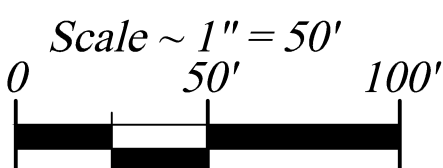
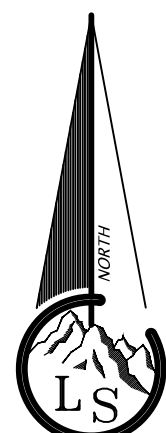


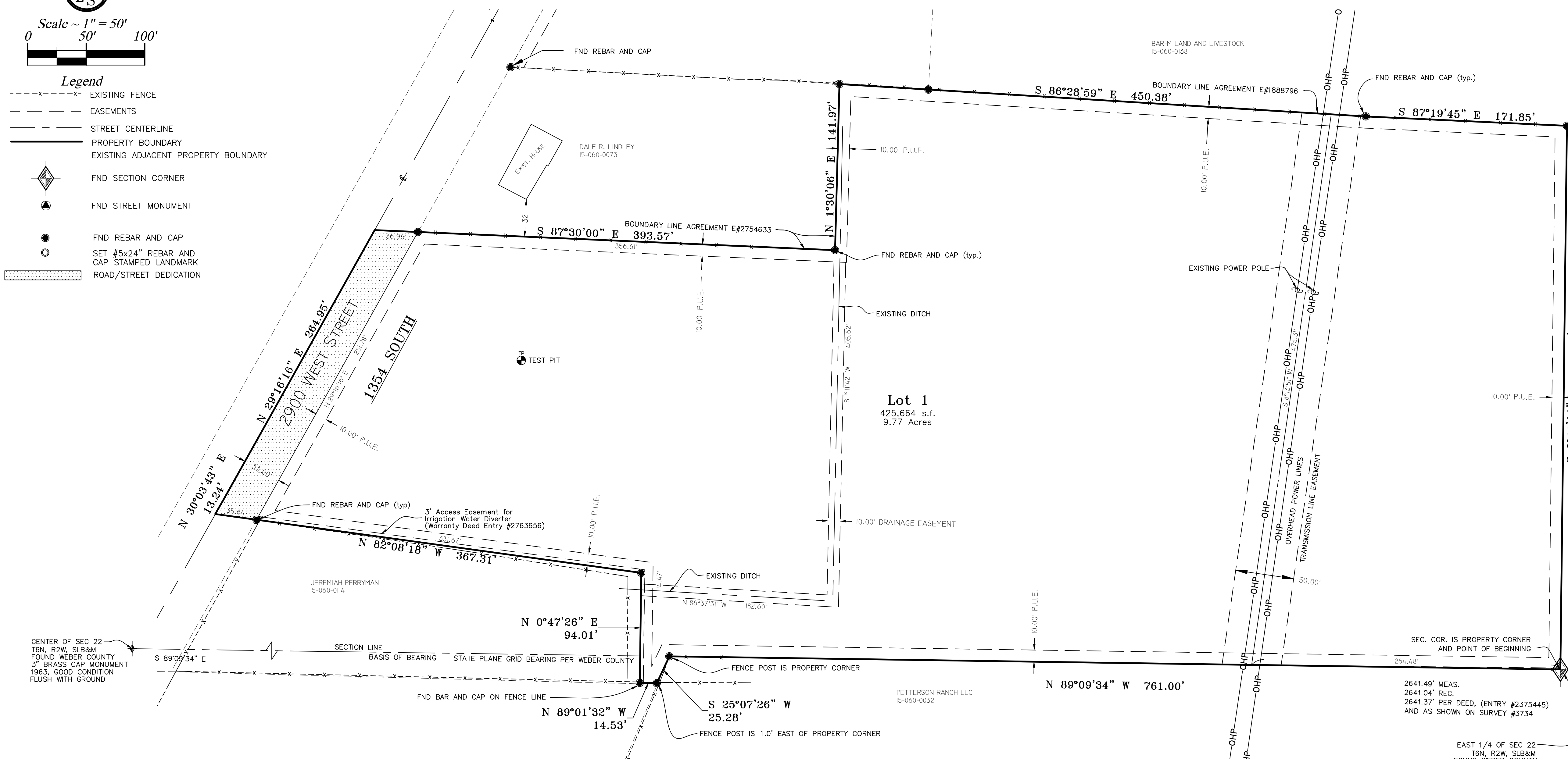
MIKE HENRY SUBDIVISION

PART OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
UNINCORPORATED WEBER COUNTY, UTAH - NOVEMBER 2017



Legend

- - - - - EXISTING FENCE
- - - - - EASEMENTS
- - - - - STREET CENTERLINE
- - - - - PROPERTY BOUNDARY
- - - - - EXISTING ADJACENT PROPERTY BOUNDARY
- ◆ FND SECTION CORNER
- FND STREET MONUMENT
- FND REBAR AND CAP
- SET #5x24" REBAR AND CAP STAMPED LANDMARK
- ▨ ROAD/STREET DEDICATION



OWNER'S DEDICATION

We the undersigned owners of the herein described tract of land, do hereby set apart and subdivide the same into lots and streets as shown hereon and name said tract MIKE HENRY SUBDIVISION:

We hereby dedicate to Weber County, Utah, or its designee for the purpose of public use all those parts or portions of said tract of land designated as street(s) and/or road(s), the same to be used as public thoroughfares. And further dedicate grant and convey said street(s) and/or road(s) as public utility corridors as may be authorized by Weber County, Utah.

We hereby grant and dedicate a perpetual right and easement over, upon and under the lands designated hereon as public utility, storm water detention pond(s), drainage easement(s), and canal maintenance easement(s), the same to be used for the installation maintenance and operation of public utility service line(s), storm drainage facilities, irrigation canal(s) or for the perpetual preservation of water channels in their natural state whichever is applicable to Weber County and as may be authorized by the Weber County, with no buildings or structures being erected within such easements.

We hereby grant and dedicate unto all owners of lots upon which private land drains are constructed or which are otherwise dependent upon such land drains, a perpetual easement over such land drains for the purpose of maintenance and operation.

Individual Acknowledgement

MICHAEL T HENRY)
STATE OF UTAH)
COUNTY OF WEBER)
KAYLENE HENRY)
: SS

On the date first above written personally appeared before me the above signer(s) of the within instrument, who duly acknowledged to me that they executed the same.
WITNESS my hand and official stamp the date in this certificate first above written:

Notary Public Residing in:

My Commission Expires:

Beginning at the East Quarter Corner of Section 22, Township 6 North, Range 2 West, Salt Lake Base and Meridian, and running thence North 89°09'34" West 761.00 feet along the boundary line of said section; thence North 89°01'32" West 14.53 feet along a fence line to a corner post; thence North 82°08'18" West 367.31 feet along a fence line to a fence corner; thence North 0°47'26" East 94.01 feet along a fence line and beyond to the center line of a county road known as 2900 West Street; thence North 30°03'43" East 13.24 feet along the center line of a county road known as 2900 West Street; thence North 29°16'16" East 264.95 feet along the centerline of a county road known as 2900 West Street to the end point of a line defined in a boundary line agreement between Dale and Gloria Lindley and Ruth Winward Trust recorded September 4, 2015 as E#2754633 in the records of Weber County; thence South 87°30'00" East 393.57 feet along the line defined in the said boundary agreement, (to and along a fence line to a fence corner); thence North 1°30'06" East 141.97 feet along the line defined in the said boundary agreement (along a fence line and beyond) to the point of beginning of the said boundary line agreement also being on the South line of the Clint Bybee Subdivision; thence South 86°28'59" East 450.38 feet along the South line of the Clint Bybee Subdivision and beyond (said line also being defined in a separate boundary line agreement recorded as E#1888796 in book 2284 at page 2297); thence South 87°19'45" East 171.85 feet along said line defined in the boundary line agreement recorded as E#1888796 in book 2284 at page 2297 to the Section line; thence South 0°41'06" West 464.50 feet along the Section line to the point of beginning.

Contains 434,924 s.f. or 9.98 acres

NARRATIVE

The purpose of the survey is to create a one lot subdivision on the described tract of land.

- Documents used to aid in this survey:
- Weber County Tax Plat 15-060-1
 - Title Report issued by Mountain View Title & Escrow, Inc. File No. 155139 with a Commitment Date of April 28, 2017
 - Deeds of record as found in the Weber County Recorder's Office for parcels 15-060-0073, 15-060-0014, 15-060-0158, 15-060-0032, 15-061-0042.
 - Clint Bybee Subdivision (Plat 77-019)
 - Record of Survey #'s 3734, 5187, 5366 & 5552
 - Boundary Line Agreement's Entry #'s 1888796 & 2754633.

An easement for the overhead power lines was found in an abstract of county records in Book M at Page 226 as a Transmission Line Easement. This document states it is a 50 foot wide easement and the centerline intersects the South boundary line of the subject property at 275 feet West from the Section Corner. This document pre-dates the current monument location and therefore the tie to the current monument has been adjusted to fit the center of the overhead power lines as they are on the ground being the only remaining evidence of said easement.

The basis of bearing of bearing is State Plane Grid Bearing as shown.

PERC TABLE

| PERC TEST HOLE | DEPTH, IN | SOILS EVALUATION #1551, WEBER-MORGAN HEALTH DEPARTMENT |
|----------------|-----------|--|
| NK. 1 | 6" | 0-33" SANDY LOAM, GRANULAR STRUCTURE, (0.65 GPD/S.F.) |
| | | 33-47" LOAMY SAND, MASSIVE-HIGHLY COMPACT STRUCTURE |
| | | 47-61" FINE SANDY LOAM, SINGLE GRAIN STRUCTURE |

- NOTE:
- Agriculture is the preferred use in the agricultural zones. Agricultural operations as specified in the Land Use Code for a particular zone are permitted at any time including the operation of farm machinery and no allowed agricultural use shall be subject to restriction on the basis that it interferes with activities of future residents of this subdivision. [Amd. Ord. Sec. 106-1-5(c)(5)]
 - Due to the topography and the location of this subdivision all owners will accept responsibility for any storm water runoff from the road adjacent to this property until curb and gutter is installed.
 - There is an easement dated January 23, 1956 in Book 503 at Page 500 of Weber County Record's, to maintain and operate underground cables for the Telephone Company, that describes the overall parcel at that time but does not identify the location of the underground cables.

WEBER-MORGAN HEALTH DEPARTMENT
I hereby certify that the soils, percolation rates, and site conditions for this subdivision have been investigated by this office and are approved for on site wastewater disposal systems. Signed this ___ day of ___, 20__.

Director, Weber-Morgan Health Department
WEBER COUNTY PLANNING COMMISSION APPROVAL
This is to certify that this subdivision plat was duly approved by the Weber County Planning Commission on the ___ day of ___, 20__.

Chairman, Weber County Planning Commission
WEBER COUNTY ATTORNEY
I have examined the financial guarantee and other documents associated with this subdivision plat and in my opinion they conform with the County Ordinance applicable thereto and now in force and effect. Signed this ___ day of ___, 20__.

Signature _____

WEBER COUNTY SURVEYOR
I hereby certify that the Weber County Surveyor's Office has reviewed this plat and all conditions for approval by this office have been satisfied. The approval of this plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith. Signed this ___ day of ___, 20__.

Weber County Surveyor _____

WEBER COUNTY COMMISSION ACCEPTANCE
This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision thereon are hereby approved and accepted by the Commissioners of Weber County, Utah this ___ day of ___, 20__.

Chairman, Weber County Commission _____
Attest:
Title: Weber County Clerk _____

SURVEYOR'S CERTIFICATE
I, Tyler D. Knight, do hereby certify that I am a professional land surveyor in the State of Utah and hold license no. 9008384-2201 in accordance with Title 58, Chapter 22 known as the Professional Engineers and Professional Land Surveyor's Licensing Act, have made a survey of the property(s) shown hereon in accordance with UCA 17-23-17, verifying measurements, and placing monuments as represented. That this plat was prepared from the field notes of this survey and from documents and records as noted hereon. I further certify that, to the best of my knowledge and belief, all lots meet the current requirements of the Land Use Ordinance of Weber county.

WEBER COUNTY ENGINEER
I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and the amount of the financial guarantee is sufficient for the installation of these improvements. Signed this ___ day of ___, 20__.

Signature _____

| | | | |
|--|--|---|--|
| <p>Landmark Surveying, Inc. A Complete Land Surveying Service www.LandmarkSurveyingUtah.com</p> | | <p>4646 South 3500 West - #A-3 West Haven, UT 84401 801-731-4075</p> | |
| <p>DEVELOPER: MIKE HENRY Address: 2602 WEST 3100 NORTH, FARR WEST, UTAH 84404-9390</p> | | <p>1 of 1</p> | |
| <p>Revisions</p> | | <p>DRAWN BY: ATB CHECKED BY: TDK DATE: FILE: 3712</p> | |
| <p>NE 1/4 of Section 22, Township 6 North, Range 2 West, Salt Lake Base and Meridian.</p> | | <p>Subdivision</p> | |
| <p>Webster County Recorder</p> | | <p>Entry no. _____ Fee paid _____ Filed for record and recorded _____ day of _____, 2016. at _____ in book _____ of official records, on page _____ County Recorder: Leann H Kilts By Deputy: _____</p> | |