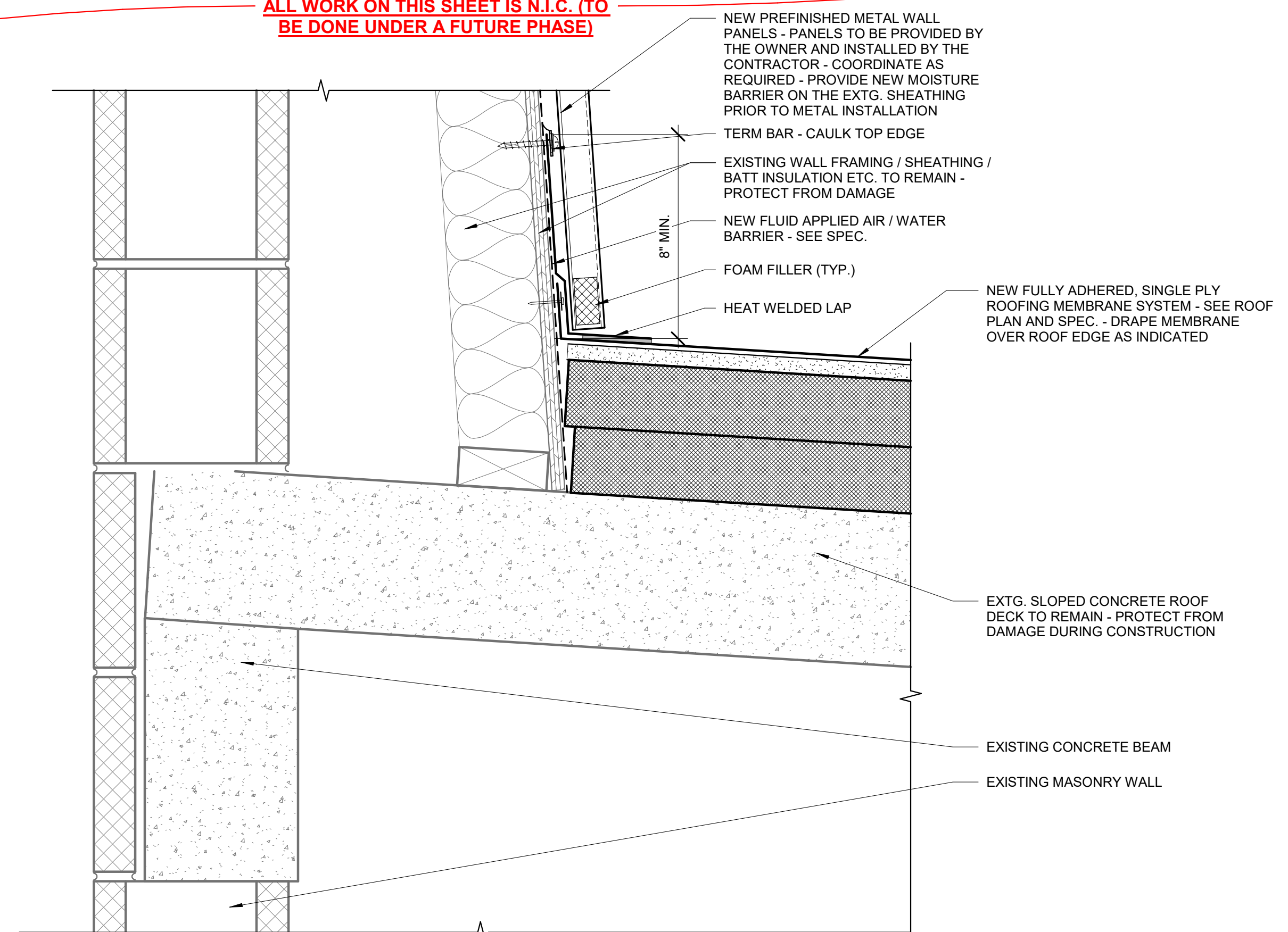
C4 BUILDING SECTION 02 - Callout 3 - Callout 1
3" = 1'-0"

ALL WORK ON THIS SHEET IS N.I.C. (TO BE DONE UNDER A FUTURE PHASE)

B1 BUILDING SECTION 1 - Callout 2 - Callout 1
3" = 1'-0"



A1 BUILDING SECTION 1 - Callout 2 - Callout 2
3" = 1'-0"



A3 BUILDING SECTION 02 - Callout 2 - Callout 2
3" = 1'-0"

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

STATE OF UTAH
SCOTT P. EVANS
NO. 118114
12/17
PROFESSIONAL ARCHITECT

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #:

SPE PROJECT #: 17-04

DRAWN BY: GTE

CHECKED BY: SPE

DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

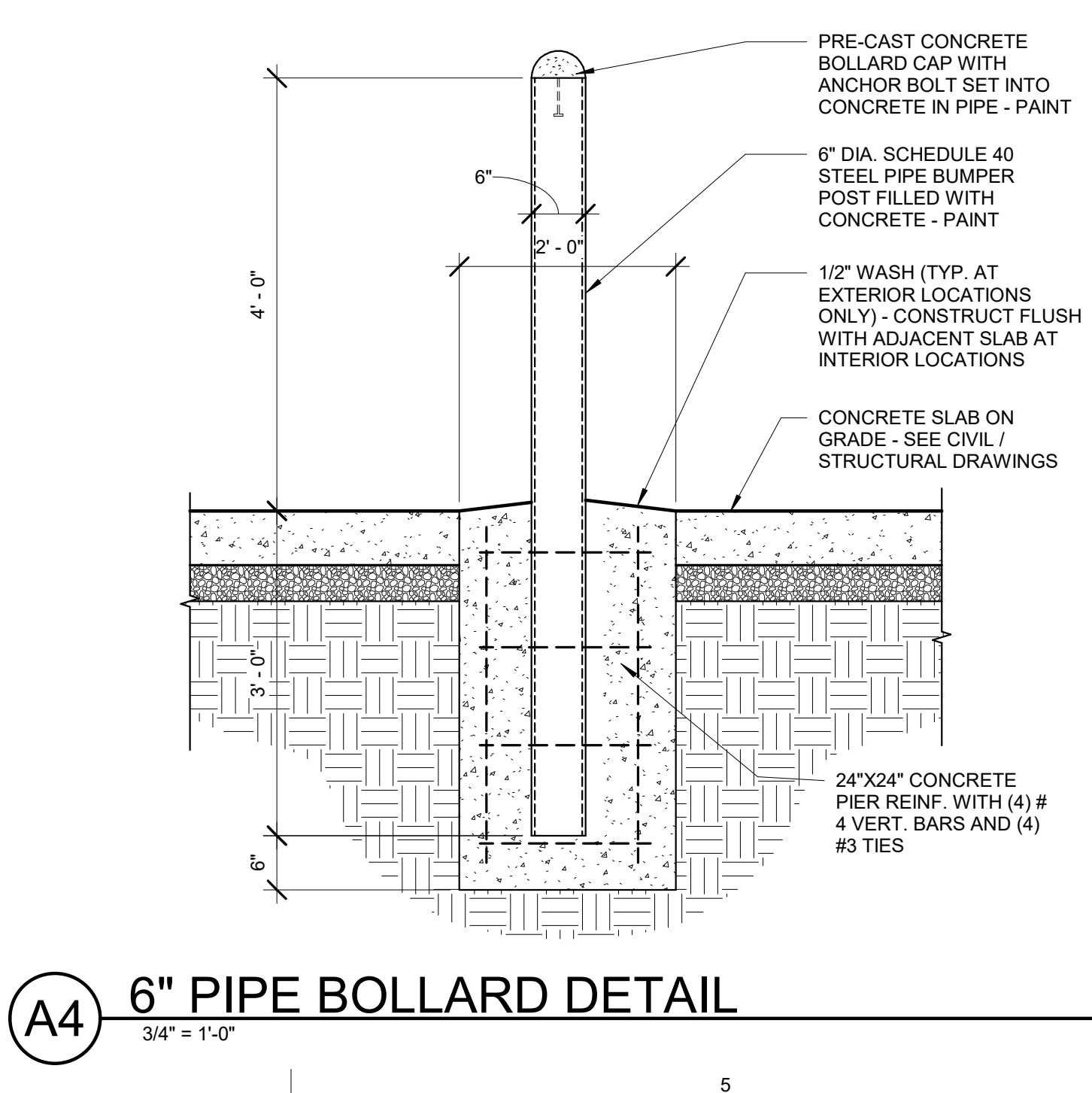
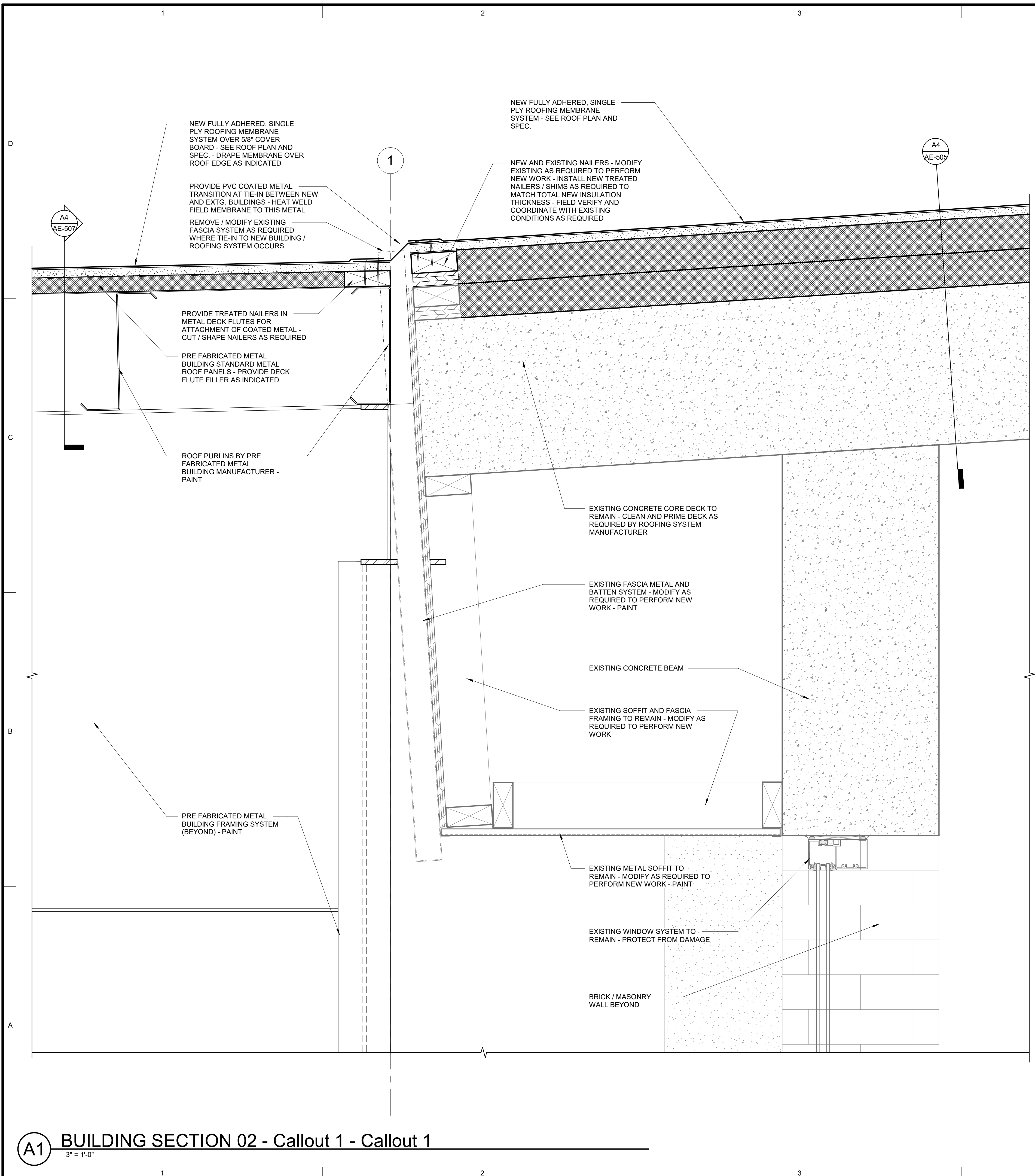
SHEET TITLE

DETAILS

SHEET NUMBER

AE-501

Last Plotted: 11/3/2017 9:55:09 PM



A1 BUILDING SECTION 02 - Callout 1 - Callout 1
3/4" = 1'-0"

A4 6" PIPE BOLLARD DETAIL
3/4" = 1'-0"

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: -----
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

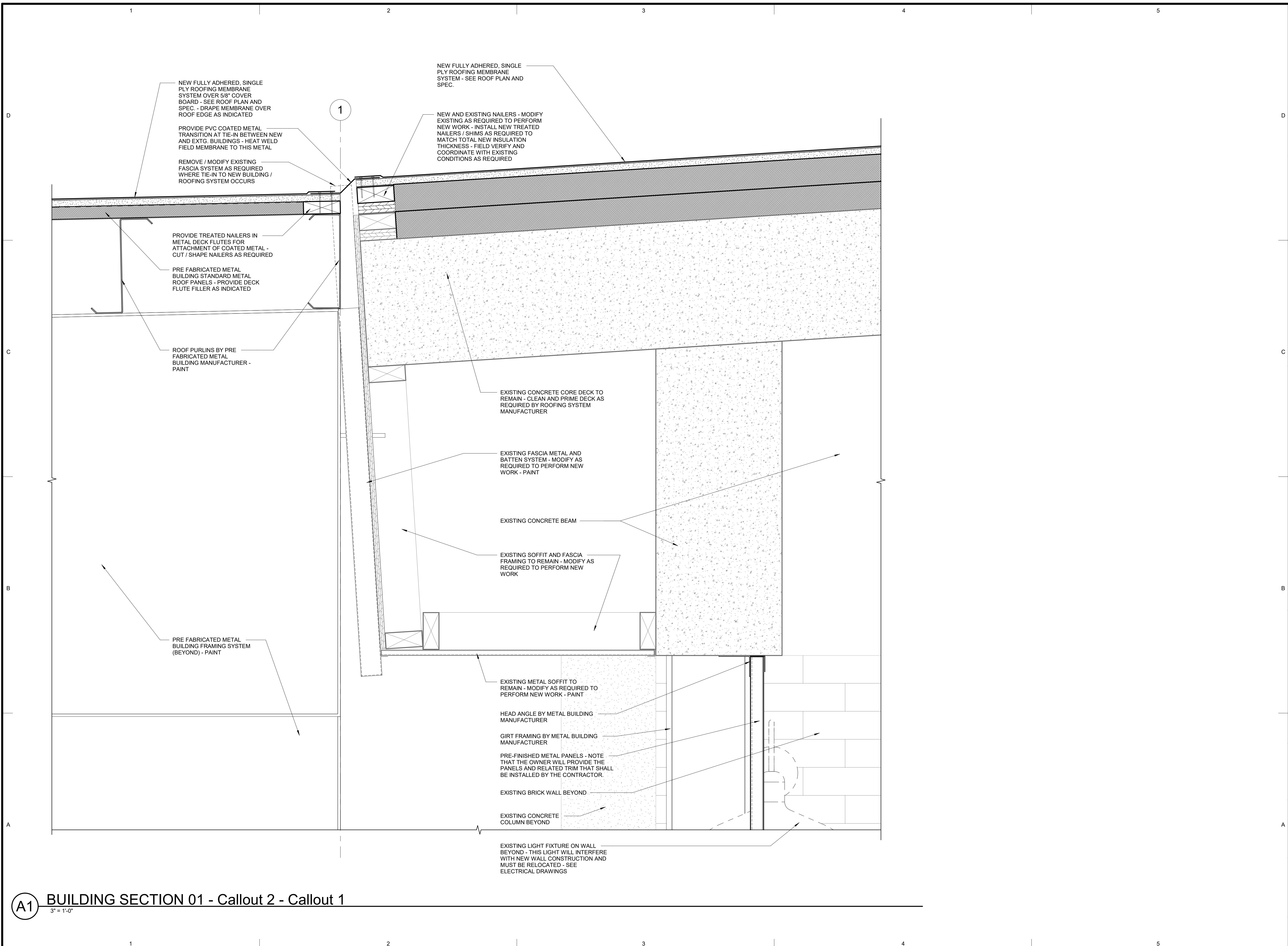
SHEET TITLE

DETAILS

SHEET NUMBER

AE-502

Last Plotted: 11/3/2017 9:53:10 PM



NEW FULLY ADHERED, SINGLE PLY ROOFING MEMBRANE SYSTEM OVER 5/8" COVER BOARD - SEE ROOF PLAN AND SPEC - DRAPE MEMBRANE OVER ROOF EDGE AS INDICATED

PROVIDE PVC COATED METAL TRANSITION AT TIE-IN BETWEEN NEW AND EXTG. BUILDINGS - HEAT WELD FIELD MEMBRANE TO THIS METAL

REMOVE / MODIFY EXISTING FASCIA SYSTEM AS REQUIRED WHERE TIE-IN TO NEW BUILDING / ROOFING SYSTEM OCCURS

PROVIDE TREATED NAILERS IN METAL DECK FLUTES FOR ATTACHMENT OF COATED METAL - CUT / SHAPE NAILERS AS REQUIRED

PRE FABRICATED METAL BUILDING STANDARD METAL ROOF PANELS - PROVIDE DECK FLUTE FILLER AS INDICATED

ROOF PURLINS BY PRE FABRICATED METAL BUILDING MANUFACTURER - PAINT

PRE FABRICATED METAL BUILDING FRAMING SYSTEM (BEYOND) - PAINT

NEW FULLY ADHERED, SINGLE PLY ROOFING MEMBRANE SYSTEM - SEE ROOF PLAN AND SPEC.

NEW AND EXISTING NAILERS - MODIFY EXISTING AS REQUIRED TO PERFORM NEW WORK - INSTALL NEW TREATED NAILERS / SHIMS AS REQUIRED TO MATCH TOTAL NEW INSULATION THICKNESS - FIELD VERIFY AND COORDINATE WITH EXISTING CONDITIONS AS REQUIRED

EXISTING CONCRETE CORE DECK TO REMAIN - CLEAN AND PRIME DECK AS REQUIRED BY ROOFING SYSTEM MANUFACTURER

EXISTING FASCIA METAL AND BATTEN SYSTEM - MODIFY AS REQUIRED TO PERFORM NEW WORK - PAINT

EXISTING CONCRETE BEAM

EXISTING SOFFIT AND FASCIA FRAMING TO REMAIN - MODIFY AS REQUIRED TO PERFORM NEW WORK

EXISTING METAL SOFFIT TO REMAIN - MODIFY AS REQUIRED TO PERFORM NEW WORK - PAINT

HEAD ANGLE BY METAL BUILDING MANUFACTURER

GIRT FRAMING BY METAL BUILDING MANUFACTURER

PRE-FINISHED METAL PANELS - NOTE THAT THE OWNER WILL PROVIDE THE PANELS AND RELATED TRIM THAT SHALL BE INSTALLED BY THE CONTRACTOR.

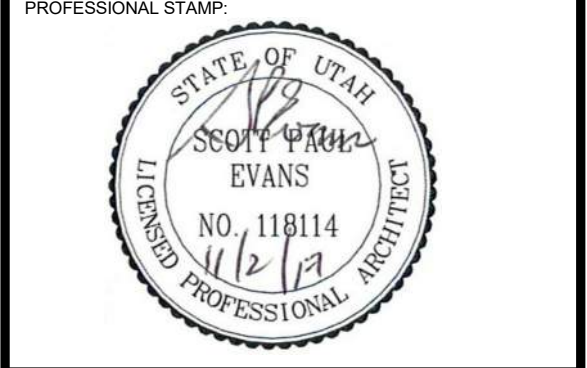
EXISTING BRICK WALL BEYOND

EXISTING CONCRETE COLUMN BEYOND

EXISTING LIGHT FIXTURE ON WALL BEYOND - THIS LIGHT WILL INTERFERE WITH NEW WALL CONSTRUCTION AND MUST BE RELOCATED - SEE ELECTRICAL DRAWINGS

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com



PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/2/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: -----
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE

COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE

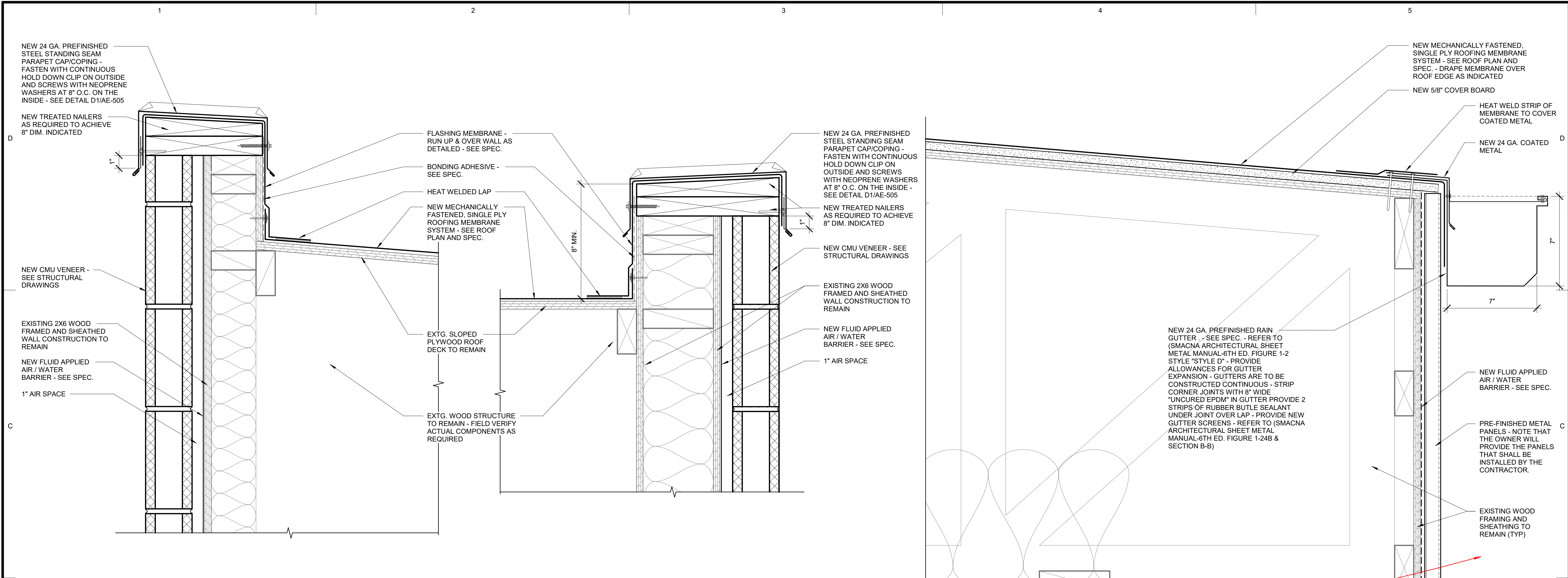
DETAILS

SHEET NUMBER

AE-503

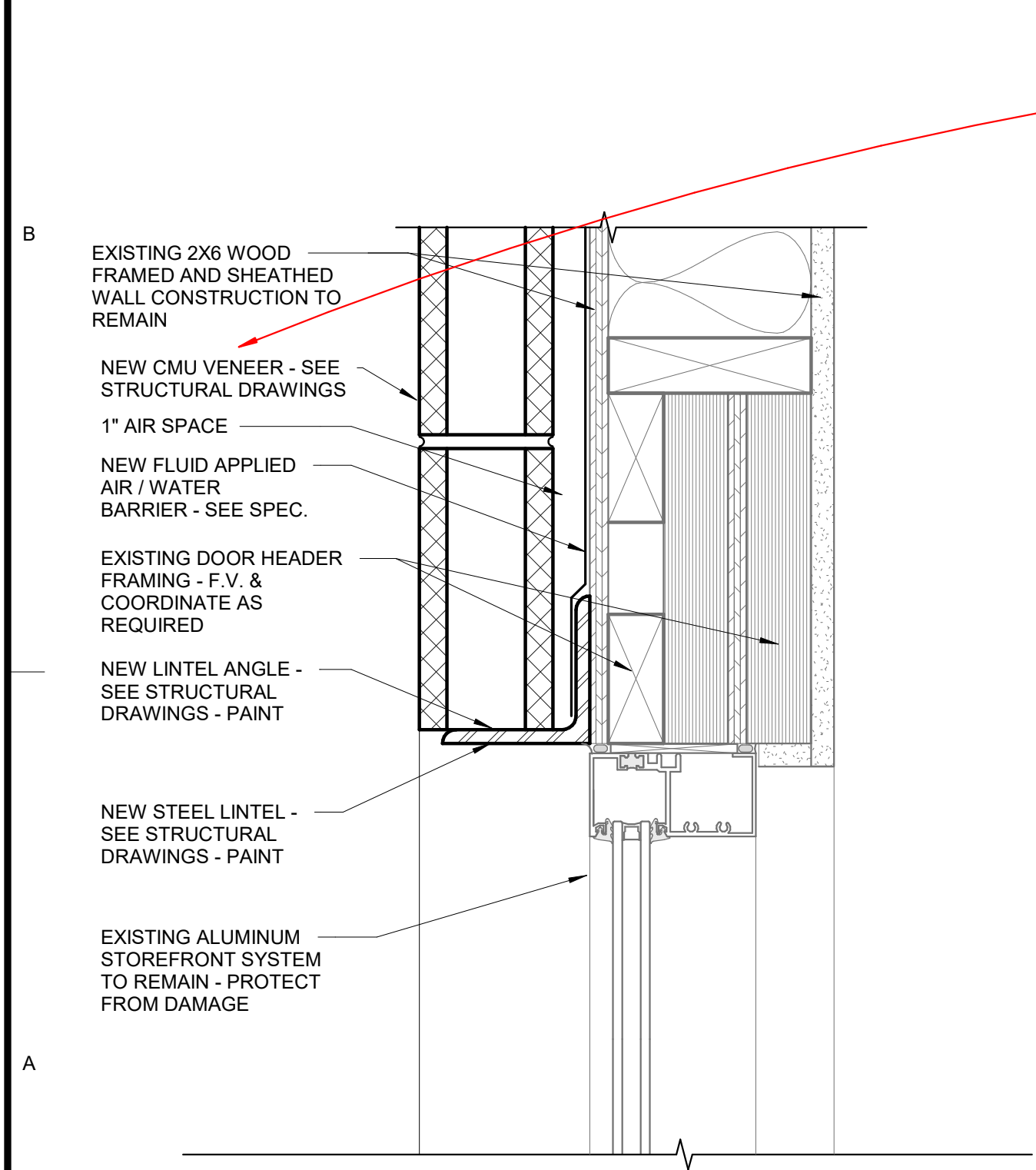
A1 BUILDING SECTION 01 - Callout 2 - Callout 1
 3" = 1'-0"

Last Plotted: 11/02/2017 9:53:11 PM

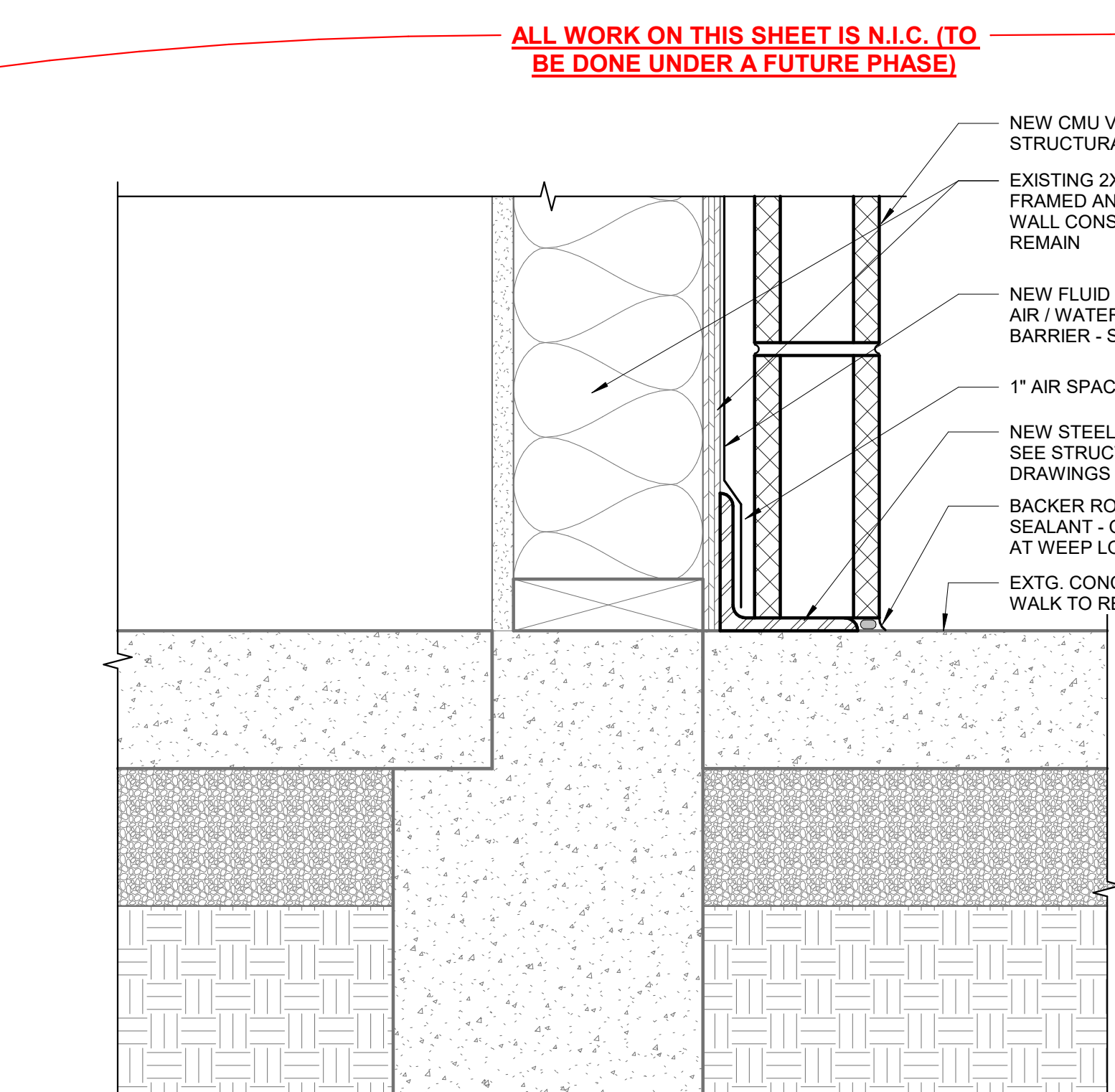


C1 Detail 0
3" = 1'-0"

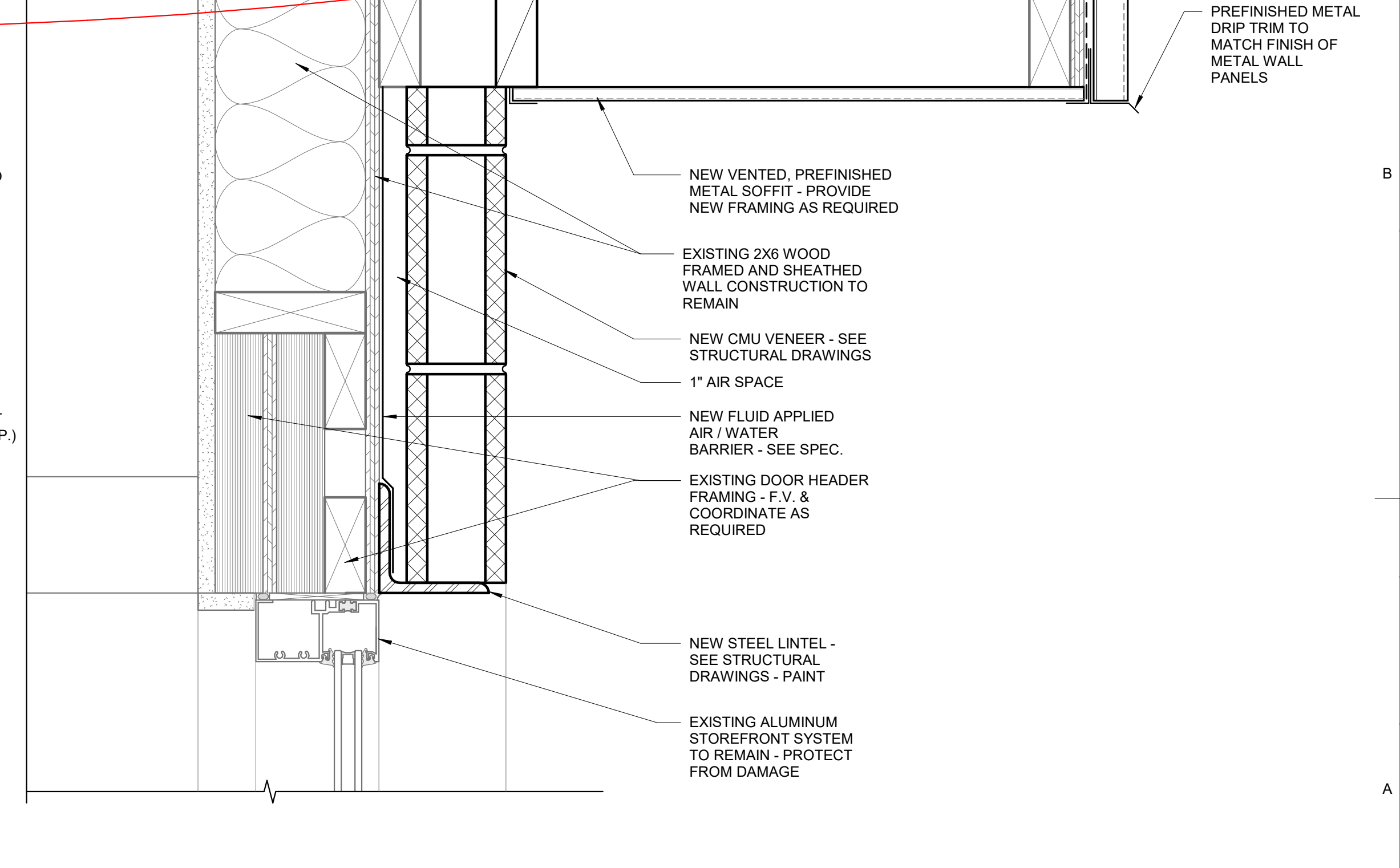
C2 BUILDING SECTION 03 - Callout 2 - Callout 1
3" = 1'-0"



A1 BUILDING SECTION 03 - Callout 1 - Callout 2
3" = 1'-0"



A2 BUILDING SECTION 03 - Callout 2 - Callout 2
3" = 1'-0"



A3 BUILDING SECTION 04 - Callout 2 - Callout 1
3" = 1'-0"

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

STATE OF UTAH
SCOTT P. EVANS
NO. 118114
12/17
PROFESSIONAL ARCHITECT

CODE OFFICIAL STAMP

PROJECT NAME:

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #:

SPE PROJECT #: 17-04

DRAWN BY: GTE

CHECKED BY: SPE

DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

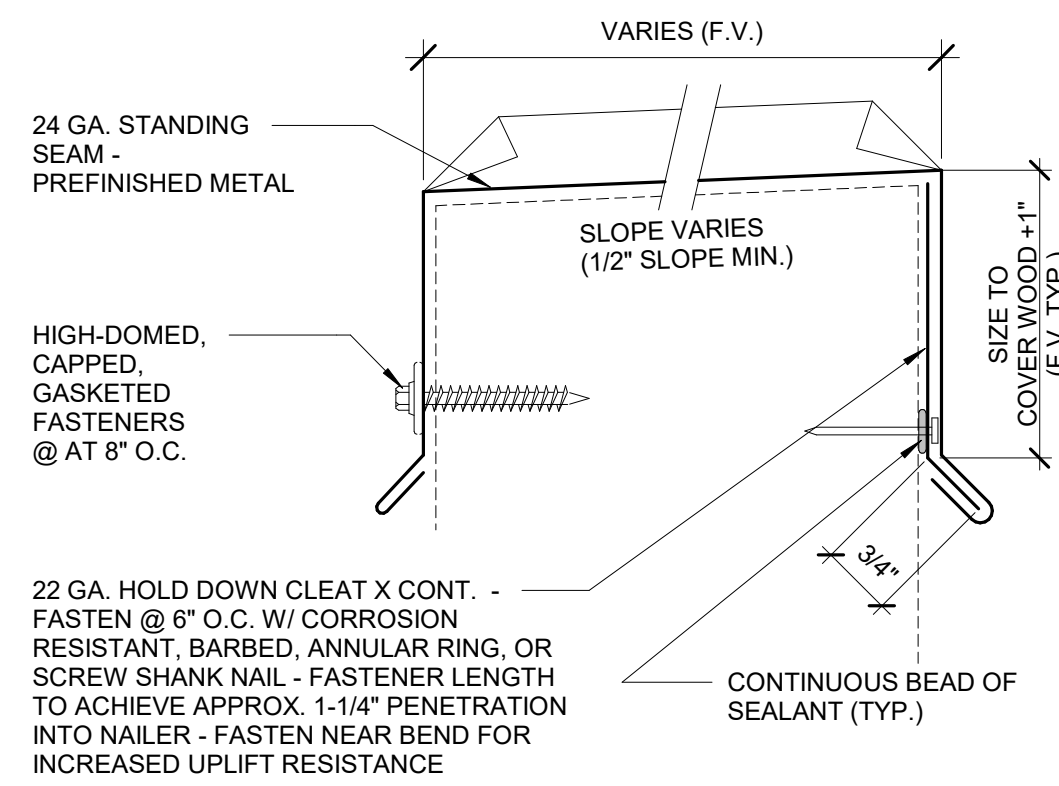
SHEET TITLE

DETAILS

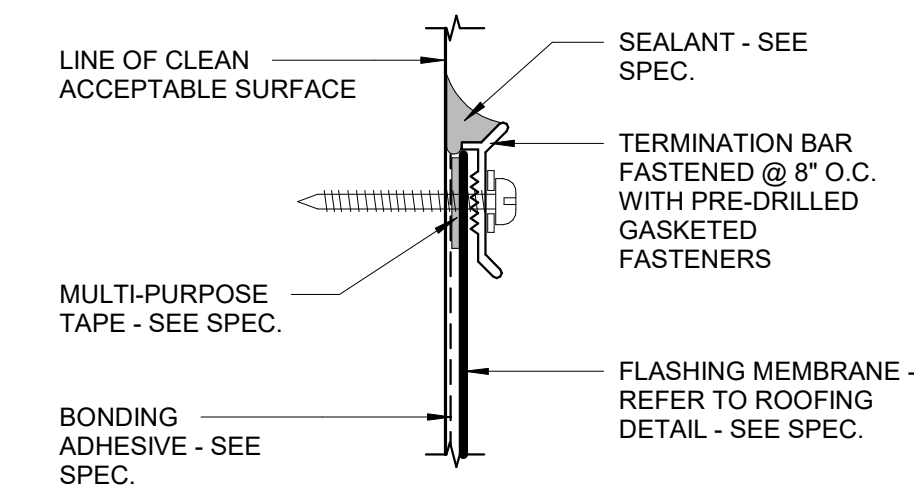
SHEET NUMBER

AE-504

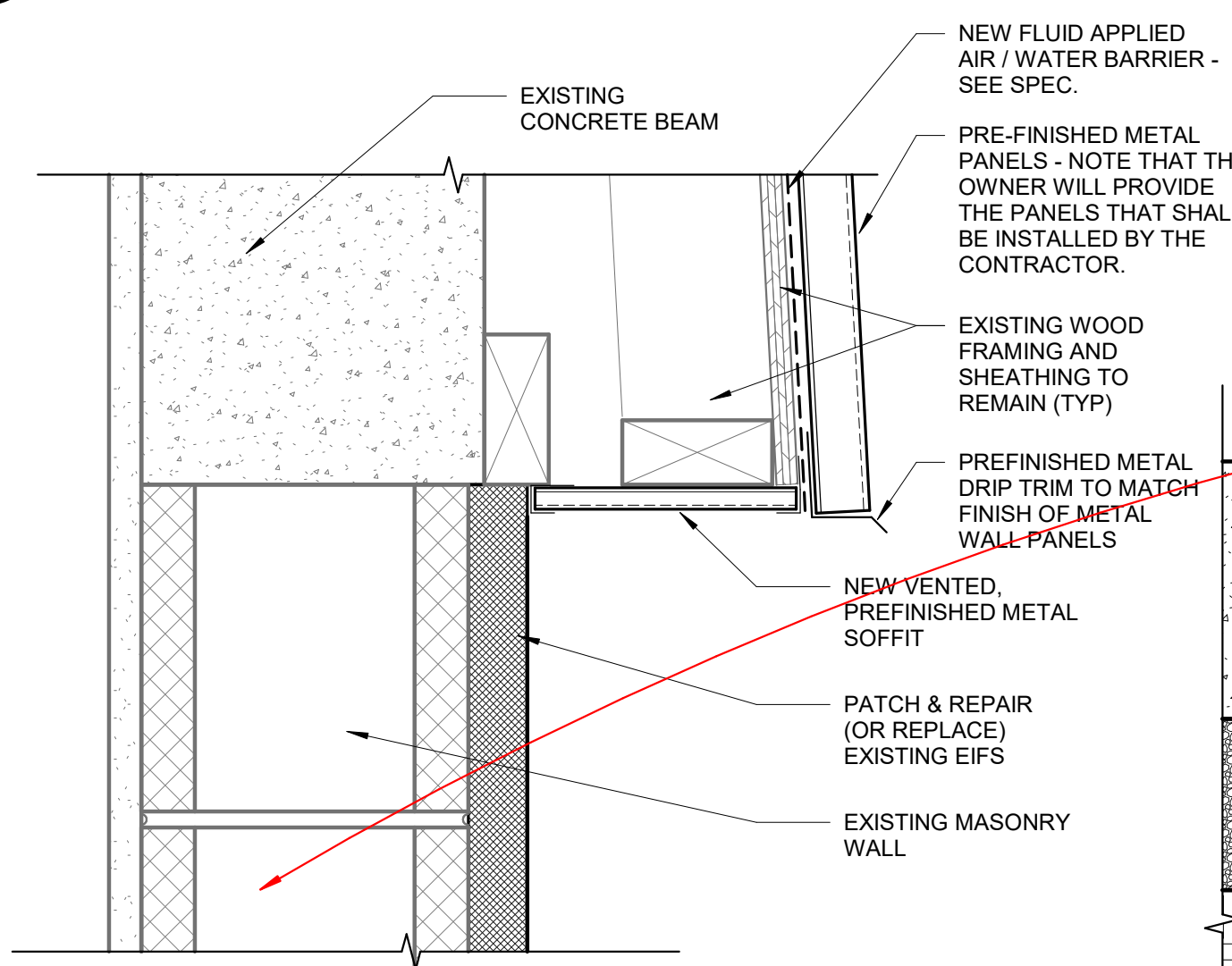
Last Plotted: 11/3/2017 9:53:13 PM



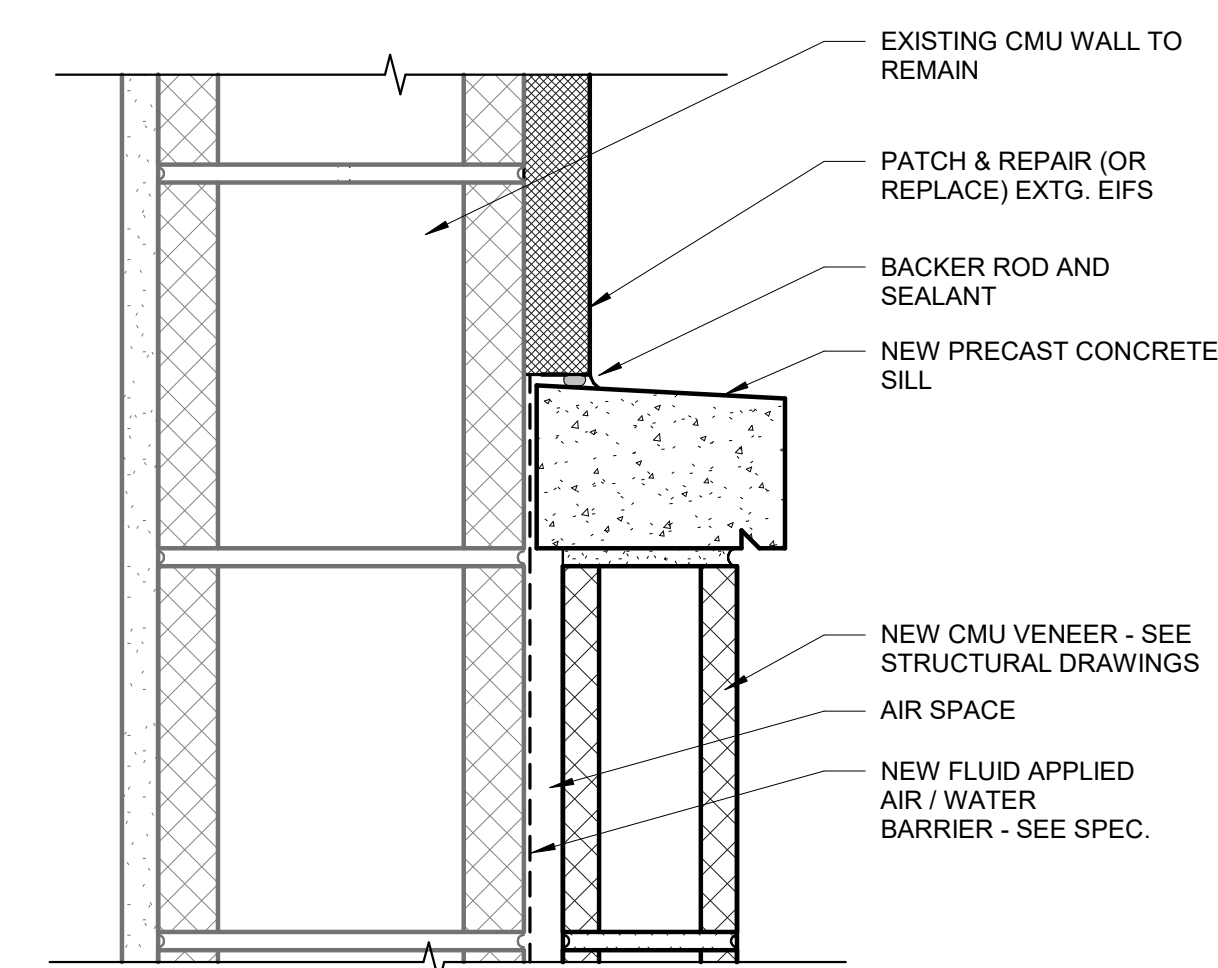
D1 TYP. PARAPET METAL DETAIL
6" = 1'-0"



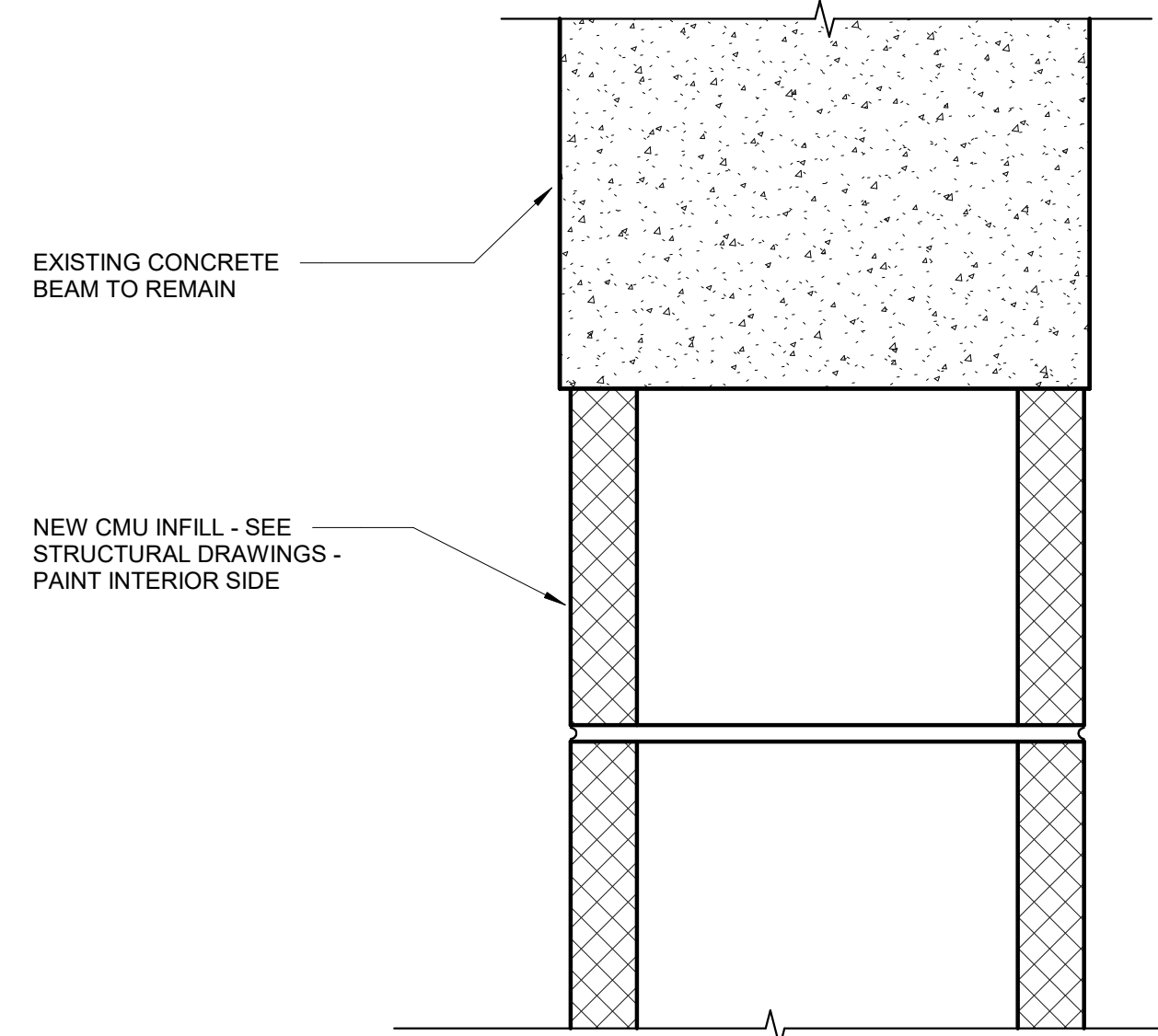
C1 TYP. TERMINATION BAR
12" = 1'-0"



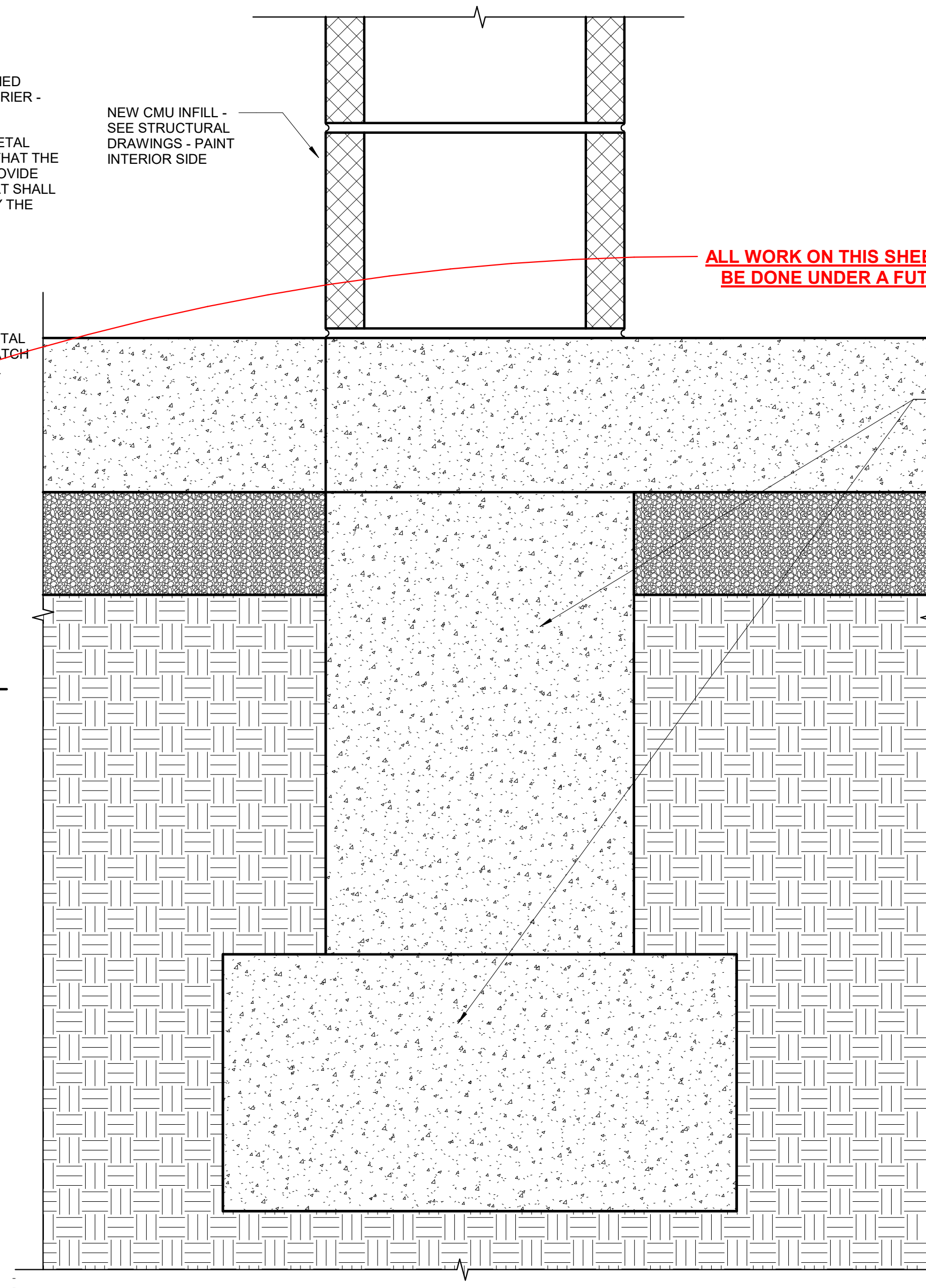
B1 Detail 2
3" = 1'-0"



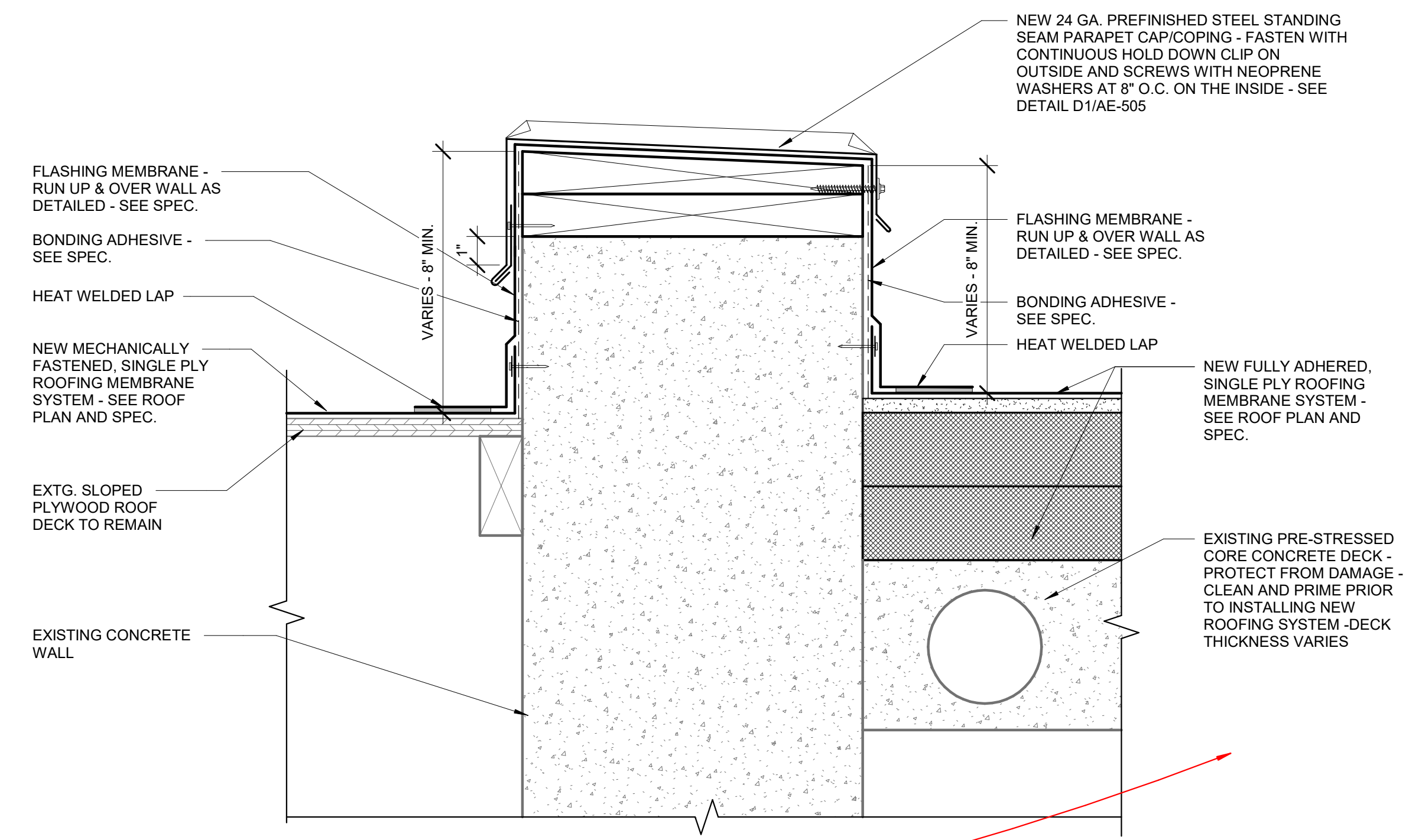
A1 Detail 1
3" = 1'-0"



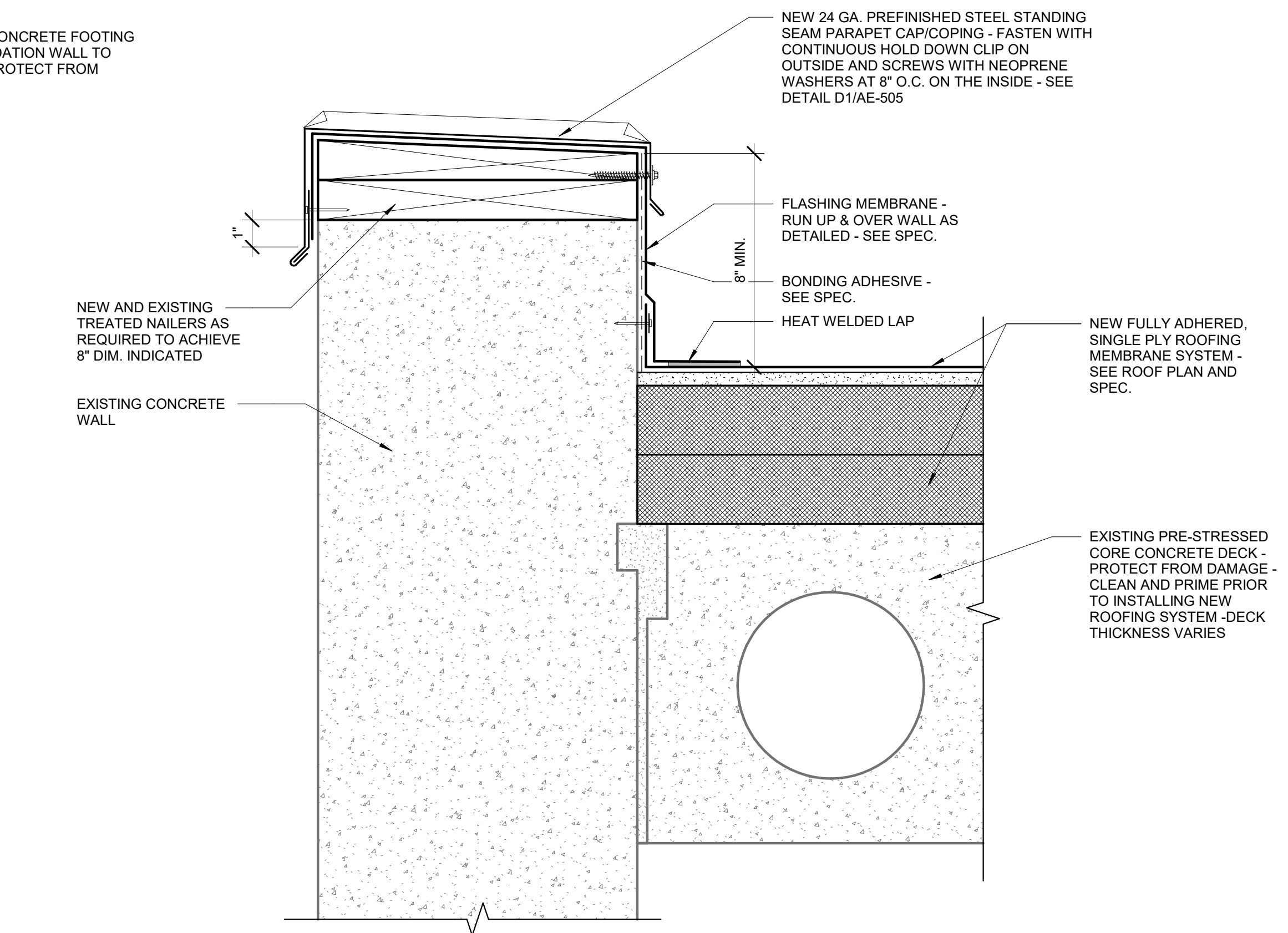
C2 INFILL - HIGH
3" = 1'-0"



B2 INFILL - LOW
3" = 1'-0"



C4 PARAPET @ OFFICE
3" = 1'-0"



A4 ROOF EDGE DETAIL
3" = 1'-0"

ALL WORK ON THIS SHEET IS N.I.C. (TO BE DONE UNDER A FUTURE PHASE)

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: -----
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE

DETAILS

SHEET NUMBER

AE-505

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/20/17	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: _____
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE

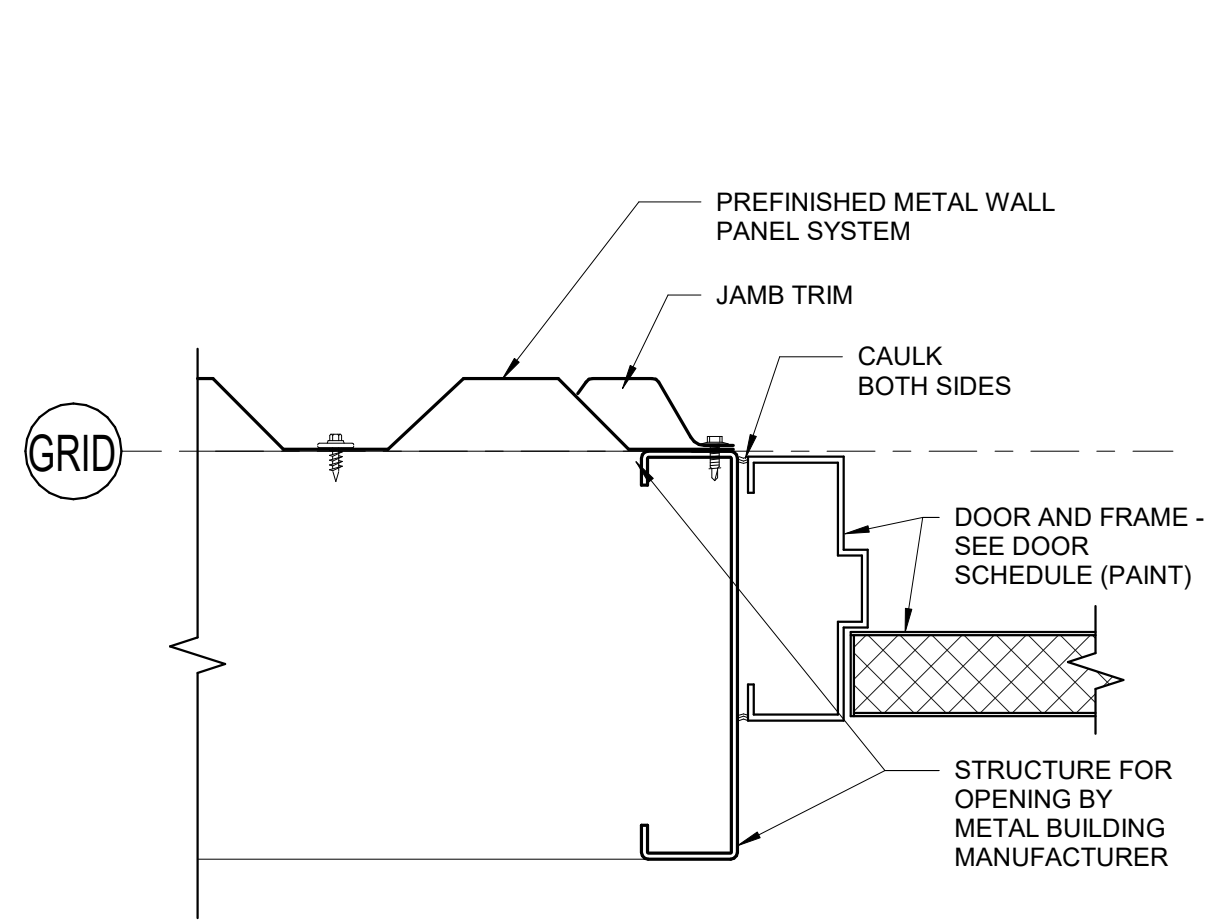
COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE

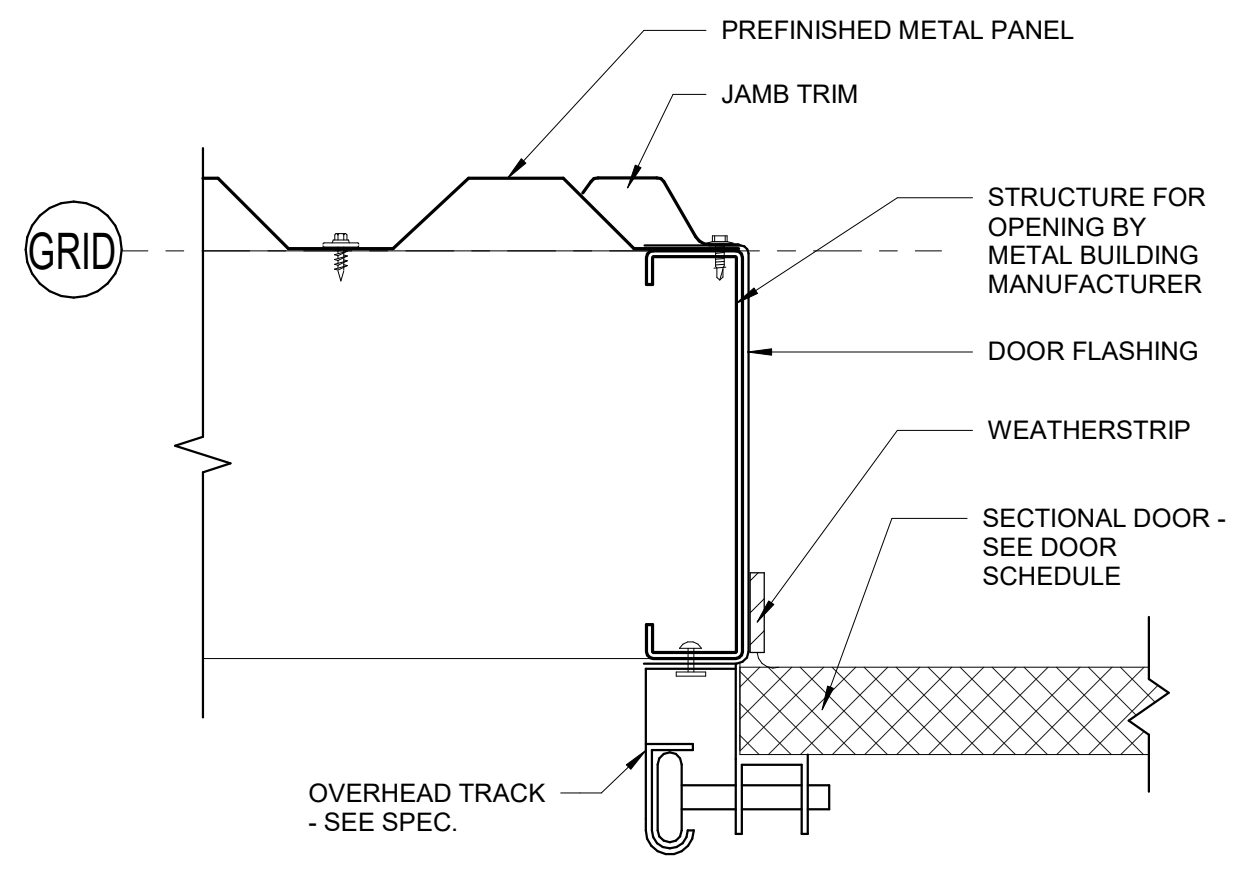
DETAILS

SHEET NUMBER

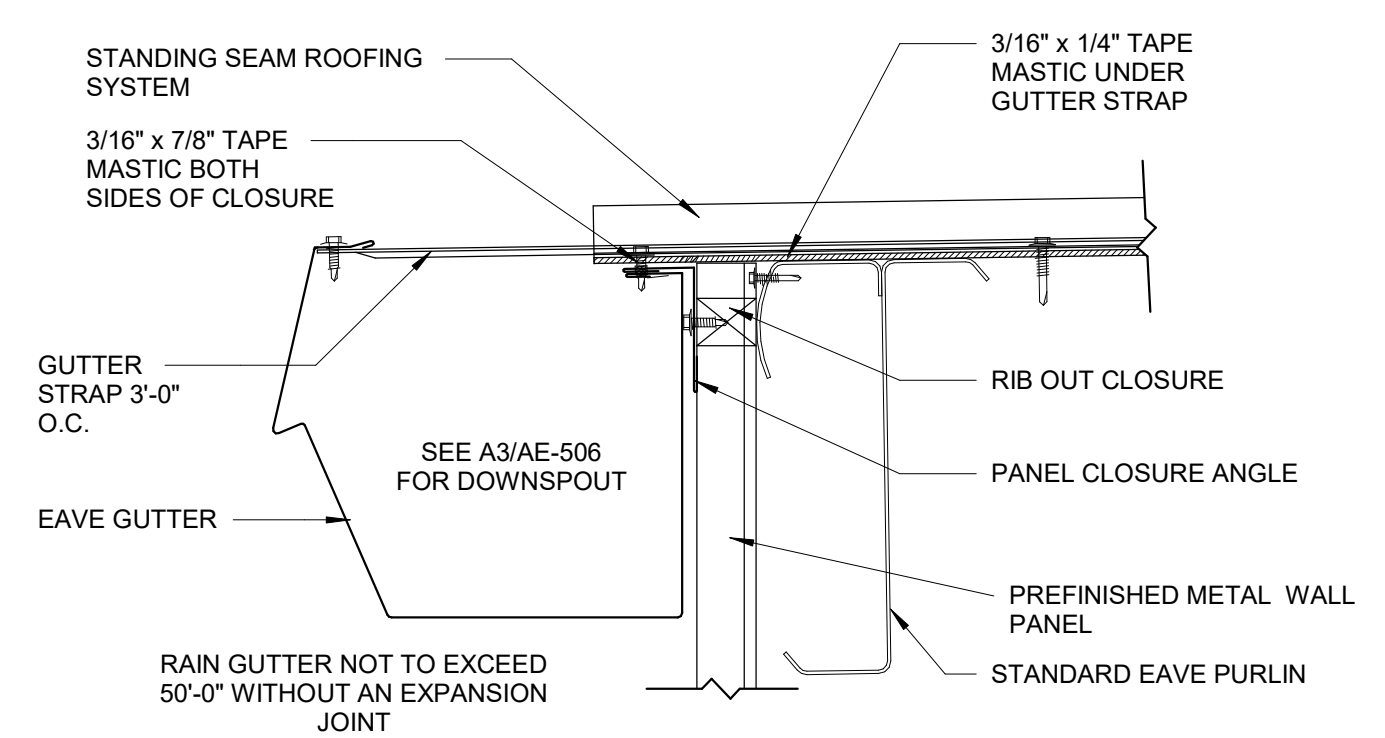
AE-506



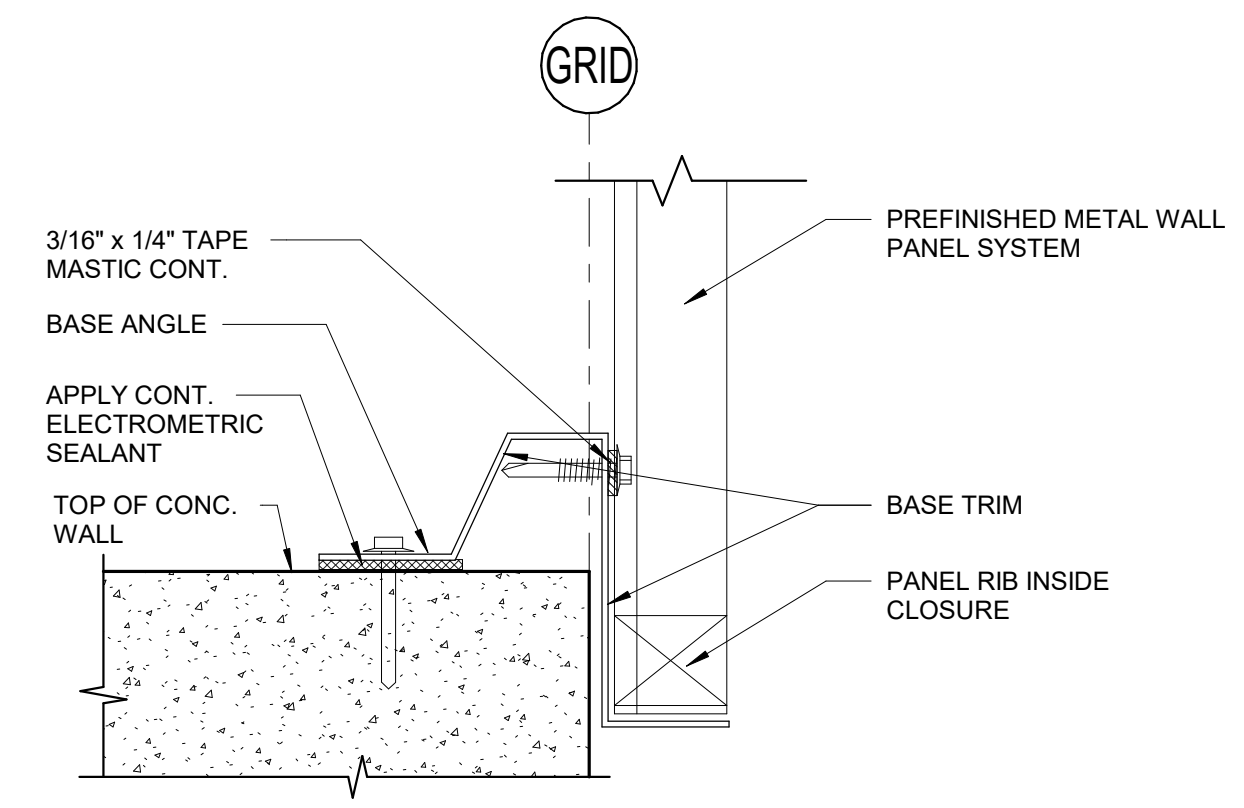
B1 DOOR JAMB DETAIL
 3" = 1'-0"



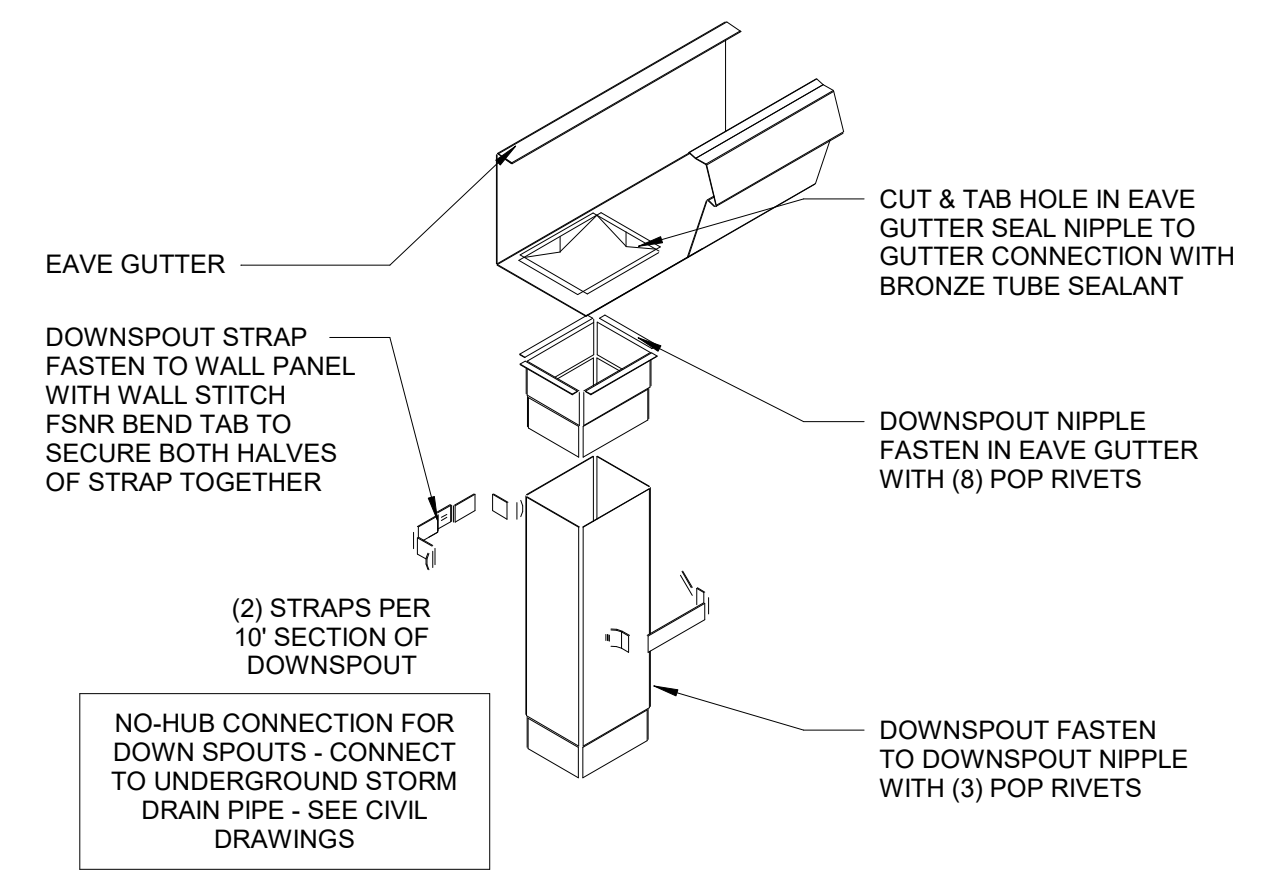
B2 DOOR JAMB DETAIL
 3" = 1'-0"



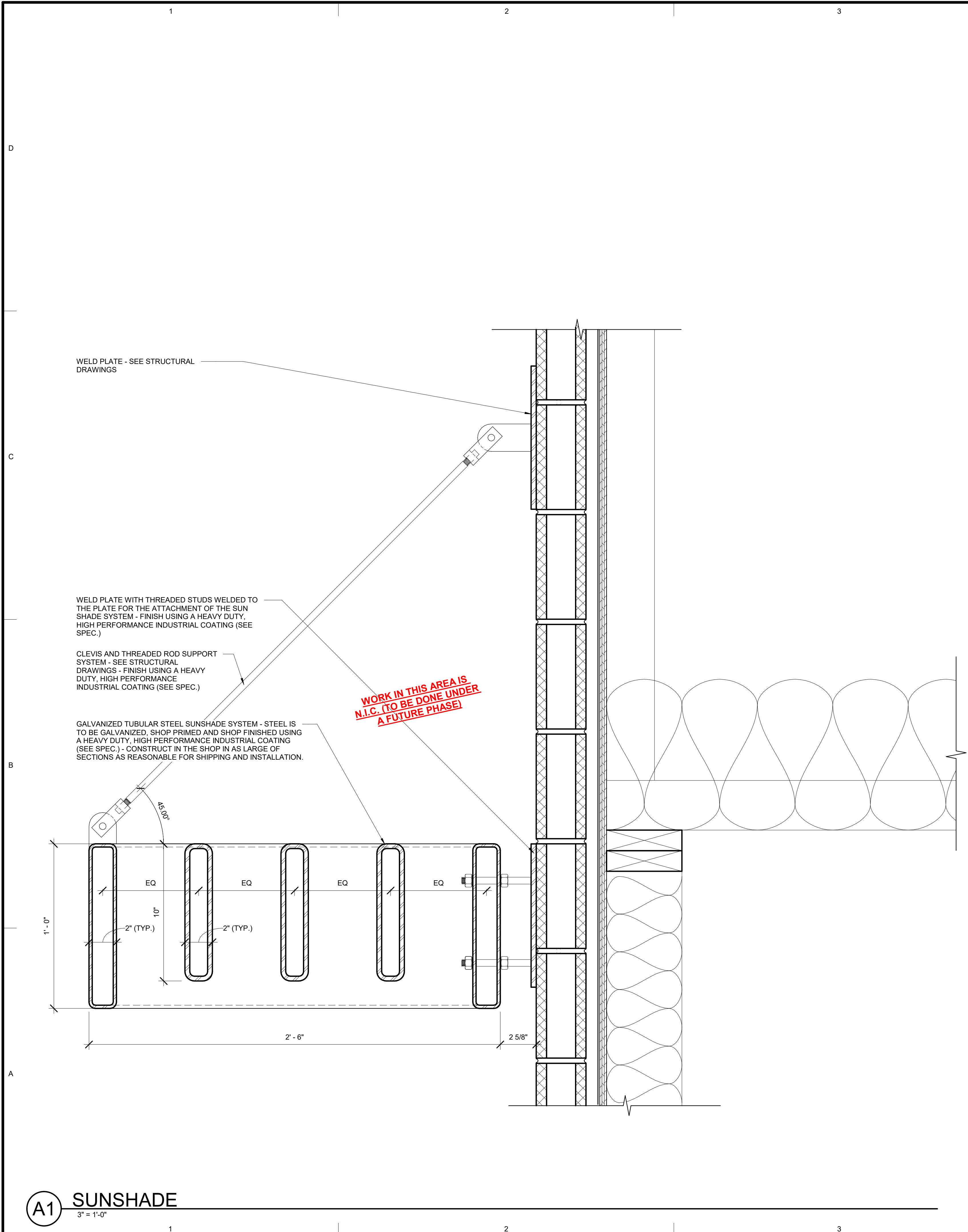
A1 EAVE GUTTER DETAIL
 3" = 1'-0"



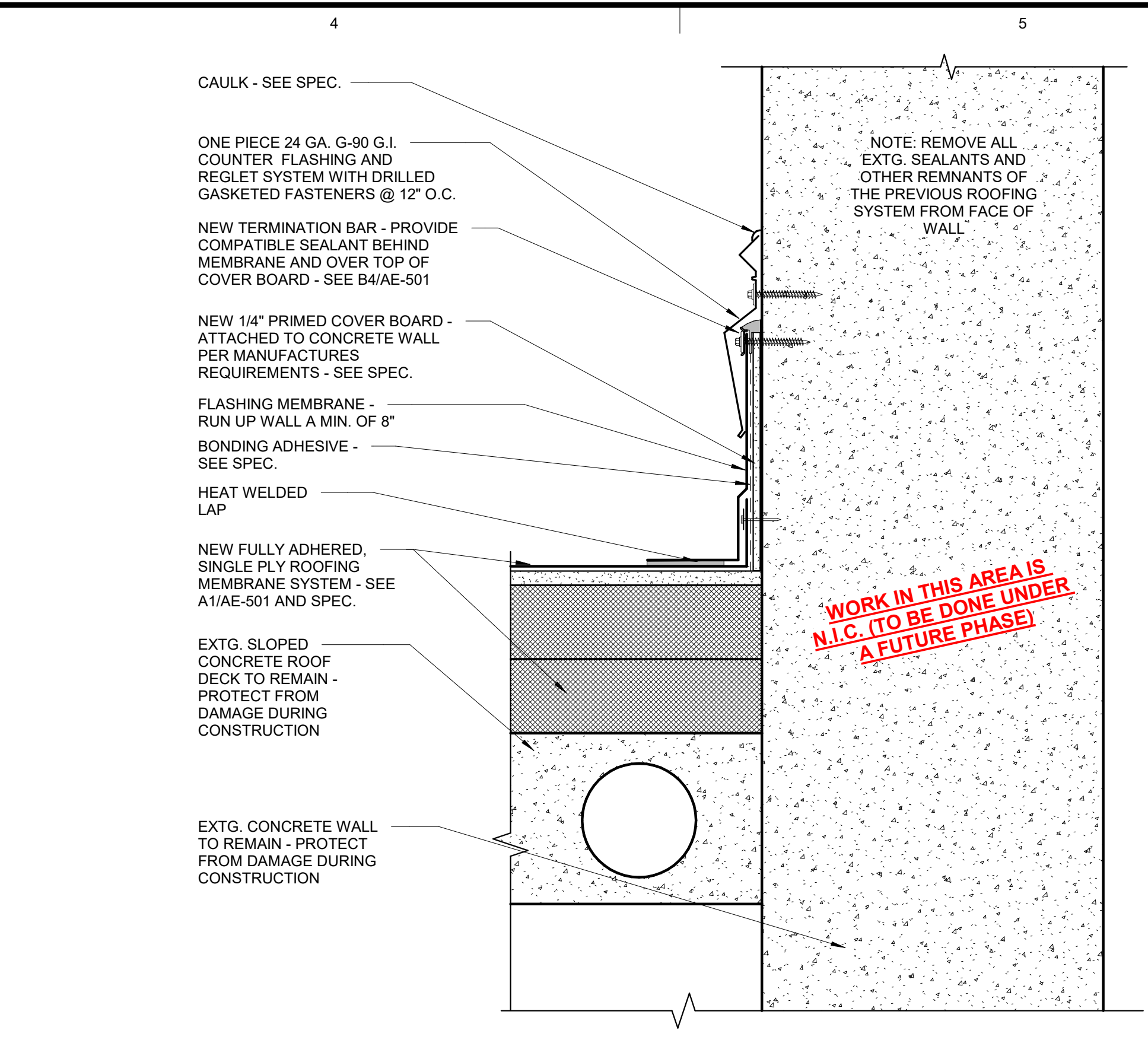
A2 BASE OF WALL ATTACHMENT
 6" = 1'-0"



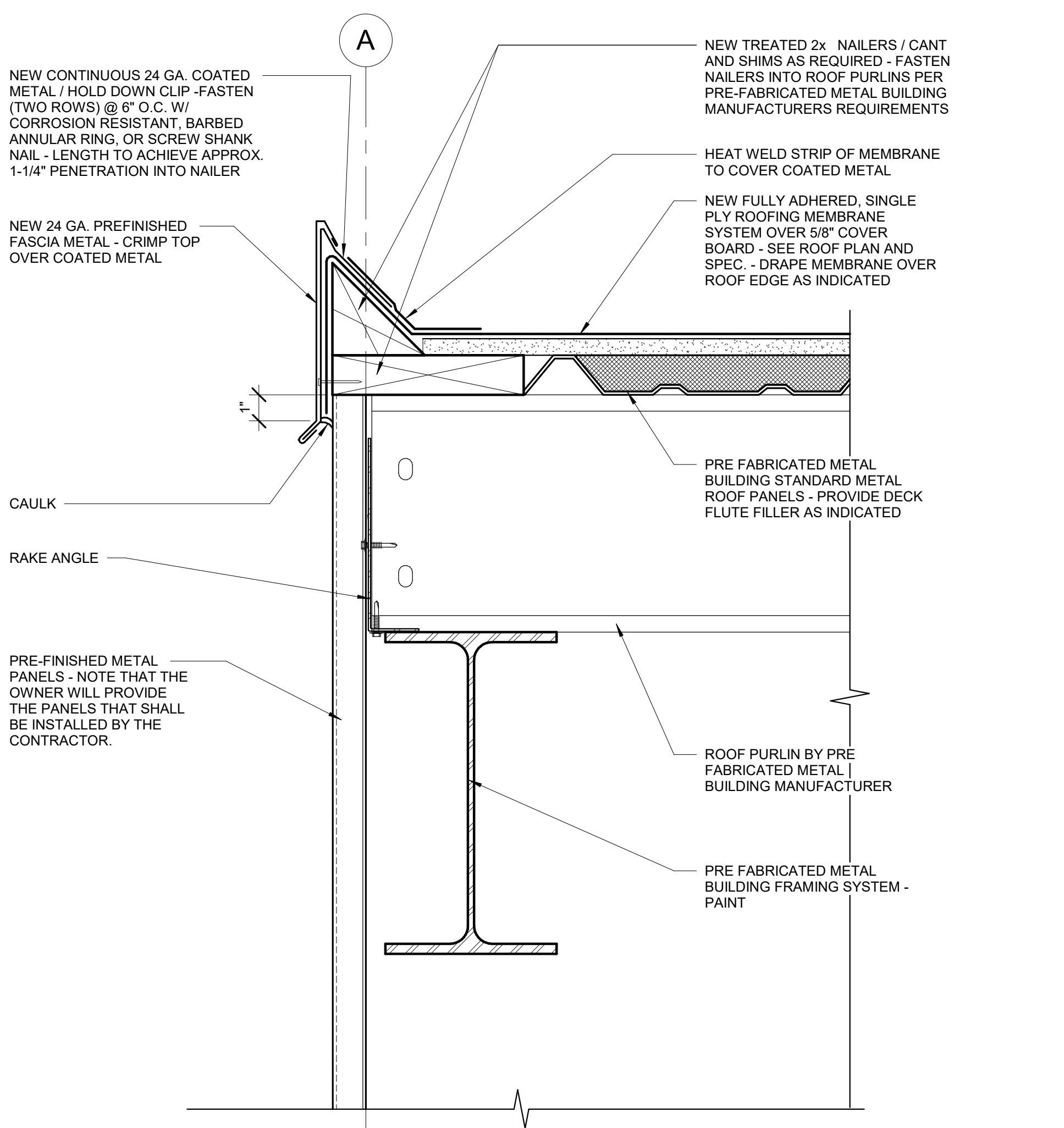
A3 DOWNSPOUT DETAIL
 1:1



A1 SUNSHADE
3" = 1'-0"



C4 WALL BASE @ CONC WALL
3" = 1'-0"



A4 BUILDING SECTION 05 - Callout 1 - Callout 1
3" = 1'-0"

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

STATE OF UTAH
SCOTT P. EVANS
NO. 118114
12/17
PROFESSIONAL ARCHITECT

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: -----
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE

DETAILS

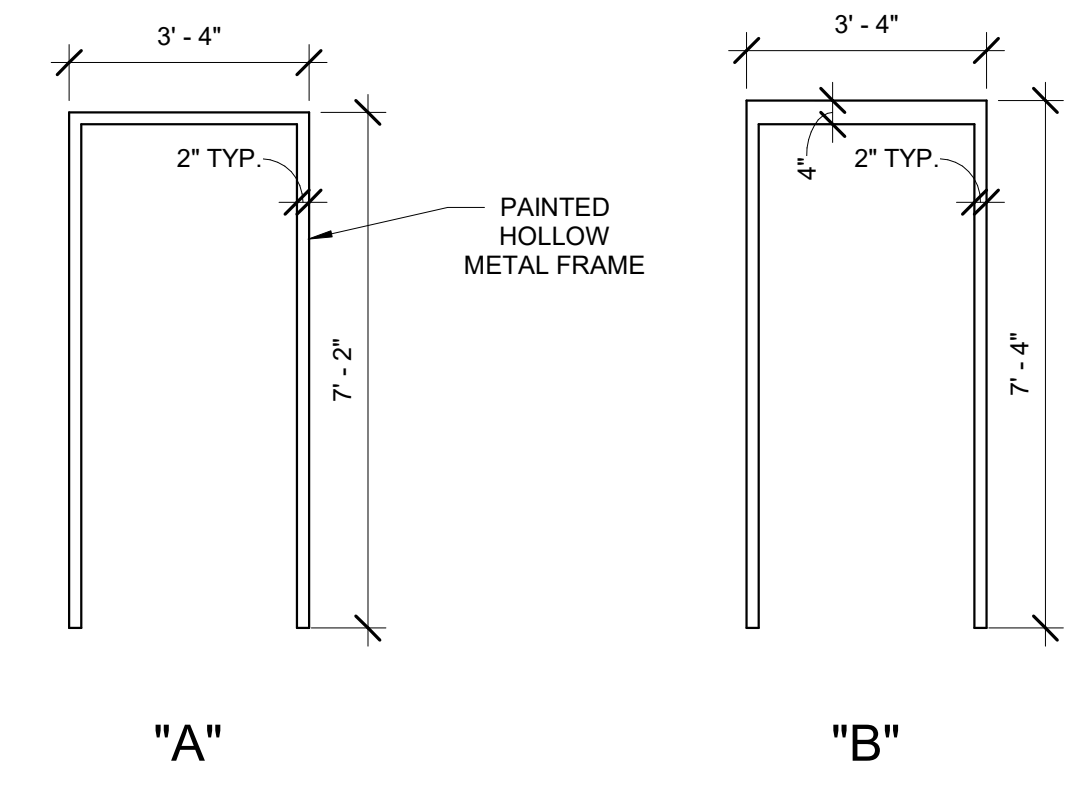
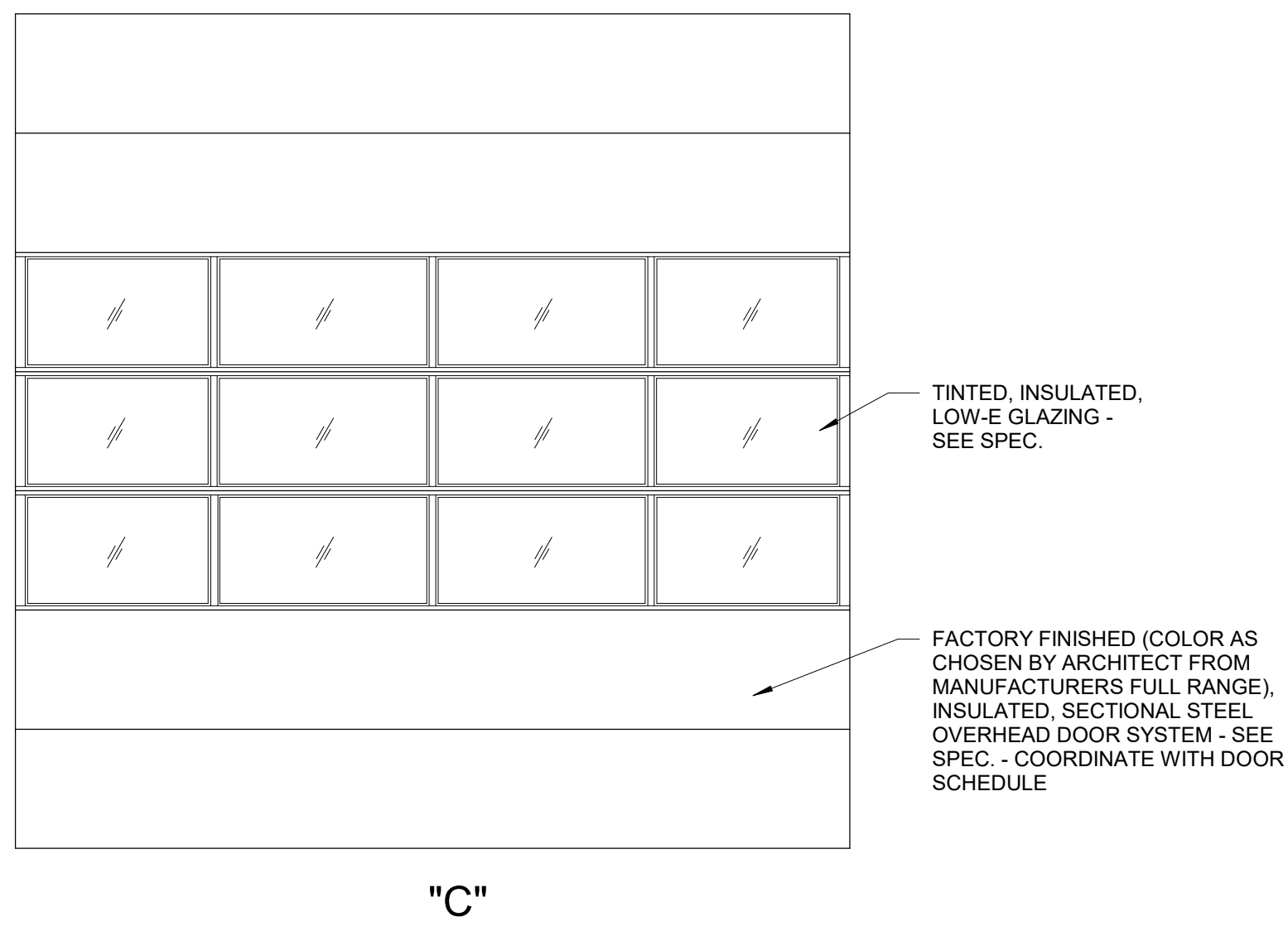
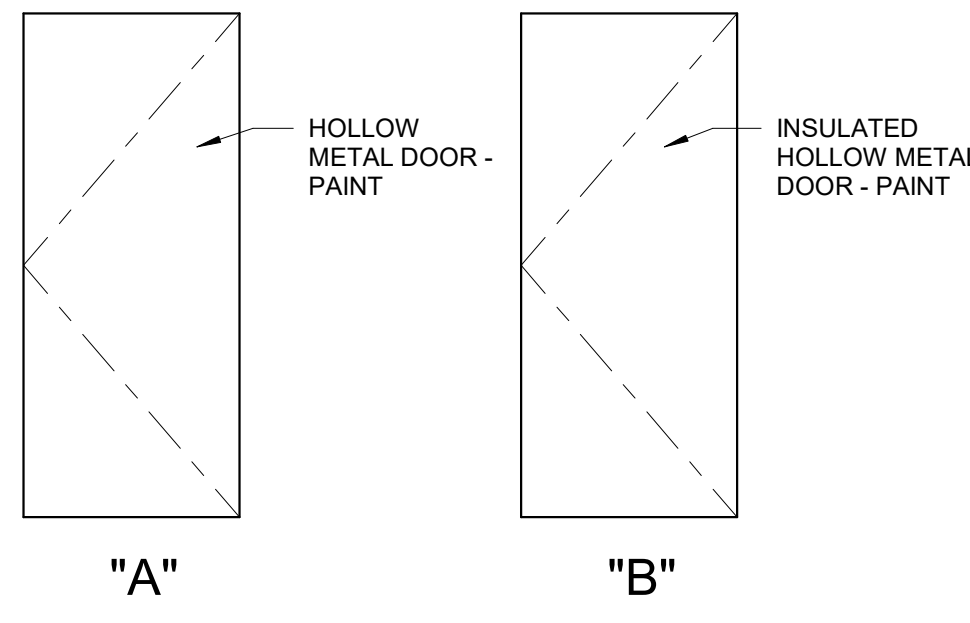
SHEET NUMBER

AE-507

Last Plotted: 11/02/2017 9:53:15 PM

DOOR #	DOOR			DOOR				FIRE RATING	HARDWARE	FRAME			FRAME (L) JAMB DETAIL	FRAME (R) JAMB DETAIL	FRAME HEAD DETAIL	THRESHOLD DETAIL	SIGNAGE TYPE	SIGNAGE TEXT	COMMENTS
	WIDTH	HEIGHT	DOOR TYPE	THICKNESS	MATERIAL	FINISH	TYPE			MATERIAL	FINISH								
401	12'-0"	14'-0"	C	2"	STEEL	FACTORY FINISHED	NONE												FIELD VERIFY SIZE TO WORK WITH EXISTING DOOR OPENING
402	12'-0"	14'-0"	C	2"	STEEL	FACTORY FINISHED	NONE												FIELD VERIFY SIZE TO WORK WITH EXISTING DOOR OPENING
403	12'-0"	14'-0"	C	2"	STEEL	FACTORY FINISHED	NONE												FIELD VERIFY SIZE TO WORK WITH EXISTING DOOR OPENING
104	3'-0"	7'-0"	A	1 3/4"	HOLLOW METAL	PAINT	NONE			A	HOLLOW METAL	PAINT	B1/AE-506	B1/AE-506	B1/AE-506 SIM.				
105	16'-0"	14'-0"	C	2"	STEEL	FACTORY FINISHED	NONE												
106	3'-0"	7'-0"	A	1 3/4"	HOLLOW METAL	PAINT	NONE			A	HOLLOW METAL	PAINT	B1/AE-506	B1/AE-506	B1/AE-506 SIM.				
407	12'-0"	14'-0"	C	2"	STEEL	FACTORY FINISHED	NONE												FIELD VERIFY SIZE TO WORK WITH EXISTING DOOR OPENING
408	12'-0"	14'-0"	C	2"	STEEL	FACTORY FINISHED	NONE												FIELD VERIFY SIZE TO WORK WITH EXISTING DOOR OPENING
409	3'-0"	7'-0"	B	1 3/4"	HOLLOW METAL	PAINT	NONE			B	HOLLOW METAL	PAINT							

DOORS # 101, 102, 103, 107, 108 & 109 ARE N.I.C. (TO BE DONE UNDER A FUTURE PHASE)



B1 DOOR TYPES LEGEND
3/8" = 1'-0"

B4 DOOR FRAME TYPE LEGEND
3/8" = 1'-0"

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
108 West Center Street
Bountiful, Utah 84010
1.801.298.1368 - 1.801.298.2192
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME

**KBR ROOFING
NEW ADDITION PHASE I**

1871 N. RULON WHITE BLVD.
OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/22/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: -----
SPE PROJECT #: 17-04
DRAWN BY: GTE
CHECKED BY: SPE
DESIGNED BY: SPE

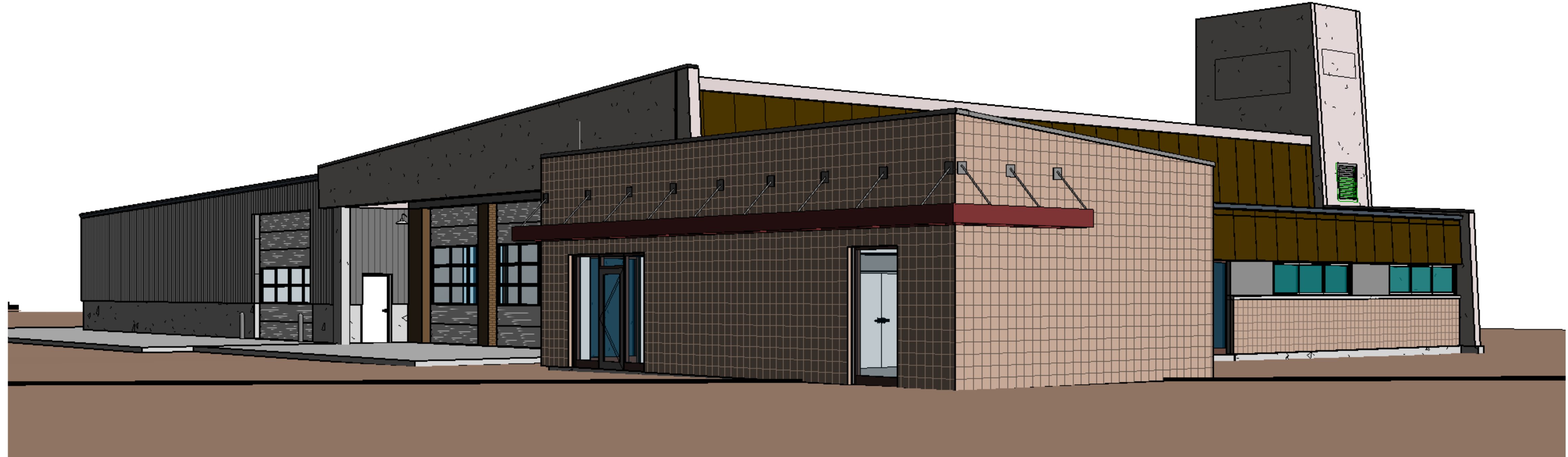
COPYRIGHT:
© 2017 SCOTT P. EVANS - ARCHITECT

SHEET TITLE

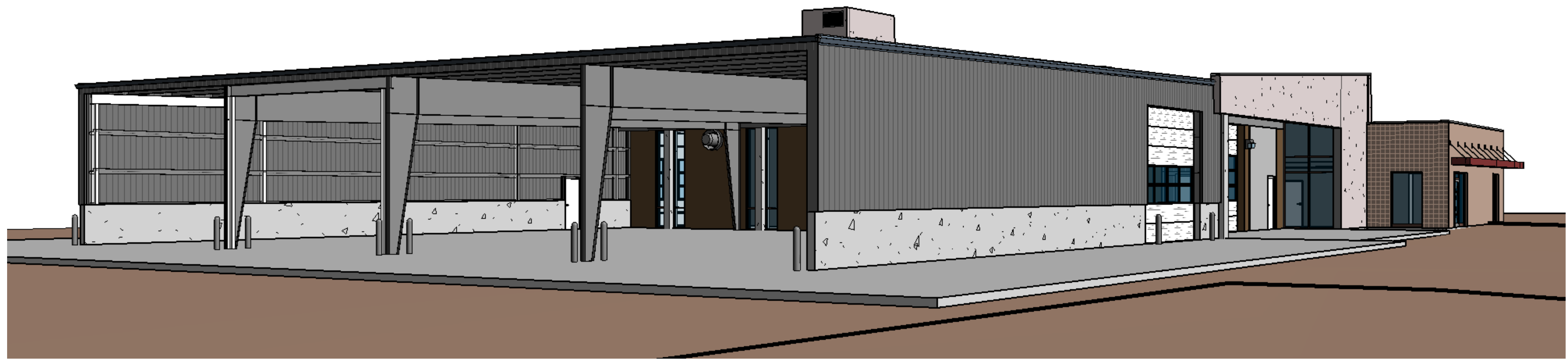
DOOR SCHEDULE

SHEET NUMBER

AE-601



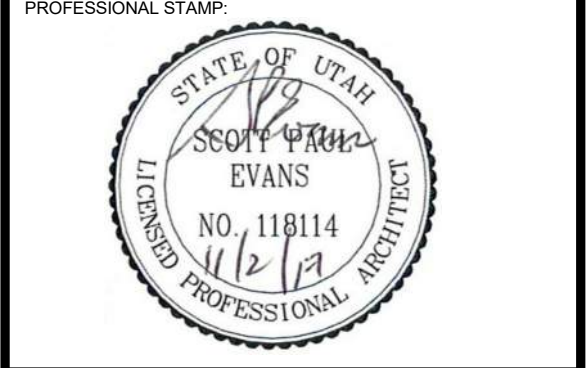
C1 EAST VIEW
12" = 1'-0"



A1 SOUTH VIEW
12" = 1'-0"

ARCHITECT'S INFORMATION:

ARCHITECT
SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com



PROFESSIONAL STAMP:
 CODE OFFICIAL STAMP:

PROJECT NAME:
**KBR ROOFING
 NEW ADDITION PHASE I**
 1871 N. RULON WHITE BLVD.
 OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: _____
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE

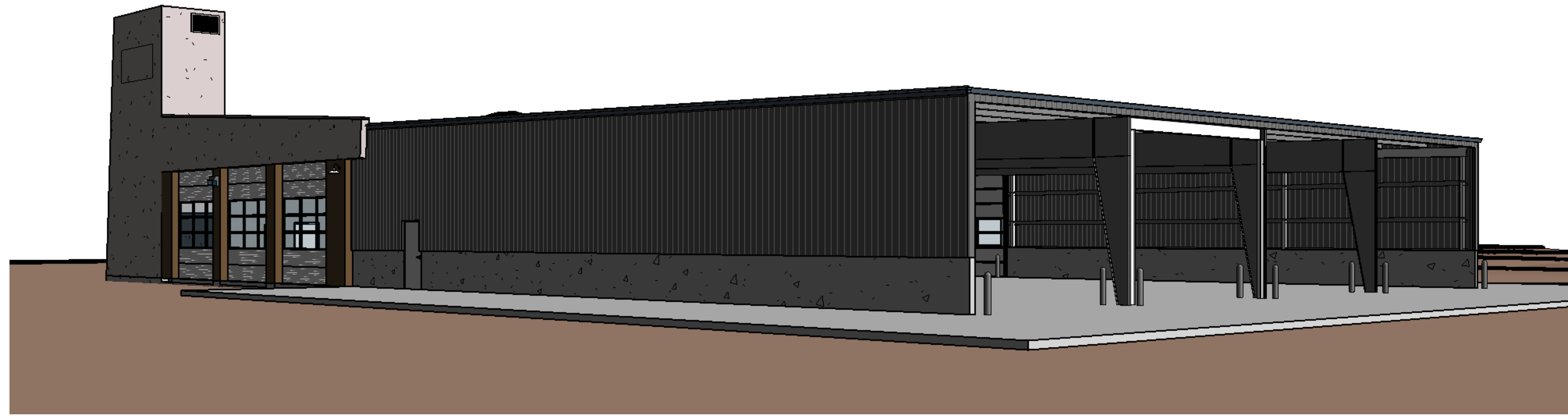
COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT
 SHEET TITLE:
IMAGES

SHEET NUMBER:
AE-901

Last Plotted: 11/3/2017 3:55:16 PM



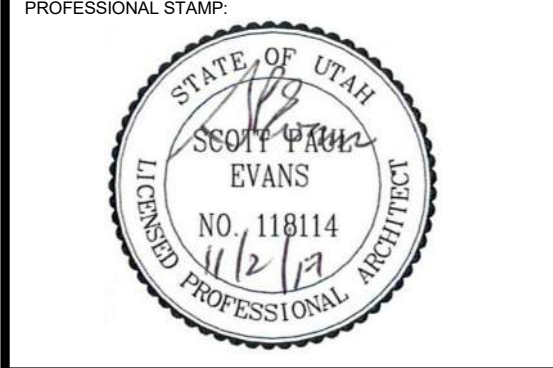
(B1) CONFERENCE
12" = 1'-0"



(A1) WEST VIEW
12" = 1'-0"

ARCHITECT'S INFORMATION:

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
 108 West Center Street
 Bountiful, Utah 84010
 1.801.298.1368 - 1.801.298.2192
 info@spe-architect.com
 www.spe-architect.com



PROFESSIONAL STAMP:
 CODE OFFICIAL STAMP:

PROJECT NAME:
**KBR ROOFING
 NEW ADDITION PHASE I**
 1871 N. RULON WHITE BLVD.
 OGDEN, UT 84404

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED:

NO.	DATE	DESCRIPTION
#1	11/3/2017	CONSTRUCTION BID DRAWINGS

OWNER PROJECT #: -----
 SPE PROJECT #: 17-04
 DRAWN BY: GTE
 CHECKED BY: SPE
 DESIGNED BY: SPE

COPYRIGHT:
 © 2017 SCOTT P. EVANS - ARCHITECT
 SHEET TITLE:
IMAGES

SHEET NUMBER:
AE-902

Last Plotted: 11/03/2017 9:53:17 PM