

A NEW DESIGN FOR

LOT 75R POWDER MOUNTAIN

8452 E. SPRING PARK
WEBER COUNTY, UT



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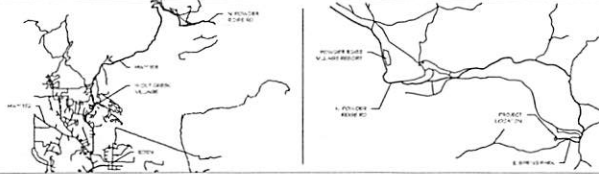
DEFERRED SUBMITTAL

- ALL DEFERRED SUBMITTALS AND CHANGES TO PLANS MUST BE FIRST APPROVED BY THE ARCHITECT OF RECORD PRIOR TO SUBMITTING TO THE BUILDING OFFICIAL.
- *STRUCTURAL ENGINEER TO APPROVE ALL STRUCTURAL PLANS.
 - 1. FIRE SPRINKLER PLANS (Modify NFA 130)
 - 2. GAS PIPING SCHEMATIC TO BE PROVIDED BY CONTRACTOR
 - 3. TRUSS PLANS (IF APPLICABLE)
 - 4. STUCCO SYSTEM (IF APPLICABLE)
 - 5. FIREPLACE PRODUCT INFORMATION
 - 6. LANDSCAPE SPRINKLER PLAN
 - 7. CONSTRUCTION MITIGATION PLAN
 - 8. GEOTECHNICAL SURVEY (IF APPLICABLE AS DETERMINED BY BUILDING OFFICIAL)
 - 9. SPECIAL INSPECTION CERTIFICATE FROM OUTSIDE INSPECTIONS FOR ALL WELDING ON THIS PROJECT
 - 10. CONTRACTOR TO PROVIDE EXTERIOR LIGHTING SPECS PRIOR TO FINAL ANY INSPECTION
 - 11. (3) BACKFLOW PREVENTORS TO BE INSTALLED
 - 12. POOL DESIGN BY OTHERS (IF APPLICABLE)

Code Analysis

- UTAH STATE ADOPTED CODES AS OF JULY 1, 2016
- 2015 IRC
- 2015 IBC
- 2015 IPC
- 2015 IRC
- 2015 REC
- 2014 NBC
- BUILDING OCCUPANCY R-3
- TYPE 5B CONSTRUCTION
- TWO STORES

VICINITY MAPS



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GENERAL CONTRACTOR

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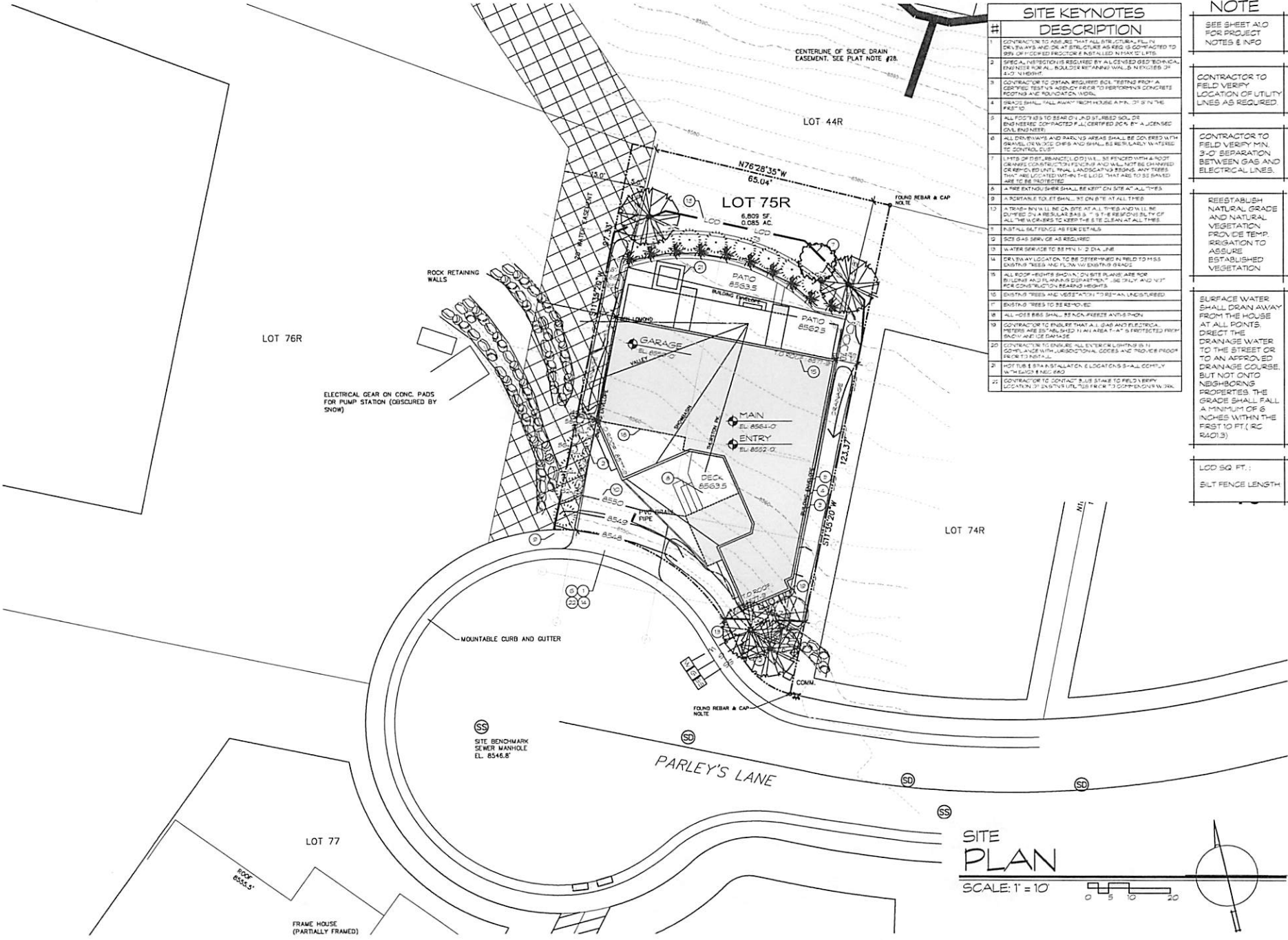
10 AUGUST 2017 REVISIONS

8452 E. SPRING PARK WEBER COUNTY, UT

A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN

UPWALL DESIGN
1930 S. 1000 E. S.L.C. UT 84106 (801) 465-0708

OT-1



#	DESCRIPTION
1	CONTRACTOR TO ASSURE THAT ALL STRUCTURAL FILL IN DRIVEWAYS AND ON PATIOS SHALL BE COMPACTED TO 95% OF 1" COMPACTED PROCTOR & INSTALLED IN MAX 12" LIFTS.
2	SPECIAL INSTRUCTIONS REQUIRED BY ALL LICENSED GEOTECHNICAL ENGINEERS FOR ALL ROADSIDE RETAINING WALLS IN EXCESS OF 4'-0" IN HEIGHT.
3	CONTRACTOR TO OBTAIN REQUIRED SOIL TESTING FROM A CERTIFIED TEST LAB AGENCY PRIOR TO PERFORMING CONCRETE FOOTINGS AND FOUNDATION WORK.
4	SEALS SHALL BE PLACED AT 10' SPACING A MIN. OF 3" IN THE FACE TO
5	ALL FOOTINGS TO BE SET ON L-10 STIFF SOILS. ENGINEERS CONTRACTOR SHALL CERTIFY SOILS BY A LICENSED GEOTECHNICAL ENGINEER.
6	ALL DRIVEWAYS AND PATIOS AREAS SHALL BE COVERED WITH GRANULAR FILL TO 20% DENSE AND SHALL BE RESURFACED WITH CONC. TO CONTROL CRACKS.
7	TYPE OF TREE SPECIES, LOCATION, SIZE, BE SAVED WITH A NOT ORANGE CONSTRUCTION FENCE AND SHALL NOT BE CHANGED OR REMOVED UNTIL FINAL LANDSCAPE REPORT. ANY TREES THAT ARE LOCATED WITHIN THE LOTS THAT ARE TO BE SAVED ARE TO BE IDENTIFIED.
8	A TREE EXISTING THERE SHALL BE KEPT ON SITE AT ALL TIMES.
9	A PORTABLE TOILET SHALL BE ON SITE AT ALL TIMES.
10	A TRASH BIN WILL BE ON SITE AT ALL TIMES AND WILL BE DUMPED ON A REGULAR BASIS. IT IS THE RESPONSIBILITY OF ALL THEM OWNERS TO KEEP THE SITE CLEAN AT ALL TIMES.
11	INSTALL BAIT FENCES AS PER DETAILS.
12	SITE GAS SERVICE AS REQUIRED.
13	WATER SERVICE TO BE MIN. 1.2 DIA. LINE.
14	DRAINAGE LOCATION TO BE DIFFERENCED IN FIELD TO 1/8" SLOPE. EXISTING TREES AND PLANTS TO BE MAINTAINED.
15	INSTALL BAIT FENCES AS PER DETAILS.
16	ALL ROOF HEIGHTS SHOWN ON SITE PLANS ARE FOR BUILDING AND PLUMBING DEPARTMENTS. USE ONLY AND NOT FOR CONSTRUCTION READING HEIGHTS.
17	EXISTING TREES AND VEGETATION TO REMAIN UNDISTURBED.
18	ALL EXISTING TREES SHALL BE MAINTAINED AND PROTECTED.
19	CONTRACTOR TO INSURE THAT ALL GAS AND ELECTRICAL METERS ARE DISMOUNTED IN AN AREA THAT IS PROTECTED FROM SAND AND ICE DAMAGE.
20	CONTRACTOR TO ENSURE ALL LEVELS OF BUILDINGS WITH SOME LEVELS WITH UNUSUAL CODES AND TO PROVIDE PROOF OF SUCH TO THE CITY.
21	NOT TO BE INSTALLED AT LOCATION SHALL COMPLY WITH GAS AND ELECTRICAL.
22	CONTRACTOR TO CONTACT UTILITIES TO FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCING WORK.

NOTE

SEE SHEET A10 FOR PROJECT NOTES & INFO

CONTRACTOR TO FIELD VERIFY LOCATION OF UTILITY LINES AS REQUIRED

CONTRACTOR TO FIELD VERIFY MIN. 3'-0" SEPARATION BETWEEN GAS AND ELECTRICAL LINES.

REESTABLISH NATURAL GRADE AND NATURAL VEGETATION. PROVIDE TEMP. IRRIGATION TO ASSURE ESTABLISHED VEGETATION.

SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE, BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FT. (RC R4013)

LOD SQ. FT. :
SILT FENCE LENGTH

10 AUGUST 2017
REVISIONS

A NEW DESIGN FOR:
LOT 75R POWDER MOUNTAIN
BASE & SERVICE PARK
WEBER COUNTY, UT

UP WALL DESIGN
1930 S. 1100 E. S.L.C. UT 84106
(801) 485-0700

A11



SITE KEYNOTES	
#	DESCRIPTION
1	CONTRACTOR TO VERIFY THAT ALL STRUCTURAL FILL IN DRIVEWAY IS MAJOR AT MIN. 20% AND IS COMPACTED TO 95% OF PROPOSED PROCTOR & INSTALLED IN MAX. 12" LIFTS
2	SPECIAL INSPECTION IS REQUIRED BY A LICENSED REGISTERED PROFESSIONAL ENGINEER FOR ALL REBAR RETAINED WALLS IN EXCESS OF 4'-0" IN HEIGHT
3	CONTRACTOR TO OBTAIN REQUIRED SOIL TESTING FROM A LICENSED TESTING AGENCY PRIOR TO POURING CONCRETE FOOTINGS AND FOUNDATION WORK
4	GRADE SHALL FALL AWAY FROM HOUSE A MIN. OF 6" IN THE FRONT YD.
5	ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENGINEERED COMPACTED FILL CERTIFIED AND IN BY A LICENSED CIVIL ENGINEER
6	ALL DRIVEWAYS AND PADING AREAS SHALL BE COVERED WITH GRAVEL OR LOG CHIPS AND SHALL BE REGULARLY WATERED TO CONTROL DUST
7	LIMITS OF DISTURBANCE (L.O.D.) SHALL BE FENCED UNTIL FOOTING OR CONSTRUCTION BEGINS AND SHALL NOT BE CHANGED OR EXTENDED UNTIL ALL INDICATING BEPS OR ANY TREES THAT ARE LOCATED WITHIN THE L.O.D. THAT ARE TO BE SAVED ARE TO BE REMOVED
8	A PROTECTIVE FENCE SHALL BE SET UP ON SITE AT ALL TIMES
9	A PORTABLE TOILET SHALL BE ON SITE AT ALL TIMES
10	A TRASH BIN WILL BE ON SITE AT ALL TIMES AND WILL BE PROVIDED ON A REGULAR BASIS. IT IS THE RESPONSIBILITY OF ALL THE WORKERS TO KEEP THE SITE CLEAN AT ALL TIMES
11	INSTALL SALT FENCE AS PER DETAILS
12	SIZE OF GAS SERVICE AS REQUIRED
13	WATER SERVICE TO BE MIN. 1/2" DIA. LINE
14	DRIVEWAY LOCATION TO BE DETERMINED IN FIELD TO PASS EXISTING TREES AND FROM EXISTING GRADE
15	ALL ROOF HEIGHTS SHOWN ON SITE PLANS ARE FOR BUILDING AND FINISH FLOORING - SEE ONLY AND NOT FOR CONSTRUCTION (EARTH) HEIGHTS
16	EXISTING TREES AND VEGETATION TO REMAIN UNDISTURBED
17	EXISTING TREES TO BE REMOVED
18	ALL HOSE BIBS SHALL BE NON-FREEZE IN THIS ZONE
19	CONTRACTOR TO ENSURE THAT ALL GAS AND ELECTRICAL, HEATING AND COOLING SHALL BE IN AN AREA THAT IS PROTECTED FROM SNOW AND ICE DAMAGE
20	CONTRACTOR TO FINISH ALL EXTERIOR LIGHTS TO BE COMPLIANT WITH RESIDENTIAL CODES AND PROVIDE PROOF FROM INSTALL
21	WATER & BIA INSTALLATION & LOCATIONS SHALL COMPLY WITH E.C.C. & M.E.C.C.
22	CONTRACTOR TO CONTACT BUS STABLE TO FIELD VERIFY LOCATION OF EXISTING UTILITIES & SET POINTS TO BE MAINTAINED

NOTE
SEE SHEET A10 FOR PROJECT NOTES & INFO

CONTRACTOR TO FIELD VERIFY LOCATION OF UTILITY LINES AS REQUIRED.

CONTRACTOR TO FIELD VERIFY MIN. 3'-0" SEPARATION BETWEEN GAS AND ELECTRICAL LINES

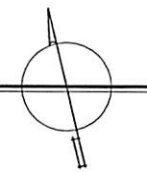
10 AUGUST 2017 REVISIONS	
1	ADD 22 TO SITE KEYNOTES
2	ADD 21 TO SITE KEYNOTES
3	ADD 20 TO SITE KEYNOTES
4	ADD 19 TO SITE KEYNOTES
5	ADD 18 TO SITE KEYNOTES
6	ADD 17 TO SITE KEYNOTES
7	ADD 16 TO SITE KEYNOTES
8	ADD 15 TO SITE KEYNOTES
9	ADD 14 TO SITE KEYNOTES
10	ADD 13 TO SITE KEYNOTES
11	ADD 12 TO SITE KEYNOTES
12	ADD 11 TO SITE KEYNOTES
13	ADD 10 TO SITE KEYNOTES
14	ADD 9 TO SITE KEYNOTES
15	ADD 8 TO SITE KEYNOTES
16	ADD 7 TO SITE KEYNOTES
17	ADD 6 TO SITE KEYNOTES
18	ADD 5 TO SITE KEYNOTES
19	ADD 4 TO SITE KEYNOTES
20	ADD 3 TO SITE KEYNOTES
21	ADD 2 TO SITE KEYNOTES
22	ADD 1 TO SITE KEYNOTES

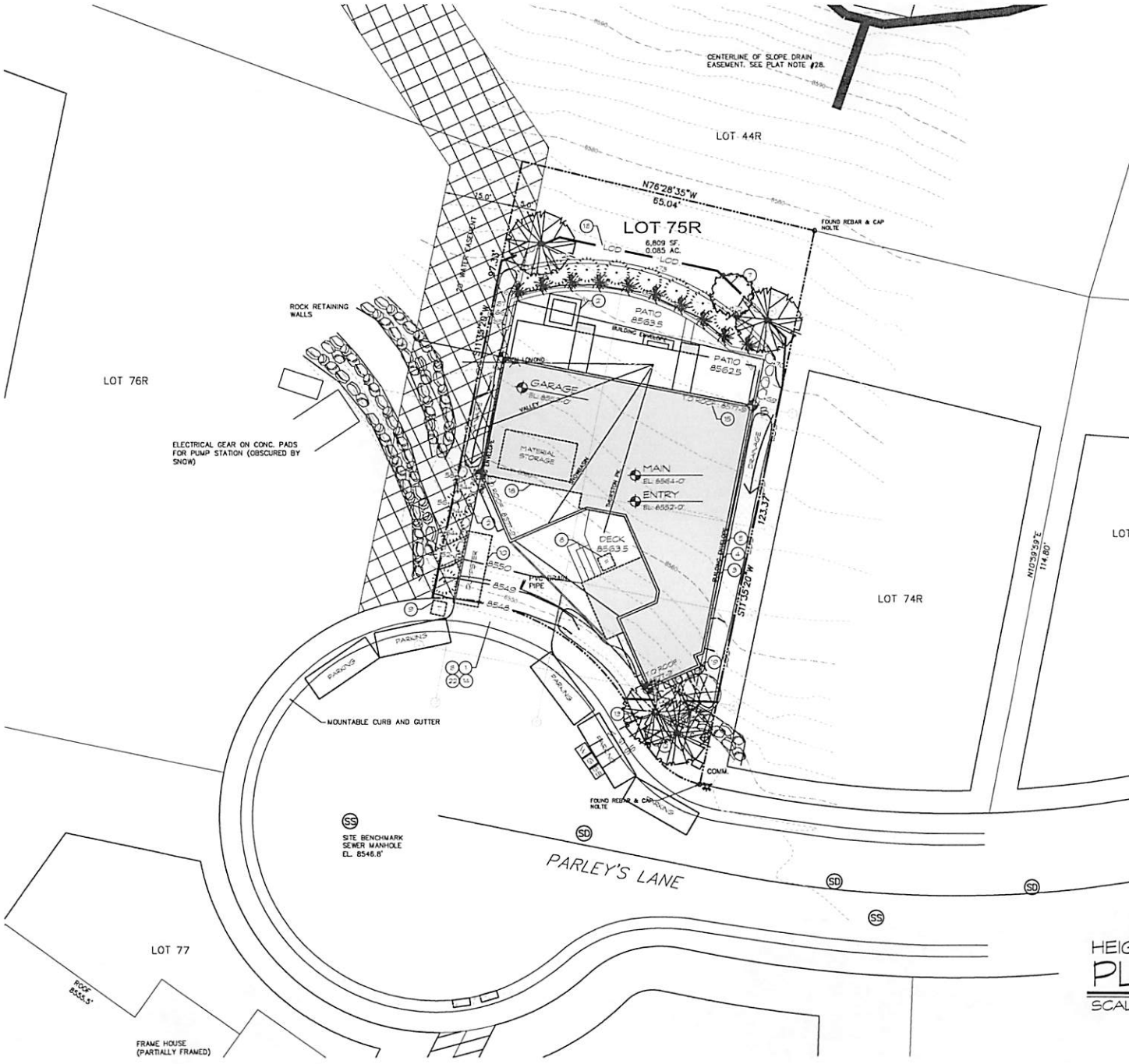
A NEW DESIGN FOR:
LOT 75R POWDER MOUNTAIN
5452 E. SPURNS PARK
WEBER COUNTY, UT

UP WALL
DE SIGN
1930 S. 1100 E., S.C., UT 84106
(801) 485-4708

A1.2

SITE PLAN
SCALE: 1" = 6.7379'





NOTE
SEE SHEET A10 FOR PROJECT NOTES & INFO

35' HEIGHT RESTRICTION					
POINT	ROOF ELEVATION	EXISTING GRADE	EXISTING GRADE HEIGHT	FINISHED GRADE	FINISHED GRADE HEIGHT
A	8577'-9"	8565'-0"	12'-9"	8563'-0"	14'-9"
B	8577'-9"	8568'-2"	9'-7"	8563'-0"	14'-9"
C	8577'-9"	8549'-8"	28'-1"	8549'-8"	28'-1"
D	8577'-9"	8559'-0"	18'-9"	8549'-0"	28'-9"

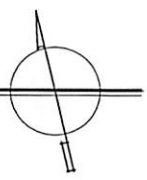
NO.	DATE	REVISIONS
10	AUGUST 2017	REVISED

A NEW DESIGN FOR:
LOT 75R POWDER MOUNTAIN
BASE E. SPRINGS PARK
WEBER COUNTY, UT

UP WALL
DESIGN
1930 S. 1100 E. S.L.C. UT 64106
(801) 485-0708

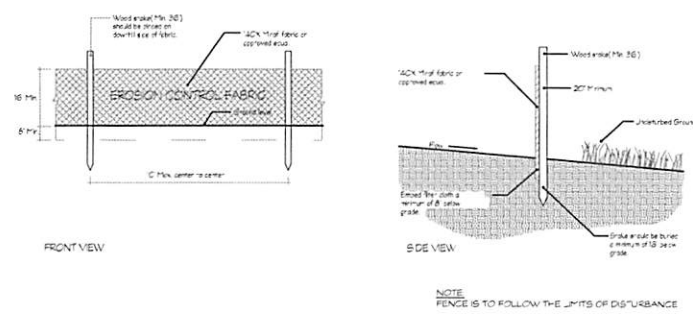
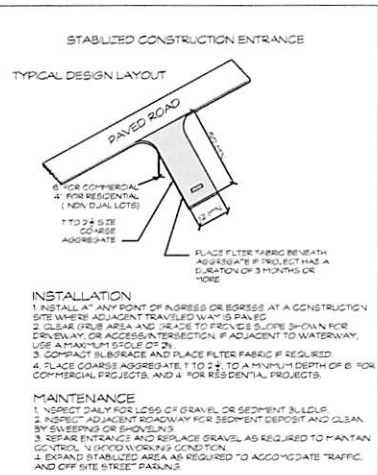
HEIGHT CALCULATION
PLAN

SCALE: 1" = 10'



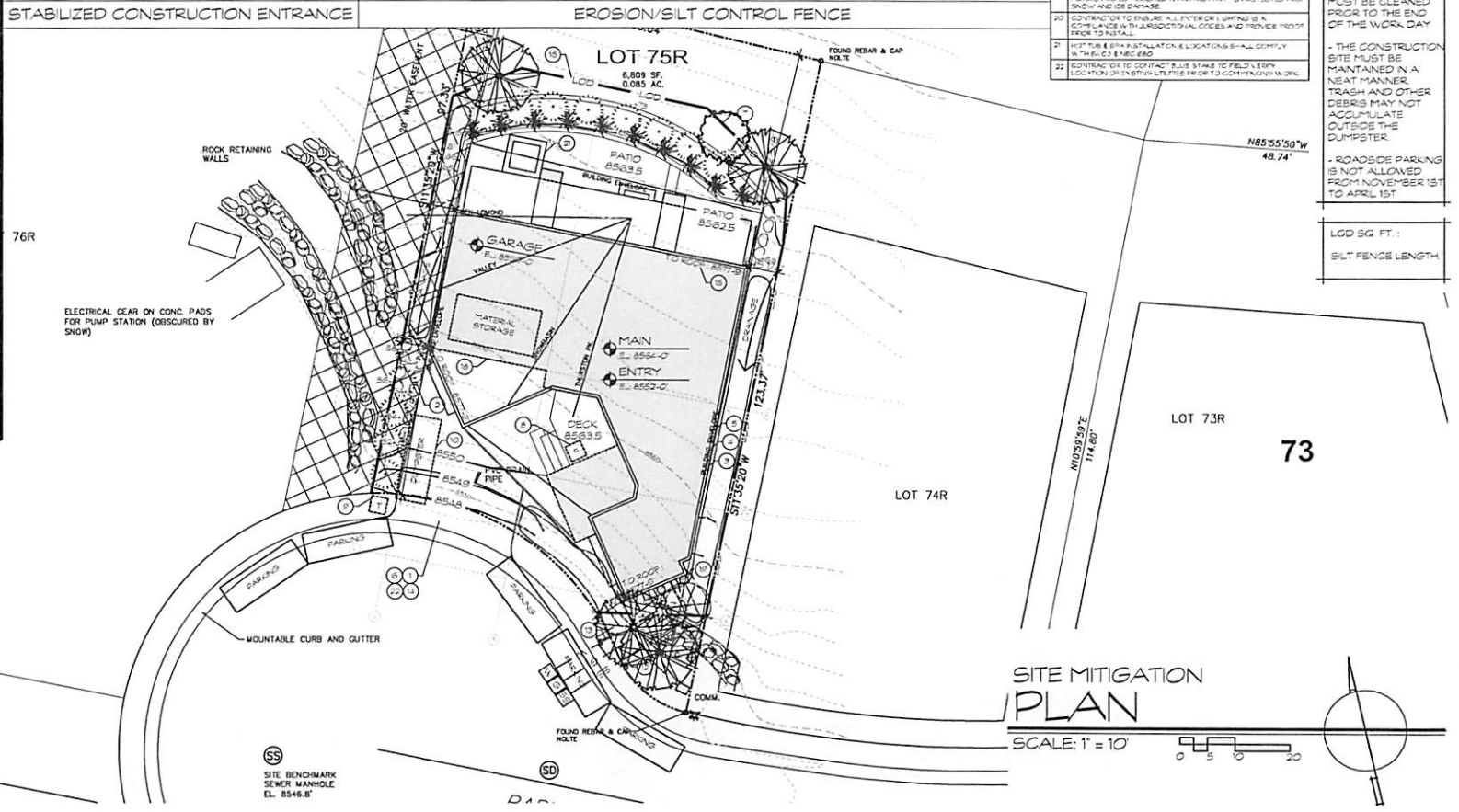
A1.2a

REQUIRED INSPECTIONS		
SECTION	DESCRIPTION / REQUIREMENTS	CONTACT
ENCLAV ESTABDNG	REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. LOCATE PERMITS DRIVEWAY AT THE STREET LINE AT THE REAR RIGHT OF WAY PROPERTY LINE AND LOCATE / ELEVATE PROPERTY CORNERS WITH A FOOT STEP FENCE PER 507.	ENGINEERS
ROUGH FINISH	REQUIRED PRIOR TO SCHEDULING A FOOTING INSPECTION SITE EROSION CONTROL FEATURES MUST BE INSTALLED AND DRIVEN UP MUST BE SCHEDULED TO GRADE ACCORDING TO PLAN.	ENGINEERS
FOOTING	SCHEDULE AFTER STEEL IS IN PLACE AND BEFORE CONCRETE IS PLACED.	BUILDING
FOUNDATION	SCHEDULE AFTER STEEL IS IN PLACE IN THE FORMS AND BEFORE CONCRETE IS PLACED.	BUILDING
CONCRETE PLACEMENT	BEFORE CONCRETE IS PLACED OR PUMPING HAS BEEN SCHEDULED.	BUILDING
FOUNDATION REVISIONS	PERFORMED BY A LICENSED SURVEYOR. REQUIRED PRIOR TO SCHEDULING A FOUNDATION INSPECTION. SEE REQUIREMENTS SECTION.	BUILDING
FLOOR FINISH	REQUIRED PRIOR TO PLACING FLOOR SHEET AND INCLUDING FOOTING DRAIN INSPECTION.	BUILDING
FOUNDATION REVISIONS	AFTER THE BUILDING IS UP TO THE SQUARE AND ALL SHEAR WALLS HAVE BEEN MAINTAINED AND ALL THE FOUNDATION BEAMS HAVE BEEN CONNECTED HAVE BEEN VERIFIED.	BUILDING
FOUNDATION REVISIONS	REQUIRED PRIOR TO FOLLOWING INSPECTION WHEN REQUIRED BY THE LOCAL AGENCY DIRECT.	BUILDING
FOUNDATION REVISIONS	THIS INSPECTION IS PERFORMED AFTER ALL SOUP-STRUCTURE, ALL REVISIONS REQUIRED HAVE BEEN VERIFIED. ALL TRACING IS COMPLETE SHEAR WALLS PROVIDED INSPECTED AND REUSE SPECIFICATIONS ARE ON THE JOB FOR THE INSPECTOR TO READ. BUILDING SHALL HAVE EITHER AN ENGINEER OR PRESERVE 15' ON THE WHEN THE INSPECTOR ARRIVES.	BUILDING
FOUNDATION REVISIONS	WEATHER WATER SHALL BE INSPECTED PRIOR TO APPLYING VENEER. APPROVED BLOOD LOG RESEARCH REPORTS ON SITE.	BUILDING
FOUNDATION REVISIONS	REQUIRED BEFORE GAS METER CLEARANCE IS GIVEN TO GASTHAW.	BUILDING
FOUNDATION REVISIONS	STEEL, MASONRY AND BEFORE CONCRETE/CURB IS POURED.	BUILDING
FOUNDATION REVISIONS	PBR SHEETROCK INSULATION CERTIFICATE REQUIRED.	BUILDING
FOUNDATION REVISIONS	THIS IS TO BE DONE BEFORE DRYWALL IS TYPED.	BUILDING
FOUNDATION REVISIONS	BUILDING MUST SET UP WITH FERTILIZER SOUP VERIFIED.	BUILDING
FOUNDATION REVISIONS	6" EROSION CONTROL FEATURES MUST BE INSTALLED AND DRIVEN UP GRADED TO ITS FINAL CONTOUR/ELEVATION.	ENGINEERS
FOUNDATION REVISIONS	REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY AND/OR BOND RELEASE. DRIVEWAY MUST BE SURFACED AND SITE MUST BE RE-VEGETATED. INSPECTIONS MUST BE SCHEDULED SEPARATELY.	ENGINEERS
FOUNDATION REVISIONS	PERMITS ELEVATION CERTIFICATE IF APPLICABLE. REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY. MUST BE FILED WITH TEMA AND A COPY PROVIDED TO THE ENGINEERING DEPARTMENT.	ENGINEERS
FOUNDATION REVISIONS	ALL WORK IS DONE AND BUILDING COMPLETE.	BUILDING
FOUNDATION REVISIONS	REQUIRED PRIOR TO ANYONE OCCUPYING THE STRUCTURE. A CERTIFICATE OF OCCUPANCY WILL BE ISSUED ONCE THE FINAL CERTIFICATE HAS BEEN OBTAINED BY THE BUILDER AND REQUEST TO THE BUILDING DEPARTMENT OFFICE IN CHICAGO. 1) INDIVIDUALS CAN RESUBMIT FINAL PBR FROM BUILDING DEPARTMENT. FINAL PROFESSIONAL ENGINEERING DEPARTMENT FINAL LETTER FROM HANDELMAN BASH. WATER REGULATOR, DISTRICT FINAL WASTE CONCERN, LETTER FROM APPROPRIATE WATER COMPANY FINAL FROM PARK OFFICE CONTRACT REQUIRED & REVISIONS. 2) BASTEN SUPPLY CANNOT FINAL FROM BUILDING DEPARTMENT FINAL FROM ENGINEERING DEPARTMENT FINAL FROM INSPECTOR DISTRICK AND FINAL FROM HEALTH DEPARTMENT.	BUILDING



SITE KEYNOTES	
#	DESCRIPTION
1	CONTRACTOR TO ASSURE THAT ALL STRUCTURAL PERMITS, APPROVALS AND CERTIFICATES ARE RECEIVED AND COMPACTED TO 90% OF COMPLETED BEFORE INSTALLATION OF UTILITY LINES.
2	SPECIAL INSPECTIONS ARE REQUIRED BY A LICENSED PROFESSIONAL ENGINEER FOR ALL FOUNDATION RETAINING WALLS A MINIMUM OF 4'0" HEIGHTS.
3	CONTRACTOR TO OBTAIN ALL REQUIRED SOIL TESTING FROM A LICENSED TESTING LABORATORY PRIOR TO POURING CONCRETE FOR FOUNDATION. FOUNDATION.
4	GRADE SHALL MAINTAIN FROM HOUSE A MINIMUM OF 4" FROM THE PROPERTY LINE.
5	ALL FOOTINGS TO BE SHOWN AND SET FOR CONSTRUCTION BY A LICENSED PROFESSIONAL ENGINEER. OR ENGINEERED CONTRACTOR FULLY LICENSED FROM BY A LICENSED PROFESSIONAL ENGINEER.
6	ALL DRIVEWAYS AND PARKING AREAS SHALL BE COVERED WITH GRASS, OR TROPICAL GRASS AND SHALL BE REGULARLY WATERED TO CONTROL EROSION.
7	LEFT SIDE OF DRIVEWAY, LEGS, SHALL BE FENCED WITH A HOOP OR RAIL OR CONSTRUCTION FENCING AND NOT BE CHANGED OR REMOVED UNTIL THE LANDSCAPE IS COMPLETE. ANY TREES THAT ARE LOCATED WITHIN THE LOT THAT ARE TO BE SAVED MUST BE PROTECTED.
8	A FIRE EXTINGUISHER SHALL BE KEPT ON SITE AT ALL TIMES.
9	A PORTABLE TOILET SHALL BE ON SITE AT ALL TIMES.
10	A TRASH BIN SHALL BE ON SITE AT ALL TIMES AND SHALL BE KEPT FULLY CLOSED IN A NEAT MANNER. IT SHALL BE KEPT FULLY CLOSED AT ALL TIMES BY ALL WORKERS TO KEEP THE SITE CLEAN AT ALL TIMES.
11	INSTALL ALL FEATURES AS PER DETAILS.
12	NEIGHBOR SERVICE AS REQUIRED.
13	WATER SERVICE TO BE PERMITTED TO SITE ON LINE.
14	DRIVEWAY LOCATION TO BE DETERMINED IN FIELD TO MEET ENDING TREES AND PLANTING ENDING GRADE.
15	ALL EXISTING TREES TO BE REMOVED AND REPLANTING SHALL BE PERMITTED BY THE ENGINEERING DIVISION.
16	EXISTING TREES AND VEGETATION TO BE MAINTAINED UNLESS OTHERWISE NOTED.
17	DRIVING TREES TO BE REMOVED.
18	ALL EXISTING TREES SHALL BE MAINTAINED AND PROTECTED.
19	CONTRACTOR TO ENSURE THAT ALL GAS AND ELECTRICAL METER ARE INSTALLED IN AN AREA THAT IS PROTECTED FROM SIGN AND OBSCURED.
20	CONTRACTOR TO ENSURE ALL INTERIOR LIGHTING IS A COMPLETION WITH APPROPRIATE COVERS AND REMOVE PROOF FLOOR TO INSTALL.
21	IF THE STAIRS OR INSTALLATION, LOCATIONS SHALL COMPLY WITH THE LOCAL AGENCY.
22	CONTRACTOR TO CONTACT GAS STAKE TO FIELD VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.

NOTE
SEE SHEET A1.0 FOR PROJECT NOTES & INFO
CONTRACTOR TO FIELD VERIFY LOCATION OF UTILITY LINES AS REQUIRED.
CONTRACTOR TO FIELD VERIFY MIN. 3'-0" SEPARATION BETWEEN GAS AND ELECTRICAL LINES.
CONSTRUCTION MITIGATION NOTES -
- CONSTRUCTION PARKING TRAFFIC MAY NOT BLOCK THE STREET WITHOUT A PERMIT AVAILABLE FROM THE ENGINEERING DIVISION)
- MUD TRACKED OUT ONTO THE STREET MUST BE CLEANED PRIOR TO THE END OF THE WORK DAY
- THE CONSTRUCTION SITE MUST BE MAINTAINED IN A NEAT MANNER. TRASH AND OTHER DEBRIS MAY NOT ACCUMULATE OUTSIDE THE DUMPSTER.
- ROADSIDE PARKING IS NOT ALLOWED FROM NOVEMBER 1ST TO APRIL 1ST
LOD SQ. FT.
SILT FENCE LENGTH



10 AUGUST 2017

REVISED

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REVISED

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REVISED

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REVISED

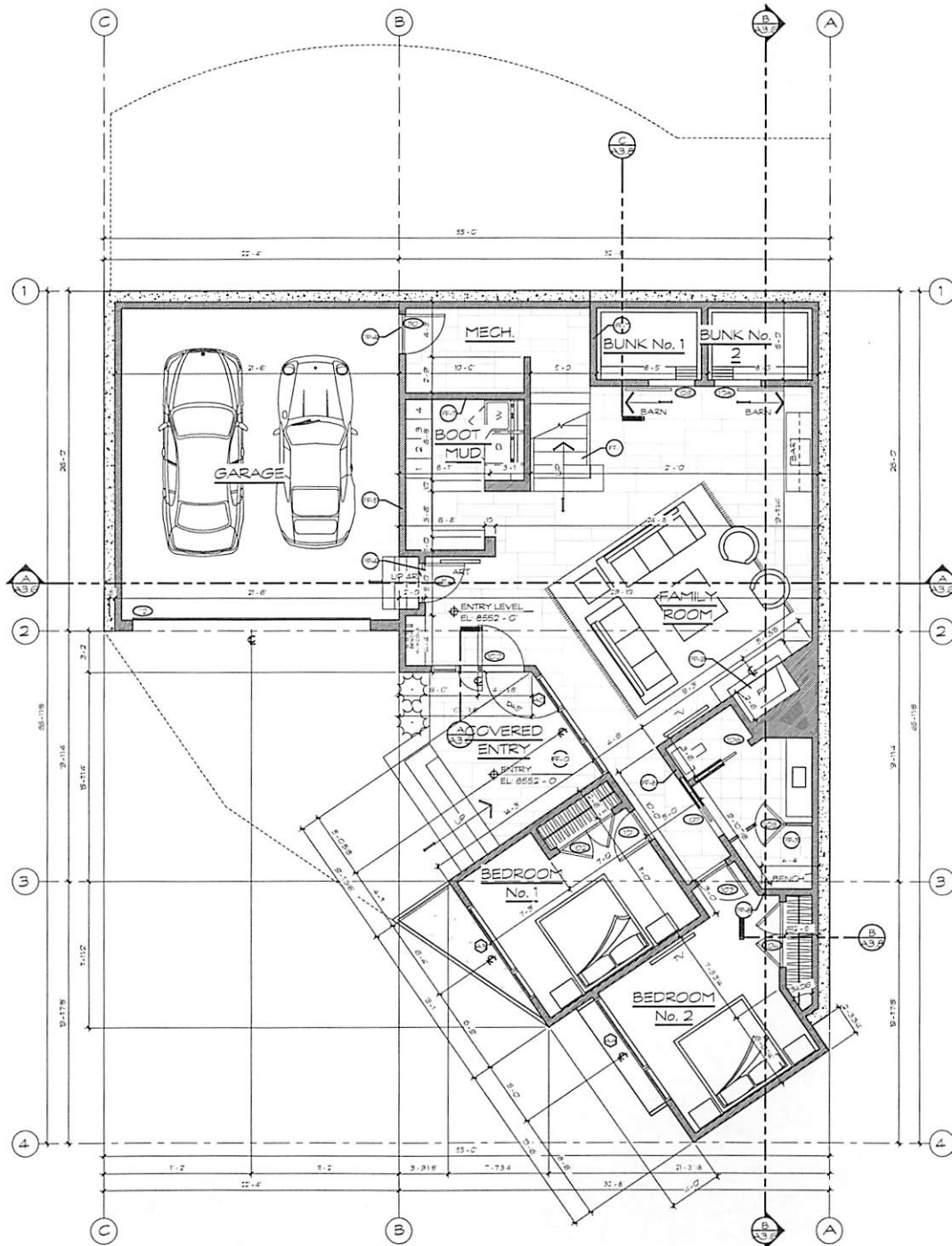
A NEW DESIGN FOR:

LOT 75R POWDER MOUNTAIN

UP WALL D E S I G N

1990 S. 1100 S. S.L.C. UT 34110B (801) 485-9770B

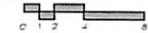
A1.3



KEYNOTES	
NUMBER	DESCRIPTION
FP-1	SEE STAIRS AND GUARD RAIL GENERAL NOTES FOR CODE REQUIREMENTS
FP-3	BATHUBS AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72 ABOVE THE FLOOR. PROVIDE TEMPLERED OR LAMINATED SAFETY GLASS DOOR AND ENCLOSURES WHERE INDICATED ON PLANS. PROVIDE EUROPEAN STYLE MOUNTAIN HARDWARE. DOORS TO SWING OUTWARD. PROVIDE FIBER CEMENT GLASS MAT @ ALL BATHROOM, GARAGE, KITCHEN, AND UTILITY WET WALLS.
FP-4	SPRINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOOR NOT LESS THAN 1 3/8 INCH THICKNESS, SOLID OR HOVEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK, OR 20 MINUTE FIRE-RATED DOORS. - RC 230251
FP-5	PROVIDE ONE LAYER 5/8" TYPE X GYP. 30 MIN. ON ALL GARAGE WALLS AND CEILING SURFACES. - RC 302
FP-7	WALL ASSEMBLIES FOR SOUND PROOF APPLY TO ALL STUDY WALLS IN EACH ROOM WHERE A SPECIFIC WALL TYPE IS INDICATED.
FP-8	SOUND CONTROL WALL ASSEMBLY IS REQUIRED AT ALL WALLS, FLOORS, AND CEILING SEPARATING SLEEPING AREAS FROM LIVING AREAS.
FP-9	CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
FP-10	PREVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING PER 840.3

ENTRY LEVEL
PLAN

SCALE: 1/4" = 1'-0"
ENTRY LEVEL: 1371 SF
GARAGE: 508 SF
MECH.: 91 SF

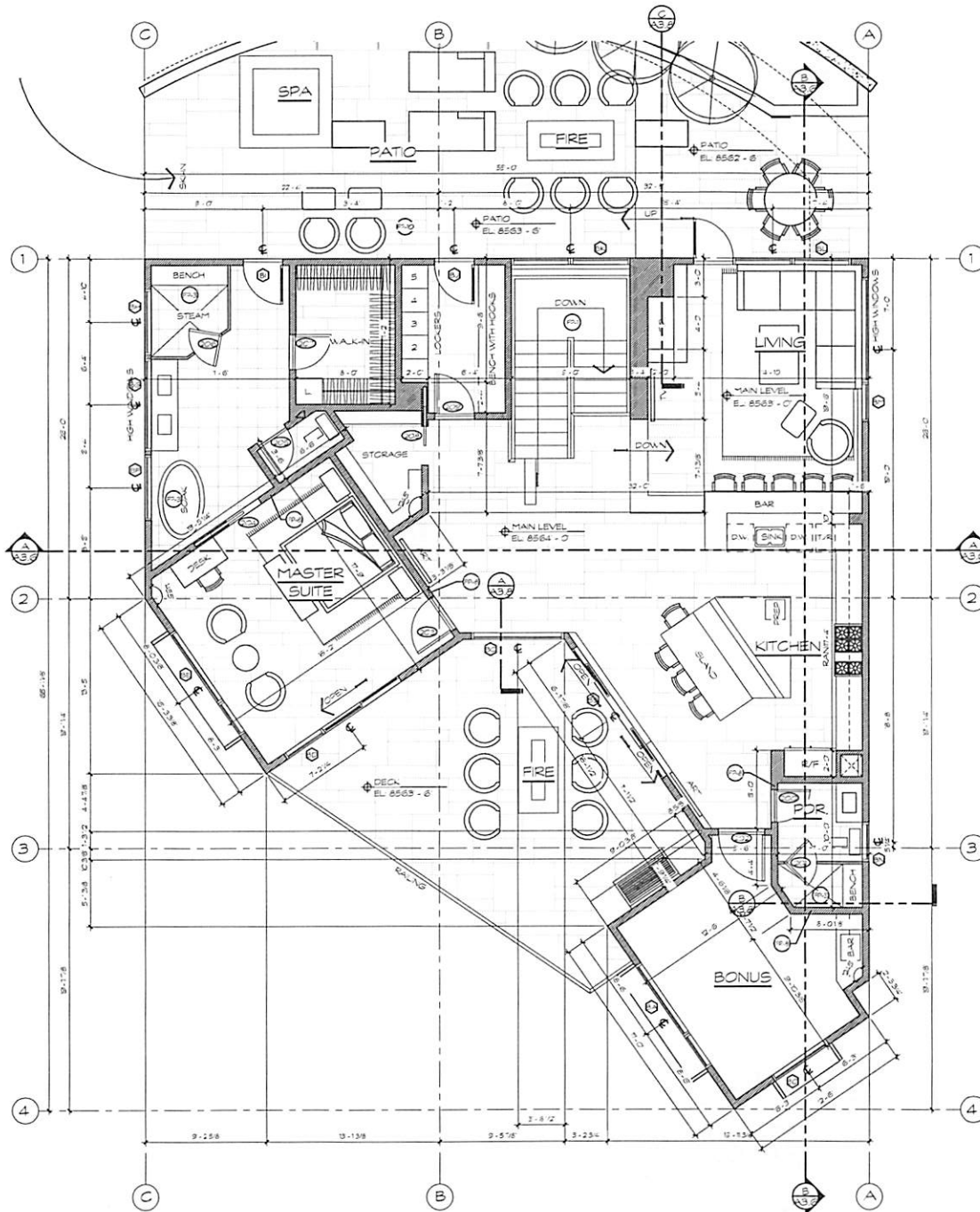


10 AUGUST 2017
REVISED

A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN
6452 E. BIRCH CREEK
DENVER COUNTY, CO

UP WALL
DESIGN
1930 S. 1100 L. S. C. UT 4116
303.445.5718

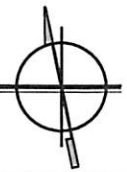
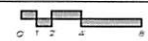
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KEYNOTES	
NUMBER	DESCRIPTION
FP-1	SEE STAIRS AND GUARD RAIL GENERAL NOTES FOR CODE REQUIREMENTS
FP-2	BATHROOMS AND SHOWER FLOORS AND WALLS ABOVE BATHROOMS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE FLOOR. PROVIDE TEMPERED OR LAMINATED SAFETY GLASS DOOR AND ENCLOSURES WHERE INDICATED ON PLANS. PROVIDE EUROPEAN STYLE MOUNTING HARDWARE. DOORS TO SWIMS OUTWARD. PROVIDE FIBER CEMENT GLASS MAT @ ALL BATHROOM, GARAGE, KITCHEN, AND UTILITY WET WALLS.
FP-3	SOUND CONTROL WALL ASSEMBLY IS REQUIRED AT ALL WALLS, FLOORS, AND CEILING SEPARATING SLEEPING AREAS FROM LIVING AREAS.
FP-4	PERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING PER R4013.

MAIN LEVEL
PLAN

SCALE: 1/4" = 1'-0"
MAN LEVEL: 1294 SF

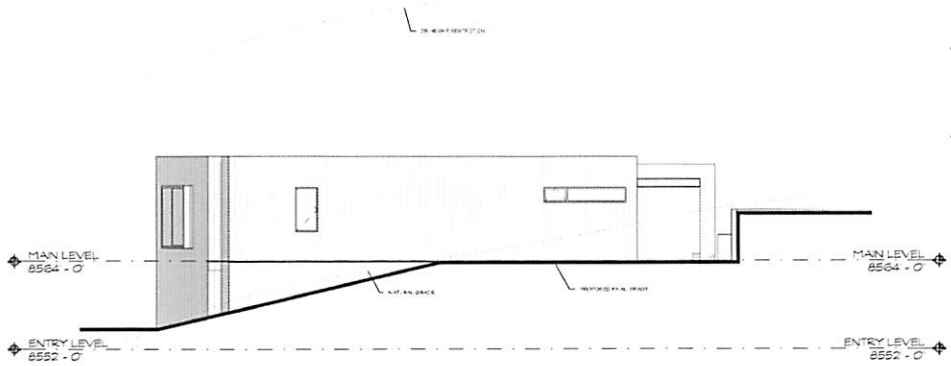


10 AUGUST 2017
REVISIONS

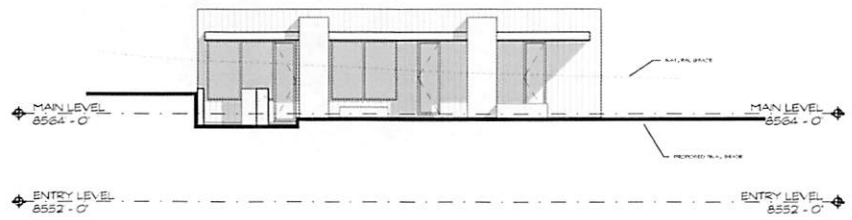
A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN
SALT LAKE COUNTY, UT

UP WALL
DESIGN
1940 S. 1100 E. S.L.C. UT 84106
(801) 485-0788

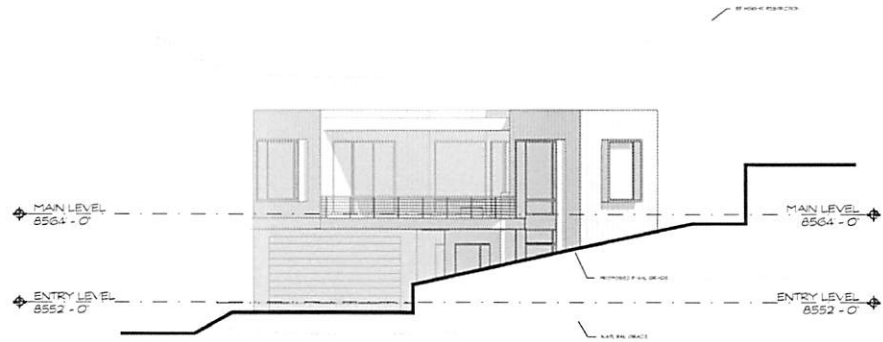
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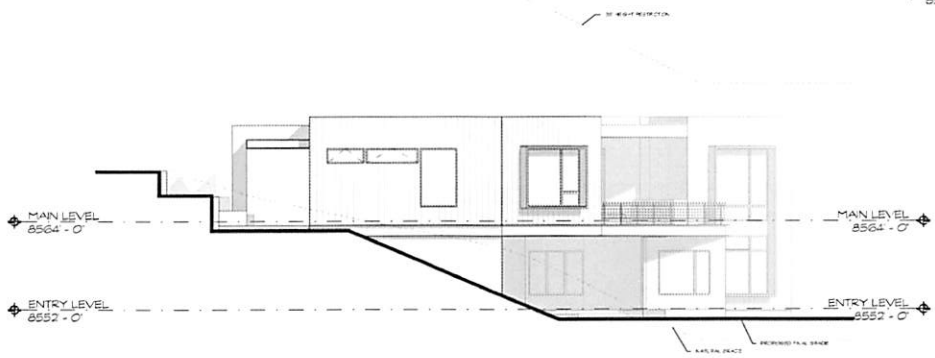
LEFT
(B) ELEVATION
 SCALE 1/8" = 1'-0"
 0 2 4 8 16



FRONT
(A) ELEVATION
 SCALE 1/8" = 1'-0"
 0 2 4 8 16



BACK
(C) ELEVATION
 SCALE 1/8" = 1'-0"
 0 2 4 8 16



RIGHT
(D) ELEVATION
 SCALE 1/8" = 1'-0"
 0 2 4 8 16

10 AUGUST 2017
 REVISIONS

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A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN
 SUBDIVISION
 WARD COUNTY, UT

UP WALL
 DESIGN
 INC.
 1900 S. 1100 E. SALT LAKE CITY, UT 84106
 (801) 486-1078

A3.1

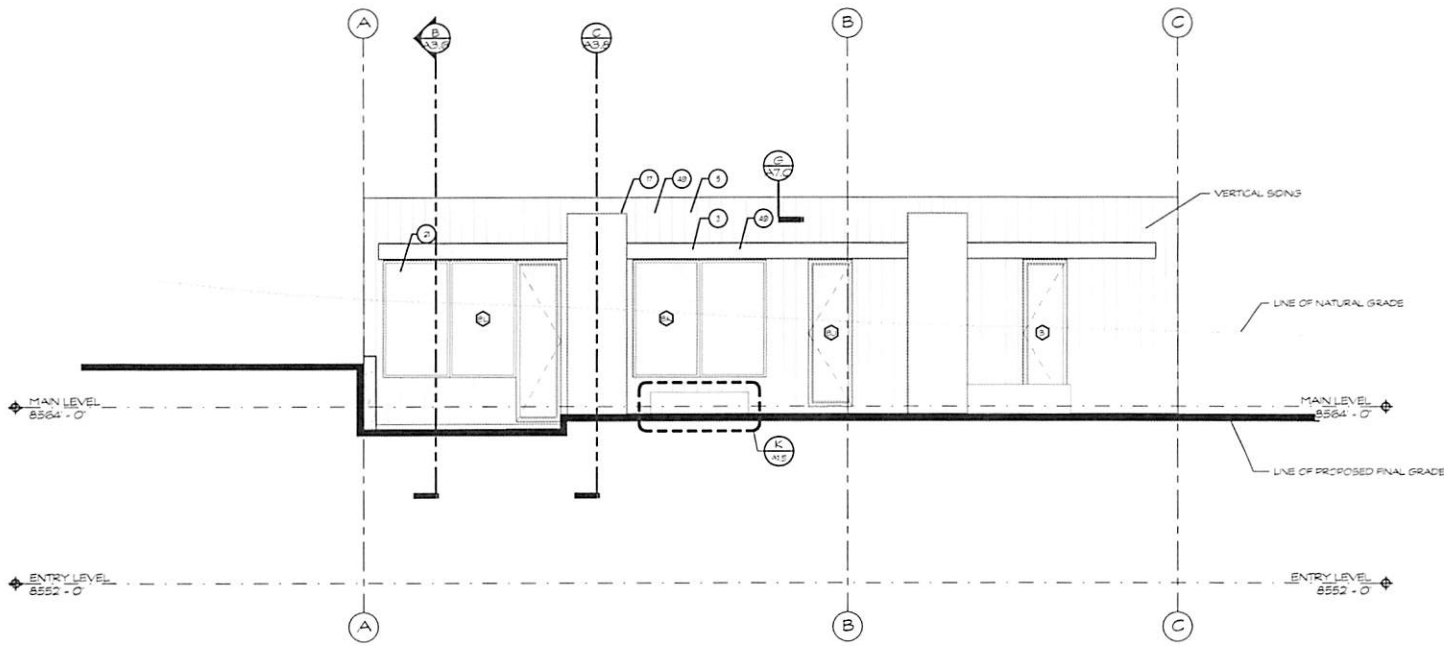
KEYNOTES	
NUMBER	DESCRIPTION
3	CONT. METAL CRP EDGE W/ CONT. STANDING SEAM EAVE FLASHING
5	UNVENTED ROOF ASSEMBLY. SEE A3.0 FOR INSULATION VALUES
17	INSURE NO PLUMBING IN EXTERIOR WALL
21	WINDOW SYSTEM. REF. WINDOW SCHEDULE
40	STANDING SEAM METAL ROOF.

10 AUGUST 2017
REVISIONS

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 IBC AND ALL APPLICABLE CODES.
2. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S INTENT.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S DRAWINGS.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S NOTES.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULES.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S DETAILS.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S CONDITIONS OF CONTRACT.

A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN
5452 E. SPUR 3, PARK
WEEKS, COLORADO 80131

UP WALL
DESIGN
1900 S. 1100 E. S.L.C. UT 84106
(801) 545-5078



FRONT
ELEVATION
A
SCALE: 1/4" = 1'-0"
C 2 A 8

A3.2

KEYNOTES	
NUMBER	DESCRIPTION
3	CONT. METAL DRP EDGE W/ CONT. STANDING SEAM EAVE FLASHING
5	UNVENTED ROOF ASSEMBLY SEE A.O.D FOR INSULATION VALUES
16	2" FRAMING AS REQ
17	ASSURE NO PLUMBING IN EXTERIOR WALL
21	WINDOW SYSTEM, REF WINDOW SCHEDULE

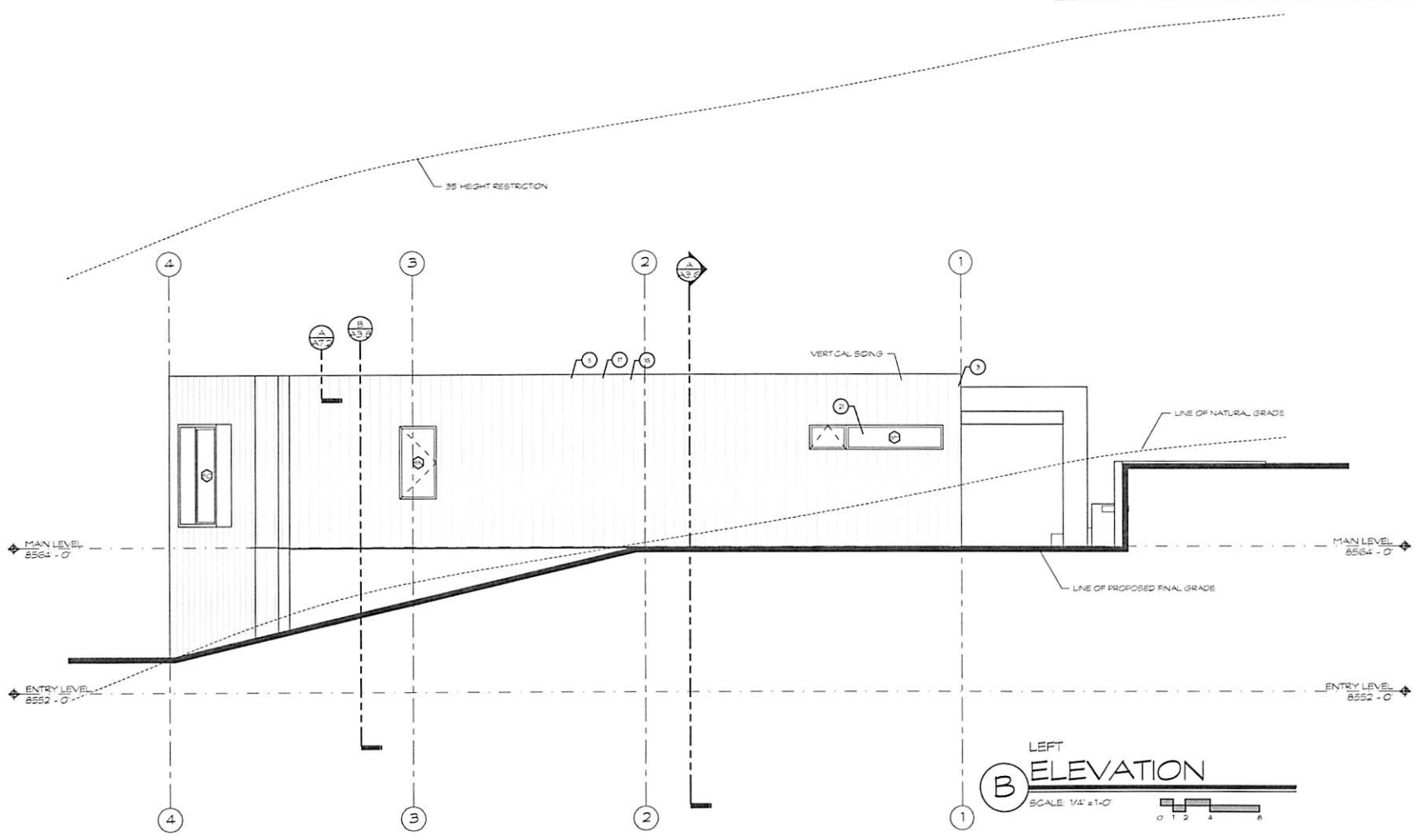
10 AUGUST 2017
REVISIONS

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A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN
6452 S. 1100 E. S.L.C. LOT 14106
WEBB COUNTY, TX

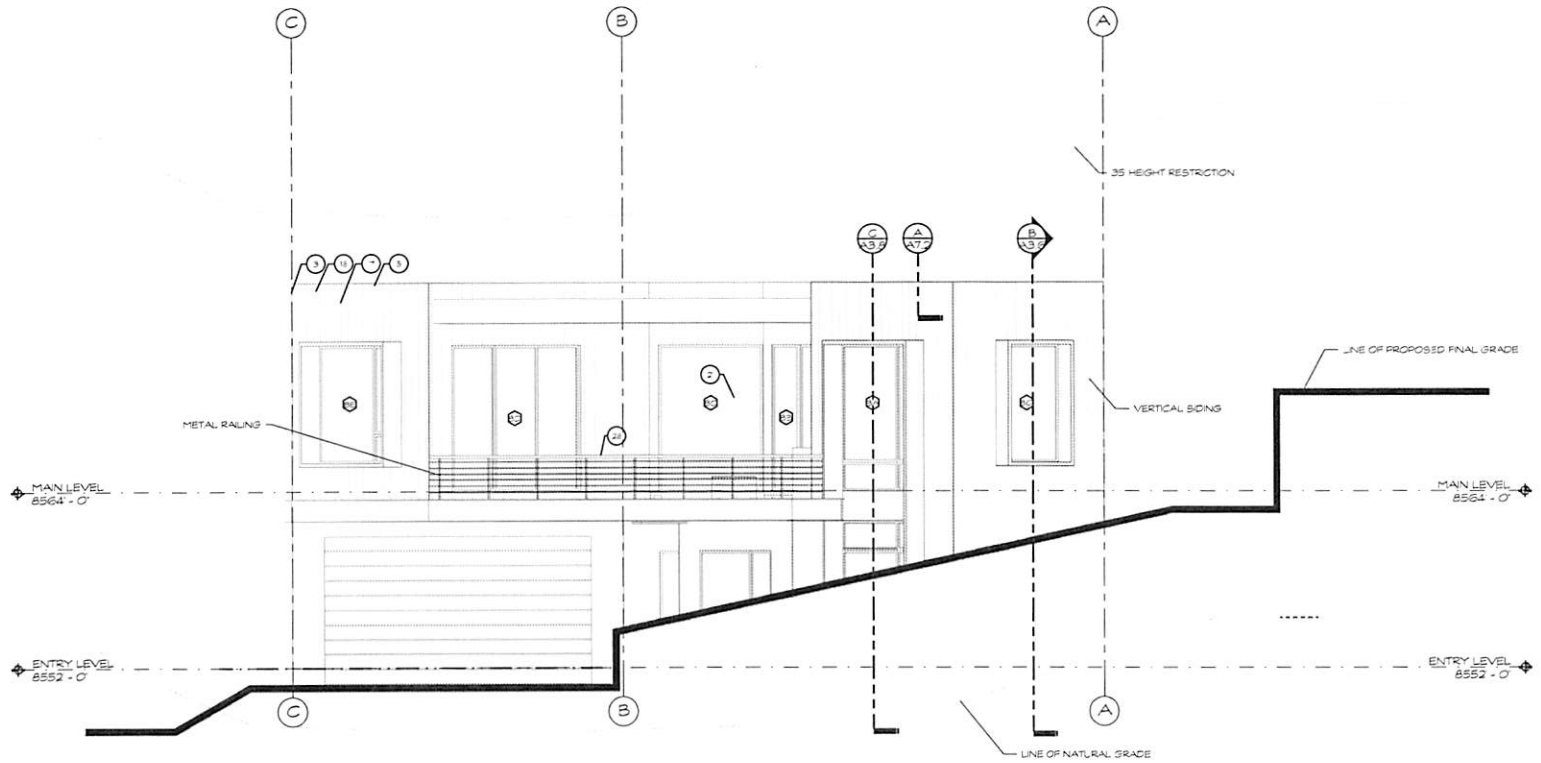
UP WALL
DESIGN
1900 S. 1100 E. S.L.C. LOT 14106
601145-0708

A3.3



LEFT
(B) ELEVATION
SCALE 1/4" = 1'-0"
0 1 2 3 4

KEYNOTES	
NUMBER	DESCRIPTION
3	CONT. METAL DRIF EDGE W/ CONT. STANDING SEAM EAVE FLASHING
5	UNVENTED ROOF ASSEMBLY. SEE A0.0 FOR INSULATION VALUES.
16	2x FRAMING AS REQ.
17	ASSURE NO PLUMBING IN EXTERIOR WALL.
21	WINDOW SYSTEM. REF. WINDOW SCHEDULE.
26	GUARDRAIL. REF. A3.3 FOR CODE REQUIREMENTS AND DETAILS.



BACK
C ELEVATION
 SCALE: 1/4" = 1'-0"
 0 2 4 8

10 AUGUST 2017
 REVISIONS

10071485-0718
 1930 S. 1100 L.S.L.C. UT 64106

A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN

UP WALL
 DESIGN

A3.4

KEYNOTES	
NUMBER	DESCRIPTION
3	CONT. METAL DRIP EDGE W/ CONT. STANDING SEAM EAVE FLASHING
5	UNPAINTED ROOF ASSEMBLY. SEE A03 FOR INSULATION VALUES
18	DN FRAMING AS REQ.
17	ASSURE NO PLUMBING IN EXTERIOR WALL
21	WINDOW SYSTEM. REF. WINDOW SCHEDULE
26	GUARDRAIL. REF. A6.3 FOR CODE REQUIREMENTS AND DETAILS.

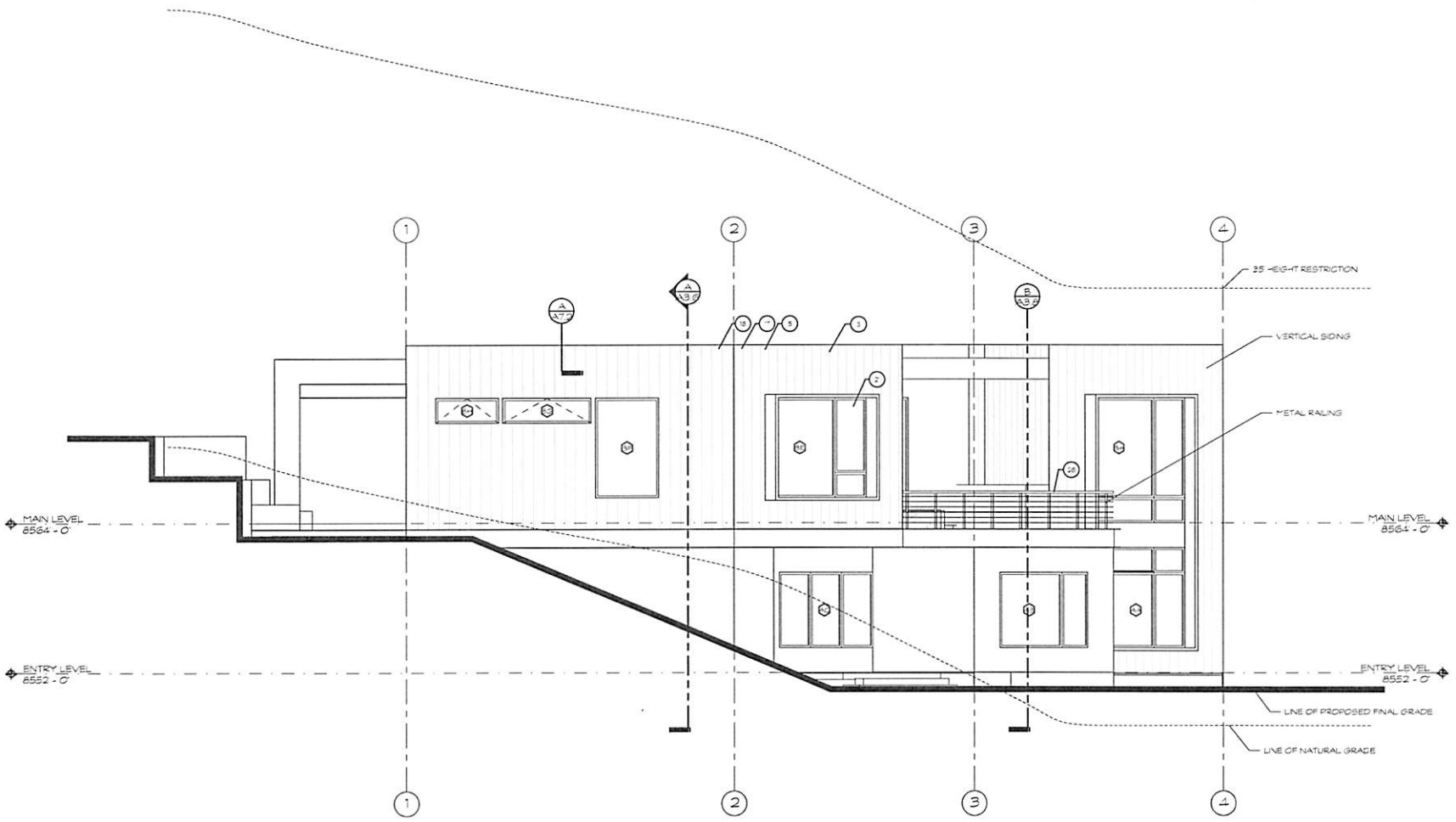
10 AUGUST 2017
REVISIONS

ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC) AS APPLICABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN THE SURFACE GRADE AND DRAINAGE PATTERNS. THE CONTRACTOR SHALL MAINTAIN THE SURFACE GRADE AND DRAINAGE PATTERNS. THE CONTRACTOR SHALL MAINTAIN THE SURFACE GRADE AND DRAINAGE PATTERNS.

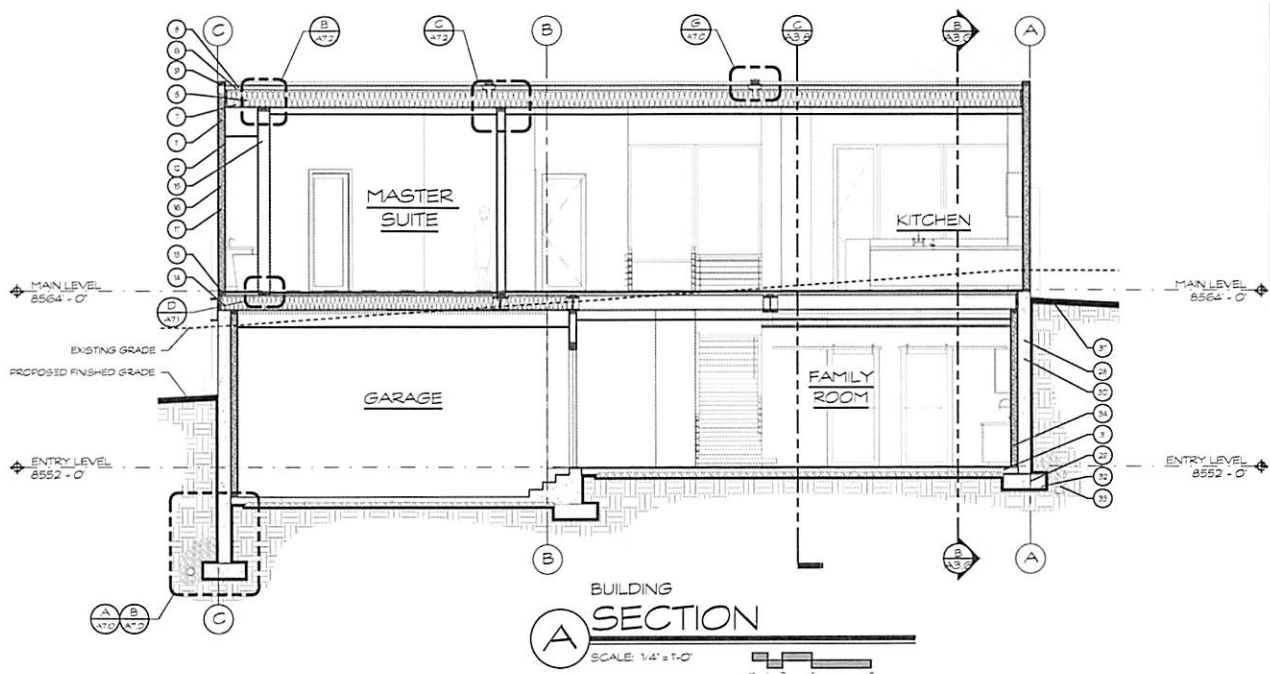
A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN
BLAKE BRUNSON
WEBER COUNTY, UT

UP WALL
DESIGN
1940 S. 1100 W. S14C UT 84106
(801) 241-5703

A3.5

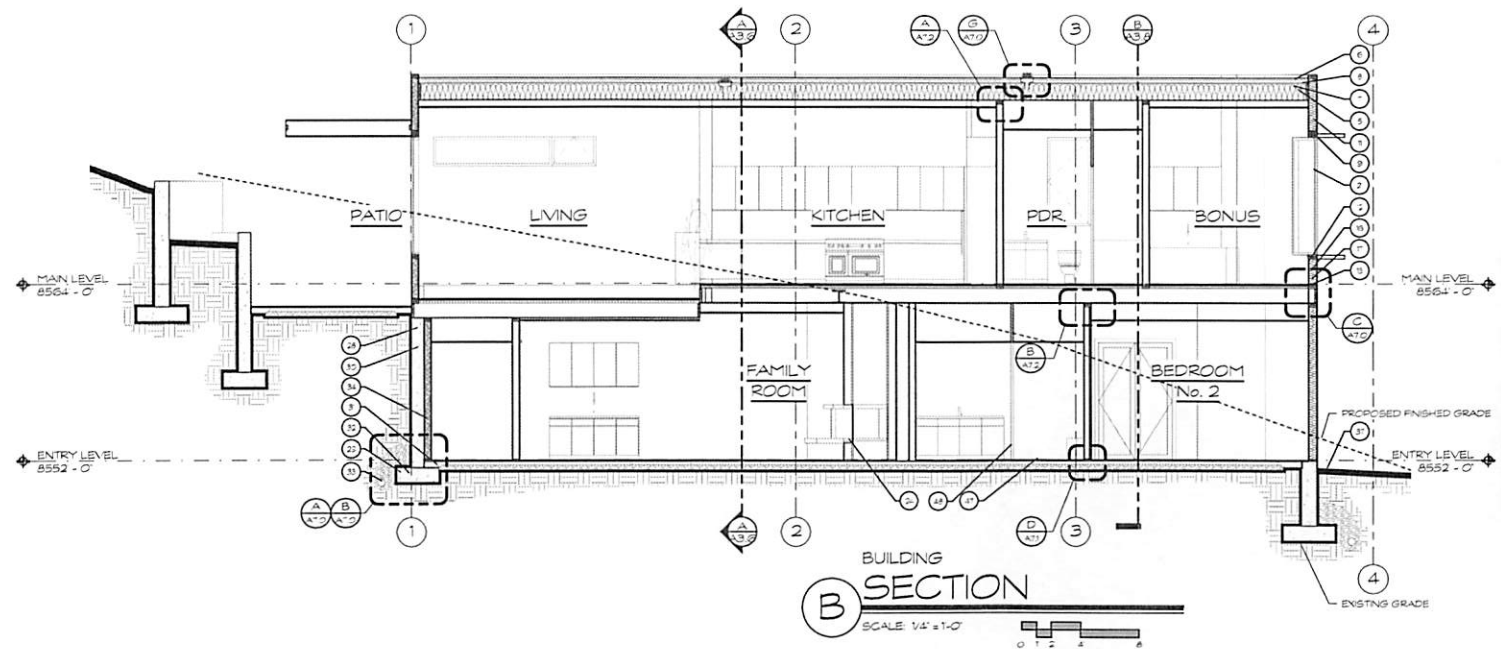


RIGHT
(D) ELEVATION
SCALE: 1/4" = 1'-0"
0 2 4 8



NUMBER	DESCRIPTION
5	UNVENTED ROOF ASSEMBLY. SEE A0.0 FOR INSULATION VALUES.
6	APA RATED O.S.B. ROOF SHEET. RESTRICT FOR THICKNESS NAILING SPACING.
7	JOIST FRAMING AS SHOWN. REF FRAMING PLANS. INSTALL JOISTS, HANGERS, STIFFENERS AND BLOCKING AS PER MANUF. SPECS.
8	INSTALL BITUMINOUS ICE AND WATER SHIELD PRODUCT CONT. AT ALL PERIMETER CONDITIONS N FROM EXTERIOR WALL MIN 3'-0". AT ALL VALLEY AND RIDGE COND. AND AT ALL WALL ROOF CONDITIONS - EXTEND UP WALL MIN. OF 3'-0".
9	EMPECON A-35 AT 32" O.C. AT BLOCKING COND.
10	2x6 FRAMING AT 16" O.C. MIN. W/ 7/8" APA RATED WATER BD. REF SHEAR WALL DESIGNATIONS AND SHEAR WALL SCHEDULE FOR NAILING REQUIREMENTS.
11	1/2" GYP BD AS PER RC W/ A 1 PERM VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF WALL.
12	2x6 PRESSURE TREATED SILL PL W/ 5/8" NO AB AT 32" O.C. TYPICAL. REF SHEAR WALL DESIGNATIONS ON FRAMING PLANS AND SHEAR WALL SCHEDULE FOR ACTUAL NAILING REQ.
13	PROVIDE (2) LAYERS OF TYPE X GYP BD AT CEILING OF GARAGE WHERE HABITABLE SPACE FLOOR EXISTS ABOVE.
14	5/8" TYPE X GYP BD ON ALL SURFACES. INSTALL TAPE AND MUD AS REQ TO ASSURE MIN 1 HR. FIRE-RATED ASSEMBLY.
15	2x FRAMING AS REQ.
16	ASSURE NO PLUMBING IN EXTERIOR WALL.
17	WINDOW SYSTEM - REF WINDOW SCHEDULE.
21	WINDOW SYSTEM - REF WINDOW SCHEDULE.

NUMBER	DESCRIPTION
24	EMPECON NSERT (CC F2578) W/ ZERO CLEARANCE METAL FLUE SYSTEM INSTALL AS PER MANUF. SPECS.
26	PROVIDE CONT. MOISTURE PROOFING AT ALL BELOW GRADE CONCRETE.
29	CONCRETE FOOTINGS. REF FOOTINGS AND FOUNDATION SCHEDULE. NOTE ASSURE ALL FOOTINGS ARE ESTABLISHED ON UNDISTURBED NATIVE SOIL CONDITIONS.
30	CONCRETE FOUNDATION WALL. REF FOUNDATION WALL SCHEDULE FOR REINFORCING REQUIREMENTS.
31	4 INCH CONCRETE SLAB OVER 4 INCH WASHED GRAVEL BASE OVER 6 MIL POLY.
32	EXTEND 6 MIL POLY UNDER FOOTING.
33	1" PERFORATED PVC IN GRAVEL FIELD AT PERIMETER OF FOUNDATION. SLOPE AWAY AT 1:8" CONNECT AS REQ TO STORM SEWER. INSTALL FILTER FABRIC AROUND GRAVEL FIELD.
34	2x FLOORING W/ INSULATION AS PER A0.0.
37	WATER RUNOFF SHALL BE DIRECTED AWAY FROM THE BUILDING. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS AT A MINIMUM OF 6 INCHES IN THE FIRST 10 FEET.
47	ASSURE NON-ABSORBENT SURFACES IN SHOWER AS REQ BY CODE.
48	1.2" TEMPERED GLASS ASSEMBLY AT SHOWER.



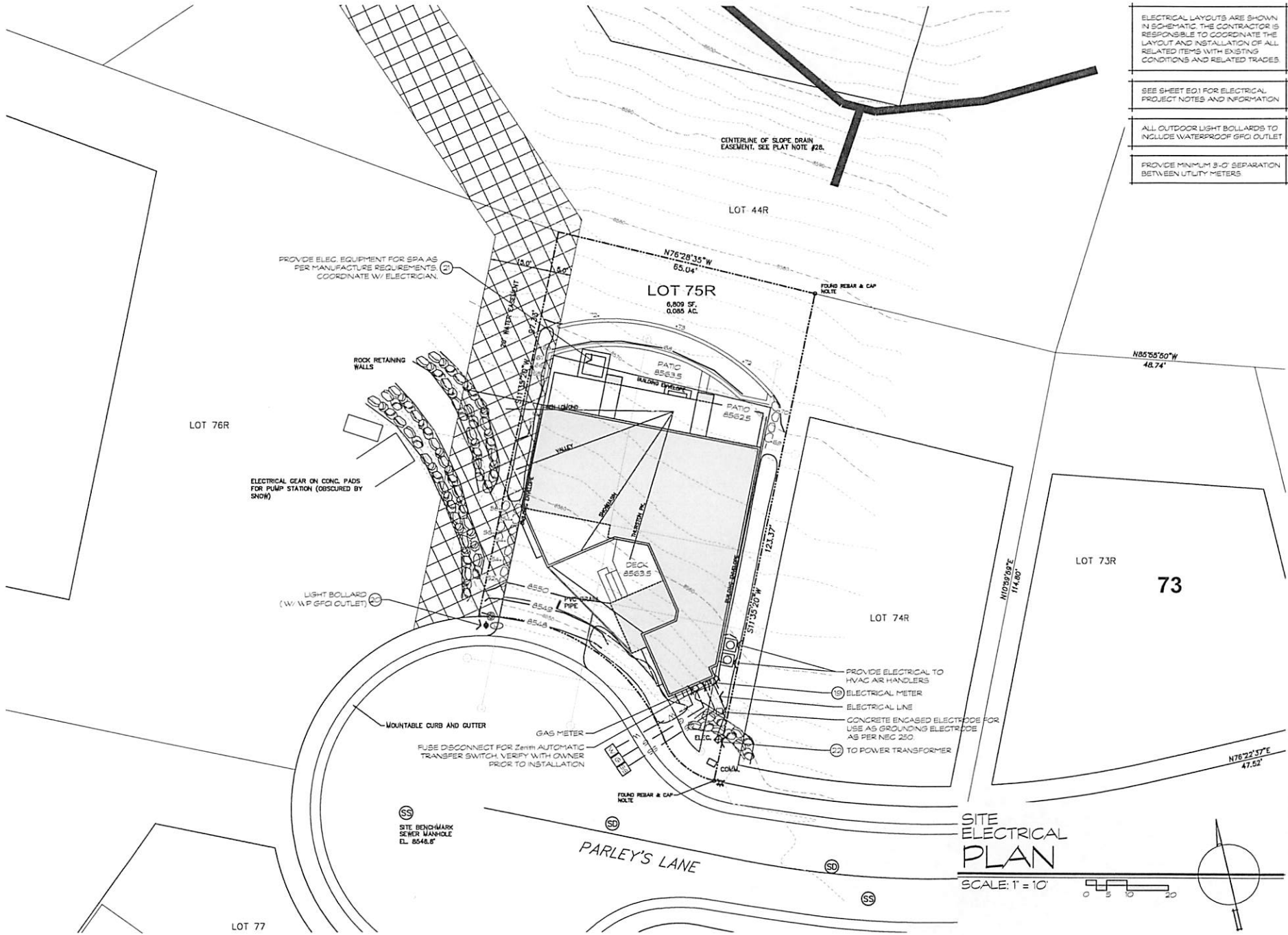
10 AUGUST 2017
REVISIONS

A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN
MADE WITH CARE
WEBER COUNTY, UT

A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN
MADE WITH CARE
WEBER COUNTY, UT

UP WALL
DESIGN
1990 S. 1100 S.L.C. UT 84106
(801) 485-0708

A3.6



ELECTRICAL LAYOUTS ARE SHOWN IN SCHEMATIC. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND RELATED TRADES.

SEE SHEET E01 FOR ELECTRICAL PROJECT NOTES AND INFORMATION

ALL OUTDOOR LIGHT BOLLARDS TO INCLUDE WATERPROOF GFCI OUTLET

PROVIDE MINIMUM 3'-0" SEPARATION BETWEEN UTILITY METERS

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A NEW DESIGN FOR:
LOT 75R POWDER MOUNTAIN
 8455 E. 65TH AVENUE
 DENVER, CO 80231

UP WALL
DESIGN
 1930 S. 119TH E., SUITE 104-106
 DENVER, CO 80231
 (800) 485-0708

E.I.O.

SITE ELECTRICAL PLAN

SCALE: 1" = 10'

PROVIDE ELEC. EQUIPMENT FOR SPA AS PER MANUFACTURE REQUIREMENTS COORDINATE W/ ELECTRICIAN.

ELECTRICAL GEAR ON CONC. PADS FOR PUMP STATION (OBSCURED BY SNOW)

LIGHT BOLLARD (W/ W.P. GFCI OUTLET)

MOUNTABLE CURB AND GUTTER

GAS METER

FUSE DISCONNECT FOR 2" WITH AUTOMATIC TRANSFER SWITCH. VERIFY WITH OWNER PRIOR TO INSTALLATION

SS SITE BENCHMARK SEWER MANHOLE EL. 8546.8'

PARLEY'S LANE

LOT 75R
 6,809 SF.
 0.085 AC.

CENTERLINE OF SLOPE DRAIN EASEMENT. SEE PLAT NOTE #26.

LOT 44R

LOT 76R

LOT 73R

73

LOT 74R

LOT 77

- 19 PROVIDE ELECTRICAL TO HVAC AIR HANDLERS
- 20 ELECTRICAL METER
- 21 ELECTRICAL LINE
- 22 CONCRETE ENGAGED ELECTRODE FOR USE AS GROUNDING ELECTRODE AS PER NEC 250
- 23 TO POWER TRANSFORMER

FIELD REPAIR & CAP HOLE

FIELD REPAIR & CAP HOLE

SS

SS

SS

N76°28'35"W
 83.04'

N86°55'50"W
 48.74'

N102°09'0"E
 114.80'

N76°22'57"E
 47.52'

14.0'

8.0'

123.37'

PATIO 8563.5

PATIO 8562.5

DECK 8563.5

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ELC. 8548

COMM.

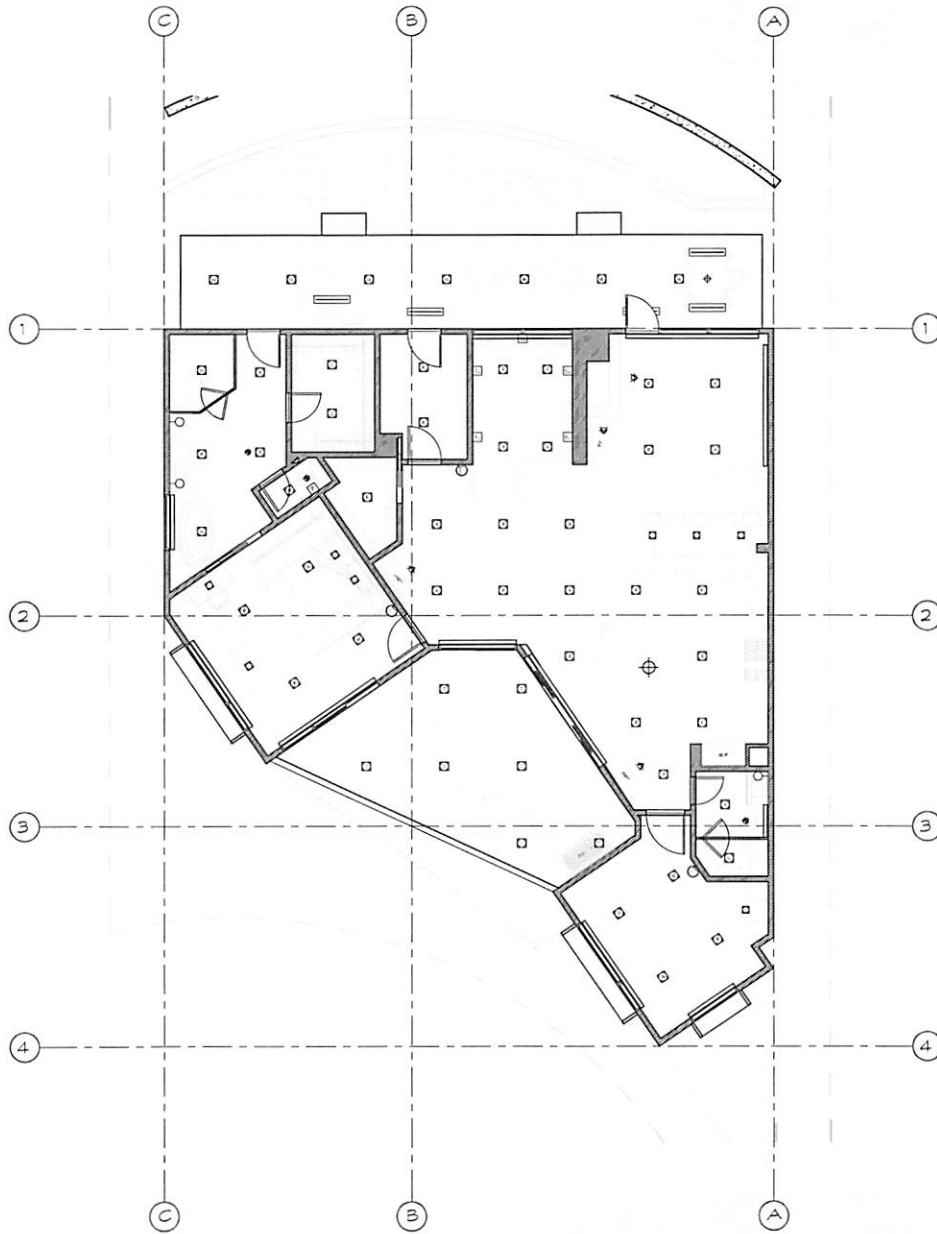
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KEYNOTES	
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10 AUGUST 2017
REVISIONS

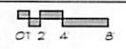
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RECORDING, OR BY ANY INFORMATION
SYSTEMS WITHOUT THE WRITTEN
CONSENT OF UP WALL DESIGN INC.

A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN
SUBDIVISION
NUMBER 01709

UP WALL
DESIGN
1910 S. 1100 E. SUITE 101, UT 84116
(801) 485-0709

MAIN LEVEL ELECTRICAL
PLAN

SCALE: 3/16" = 1'-0"



E2.1

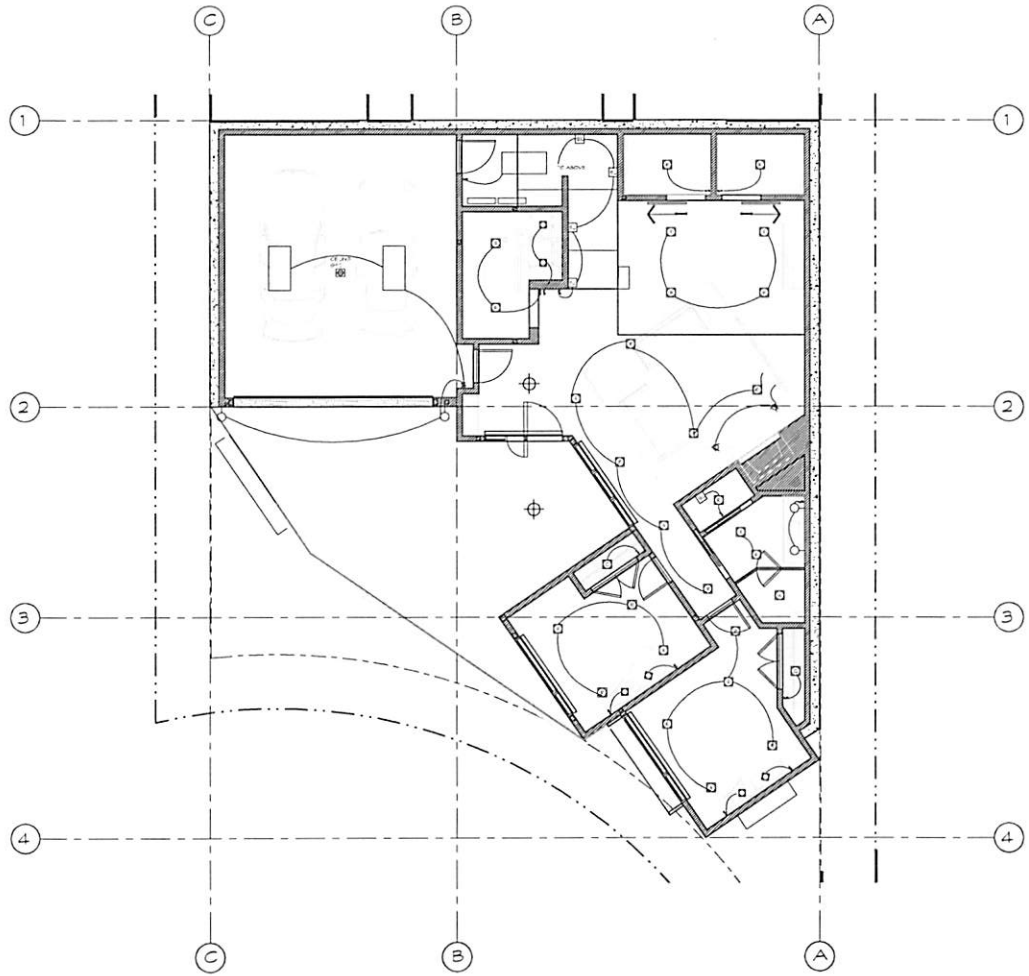
KEYNOTES	
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10 AUGUST 2017
REVISIONS

NO. 100-3-0000
WEBER COUNTY, UT

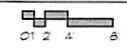
A NEW DESIGN FOR
LOT 75R POWDER MOUNTAIN

UP WALL
DESIGN
1930 S. 1100 E. SALT LAKE CITY, UT 84116
(801) 485-1703



ENTRY LEVEL ELECTRICAL
PLAN

SCALE: 3/16" = 1'-0"

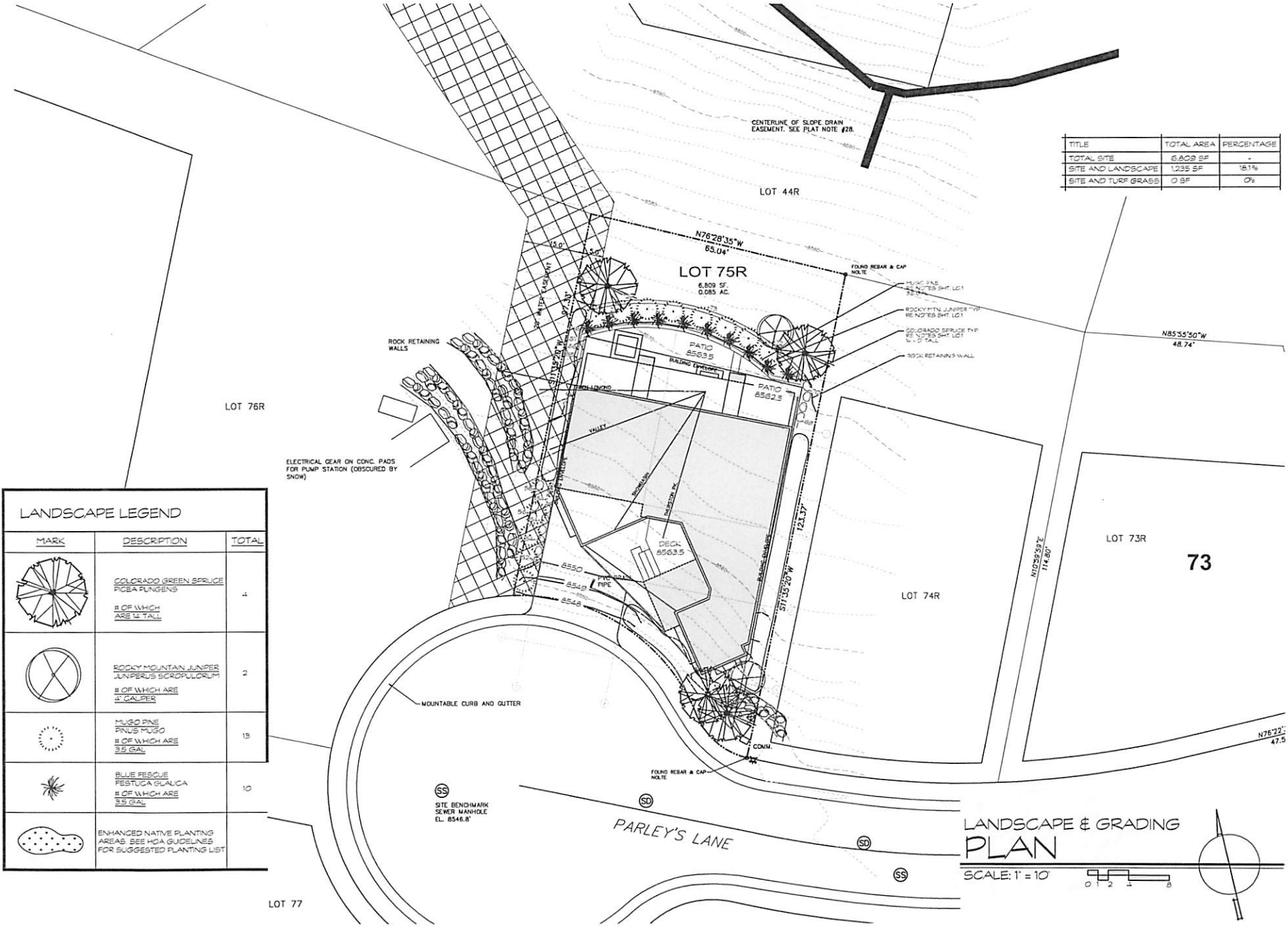


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10 AUGUST 2017
REVISIONS

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TITLE	TOTAL AREA	PERCENTAGE
TOTAL SITE	6,809 SF	-
SITE AND LANDSCAPE	1,235 SF	18.1%
SITE AND TURF GRASS	0 SF	0%

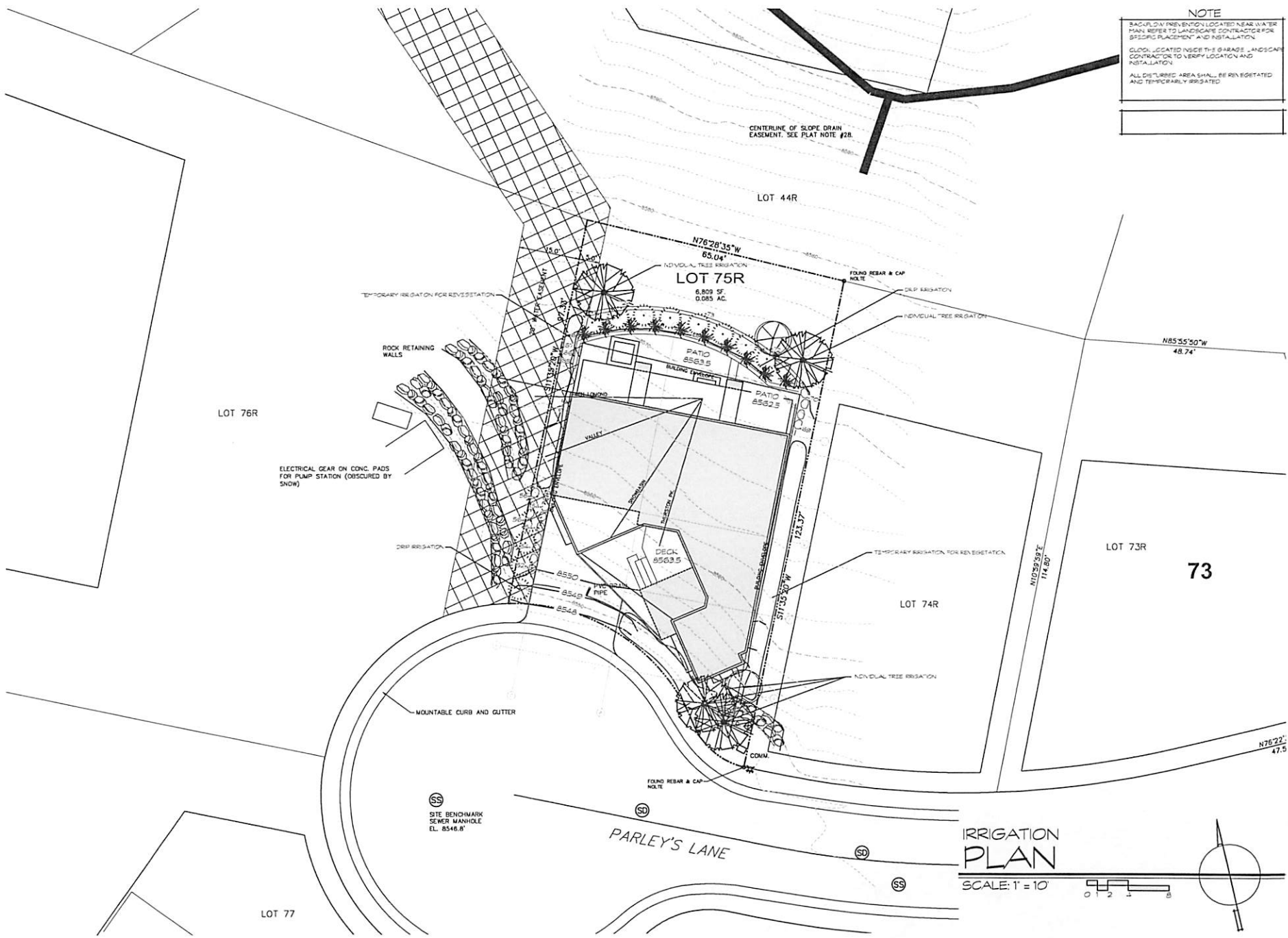


LANDSCAPE LEGEND		
MARK	DESCRIPTION	TOTAL
	COLORADO GREEN SPRUCE PICEA PUNGENS # OF WHICH ARE 1/2 TALL	1
	ROCKY MOUNTAIN JUNIPER JUNIPERUS SCROFULORUM # OF WHICH ARE 1' CALIPER	2
	MUGO PINE PINUS MUGO # OF WHICH ARE 3.5 GAL	13
	BLUE FESCUE FESTUCA GLAUCA # OF WHICH ARE 3.5 GAL	10
	ENHANCED NATIVE PLANTING AREAS. SEE HOA GUIDELINES FOR SUGGESTED PLANTING LIST	

A NEW DESIGN FOR:
LOT 75R POWDER MOUNTAIN
BASE & SPRINGS PARK
WEBER COUNTY, UT

UP WALL
DESIGN
1030 S. 1100 E. S.L.C. UT 84106
(801)485-0700

L1.0



NOTE

BACKFLOW PREVENTION LOCATED NEAR WATER MAIN REFER TO LANDSCAPE CONTRACTOR FOR SPECIFIC PLACEMENT AND INSTALLATION.

CLOCK LOCATION INSIDE THE GARAGE, LANDSCAPE CONTRACTOR TO VERIFY LOCATION AND INSTALLATION.

ALL DISTURBED AREA SHALL BE REVEGETATED AND TEMPORARILY IRRIGATED.

10 AUGUST 2017

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A NEW DESIGN FOR:
LOT 75R POWDER MOUNTAIN
 BASE E. SPRING PARK
 NEVADA COUNTY, CA

UP WALL
DESIGN
 1990 S. 11000 ST. L.C. UT. 04.106
 (801)483-0703

L2.0